

FORD & ASSOCIATES

A R C H I T E C T S

Date: February 3, 2014

To: City of Dublin
Land Use and Long Range Planning

From: Mark Ford, Ford & Associates Architects, Inc.

Re: Proposed State Bank
Banker Drive, Dublin, Ohio
Project Description / Narrative

Project Description - General:

The project will consist of a new two story building placed on the eastern +/- 1.25 acre portion of the vacant 2.849 acre lot on the northeast corner of State Route 161 and Shamrock Boulevard. The applicant will submit an application for a lot split to split this this development site from the overall 2.829 acre lot.

State Bank will own and occupy the building with both mortgage services and retail banking functions.

This application is based on the requirements of a Loft Building as defined in the Bridge Street Corridor Development Code Section 153.062 (4) effective April 25, 2012. The proposed office use is a permitted use in this district (Section 153.059-Permitted Uses); the proposed remote retail banking drive-thru is a conditional use within this district (Section 153.059 Accessory and Temporary Uses).

Site Design:

The proposed bank site generally slopes from east to west and is tributary to the existing roadway drainage system along Shamrock Boulevard and Dublin-Granville Boulevard. The existing site drainage is conveyed via overland sheet flow to the roadway systems. The site grading has been designed to match the existing grades on the parcel and to limit the grading on the parcel. The site has been graded to direct the site storm water to decentralized bio-retention basins within the internal parking islands and perimeter green space. Site storm water management quality and quantity control will be provided with a combination of storage within the aforementioned landscape islands, surface, and pipe storage.

Two existing curb cuts along the south side of Banker Drive shall serve as the access points into the site. Parking will be located on the north side of the site with no parking areas fronting the State Route 161 right of way. Based on Table 153.065-A, Required Vehicular Parking, the minimum number of parking spaces is 2.5 spaces per 1,000 square feet of building area for both office and retail banking uses with a maximum of 125% of this calculated total. This results in a maximum permitted number of spaces of 36 spaces. The site plan illustrates a total of 45 spaces. Per Section 153.065 (B)(2)(b)(6) the total number of spaces may be increased based on demonstrated need. The Owner will require a minimum of 45 spaces to accommodate both employees and retail banking customers.

A remote banking drive-thru canopy is located in the eastern portion of the site. The remote canopy will include one ATM drive and one remote drive-thru teller station. A total of six stacking spaces are provided for the ATM and drive-thru teller station. This number based on the Owner's projected for rate of demand and historical use. The design of the remote canopy complies with the requirements of Section 153.062 (L) Vehicular Canopies (1), (2) and (3).

1500 WEST FIRST AVENUE
COLUMBUS, OHIO 43212
614.488.6252
FAX 614.488.9963

The building services (i.e. power transformer and trash enclosure) are located on the east side of the parking area and will be screened as required by code. Ground mounted HVAC condensing units will be located along the east and west building elevations and will be screened with landscape materials. A bike rack to a minimum of five (5) bikes is provided on the west side of the building, integrated into the pocket park.

Please refer to the Site Improvement Plans by Advanced Civil Design and the Concept Landscape Plan by Faris Planning & Design dated February 3, 2014 for additional site information.

Building Design:

The proposed building is two story building with a total height of 28'-4" The first and second floor level are approximately 5,865 square feet each for total building area of 11,530 square feet. A 1,494 square foot retail banking center will be located on the first floor level.

The building massing and elevation designs are in general conformance with the parameters of a Loft Building as outlined in Section 153.064(4) of the Bridge Street Corridor Development Code. The exterior wall planes are broken vertically with offsets of varying dimension. The massing of the building has been modeled to create distinctive wall planes that are further emphasized with distinct fenestration patterns and materials. The center portion of the building is recessed to define the public entrances on both the South State Route 161 elevation and the North Banker Drive elevation. This recessed wall will be clad in copper finish metal siding panels. Wood doors with vision glass will be provided at each entrance. Projecting steel and cedar canopies are provided on the south and north building elevations. No pitched roof elements are proposed; a flat roof will be contained within perimeter parapets. See Architectural Sheet ZA-1.0 for the Bridge Street Corridor Development Code Summary.

The proposed primary exterior building materials will consist of brick veneer; cast stone veneer and accents, cedar siding, copper panel siding and aluminum storefront and curtain wall window systems. Please refer to Architectural Sheet ZA-2.1 and ZA-2.2 for preliminary building elevations and heights and three-dimensional building massing studies provided.

Signage:

One (1) 24 square foot ground sign complying with Table 153.065 (h) will be located along the Banker Drive right-of-way. The sign will not exceed 8 feet in height.

Additional site way-finding directional signage associated with the drive-thru will be provided.

Building signage will consist of one (1) 50 square foot wall sign on the south building elevation and (1) 6 square foot sign on the north elevation. See Architectural Sheet ZA-2.1 and ZA-2.2 for the proposed locations.

Attachments: ZA-1.0.PDF
 ZA-1.1.PDF
 ZA-2.1.PDF
 ZA-2.2.PDF



Gary P. Gunderman
Planning Manager
City of Dublin Ohio
5800 Shier Rings Road
Dublin, Ohio 43016-1236

Dear Gary,

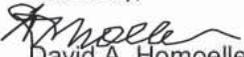
We're excited about our new corporate banking facility in Dublin, but we want to make sure we have enough parking for our staff and customers. At this time we have planned a building to accommodate 38 employees working in the building and at any given time, we expect to have 6-10 guests and/or visitors in the building.

Banking Branch: 6 employees
Mortgage Center: 32 employees
Visitors/Guests: 6-10 people
Total: 48 people

We understand that Dublin's wish is for less parking, but until the neighborhood is fully built-out, we do not expect a lot of walkers or bikers. So at this time, we would like to make sure we have enough parking for all our employees and visitors. Our current plan shows 45 parking spaces, which is more than code allows, but our needs will be roughly 48 parking spaces. This is why we are asking for the additional future parking to be approved along Banker Drive. If the parking becomes an issue, we hope to be able to add to our lot to fix the problem. This need may be less of an issue when the adjacent site is fully developed and each lot can allow some over flow needs.

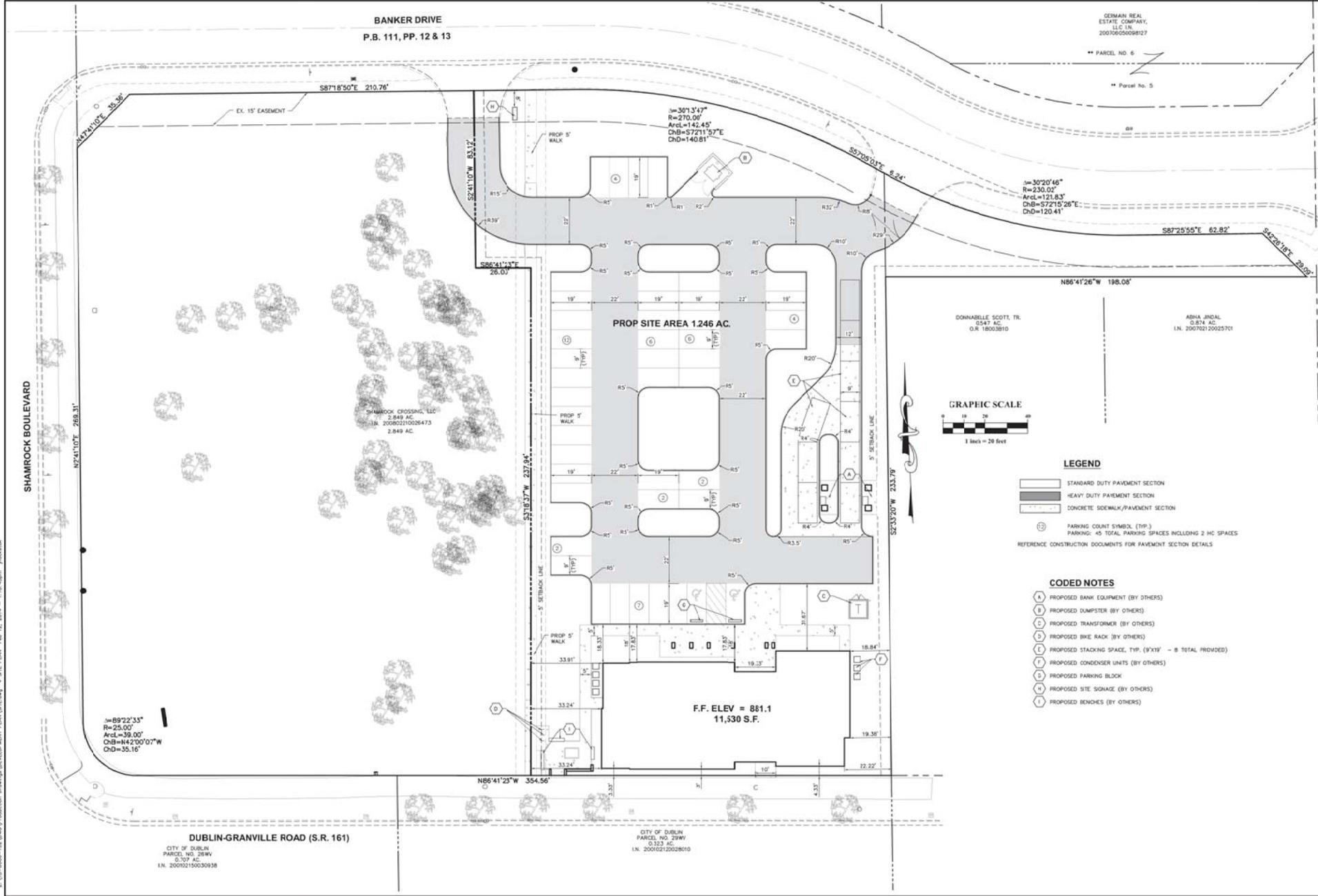
We also have done significant research into our other drive-thru facilities, and we do not expect a significant amount of use until the retail component has stabilized. Initially, we would not expect more than 20 cars per day but the drive through will handle 6 transactions per hour per side. We are being very conservative given a 10 minute transaction per car. This banking center is not intended to be traditional branch and the size and scope of the branch facility is just over 10% of the building. Our focus is a low traffic high touch private client banking, mortgage lending and commercial lending. We expect that 80% of transactions will be handled via on-line banking which is a national trend and continues to increase each year.

