



SOUTHEAST VIEW

Ford & Associates

ARCHITECTS

STATE BANK  
DUBLIN, OHIO  
JUNE 10, 2014





SOUTH VIEW

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SOUTHWEST VIEW

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NORTH VIEW



NORTHEAST VIEW

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## BRIDGE STREET CORRIDOR DEVELOPMENT CODE SUMMARY

B&C ZONING DISTRICT - LOFT BUILDING (153.064 (4))		11530 SF.
DRIVE THRU - CONDITIONAL USE - 153.059 (ACCESSORY USE)		
<b>a.) BUILDING SITING</b>		
<b>1.) STREET FRONTAGE</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>
MULTIPLE PRINCIPAL BUILDINGS	PERMITTED	ONE PRINCIPAL BUILDING
FRONT PROPERTY LINE COVERAGE	MINIMUM 15%	76%
OCCUPATION OF CORNER	REQUIRED	--
FRONT RBZ	0-15 FEET	16 FEET DUE TO EXISTING GAS EASEMENT
CORNER SIDE RBZ	0-15 FEET	5 FEET
RBZ TREATMENT	LANDSCAPE PATIO OR STREETSCAPE ALONG WEST DUBLIN GRANVILLE ROAD, STREETSCAPE REQUIRED WHERE RESIDENTIAL USES ARE LOCATED ON THE GROUND FLOOR PORCHES OR STOOPS ARE PERMITTED IN THE RBZ	--
RIGHT-OF-WAY ENCROACHMENT	AWNINGS, CANOPIES, EAVES, PATIOS & PROJECTING SIGNS	N/A
<b>2.) BUILDABLE AREA</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>
MINIMUM SIDE YARD SETBACK	5 FEET	5 FEET
MINIMUM REAR YARD SETBACK	5 FEET	5 FEET
MINIMUM LOT WIDTH	50 FEET	166.6' LOT WIDTH
MAXIMUM IMPERVIOUS COVERAGE	80%	65.16% IMPERVIOUS
ADDITIONAL SEMI-PERVIOUS COVERAGE	10%	
<b>3.) PARKING LOCATION &amp; LOADING</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>
PARKING LOCATION	REAR YARD, WITHIN BUILDING (REFER TO (C) USES & OCCUPANCY REQUIREMENTS)	REAR YARD
LOADING FACILITY LOCATION TABLE 153.065 (C)	PER TABLE 153.065 (C), LESS THAN 25,000 SF. PRINCIPAL STRUCTURE, LOADING SPACE IS NOT REQUIRED	NOT REQUIRED LESS THAN 25,000 SF.
ENTRY FOR PARKING WITHIN BUILDING	REAR AND SIDE FACADE, CORNER SIDE ON NON-PRINCIPAL FRONTAGE STREETS	REAR
PARKING REQUIREMENTS - TABLE 153.065 (A)		
MINIMUM PERMITTED	OFFICE - 25 PER 1000 SF. + 23 BANK - 25 PER 1000 SF. + 3 TOTAL = 26 SPACES	45
MAXIMUM PERMITTED	OFFICE - 23 X 125 = 29 BANK - 3 X 125 = 4 TOTAL = 33	45
PARKING PROVIDED PER EXCEPTION 153.065 (B) (2) (b)	MIN. = 26 MAX. = 33	45
BICYCLE PARKING TABLE 153.065 (B) (3) (b) (C)	1 BIKE PER 10 PARKING SPACES	5
<b>b.) BUILDING HEIGHT</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>
MINIMUM HEIGHT	2 STORIES	2 STORIES
MAXIMUM HEIGHT	4.5 STORIES	2 STORIES
GROUND STORY - MINIMUM HEIGHT	12 FEET	13.5 FEET
MAXIMUM HEIGHT	16 FEET	
UPPER STORIES - MINIMUM HEIGHT	9 FEET	13 FEET
MAXIMUM HEIGHT	16 FEET	
MINIMUM FINISHED FLOOR ELEVATION	WHERE RESIDENTIAL USES ARE LOCATED ON THE GROUND FLOOR 2.5 FEET ABOVE THE ADJACENT SIDEWALK ELEVATION	N/A
<b>c.) USES &amp; OCCUPANCY REQUIREMENTS</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>
GROUND STORY	NO ADDITIONAL REQUIREMENTS	OFFICE / RETAIL BANKING
UPPER STORY	NO ADDITIONAL REQUIREMENTS	OFFICE
PARKING WITHIN BUILDING	PERMITTED IN THE REAR OF THE FIRST THREE FLOORS AND FULL IN ANY BASEMENT(S)	N/A
OCCUPIED SPACE	MINIMUM 30 FEET DEPTH FROM FRONT FACADE	50'-0" / 54'-0"
<b>d.) FACADE REQUIREMENTS</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>
REFER TO SECTION 153.062 (D) THROUGH 153.062 (N) FOR DESIGN REQUIREMENTS GENERAL TO ALL BUILDINGS		
<b>1.) STREET FACADE TRANSPARENCY</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>
GROUND STORY STREET FACING TRANSPARENCY	WHERE NON-RESIDENTIAL USES ARE INCORPORATED ON THE GROUND FLOOR, MINIMUM 60% REQUIRED, OTHERWISE MINIMUM 20%	63% SOUTH ELEVATION
TRANSPARENCY - SECOND FLOOR	MINIMUM 20%	60% SOUTH ELEVATION
BLANK WALL LIMITATIONS	MAX. 15'	4'-11" MAX.

## BRIDGE STREET CORRIDOR DEVELOPMENT CODE SUMMARY (CONT.)

<b>2.) NON-STREET FACADE TRANSPARENCY</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
TRANSPARENCY		MINIMUM 20%	31% EAST ELEVATION
BLANK WALL LIMITATIONS		MAX. 15'	4'-0" EAST ELEVATION
TRANSPARENCY		MINIMUM 20%	47% NORTH ELEVATION
BLANK WALL LIMITATIONS		MAX. 15'	5'-4" NORTH ELEVATION
TRANSPARENCY		MINIMUM 20%	25% WEST ELEVATION
BLANK WALL LIMITATIONS		MAX. 15'	7'-4" WEST ELEVATION
<b>3.) BUILDING ENTRANCE</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
PRINCIPAL ENTRANCE LOCATION		PRIMARY STREET FACADE OF BUILDING WHERE RESIDENTIAL USES ARE LOCATED ON THE GROUND FLOOR PORCHES OR STOOPS ARE REQUIRED AT EACH ENTRANCE	SOUTH ELEVATION
STREET FACADES - NUMBER OF ENTRANCES		WHERE GROUND STORY DWELLING UNITS OR TENANT SPACES ARE INCORPORATED: 1 PER FULL 30 FEET, OTHERWISE 1 PER 15 FEET	1 ENTRANCE
PARKING LOT FACADES, NUMBER OF ENTRANCES		1 PER 100 FEET OF FACADE (MINIMUM)	1 ENTRANCE
MID-BUILDING PEDESTRIANWAY		NOT REQUIRED	N/A
<b>4.) FACADE DIVISIONS</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
VERTICAL INCREMENTS		NO GREATER THAN 40 FEET	SEE ELEVATION
HORIZONTAL FACADE DIVISIONS		ON BUILDINGS 3 STORIES OR TALLER, REQUIRED WITHIN 3 FEET OF THE TOP OF THE GROUND STORY AND ANY VISIBLE BASEMENT, WHEN 14 TO 16 FOOT UPPER STORIES ARE USED, HORIZONTAL DIVISIONS ARE REQUIRED BETWEEN EACH FLOOR	N/A
REQUIRED CHANGE IN ROOF PLANE OR TYPE		NO GREATER THAN EVERY 80 FEET FOR PITCHED ROOF TYPE, NONE FOR OTHER ROOF TYPES	FLAT ROOF
<b>5.) FACADE MATERIALS</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
PERMITTED PRIMARY MATERIALS		STONE, BRICK, GLASS	STONE, BRICK, COPPER, GLASS, CEDAR
<b>6.) ROOF TYPES</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
PERMITTED TYPES		PARAPET, PITCHED ROOF, FLAT ROOF, OTHER TYPES MAY BE PERMITTED WITH APPROVAL, REFER TO SECTION 153.063 (D)	FLAT ROOF
TOWER		PERMITTED ON FACADES ONLY AT TERMINAL VISTAS, CORNERS AT TWO PRINCIPAL FRONTAGE STREETS, AND/OR ADJACENT TO AN OPEN SPACE TYPE	N/A
<b>GROUND SIGN REQUIREMENTS - TABLE 153.065 (H)</b>			
MAXIMUM SIZE		24 SF.	24 SF.
MAXIMUM HEIGHT		8 FEET TALL	TBD
<b>BUILDING SIGN REQUIREMENTS - TABLE 153.065 (I)</b>			
WALL SIGN - SOUTH ELEVATION		50 SF. MAX.	50 SF.
WALL SIGN - NORTH ELEVATION		6 SF. MAX.	6 SF.

