

APPLICATION FOR **DEVELOPMENT**

**PLEASE CHECK THE TYPE OF REVIEW**

- West Innovation Districts  
(Zoning Code Sections 153.037 - 153.043)
- Bridge Street Corridor Districts  
(Zoning Code Sections 153.057- 153.066)
- Wireless Communication Facility (Chapter 99)

**PLEASE CHECK THE APPLICATION TYPE**

- Basic Plan Review
- Development Plan Review
- Waiver Review
- Open Space Fee-in-Lieu
- City Council Appeal
- Minor Project
- Site Plan Review
- Master Sign Plan
- Parking Plan
- Administrative Departure

**Wireless Applications**

- New Tower
- Alternative Structure
- Co-Location
- Temporary

The following applications require review and decision by the **Planning and Zoning Commission, Board of Zoning Appeals, or Architectural Review Board**, but may be submitted concurrently with another application.

Check any that apply:

- Conditional Use
- Administrative Appeal
- Project involving modifications to property within the Architectural Review District
- Other: \_\_\_\_\_
- Rezoning

**SUBMISSION REQUIREMENTS**

- Fee** (refer to the approved fees list)
- Electronic Copies** of all application materials (PDF, JPEG, Word, etc. as appropriate)
- Submission Requirements** for each type of application (refer to checklists)
- Legal Description and/or Property Survey** for the subject property

**I. PROPERTY INFORMATION:** Provide information to identify properties and the proposed development. Attach additional sheets if necessary.

Property Address(es): <u>Post Rd. (S.R. 161)</u>	
Tax ID/Parcel Number(s): <u>275-000005</u>	Parcel Size(s) in Acres: <u>4.86</u>
Existing Land Use/Development: <u>Agricultural</u>	Zoning District: <u>1D-3 Research Assembly</u>

- Check this box if any **Administrative Departures** are requested and attach an Administrative Departure request form.
- Check this box if any **Waivers** are requested as part of the application for development and attach a Waiver Request form.

**II. PROPERTY OWNER INFORMATION:** Indicate the person(s) or organization(s) who own the property proposed for development. Attach additional pages if there are multiple property owners.

Name (Individual or Organization): <u>Ohio Power Company</u>	
Mailing Address: <u>1 Riverside Plaza Columbus, Ohio 43215</u>	
Daytime Telephone: <u>614-595-9433</u>	Fax:
Email or Alternate Contact Information: <u>ewmaher@aep.com</u>	

FOR OFFICE USE ONLY: DIRECTOR'S ACCEPTANCE	
Date of Acceptance:	Next Decision Due Date:
Final Date of Decision:	Determination:
Director's (or Designee's) Signature:	

**RECEIVED**

**FILE COPY**

**APR 04 2013**  
13-026W15-DP  
**CITY OF DUBLIN PLANNING**

**III. APPLICANT(S):** Indicate person(s) submitting the application if different than the property owner(s).

Name: (Individual or Organization) <b>EMH&amp;T</b>	
Mailing Address: <b>5500 New Albany Road East, Columbus, Ohio 43054</b>	
Daytime Telephone: <b>614-775-4415</b>	Fax: <b>614-775-4805</b>
Email or Alternate Contact Information: <b>aschall@emht.com</b>	

**IV. AUTHORIZED REPRESENTATIVE(S):** Indicate the person(s) authorized to represent the property owner and/or applicants.

Name: (Individual or Organization) <b>Andrew Schall, P.E.</b>	
Mailing Address: <b>5500 New Albany Road East, Columbus, Ohio 43054</b>	
Daytime Telephone: <b>614-775-4415</b>	Fax: <b>614-775-4805</b>
Email or Alternate Contact Information: <b>aschall@emht.com</b>	

**V. AUTHORIZATION FOR OWNER'S APPLICANT(S)/REPRESENTATIVE(S):** Complete if applicable.

I, Edward Maher, Supv. Planning & Engineering II, the owner, hereby authorize Andrew Schall to act as a representative(s) in all matters pertaining to the processing and approval of this application, including modifying the application. I agree to be bound by all representations and agreements made by the designated representative.

Signature of Current Property Owner: <i>Edward W. Maher</i>	Date: <b>3/27/13</b>
--	-------------------------

Check this box if the original Authorization for Owner's Applicant(s)/Representative(s) is attached as a separate document.

**VI. AUTHORIZATION TO VISIT THE PROPERTY:** Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as noted below, hereby authorizes City representatives to enter, photograph and post a notice on the property described in this application. This is optional, but recommended.

I, Andrew Schall, the owner or authorized representative, hereby authorize City representatives to enter, photograph and/or post a notice on the property described in this application.

Signature of Owner or Authorized Representative: <i>Andrew Schall</i>	Date: <b>4/3/2013</b>
--	--------------------------

**VII. APPLICANT'S AFFIDAVIT:** This section must be completed and notarized.

I, Andrew Schall, the owner or authorized representative, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted, is complete and in all respects true and correct, to the best of my knowledge and belief.

Signature of Current Property Owner or Authorized Representative: <i>Andrew Schall</i>	Date: <b>4/3/2013</b>
---	--------------------------

Check this box if the Applicant's Affidavit and Acknowledgement is attached as a separate document.

Subscribed and sworn to before me this 3<sup>rd</sup> day of April, 2013

State of Ohio (Notary Public Seal)

County of Franklin



KELLY A. DAVIS  
Notary Public, State of Ohio  
My Commission Expires 10-18-2014

*Kelly A. Davis*



Case # \_\_\_\_\_ - \_\_\_\_\_

# APPLICATION FOR DEVELOPMENT

### PLEASE CHECK THE TYPE OF REVIEW

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(Zoning Code Sections 153.037 - 153.043)
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Check any that apply:

- Conditional Use
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- Project involving modifications to property within the Architectural Review District
- Other: \_\_\_\_\_
- Rezoning

### SUBMISSION REQUIREMENTS

- Fee** (refer to the approved fees list)
- Electronic Copies** of all application materials (PDF, JPEG, Word, etc. as appropriate)
- Submission Requirements** for each type of application (refer to checklists)
- Legal Description and/or Property Survey** for the subject property

### I. PROPERTY INFORMATION: Provide information to identify properties and the proposed development. Attach additional sheets if necessary.

Property Address(es): Dublin-Plain City Rd. (S.R. 161)	
Tax ID/Parcel Number(s): 275-000001	Parcel Size(s) in Acres: 96.32
Existing Land Use/Development: Agricultural	Zoning District: ID-3 Research Assembly

- Check this box if any **Administrative Departures** are requested and attach an Administrative Departure request form.
- Check this box if any **Waivers** are requested as part of the application for development and attach a Waiver Request form.

### II. PROPERTY OWNER INFORMATION: Indicate the person(s) or organization(s) who own the property proposed for development. Attach additional pages if there are multiple property owners.

Name (Individual or Organization): City of Dublin	
Mailing Address: 5200 Emerald Parkway Dublin, Ohio 43017	
Daytime Telephone: 614-410-4420	Fax: 614-496-8337
Email or Alternate Contact Information: mgrigsby@dublin.oh.us	

FOR OFFICE USE ONLY: DIRECTOR'S ACCEPTANCE	
Date of Acceptance:	Next Decision Due Date:
Final Date of Decision:	Determination:
Director's (or Designee's) Signature:	

**III. APPLICANT(S):** Indicate person(s) submitting the application if different than the property owner(s).

Name: (Individual or Organization) <b>EMH&amp;T</b>	
Mailing Address: <b>5500 New Albany Road East, Columbus, Ohio 43054</b>	
Daytime Telephone: <b>614-775-4415</b>	Fax: <b>614-775-4805</b>
Email or Alternate Contact Information: <b>aschall@emht.com</b>	

**IV. AUTHORIZED REPRESENTATIVE(S):** Indicate the person(s) authorized to represent the property owner and/or applicants.

Name: (Individual or Organization) <b>Andrew Schall, P.E.</b>	
Mailing Address: <b>5500 New Albany Road East, Columbus, Ohio 43054</b>	
Daytime Telephone: <b>614-775-4415</b>	Fax: <b>614-775-4805</b>
Email or Alternate Contact Information: <b>aschall@emht.com</b>	

**V. AUTHORIZATION FOR OWNER'S APPLICANT(S)/REPRESENTATIVE(S):** Complete if applicable.

I, ~~Marsha I Grosby~~ **Marsha I Grosby**, the owner, hereby authorize **Andrew Schall, EMH&T** to act as a representative(s) in all matters pertaining to the processing and approval of this application, including modifying the application. I agree to be bound by all representations and agreements made by the designated representative.

Signature of Current Property Owner: <u><i>Marsha I Grosby</i></u>	Date: <u><b>4/9/13</b></u>
---	----------------------------

Check this box if the original Authorization for Owner's Applicant(s)/Representative(s) is attached as a separate document.

**VI. AUTHORIZATION TO VISIT THE PROPERTY:** Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as noted below, hereby authorizes City representatives to enter, photograph and post a notice on the property described in this application. This is optional, but recommended.

I, ~~Marsha I Grosby~~ **Marsha I Grosby**, the owner or authorized representative, hereby authorize City representatives to enter, photograph and/or post a notice on the property described in this application.

Signature of Owner or Authorized Representative: <u><i>Marsha I Grosby</i></u>	Date: <u><b>4/9/13</b></u>
---	----------------------------

**VII. APPLICANT'S AFFIDAVIT:** This section must be completed and notarized.

I, **Marsha I Grosby**, the owner or authorized representative, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted, is complete and in all respects true and correct, to the best of my knowledge and belief.

Signature of Current Property Owner or Authorized Representative: <u><i>Marsha I Grosby</i></u>	Date: <u><b>4/9/13</b></u>
--	----------------------------

Check this box if the Applicant's Affidavit and Acknowledgement is attached as a separate document.

Subscribed and sworn to before me this **9<sup>th</sup>** day of **April**, 20 **13**  
 State of **Ohio**  
 County of **Franklin**



NOTARY PUBLIC  
 STATE OF OHIO  
 Comm. Expires  
**January 02, 2018**

ADMINISTRATIVE **DEPARTURE** REQUEST FORM



**GENERAL INFORMATION**

Please complete one Administrative Departure Request form for each design issue or instance and attach to the **Application for Development**.

**APPLICATION REQUIREMENTS**

- Completed original Application for Development
- Administrative Departure review criteria statement (below, or attached)
- Associated applicable site plans/elevations/etc. clearly identifying proposed Administrative Departures
- Electronic copies (PDF, JPEG, Word, etc. as appropriate) of all application materials
- 10 scaled copies (11x17 or 22x34 as appropriate) specifically showing the proposed Administrative Departure, with the Administrative Departure clearly indicated on all other submitted plans and application materials

**I. PROPERTY INFORMATION:** Provide information to identify properties and the proposed development. Attach additional sheets if necessary.

Property Address(es): Post Road (St. Rt. 161)	
Tax ID/Parcel Number(s): 275-000005	Zoning District: ID-3 Research Assembly
List the Zoning Code Section for which Departure is requested. 153.205 Surfacing and Maintenance	
Briefly describe the proposed Administrative Departure(s). Attach additional pages as needed. Propose to use a gravel driveway in lieu of an asphalt or concrete drive	

**II. ADMINISTRATIVE DEPARTURE CRITERIA:** Address the following review criteria specific to the proposed Administrative Departure (refer to Zoning Code Section 153.042(D)(6) for additional information). Attach additional pages as needed.

