



# APPLICATION FOR DEVELOPMENT

### I. PROPERTY INFORMATION: Provide information to identify properties and the proposed development. Attach additional sheets if necessary.

Property Address(es): <b>38 Bridge Street</b>	
Tax ID/Parcel Number(s): <b>273-000036-00</b>	Parcel Size(s) in Acres: <b>.3</b>
Existing Land Use/Development: <b>Commercial/Office</b>	Zoning District: <b>BSC Historic Core</b>

Check this box if any **Administrative Departures** are requested and attach an Administrative Departure request form.

Check this box if any **Waivers** are requested as part of the application for development and attach a Waiver Request form.

### II. PROPERTY OWNER INFORMATION: Indicate the person(s) or organization(s) who own the property proposed for development. Attach additional pages if there are multiple property owners.

Name (Individual or Organization): <b>Jason Liu Shanghi Enterprises, LLC</b>	
Mailing Address: <b>7765 Wavetree Court Columbus, Ohio 43235</b>	
Daytime Telephone: <b>614 313 1268</b>	Fax:
Email or Alternate Contact Information: <b>614 718 1818</b>	

### FOR OFFICE USE ONLY: DIRECTOR'S ACCEPTANCE

Date of Acceptance: <b>9/25/2012</b>	Next Decision Due Date: <b>10/9/2012</b>
Final Date of Decision:	Determination:
Director's (or Designee's) Signature:	

- West Innovation Districts (Zoning Code Sections 153.037 - 153.043)
- Bridge Street Corridor Districts (Zoning Code Sections 153.057- 153.066)
- Wireless Communication Facility (Chapter 99)

- Basic Plan Review
- Development Plan Review
- Minor Project
- Site Plan Review

- Waiver Review
- Open Space Fee-in-Lieu
- City Council Appeal
- Master Sign Plan
- Parking Plan
- Administrative Departure

#### Wireless Applications

- New Tower
- Alternative Structure
- Co-Location
- Temporary

The following applications require review and decision by the **Planning and Zoning Commission, Board of Zoning Appeals, or Architectural Review Board**, but may be submitted concurrently with another application.

Check any that apply:

- Conditional Use
- Administrative Appeal
- Project involving modifications to property within the Architectural Review District
- Other: \_\_\_\_\_
- Rezoning

#### Submission Requirements

- Fee** (refer to the approved fees list)
- Electronic Copies** of all application materials (PDF, JPEG, Word, etc. as appropriate)
- Submission Requirements** for each type of application (refer to checklists)
- Legal Description and/or Property Survey** for the subject property

**FILE COPY**

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**III. APPLICANT(S):** Indicate person(s) submitting the application if different than the property owner(s).

Name: (Individual or Organization) Timothy A. Bass, AIA, LEED AP; Bass Studio Architects	
Mailing Address: 36 King Avenue - Columbus, Ohio 43201	
Daytime Telephone: 614 294 4893	Fax:
Email or Alternate Contact Information: 614 560 7554	

**IV. AUTHORIZED REPRESENTATIVE(S):** Indicate the person(s) authorized to represent the property owner and/or applicants.

Name: (Individual or Organization) Bass Studio Architects	
Mailing Address: 36 King Avenue - Columbus, Ohio 43201	
Daytime Telephone: 614 294 4893	Fax:
Email or Alternate Contact Information: 614 560 7554	

**V. AUTHORIZATION FOR OWNER'S APPLICANT(S)/REPRESENTATIVE(S):** Complete if applicable.

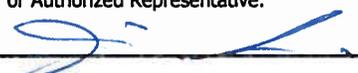
I, Jiechun Liu, the owner, hereby authorize Bass studio to act as a **representative(s)** in all matters pertaining to the processing and approval of this application, including modifying the application. I agree to be bound by all representations and agreements made by the designated representative.

Signature of Current Property Owner: 	Date: 9/24/12
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Check this box if the original Authorization for Owner's Applicant(s)/Representative(s) is attached as a separate document.

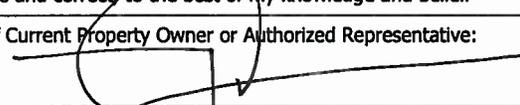
**VI. AUTHORIZATION TO VISIT THE PROPERTY:** Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as noted below, hereby authorizes City representatives to enter, photograph and post a notice on the property described in this application. This is optional, but recommended.

I, Jiechun Liu, the owner or **authorized representative**, hereby authorize City representatives to enter, photograph and/or post a notice on the property described in this application.

Signature of Owner or Authorized Representative: 	Date: 9/24/12
---	------------------

**VII. APPLICANT'S AFFIDAVIT:** This section must be completed and notarized.

I, Timothy A. Bass, the owner or **authorized representative**, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted, is complete and in all respects true and correct to the best of my knowledge and belief.

Signature of Current Property Owner or Authorized Representative: 	Date: 9.21.12
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Check this box if the Applicant's Affidavit and Acknowledgement is attached as a separate document.