Sincerely,


David A. Homoelle

Regional President-Columbus

2:13:5-006-133(DWG)Production Drawing/DEVELOPMENT PLAN/SITE PLAN A SITE PLAN - 1:10-ASPH Paved/Asph



PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
ENGINEERS, ARCHITECTS & PLANNERS
432 Beecher Road
Columbus, Ohio 43230
Tel: 614.426.7700
Fax: 614.426.7700

PLAN PREPARED FOR:
STATE BANK - DUBLIN
SITE IMPROVEMENTS
FOR
LINCOLN CONSTRUCTION
SITE PLAN

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

Date: 02/03/2014
Scale: 1" = 20'

Drawn By: CSM
Checked By: JMS

Project Number:
13-006-132

Drawing Number:
4/8



SOUTHWEST VIEW

Ford & Associates

ARCHITECTS

STATE BANK
DUBLIN, OHIO
FEBRUARY 3, 2014



SOUTHEAST VIEW

Ford & Associates

ARCHITECTS

STATE BANK

DUBLIN, OHIO
FEBRUARY 3, 2014



NORTHEAST VIEW

Ford & Associates

ARCHITECTS

STATE BANK
DUBLIN, OHIO
FEBRUARY 3, 2014



NORTH VIEW

Ford & Associates

ARCHITECTS

STATE BANK
DUBLIN, OHIO
FEBRUARY 3, 2014



STATE BANK
Banker Drive, Dublin, Ohio
For
Lincoln Construction
4790 Shuster Road, Columbus, Ohio 43214

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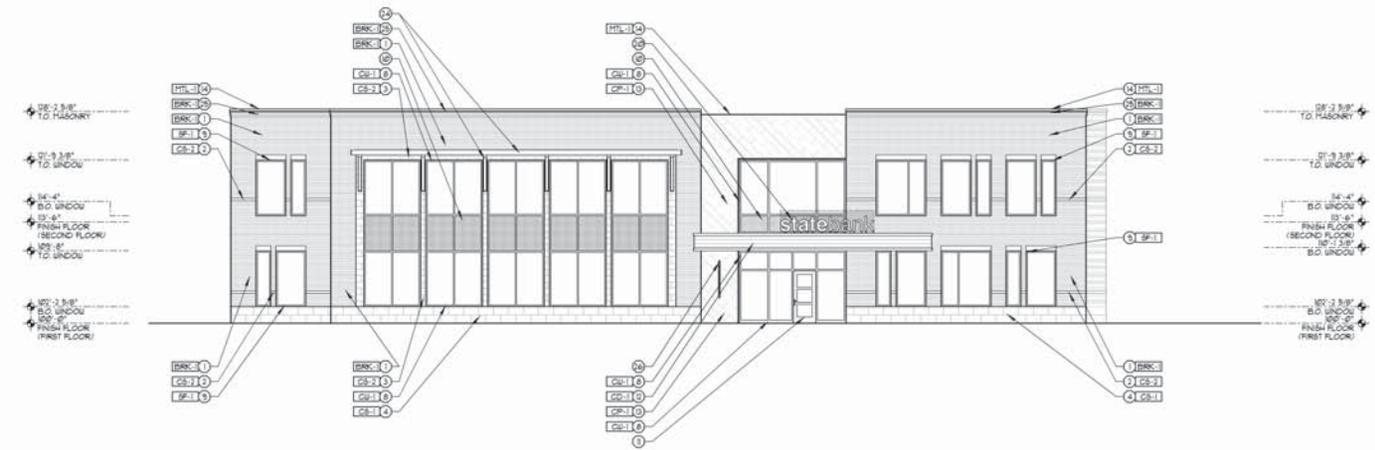
DATE	REVISION	DATE
NOV 20, 2014		NOV 20, 2014
DEC 05, 2014		DEC 05, 2014
JAN 03, 2015		JAN 03, 2015
JAN 23, 2014		JAN 23, 2014
JAN 8, 2014		JAN 8, 2014
FEB 8, 2014		FEB 8, 2014

BUILDING ELEVATIONS

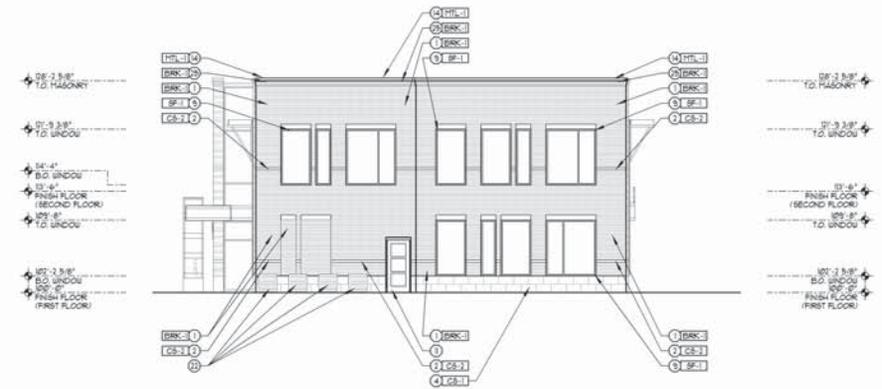
TRAP 10/20/14

ZA-2.2

STATE BANK



A SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

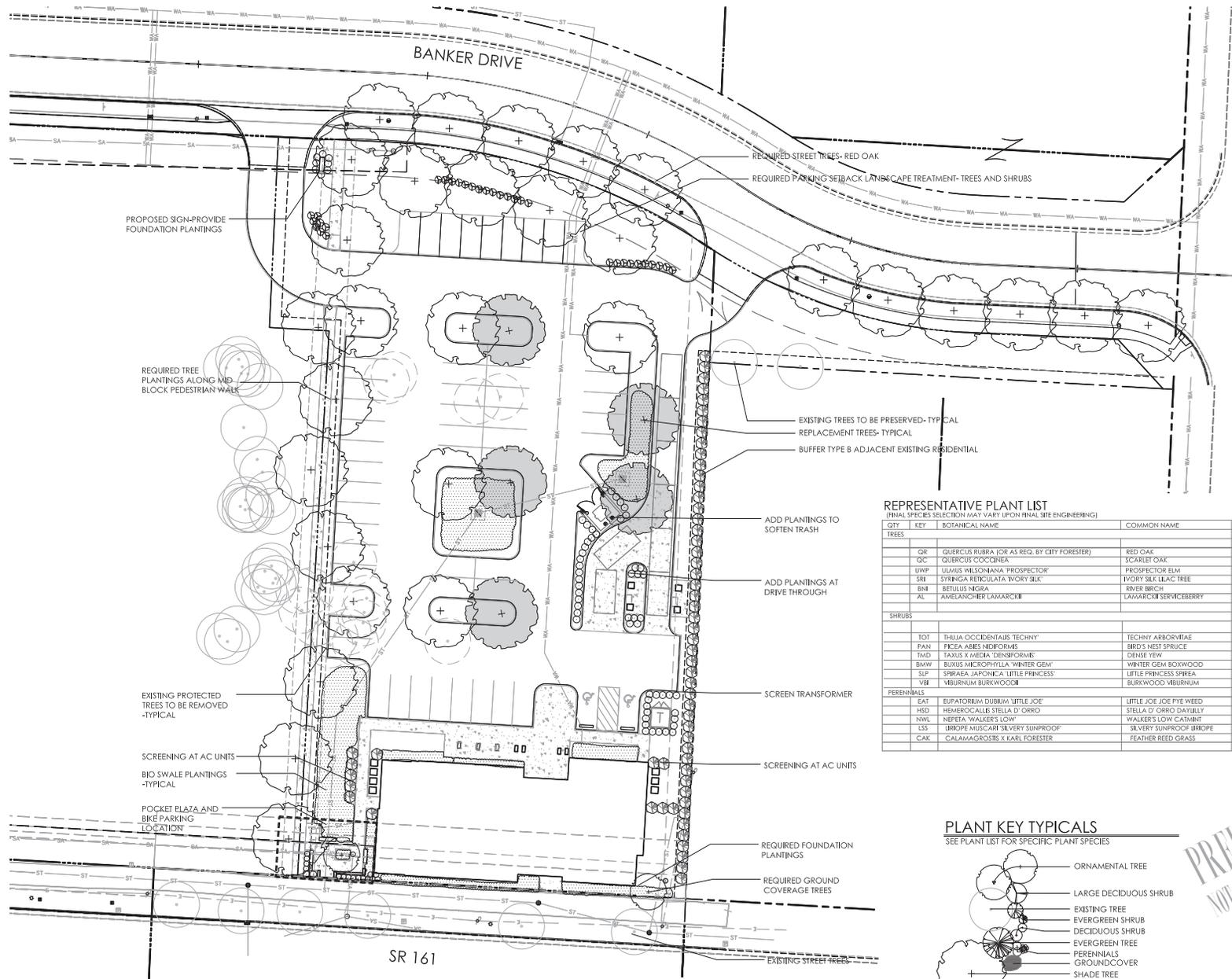


B WEST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND	
○	ELEVATION CODED NOTE TAG (SEE SHEET ZA-2) FOR SCHEDULE 1
□	MATERIAL / FINISH TAG (SEE SHEET ZA-2) FOR EXTERIOR MATERIAL FINISH KEY