Explain whether the requested Administrative Departure is so substantial in nature or degree that it represents a major divergence from the intent of the requirements of the West Innovation District regulations.	Not a substantial divergence as the drive is a temporary condition
Explain whether the proposed Administrative Departure is necessitated by conditions related to the site, rather than simply as a means to reduce costs or as a matter of general convenience.	It is a temporary condition
Describe how, if approved, the proposed Administrative Departure will maintain the specific purpose of the requirements and conditions of the regulation that is the subject of the request.	The temporary driveway drive will provide access until a future site road is installed
Describe how the proposed Administrative Departure is limited to that necessary to account for special site conditions or development requirements specific to an individual user.	It is a temporary condition

**FOR OFFICE USE ONLY: ART DETERMINATION**

Date of Decision:	ART Determination:
Notes:	
Director's (or Designee's) Signature:	Date:

**RECEIVED**  
APR 04 2013  
13-026WID-DP  
CITY OF DUBLIN  
PLANNING



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- Administrative Departure review criteria statement (below, or attached)
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**I. PROPERTY INFORMATION:** Provide information to identify properties and the proposed development. Attach additional sheets if necessary.

Property Address(es): <u>Post Road (St. Rt. 161)</u>	
Tax ID/Parcel Number(s): <u>275-000005</u>	Zoning District: <u>ID-3 Research Assembly</u>
List the Zoning Code Section for which Departure is requested. <u>Purchase Agreement Exhibit C, Landscape Requirements</u>	
Briefly describe the proposed Administrative Departure(s). Attach additional pages as needed.  <u>East property line 10' buffer zone: Cannot provide a double row of evergreens and deciduous trees every 30' in a 10' strip.</u>	

**II. ADMINISTRATIVE DEPARTURE CRITERIA:** Address the following review criteria specific to the proposed Administrative Departure (refer to Zoning Code Section 153.042(D)(6) for additional information). Attach additional pages as needed.

Explain whether the requested Administrative Departure is so substantial in nature or degree that it represents a major divergence from the intent of the requirements of the West Innovation District regulations.	<u>Not an Administrative departure as it is a Purchase Agreement requirement intended to override typical zoning requirements.</u>
Explain whether the proposed Administrative Departure is necessitated by conditions related to the site, rather than simply as a means to reduce costs or as a matter of general convenience.	<u>Cannot fit that that many trees in a 10' strip. Purchase Agreement site design requirements regarding trees and buffer widths of the do seem to be coordinated.</u>
Describe how, if approved, the proposed Administrative Departure will maintain the specific purpose of the requirements and conditions of the regulation that is the subject of the request.	<u>10' Buffer Zone provided with an appropriate amount of landscaping provided for the zone width.</u>
Describe how the proposed Administrative Departure is limited to that necessary to account for special site conditions or development requirements specific to an individual user.	<u>Site conditions do not allow for requested planting.</u>

**FOR OFFICE USE ONLY: ART DETERMINATION**

Date of Decision:	ART Determination:
Notes:	
Director's (or Designee's) Signature:	Date:

**RECEIVED**  
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## ADMINISTRATIVE DEPARTURE REQUEST FORM

### GENERAL INFORMATION

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Property Address(es): Post Road (St. Rt. 161)	
Tax ID/Parcel Number(s): 275-000005	Zoning District: ID-3 Research Assembly
List the Zoning Code Section for which Departure is requested. Purchase Agreement Exhibit C, Landscape Requirements	
Briefly describe the proposed Administrative Departure(s). Attach additional pages as needed. Fence along east property line is located 15' from property line.	

### II. ADMINISTRATIVE DEPARTURE CRITERIA: Address the following review criteria specific to the proposed Administrative Departure (refer to Zoning Code Section 153.042(D)(6) for additional information). Attach additional pages as needed.

Explain whether the requested Administrative Departure is so substantial in nature or degree that it represents a major divergence from the intent of the requirements of the West Innovation District regulations.	Not an Administrative departure as it is a Purchase Agreement requirement intended to override typical zoning requirements.
Explain whether the proposed Administrative Departure is necessitated by conditions related to the site, rather than simply as a means to reduce costs or as a matter of general convenience.	Purchase Agreement site design requirements regarding trees and buffer widths of the do seem to be coordinated.
Describe how, if approved, the proposed Administrative Departure will maintain the specific purpose of the requirements and conditions of the regulation that is the subject of the request.	Fence will be provided 15' from the east property line.
Describe how the proposed Administrative Departure is limited to that necessary to account for special site conditions or development requirements specific to an individual user.	Fence at 25' would be located in the internal site drive.

### FOR OFFICE USE ONLY: ART DETERMINATION

Date of Decision:	ART Determination:
Notes:	
Director's (or Designee's) Signature:	Date:

**RECEIVED**

CONVEYANCE TAX EXEMPT	
A	AM
CLARENCE E. MINGO II FRANKLIN COUNTY AUDITOR	

201302250031729  
Pg# 5 \$62.00 T20130616873  
02/25/2013 3:24PM BXSTEWART IIT  
Terry J. Brown  
Franklin County Recorder

902265  
TRANSFERRED

FEB 25 2013

CLARENCE E. MINGO II  
AUDITOR  
FRANKLIN COUNTY, OHIO

LIMITED WARRANTY DEED  
242

The CITY of DUBLIN, an Ohio municipal corporation ("Grantor"), having an office at 5200 Emerald Parkway, Dublin, Ohio 43017, for valuable consideration, receipt of which is hereby acknowledged, subject to the exceptions, reservations, and conditions hereinafter set forth, hereby Grants and Conveys with limited warranty covenants pursuant to ORC § 5302.07, to OHIO POWER COMPANY, an Ohio corporation ("Grantee"), whose tax mailing address is 1 riverside Plaza, Columbus, Ohio 43215, the real estate in Washington Township, Franklin County, Ohio as depicted on Exhibit "A" Ohio Power Company - Amlin Station site 2.743 acres - additional land and described on Exhibit "B" - Description of 2.743 acres for Ohio Power Company, both documents as attached hereto and incorporated herein by reference.

Last transfer: Being part of the property conveyed to the City of Dublin of record with the Franklin County Recorder as instrument number 20021230334487.

Split from parcel #: 275-000001.

This conveyance is hereby made subject to the following:

1. All existing public highways and streets, easements, covenants, conditions, reservations and restrictions if any, whether or not of record, and to all zoning and other governmental regulations, restrictions, and non-delinquent real estate taxes and assessments .
2. The lien of real estate taxes and assessments not yet due and payable.

The terms and conditions contained in the Real Estate Purchase agreement, as executed by the parties on January 30, 2013, shall be binding upon Grantee an, its successors and assigns. The property herein conveyed is being conveyed for the specific purpose of operating an electrical substation thereon and for other uses associated therewith. If such substation is not constructed in accordance with the terms and conditions set forth in the Real Estate Purchase Agreement, commencing by July 31, 2014 and completed on or before December 31, 2014, subject to delays caused by Force Majeure, Grantee, upon Grantor's request shall prepare and execute a Limited Warranty deed to convey the property back to the Grantor.

By acceptance of this deed, the Grantee acknowledges and agrees that the Property is being sold and conveyed in its present condition, "AS-IS, WHERE- IS, WITH ALL FAULTS", and Grantee hereby assumes the risk that adverse past, present, and future physical characteristics and conditions may not have been revealed or investigated. Grantee hereby waives and releases any and all objections to or claims with respect to any and all physical characteristics and existing conditions of the Property including, without limitation, any hazardous material, hazardous substances, contaminants, pollutants, or asbestos containing materials in, at, on, under or related to the Property.

To Have and to Hold the above Premises with the appurtenances thereunto belonging to said Grantee, its successors and assigns forever.

DATED this 30 day of January, 2013.

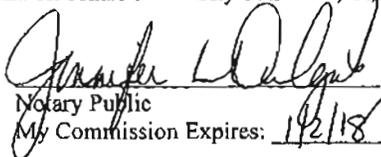
City of Dublin, Ohio,  
An Ohio Corporation

By:   
Marsha I Grigsby  
City Manager

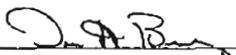
STATE OF OHIO )  
COUNTY OF FRANKLIN ) SS:

The foregoing instrument was acknowledged before me this 30<sup>th</sup> day of January, 2013,  
by Marsha I Grigsby, as City Manager for and on behalf of the City of Dublin, Ohio.

 JENNIFER L. DELGADO  
NOTARY PUBLIC  
STATE OF OHIO  
Comm. Expires  
January 02, 2018

  
Notary Public  
My Commission Expires: 1/2/18

OHIO POWER COMPANY

By:   
Dean A. Berry  
Manager, Real Estate Asset Management  
American Electric Power Service Corporation  
Authorized Signer

STATE OF OHIO )  
COUNTY OF FRANKLIN ) SS:

The foregoing instrument was acknowledged before me this \_\_\_ day of January, 2013, by Dean A Berry Manager, Real Estate Asset Management, American Electric Power Service Corporation, as Authorized Signer on behalf of Ohio Power Company.



Peggy Wright  
Notary Public - State of Ohio  
My Commission Expires  
July 6, 2015

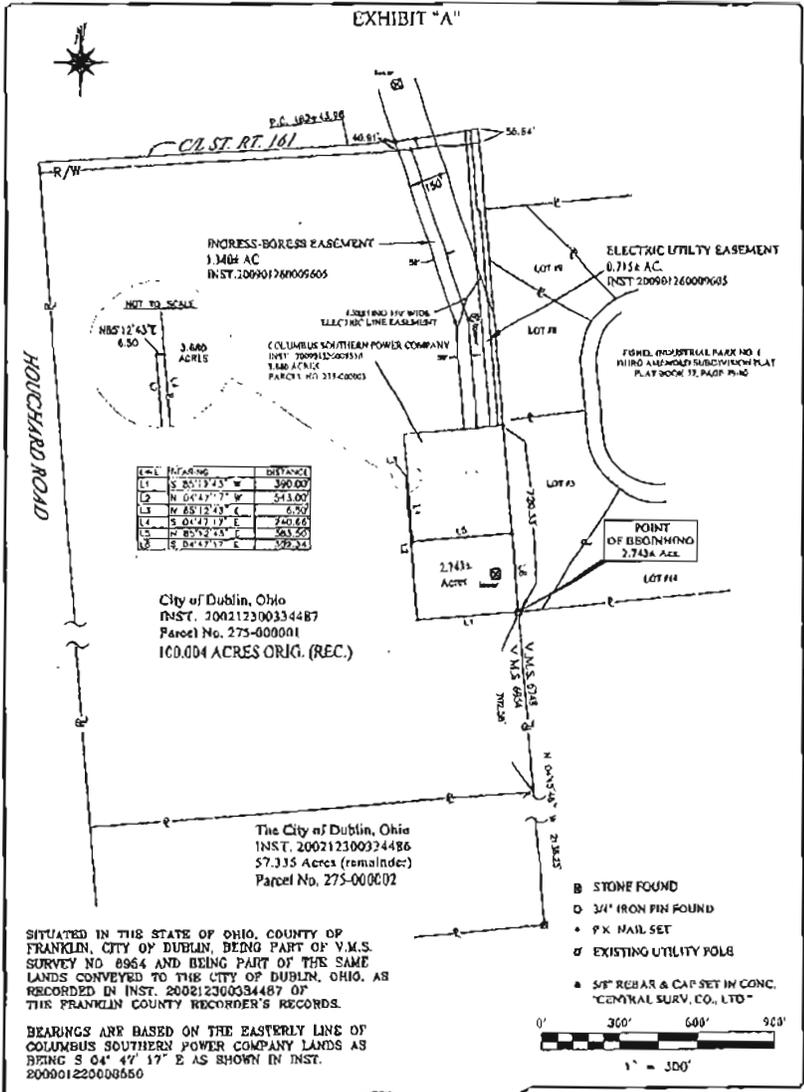
*Peggy Wright*  
Notary Public  
My Commission Expires: 7-6-15

This instrument was prepared by Kenneth E McDonough, Assistant General Counsel - Real Estate, American Electric Power Service Corporation, 1 Riverside Plaza, Columbus, Ohio 43215, for and on behalf of Ohio Power Company.