Subscribed and sworn to before me this 21 day of SEPT., 2012

State of OHIO

County of FRANKLIN



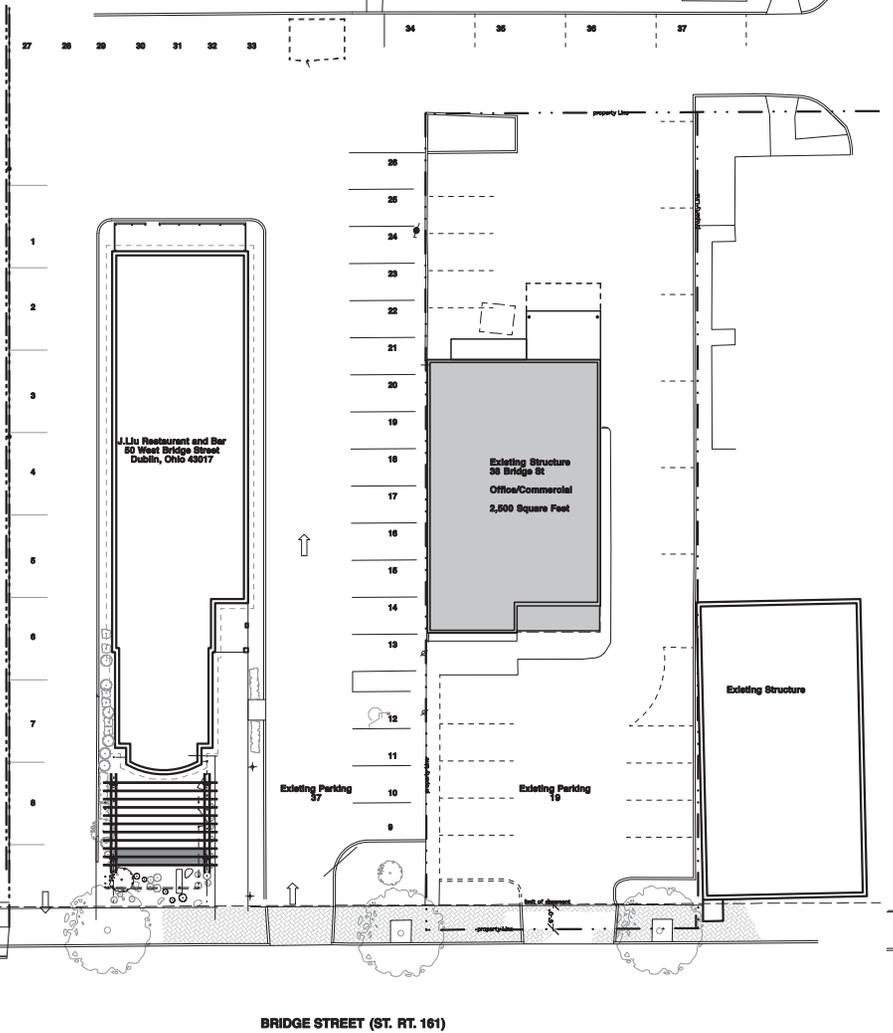
Public Seal: **SUSAN SCHMIDT**  
Notary Public, State of Ohio  
My Commission Expires June 26, 2016

### INDIVIDUAL BUILDING TYPE REQUIREMENT TABLE

BUILDING TYPE REQUIREMENT (Refer to 153.062(O) for Building Types)	CODE REQUIREMENT	PROVIDED	MET, N.A., OR DEPARTURE/ WAIVER NEEDED
<b>Proposed Building Type (Example: Mixed Use Building):</b>			
<b>Example: Front Property Line Coverage (%)</b>	<b>Min. 95%</b>	<b>75%</b>	<b>Waiver</b>
Number of Principal Buildings Provided (per lot)	Multiple allowed	1	Met
Front Property Line Coverage (%)	Minimum 50%	none/exist: added street wall	Exiting/Waiver
Occupation of Corner Required (Yes/No)	N/A no corner	N/A no corner	N/A
Front Required Building Zone Required (range, ft)	0-25'	none/exist: added street wall	Exiting/Waiver
Corner Side RBZ Required (range, ft)	N/A no corner	N/A no corner	N/A
Front Setback Required (if no RBZ) (ft)	N/A	N/A	N/A
Corner Side Setback Required (if no RBZ) (ft)	N/A	N/A	N/A
Side Yard Setback Required (ft)	3' Min	0 at west 21' at east	Exiting/Waiver
Rear Yard Setback Required (ft)	5' min	existing 60'	Met
Minimum Lot Width Required (ft)	30'	Existing 66' N/A	Met
Maximum Lot Width Required (ft)	None	N/A	N/A
Maximum Building Length or Depth Required (ft)	70'	66' Existing	Met
Minimum Lot Depth (Single Family Detached Building Types only) (ft)	N/A	N/A	N/A
Maximum Impervious Lot Coverage (%)	75%	95.2% Existing	Exiting/Waiver
Semi-Pervious Lot Coverage (%)	10%	0%	Exiting/Waiver
Parking Permitted (location relative to principal structure)	Rear or Side	Front, Rear and Side Existing	Exiting/Waiver
Loading Facility Permitted (location relative to principal structure)	N/A (size)	N/A	N/A
Entry for Parking Within Building (relative to principal structure)	N/A	N/A	N/A
Permitted Vehicular Access Location (relative to principal structure)	Alley or street	Principal frontage existing access	Exiting/Waiver
Minimum Building Height Permitted (ft)	1 story	1 story existing	Met
Maximum Building Height Permitted (ft)	2 Story	1 story existing	Met
Accessory Structure Height (number of stories)	N/A	N/A	N/A
Minimum Finished Floor Elevation Permitted (ft)	8'	N/A	N/A Existing
Minimum Occupied Space Required (ft)			N/A Existing
Ground Story Street Façade Transparency Required (%)	25%	30%	Met
Upper Story Street Façade Transparency Required (%)	N/A	N/A	N/A
Ground Story Non-Street Façade Transparency (%)	15%	Existing < 15%	Exiting/Waiver
Upper Story Non-Street Façade Transparency (%)	N/A	N/A	N/A
Parking Lot Ground Story Transparency Requirement (%)	N/A	N/A	N/A
Blank Wall Limitations (Yes/No)	Not	Not	N/A
Principal Entrance Location Required (relative to principal structure)	Principal Street facade	Principal Street facade	Met
Number of Street Façade Entrances Required (per ft of façade)	1 required < 50'	1	Met
Number of Parking Lot Entrances Required (per ft of façade)	N/A	N/A	N/A
Mid-Building Pedestrianways Required (# per ft of façade)	N/A	N/A	N/A
Vertical Increments Required (location on principal structure)	every 30' max	N/A	N/A
Horizontal Façade Divisions Required (per ft of façade)	N/A	N/A	N/A
Permitted Primary Materials (types)	Wood, Stone, Brick FCB	Stone, Brick mtl secondary	Met
Changes in Roof Plane/Type Required (per ft of façade)		N/A Existing	N/A Existing
Roof Type(s) Permitted (types)		N/A Existing	N/A Existing
Tower(s) Permitted (Y/N)		N/A Existing	N/A Existing