ELEVATION CODED NOTES	
1) BRICK VENEER RUNNING BOND.	21) PREFINISHED METAL (24 GA.) EXTERIOR DOWNPOUT CONNECTED TO STORY LINE.
2) MANUFACTURED CAST STONE VENEER (ACCENT).	22) ATYV DRIVE-THRU BANK TELLER UNIT BY OWNER.
3) MANUFACTURED CAST STONE WINDOW CASING.	23) DRIVE-THRU BANK TELLER UNIT BY OWNER.
4) MANUFACTURED CAST STONE VENEER.	24) CONCRETE FILLED STEEL BOLLARD. PAINT.
5) MANUFACTURED CAST STONE VENEER COLUMN.	25) WALL MOUNTED SIGN - 50 SF. MAXIMUM AREA.
6) MANUFACTURED CAST STONE SILL.	26) WALL MOUNTED SIGN - 6 SF. MAXIMUM AREA.
7) BRICK VENEER STREET WALL.	27) GROUND MOUNTED CONCENSING UNITS.
8) PREFINISHED ALUMINUM CURTAINWALL SYSTEM WITH 1" CLEAR LOW-E INSULATED GLASS UNITS.	28) NIGHT DEPOSITORY BOX BY OWNER.
9) PREFINISHED ALUMINUM STOREFRONT / WINDOW SYSTEM WITH 1" CLEAR LOW-E INSULATED GLASS UNITS.	29) CEDAR BRACKETS w/ PREFINISHED STEEL RUNAWAY SYSTEM.
10) 1" SPANDREL GLASS UNIT.	30) BRICK VENEER CORBELED COURSE (HEAD). (FALL 1/2" - TYP. OR 3 COURSES)
11) WOOD ENTRY DOOR w/ 1" CLEAR LOW-E INSULATED GLASS UNITS.	31) SURFACE MOUNTED DECORATIVE LIGHT FIXTURE.
12) 4" WIDE CEDAR SIDING (CLEAR FINISH).	
13) COPPER WALL SIDING.	
14) PREFINISHED METAL PARAPET COPING.	
15) PREFINISHED METAL OVERFLOW DRAIN.	

EXTERIOR MATERIAL FINISH KEY			
MARK	MANUFACTURER	DESCRIPTION	REMARKS
MODULAR BRICK VENEER			
BRK-1	BEILDEN	MODULAR BELCREST LIGHTHOUSE VENEER	
CEDAR SIDING			
CS-1	SPP CEDAR (OR EQUAL)	TONGUE AND GROOVE SIDING CLEAR FINISH	
COPPER WALL SIDING			
CP-1	DR-DESIGN	COPPER WALL PANEL SIDING FINE PATINA COPPER FINISH	
MANUFACTURED CAST STONE			
CS-2	ARRISCRRAFT	ADAIR LIFESTONE MASONRY UNITS	
CS-3	ROCK CAST	CUSTOM CAST STONE SERIES	CAST STONE DECORATIVE ACCENT BANDS/ AND WINDOW CASING
METAL COPING FLASHING DOWNPOUTS			
TH-1	DPI	DYNACLAD PVDF PAINT FINISH	
STOREFRONT/CURTAINWALL SYSTEM			
SP-1	KAWNEER	2' x 4 1/2' - TRIFAB V6-45T COLOR CHARCOAL	
CS-1	KAWNEER	3 1/2' x 6' - 8000 WALL SYSTEM 1 COLOR CHARCOAL	

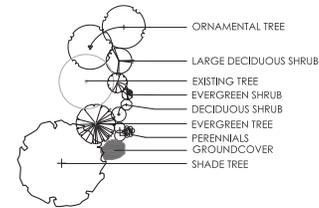


REPRESENTATIVE PLANT LIST
(FINAL SPECIES SELECTION MAY VARY UPON FINAL SITE ENGINEERING)

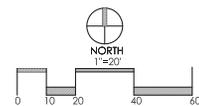
QTY	KEY	BOTANICAL NAME	COMMON NAME
TREES			
	QR	QUERCUS RUBRA (OR AS REQ. BY CITY FORESTER)	RED OAK
	QCC	QUERCUS COCCINEA	SCARLET OAK
	LWFP	LINDLUS WILSONIANA 'PROSPECTOR'	PROSPECTOR ELM
	SHI	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC TREE
	BNI	BETULUS NIGRA	RIVER BIRCH
	AL	AMELANCHIER LAMARCKII	LAMARCKII SERVICEBERRY
SHRUBS			
	TOT	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE
	PAN	PICEA ABIES NIDIFORMIS	BIRD'S NEST SPRUCE
	TWD	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW
	BMW	BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD
	SLP	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA
	VIB	VIBURNUM BURKWOODI	BURKWOOD VIBURNUM
PERENNIALS			
	EAT	EUPATORIUM DUBBIUM 'LITTLE JOE'	LITTLE JOE JOE PYE WEED
	HSD	HEMEROCALLIS STELLA D' ORRO	STELLA D' ORRO DAYLILY
	NWL	NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT
	LSS	LIROPE MUSCARI SILVERY SUNPROOF	SILVERY SUNPROOF LIROPE
	CAK	CALAMAGROSTIS X KARL FORESTER	FEATHER REED GRASS

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	

CONCEPT
LANDSCAPE PLAN

STATE BANK
LINCOLN CONSTRUCTION
7700 BARKER ROAD
COLUMBUS, OH 43214

Paris Planning & Design
LANDSCAPE ARCHITECTURE
5541 N. High Street
Columbus, OH 43215
614.482.2944
www.parisplanning.com

DATE	2/3/14
PROJECT	13102
SHEET	

L-1



LOCATION MAP
No Scale

BENCHMARKS

VERTICAL DATUM
THE VERTICAL DATUM IS BASED ON THE ELEVATION ESTABLISHED BY THE FRANKLIN COUNTY ENGINEERING DEPARTMENT AT MONUMENT 145, BEING 826.994 FEET IN ELEVATION, AND AT MONUMENT FRANK73, BEING 801.706 FEET IN ELEVATION. THE SAID BENCHMARKS WITH ELEVATIONS THAT ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1985.

BM#3 ELEV.=878.18 (NAVD 88)
TOP NORTH BOLT OF FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF STATE ROUTE 161, THE FIRST HYDRANT EAST OF SHAMROCK BOULEVARD, APPROXIMATELY 110 FEET.

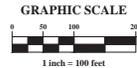
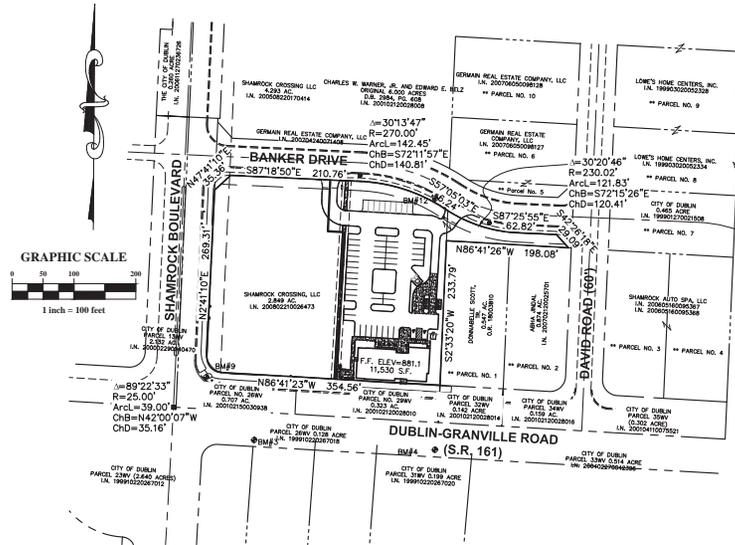
BM#4 ELEV.=862.33 (NAVD 88)
TOP NORTHEAST CORNER OF A CONCRETE BASE FOR A STREET LIGHT LOCATED ON THE SOUTH SIDE OF STATE ROUTE 161, THE SECOND STREET LIGHT EAST OF SHAMROCK BOULEVARD, APPROXIMATELY 400 FEET.

BM#9 ELEV.=874.48 (NAVD 88)
CHISELED SQUARE ON TOP OF THE NORTH CORNER OF A CONCRETE BASE FOR A TRAFFIC SIGNAL STANDARD LOCATED ON THE NORTHEAST CORNER OF THE INTERSECTION OF STATE ROUTE 161 AND SHAMROCK BOULEVARD.

BM#12 ELEV.=883.89 (NAVD 88)
CHISELED SQUARE ON THE SOUTHWEST CORNER OF A CONCRETE LIGHT POLE BASE LOCATED ON THE SOUTH SIDE OF BANKER DRIVE, BEING THE SECOND LIGHT POLE EAST OF THE INTERSECTION OF SHAMROCK BOULEVARD AND BANKER DRIVE.

NOTE: SURVEY WAS PROVIDED BY EMH&T

CITY OF DUBLIN, OHIO SITE IMPROVEMENT PLAN FOR STATE BANK - DUBLIN



INDEX MAP
SCALE: 1"=100'

INDEX OF DRAWINGS

- 1 TITLE
- 2 GENERAL NOTES
- 3 GENERAL DETAILS
- 4 SITE PLAN
- 5 UTILITY PLAN
- 6 GRADING PLAN
- 7 STORM PROFILES
- 8 EROSION CONTROL NOTES & DETAILS

CITY OF DUBLIN APPROVAL

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND THE GENERAL LOCATION OF THE PROJECT AND DOES NOT CONSTITUTE ASSURANCE TO OPERATE AS INTENDED. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL CIVIL ENGINEER PREPARING THE PLANS.

