



APPLICATION FOR DEVELOPMENT

PLEASE CHECK THE TYPE OF REVIEW

- West Innovation Districts
(Zoning Code Sections 153.037 - 153.043)
- Bridge Street Corridor Districts
(Zoning Code Sections 153.057- 153.066)
- Wireless Communication Facility (Chapter 99)

PLEASE CHECK THE APPLICATION TYPE

- Basic Plan Review
- Development Plan Review
- Waiver Review
- Open Space Fee-in-Lieu
- City Council Appeal
- Minor Project
- Site Plan Review
- Master Sign Plan
- Parking Plan
- Administrative Departure

Wireless Applications

- New Tower
- Alternative Structure
- Co-Location
- Temporary

The following applications require review and decision by the **Planning and Zoning Commission, Board of Zoning Appeals, or Architectural Review Board**, but may be submitted concurrently with another application.

Check any that apply:

- Conditional Use
- Administrative Appeal
- Project involving modifications to property within the Architectural Review District
- Other: _____
- Rezoning

SUBMISSION REQUIREMENTS

- Fee** (refer to the approved fees list)
- Electronic Copies** of all application materials (PDF, JPEG, Word, etc. as appropriate)
- Submission Requirements** for each type of application (refer to checklists)
- Legal Description and/or Property Survey** for the subject property

I. PROPERTY INFORMATION: Provide information to identify properties and the proposed development. Attach additional sheets if necessary.

Property Address(es): 00000 W DUBLIN GRANVILLERD	
Tax ID/Parcel Number(s): 273-008375-80	Parcel Size(s) in Acres: 2.874
Existing Land Use/Development: VACANT COMMERCIAL	Zoning District: BSC OFFICE

- Check this box if any **Administrative Departures** are requested and attach an Administrative Departure request form.
- Check this box if any **Waivers** are requested as part of the application for development and attach a Waiver Request form.

II. PROPERTY OWNER INFORMATION: Indicate the person(s) or organization(s) who own the property proposed for development. Attach additional pages if there are multiple property owners.

Name (Individual or Organization): STATE BANK AND TRUST COMPANY (THE)	
Mailing Address: 109 S HIGH ST DUBLIN OH 43017	
Daytime Telephone: (614) 336-7779	Fax:
Email or Alternate Contact Information: David.Homoelle@yourstatebank.com	

FOR OFFICE USE ONLY: DIRECTOR'S ACCEPTANCE

Date of Acceptance:	Next Decision Due Date:
Final Date of Decision:	Determination:
Director's (or Designee's) Signature:	

RECEIVED
MAY 16, 2014

FILE COPY

14-047 BSC-SP/PP/FP
CITY OF DUBLIN
PLANNING

III. APPLICANT(S): Indicate person(s) submitting the application if different than the property owner(s).

Name: (Individual or Organization) State Bank / David Homoelle	
Mailing Address: 109 S High St, Dublin, OH 43017	
Daytime Telephone: (614) 336-7779	Fax:
Email or Alternate Contact Information: David.Homoelle@yourstatebank.com	

IV. AUTHORIZED REPRESENTATIVE(S): Indicate the person(s) authorized to represent the property owner and/or applicants.

Name: (Individual or Organization) Lincoln Construction / Ross Sanford	
Mailing Address: 4790 Shuster Road Columbus, Ohio 43214	
Daytime Telephone: 614-457-6015	Fax:
Email or Alternate Contact Information: rsanford@lincolnconstruction.com	

V. AUTHORIZATION FOR OWNER'S APPLICANT(S)/REPRESENTATIVE(S): Complete if applicable.

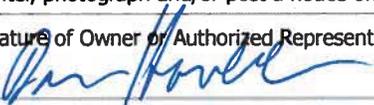
I, **David Homoelle**, the **owner**, hereby authorize **Lincoln Construction / State Bank** to act as a **representative(s)** in all matters pertaining to the processing and approval of this application, including modifying the application. I agree to be bound by all representations and agreements made by the designated representative.

Signature of Current Property Owner: 	Date: 5/13/14
--	----------------------

Check this box if the original Authorization for Owner's Applicant(s)/Representative(s) is attached as a separate document.

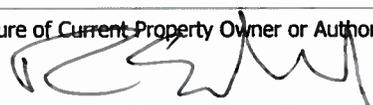
VI. AUTHORIZATION TO VISIT THE PROPERTY: Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as noted below, hereby authorizes City representatives to enter, photograph and post a notice on the property described in this application. This is optional, but recommended.

I, **David Homoelle**, the **owner or authorized representative**, hereby authorize City representatives to enter, photograph and/or post a notice on the property described in this application.

Signature of Owner or Authorized Representative: 	Date: 5/13/14
---	----------------------

VII. APPLICANT'S AFFIDAVIT: This section must be completed and notarized.

I, **Ross Sanford**, the **owner or authorized representative**, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted, is complete and in all respects true and correct, to the best of my knowledge and belief.