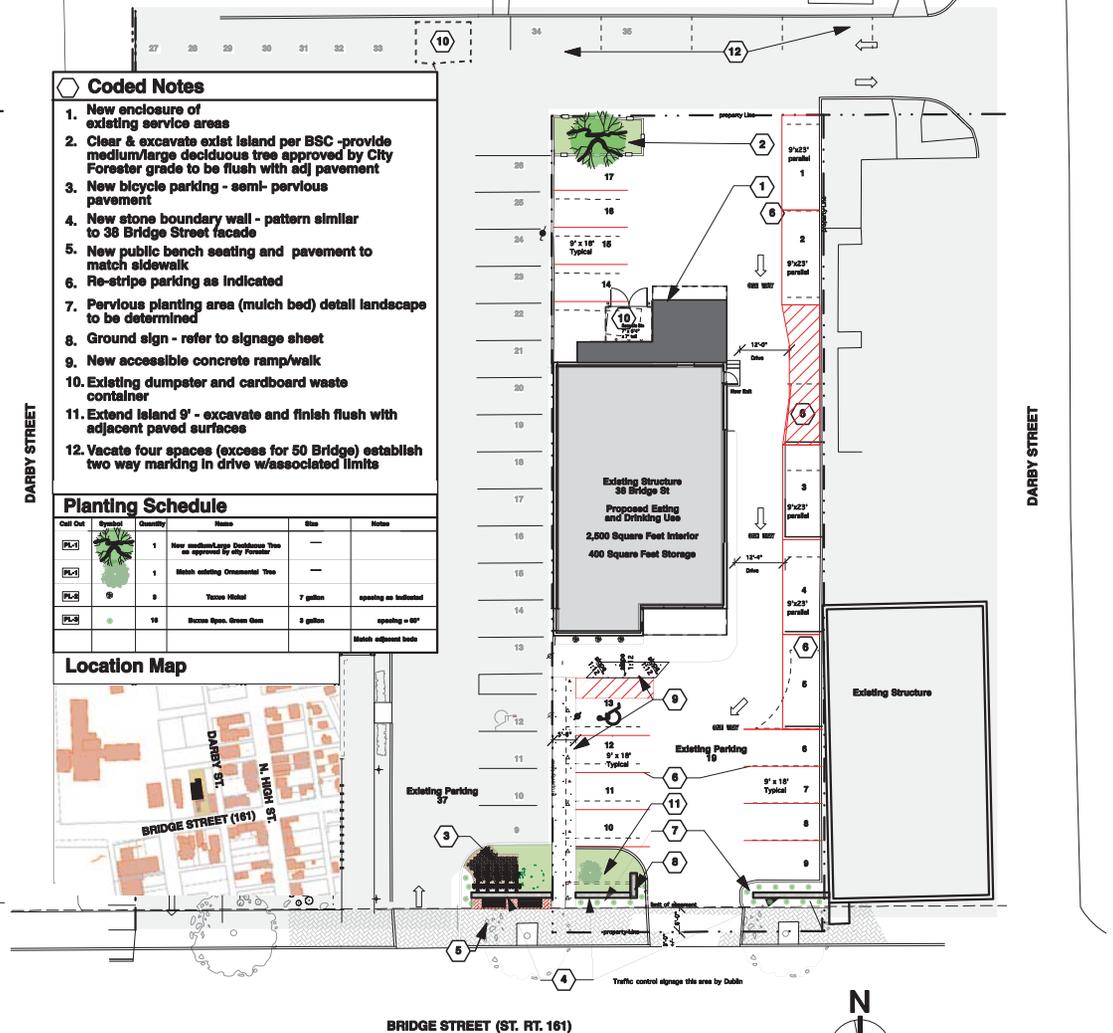
# 1 Existing Site Plan

Scale: 1" = 30'-0"



# 2 Proposed Site Plan

Scale: 1" = 30'-0"



### Coded Notes

1. New enclosure of existing service areas
2. Clear & excavate exist island per BSC - provide medium/large deciduous tree approved by City Forester grade to be flush with adj pavement
3. New bicycle parking - semi- pervious pavement
4. New stone boundary wall - pattern similar to 38 Bridge Street facade
5. New public bench seating and pavement to match sidewalk
6. Re-stripe parking as indicated
7. Pervious planting area (mulch bed) detail landscape to be determined
8. Ground sign - refer to signage sheet
9. New accessible concrete ramp/walk
10. Existing dumpster and cardboard waste container
11. Extend island 9' - excavate and finish flush with adjacent paved surfaces
12. Vacate four spaces (excess for 50 Bridge) establish two way parking in drive w/associated limits

### Planting Schedule

Call Out	Species	Quantity	Name	Size	Notes
PL-1		1	New medium/Large Deciduous Tree as approved by City Forester	---	---
PL-2		1	Match existing Ornamental Tree	---	---
PL-3		3	Texas Hybrid	7 gallon	spacing as indicated
PL-5		10	Black Spot Green Grass	3 gallon	spacing = 10"

### Location Map



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38 Bridge Street  
Dublin, Ohio

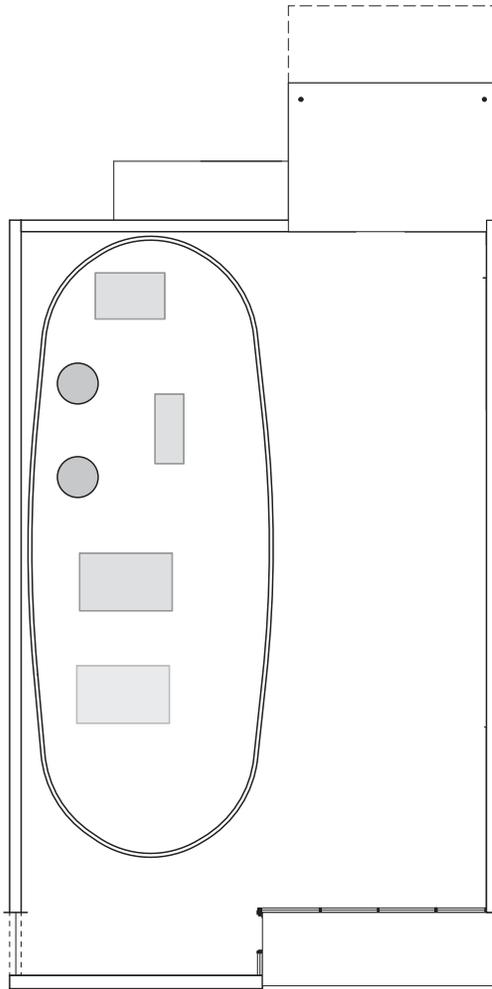
36 King Avenue Columbus, Ohio 43201 telephone: 614.294.4893 facsimile: 614.294.2709 www.bassstudioarchitects.com