CITY ENGINEER, CITY OF DUBLIN, OHIO _____ DATE _____

DIRECTOR OF LAND USE AND LONG RANGE PLANNING _____ DATE _____
CITY OF DUBLIN, OHIO

STANDARD CONSTRUCTION DRAWINGS

CITY OF DUBLIN	CITY OF COLUMBUS	ODOT
MD-01	AA-S102	2-3 CB
ST-03	AA-S106	
	AA-S107	
	AA-S112	
	AA-S117	
	AA-S119	
	AA-S149	
	AA-S150	
	AA-S151	
	AA-S161	
	L-6309 A,B,E	
	L-6310	
	L-6311	
	L-6317 A-E	
	L-6637 A	
	L-6640	
	L-7001	
	L-7002	



OWNER

STATE BANK
109 S. HIGH STREET
DUBLIN, OHIO 43017
614-336-7779

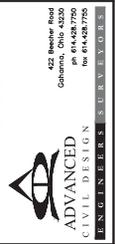
PLANS PREPARED FOR

LINCOLN CONSTRUCTION
4790 SLUSTER RD
COLUMBUS, OHIO 43214
614-457-6015

PREPARED BY:



REGISTERED ENGINEER _____ NUMBER _____ DATE _____



PLAN PREPARED FOR:
STATE BANK - DUBLIN
SITE IMPROVEMENTS
FOR
LINCOLN CONSTRUCTION
TITLE

Issue Date:	_____
Date:	02/03/2014
Scale:	1" = 100'
Drawn By:	CAW
Checked By:	JMH
Project Number:	13-0006-132
Drawing Number:	1 / 8

E-64887 12/30/13

GENERAL NOTES

- City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard Specifications) shall govern all construction items unless otherwise noted. If a conflict between specifications is found, the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of Columbus Item Numbers unless otherwise noted.
- The City Engineer will not be responsible for means, methods, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for follow by the Contractor to perform work according to contract documents.
- The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Ohio EPA. Permits to install (PIT) and Notices of Intent (NOI), Building Permits, etc.
- The Contractor shall notify the City of Dublin Division of Engineering in writing at least 3 working days prior to beginning construction.
- The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
- Following completion of construction of the site improvements and before releasing occupancy, a proof survey shall be provided to the Division of Engineering that documents "as-built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be completed, signed and submitted by the Professional Engineer who sealed the construction drawings.
- The Contractor shall restrict construction activity to public right-of-way and areas dedicated for temporary construction construction easements, unless otherwise authorized by the City Engineer.
- The Contractor shall carefully preserve benchmarks, property corners, reference points, stakes and other survey reference monuments or permanent stakes of witness or correct destruction. The Contractor shall be responsible for restorations. Resetting of markers shall be performed by an Ohio Professional Surveyor as approved by the City Engineer.
- Non-rubber tired vehicles shall not be moved on or across public streets or highways without the approval of the City Engineer.
- The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or culverts that are disturbed by construction shall be restored to the grades and cross-sections that existed before construction.
- Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited according to Section 97.35 of the Dublin Code of Ordinances. Any such occurrence shall be cleaned up immediately by the Contractor at no cost to the City. If the Contractor fails to remove mud, dirt, debris, or spillage, the City reserves the right to remove the debris and clean affected areas, the cost of which shall be the responsibility of the Contractor.
- Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) is not permitted.
- All signs, landscaping, structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All field file broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All precast concrete products shall be inspected of the location of production. Approved precast concrete products will be stamped or how such identification noting that inspection has been conducted by the City of Columbus. Precast concrete products without proof of inspection shall not be approved for installation.
- Backfill within a 1:1 influence line of existing structures (houses, garages, etc.) or public infrastructure (sewer, curb, sidewalks, bike paths, etc.) shall be compacted granular backfill according to item 912 of the Standard Specifications or Flowable Fill, Type II according to item 636, Item 911 of the Standard Specifications shall be used elsewhere.
- The Contractor shall submit a copy of the approved construction drawings and a list of proposed precast concrete product manufacturers to the City of Columbus Construction Inspection Division before commencing construction.

Send the information to the following address:
 Construction Inspection Division
 City of Columbus
 1800 East 17th Avenue
 Columbus, Ohio 43219

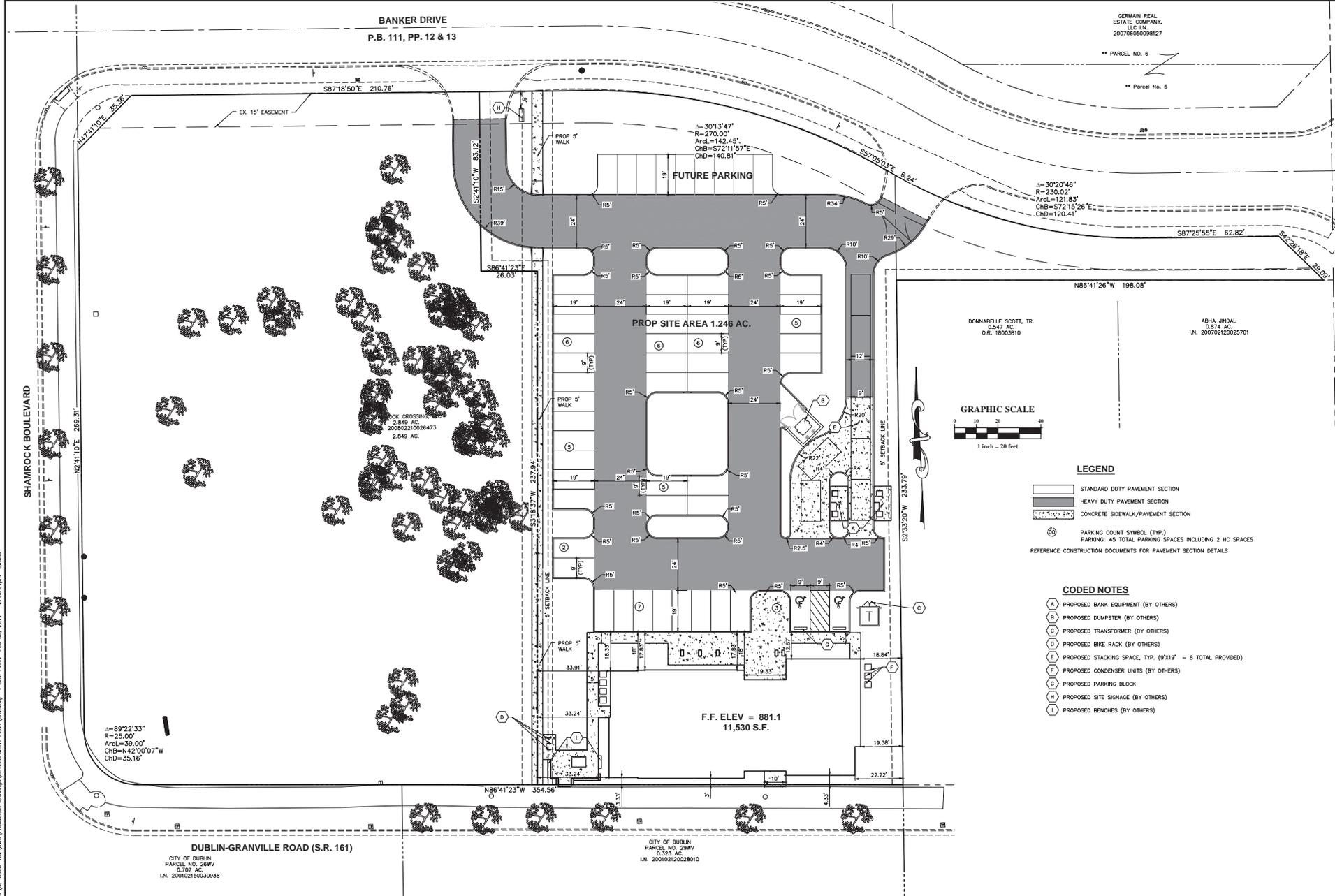
Send a copy of the transmittal letter to the following address:
 Division of Engineering
 City of Dublin
 5600 Shier Rings Road
 Dublin, Ohio 43016