**TAX NOTICES: OHIO POWER COMPANY, PO Box 16428, Columbus, Ohio 43216.**

Stewart Title Agency 01032-3132 um  
of Columbus Box

EXHIBIT "A"



SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF DUBLIN, BEING PART OF V.M.S. SURVEY NO. 8964 AND BEING PART OF THE SAME LANDS CONVEYED TO THE CITY OF DUBLIN, OHIO, AS RECORDED IN INST. 200212300334487 OF THE FRANKLIN COUNTY RECORDER'S RECORDS.

BEARINGS ARE BASED ON THE EASTERLY LINE OF COLUMBUS SOUTHERN POWER COMPANY LANDS AS BEING S 04° 47' 17" E AS SHOWN IN INST. 200901220006560

CENTRAL SURVEYING CO., LTD.



*William L. Willis*  
WILLIAM L. WILLIS  
P.S. NO. 7168

<b>Central Surveying Co., Ltd.</b> 7563 East Main Street Reynoldsburg, Ohio, 43068 614-884-1100	
FOR <b>OHIO POWER COMPANY</b> PROPOSED AMLN STATION SITE 2.7431 ACRES-ADDITIONAL LAND	
Drawn By: ml	Checked By: sm
Scale: 1" = 300'	Date: 11/25/12
File Number: 12-0704-1-3-70 ml	Drawing Number:
Publication: 01/26/13	2012-0704

Exhibit "B"

DESCRIPTION OF 2.743 ACRES  
for  
Ohio Power Company

Situated in the State of Ohio, County of Franklin, City of Dublin, being part of Virginia Military Survey No. 6954, and being part of the same lands conveyed to City of Dublin, Ohio (100.004 acres, Parcel I.D. 275-000001), as recorded in Instrument No. 200212300334487, all references contained herein are to the Franklin County Recorder's records, Franklin County, Ohio and being shown on Exhibit "A" attached hereto and made a part thereof and being more particularly bounded and described as follows:

Beginning at a stone found on the easterly line of said City of Dublin, Ohio lands, on the easterly line of Virginia Military Survey No. 6954, the westerly line of Virginia Military Survey No. 6748, and at the southwesterly corner of Lot No. 3 of Fishel Industrial Park No. 1 Third Amended Subdivision Plat, recorded in Plat Book 77, Page 79-80;

thence, S 85° 12' 43" W, 390.00 feet running within said City of Dublin lands, to a 5/8 inch rebar and cap set in concrete;

thence, continuing within said City of Dublin, Ohio lands the following two (2) consecutive courses:

- 1) N 04° 47' 17" W, 543.00 feet to a 5/8 inch rebar and cap set in concrete;
- 2) N 85° 12' 43" E, 6.50 feet to a 5/8 inch rebar and cap set in concrete found in the westerly line of a 3.680 acre tract of land conveyed to Columbus Southern Power Company, as recorded in Instrument No. 200901220008550, said 5/8 inch rebar and cap set being located S 04° 47' 17" E, 177.36 feet from a 5/8 inch rebar and cap set in concrete found at the northwesterly corner of said southwesterly Columbus Southern Power Company tract;

thence, S 04° 47' 17" E, 240.66 feet running with the westerly line of said Columbus Southern Power Company lands to a 5/8 inch rebar and cap set in concrete;

thence, N 85° 12' 43" E, 383.50 feet running with the southerly line of said Columbus Southern Power Company lands to a 5/8 inch rebar and cap set in concrete found on the easterly line of said Lot No. 3 of the Fishel Industrial Park No. 1 Third Amended Subdivision Plat;

thence, S 04° 47' 17" E, 302.34 feet running with the easterly line of said City of Dublin, Ohio lands, the easterly line of said Virginia Military Survey 6954, and the westerly line of said Virginia Military Survey 6748 to the point of beginning and containing 2.743 acres of land, more or less, and being subject to all legal streets, highways, right-of-ways, alleys, easements, agreements and/or conditions of record, if any.

Bearings are based on the easterly line of Columbus Southern Power Company lands as being S 04° 47' 17" E, as shown in Instrument No. 200901220008550.

All iron pins set are 5/8" x 30" long with a 1" yellow plastic cap stamped "Central Surv. Co., Ltd." set in concrete, unless otherwise noted on Exhibit "A".



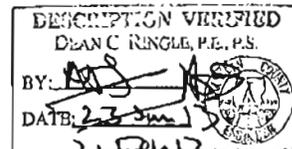
*William L. Willis*

WILLIAM L. WILLIS, P.S. No. 7168  
CENTRAL SURVEYING CO. LTD.  
7563 E. Main Street  
Reynoldsburg, OH 43068

No Plat Required  
City of Dublin

*Greg Grundeman 28 Jan 2013*  
Greg Grundeman, Planning Manager  
Attach to parcel on north and east side.

0-104-A  
5/11/13  
2.743 Acre  
out of  
(275)  
1



# CITY OF DUBLIN, OHIO

## DEVELOPMENT PLAN

# AEP AMLIN STATION

### 7123 PLAIN CITY-DUBLIN ROAD (S.R. 161) DUBLIN, OHIO 43016

### 2013

**SHEET INDEX**

TITLE SHEET	E-1205	1
GENERAL NOTES	E-1206	2
EXISTING CONDITIONS PLAN	E-1207	3
SITE PLAN NORTH	E-1208	4
SITE PLAN SOUTH	E-1209	5
GRADING PLAN NORTH	E-1210	6
GRADING PLAN SOUTH	E-1211	7
PAD LANDSCAPE PLAN	E-1212	8

**SITE DATA**

Parcel Number	275-000005
Zoning	ID-3 Research Assembly
Proposed Use	Electrical Substation
Minimum Lot Size	3.0 Ac.
Total Site (Parcel) Area	4.86 Ac.
Access Easement Area	1.34 Ac.
Pad Area	3.36 Ac.
Maximum Lot Coverage	70%
Proposed Lot Coverage	69%
Maximum Building Height	30 Feet
Proposed Building Height	18 Feet (Control Building)
Setbacks (Buffers per Deed)	50' North, South and West Sides 10' East Side
Pavement Setbacks	N/A
Flood Designation	Zone "X" (Outside the 500 year floodplain)
	Flood Zone Community Panel: 127 of 465 Map Number: 39049C0127K Effective Date: June 17, 2008

**TREE SURVEY & TREE PRESERVATION**

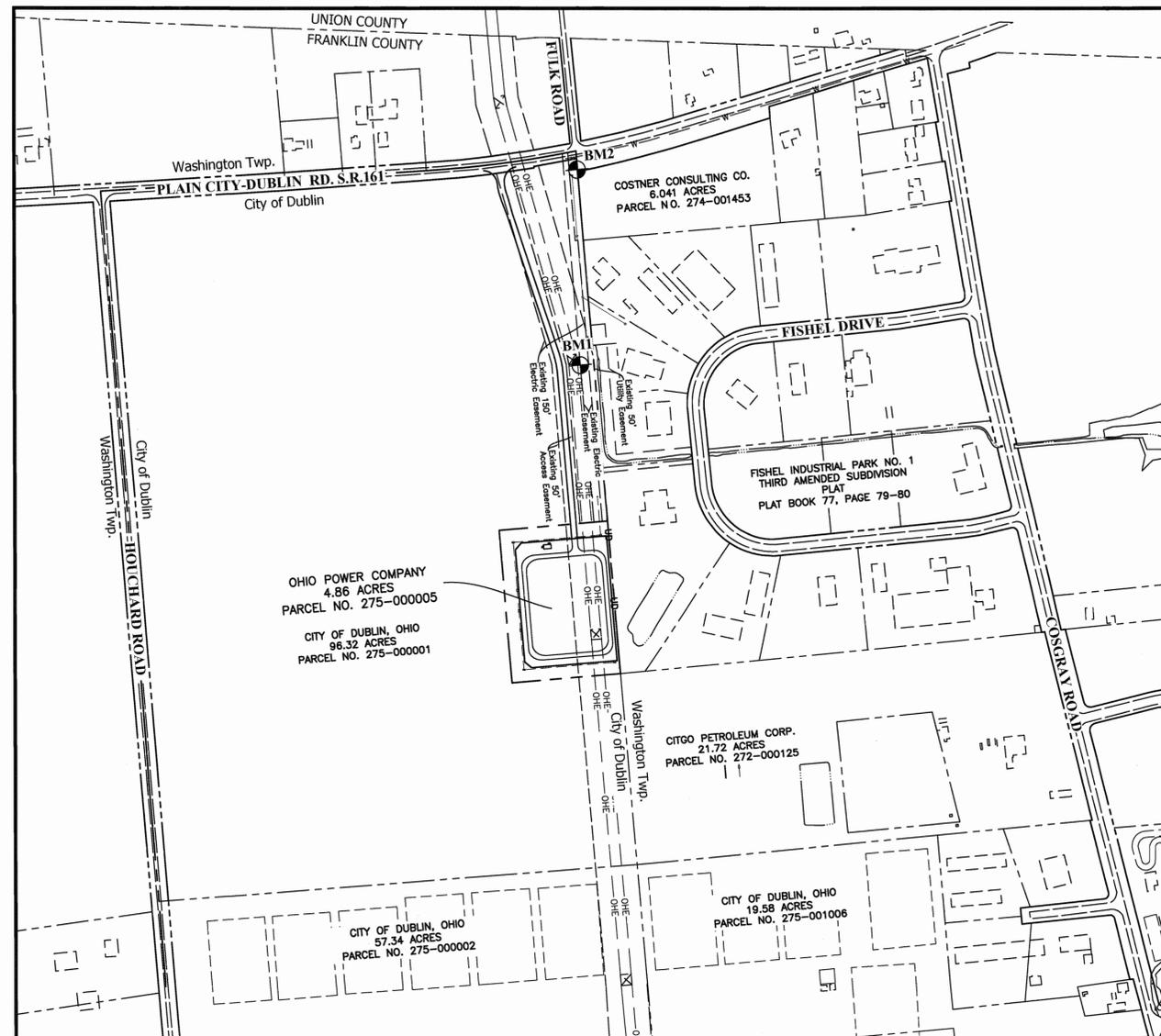
No Tree Survey or Tree Preservation Plan is included in this Development Plan. The parcel is an agricultural field and no trees exist.