### FACADE MATERIAL %

	NORTH	SOUTH	EAST	WEST
<b>MODULAR BRICK VENEER</b>				
	33%	34%	51%	51%
<b>CEDAR SIDING</b>				
	4%	4%	1%	3%
<b>COPPER WALL SIDING</b>				
	5%	6%	0%	0%
<b>MANUFACTURED CAST STONE</b>				
	13%	11%	12%	12%
<b>METAL COPING, FLASHING, DOWNSPOUTS</b>				
	1%	1%	1%	1%
<b>STOREFRONT/CURTAINWALL SYSTEM</b>				
	44%	44%	29%	27%



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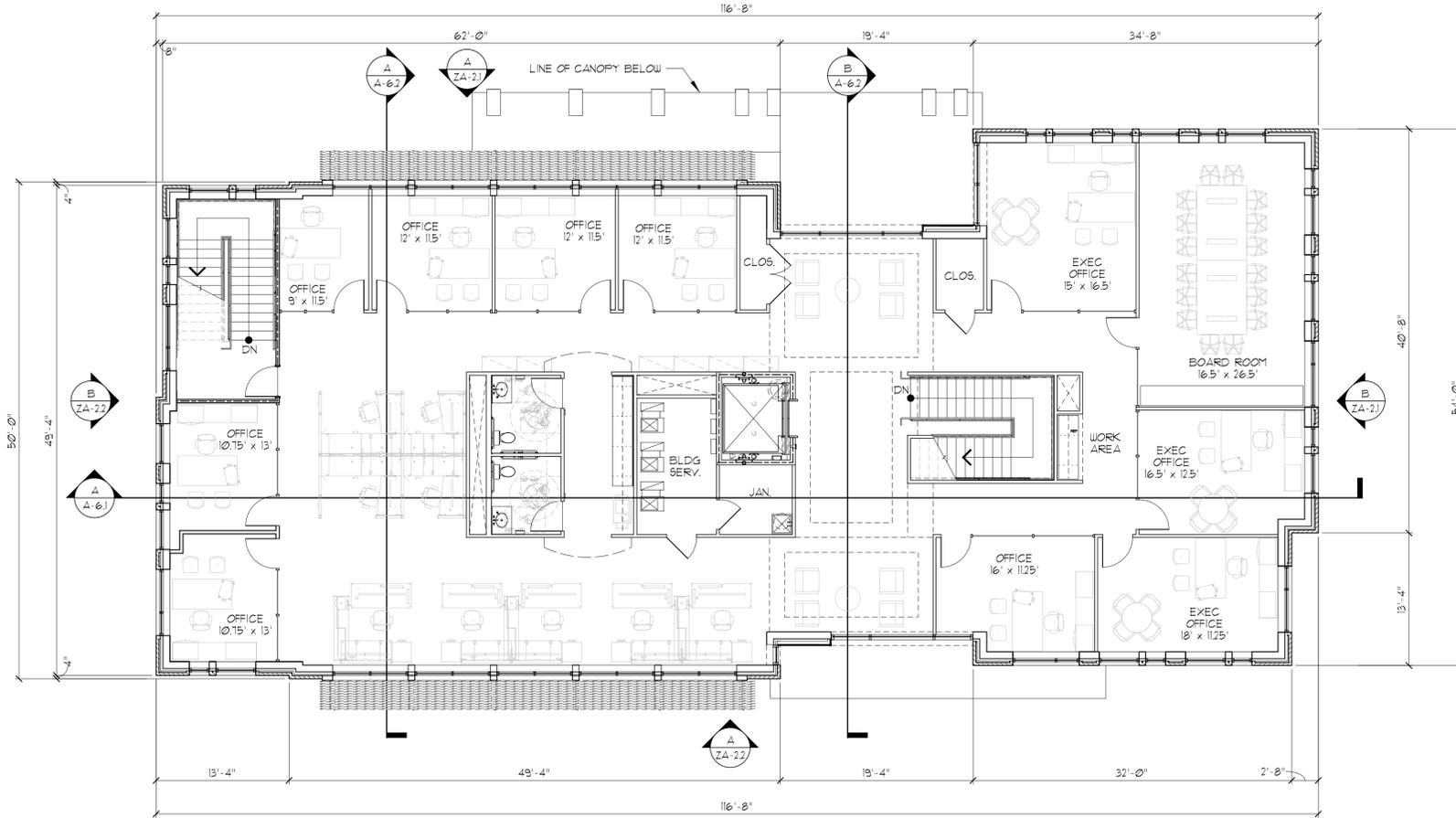
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FIRST AND SECOND FLOOR PLANS

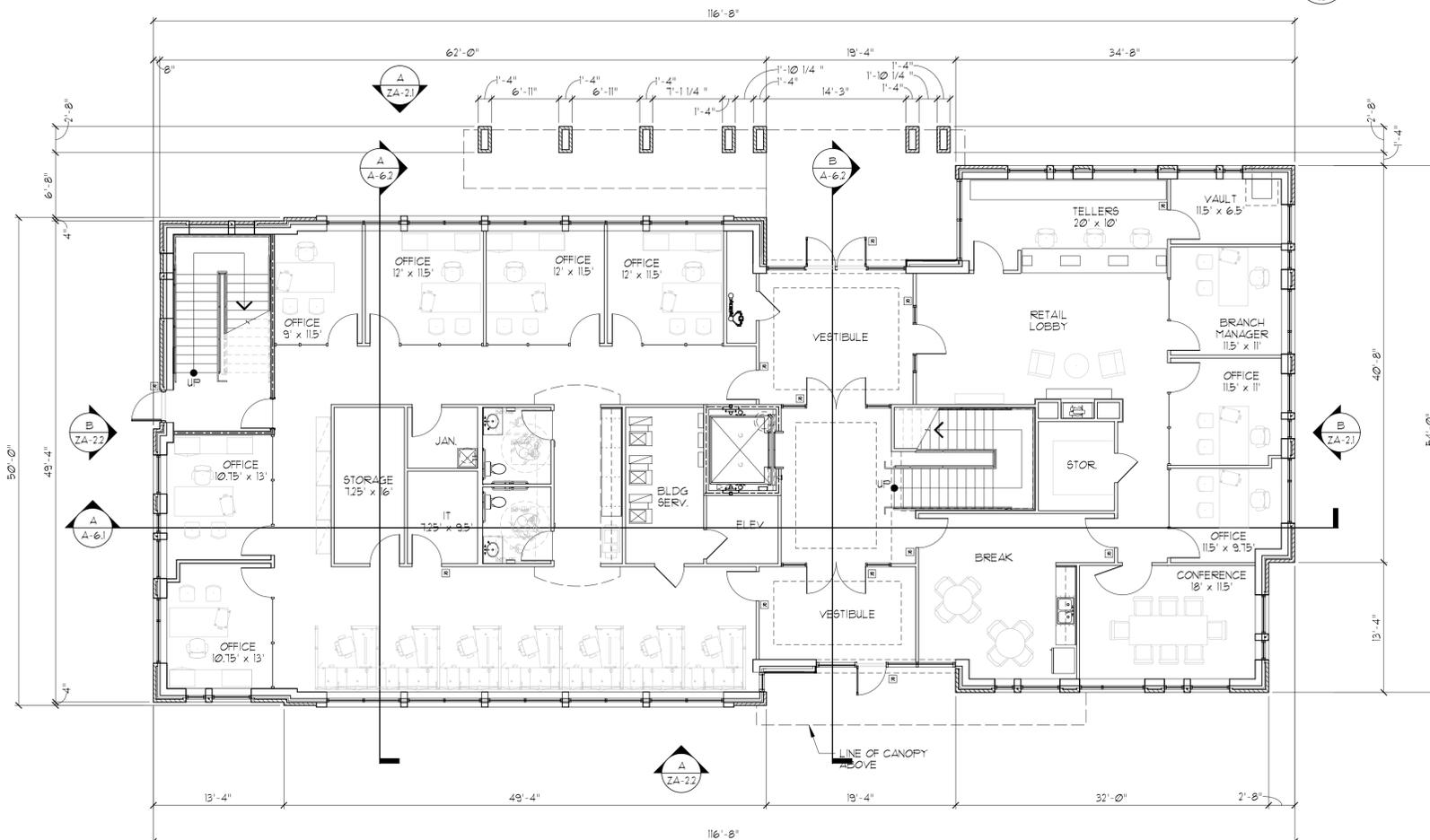
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**ZA-1.1**