# Site Plans

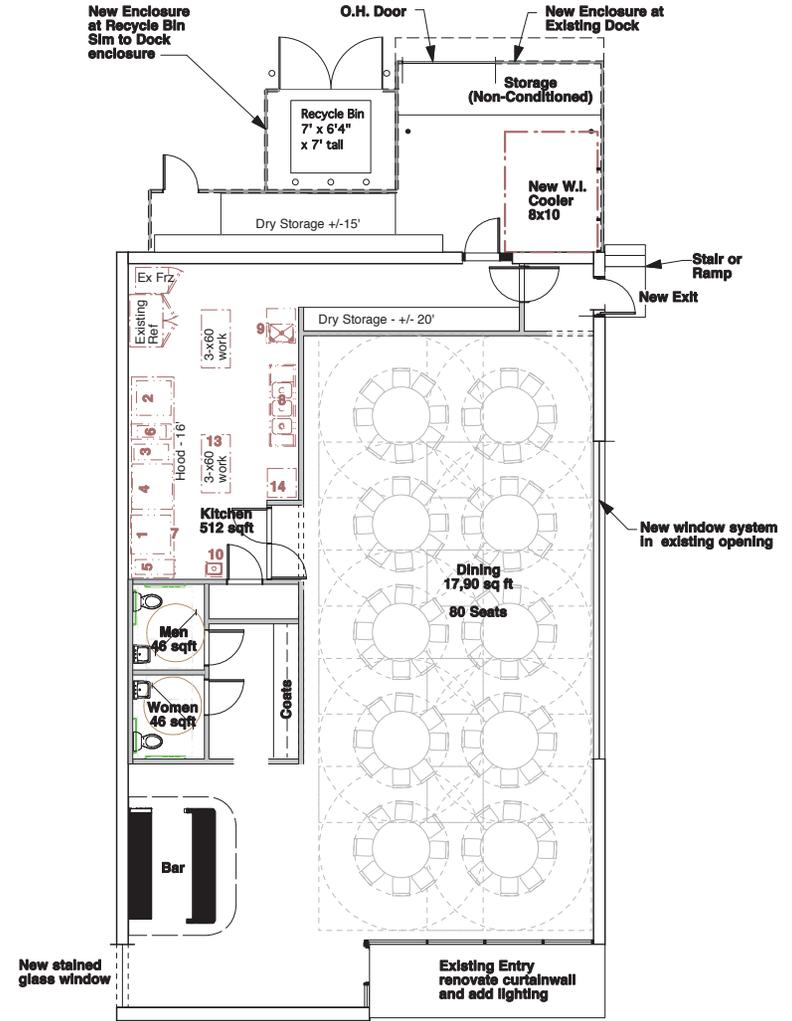
1

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**2 Preliminary Roof Plan**  
3/32" = 1'-0"



**1 Preliminary Floor Plan**  
3/32" = 1'-0"



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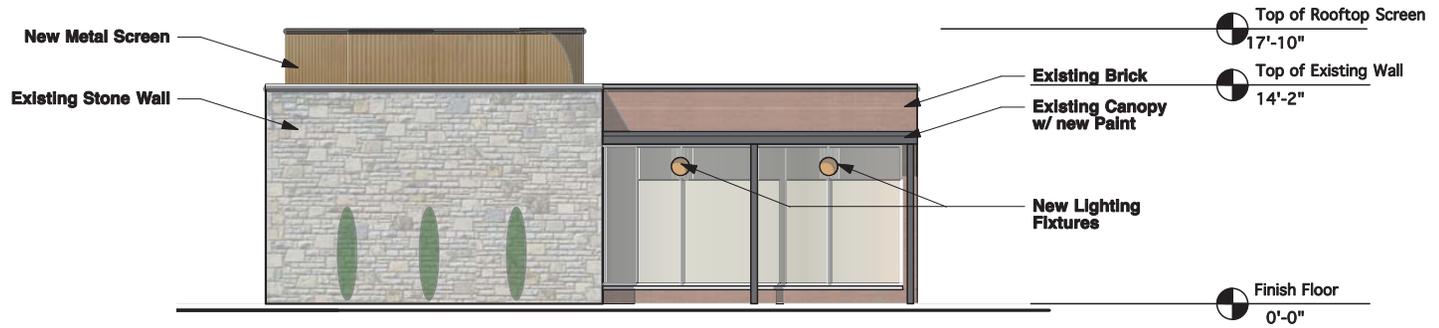
# Plans

2

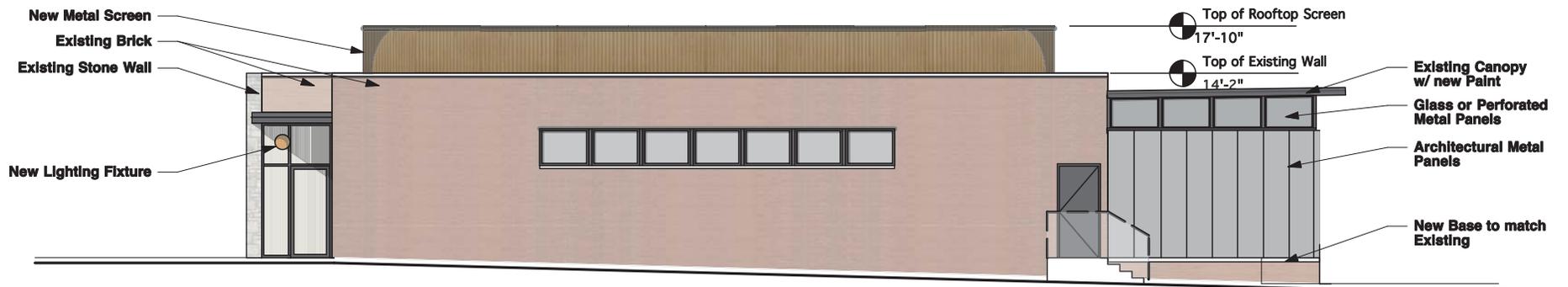
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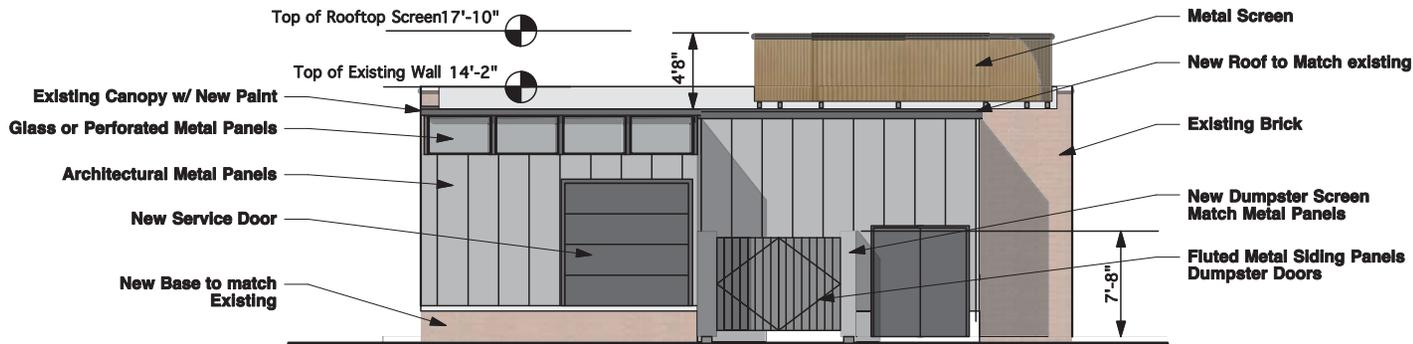




