



CASTO

Tuller Flats

View at Tuller Road & Deardorff Street



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V. 1



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View at John Shields Looking Southeast


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V. 2



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View at Watson Street Looking Northwest


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V. 3



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View at Deardorff Street Looking South


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V. 4



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View at McCune Avenue Looking West



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V. 5



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Tuller Flats
Building Type 'A'
20 Unit Building


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A. 1



Right Side Elevation
1/8" = 1'-0"



Left Side Elevation
1/8" = 1'-0"

EXTERIOR MATERIALS SUMMARY

FACADES ARE COMPOSED ENTIRELY OF A COMBINATION OF BRICK VENEER, FIBER CEMENT LAP SIDING AND FIBER CEMENT PANELS.

PROPOSED COLOR SELECTIONS ARE PRELIMINARY. FINAL SELECTIONS WILL BE SIMILAR.

EXTERIOR FINISHES PALETTE OPTION '1':

BRICK VENEER: TAYLOR CLAY PRODUCTS MODULAR SIZE, COLOR: BLACK ONYX, TEXTURE: SMOOTH
 FIBER CEMENT LAP SIDING, 6" EXPOSURE, COLOR: SHERWIN WILLIAMS SW7053 ADAPTIVE SHADE
 FIBER CEMENT PANEL CLADDING, COLOR: SHERWIN WILLIAMS SW7052 GRAY AREA
 WINDOW COLOR: BLACK
 GARAGE DOORS: AMARR STRATFORD LONG PANEL. SELECT DOORS TO BE ALL LONG PANEL GLASS PANELS.
 COLOR: TERRATONE.

EXTERIOR MATERIALS AS % OF FACADES	FRONT SIDES REAR		
	FRONT	SIDES	REAR
BRICK	45%	52%	34%
SIDING	20%	17%	28%
PANELS	35%	31%	38%
TOTAL	100%	100%	100%

BUILDING TYPE REQUIREMENT SUMMARY

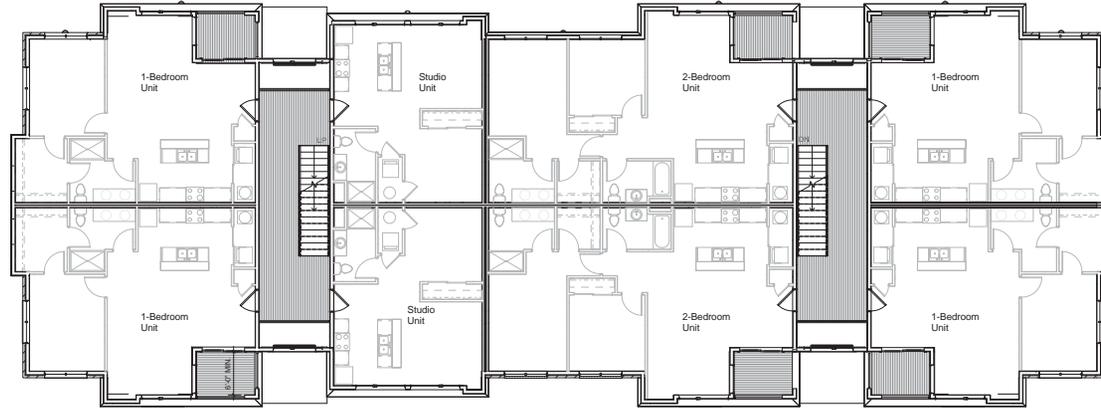
REQUIREMENT	PROPOSAL
(a) Building Siting	Refer to site plan drawings
(b) Height	3 Stories 3 Stories 1 Story
Min. Height: 1.5 Stories Max. Height: 4 Stories Accessory Structure Height: 2 stories max.	0' - Principal entrance is common lobby - this requirement is waived
(c) Uses and Occupancy Requirements	Complies
Parking within Building: Permitted in rear of first 3 floors Occupied Space: Min. 20' depth for ground floor facing streets	Complies
(d) Facade Requirements	33% - Complies Complies Sides - 15%, Rear - 26% - Complies Complies Complies Complies - see Front Elevation for distance
Street Facade Transparency: 20% min. Blank Wall Limitations: Required Non Street Facade Transparency: 15% min. Blank Wall Limitations: Principal Entrance on primary street facade Street Facade: Number of Entrances: 1 per 75' of facade min. Mid Building Pedestrianway: required for buildings longer than 200' Vertical Increments: Not greater than 40' Horizontal Facade Divisions: Required within 3' of top of ground story Required Change in Roof Plane or Type: No greater than every 80' Permitted Primary Materials: stone, brick, wood, fiber cement siding, glass Roof Types: Permitted Types: parapet and flat roof permitted	Not required Complies Generally Complies Parapet articulation conveys the sense of required roof plane changes Primary Materials are brick, fiber cement siding and fiber cement panels Complies
Other requirements:	15% - Complies Complies: see plans for dimensions
Balconies: 40% Max front facade area Balconies: 6' deep x 5' wide min.	



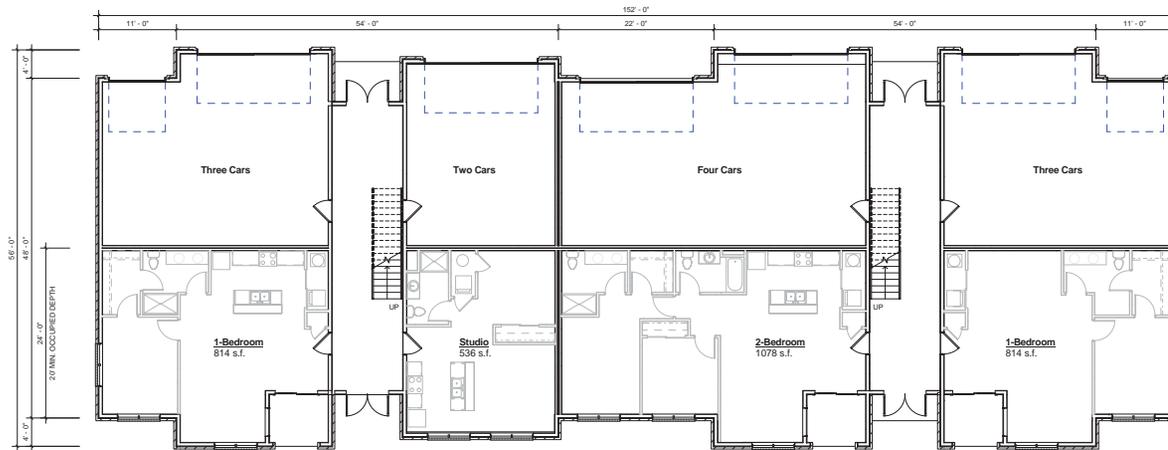
Tuller Flats
 Building Type 'A'
 20 Unit Apartment Building
 Casto Communities



A.2
 Exterior Elevations



Floor 2 & 3 Plan
1/8" = 1'-0"



Floor 1 Plan
1/8" = 1'-0"

BUILDING GROSS AREA (S.F.)	
FLOOR 1	7,612
FLOOR 2	7,414
FLOOR 3	7,414
TOTAL	22,440

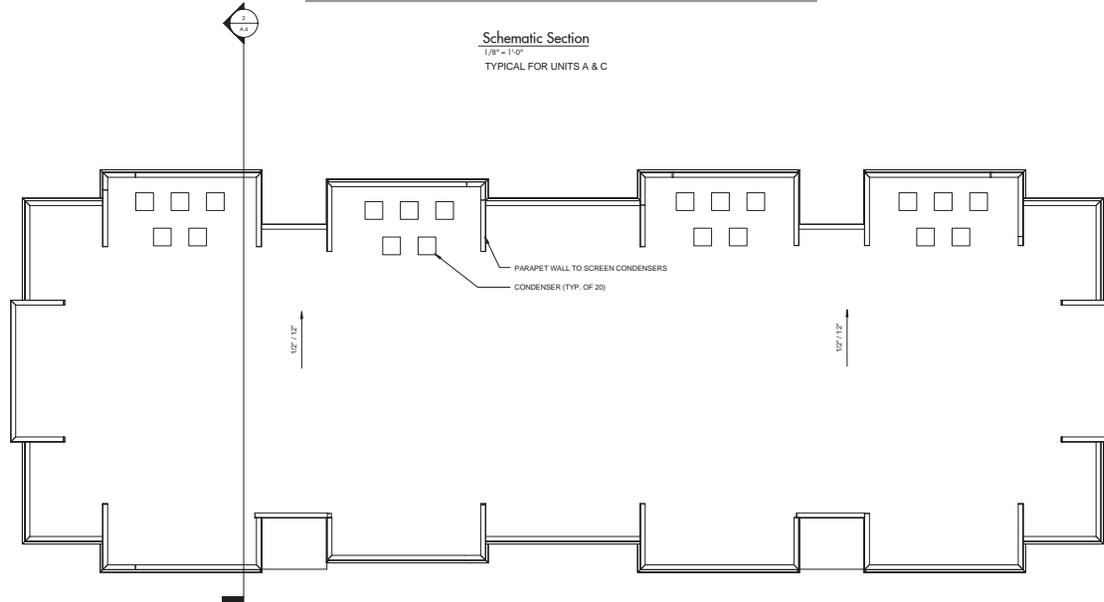


Tuller Flats
Building Type 'A'
20 Unit Apartment Building
Casto Communities





Schematic Section
 1/8" = 1'-0"
 TYPICAL FOR UNITS A & C



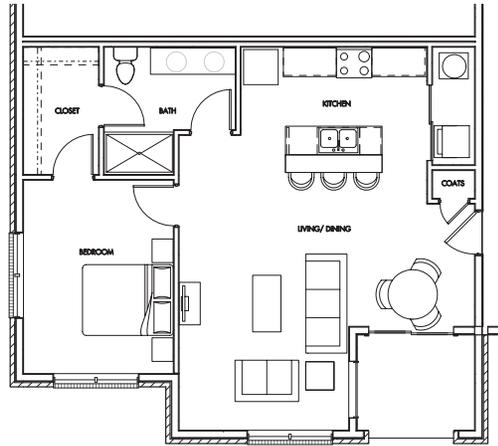
Roof Plan
 1/8" = 1'-0"