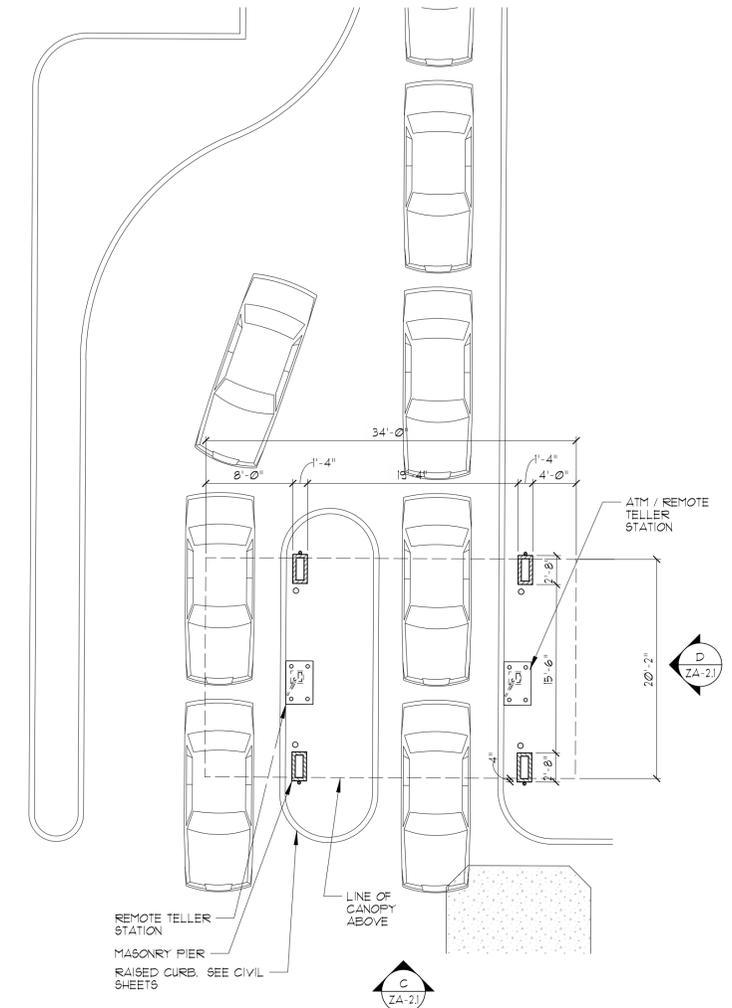
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**A SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**B FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**C DRIVE-THRU PLAN**  
SCALE: 1/8" = 1'-0"





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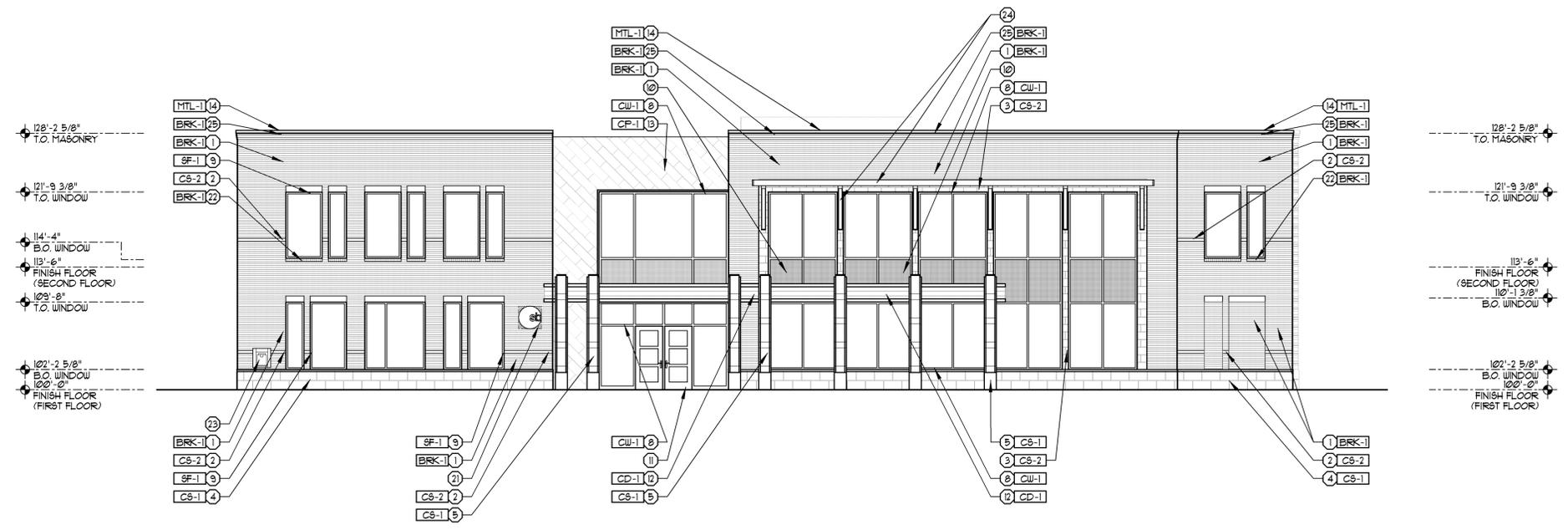
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**BUILDING ELEVATIONS**

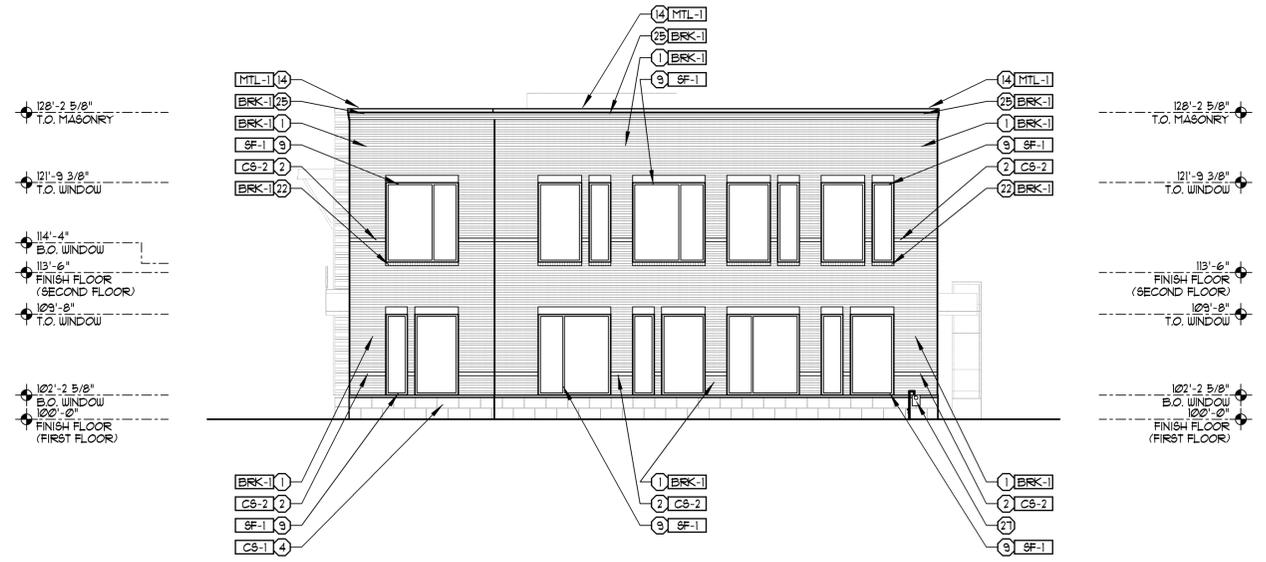
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**ZA-2.1**