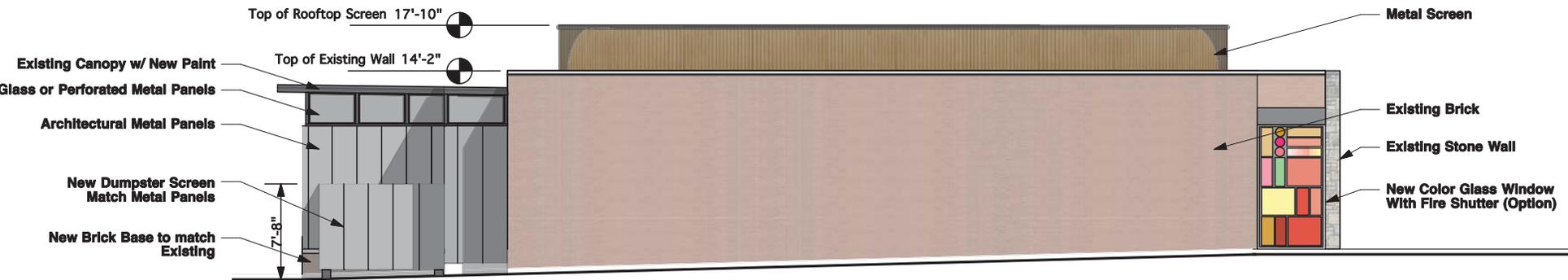
**1 South Elevation**  
Scale: 1/8" = 1'-0"



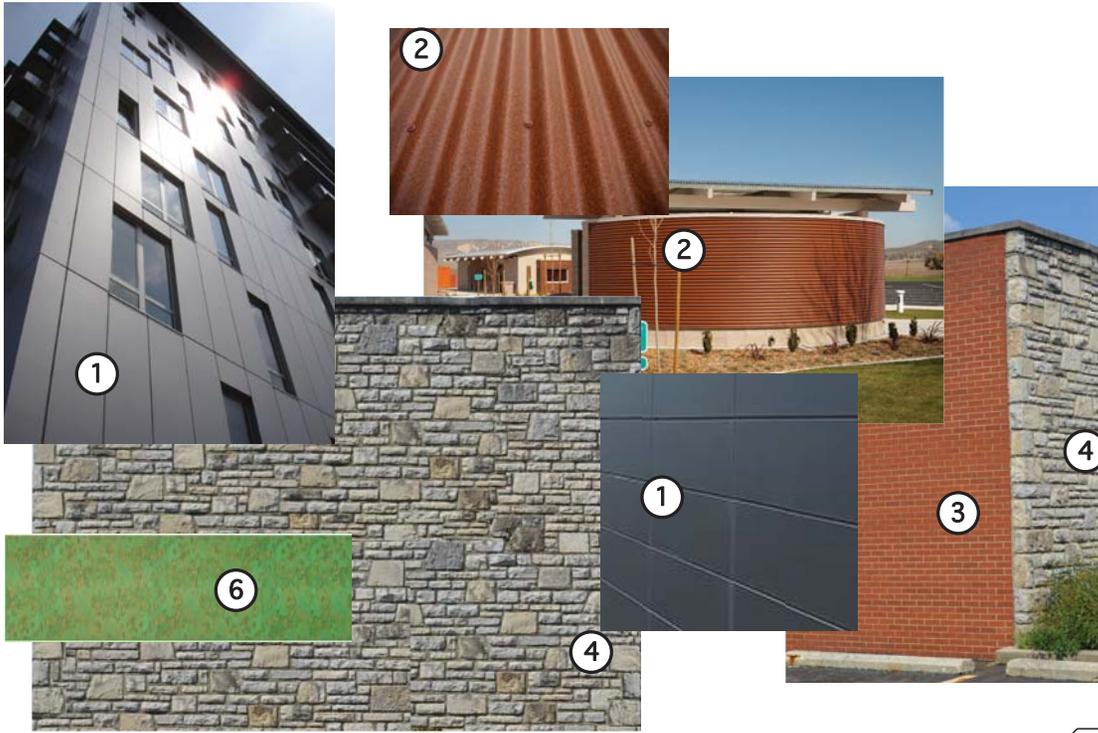
**2 East Elevation**  
Scale: 1/8" = 1'-0"



**3 North Elevation**  
Scale: 1/8" = 1'-0"



**4 West Elevation**  
Scale: 1/8" = 1'-0"

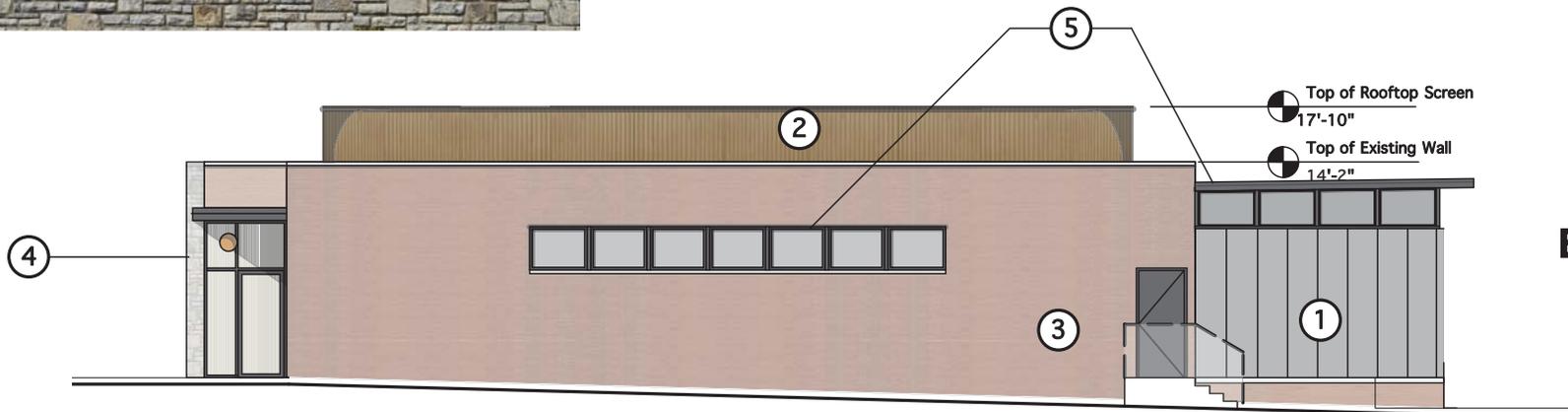


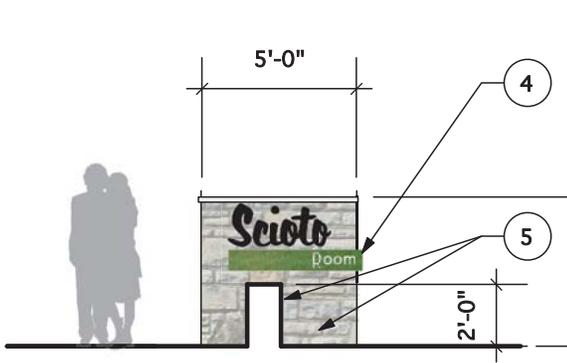
## Material Legend:

1. Proposed metal panels @ screen wall  
Alucobond aluminum composite (metal)  
Color graphite/black
2. Proposed metal panels @ rooftop equipment screening (similar in color and profile to image)  
7/8" corrugated metal panels with Kynar finish (paint)
3. Existing Brick
4. Existing Stone
5. Miscellaneous metal trim, paint to match panels
6. Copper Patina (sign accent)
7. Pendant Porch Fixture 14" diameter

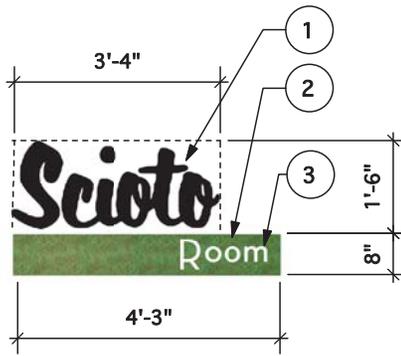


**Bench Options:**





**3** Ground Sign Elevation  
Scale: 1/2"=1'-0"



**2** Preliminary Signage Detail  
Scale: 1/2"=1'-0"



**1** Wall Sign @ Primary Facade  
Scale: 1/8"=1'-0"

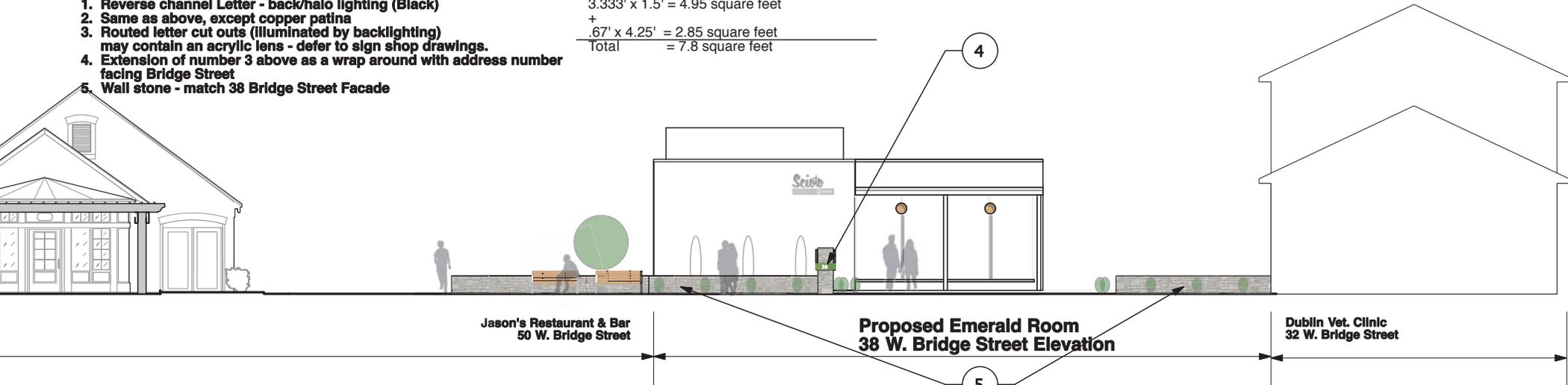
**Sign Material Legend**

"x"

1. Reverse channel Letter - back/halo lighting (Black)
2. Same as above, except copper patina
3. Routed letter cut outs (illuminated by backlighting) may contain an acrylic lens - defer to sign shop drawings.
4. Extension of number 3 above as a wrap around with address number facing Bridge Street
5. Wall stone - match 38 Bridge Street Facade

**Sign Area**

3.333' x 1.5' = 4.95 square feet  
+  
.67' x 4.25' = 2.85 square feet  
Total = 7.8 square feet



**3** Elevation @ Street Wall on Bridge Street Building Line  
Scale: 1"=10'-0"



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**Signage and Street Wall**

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**6**

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**§ 153.065 (B)6 Demonstration of Parking Need:**

**A. The land use and development character of the area to be served by the parking facility;**

The facility is located in the Dublin Historic Core District. The district is, by design, developed intensely with restaurants and pedestrian oriented activities. The area is dependent on this type of use to generate activity, visitors and to provide the character that gives the district a sense of “place”.

The Historic Core district is served by: the 100 car “Darby” public parking lot, the “Teachers’ parking lot at the end of North Street (valet accommodation of 80+), the Indian Run lot for employees, parking lots to the south of Bridge Street and various private lots that are put into common use by covenants.

(Please refer to area diagram on sheet 7)

**B. The availability of other publicly available parking in the area;**

The proposed facility shares a boundary with the Darby public parking lot (100 spaces). There is another, slightly smaller public parking area south of Bridge Street

The facility will be served by the ParkOps company in coordination with the parking of other similar uses in the District. ParkOps volume reports suggest an excess capacity - refer to parking availability analysis sheet 8.

**C. The timing of parking use relative to other uses in the area; Business Model:**

The proposed facility will function as a meeting/banquet room seating a maximum of 100 occupants. The facility will serve primarily to house functions for the local business (and other) community. J.Liu cannot serve the businesses who request over 50 occupants in his current restaurant. The weekends may experience wedding functions or other banquets. Please Refer to the table “Analysis of Activity by Event Type” this sheet.

**Timing of Use/Frequency of Use:**

The Adjacent table “Analysis of Potential site Use by Event Type” provides an analysis of when the event types are most likely to occur. Note that chart evaluates “likelihood of the event type at any given time. While each period is totaled to 100% as an evaluation of the potential of that time slot, activities will be periodic; Mr. Liu’s large banquet facility in Worthington is scheduled for only 30 events for weekends through the year, there could be only one event per morning or evening -given the demands of setting up, cleaning and preparation; and the occurrence of a “maximum” event will be only incidental. for a breakdown of anticipated event types and sizes.