**BENCH MARKS**  
(NAVD 1988)

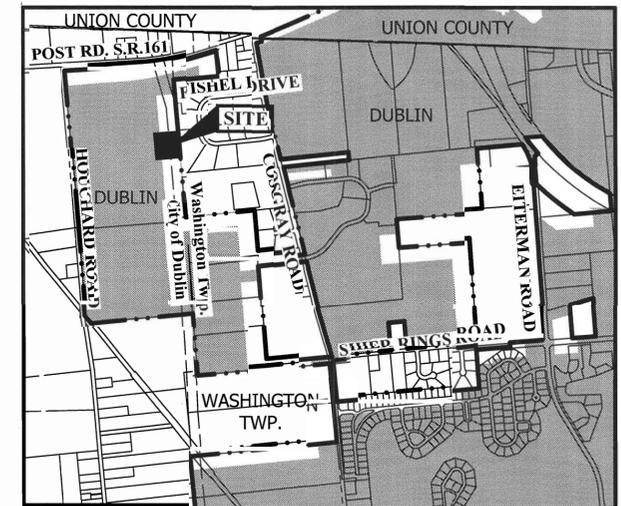
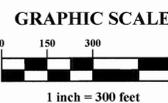
Source BM	"COLUMBUS CORS ARP" The station is a GPS CORS.
BM#1	Lat: 40°06'06.37 Lon: 83°11'44.27 Elev. = 935.44 Painted bolt on the southeast corner of transmission line tower located approximately 687 feet south of Dublin-Plain City Road south right-of-way and approximately 58' west of the Dublin/Washington Township corporation line.
BM#2	Lat: 40°06'22.54" Lon: 83°11'45.49" Elev. = 944.20 Railroad spike on the north side of a distribution pole. Approximately three south of the S.R. 161 right-of-way and approximately one foot west of the City of Dublin - Washington Township corporation line.

**SURVEY NOTE:**

Boundary and topographic survey provided to EMH&T by AEP.  
Boundary and topographic survey prepared by:  
Central Surveying Co., LTD.  
7563 East Main Street  
Reynoldsburg, Ohio 43068  
Phone: (614) 864-1100



**INDEX MAP**



**LOCATION MAP**  
No Scale

**OWNER**

Ohio Power Company  
1 Riverside Plaza  
Columbus, OH 43215  
Contact: Edward Maher  
Phone: (614) 595-9433  
Email: ewmaher@aep.com

**PROJECT MANAGER**

Pete Nelson  
Project Management  
EASi, LLC  
630 Morrison Road, Suite 100  
Gahanna, OH 43230  
Phone: 614-328-4924  
Email: pnnelson@aep.com

Prepared By



REGISTERED ENGINEER NO. E-68885

4/3/2013  
DATE

**APPROVED:**

SIGNATURES BELOW SIGNIFY CONCURRENCE WITH THE GENERAL PURPOSE AND THE GENERAL LOCATION OF THE PROJECT AND DOES NOT CONSTITUTE ASSURANCE TO OPERATE AS INTENDED. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE CIVIL ENGINEER PREPARING THE PLANS.

CITY OF DUBLIN:

\_\_\_\_\_  
CITY ENGINEER, CITY OF DUBLIN, OHIO

\_\_\_\_\_  
DATE

\_\_\_\_\_  
DIRECTOR OF LAND USE & LONG RANGE PLANNING,  
CITY OF DUBLIN, OHIO

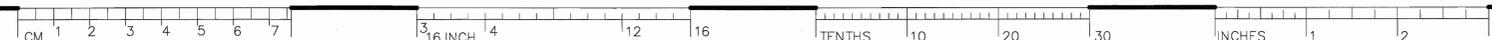
\_\_\_\_\_  
DATE

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OHIO POWER COMPANY	
<b>AMLIN STATION</b>	
DUBLIN	OHIO
138KV/13KV	
TITLE SHEET	

SCALE: As Noted	DR: AD	ENG: AS	CH: AS
AEP AMERICAN ELECTRIC POWER	1 RIVERSIDE PLAZA COLUMBUS, OH 43215	DWG. No. E-1205	1 of 8 REV 0
	APPD: AS	DATE: APRIL 03, 2013	

NO.	DATE	REVISION DESCRIPTION	DR.	ENG.	CK.



GENERAL NOTES

- City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items unless otherwise noted. If a conflict between specifications is found, the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of Columbus Item Numbers unless otherwise noted.
- The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for failure by the Contractor to perform work according to contract documents.
- The City shall be responsible to obtain all necessary permits including but not limited to Ohio EPA Water Permits to Install (PTI) and etc.
- The Contractor shall notify the City of Dublin Division of Engineering in writing at least 3 working days prior to beginning construction.
- The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
- Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the Division of Engineering that documents "as-built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who sealed the constructions drawings.
- The Contractor shall restrict construction activity to public right-of-way and areas defined as permanent and/or temporary construction easements, unless otherwise authorized by the City Engineer.
- The Contractor shall carefully preserve benchmarks, property corners, reference points, stakes and other survey reference monuments or markers. In cases of willful or careless destruction, the Contractor shall be responsible for restorations. Resetting of markers shall be performed by an Ohio Professional Surveyor as approved by the City Engineer.
- Non-rubber tired vehicles shall not be moved on or across public streets or highways without the written permission of the City Engineer.
- The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or watercourses that are disturbed by construction shall be restored to the grades and cross-sections that existed before construction.
- Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited according to Section 97.38 of the Dublin Code of Ordinances. Any such occurrence shall be cleaned up immediately by the Contractor at no cost to the City. If the Contractor fails to remove said mud, dirt, debris, or spillage, the City reserves the right to remove these materials and clean affected areas, the cost of which shall be the responsibility of the Contractor.
- Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) is not permitted.
- All signs, landscaping, structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All field tile broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All precast concrete products shall be inspected at the location of manufacture. Approved precast concrete products will be stamped or have such identification noting that inspection has been conducted by the City of Columbus. Precast concrete products without proof of inspection shall not be approved for installation.
- Backfill within a 1:1 influence line of existing structures (houses, garages, etc.) or public infrastructure (pavement, curbs, sidewalks, bike paths, etc.) shall be compacted granular backfill according to Item 912 of the Standard Specifications or Flowable CDF, Type III according to Item 636. Item 911 of the Standard Specifications shall be used elsewhere.
- The Contractor shall submit a copy of the approved construction drawings and a list of proposed precast concrete product manufacturers to the City of Columbus Construction Inspection Division before commencing construction.  
  
Send the information to the following address:  
  
Construction Inspection Division  
City of Columbus  
1800 East 17th Avenue  
Columbus, Ohio 43219  
  
Send a copy of the transmittal letter to the following address:  
  
Division of Engineering  
City of Dublin  
5800 Shier Rings Road  
Dublin, Ohio 43016
- All trenches within public right-of-way shall be backfilled according to the approved construction drawings or securely plated during nonworking hours. Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during nonworking hours. Clean up shall follow closely behind the trenching operation.
- All trees within the construction area not specifically designated for removal shall be preserved, whether shown or not shown on the approved construction drawings. Trees to be preserved shall be protected with high visibility fencing placed a minimum 15 feet from the tree trunk. Trees 6 - inches or greater at DBH (Diameter Breast Height) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater. Trees not indicated on the approved construction drawings for removal may not be removed without prior approval of the Division of Engineering.

- Deleted.
- The Contractor shall be responsible for the condition of trenches within the right-of-way and public easements for a period of one year from the final acceptance of the work, and shall make any necessary repairs at no cost to the City.
- Deleted
- Deleted
- Any modification to the work shown on drawings must have prior written approval by the City Engineer, City of Dublin.
- All inlets shall be channelized.
- Deleted
- Traffic control and other regulatory signs shall be Type S with a square post anchor base installation and meet all requirements of ODOT TC-41.20 and applicable City of Dublin specifications.
- Deleted

UTILITIES

- The following utilities are known to be located within the limits of this project:  

Time Warner Cable Attn: Ray Maurer 3760 Interchange Drive Columbus, Ohio 43204 Phone: 614-481-5262	AT&T Attn: Gary Van Almsick 111 N. 4th Street Columbus, Ohio 43215 Phone: 614-223-6985	Columbia Gas of Ohio Attn: Jon Amstutz 1600 Dublin Road Columbus, Ohio 43215 Phone: 614-481-1056
AEP Attn: Paul Paxton 850 Tech Center Drive Gahanna, Ohio 43230 Phone: 614-883-7832	City of Dublin 5800 Shier-Rings Road Dublin, Ohio 43016 Phone: 614-410-4676	Frontier Communications Attn: Courtney Murphy 2780 Liberty Road Delaware, Ohio 43015 Phone: 740-369-0826

City of Columbus  
Division of Power & Water(Water)  
910 Dublin Road  
Columbus, Ohio 43215  
Phone: 614-222-7020
- The Contractor shall give notice of intent to construct to Ohio Utilities Protection Service (telephone number 800-362-2764), Producer's Underground Protection Service (telephone number 614-587-0486), and to owners of underground utilities that are not members of a registered underground protection service. Notice shall be given at least 2 working days before start of construction.
- The identity and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the owner of the underground utility. The City of Dublin and the City Engineer assumes no responsibility for the accuracy or depths of underground facilities shown on the approved construction drawings. If damage is caused, the Contractor shall be responsible for repair of the same and for any resulting contingent damage.
- Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.
- When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the City Engineer.
- Public street lighting may be in the vicinity of this project. Contact the City of Dublin, Division of Engineering at 410-4637, two days prior to beginning work.

TRAFFIC CONTROL

- Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Ohio Manual of Uniform Traffic Control Devices (OMUTCD), current edition.
- All traffic lanes of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the Franklin County Engineer's Office. At all other hours the Contractor shall maintain minimum one-lane two-way traffic. Uniformed, off-duty police officers shall replace flagmen designated by the OMUTCD, and shall be present whenever one-lane, two-way traffic control is in effect. Police cruisers may be required as directed by the City Engineer.
- If the City Engineer or Franklin County Engineer's Office determines that the Contractor is not providing proper provisions for traffic control, the City Engineer shall assign uniformed, off-duty police officers to the project at no cost to the City.
- Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
- Access from public roadways to all adjoining properties for existing residents or businesses shall be maintained throughout the duration of the project for mail, public water and sanitary sewer service, and emergency vehicles. The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details contained herein. The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.

EROSION AND SEDIMENT CONTROL

- The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Ohio EPA. The NOI must be submitted to OEPA 45 days prior to the start of construction and may entitle coverage under the Ohio EPA General Permit for Stormwater Discharges associated with construction activity. A project location map must be submitted with the NOI. A sediment and erosion control plan must be submitted to the City Engineer for approval if a sediment and erosion control plan has not already been included with the approved construction drawings. This plan must be made available at the project site at all times. The design of erosion control systems shall follow the requirements of Ohio EPA, Item 207 of Ohio Department of Transportation Standard Specifications, and the City Engineer. An individual NPDES Stormwater Discharge Permit may be required. The Contractor shall be considered the permittee.