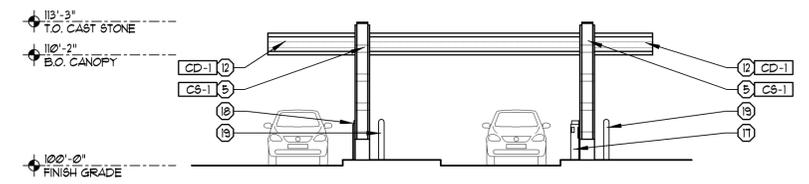
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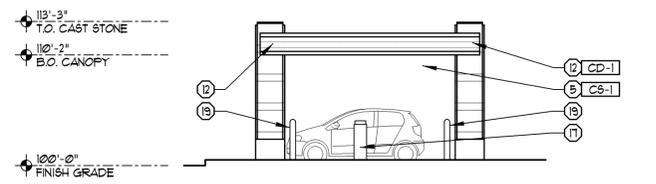
**A NORTH BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"



**B EAST BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"



**C SOUTH DRIVE-THRU ELEVATION**  
SCALE: 1/8" = 1'-0"



**D WEST DRIVE-THRU ELEVATION**  
SCALE: 1/8" = 1'-0"

**SYMBOL LEGEND**

○	ELEVATION CODED NOTE TAG (SEE SHEET ZA-21 FOR SCHEDULE)
□	MATERIAL / FINISH TAG (SEE SHEET ZA-21 FOR EXTERIOR MATERIAL FINISH KEY)

**ELEVATION CODED NOTES**

1	BRICK VENEER RUNNING BOND.	16	PREFINISHED METAL (24 GA.) EXTERIOR DOWNSPOUT CONNECTED TO STORM LINE.
2	MANUFACTURED CAST STONE VENEER (ACCENT).	17	ATM DRIVE-THRU BANK TELLER UNIT BY OWNER.
3	MANUFACTURED CAST STONE WINDOW CASING.	18	DRIVE-THRU BANK TELLER UNIT BY OWNER.
4	MANUFACTURED CAST STONE VENEER.	19	CONCRETE FILLED STEEL BOLLARD. PAINT.
5	MANUFACTURED CAST STONE VENEER COLUMN.	20	WALL MOUNTED SIGN - 24 SF. MAXIMUM AREA.
6	MANUFACTURED CAST STONE SILL.	21	WALL MOUNTED SIGN - 6 SF. MAXIMUM AREA.
7	BRICK VENEER STREET WALL.	22	BRICK ROULOCK SILL COURSE.
8	PREFINISHED ALUMINUM CURTAINWALL SYSTEM WITH 1" CLEAR LOW-E INSULATED GLASS UNITS.	23	NIGHT-DEPOSITORY BOX BY OWNER.
9	PREFINISHED ALUMINUM STOREFRONT / WINDOW SYSTEM WITH 1" CLEAR LOW-E INSULATED GLASS UNITS.	24	CEDAR BRACKETS w/ PREFINISHED STEEL SUNSHADE SYSTEM.
10	1" SPANDREL GLASS UNIT.	25	BRICK VENEER CORBELED COURSE (HEAD). (FULL 1/2" - TYP. OF 3 COURSES)
11	WOOD ENTRY DOOR w/ 1" CLEAR LOW-E INSULATED GLASS UNITS.	26	SURFACE MOUNTED DECORATIVE LIGHT FIXTURE.
12	4" WIDE CEDAR SIDING. (CLEAR FINISH).	27	GAS METER.
13	COPPER WALL SIDING.		
14	PREFINISHED METAL FARAPET COPING.		
15	PREFINISHED METAL OVERFLOW DRAIN.		

**EXTERIOR MATERIAL FINISH KEY**

MARK	MANUFACTURER	DESCRIPTION	REMARKS
<b>MODULAR BRICK VENEER</b>			
BRK-1	BELDEN	MODULAR BELCREST LIGHTHOUSE VELOUR	
<b>CEDAR SIDING</b>			
CD-1	WFP CEDAR (OR EQUAL)	TONGUE AND GROOVE SIDING CLEAR FINISH	
<b>COPPER WALL SIDING</b>			
CP-1	DRI-DESIGN	COPPER WALL PANEL SIDING FREE PATINA COPPER FINISH	
<b>MANUFACTURED CAST STONE</b>			
CS-1	ARRISCRAFT	ADAIR LIMESTONE MASONRY UNITS	--
CS-2	ROCK CAST	CUSTOM CAST STONE SERIES	CAST STONE DECORATIVE ACCENT BAND(S) AND WINDOW CASING
<b>METAL COPING, FLASHING, DOWNSPOUTS</b>			
MTL-1	DMI	DYNACLAD PVDF PAINT FINISH 'BEIGE'	
<b>STOREFRONT/CURTAINWALL SYSTEM</b>			
SF-1	KAUNEER	2" x 4 1/2" - TRIFAB V6 451T COLOR CHARCOAL	
CW-1	KAUNEER	2 1/2" x 6" - 1600 WALL SYSTEM 1 COLOR CHARCOAL	



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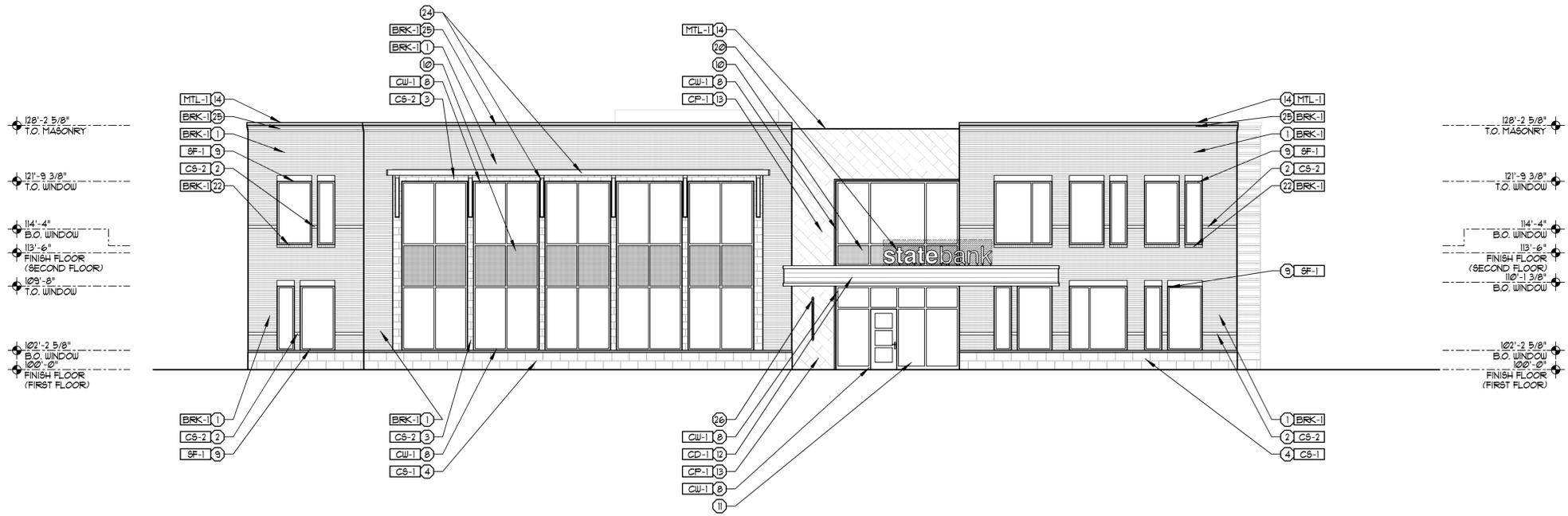
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**BUILDING ELEVATIONS**

