

Minor Project Review

13-027ARB-MPR – BSC Historic Core District

Tucci's Restaurant Signs – 35 N. High Street

This is a request to relocate a previously approved eight-square-foot ground sign for an existing restaurant located on the west side of North High Street at the intersection with Wing Hill. This is a request for review and approval of a Minor Project Review application under the provisions of Zoning Code Sections 153.065(H) and 153.170, and the *Historic Dublin Design Guidelines*.

Date of Application Acceptance

Friday, April 5, 2013

Date of Architectural Review Board Determination

Wednesday, April 24, 2013

Case Managers

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PART I: APPLICATION OVERVIEW

<i>Zoning District</i>	BSC Historic Core District
<i>Review Type</i>	Minor Project Review
<i>Development Proposal</i>	Relocation of the previously approved eight-square-foot ground sign.
<i>Administrative Departures</i>	None
<i>Waivers</i>	None
<i>Property Address</i>	35 North High Street
<i>Property Owner</i>	Thelma L. Hill Family Trust, property owner
<i>Applicant</i>	Craig Barnum, Tucci's Restaurant
<i>Representative</i>	Larry Lab, Morrison Sign Company
<i>Case Managers</i>	Jonathan Lee, Planning Assistant (614) 410-4635 jlee@dublin.oh.us Jennifer M. Rauch, AICP, Planner II (614) 410-4690 jrauch@dublin.oh.us

Application Review Procedure: Minor Project Review

The purpose of the Minor Project Review is to provide an efficient review process for smaller projects that do not have significant community effects. The Minor Project Review is necessary to ensure that applications for development meet the requirements of Chapter 153 of the Dublin Code. Following acceptance of a complete application for Minor Project Review, the Administrative Review Team shall make a recommendation to the Architectural Review Board to approve, deny, or approve with conditions the application based on the criteria of §153.066(F)(5) applicable to Site Plan Reviews.

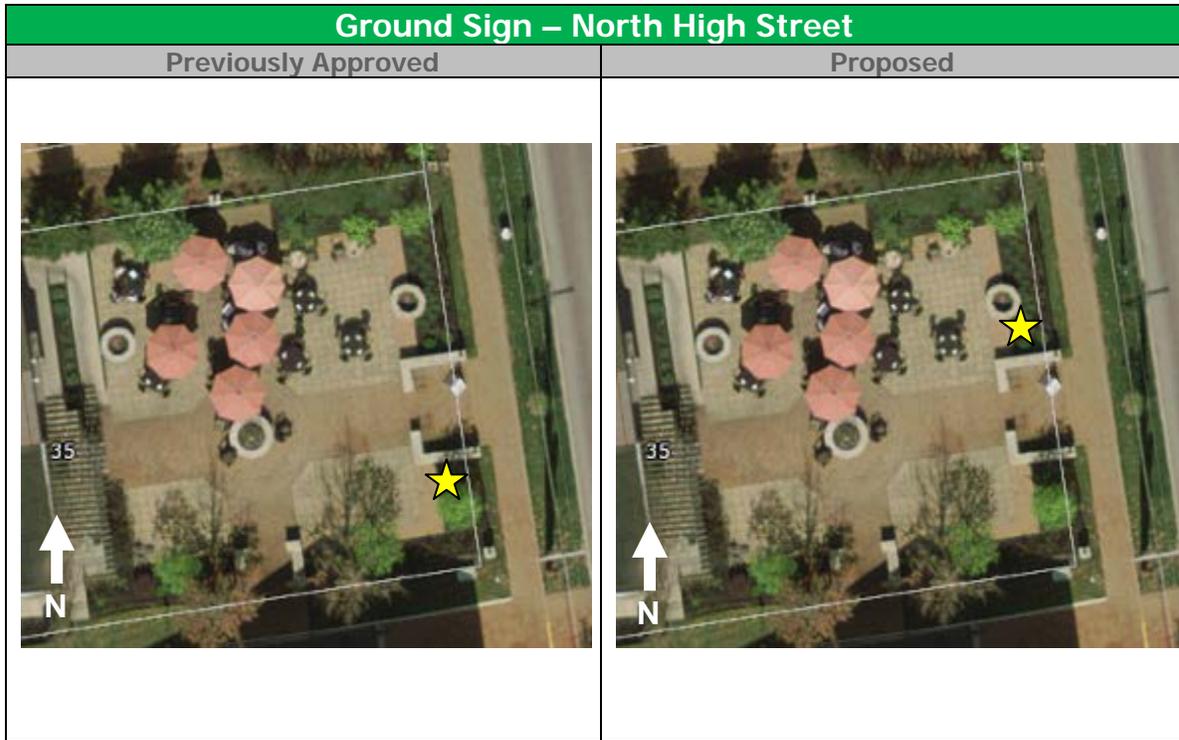
A determination by the Administrative Review Team is required not more than 14 days from the date the request was submitted. The Architectural Review Board shall make a decision on the application not more than 28 days from the date of the Administrative Review Team's recommendation.

Zoning Code Analysis

§153.065(H) – Site Development Standards – Signs

This single-tenant retail building is permitted a combination of two different types of ground or building-mounted signs in addition to a third sign due to its Darby Street frontage. The Architectural Review Board approved the applicant's request for two 8-square-foot wall signs and one 8-square-foot ground sign on February 27, 2013. All proposed signs met Code with the exception of the ground sign along North High Street, which required and was approved for a waiver to encroach the required 8-foot setback from the right-of-way.

Following the approval, the applicant was concerned the location of the ground sign would damage an existing tree and requested its relocation. Accordingly, the applicant has requested that the ground sign along North High Street be located north of the patio entrance rather than the south side, as previously approved.



PART II: APPLICABLE REVIEW STANDARDS

Administrative Review Team

Under the provisions the Bridge Street District, the proposed sign modifications fall within the administrative approval criteria and did not require review by the Administrative Review Team.

Architectural Review Board Standards

Section 153.174 of the Zoning Code identifies criteria for the review and approval of a Board Order for proposals within the Architectural Review District Boundaries. Following is an analysis by Planning based on those criteria.

General Review Standards

1) Character and Materials Compatible with Context

Criterion met: The proposed sign colors, design, and materials are compatible with the character of the existing building and adjacent buildings.

5) Appropriate Color Scheme

Criterion met: The proposed sign colors are traditional in character. The proposed colors provide enough contrast to distinguish it from other businesses in the Historic District and further promote signs that are aesthetically both diverse and harmonious in design throughout the Historic District.

6) Complementary Sign Design

Criterion met: The proposed sign's colors and shape will not deter from the intended design of the sign.

PART III: RECOMMENDATION

Recommendation of approval to the Architectural Review Board as submitted.