PROPOSED ROOF TO BE PARAPET TYPE PER BSC GUIDELINES.
 ROOF TO BE 1/2" PER FOOT SLOPE, SLOPED TOWARD REAR FACADE.
 SCUPPER AND DOWNSPOUT LOCATIONS ON REAR FACADE TO BE DETERMINED.

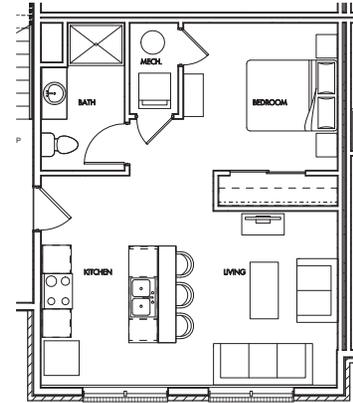


Tuller Flats
 Building Type 'A'
 20 Unit Apartment Building
 Casto Communities

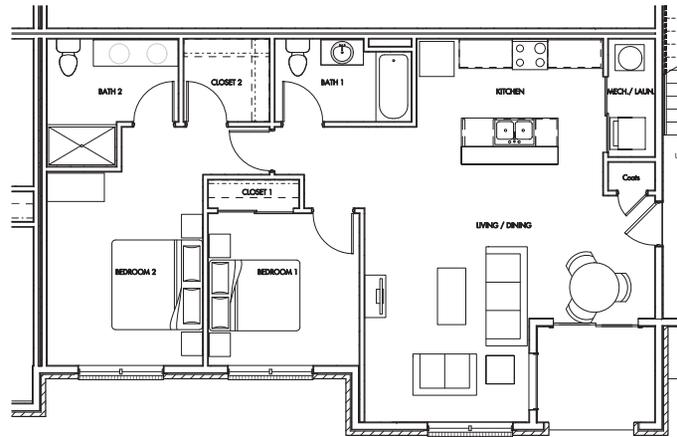




Unit Plan - 1 Bedroom
1/4" = 1'-0" 814 SF



Unit Plan - Studio
1/4" = 1'-0" 587 SF



Unit Plan - 2 Bedroom
1/4" = 1'-0" 1078 SF



Tuller Flats
Building Type 'A'
20 Unit Apartment Building
Casto Communities

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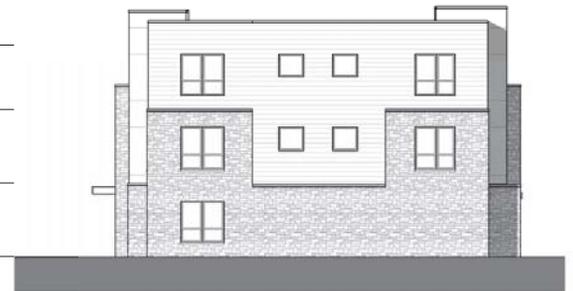
Tuller Flats
Building Type 'B'
20 Unit Building


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B. 1



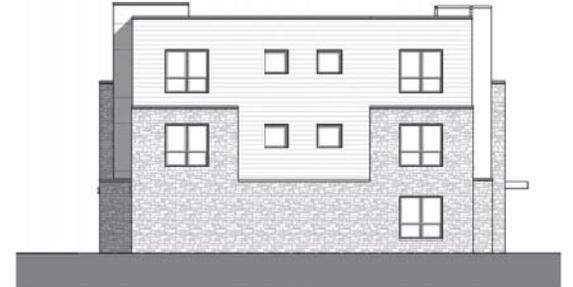
Front Elevation
1/8" = 1'-0"



Right Side Elevation
1/8" = 1'-0"



Rear Elevation
1/8" = 1'-0"



Left Side Elevation
1/8" = 1'-0"

EXTERIOR MATERIALS SUMMARY

FAÇADES ARE COMPOSED ENTIRELY OF A COMBINATION OF BRICK VENEER, FIBERCEMENT LAP SIDING AND FIBER CEMENT PANELS.

PROPOSED COLOR SELECTIONS ARE PRELIMINARY. FINAL SELECTIONS WILL BE SIMILAR.

EXTERIOR FINISHES PALETTE:

SYNTHETIC STONE VENEER: HERITAGE STONE 'BRIGHTON LEDGESTONE,' COLOR: OHIO VINTAGE LIMESTONE
 FIBER CEMENT LAP SIDING, 6" EXPOSURE, COLOR: SHERWIN WILLIAMS SW7031 MEGA GREIGE
 FIBER CEMENT PANEL CLADDING: COLOR: SHERWIN WILLIAMS SW7029 AGREABLE GRAY
 WINDOW COLOR: BLACK
 GARAGE DOORS: AMARR STRATFORD LONG PANEL. SELECT DOORS TO BE ALL LONG PANEL GLASS PANELS.
 COLOR: WHITE.

EXTERIOR MATERIALS AS % OF FAÇADES	PERCENTAGE		
	FRONT	SIDES	REAR
STONE	47%	49%	33%
SIDING	22%	51%	32%
PANELS	31%	0%	35%
TOTAL	100%	100%	100%

BUILDING TYPE REQUIREMENT SUMMARY

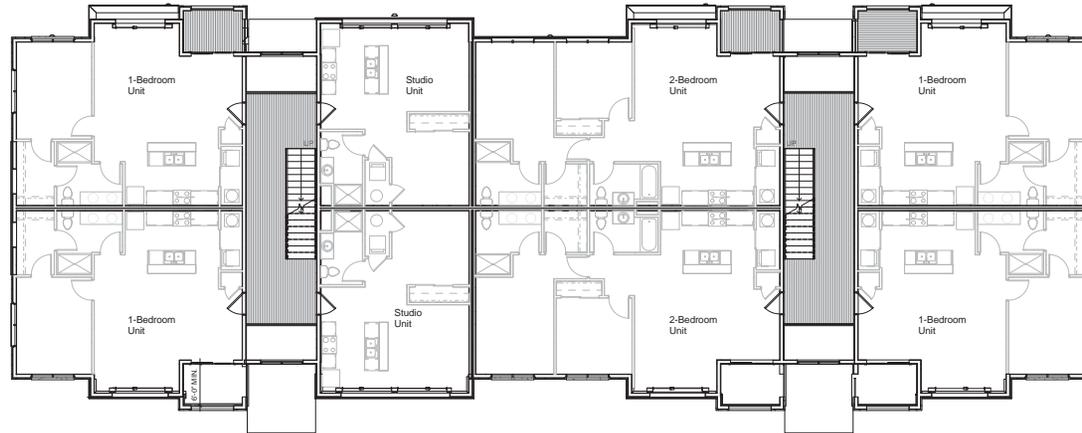
REQUIREMENT	PROPOSAL
(a) Building Siting	Refer to site plan drawings
(b) Height	3 Stories 3 Stories 1 Story
	0' - Principal entrance is common lobby - this requirement is waived
(c) Uses and Occupancy Requirements	Complies
Parking within Building: Permitted in rear of first 3 floors	Complies
Occupied Space: Min. 20' depth for ground floor facing streets	
(d) Façade Requirements	34% - Complies
Street Façade Transparency: 20% min.	Complies
Bank Wall Limitations: Required	Sides - 15%, Rear - 26%: Complies
Non Street Façade Transparency: 15% min.	Complies
Bank Wall Limitations:	Complies - see Front Elevation for distance
Principal Entrance on primary street façade	Complies
Street Façades: Number of Entrances: 1 per 75' of façade min.	Not required
Mid Building Pedestrianway: required for buildings longer than 250'	Complies
Vertical Increments: Not greater than 40'	Complies
Horizontal Façade Divisions: Required within 3' of top of ground story	Generally Complies
Required Change in Roof Plane or Type: No greater than every 80'	Parapet articulation conveys the sense of frequent roof plane changes
Permitted Primary Materials: stone, brick, wood, fiber cement siding, glass	Primary Materials are synthetic stone, fiber cement siding and fiber cement panels
Roof Types: Permitted Types: parapet and flat roof permitted	Complies
Other requirements:	17% - Complies
Balconies: 40% Max front façade area	Complies: see plans for dimensions
Balconies: 6' deep x 5' wide min.	