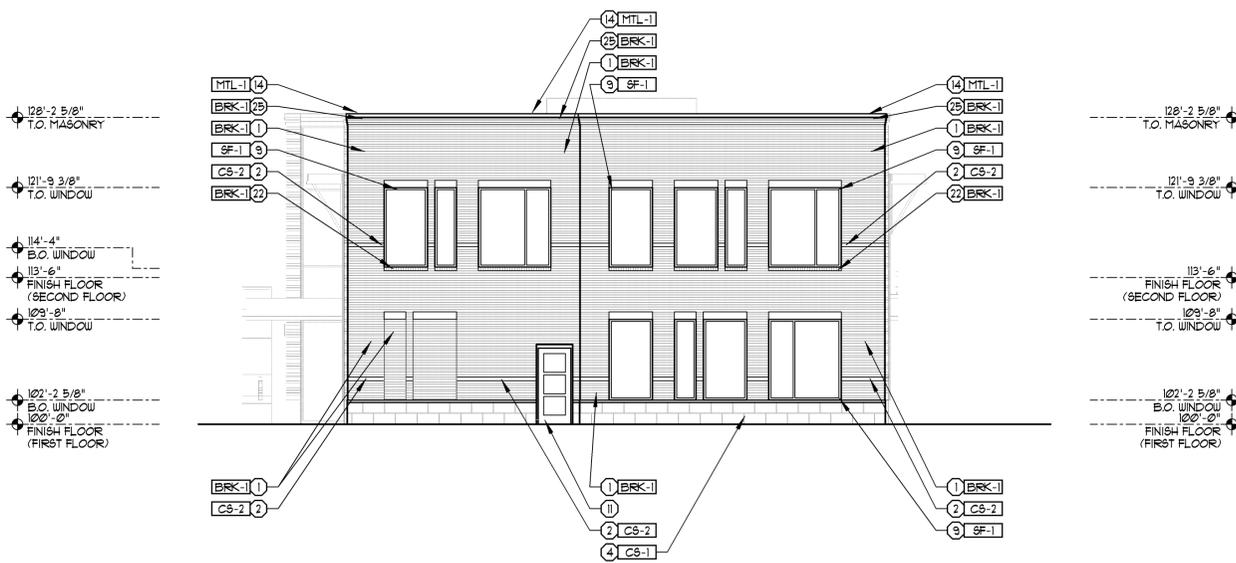
FAAF 13056.00

**ZA-2.2**

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**A SOUTH BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"

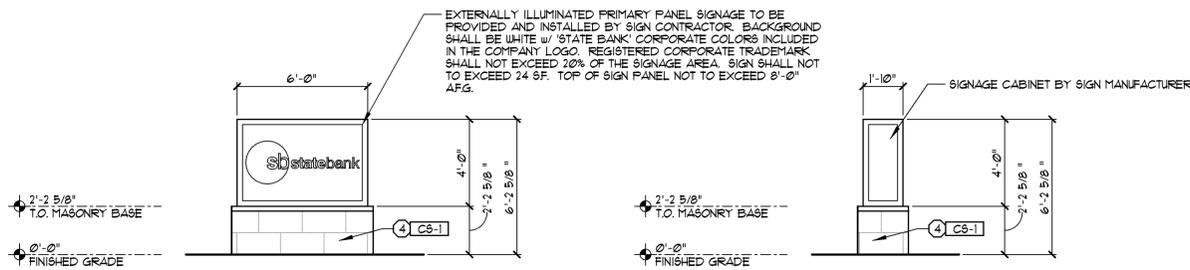


**B WEST BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND	
○	ELEVATION CODED NOTE TAG (SEE SHEET ZA-2.1 FOR SCHEDULE)
□	MATERIAL / FINISH TAG (SEE SHEET ZA-2.1 FOR EXTERIOR MATERIAL FINISH KEY)

ELEVATION CODED NOTES	
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3	MANUFACTURED CAST STONE WINDOW CASING.
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6	MANUFACTURED CAST STONE SILL.
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9	PREFINISHED ALUMINUM STOREFRONT / WINDOW SYSTEM WITH 1" CLEAR LOW-E INSULATED GLASS UNITS.
10	1" SPANDREL GLASS UNIT.
11	WOOD ENTRY DOOR w/ 1" CLEAR LOW-E INSULATED GLASS UNITS.
12	4" WIDE CEDAR SIDING. (CLEAR FINISH).
13	COPPER WALL SIDING.
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22	BRICK ROULOCK SILL COURSE.
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27	GAS METER.

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<b>METAL COPING, FLASHING, DOWNSPOUTS</b>			
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<b>STOREFRONT/CURTAINWALL SYSTEM</b>			
SF-1	KAUNEER	2" x 4 1/2" - TRIFAB V6 451T COLOR CHARCOAL	
CW-1	KAUNEER	2 1/2" x 6" - 1600 WALL SYSTEM 1 COLOR CHARCOAL	



**C MONUMENT SIGN ELEVATION**  
SCALE: 1/4" = 1'-0"

**D MONUMENT SIGN SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



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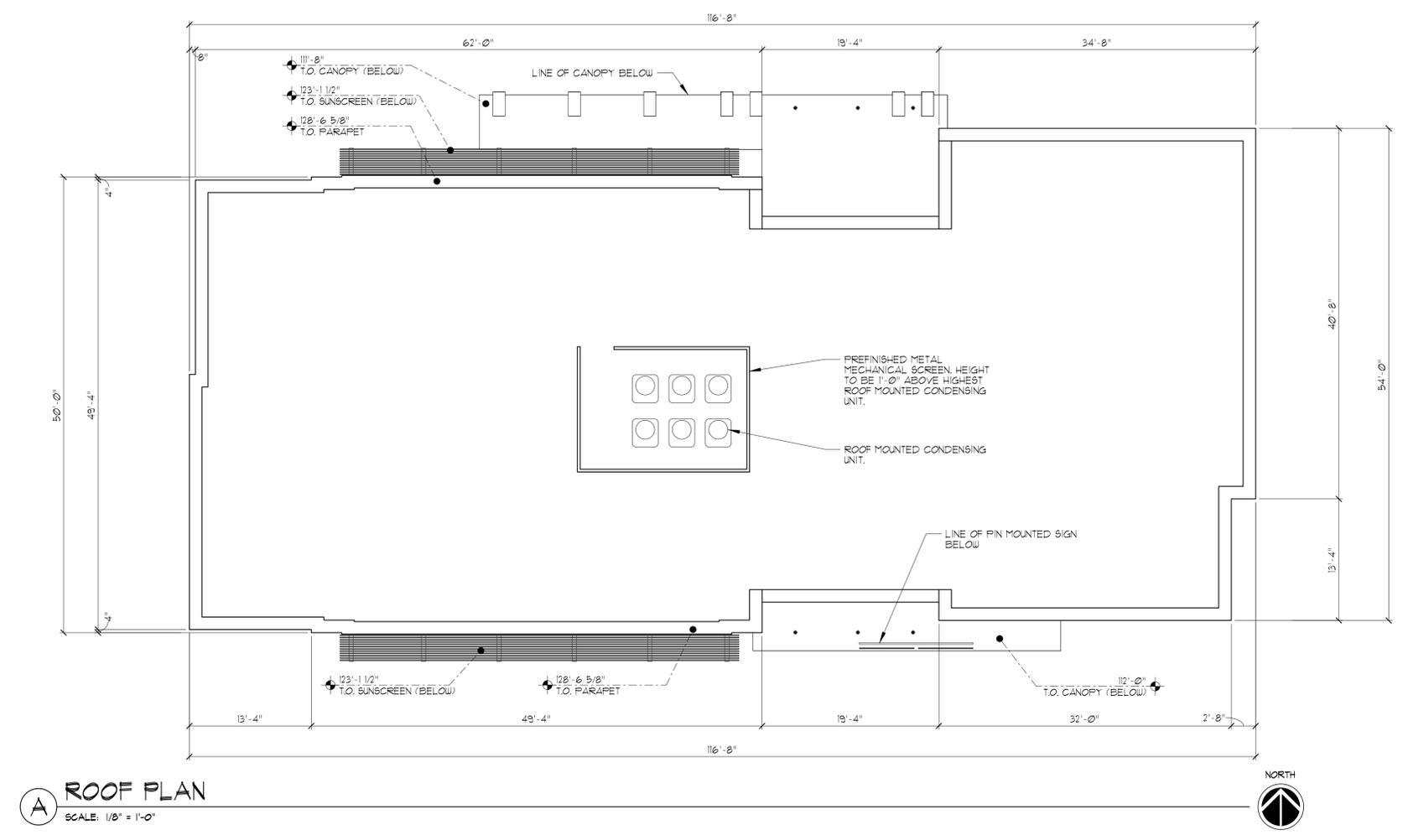
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ROOF PLAN