Analysis of Activity by Event Type					
Event Type	Percentage of Business	Occurance by Event Size (Percentage)			
		0 to 25	25 to 50	50 to 75	75 to 100
Conference light refresh	15%	5	60	25	10
Business Mtg full meal	65%	5	40	40	15
Banquet - Other	10%	5	15	70	10
Weddings	10%	N/A	20	70	10

**Analysis of Potential Site Use by Event Type**

Event Type	Percentage of Business	Worthington History				Worthington facility history suggests 30					
		Mon - Friday				Sat			Sunday		
		8A 12P	12P	2P 4P	5P 10P	8A 12P	12P 4P	5P 11P	8A 12P	12P 4P	5P 11P
Conference light refresh	15%	75%		75%	5%		10%	-	20%	5%	
Business Mtg full meal	65%	20%	85%	15%	60%		15%	-	5%	5%	
	10%	5%	15%	10%	20%		25%	20%	50%	80%	50%
Weddings	10%	-	-	-	-		50%	80%	25%	10%	50%

While it is not possible to predict the exact performance of a market driven business use, the tables of the business expectations gives us an analytical tool for evaluating some likely patterns, for example:

Conferences with light refreshments are a small part of the business expectation. When they do occur, they will most likely be morning or mid afternoon events. The first table tells us that they will most likely be 25 to 50 people; with a 10% chance that they will be a large group.

or:

The most common event will be a business meeting with a full meal. The most likely time will be lunch or dinner (lunch more likely); with the size most likely either 25 to 50 or 50 to 75.

or:

The worst case scenarios for each event type will constitute a small percentage of that activity. 1 in 10 banquets or weddings will be a maximum event (cannot seat 100 and have a dance floor). As weddings are expected to be 10% of the business, that is a small likelihood; etc.

**Parking Demand:**

The foregoing information establishes an illustration of “typical” demand expectations for the business in terms of event type and size.

The following table illustrates the demand as required in the Dublin Bridge Street Code (BSC), as developed in Urban Land Institute shared parking recommendations and the estimate value used by Park OPs (parking vendors).

**Analysis of Codified Parking Demand Spaces Required**

Bridge Street Code	Urban Land Institute	Park Ops Estimate
10 per 1,000 GSF	30 per ksf AA	35% of head count
(2,463/1000) x 10	(1,300/1000) x 10	.35 x 100 max
2.463 or 25	39	35

GSF = gross square foot  
ksf AA = per 1,000 square feet of assembly area

We included the two sources in comparison with the Bridge Street code to provide an objective understanding of the business type.

We plan to address parking in the range of the higher numbers, exceeding the BSC guidelines lowest limit.

Banquet facility, conference, party room, may suggest an intense or unusual parking demand. The fact is that the use results in a less intense parking demand than a typical restaurant; there will be only one event per day or evening time slot. The banquet facility will seat once - demand will not be as high as typical restaurant uses that have multiple seatings per evening.

Furthermore, the parking is more manageable having a set arrival time and an ability to be controlled by contract.

Please refer to sheet 8 for an analysis of available parking and proposed parking management strategies.



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38 Bridge Street  
Dublin, Ohio

**Master Parking Plan**

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**§ 153.065 (B)6 Demonstration of Parking Need (continued):**

**D. The parking requirement for similar uses as may be determined by the Director, as described in §153.065(B)(1)(a);**  
N/A, we have established a conservative number.

**E. Whether the location of all provided parking meets the requirements of §153.065(B)(1)(b);**

**The parking strategy includes:**

- ON SITE PARKING 17 (OR 21)
- PARKING OFF SITE BY AGREEMENT 25 (Church after hours) within 600 feet
- 8 (Veterinarian Lot) within 600 feet
- VALET PARKING BY CONTRACT WITH PARK OPS (COORDINATED WITH DISTRICT PARKING BY PARK OPS)

The Owner is able to contractually require meeting room patrons to use the valet service, provide instructions in advance as to where to arrive and what time. The following table illustrates the parking available through Park Ops (the Teachers' Lot) and other parking available to this project by agreements with neighbors.

Using the highest demand numbers from the previous sheet, and the lowest capacity numbers from the following analysis and not counting any contribution from the Church lot, even though it will free up district space, and ASSUMING ZERO CONTRIBUTION FROM THE DARBY LOT (a very conservative analysis) gives us the results in the final column. the results indicate an ability to meet the highest demand number on all but a few evenings per year.

Mr. Liu has agreed to limit his schedule - to schedule around the school events that cause the big parking problems in the district.

**Parking Plan Support**

**Parking Availability Analysis - Executive Summary**

From Park Ops Volume Reports - 12 Months - availability of parking in the "Teacher's Lot" - the primary valet service lot, plus other a

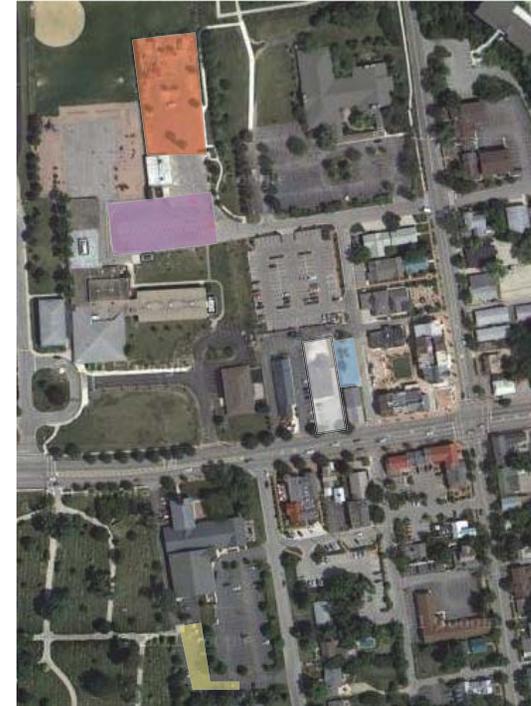
Month	Average Volume	High *	* Adjust High @ 70% - cars at any time	apparent available @ "Teachers"	Church Lot ***	Vet lot - verbal committme	Dense Park Rear of 38 Bridge St.	Apparent Total Min	Plus 17 on site
November	38	74	51.8	28 to 42	25	8	4	40.2	57.2
October	43	90	63	12 to 37	25	8	4	29	46
September	49.8	78	54.6	25 to 30.2	25	8	4	37.4	54.4
August	63	110	77	3* to 17	25	8	4	15	32
July	62	100	70	10 to 18	25	8	4	22	39
June	62.5	104	72.8	7 to 17	25	8	4	19.2	36.2
May	61	110	77	3** to 19	25	8	4	15	32
April	51.3	77	53.9	26 to 28	25	8	4	38.1	55.1
March	48	88	61.6	18 to 32	25	8	4	30.4	47.4
February	54.1	77	53.9	26 to 25.9	25	8	4	38.1	55.1
January	52.5	82	57.4	22 to 27	25	8	4	34.6	51.6
December	64	87	60.9	19 to 16	25	8	4	31.1	48.1
November	49.5	89	62.3	18 to 30.5	25	8	4	29.7	46.7