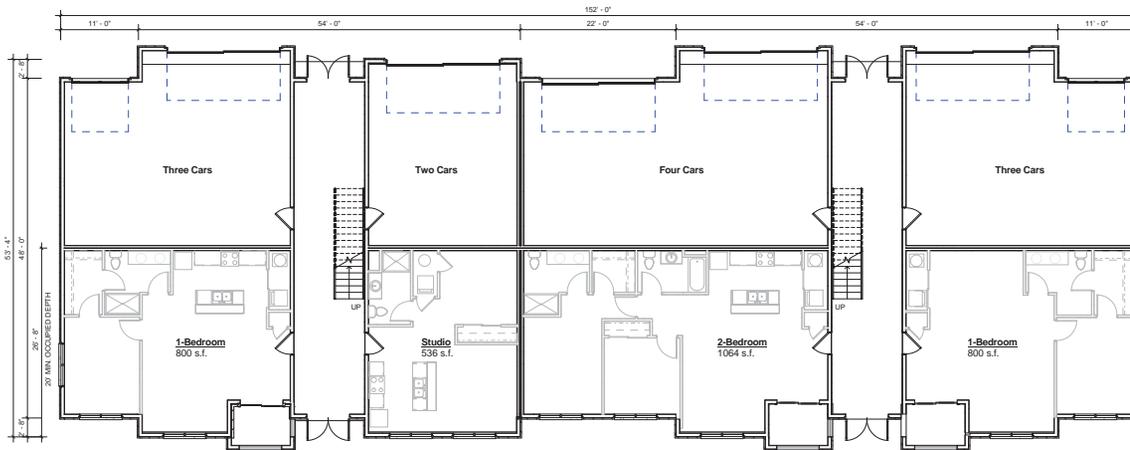
Tuller Flats
 Building Type 'B'
 20 Unit Building
 Casto Communities



B.2
 Exterior Elevations



Floor 2 & 3 Plan
1/8" = 1'-0"



Floor 1 Plan
1/8" = 1'-0"

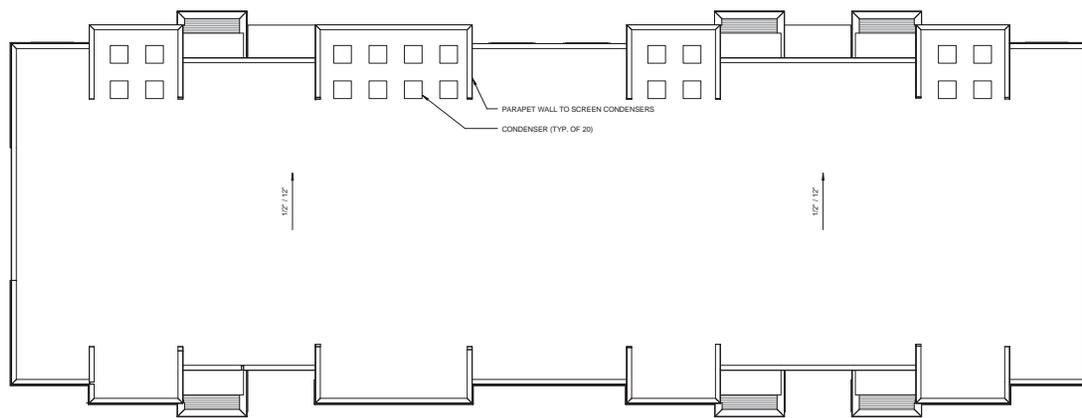
BUILDING GROSS AREA (S.F.)	
FLOOR 1	7,758
FLOOR 2	7,436
FLOOR 3	7,436
TOTAL	22,630



Tuller Flats
Building Type 'B'
20 Unit Building
Casto Communities



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Roof Plan
1/8" = 1'-0"

PROPOSED ROOF TO BE PARAPET TYPE PER BSC GUIDELINES.
 ROOF TO BE 1/2" PER FOOT SLOPE, SLOPED TOWARD REAR FACADE.
 SCUPPER AND DOWNSPOUT LOCATIONS ON REAR FACADE TO BE DETERMINED.



Tuller Flats
 Building Type 'B'
 20 Unit Building
 Casto Communities

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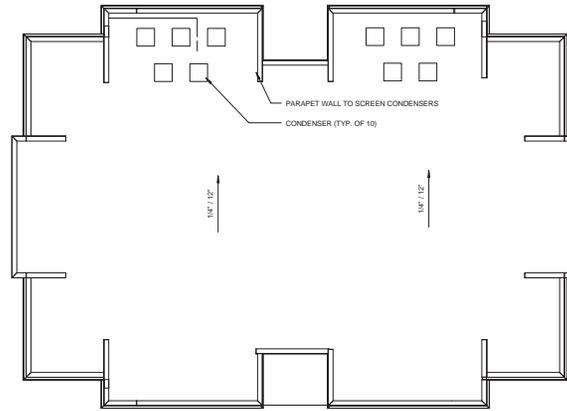


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Tuller Flats
Building Type 'C'
10 Unit Building


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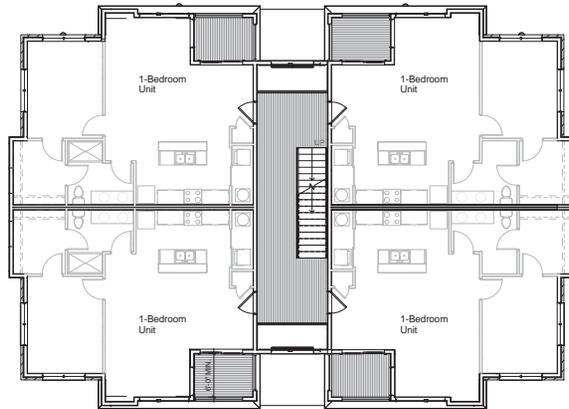
C. 1



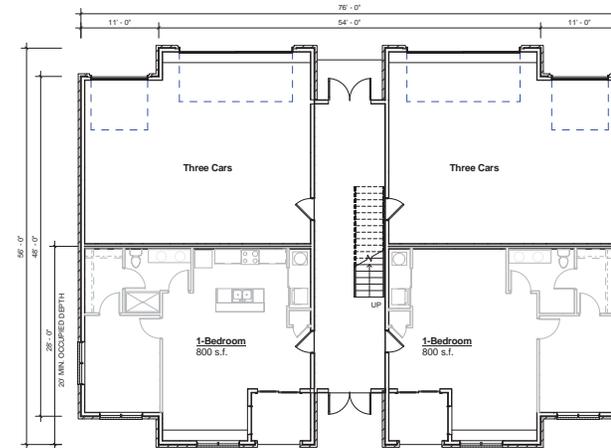
BUILDING GROSS AREA (S.F.)	
FLOOR 1	3,803
FLOOR 2	3,652
FLOOR 3	3,652
TOTAL	11,107

Roof Plan
1/8" = 1'-0"

PROPOSED ROOF TO BE PARAPET TYPE PER BSC GUIDELINES.
ROOF TO BE 1/2" PER FOOT SLOPE, SLOPED TOWARD REAR FACADE.
SCUPPER AND DOWNSPOUT LOCATIONS ON REAR FACADE TO BE DETERMINED.



Floor 2 & 3 Plan
1/8" = 1'-0"



Floor 1 Plan
1/8" = 1'-0"



Tuller Flats
Unit Type 'C'
10 Unit Apartment Building
Casto Communities



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Tuller Flats
Building Type 'D'
12 Unit Building


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D. 1

EXTERIOR MATERIALS SUMMARY

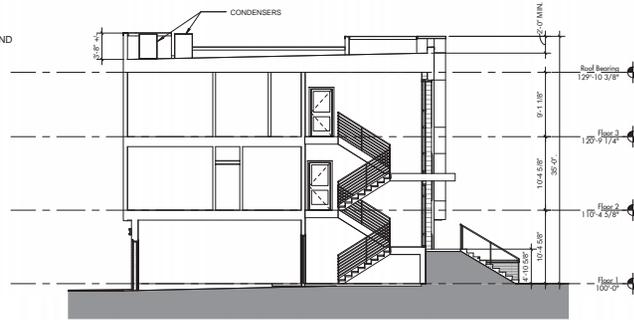
FACADES ARE COMPOSED ENTIRELY OF A COMBINATION OF BRICK VENEER, FIBERCEMENT LAP SIDING AND FIBER CEMENT PANELS.

PROPOSED COLOR SELECTIONS ARE PRELIMINARY. FINAL SELECTIONS WILL BE SIMILAR.

EXTERIOR FINISHES PALETTE:

BRICK VENEER: TAYLOR CLAY PRODUCTS MODULAR SIZE, COLOR: BLACK ONYX, TEXTURE: SMOOTH
 FIBER CEMENT LAP SIDING: 6" EXPOSURE, COLOR: SHERWIN WILLIAMS SW7053 ADAPTIVE SHADE
 FIBER CEMENT PANEL CLADDING: COLOR: SHERWIN WILLIAMS SW7052 GRAY AREA
 WINDOW COLOR: BRICK RED
 GARAGE DOORS: AMARR STRATFORD LONG PANEL. SELECT DOORS TO BE ALL LONG PANEL GLASS PANELS.
 COLOR: TERRAZONE.