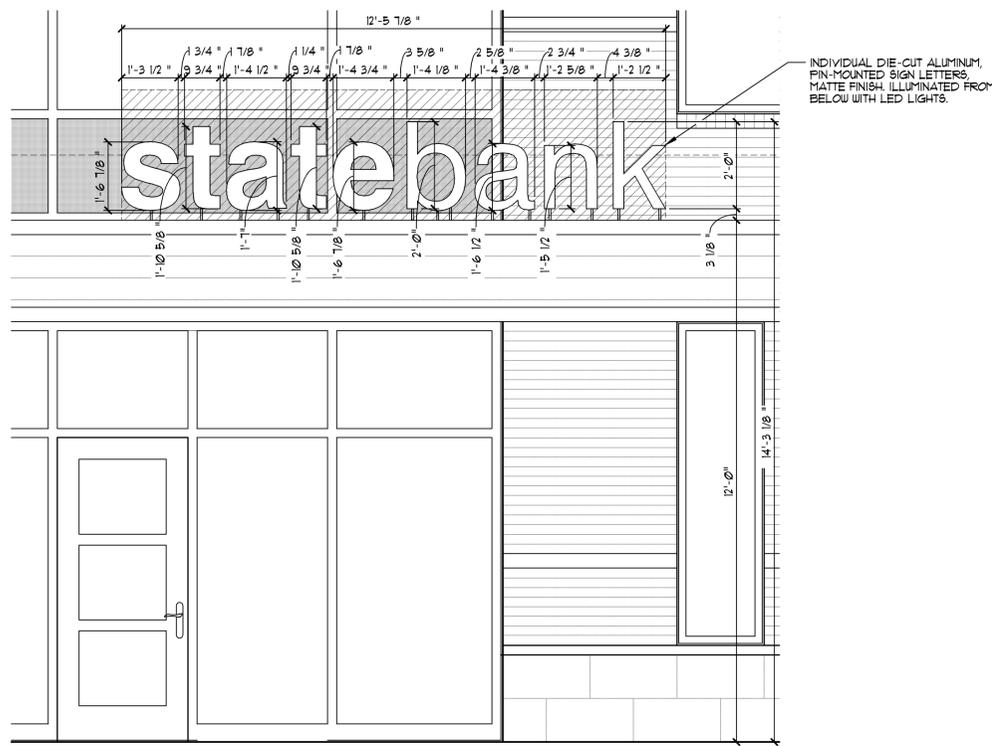
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**ZA-3.1**

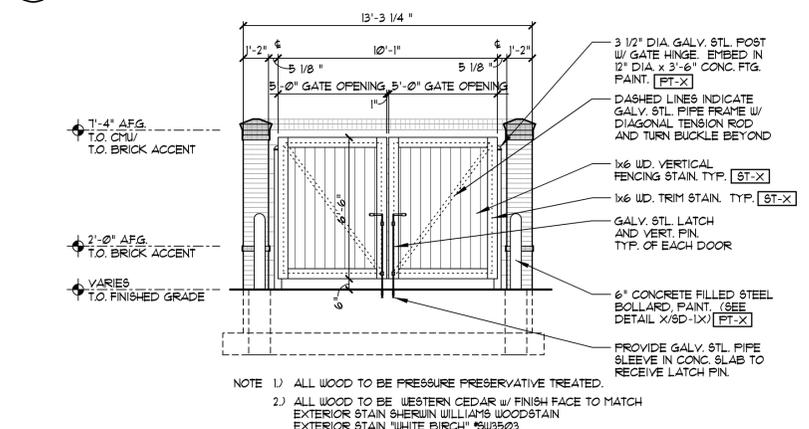
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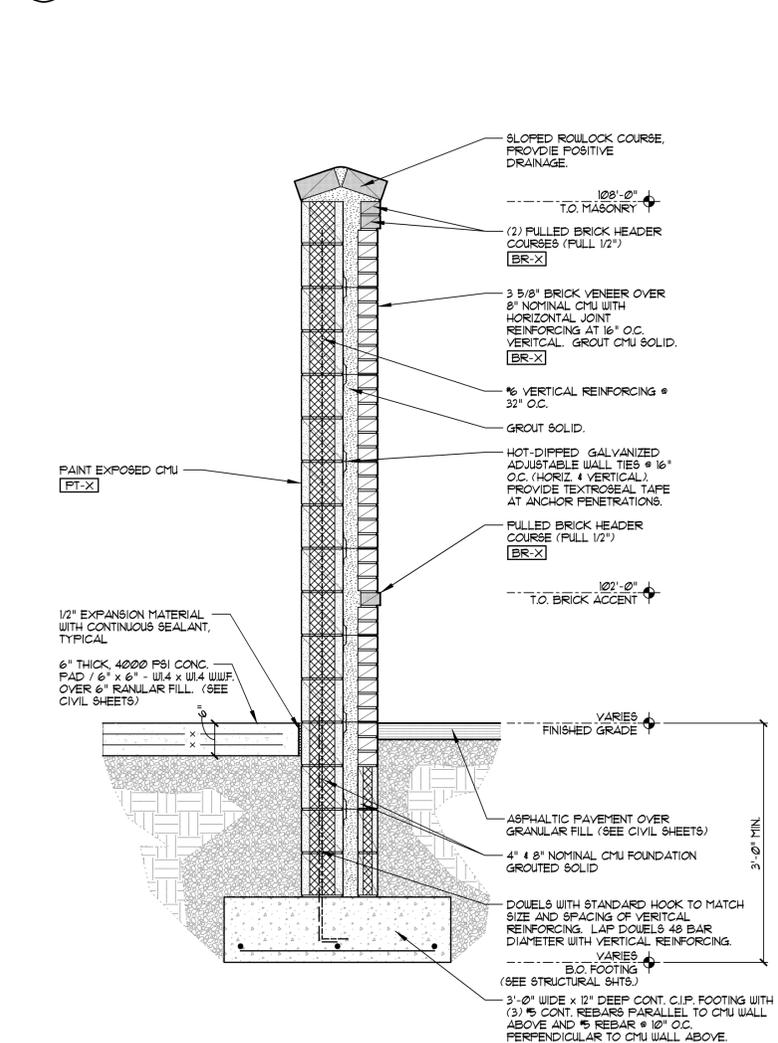
**A ROOF PLAN**  
SCALE: 1/8" = 1'-0"



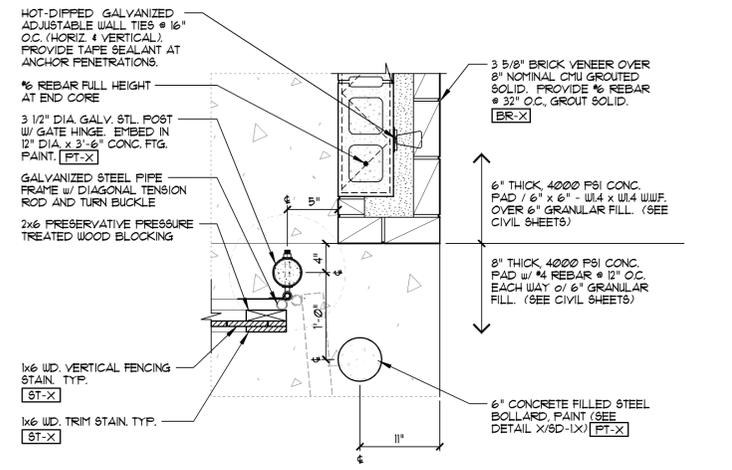
**A SOUTH ENTRY SIGN ENLARGEMENT**  
SCALE: 1/2" = 1'-0"