- Traffic control and other regulatory signs shall be Type S with a square post and/or base installation and meet all requirements of ODOT TC-41.20 and applicable City of Dublin specifications.
 - Street signs shall meet all City of Dublin specifications with lettering colored in white displayed on a brown background. Sign tubing shall be installed in accordance with ODOT TC-41.20, square post and/or base installation requirements of ODOT TC-41.20.
- UTILITIES**
- The following utilities are known to be located within the limits of this project:
 GAS
 COLUMBIA GAS OF OHIO, INC.
 1600 DUBLIN ROAD
 COLUMBUS, OHIO 43215
 (614) 481-1000
 ELECTRIC
 AMERICAN ELECTRIC POWER
 850 TECH CENTER DRIVE
 GANARNA, OHIO 43230
 (614) 883-6817
 COMMUNICATION
 THE WARNER CABLE
 1266 DUBLIN ROAD
 COLUMBUS, OHIO 43215
 (614) 481-5000
 FRONTIER COMMUNICATIONS
 (800) 982-8772
 - AT&T
 111 N. 4TH STREET
 DUBLIN, OHIO 43215
 (614) 623-5780
 - CITY OF DUBLIN
 6555 SHER-RIVOS ROAD
 DUBLIN, OHIO 43016
 (614) 410-4750
 - SANITARY SEWER/WATER
 CITY OF DUBLIN
 6555 SHER-RIVOS ROAD
 DUBLIN, OHIO 43016
 (614) 410-4750
 - CITY OF COLUMBUS
 DIVISION OF POWER AND WATER
 3368 RIDINGWALK AVENUE
 COLUMBUS, OHIO 43214
 (614) 645-7360
 - CITY OF COLUMBUS
 DIVISION OF SEWERS AND DRAINS
 1250 FAIRWOOD AVENUE
 COLUMBUS, OHIO 43206
 (614) 645-7102
 - The Contractor shall give notice of intent to construct to Ohio Utilities Protection Service (telephone number 800-362-2746). Producer's Underground Protection Service (telephone number 614-587-0486), and to owners of underground utilities that are not members of a registered underground protection service. Notice shall be given at least 2 working days before start of construction.
 - The identify and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the owner of the underground utility. The City of Dublin and the City Engineer assume no responsibility for the accuracy or depths of underground facilities shown on the approved construction drawings. If damage is caused, the Contractor shall be responsible for repair of the same and for any resulting contingent damage.
 - Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.
 - When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.
 - Public street lighting may be in the vicinity of this project. Contact the City of Dublin, Division of Engineering at 410-4637, two days prior to beginning work.
- TRAFFIC CONTROL**
- Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Ohio Manual of Uniform Traffic Control Devices (MUTCD), current edition.
 - All traffic lanes of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the City Engineer. At all other hours the Contractor shall maintain minimum one-lane two-way traffic. Uniformed, off-duty police officers shall replace flagmen designated by the MUTCD, and shall be present whenever one-lane, two-way traffic control is in effect. Police officers may be required as directed by the City Engineer.
 - If the City Engineer determines that the Contractor is not providing proper provisions for traffic control, the City Engineer shall assign uniformed, off-duty police officers to the project at no cost to the City.
 - Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
 - Access from public roadways to all adjoining properties for existing residents or businesses shall be maintained throughout the duration of the project for mail, public water and sanitary sewer service, and emergency vehicles. The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details contained herein. The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.
- EROSION AND SEDIMENT CONTROL**
- The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the City Engineer. The NOI must be submitted to ODEA 45 days prior to the start of construction and may require coverage under a National Stormwater Discharge and Stormwater Discharges associated with construction activity. A project location map must be submitted with the NOI. A sediment and erosion control plan must be submitted to the City Engineer for approval. If a sediment and erosion control plan has not already been included with the approved construction drawings, this plan must be made available at the project site at all times. The design of erosion control systems shall follow the requirements of Ohio EPA, Item 607 of Ohio Department of Transportation Standard Specifications, and the City Engineer. An individual NPDES Stormwater Discharge Permit may be required. The Contractor shall be considered the permittee.
 - The Contractor shall provide sediment control at all points where storm water runoff leaves the project, including waterways, overland sheet flow, and storm sewers.
 - Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, all filter fences, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.

- The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.
 - Disturbed areas that will remain unworked for 30 days or more shall be seeded or protected with an erosion control mat of the manufacturer. Other sediment controls that are installed shall be maintained until vegetative growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before removal of permanent ground cover.
- BLASTING (If Permitted)**
- The Contractor must obtain a blasting permit from Washington Township Fire Department prior to blasting for rock excavation. The Contractor shall submit blasting reports upon completion of blasting to the City Engineer, the Owner, and the Owner's engineer. Top of rock elevations shall be shown on "as-built" construction drawings.
- SANITARY SEWERS**
- Connections to the sanitary sewer will be permitted upon receiving an ODEPA Permit to install (PIT), and upon receiving a satisfactory letter from the design engineer stating that the project has been constructed as per the plans, and all of the conditions of the PIT have been met. The developer is responsible for obtaining all required Ohio EPA approvals and paying review fees.
 - Sanitary sewer collection systems shall be constructed in accordance with the rules, regulations, standards and specifications of the City of Dublin, Ohio EPA, Ohio Department of Health and the current edition of the Great Lakes-Upper Mississippi River Board (Ten States) - Recommended Standards for Wastewater Facilities.
 - The minimum requirements for sanitary sewer pipe with diameters 15 inches and smaller shall be reinforced concrete pipe ASTM C76 Class 3, 11 N PVC sewer pipe ASTM A304, SDR 35. PVC sewer pipe with diameters 18 inches and larger shall be PVC pipe ASTM D3034, SDR 35. PVC pipe shall not be used on depths greater than 5 feet. Pipe materials and related structures shall be shop tested in accordance with City of Dublin sanitary manhole standard drawing. Manhole lids shall include City of Dublin logo.
 - The minimum requirements for sanitary sewer pipe with diameters greater than 18 inches shall be reinforced concrete pipe ASTM C76 with 100 gals per inch of infiltration sewer design per 24 hours per mile.
 - All in-line wye and tee connections to concrete sewers, 18-inch diameter and larger, shall be either Kor-N-Seal or Kor-N-Seal connectors conforming to the manufacturer's recommendations.
 - Granular backfill shall be compacted granular material according to item 912 of the Standard Specifications or Controlled Density Backfill according to item 636, Type III of the Standard Specifications as directed by the City Engineer.
 - All manhole lids shall be provided with continuous self-sealing gaskets. The approved construction drawings shall show where bolt-down sanitary manhole covers shall be used. Sanitary manhole covers or as approved by the City Engineer and conform to the City of Dublin sanitary manhole standard drawing. Manhole lids shall include City of Dublin logo.
 - All PVC sewer pipes shall be deflection tested no less than 60 days after installation of backfill to verification of backfill settlements shall be according to item 901.21 of the Standard Specifications.
 - Temporary backfills shall be placed in places at locations shown on the approved construction drawings and shall remain in place until the Permit to Install (PIT) has been issued by the ODEPA and the sewers have been approved for use by the City Engineer. The cost of furnishing, installing, maintaining, and removing backfills shall be included in the contract unit bid price for the various sanitary sewer items.
 - All sanitary sewers including sanitary sewer service lines shall be tested and pass deflection or other tests according to item 901 of the Standard Specifications and must be approved for use by the City Engineer before any service connections are tapped into sewers.
 - For sanitary sewer infiltration, leakage through joints shall not exceed 100 gallons per inch of sanitary sewer diameter per 24 hours per mile, of length or the computed equivalent. All sanitary sewers shall be tested.
 - At the determination of the City Engineer, the Contractor may be required to perform a TV inspection of the sanitary sewer system prior to final acceptance by the City. This work shall be completed by the Contractor at his expense.
 - Visible leaks or other defects observed or discovered during TV inspection shall be reported to the satisfaction of the Engineer.
 - Road drains, foundation drains, field tile or other clean water connections to the sanitary sewer system are strictly prohibited according to Section 91.23 of the Dublin Code of Ordinances.
 - All water lines shall be located at least 10 feet horizontally and 18 inches vertically, from sanitary sewers and storm sewers, to the greatest extent practicable. Where sanitary sewers cross waterlines or other sewers or other utilities, trench backfill shall be placed between the pipe crossing and shall be compacted granular material according to item 912 of the Standard Specifications. In the event that a water line must cross within 18 inches of a sanitary sewer, the sanitary sewer shall be concrete encased or consist of ductile iron pipe material.
 - Service risers shall be installed where the depth from wyes to proposed ground elevation exceeds 10 feet. Tops of risers shall be no less than 8 feet below proposed ground level. If basement level is intended.
 - Where service risers are not installed, a minimum 5-foot length of sanitary sewer pipe of the same size as the pipe opening shall be installed.
 - The Contractor shall furnish and place, as directed, approved eye bolts on Class II or Class III pipe diameters 12 inches to 18 inches, 24 inches to 30 inches, and 36 inches and larger pipes are required. Eye bolts shall be visible before acceptance by the City. The cost of these poles shall be included in the contract unit price for the various sanitary sewer items.
 - Existing sanitary sewer flows shall be maintained at all times. Costs for pumping and bypassing shall be included in the Contractor's unit price for the various sanitary sewer items.
 - The Contractor shall furnish all material, equipment, and labor to make connections to existing manholes. The sewer pipe to manhole connection shall be installed with a 1:1 slope. All manhole riser pipe shall be neatly cored. The sewer pipe barrel at the springline shall be cored and the cored area shall be backfilled with concrete to maintain flexibility in the connection, a 1-inch gap shall be left between the end of the pipe inside the manhole and the concrete connection. The cored area shall be filled with a waterproof flexible joint liner. Any metal that is used shall be Type 300 Series Stainless Steel. The connection may be any of the following types:
 1) Kor-N-Seal as manufactured by National Pollution Control Systems, Inc.
 2) Leak Joint Flexible Manhole Sleeve as manufactured by Intertape Corporation.