EXTERIOR MATERIALS AS % OF FACADES	%		
	FRONT	SIDES	REAR
BRICK	48%	72%	29%
SIDING	13%	0%	51%
PANELS	39%	28%	20%
TOTAL	100%	100%	100%



Schematic Section

1/8" = 1'-0"
 TYPICAL FOR BUILDINGS D, F
 SIMILAR FOR BUILDINGS E, G

BUILDING TYPE REQUIREMENT SUMMARY

REQUIREMENT	PROPOSAL
(a) Building Siting	Refer to site plan drawings
(b) Height	3 Stories 3 Stories 1 Story
(c) Uses and Occupancy Requirements	Complies Complies
(d) Facade Requirements	20% - Complies Complies Sides - 15%, Rear - 24% Complies Complies Complies - see Front Elevation for distance Not required Complies Generally Complies Parapet articulation conveys the sense of frequent roof plane changes Primary Materials are brick, fiber cement siding and fiber cement panels Complies Not Applicable Complies - see plans for dimensions



Front Elevation

1/8" = 1'-0"



Right Side Elevation

1/8" = 1'-0"



Rear Elevation

1/8" = 1'-0"



Left Side Elevation

1/8" = 1'-0"

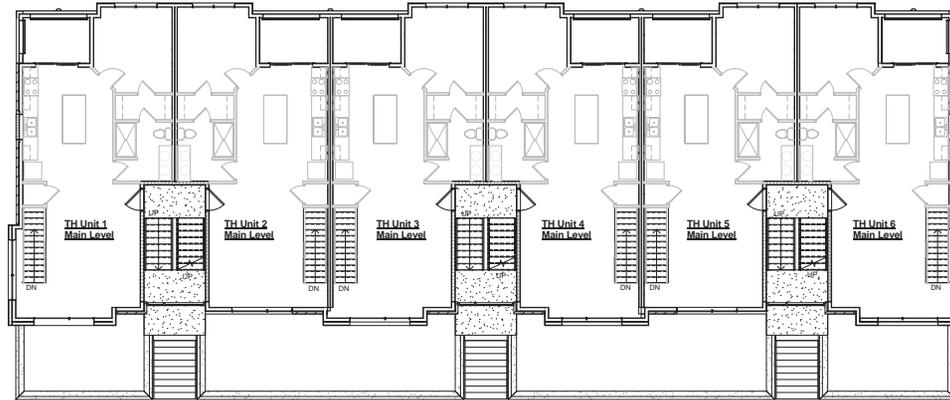


Tuller Flats
 Building Type 'D'
 12 Unit Apartment Building
 Casto Communities

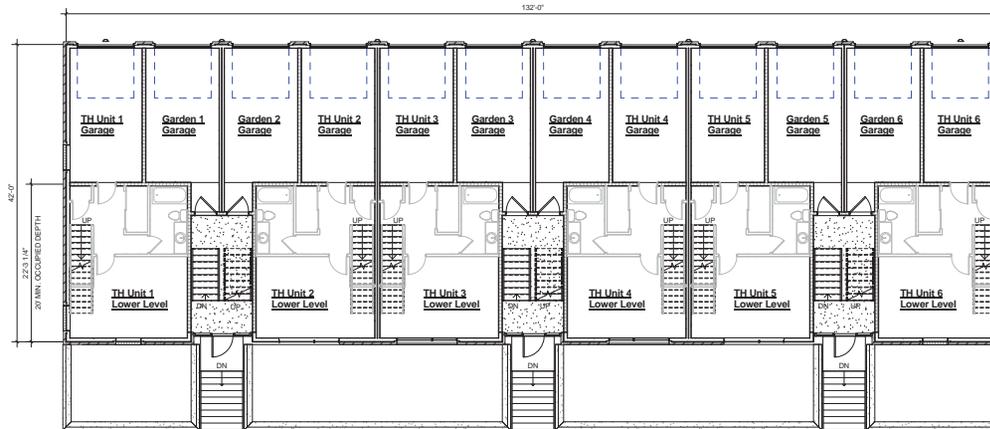


D.2
 Exterior Elevations & Section

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Floor 2 Plan
1/8" = 1'-0"



Floor 1 Plan
1/8" = 1'-0"

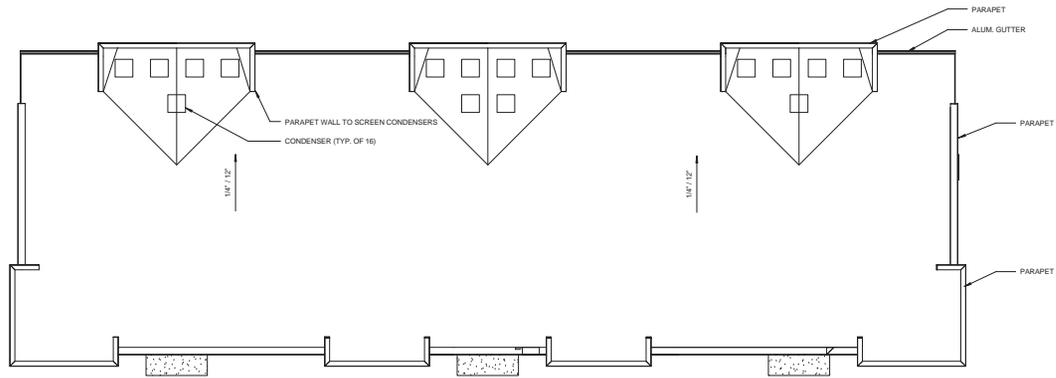
BUILDING GROSS AREA (S.F.)	
FLOOR 1	5,524
FLOOR 2	5,368
FLOOR 3	5,368
TOTAL	16,240



Tuller Flats
Building Type 'D'
12 Unit Apartment Building
Casto Communities

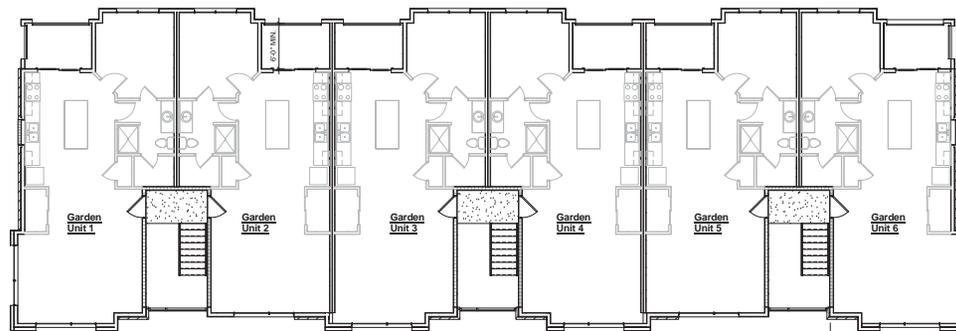


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Roof Plan
1/8" = 1'-0"

PROPOSED ROOF TO BE PARAPET TYPE PER BSC GUIDELINES.
ROOF TO BE 1/2" PER FOOT SLOPE, SLOPED TOWARD REAR FACADE.
SCUPPER AND DOWNSPOUT LOCATIONS ON REAR FACADE TO BE DETERMINED.



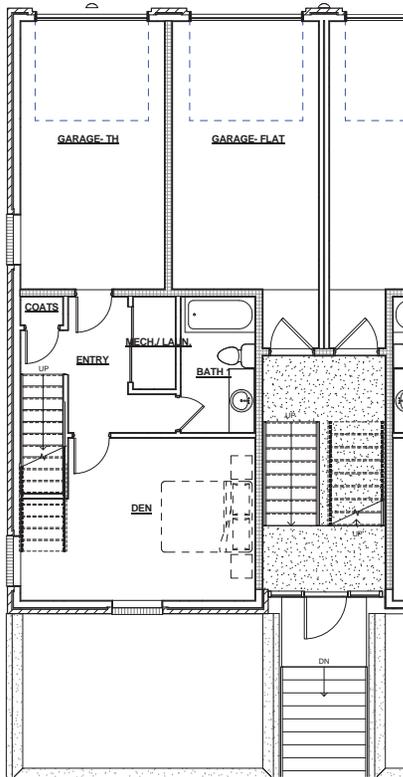
Floor 3 Plan
1/8" = 1'-0"



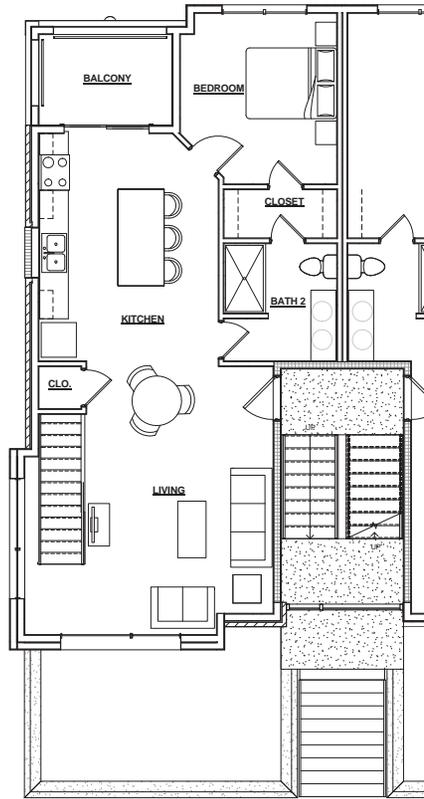
Tuller Flats
Building Type 'D'
12 Unit Apartment Building
Casto Communities