**B NORTH ENTRY SIGN ENLARGEMENT**  
SCALE: 1/2" = 1'-0"

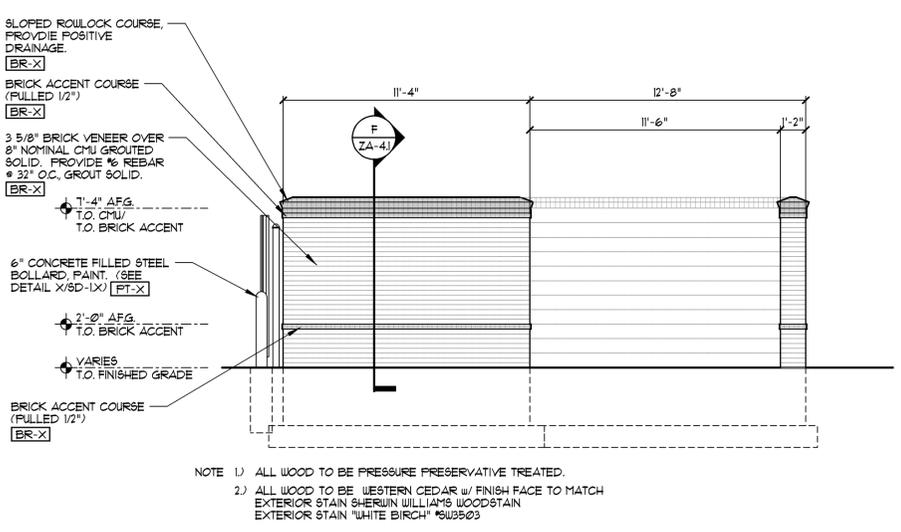


**F DUMPSTER SCREEN WALL SECTION**  
SCALE: 3/4" = 1'-0"

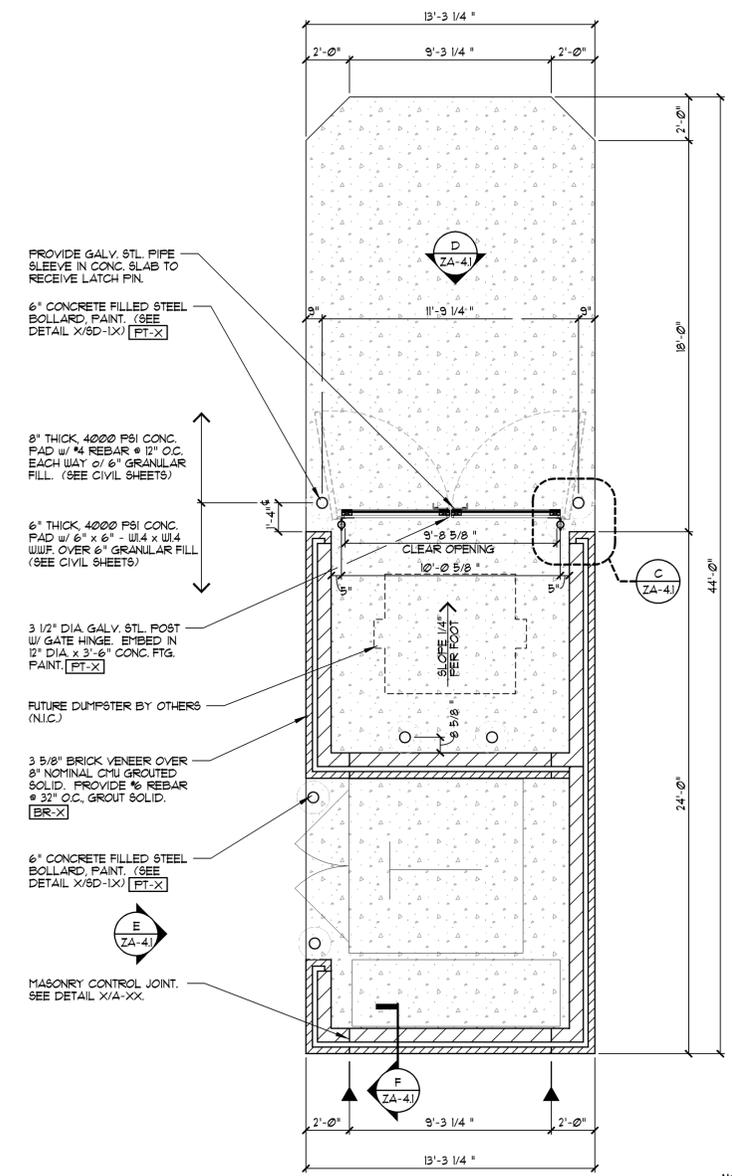


**C DUMPSTER GATE DETAIL**  
SCALE: 1" = 1'-0" (SEE 'EXTERIOR MATERIAL FINISH KEY' ON SHEET A-XX)

**D DUMPSTER ENCLOSURE ELEVATION**  
SCALE: 1/4" = 1'-0" (SEE 'EXTERIOR MATERIAL FINISH KEY' ON SHEET A-XX)



**E DUMPSTER ENCLOSURE ELEVATION**  
SCALE: 1/4" = 1'-0" (SEE 'EXTERIOR MATERIAL FINISH KEY' ON SHEET A-XX)



**G ENLARGED DUMPSTER ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0" (SEE 'EXTERIOR MATERIAL FINISH KEY' ON SHEET A-XX)



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		JUNE 4, 2014
		JUNE 5, 2014

**SCREENING AND SIGNAGE DETAILS**

FAA# 13056.00

**ZA-4.1**  
STATE BANK





**STATE BANK**  
Banker Drive, Dublin, Ohio  
For **Lincoln Construction**  
4790 Shuster Road, Columbus, Ohio 43214

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**PRELIMINARY**  
NOT FOR CONSTRUCTION

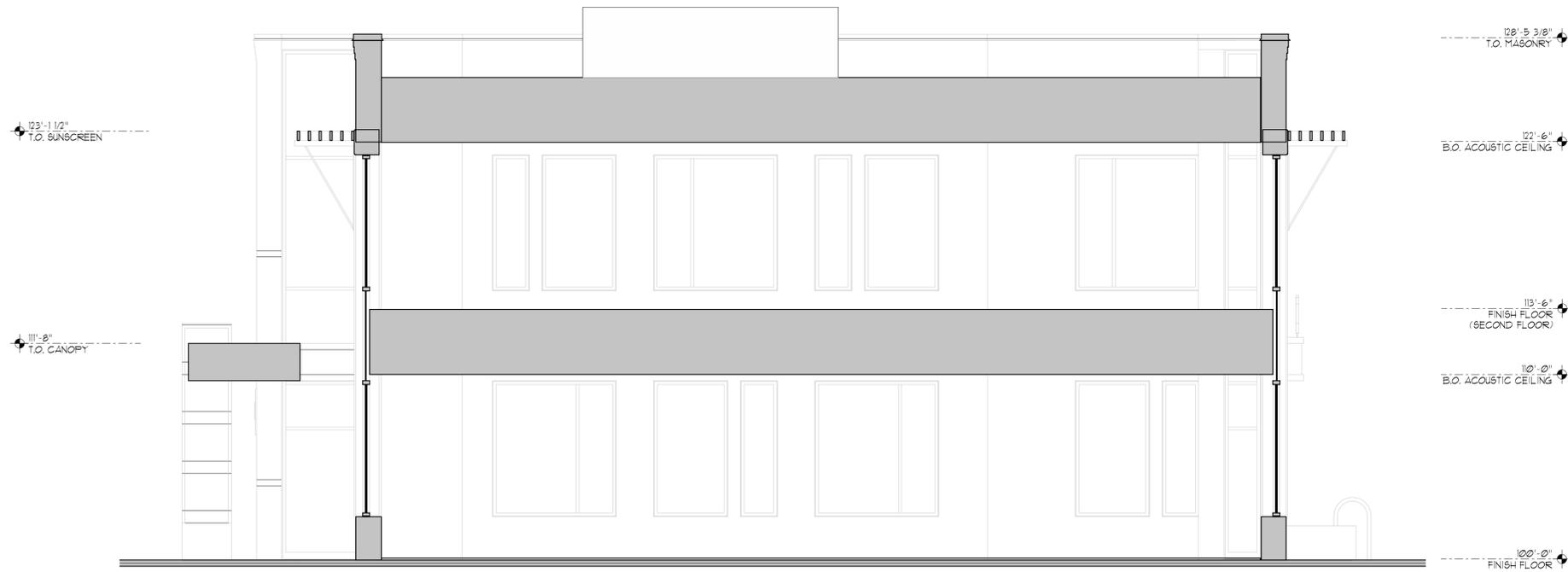
ISSUE	REVISION	DATE
PRELIMINARY		NOV. 15, 2013
		NOV. 26, 2013
		DEC. 3, 2013
		DEC. 10, 2013
		JAN. 3, 2014
DUBLIN PREL.		JAN. 9, 2014
DUBLIN SUB.		FEB. 3, 2014
		FEB. 4, 2014
		FEB. 5, 2014
		MAY 16, 2014