- The Contractor shall provide sediment control at all points where storm water runoff leaves the project, including waterways, overland sheet flow, and storm sewers.
- Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt filter fence, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.
- The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.
- Disturbed areas that will remain unworked for 30 days or more shall be seeded or protected within seven calendar days of the disturbance. Other sediment controls that are installed shall be maintained until vegetative growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before growth of permanent ground cover.

Storm Sewer

- All storm water detention and retention areas and major flood routing swales shall be constructed to finish grade and hydro-seeded and hydro-mulched according to Items 203 and 659 of the Standard Specifications.
- Deleted
- Granular backfill shall be compacted granular material according to Item 912 of the Standard Specifications or Controlled Density Backfill according to Item 636, Type III of the Standard Specifications as directed by the City Engineer.
- All storm sewers shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
- Headwalls and endwalls shall be required at all storm sewer inlets or outlets to and from stormwater management facilities. Natural stone and/or brick approved by the City Engineer shall be provided on all visible headwalls and/or endwalls surfaces.
- Storm inlets or catch basins shall be channelized and have bicycle safe grates.
- Storm sewer outlets greater than 18 inches in diameter accessible from stormwater management facilities or watercourses shall be provided with safety grates, as approved by the City Engineer.

USE OF FIRE HYDRANTS

- The Contractor shall make proper arrangements with the Dublin Service Department and the Columbus Division of Water for the use of fire hydrants when used for work performed under this contract and provide the city of Dublin a copy of the Hydrant Usage Permit obtained from the City of Columbus. The Contractor shall also send copies of permits obtained from Dublin and Columbus to the Washington and/or Perry Township Fire Department. Permits shall be kept at the construction site at all times.
- Before the final estimate is paid, the Contractor shall submit a letter from the City of Columbus Division of Water to the City Engineer stating that the Contractor has returned the Siamese Valve to the City of Columbus and has paid all costs arising from the use of the fire hydrants.

EXPOSE EXISTING UTILITY:

Where potential grade and alignment conflicts might occur with existing utilities, or as specifically called out on the plans, the Contractor shall expose utilities or structures sufficiently in advance of laying pipe for the Design Engineer to verify the vertical and horizontal effect on the proposed construction. Any discrepancy with the plans shall be coordinated with the City to ensure that there are no construction or conflict issues associated with said discrepancy. The cost of this work shall be included in the unit price bid for the various improvement items if a specific bid item is not provided in the estimate of quantities.

SITE VISIT:

The Contractor shall perform field reconnaissance to become acquainted with the existing site conditions and the potential effects upon the scope of work.

RIGHTS-OF-WAY:

In addition to the direct requirements of the contract specifications, the Contractor shall observe and conform to the specific requirements of all Rights-of-Way, including easements, court entries, rights-of-entry, or action filed in court in accordance with the code of the applicable governing agency. The cost of the operations necessary to fulfill such requirements shall be included in the price bid for the various items of the contract unless specific provision is made in the contract specifications for such cost under specific items of the contract.

WORK LIMITS:

- The Contractor is responsible for containing all performed work and all equipment, materials, vehicles, etc., used to complete the work within the rights-of-way of the streets, roadways, permanent easements and the property boundaries of the project improvements, as shown on these plans.
- The Contractor is responsible for cost of restoration for any area outside of the right-of-way, permanent easement or project property boundaries to former condition or better and to the satisfaction of the Property Owner and the City.

DEWATERING:

- The Contractor is solely responsible to the Ohio Department of Natural Resources (ODNR) for registry, maintenance, and abandonment of any withdrawal devices used in the construction of this project.
- Installation of any well, well point, pit or other device used for the purpose of lowering the groundwater level to facilitate construction of this project shall be properly abandoned in accordance with the provisions of Section 3745-9-10 of the Ohio Administrative Code or as directed by the Director or his representatives.
- The Contractor shall be required to complete and file a Well Log and a Drilling Report Form with ODNR, Division of Water, within 30 days of the completion of installation of any well, well point, pit or other device used for the purpose of removing groundwater from an aquifer, in accordance with Sections 1521.01 and 1521.05 of the Ohio Revised Code. In addition, any such facility that has a capacity to withdraw waters of the State in an amount greater than 100,000 gallons per day from all sources shall be registered by the Contractor with the Chief of the ODNR, Division of Water, within three (3) months of the completion of the facility in accordance with Section 1521.16 of the Ohio Revised Code. Copies of the necessary paperwork can be obtained at ODNR, Division of Water, Fountain Square, Columbus, OH, 43224-1387 - Phone: (614) 265-6717.
- The Contractor shall furnish and operate suitable pumping equipment of such capacity, adequate to dewater the trench, should water be encountered. The trench shall be sufficiently dewatered so that the placement of bedding and the laying and joining of pipe is made on firm, dry ground. If dewatering cannot produce acceptable subgrade, and only as directed by the Engineer, unsuitable materials shall be removed and replaced by CMSC Item 906, stone foundation.
- damage to property. The Contractor shall be responsible to place and maintain the necessary sediment and erosion control measures to filter the dewatering discharge and to prevent erosion at the discharge location. Cost for the above shall be included in the bid price for the various improvement items.
- The cost of any dewatering operations required for the construction of the project improvements shall be included in the price bid for the various improvement items.

MAINTAIN DRAINAGE:

The flow in all sewers, drains and watercourses encountered shall be maintained by the Contractor at his own expense, and whenever such watercourses and drains are disturbed or destroyed during the prosecution of the work, they shall be restored by the Contractor at his own cost and expense, unless specific provision is made within the Contract Documents for the measure of and payment for such cost specific items, to a condition satisfactory to the City.

SOIL STOCKPILES:

The Contractor shall be responsible for keeping all soil stockpiles, including trench excavation stockpiles, protected from erosion. The areas surrounding the stockpiles are to be protected from sediment with the use of perimeter control devices such as earth or straw bale devices or silt fences. These perimeter control devices shall be maintained for the duration of the project.

DISPOSAL OF EXCESS EXCAVATION:

The Contractor shall dispose of all excess excavation at such location on the project site as approved by the Engineer. For disposal outside the limits of the project the Contractor shall provide a copy of the signed, written agreement between the Contractor and the offsite Landowner before such disposal occurs. This written agreement shall clearly state the purpose of the agreement and indicate the Landowner's permission for such use. Excess excavation material shall not be disposed of within any floodplain area, unless any and all necessary approvals to do so have been obtained.



Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
5500 New Albany Road Columbus, OH 43054  
Phone: 614.775.4500 Toll Free: 888.775.3448  
emht.com

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OHIO POWER COMPANY		OHIO	
AMLIN STATION			
DUBLIN			
138KV/13KV			
GENERAL NOTES			
SCALE: NONE	DR: AD	ENG: AS	CH: AS
APPD: AS	DATE: APRIL 03, 2013		
1 RIVERSIDE PLAZA COLUMBUS, OH 43215		DWG. NO. E-1206	2 of 8

NO.	DATE	REVISION DESCRIPTION	DR.	ENG.	CHK.

U:\20130224(Dwg)\04Sheets\2\_E-1206\_General\_Notes.dwg Last Saved By: adavis, 3/27/2013 12:19 PM Last Printed By: Davis, Alan, 3/25/2013 3:15 PM  
 Xrefs: Preliminary Stamp.dwg, Preliminary Stamp.dwg, 2X34\_AEP Title.dwg



PROJECTWISE 22' x 34' ANSI D-BORDER AEP50-REF.DWG REV:40 11-03-03 PLOTTED DD-MMM-YYYY AT HH:MM ENERGY TRANSMISSION DEPT. - 2nd FLOOR GAHANNA CADFILEPATH