\* highs are generally one to three occurrences in any month

calculation based upon least available at high volume

\*\* Includes Memorial tournament Traffic

\*\*\* Church Lot parking will be by employees in the evenings only. This will free 14 or more spaces in the "Indian Run Lot" This parking count has **NOT been included in the total available.**



- 38 Bridge Street • 17 (21 "managed")
- Teachers Lot • Park Ops Volume reports inform the summary analysis this sheet
- Church Lot • 25 Space Commitment if required for Valet/Employees
- Indian Run • Employee & Public Parking
- Veterinarian Lot • By Agreement

**Parking Strategy Diagram**  
not to scale



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38 Bridge Street  
Dublin, Ohio

**Master Parking Plan**

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**§ 153.065 (B)6 Demonstration of Parking Need (continued):**

**F. Whether compliance with Table 153.065- A is made to the maximum extent practicable;**

Our demand analysis on sheet 7 establishes a range of parking demand in the 25 to 39 (we assume 35 to 39). If we add the 4 spaces that the enclosed rear space would contribute BSC would establish 29. 125% of 29 is 36.25). The analysis on sheet 8 established that we meet this analysis on all but the most extreme night of the year (and then primarily because of the conservative analysis).

**G. Whether other adjustments as described in this section should apply in conjunction with or in lieu of the requested need-based adjustment; and N/A**

**H. Whether supporting documentation, if provided, adequately demonstrates that sufficient parking is available to meet projected typical demand.**

The foregoing tabular and narrative information clearly establishes a business character and parking demand expectations. The "Parking Availability Analysis" table compiles the parking data in a very conservative posture and still indicates a capacity to serve this business on all but the most extreme evenings. Mr. Liu has indicated a willingness to schedule around, or down schedule events when heavy parking demands are known, or anticipated.

**Miscellaneous Site Development**

**Interior Landscaping**

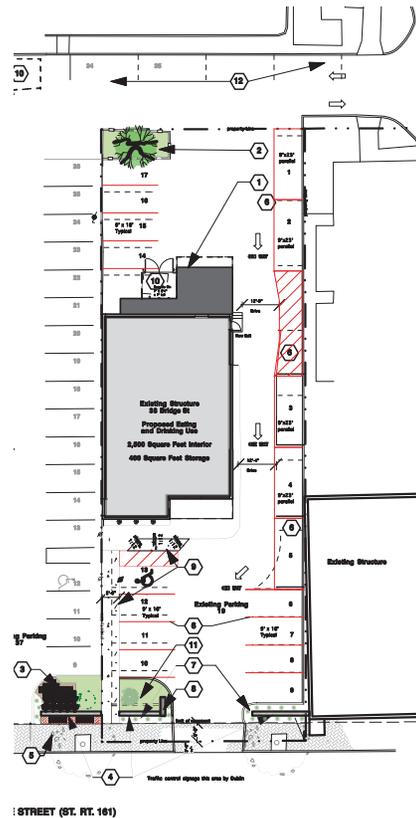
We have established two islands - each exceed 10'W and 150 sq. feet. We propose a large deciduous at the rear and an ornamental deciduous at the front. We would like to maintain a view of the primary facade from the street.

**Interior Parking Lighting**

Refer to sheet E-1 attached fixture cut.

**Site Drainage**

The site surface is sheet drained - we propose no change. We intend to drop the elevation of the islands to allow incidental local drainage into the island areas.



**Site Plan 38 Bridge Street**  
Scale: 1" = 40'

**Background Analysis (prior):**

**USES (153.059; TABLE 153.059-A): Eating and Drinking**

**PARKING FOR EXISTING STRUCTURES (153.065(B)(1)(A))**

1. For an existing structure - change of use and adding spaces, bring into compliance with the tabled information for Eating and Drinking:

**10 per each 1,000 square feet - gross interior space = 2,463 square feet**  
**Enclosed Storage Area = 400 square feet**

**Total = 2,863 square feet X 10/1000 = 29 spaces**

**Proposal:**

**Existing Spaces on site: 19**  
**Loss of spaces on site: 2 (landscape islands and drive clearance)**  
**Total on site parking 17**

*Note that this total parking load includes four (4) spaces required for the un conditioned storage space we enclosed as a civic gesture. If we fenced this space instead of enclosing the total required would be 25*

**Additional 12 spaces required to be compliant with the BSC Zoning acquired by Park Ops, LLC valet service:**

**Park Ops** was presented with an exaggerated worst case scenario in which 38 Bridge Street generates 20 to 30 cars (total of 50 +/- or nearly double what the BSC demands. **Park Ops** was tasked with coordinating the parking of this demand with the load of their other customers in the Historic Core District.

**Parking Management Strategy Park Ops, LLC**

The connected parking spaces FACILITY will accommodate events up to 40 guests. For events that exceed 40 guests, Valet Parking Services will be utilized. Valet Attendants will be staffed at a rate of 2 Attendant for the first 30 guests exceeding 40, and 1 additional valet for each 30 thereafter. Therefore, for an event comprised of 100 estimated guests, no less than 3 Valet Attendants will be present from the onset to maintain orderly traffic flow, staging vehicles so that incoming traffic do not back up onto Bridge St, and finally moving vehicles to the City of Dublin designated Valet Corral in Indian Run parking lot. Further, Valet Attendants at this facility will work in conjunction with Valet Attendants servicing BriHi Square to ensure a smooth and orderly operation at both locations.

Additional parking commitment is established in an agreement between Dublin Community Church and J. Liu - attached Letter.

**Summary:** BSC Required Parking = 29  
Available on site = 17 Parking Strategy (ref to Sheet 8)  
Deficiency = 12 Provides an additional 19 to 45

**Bicycle Parking is required at a rate of 1:10 parking spaces = 3**

Bicycle parking is accommodated in the proposed common bicycle parking area shared with 50 Bridge Street



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**Master Parking Plan**

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