- Or equal as approved by the City Engineer.
 - Rubber gasket compression.
 a. Press Wedge II as manufactured by Press-Seal Gasket Corporation.
 b. Duro Seal III as manufactured by Duro Tech, Inc.
 c. Link-Seal as manufactured by Thunderbird Corporation.
- The cost for this work along with a new channelized base for the manhole shall be included in the unit bid price for the related items of work.
- WATER LINE**
- All water line materials shall be provided and installed according to current specifications of the City of Columbus Division of Water.
 - All public water pipe with a diameter 3 inches to 6 inches shall be Ductile Iron, Class 53. Public water pipe 12 inches in diameter or larger shall be Ductile Iron, Class 54. Public water pipe 20 inches in diameter or larger may be prestressed concrete pipe. Private water pipe shall meet the approval of the City of Columbus Division of Water prior to approval of the construction drawings.
 - Only fire hydrants conforming to City of Columbus standards will be approved for use.
 - Public water lines shall be disinfected by the City of Columbus Division of Water. Requests for water line disinfection shall be made through the City of Dublin Division of Engineering. The cost for disinfection shall be paid for by the Contractor.
 - All water lines shall be disinfected according to item 801.13 of the Standard Specifications. Special instructions to disinfected to applicable sections of American Water Works Association specification C-651. Disinfection shall be done in depth of 28 feet. Pipe materials and related structures shall be shop tested in accordance with City of Dublin sanitary manhole standard drawing. Manhole lids shall include City of Dublin logo.
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Z:\13-0006-132\DWG\Production Drawings\DEVELOPMENT PLAN\Site.dwg 4 SITE PLAN File: 03/16/14 - 2:08:46pm caw/lls



BANKER DRIVE
P.B. 111, PP. 12 & 13

SHAMROCK BOULEVARD

DUBLIN-GRANVILLE ROAD (S.R. 161)
CITY OF DUBLIN
PARCEL NO. 294W
0.707 AC.
I.N. 200102100030938

CITY OF DUBLIN
PARCEL NO. 294W
0.353 AC.
I.N. 20010210028010

GERMAIN REAL ESTATE COMPANY, LLC I.N. 200706050098127

** PARCEL NO. 6
** Parcel No. 5

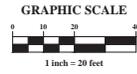
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 $\text{ArcL}=142.45'$
 $\text{ChB}=S72'11.57"E$
 $\text{ChD}=140.81'$

$\Delta=30'20'46"$
 $R=230.02'$
 $\text{ArcL}=121.83'$
 $\text{ChB}=S72'15'26"E$
 $\text{ChD}=120.41'$

PROP SITE AREA 1.246 AC.

DONNABELLE SCOTT, TR.
0.547 AC.
O.R. 18003810

ABHA JINDAL
0.874 AC.
I.N. 200702120025701



LEGEND

- STANDARD DUTY PAVEMENT SECTION
- HEAVY DUTY PAVEMENT SECTION
- CONCRETE SIDEWALK/PAVEMENT SECTION

PARKING COUNT SYMBOL (TYP.)
PARKING: 45 TOTAL PARKING SPACES INCLUDING 2 HC SPACES
REFERENCE CONSTRUCTION DOCUMENTS FOR PAVEMENT SECTION DETAILS

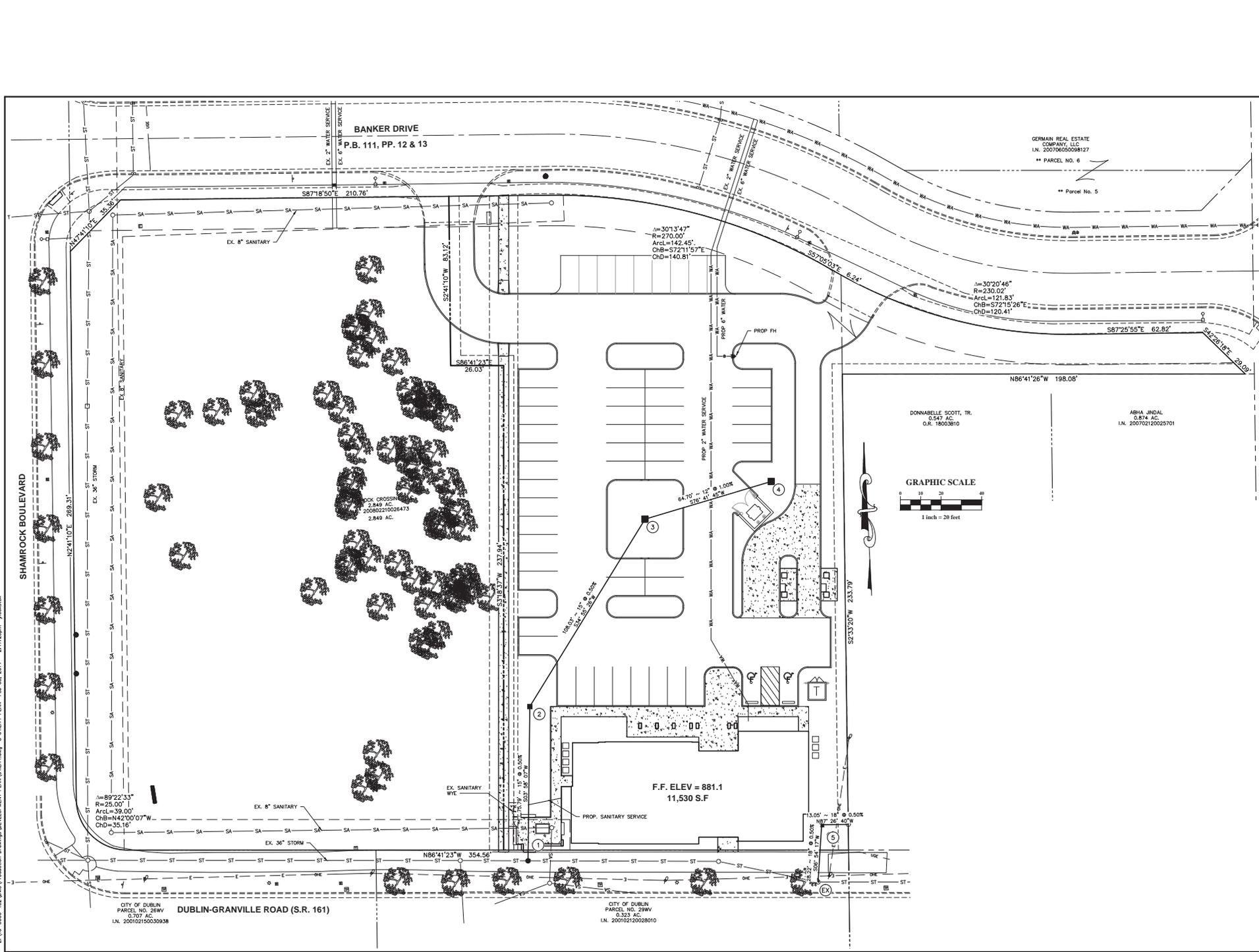
CODED NOTES

- A PROPOSED BANK EQUIPMENT (BY OTHERS)
- B PROPOSED DUMPSTER (BY OTHERS)
- C PROPOSED TRANSFORMER (BY OTHERS)
- D PROPOSED BIKE RACK (BY OTHERS)
- E PROPOSED STACKING SPACE, TYP. (9'X19' - 8 TOTAL PROVIDED)
- F PROPOSED CONDENSER UNITS (BY OTHERS)
- G PROPOSED PARKING BLOCK
- H PROPOSED SITE SIGNAGE (BY OTHERS)
- V PROPOSED BENCHES (BY OTHERS)



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
STATE BANK - DUBLIN
SITE IMPROVEMENTS
FOR
LINCOLN CONSTRUCTION
SITE PLAN

Issue Date:
Date: 02/03/2014
Scale: 1" = 20'
Drawn By: CAW Checked By: JMH
Project Number: 13-0006-132
Drawing Number: 4/8

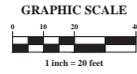


GERMAIN REAL ESTATE COMPANY, LLC
 I.N. 200706050088127
 ** PARCEL NO. 6

** Parcel No. 5

DONNABELLE SCOTT, TR.
 0.547 AC.
 O.R. 18003810

ABHA JINDAL
 0.574 AC.
 I.N. 200702120025701



F.F. ELEV = 881.1
 11,530 S.F.

CITY OF DUBLIN
 PARCEL NO. 288V
 0.707 AC.
 I.N. 200102150030938

DUBLIN-GRANVILLE ROAD (S.R. 161)

CITY OF DUBLIN
 PARCEL NO. 291W
 0.323 AC.
 I.N. 200102100029010



PLAN PREPARED FOR:
 PLAN PREPARED BY:

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
STATE BANK - DUBLIN
 SITE IMPROVEMENTS
 FOR
 LINCOLN CONSTRUCTION
UTILITY PLAN

Issue Date:

Date: 02/03/2014
 Scale: 1" = 20'