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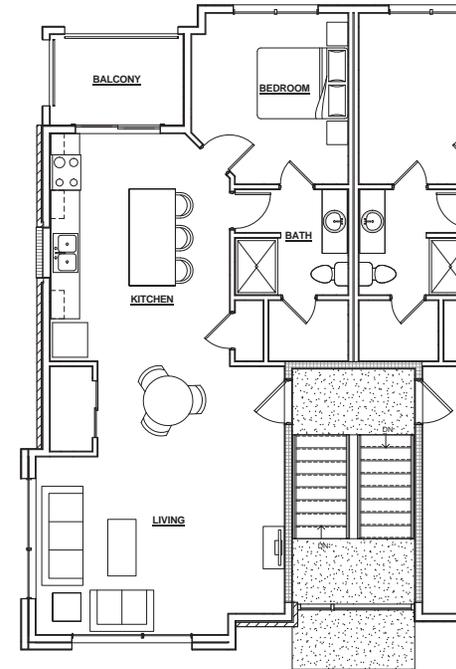




Unit Plan- TH- 1st
Floor
1/4" = 1'-0"



Unit Plan- TH- 2nd
Floor
1/4" = 1'-0" 1,191-1,239 S.F.



Unit Plan- Garden
1/4" = 1'-0" 799-841 S.F.



Tuller Flats
Building Type 'D'
12 Unit Apartment Building
Casto Communities



D.5
Unit Plans - Types D,E,F & G

2014.01.24

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Tuller Flats
Building Type 'E'
12 Unit Building


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E. 1



Left Side Elevation
1/8" = 1'-0"

Rear Elevation
1/8" = 1'-0"

EXTERIOR MATERIALS SUMMARY
 FACADES ARE COMPOSED ENTIRELY OF A COMBINATION OF BRICK VENEER, FIBERCEMENT LAP SIDING AND FIBER CEMENT PANELS.

PROPOSED COLOR SELECTIONS ARE PRELIMINARY. FINAL SELECTIONS WILL BE SIMILAR.

EXTERIOR FINISHES PALETTE:
 SYNTHETIC STONE VENEER: HERITAGE STONE "BRIGHTON LEDGESTONE," COLOR: OHIO VINTAGE LIMESTONE
 FIBER CEMENT LAP SIDING, 6" EXPOSURE, COLOR: SHERWIN WILLIAMS SW7031 MEGA GREIGE
 FIBER CEMENT PANEL CLADDING, COLOR 1: SHERWIN WILLIAMS SW7029 AGREEABLE GRAY
 FIBER CEMENT PANEL CLADDING, COLOR 2: SHERWIN WILLIAMS SW7033 BRAINSTORM BRONZE
 WINDOW COLOR: BLACK
 GARAGE DOORS: AMARR STRATFORD LONG PANEL. SELECT DOORS TO BE ALL LONG PANEL GLASS PANELS.
 COLOR: WHITE.

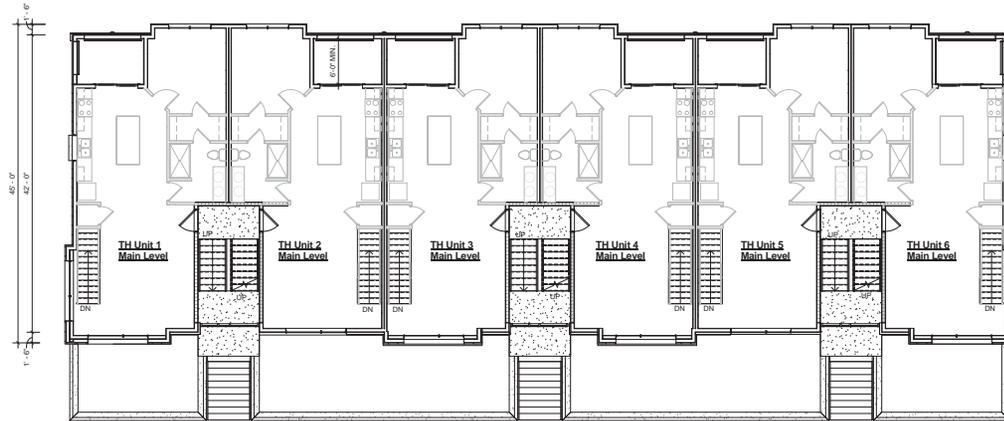
	EXTERIOR MATERIALS AS % OF FACADES		
	FRONT	SIDES	REAR
STONE	56%	92%	29%
SIDING	13%	0%	51%
PANELS	32%	8%	20%
TOTAL	100%	100%	100%

BUILDING TYPE REQUIREMENT SUMMARY

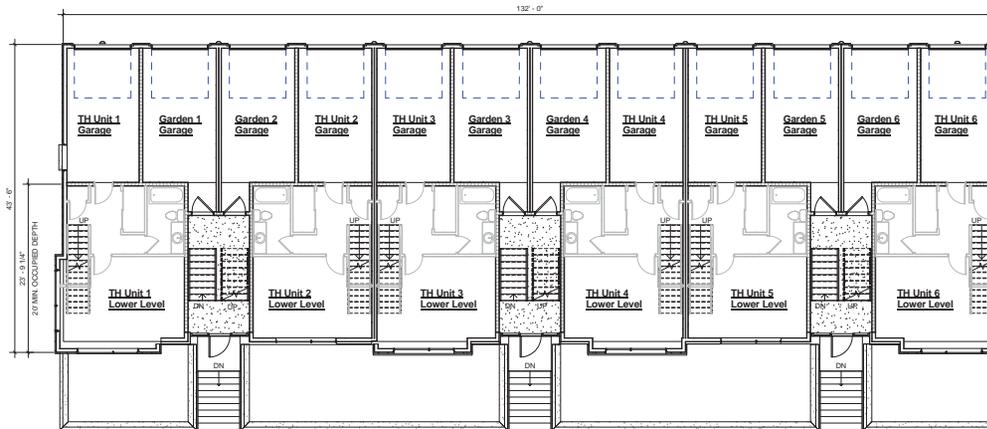
REQUIREMENT	PROPOSAL
(a) Building Siting	Refer to site plan drawings
(b) Height	3 Stories 3 Stories 1 Story 4' - 5'; Complies 2.5' above adj. sidewalks
(c) Uses and Occupancy Requirements	Complies Complies
(d) Facade Requirements	31% - Complies Complies Sides - 17%; Rear - 24%; Complies Complies Complies - see Front Elevation for distance Not required Complies Generally Complies Parapet articulation conveys the sense of frequent roof plane changes Primary Materials are synthetic stone, fiber cement siding and fiber cement panels Complies Not Applicable Complies - see plans for dimensions

Tuller Flats
 Building Type 'E'
 12 Unit Apartment Building
 Casto Communities





Floor 2 Plan
1/8" = 1'-0"



Floor 1 Plan
1/8" = 1'-0"

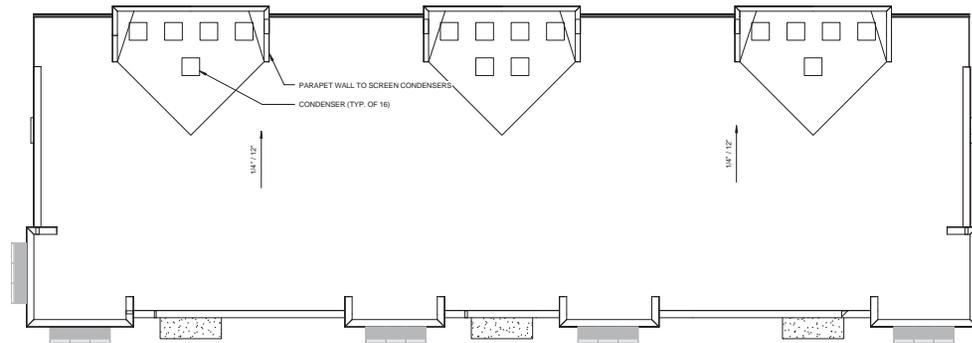
BUILDING GROSS AREA (S.F.)	
FLOOR 1	5,633
FLOOR 2	5,358
FLOOR 3	5,358
TOTAL	16,349



Tuller Flats
Building Type 'E'
12 Unit Apartment Building
Casto Communities



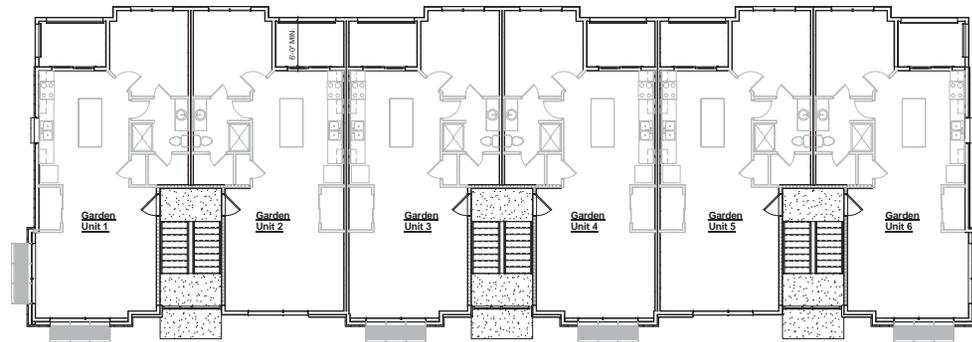
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Roof Plan

1/8" = 1'-0"

PROPOSED ROOF TO BE PARAPET TYPE PER BSC GUIDELINES.
 ROOF TO BE 1/2" PER FOOT SLOPE, SLOPED TOWARD REAR FACADE.
 SCUPPER AND DOWNSPOUT LOCATIONS ON REAR FACADE TO BE DETERMINED.