COSTNER CONSULTING CO.  
6.041 ACRES  
PARCEL NO. 274-001453

TALG LIMITED, LLC  
LOT 9 (2.483 ACRES)  
PID: 272-000598-00

FISHEL INVESTMENTS, LLC LOT 8 (1.494 ACRES)  
PID: 272-000628-00

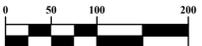
RGM INVESTMENTS LTD LOT 8 (2.244 ACRES)  
PID: 272-000597-00

7685 FISHEL DRIVE, LLC  
LOT 3 (5.0 ACRES)  
PID: 272-000592-00

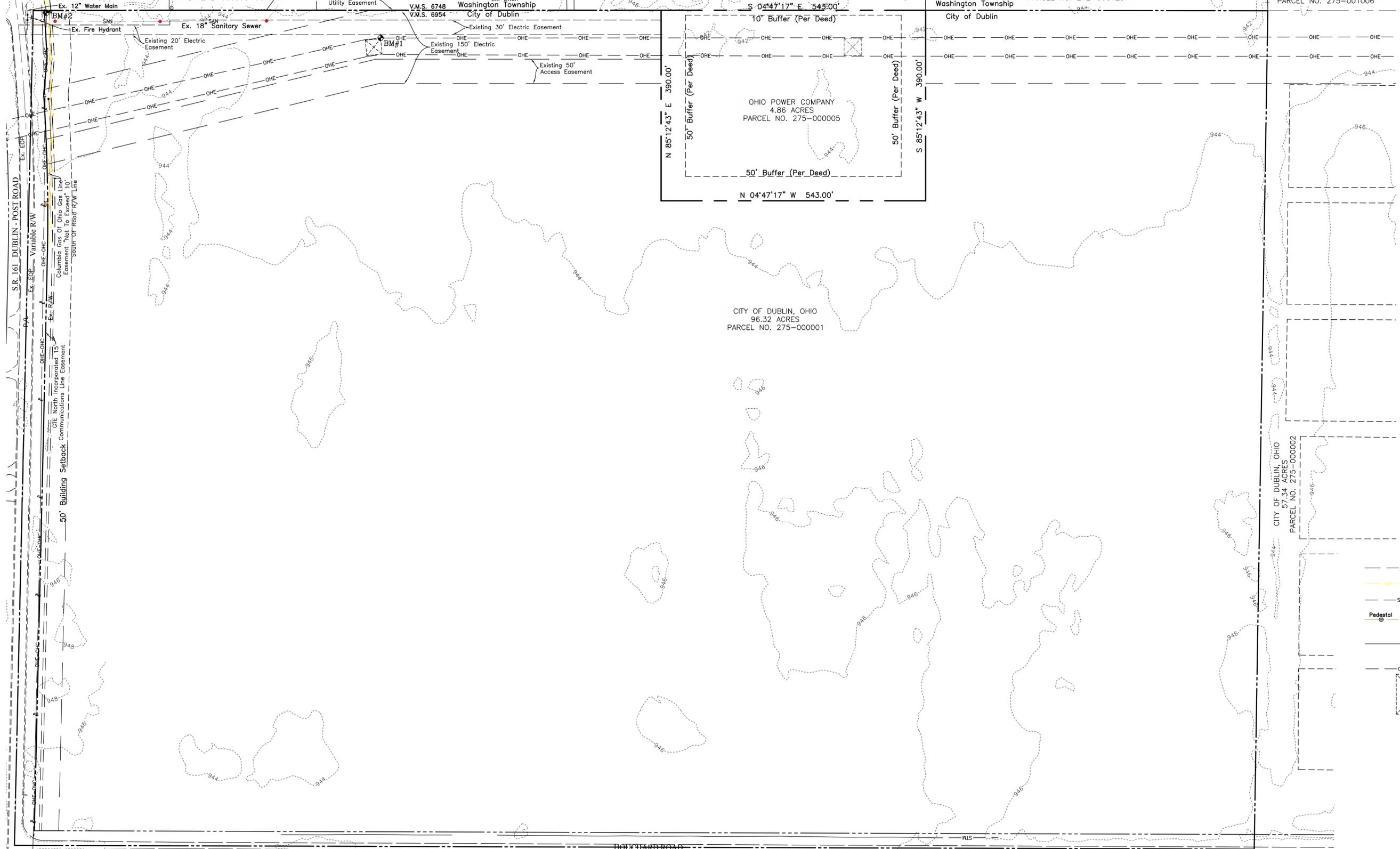
CITGO PETROLEUM CORP.  
21.72 ACRES  
PARCEL NO. 272-000125

CITY OF DUBLIN, OHIO  
19.58 ACRES  
PARCEL NO. 275-001006

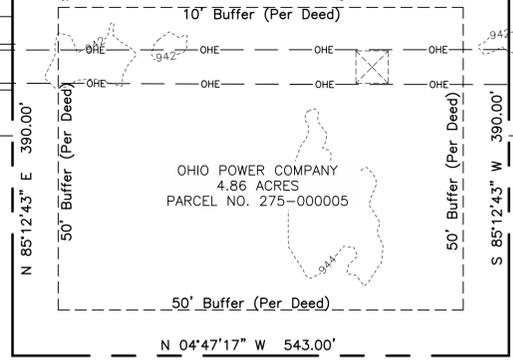
GRAPHIC SCALE



1 inch = 100 feet



CITY OF DUBLIN, OHIO  
96.32 ACRES  
PARCEL NO. 275-000001



LEGEND

- Benchmark
- Water Main
- Gas line
- Sanitary Sewer
- Underground Communic Line
- Overhead Electric and Communications Lines
- Overhead Electric Trans Line
- Electrical Transmission Tower

SURVEY NOTE:  
Boundary and topographic survey provided to EMH&T by AEP.  
Boundary and topographic survey prepared by:  
Central Surveying Co., LTD.  
7563 East Main Street  
Reynoldsburg, Ohio 43068  
Phone: (614) 864-1100

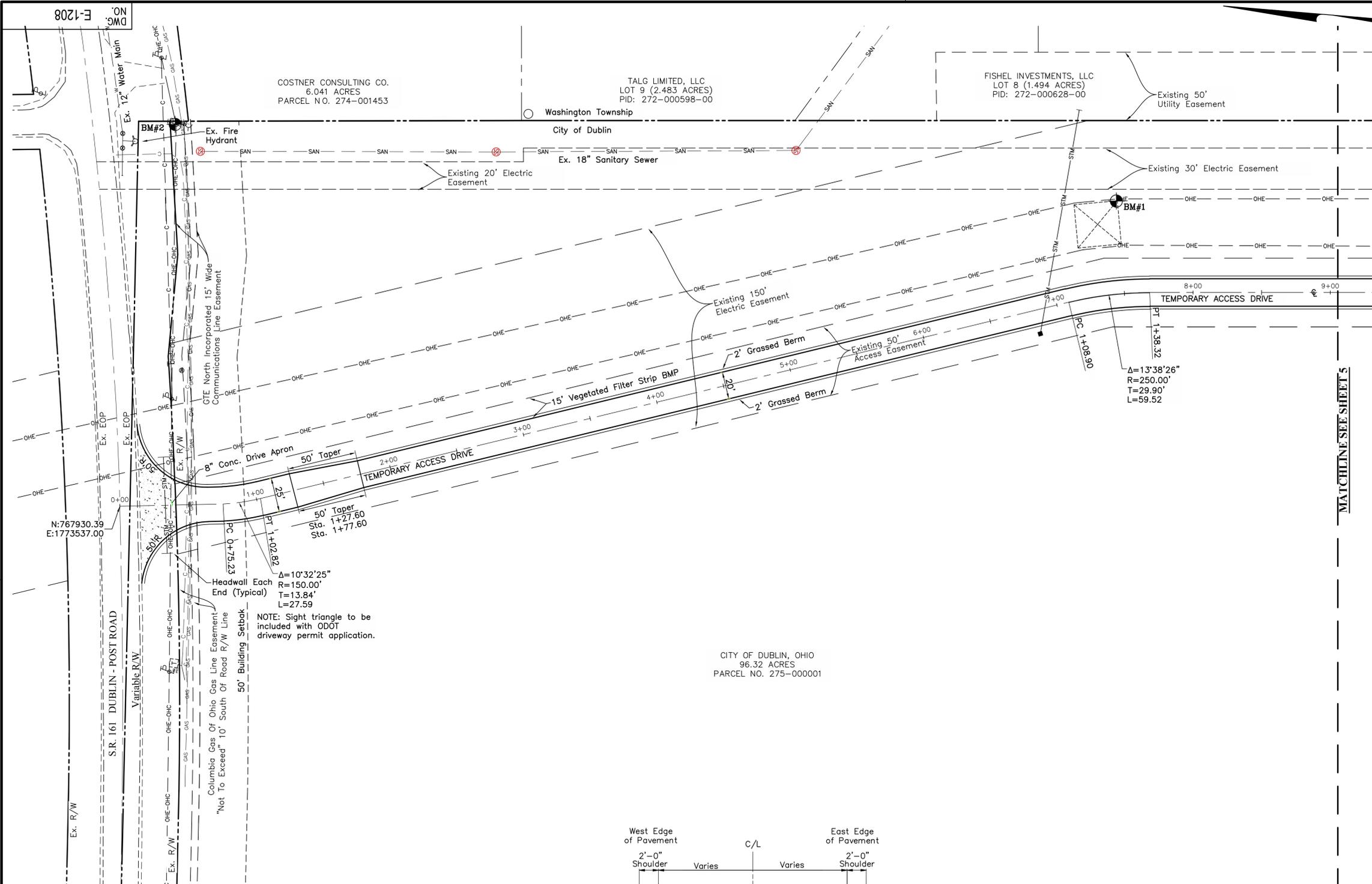
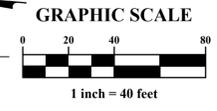
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OHIO POWER COMPANY  
AMLIN STATION  
DUBLIN OHIO  
138KV/13KV

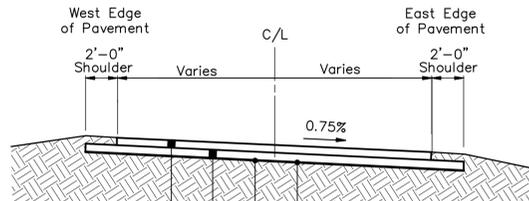
EXISTING CONDITIONS PLAN

SCALE: 1"=100'	DR: AD	ENG: AS	CH: AS
	1 RIVERSIDE PLAZA COLUMBUS, OH 43215	APPD: AS	DATE: APRIL 03, 2013
DWG. NO. E-1207	3 of 8	REV 0	

NO.	DATE	REVISION DESCRIPTION	DR.	ENG.	CK.



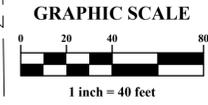
- LEGEND EXISTING**
- Soil Boring Location
  - Benchmark
  - Water Main
  - Gas line
  - Sanitary Sewer
  - Underground Communication Line
  - Overhead Electric and Communications Lines
  - Overhead Electric Transmission Line
  - Electrical Transmission Line Tower
- LEGEND PROPOSED**
- Manhole
  - Electrical Duct Bank, By Others
  - Black Vinyl Coated Chain Link Fence
  - Storm Sewer
  - Underdrain



- 1 4" #46D or #411 Crushed Aggregate
  - 2 5" AASHTO #3 Coarse Aggregate
  - 3 Mirafix 600X Geotextile Fabric Or Equal
  - 4 Compacted Subgrade per Item 204
- TEMPORARY ACCESS DRIVE**  
Scale: None



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<b>OHIO POWER COMPANY</b> <b>AMLIN STATION</b> DUBLIN OHIO 138KV/13KV <b>SITE PLAN - NORTH</b>			
SCALE: 1" = 40'	DR: AD	ENG: AS	CH: AS
1 RIVERSIDE PLAZA COLUMBUS, OH 43215	APPD: AS DWG. NO. E-1208	DATE: APRIL 03, 2013 4 of 8	REV 0