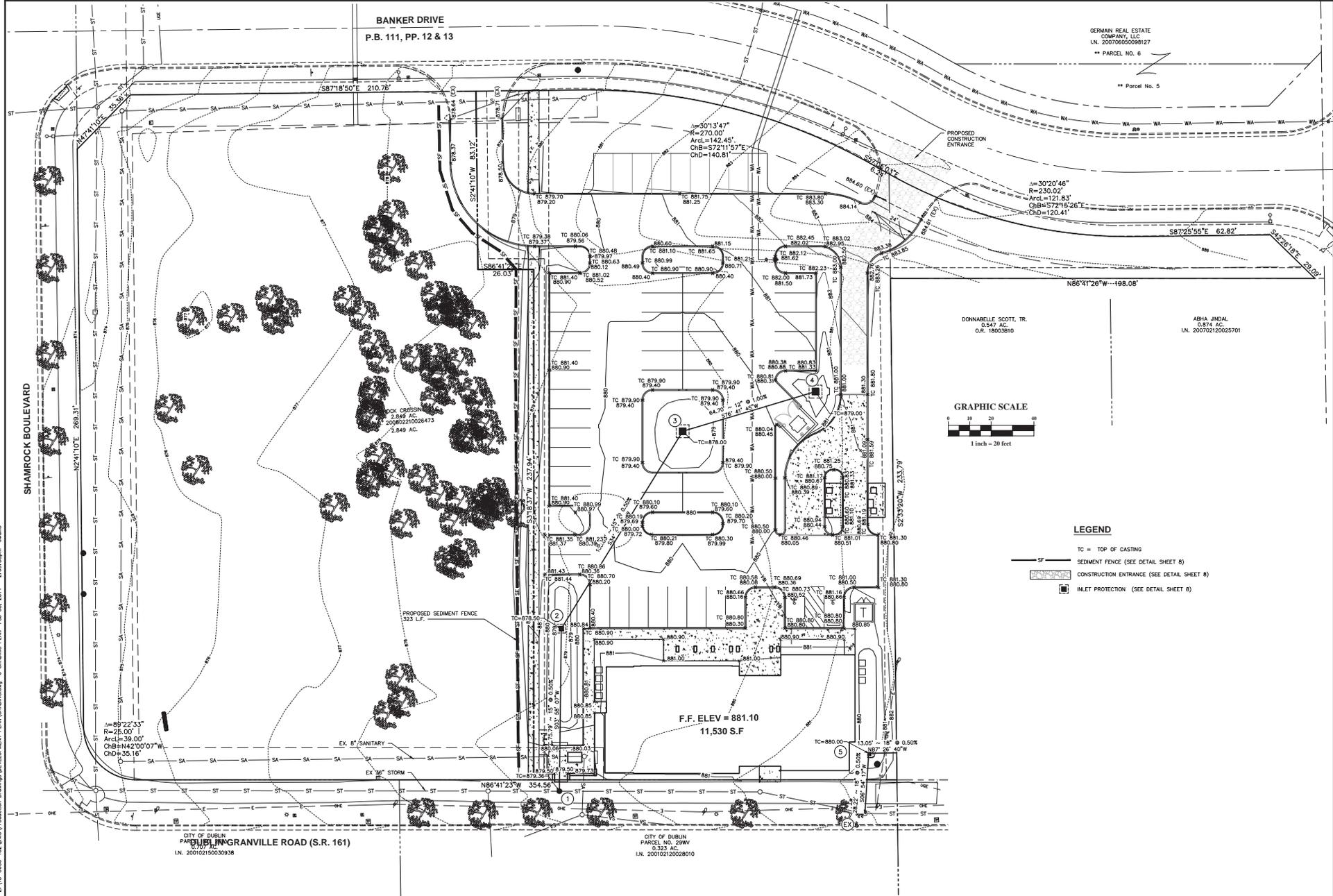
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Drawing Number:

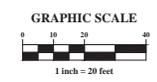
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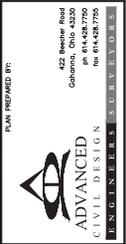


GERMAN REAL ESTATE COMPANY, LLC
LN. 200706050098127
** PARCEL NO. 6

** Parcel No. 5



- LEGEND**
- TC = TOP OF CASTING
 - SF — SEDIMENT FENCE (SEE DETAIL SHEET 8)
 - CONSTRUCTION ENTRANCE (SEE DETAIL SHEET 8)
 - INLET PROTECTION (SEE DETAIL SHEET 8)



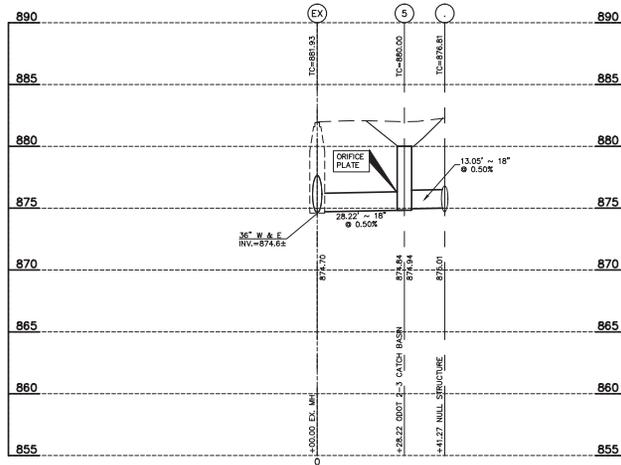
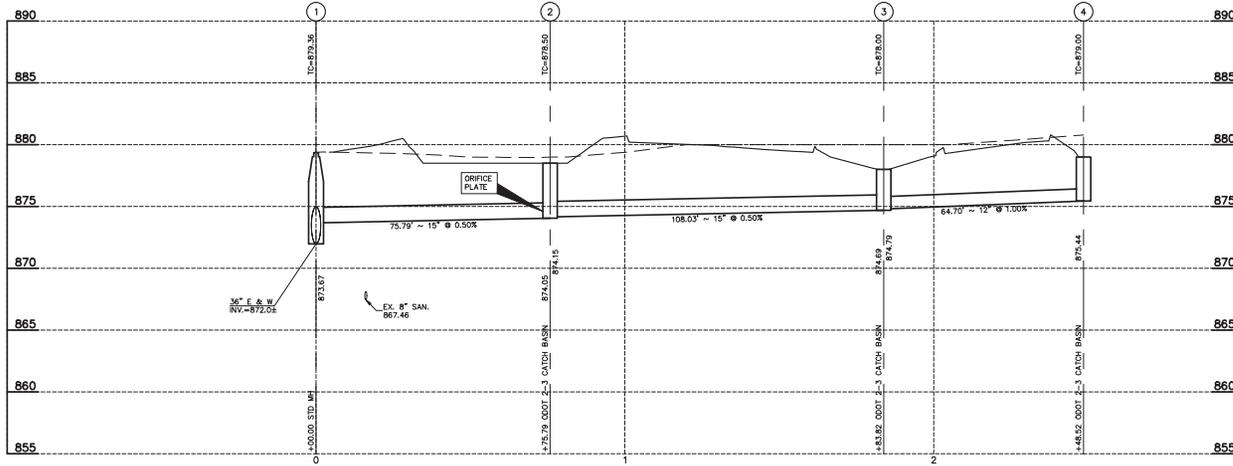
PLAN PREPARED FOR:
PLAN PREPARED BY:

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
STATE BANK - DUBLIN
SITE IMPROVEMENTS
FOR
LINCOLN CONSTRUCTION
GRADING PLAN

Issue Date:	
Date:	02/03/2014
Scale:	1" = 20'
Drawn By:	CAW
Checked By:	JMH
Project Number:	13-0006-132
Drawing Number:	

6 / 8

Z:\13-0006-132\DWG\Production Drawings\DEVELOPMENT PLAN\storm_profiles.dwg 3 STORM PROFILES Feb 03, 2014 2:08:56pm csws



PLAN PREPARED BY: ADVANCED CIVIL DESIGN
 452 Maple Road
 Columbus, Ohio 43250
 PH: 614-490-7700
 FAX: 614-490-7700

PLAN PREPARED FOR: CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
STATE BANK - DUBLIN
SITE IMPROVEMENTS
 FOR
LINGOLN CONSTRUCTION
STORM PROFILES

Issue Date: _____
 Date: 02/03/2014
 Scale: 1" = 20'

Drawn By: CAW Checked By: JMH
 Project Number: 13-0006-132
 Drawing Number: 718

EROSION AND SEDIMENT CONTROL NARRATIVE

PLAN ENGINEERS: ADVANCED CIVIL DESIGN, INC. 422 BECHER ROAD GANAMA, OH 43020 PH (614) 428-7750 FAX (614) 428-7755 CONTACT: JASON HOOKSTOR EMAIL: JHOOKSTOR@ADVANCEDCIVILDESIGN.COM

PROPERTY OWNER: STATE BANK 109 S. HIGH STREET DUBLIN, OH 43017

EXISTING SITE DESCRIPTION: THE SITE IS A WOODED AREA OVERALL SITE AREA: 2.849 ACRES DISTURBED ACREAGE: +/- 1.269 ACRES

EXISTING SITE DRAINAGE CONDITION: THE EXISTING SITE DRAINS VIA OVERLAND SHEET FLOW TO THE WEST INTO ROADWAY DRAINAGE SYSTEM CURB INLETS & EVENTUALLY TRIBUTARY TO THE SCIOTO RIVER VIA THE PUBLIC STORM SYSTEM.

ADJACENT AREAS: THE SITE IS BOUNDED BY BANKER DRIVE TO THE NORTH, W. DUBLIN GRANVILLE ROAD TO THE SOUTH, AN EXISTING RESIDENTIAL PARCEL EAST & SHAMROCK BOULEVARD TO THE WEST

CRITICAL AREAS: N/A

EROSION & SEDIMENT CONTROL MEASURES: EROSION AND SEDIMENT RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE AND INLET PROTECTION. INLET PROTECTION AT ALL EXISTING INLETS SHALL BE PLACED AS A PART OF THE SITE MASS EXCAVATION.

MAINTENANCE: MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED WITH THIS PLAN.