Floor 3 Plan

1/8" = 1'-0"



Tuller Flats
 Building Type 'E'
 12 Unit Apartment Building
 Casto Communities





CASTO

Tuller Flats
Building Type 'F'
8 Unit Building


SULLIVAN BRUCK
ARCHITECTS

F. 1



Front Elevation
1/8" = 1'-0"



Rear Elevation
1/8" = 1'-0"

EXTERIOR MATERIALS SUMMARY

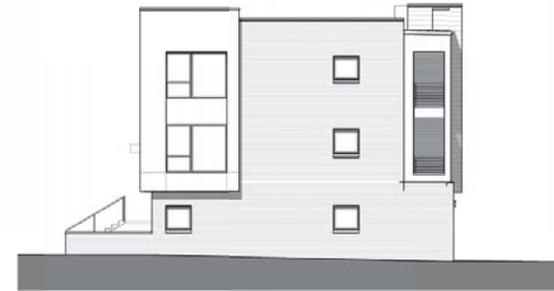
FACADES ARE COMPOSED ENTIRELY OF A COMBINATION OF BRICK VENEER, FIBERCEMENT LAP SIDING AND FIBER CEMENT PANELS.

PROPOSED COLOR SELECTIONS ARE PRELIMINARY. FINAL SELECTIONS WILL BE SIMILAR.

EXTERIOR FINISHES PALETTE:

BRICK VENEER: TAYLOR CLAY PRODUCTS MODULAR SIZE. COLOR: BLACK ONYX. TEXTURE: SMOOTH
 FIBER CEMENT LAP SIDING, 6" EXPOSURE. COLOR: SHERWIN WILLIAMS SW7053 ADAPTIVE SHADE
 FIBER CEMENT PANEL CLADDING: COLOR: SHERWIN WILLIAMS SW7052 GRAY AREA
 WINDOW COLOR: BRICK RED
 GARAGE DOORS: AMARR STRATFORD LONG PANEL. SELECT DOORS TO BE ALL LONG PANEL GLASS PANELS.
 COLOR: TERRATONE.

EXTERIOR MATERIALS AS % OF FACADES	EXTERIOR MATERIALS AS % OF FACADES		
	FRONT	SIDES	REAR
BRICK	47%	72%	29%
SIDING	9%	0%	51%
PANELS	44%	28%	20%
TOTAL	100%	100%	100%



Right Side Elevation
1/8" = 1'-0"



Left Side Elevation
1/8" = 1'-0"

BUILDING TYPE REQUIREMENT SUMMARY

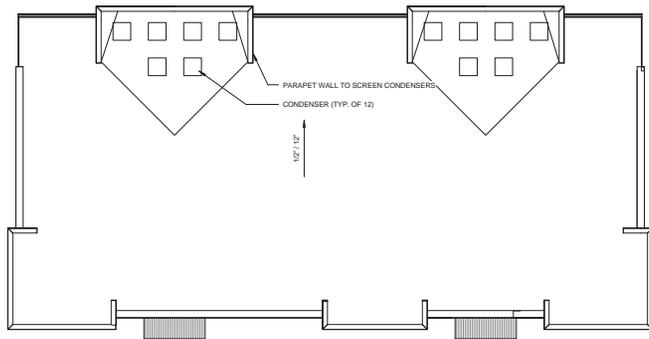
REQUIREMENT	PROPOSAL
(a) Building Sting	Refer to site plan drawings
(b) Height	3 Stories 3 Stories 1 Story
	0' - Principal entrance is common lobby - this requirement is waived
(c) Uses and Occupancy Requirements	Complies
	Complies
(d) Facade Requirements	30% - Complies Complies Complies Complies Complies - see Front Elevation for distance Not required Complies Generally Complies Complies Complies Complies
Other requirements:	Not Applicable Complies: see plans for dimensions



Tuller Flats
 Building Type 'F'
 8 Unit Apartment Building
 Casto Communities



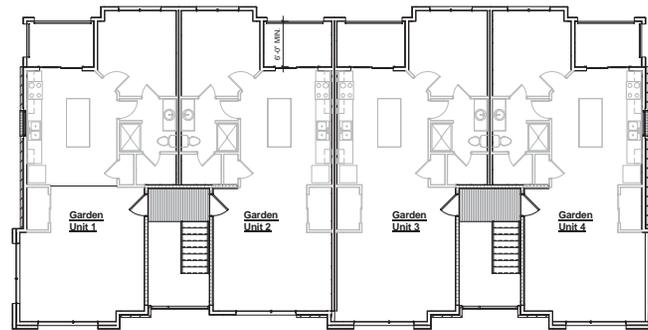
F.2
 Exterior Elevations



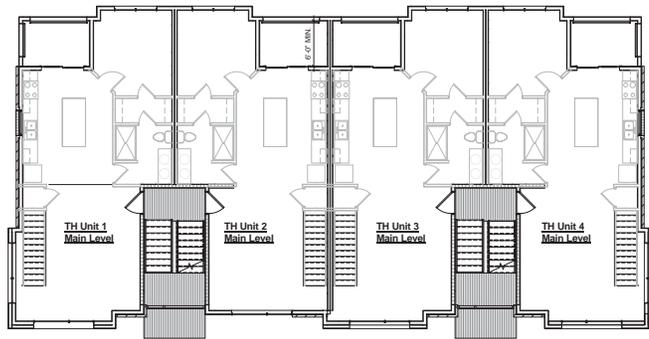
Roof Plan
1/8" = 1'-0"

PROPOSED ROOF TO BE PARAPET TYPE PER BSC GUIDELINES.
ROOF TO BE 1/2" PER FOOT SLOPE, SLOPED TOWARD REAR FACADE.
SCUPPER AND DOWNSPOUT LOCATIONS ON REAR FACADE TO BE DETERMINED.

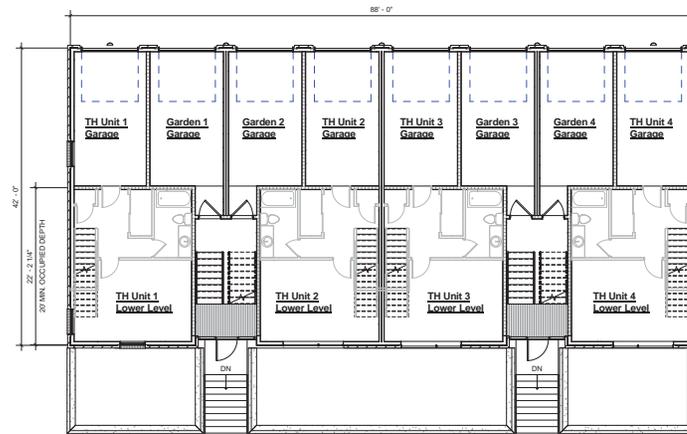
BUILDING GROSS AREA (S.F.)	
FLOOR 1	3,682
FLOOR 2	3,595
FLOOR 3	3,595
TOTAL	10,872



Floor 3 Plan
1/8" = 1'-0"



Floor 2 Plan
1/8" = 1'-0"



Floor 1 Plan
1/8" = 1'-0"



Tuller Flats
Building Type 'F'
8 Unit Apartment Building
Casto Communities





CASTO

Tuller Flats
Building Type 'G'
10 Unit Building


SULLIVAN BRUCK
ARCHITECTS

G.1



Front Elevation

1/8" = 1'-0"



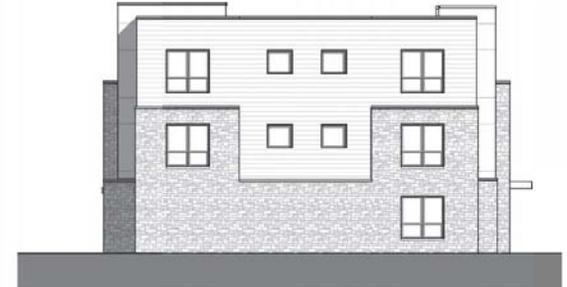
Rear Elevation

1/8" = 1'-0"



Right Side Elevation

1/8" = 1'-0"



Left Side Elevation

1/8" = 1'-0"

EXTERIOR MATERIALS SUMMARY

FACADES ARE COMPOSED ENTIRELY OF A COMBINATION OF BRICK VENEER, FIBERCEMENT LAP SIDING AND FIBER CEMENT PANELS.