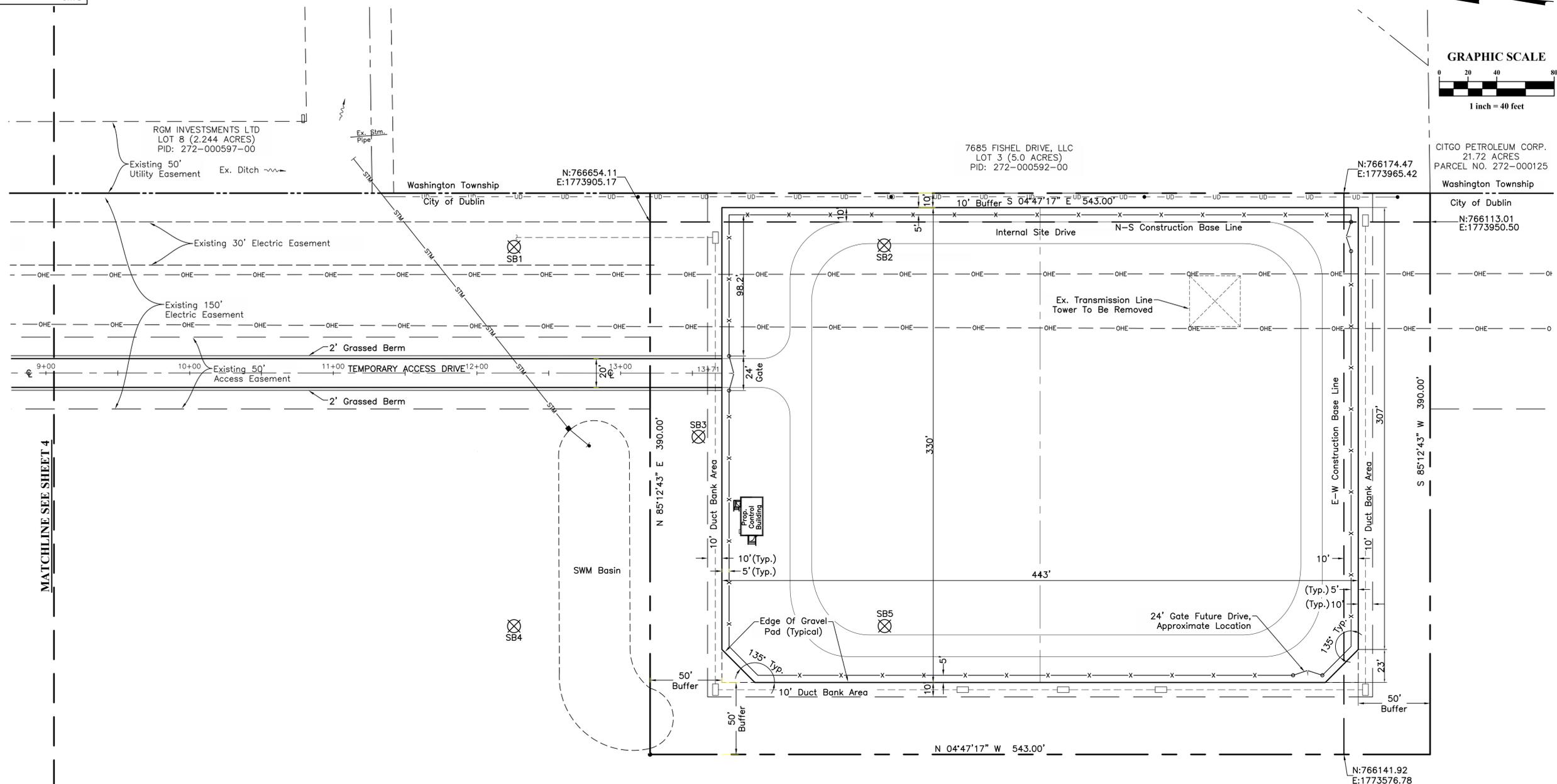


LEGEND EXISTING

- Soil Boring Location
Benchmark
Water Main
Gas line
Sanitary Sewer
Underground Communications Line
Overhead Electric and Communications Lines
Overhead Electric Transmission Line
Electrical Transmission Line Tower

LEGEND PROPOSED

- Manhole
Electrical Duct Bank, By Others
Black Vinyl Coated Chain Link Fence
Storm Sewer
Underdrain



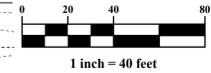
CITY OF DUBLIN, OHIO
96.32 ACRES
PARCEL NO. 275-000001



Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists

Table with project details: OHIO POWER COMPANY, AMLIN STATION, 138KV/13KV, SITE PLAN - SOUTH, SCALE: 1" = 40', DATE: APRIL 03, 2013, DWG. NO. E-1209, 5 of 8





LEGEND EXISTING

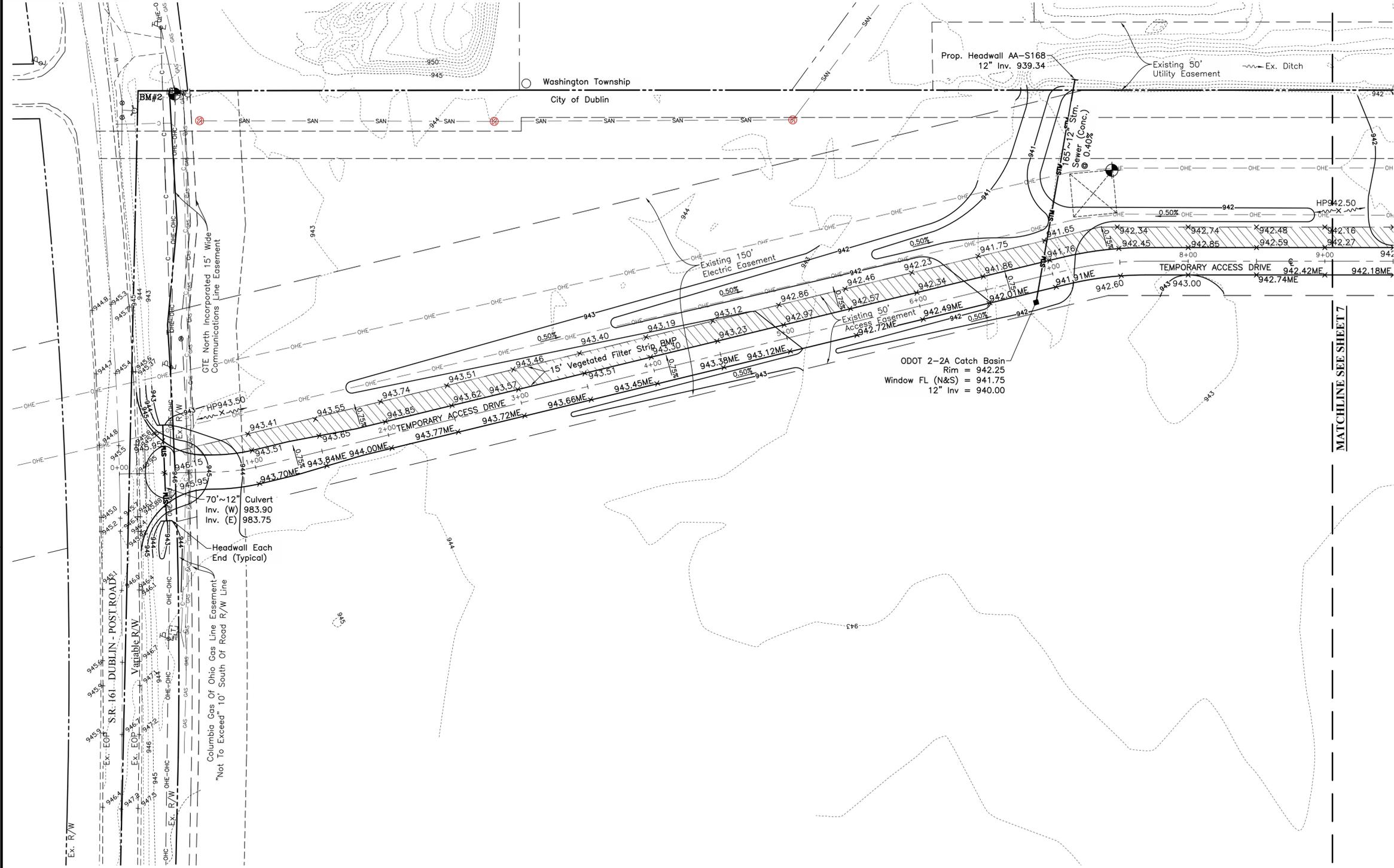
- Spot Elevation
- Benchmark
- Water Main
- Gas line
- Sanitary Sewer
- Underground Communicati Line
- Overhead Electric and Communications Lines
- Overhead Electric Transmi Line
- Electrical Transmission Lin Tower

LEGEND PROPOSED

- Electrical Duct Bank, By Others
- Black Vinyl Coated Chain Link Fence
- Storm Sewer
- Underdrain
- 946.30x Spot Elevation
- Flow Arrow
- 0.75% Slope Arrow
- Flood Route
- Grade Break Line
- Ditch Center Line

ABBREVIATION

ME Match Existing



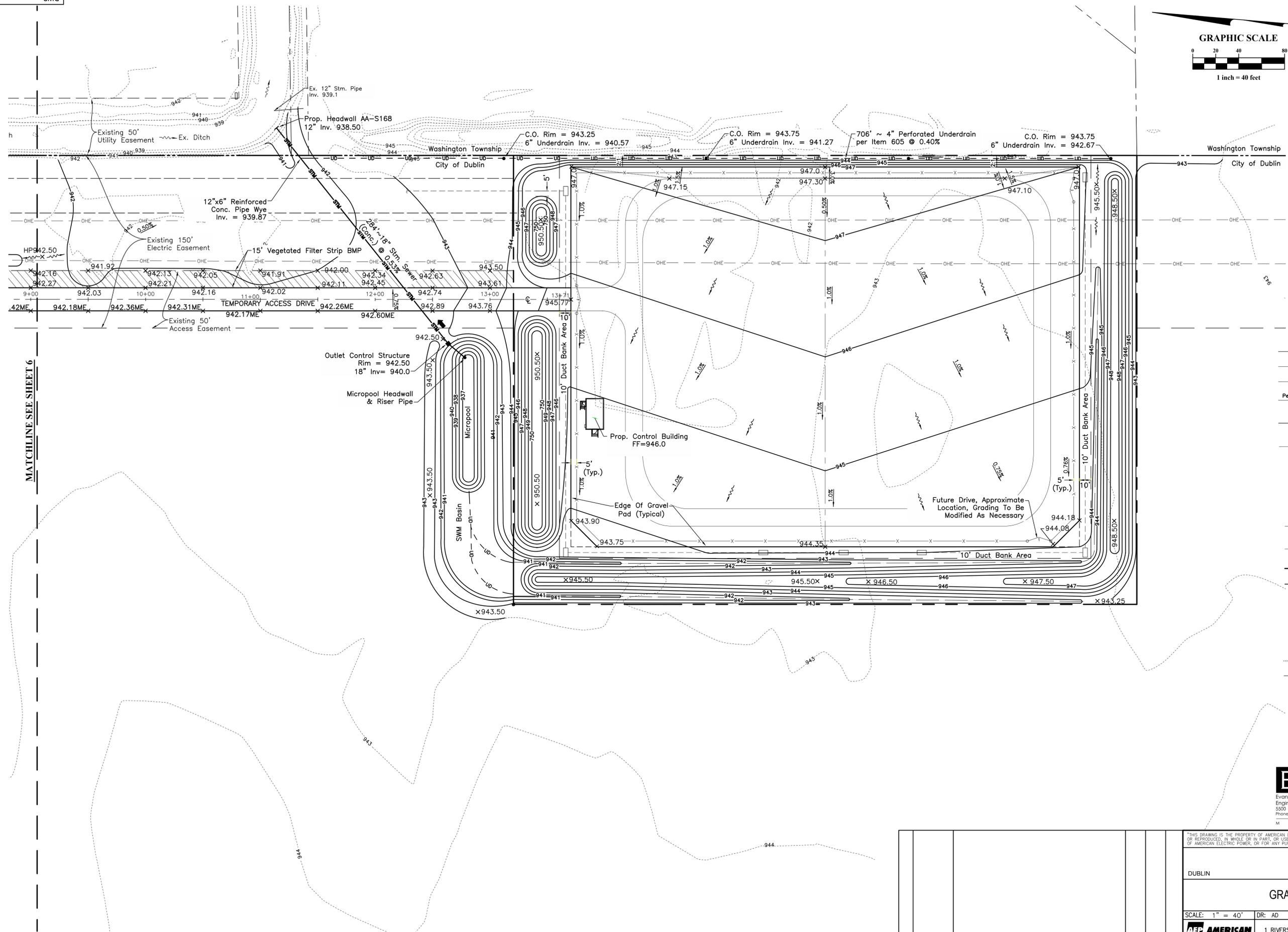
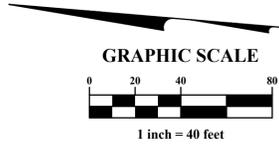
MATCHLINE SEE SHEET 7



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<b>OHIO POWER COMPANY</b> <b>AMLIN STATION</b> 138KV/13K <b>GRADING PLAN - NORTH</b>			
DUBLIN		OHIO	
SCALE: 1" = 40'	DR: AD	ENG: AS	CH: AS
APPD: AS	DATE: APRIL 03, 2013		
1 RIVERSIDE PLAZA COLUMBUS, OH 43215		DWG. NO. E-1210	6 of 8

NO.	DATE	REVISION DESCRIPTION	DR.	ENG.	CK.