BUILDING SECTIONS

FAM# 13096.00

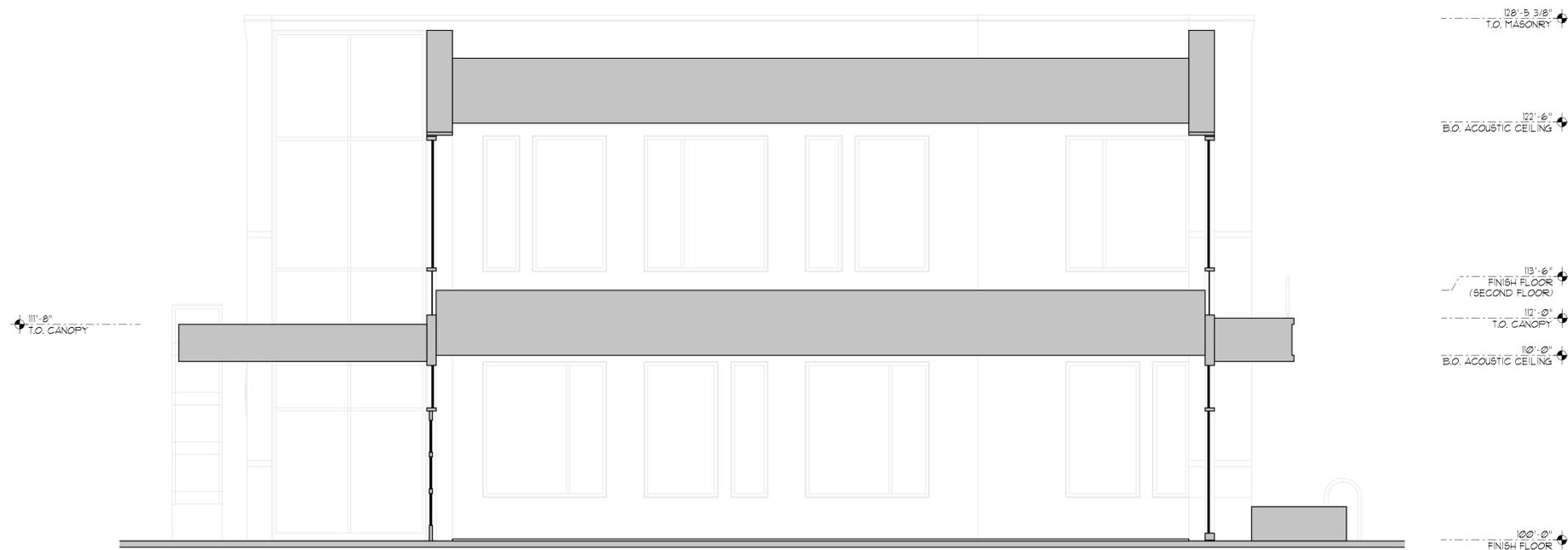
**ZA-6.2**

STATE BANK



**A** BUILDING TRANSVERSE SECTION

SCALE: 1/4" = 1'-0"



**B** BUILDING TRANSVERSE SECTION

SCALE: 1/4" = 1'-0"



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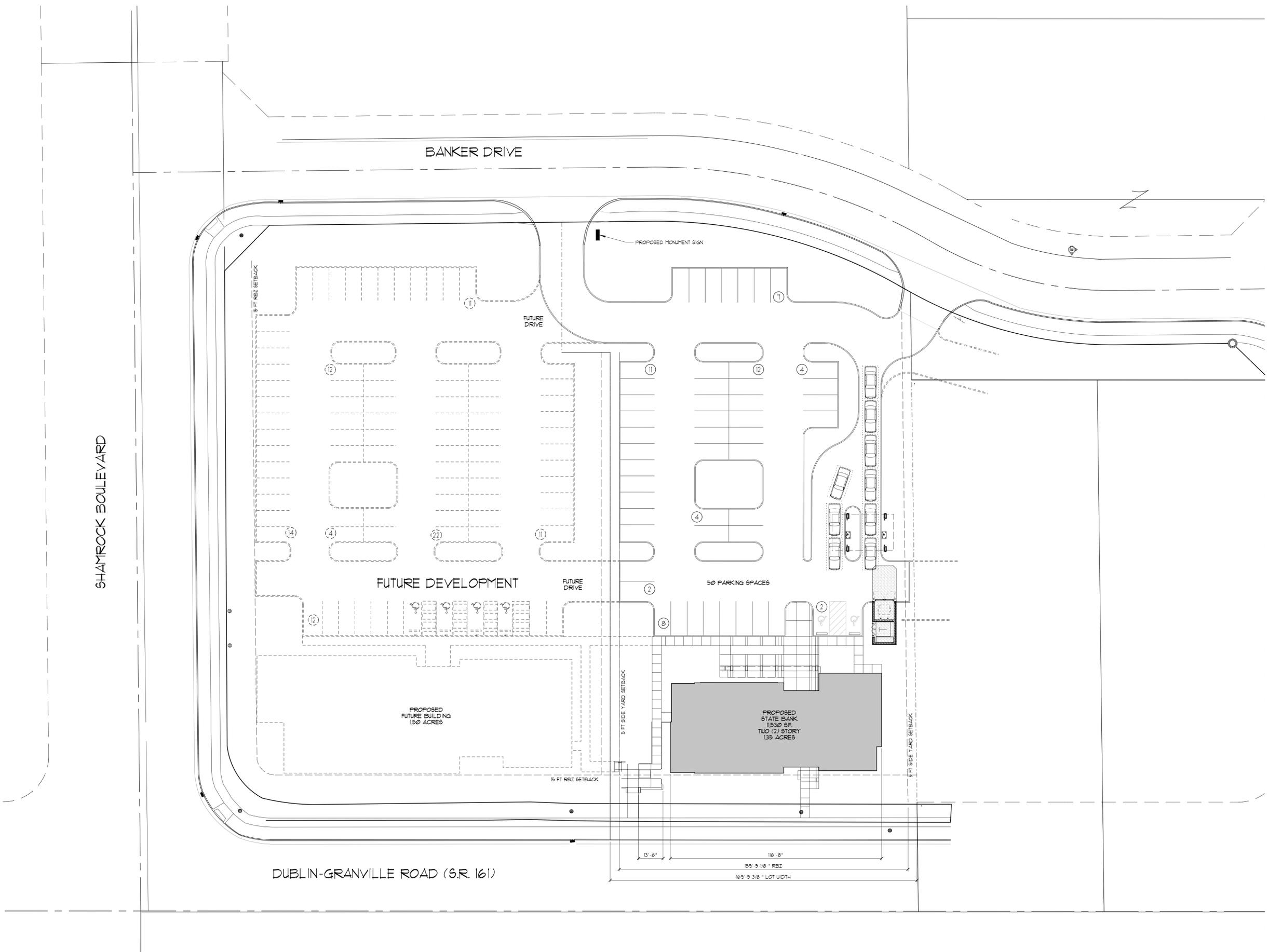
**PRELIMINARY**  
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DUBLIN SUB.		FEB. 3, 2014
		FEB. 4, 2014
		FEB. 5, 2014
		MAY. 15, 2014
		APR. 10, 2014

**PROPOSED SITE PLAN**

FAM# 13096.00

**ZD-1.1**  
STATE BANK



**PROPOSED SITE PLAN**  
SCALE: 1" = 20'-0"