PROPOSED COLOR SELECTIONS ARE PRELIMINARY. FINAL SELECTIONS WILL BE SIMILAR.

EXTERIOR FINISHES PALETTE:

SYNTHETIC STONE VENEER, HERITAGE STONE 'BRIGHTON LEDGESTONE,' COLOR: OHIO VINTAGE LIMESTONE
 FIBER CEMENT LAP SIDING, 6" EXPOSURE, COLOR: SHERWIN WILLIAMS SW7031 MEGA GREIGE
 FIBER CEMENT PANEL CLADDING, COLOR: SHERWIN WILLIAMS SW7029 AGREEABLE GRAY

WINDOW COLOR: BLACK
 GARAGE DOORS: AMARR STRATFORD LONG PANEL. SELECT DOORS TO BE ALL LONG PANEL GLASS PANELS.
 COLOR: WHITE.

EXTERIOR MATERIALS AS % OF FACADES			
	FRONT	SIDES	REAR
STONE	47%	49%	33%
SIDING	22%	51%	32%
PANELS	31%	0%	35%
TOTAL	100%	100%	100%

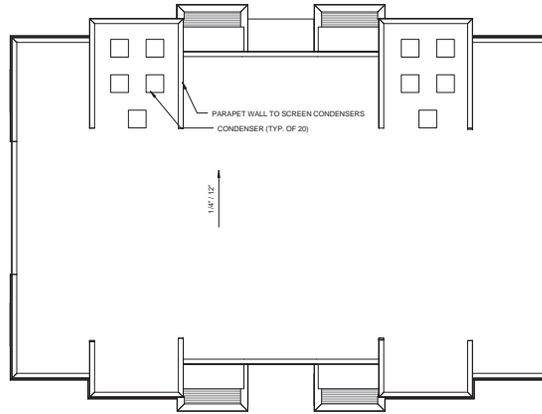
BUILDING TYPE REQUIREMENT SUMMARY

	REQUIREMENT	PROPOSAL
(a) Building Siting		Refer to site plan drawings
(b) Height	Min. Height: 1-6 Stories Max. Height: 4 Stories Accessory Structure Height: 2 stories max. Min. Fin. Floor Elev.: 2.2' above adj. sidewalks	3 Stories 3 Stories 1 Story 0' - Principal entrance is common lobby - this requirement is waived
(c) Uses and Occupancy Requirements	Parking within Building: Permitted in rear of first 3 floors Occupied Space: Min. 20' depth for ground floor loading streets	Complies Complies
(d) Facade Requirements	Street Facade Transparency: 20% min. Bank Wall Limitations: Required Non Street Facade Transparency: 15% min. Bank Wall Limitations: Required Principal Entrance on primary street facade Street Facades: Number of Entrances: 1 per 75' of facade min. 47% Vertical Increments: Not greater than 40' Horizontal Facade Divisions: Required within 3' of top of ground story Required Change in Roof Plane or Type: No greater than every 80' Permitted Primary Materials: stone, brick, wood, fiber cement siding, glass Roof Types: Permitted Types: parapet and flat roof permitted	34% - Complies Complies Sides - 15%, Rear - 26%: Complies Complies Complies - see Front Elevation for distance Not required Complies Generally Complies Parapet articulation conveys the sense of frequent roof plane changes Primary Materials are synthetic stone, fiber cement siding and fiber cement panels Complies
Other requirements:	Balconies: 40% Max front facade area Balconies: 6' deep x 5' wide min.	17% - Complies Complies: see plans for dimensions

Tuller Flats
 Building Type 'G'
 20 Unit Building
 Casto Communities

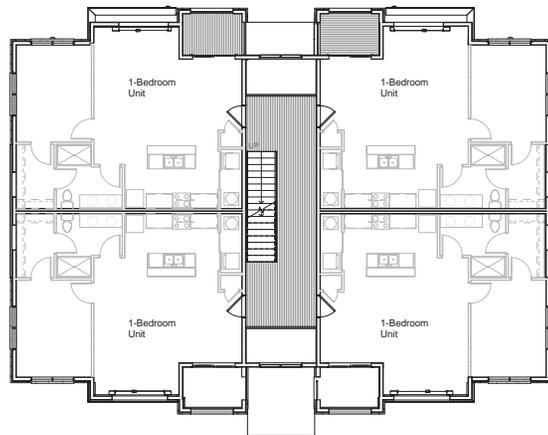


G.2
 Exterior Elevations

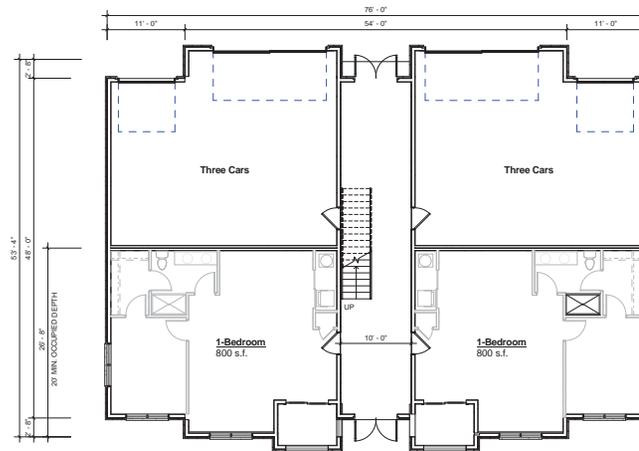


Roof Plan
1/8" = 1'-0"

PROPOSED ROOF TO BE PARAPET TYPE PER BSC GUIDELINES.
ROOF TO BE 1/2" PER FOOT SLOPE, SLOPED TOWARD REAR FACADE.
SCUPPER AND DOWNSPOUT LOCATIONS ON REAR FACADE TO BE DETERMINED.



Floor 2 & 3 Plan
1/8" = 1'-0"



Floor 1 Plan
1/8" = 1'-0"

BUILDING GROSS AREA (S.F.)	
FLOOR 1	3,803
FLOOR 2	3,652
FLOOR 3	3,652
TOTAL	11,107



Tuller Flats
Building Type 'G'
20 Unit Building
Casto Communities



G.3
Floor Plans

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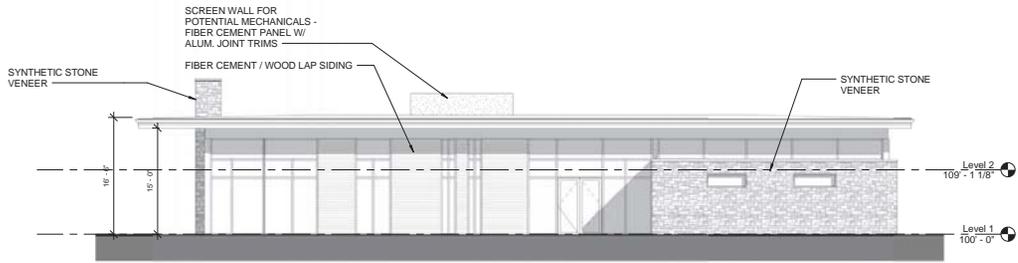


CASTO

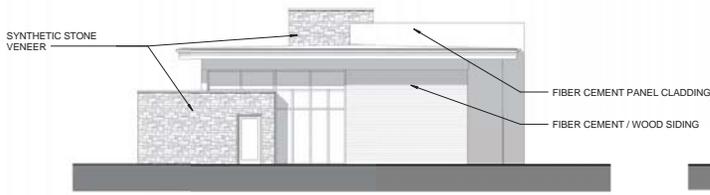
Tuller Flats
Clubhouse


SULLIVAN BRUCK
ARCHITECTS

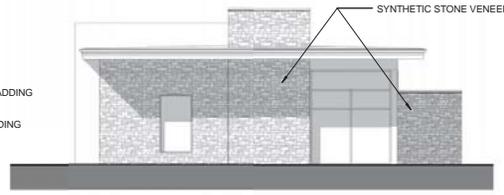
CH. 1



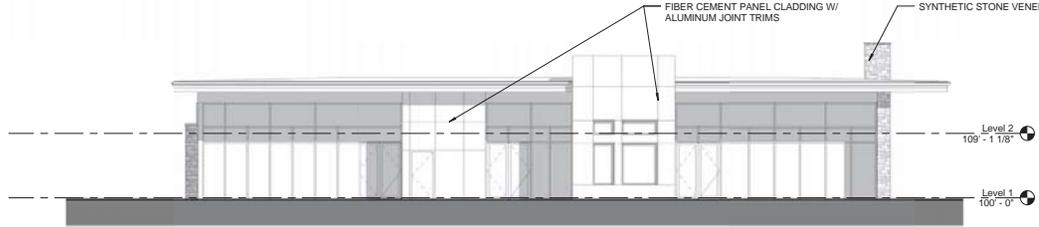
East Elevation
1/8" = 1'-0"



North Elevation
1/8" = 1'-0"



South Elevation
1/8" = 1'-0"



West Elevation
1/8" = 1'-0"