**LEGEND EXISTING**

- Spot Elevation
- Benchmark
- Water Main
- Gas line
- Sanitary Sewer
- Underground Communications Line
- Overhead Electric and Communications Lines
- Overhead Electric Transmissi Line
- Electrical Transmission Line Tower

**LEGEND PROPOSED**

- Electrical Duct Bank, By Others
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- 946.30X Spot Elevation
- Flow Arrow
- 0.75% Slope Arrow
- Flood Route
- Grade Break Line
- Ditch Center Line

**ABBREVIATION**

- ME Match Existing



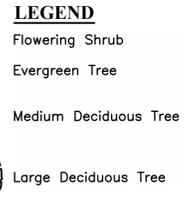
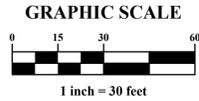
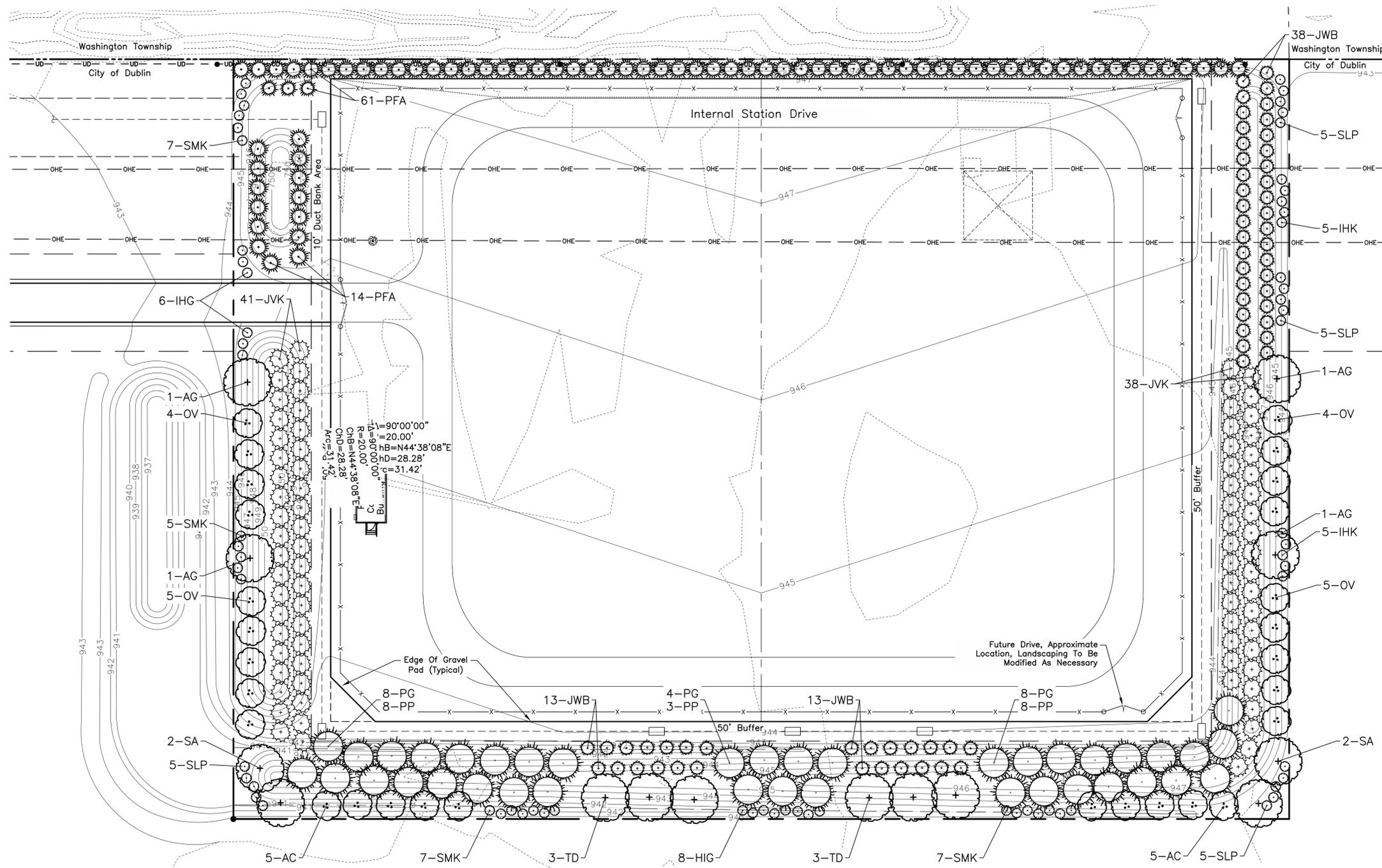
<p>THIS DRAWING IS THE PROPERTY OF AMERICAN ELECTRIC POWER AND IS LOANED UPON CONDITION THAT IT IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR IN PART, OR USED FOR FURNISHING INFORMATION TO ANY PERSON WITHOUT THE WRITTEN CONSENT OF AMERICAN ELECTRIC POWER, OR FOR ANY PURPOSES DEEMED TO BE IN THEIR INTEREST, AND IS TO BE RETURNED UPON REQUEST.</p>			
<p><b>OHIO POWER COMPANY</b> <b>AMLIN STATION</b></p>		OHIO	
<p>138KV/13K <b>GRADING PLAN - SOUTH</b></p>			
SCALE: 1" = 40'	DR: AD	ENG: AS	CH: AS
APPD: AS	DATE: APRIL 03, 2013		
<p><b>AMERICAN ELECTRIC POWER</b> 1 RIVERSIDE PLAZA COLUMBUS, OH 43215</p>		<p>DWG. NO. E-1211</p>	<p>7 of 8 REV 0</p>

NO.	DATE	REVISION DESCRIPTION	DR.	ENG.	CK.



J:\20130224\dwg\04sheets\7 & 8 grading plan 1 & 2.dwg

ENERGY TRANSMISSION DEPT. - 2nd FLOOR GAHANNA  
PROJECTWISE 22 x 34 ANSI D-BORDER AEP5D\_REF.DWG REV:00 11-03-03 PLOTTED DD-MMM-YYYY AT HH:MM CADFILEPATH



- PLANTING NOTES**
- Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
  - All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, 2004. All plants shall equal or exceed the measurements and sizes specified in the schedule.
  - All planting operations shall adhere to American Nursery & Landscape Association standards unless noted otherwise.
  - Substitutions shall be permitted with notification and written approval from the Landscape Architect. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
  - Confirm location of all utilities and subsurface drain lines prior to plant installation.
  - Finished planting areas shall be graded to provide positive drainage.
  - Seed all areas within contract limits that are not covered by station pads or drives including mounds, unless otherwise noted. Permanent Seeding shall not begin until area has received topsoil and finished grade. Seed shall be Prairie Nursery No-Mow Lawn Mix w/ Annual Rye Nurse Crop. See Ditch/Swale/Basin Seed Mix Schedule for ditch and basin seeding. See Sediment and Erosion Control sheets for temporary seeding.
  - Mulch plantings with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied depth shall be 3" depth.
  - Trees shall be backfilled with an on site prepared planting mix. Planting mix shall consist of 2 parts site topsoil and one part soil and amendment; Topsoil shall meet ASTM D5268, pH range of 5.5 to 7, min. 4 percent organic material, free of stones 1 inch and larger. Soil amendment: sphagnum peat moss or EPA rated class iv compost.
  - Turf areas to be seeded shall be backfilled with topsoil to a minimum settled thickness of 2 inches.
  - All trees and turf areas shall be fertilized with a commercial grade fertilizer consisting of fast and slow release nitrogen.
  - Composition and application rate of fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit test results and amendment recommendations to Landscape Architect. Fertilizer shall be in a dry granular form for lawns and granular or tablet form for plants.
  - Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
  - Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
  - Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.

**LANDSCAPE MAINTENANCE**  
 Landscape maintenance shall be provided on a regular schedule by AEP. Contact: Alan Whitlow - Station Manager, American Electric Power, 5001 Westerville Road, Columbus, OH 43229, Phone: 614-570-7043

Landscape Schedule					
Quantity	Key	Botanical Name	Common Name	Size	Condition
<b>Large Trees</b>					
4	AG	<i>Alnus glutinosa</i>	Black Alder	2" Cal.	B&B
4	SA	<i>Sassafras albidum</i>	Sassafras	2" Cal.	B&B
6	TD	<i>Taxodium distichum</i>	Bald Cypress	2" Cal.	B&B
<b>Medium Trees</b>					
10	AC	<i>Acer campestre</i>	Hedge Maple	2" Cal.	B&B
18	OV	<i>Ostrya virginiana</i>	American Hophornbeam	2" Cal.	B&B
<b>Evergreen Trees</b>					
64	JWB	<i>Juniperus scopulorum</i> 'Wichita Blue'	Wichita Blue Juniper	8' Ht. Min.	B&B
79	JVK	<i>Juniperus virginiana</i> 'Keteleeri'	Keteleeri Eastern Red Cedar	8' Ht. Min.	B&B
20	PG	<i>Picea glauca</i>	White Spruce	8'-10' Ht.	B&B
19	PP	<i>Picea pungens</i>	Colorado Green Spruce	8'-10' Ht.	B&B
75	PFA	<i>Picea pungens</i> 'Fat Albert'	Serbian Spruce	8'-10' Ht.	B&B
<b>Flowering Shrubs</b>					
24	IHG	<i>Itea virginica</i> 'Henry's Garnet'	Henry's Garnet Sweetspire	18" Ht.	Cont.
20	SLP	<i>Spirea japonica</i> 'Little Princess'	Little Princess Spirea	18" hgt	Cont.
26	SMK	<i>Syringa patula</i> 'Miss Kim'	'Miss Kim' Lilac	18" hgt	Cont.

NOTE: PG & PA Evergreen trees shall be installed in random groupings of 3 to 5 trees of the same species.

**LANDSCAPE REQUIREMENTS ( Per Deed )**

- Buffers: 50' Buffer on north, south and west sides of property  
 10' Buffer on east side of property
- Landscape Requirements:
- One (1) deciduous shade tree (mix of large and medium trees) per 30 lineal feet of boundary.
  - A double offset row of evergreen trees (8' to 10' height at planting and a mix of species) planted with the deciduous shade tree mix on a mound of appropriate height, interplanted with pockets of flowering shrubs.
  - A black vinyl-coated chain-link fence located a minimum of 25' from the property line.

NO.	DATE	REVISION DESCRIPTION	DR.	ENG.	CK.

OHIO POWER COMPANY  
**AMLIN STATION**  
 138KV/13KV  
**LANDSCAPE PLAN**

DUBLIN OHIO

SCALE: 1" = 30'  
 DR: AD  
 ENG: AS  
 CH: AS  
 APPD: AS  
 DATE: APRIL 03, 2013  
 DWG. NO. E-1212  
 8 of 8  
 REV 0

AMERICAN ELECTRIC POWER  
 1 RIVERSIDE PLAZA  
 COLUMBUS, OH 43215