CONSTRUCTION SEQUENCE (EROSION & SED. CONTROL)

- OBTAIN PROPER CITY OF DUBLIN, COUNTY, STATE, AND FEDERAL PERMITS.
- PRIOR TO CONSTRUCTION THE OWNER/OPERATOR SHALL COORDINATE WITH ALL CONTRACTORS AND THE CITY OF DUBLIN ENGINEER AS REQUIRED.
- THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2764 FORTY-EIGHT (48) HOURS IN ADVANCE OF ANTICIPATED START OF CONSTRUCTION, AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR LINES.
- ESTABLISH THE TEMPORARY CONSTRUCTION ENTRANCE INTO THE SITE PER DETAIL ON THIS SHEET.
- THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCE AROUND ALL PROTECTION AREAS (PRESERVED TREES) PRIOR TO COMMENCEMENT OF WORK.
- CLEAR NECESSARY VEGETATION FOR THE INSTALLATION OF THE PERMIER SEDIMENT FENCE.
- WHILE PERFORMING SITE GRADING ACTIVITIES, DISTURBED AREAS SHALL BE SEEDED WITHIN 7 DAYS OF CONSTRUCTION. DRAINAGE SHALL BE DIRECTED TO A FILTERING FACILITY AT ALL TIMES DURING CONSTRUCTION. TOPSOIL SHALL BE STOCKPILED FOR LATER RE-SPREAD OR HAULED OFFSITE.
- AS EACH AREA IS DISTURBED AND MOUNDING TAKES PLACE IN ORDER TO PROVIDE COMPACTION AND PLACEMENT OF FILL ACROSS THE SITE, EROSION CONTROL MEASURES SHALL BE USED. STOCKPILES SHALL BE SURROUNDED BY SEDIMENT FENCE AND TEMPORARY SEEDING APPLIED.
- SEED AND MULCH THE SITE ACCORDING TO THE TEMPORARY AND PERMANENT SEEDING REQUIREMENTS TO REESTABLISH ALL DENIED AREAS.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR SEEDED/MULCHED. AFTER REMOVAL OF THE EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL INLETS AND STORM SEWER PIPES OF ALL SEDIMENT INCURRED DURING CONSTRUCTION.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENIED AREAS WITHIN SEVEN DAYS AFTER FINAL PROPOSED GRADE IS REACHED ON ANY PORTION OF THE SITE. ALL DENIED AREAS SHALL BE CONSTRUCTED TO FINAL PROPOSED GRADE AS QUICKLY AS POSSIBLE AND SHOULD NOT BE LEFT DORMANT UNLESS SITE CONDITIONS DO NOT ALLOW FINAL GRADING TO BE COMPLETED. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENIED AREAS WHERE GRADING MAY NOT BE COMPLETE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SHEET FLOW RUNOFF FROM DENIED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS WHICH ARE NOT TRIBUTARY TO A SEDIMENT BASIN OR DAM.

THE LIMITS OF SEEDING AND MULCHING WILL EXTEND OVER THE PROJECT AREA IN ACCORDANCE WITH THE LEVEL OF DISTURBANCE ASSOCIATED WITH THE ACTUAL CONSTRUCTION SEQUENCE. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDED LIMITS SHALL BE SEEDED AT THE CONTRACTOR'S EXPENSE.

TEMPORARY SEEDING

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbance areas within 50 feet of a surface water of the State and not of final grade	Within two days of the most recent disturbance if the area will remain idle for more than 31 days
For all construction activities, any disturbed areas that will be dormant for more than 21 days but less than one year, and not within 50 feet of a surface water of the State	Within seven days of the most recent disturbance within the area
Disturbed areas that will be idle over winter	Prior to the onset of winter weather

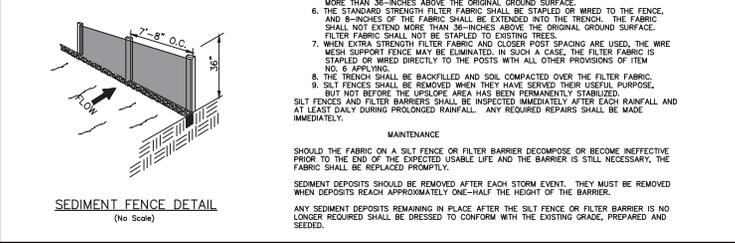
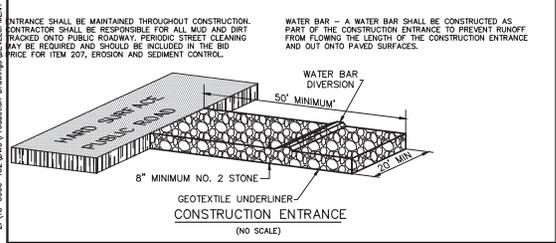
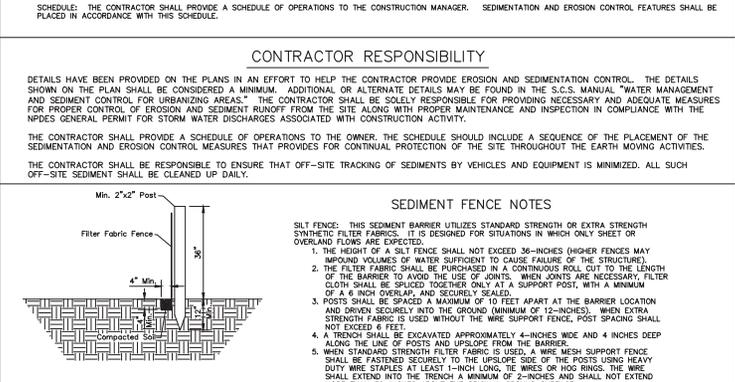
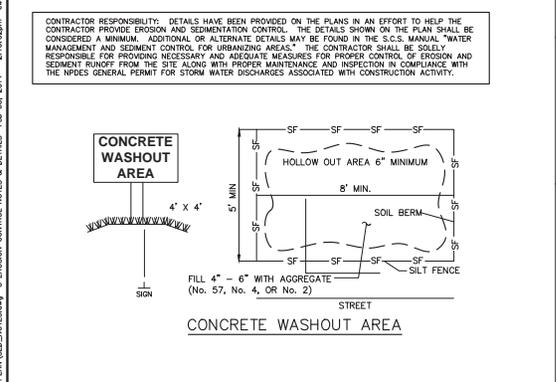
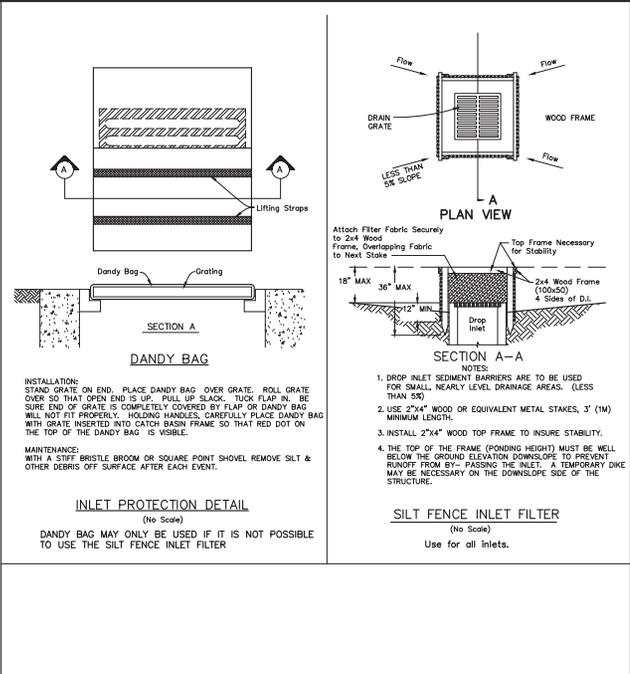
PERMANENT SEEDING

Area requiring Permanent stabilization	Time frame to apply erosion controls
Any area that will be dormant for one year or more	Within seven days of the most recent disturbance
Any areas within 50 feet of a surface water of the State and at final grade	Within two days of reaching final grade
Any other areas at final grade	Within seven days of reaching final grade within that area

DESCRIPTION	DATES	RECOMMENDED APPLICATION RATE (OR EQUIVALENT) AS SPECIFIED IN BARRIERS & LAND DEVELOPMENT	
PERMANENT SEEDING	MARCH 1-SEPT 30	GENERAL USE MIX OF - - CRYSTALLINE RED FESCUE @ 20-40 LB/AC - DOMESTIC RYEGRASS @ 10-20 LB/AC - HYDRIC BLUEGRASS @ 10-20 LB/AC	
		STEEP BANKS ROAD DITCHES	TALL FESCUE @ 40 LB/AC ANNUAL RYEGRASS @ 40 LB/AC
TEMPORARY SEEDING	MARCH 1-SEPT 30	MIX OF - - PERENNIAL RYEGRASS @ 40 LB/AC - TALL FESCUE @ 40 LB/AC - ANNUAL RYEGRASS @ 40 LB/AC	
DORMANT SEEDING	OCT 1-NOV 20	PREPARE SEEDED, ADD LIME & FERTILIZER, THEN MULCH FROM NOV. 21 THROUGH MARCH 15, APPLY THE SELECTED SEED MIXTURE AT A 50% INCREASE IN RATE.	
	NOV 20-MARCH 15	PREPARE SEEDED, ADD LIME & FERTILIZER, APPLY THE SELECTED SEED MIXTURE AT A 50% INCREASE IN RATE, THEN MULCH.	
MULCH	ANY TIME OF YEAR	STRAW	2 TONS/AC OR 80 LB/1000FT
		HYDROSEED (WOOD CELLULOSE FIBER)	1 TON/AC OR 46 LB/1000FT

MAINTENANCE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL FEATURES USED ON THIS PROJECT. THE SITE SHALL BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREATER THAN 0.5" PER 24 HOUR PERIOD. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

SCHEDULE: THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE CONSTRUCTION MANAGER. SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE PLACED IN ACCORDANCE WITH THIS SCHEDULE.



PLAN PREPARED BY: ADVANCED CIVIL DESIGN

PLAN PREPARED FOR: STATE BANK - DUBLIN

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

DATE: 02/03/2014

SCALE: N/A

DRAWN BY: CAW CHECKED BY: JMH

PROJECT NUMBER: 13-0006-132

DRAWING NUMBER: 8/8

422 Becher Road
Ganama, Ohio 43020
PH: 614-428-7750
FAX: 614-428-7755
WWW.ADVANCEDCIVILDESIGN.COM

STATE BANK - DUBLIN
SITE IMPROVEMENT
FOR
LINCOLN CONSTRUCTION
EROSION CONTROL NOTES & DETAILS