BUILDING TYPE REQUIREMENT SUMMARY

REQUIREMENT	PROPOSAL
(a) Building Slab	Refer to site plan drawings
(b) Height	1.5 Stories
Min. Height: 1.5 Stories	1.5 Stories
Max. Height: 4 Stories	1.5 Stories
Accessory Structure Height:	1.5 Story
2 stories max.	0'
Min. Fin. Floor Elev:	
2.5' above adj. sidewalks	
(c) Uses and Occupancy Requirements	N/A
Parking within Building: Permitted in rear of first 3 floors	Complies
Occupied Space: Min. 20' depth for ground floor facing streets	
(d) Facade Requirements	44% - Complies
Street Facade Transparency: 20% min.	Complies
Blank Wall Limitations: Required	Complies
Non-Street Facade Transparency: 15% min.	Side - 15%, Rear - 20%: Complies
Blank Wall Limitations:	Complies
Principal Entrances on primary street facade	Complies
Street Facades: Number of Entrances: 1 per 75' of facade min.	N/A
Mid-Building Pedestrianway: required for buildings longer than 200'	N/A
Vertical Increments: Not greater than 40'	Complies
Horizontal Facade Division: Required within 3' of top of ground story	Generally Complies
Required Change in Roof Plane or Type: no greater than every 80'	Complies
Permitted Primary Materials: stone, brick, wood, fiber cement siding, glass	Primary Materials are stone, fiber cement siding and fiber cement panels
Roof Types: Permitted Types: parapet and flat roof permitted	Complies
Other requirements:	N/A
Balconies: 40% Max front facade area	N/A
Balconies: 8' deep & 6' wide min.	N/A



EXTERIOR MATERIALS SUMMARY

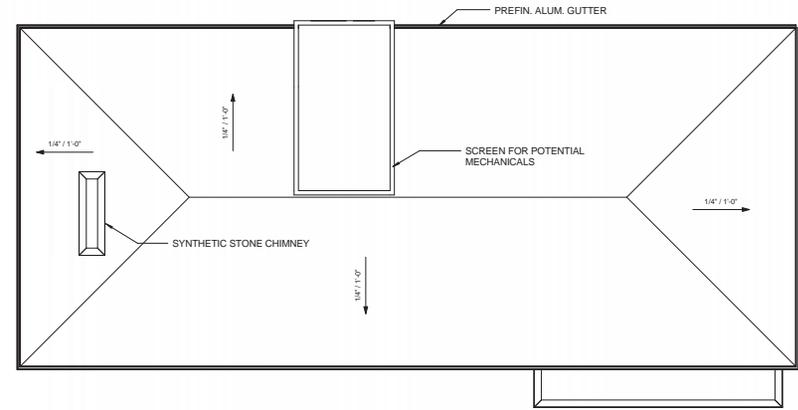
FAÇADES ARE COMPOSED ENTIRELY OF A COMBINATION OF BRICK VENEER, FIBERCEMENT LAP SIDING AND FIBER CEMENT PANELS.

PROPOSED COLOR SELECTIONS ARE PRELIMINARY. FINAL SELECTIONS WILL BE SIMILAR.

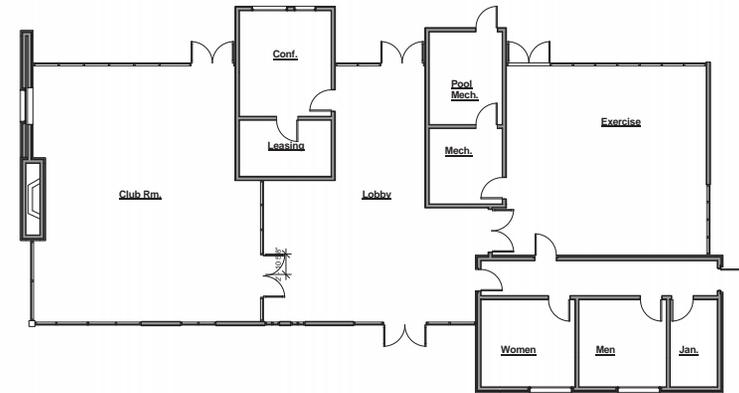
EXTERIOR FINISHES PALETTE:
 SYNTHETIC STONE VENEER; HERITAGE STONE 'BRIGHTON LEDGESTONE,' COLOR: OHIO VINTAGE LIMESTONE
 FIBER CEMENT LAP SIDING, 6" EXPOSURE, COLOR: SHERWIN WILLIAMS SW7031 MEGA GREIGE
 FIBER CEMENT PANEL CLADDING, COLOR: SHERWIN WILLIAMS SW7029 AGREEABLE GRAY

WINDOW COLOR: BLACK

	EXTERIOR MATERIALS AS % OF FAÇADES			
	FRONT	RIGHT SIDE	LEFT SIDE	REAR
STONE	24%	29%	74%	8%
SIDING	31%	44%	4%	9%
PANELS	0%	0%	0%	25%
GLAZING	45%	27%	22%	60%
TOTAL	100%	100%	100%	100%



Roof Plan
1/8" = 1'-0"



Floor Plan
1/8" = 1'-0"

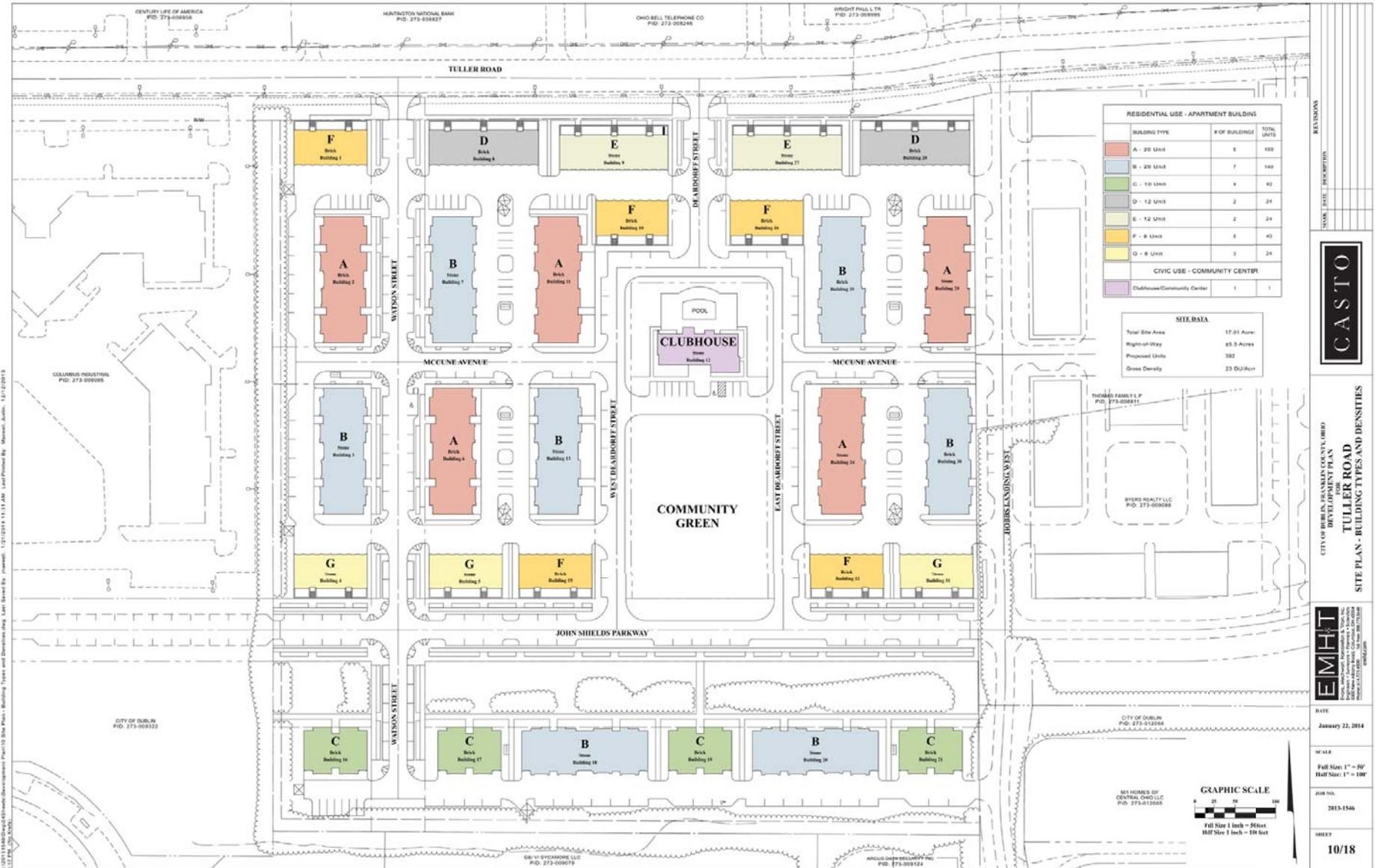
Tuller Flats Clubhouse

Clubhouse Building

Casto Communities



CH. 2
Floor Plan & Elevations



ALTERNATE PLAN "GREEN ON JOHN SHIELDS" (NOT RECOMMENDED FOR SUBMITTAL BY CITY STAFF)

TULLER FLATS