Signature of Current Property Owner or Authorized Representative: 	Date: 5.13.2014
--	------------------------

Check this box if the Applicant's Affidavit and Acknowledgement is attached as a separate document.

Subscribed and sworn to before me this **13** day of

State of **OH**

County of **Franklin**



20 14
ALEXA M TOMEY
Notary Public, State of Ohio
My Commission Expires 12-19-2015



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MAY 16 2014
14-047 BSC-SP/PA/FP
CITY OF DUBLIN

PLANNING AND ZONING COMMISSION APPLICATION

(Code Section 153.232)



CITY OF DUBLIN.

Land Use and
Long Range Planning
5800 Shier-Rings Road
Dublin, Ohio 43016-1236

Phone/ TDD: 614-410-4600
Fax: 614-410-4747
Web Site: www.dublin.oh.us

I. PLEASE CHECK THE TYPE OF APPLICATION:

<input type="checkbox"/> Informal Review	<input checked="" type="checkbox"/> Final Plat (Section 152.085)
<input type="checkbox"/> Concept Plan (Section 153.056(A)(1))	<input checked="" type="checkbox"/> Conditional Use (Section 153.236)
<input type="checkbox"/> Preliminary Development Plan / Rezoning (Section 153.053)	<input type="checkbox"/> Corridor Development District (CDD) (Section 153.115)
<input type="checkbox"/> Final Development Plan (Section 153.053(E))	<input type="checkbox"/> Corridor Development District (CDD) Sign (Section 153.115)
<input type="checkbox"/> Amended Final Development Plan (Section 153.053(E))	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Standard District Rezoning (Section 153.018)	<input type="checkbox"/> Right-of-Way Encroachment
<input checked="" type="checkbox"/> Preliminary Plat (Section 152.015)	<input type="checkbox"/> Other (Please Specify): _____

Please utilize the applicable *Supplemental Application Requirements* sheet for additional submittal requirements that will need to accompany this application form.

II. PROPERTY INFORMATION: This section must be completed.

Property Address(es): 00000 W DUBLIN GRANVILLE RD	
Tax ID/Parcel Number(s): 273-008375-80	Parcel Size(s) (Acres): 2.874
Existing Land Use/Development: VACANT COMMERCIAL LAND	

IF APPLICABLE, PLEASE COMPLETE THE FOLLOWING:

Proposed Land Use/Development: BSC OFFICE
Total acres affected by application: 2.874

III. CURRENT PROPERTY OWNER(S): Please attach additional sheets if needed.

Name (Individual or Organization): STATE BANK AND TRUST COMPANY (THE)	
Mailing Address: 109 S HIGH ST DUBLIN OH 43017 (Street, City, State, Zip Code)	
Daytime Telephone: (614) 336-7779	Fax: RECEIVED
Email or Alternate Contact Information: David.Homoelle@yourstatebank.com	

MAY 16 2014
14-047 BSC-SR/PP/FP
CITY OF DUBLIN
PLANNING

FILE COPY

IV. APPLICANT(S): This is the person(s) who is submitting the application if different than the property owner(s) listed in part III. Please complete if applicable.

Name: State Bank / David Homoelle	Applicant is also property owner: yes <input checked="" type="checkbox"/> no <input type="checkbox"/>
Organization (Owner, Developer, Contractor, etc.): STATE BANK AND TRUST COMPANY (THE)	
Mailing Address: 109 S HIGH ST DUBLIN OH 43017 (Street, City, State, Zip Code)	
Daytime Telephone: (614) 336-7779	Fax:
Email or Alternate Contact Information: David.Homoelle@yourstatebank.com	

V. REPRESENTATIVE(S) OF APPLICANT / PROPERTY OWNER: This is the person(s) who is submitting the application on behalf of the applicant listed in part IV or property owner listed in part III. Please complete if applicable.

Name: Ross Sanford	
Organization (Owner, Developer, Contractor, etc.): Lincoln Construction	
Mailing Address: 4790 Shuster Road Columbus, Ohio 43214 (Street, City, State, Zip Code)	
Daytime Telephone: 614-457-6015	Fax:
Email or Alternate Contact Information: rsanford@lincolnconstruction.com	

VI. AUTHORIZATION FOR OWNER'S APPLICANT or REPRESENTATIVE(S): If the applicant is not the property owner, this section must be completed and notarized.

David Homoelle, the owner, hereby authorize Lincoln Construction / Ross Sanford to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all representations and agreements made by the designated representative.

Signature of Current Property Owner: *David Homoelle* Date: 5/13/14

Check this box if the Authorization for Owner's Applicant or Representative(s) is attached as a separate document.

Subscribed and sworn before me this 13 day of May, 2014

State of OH
County of Franklin

Notary Public *Alex M Tomey*



ALEX M TOMHEY
Notary Public, State of Ohio
My Commission Expires 12-19-2015

VII. AUTHORIZATION TO VISIT THE PROPERTY: Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as noted below, hereby authorizes City representatives to visit, photograph and post a notice on the property described in this application.

David Homoelle, the owner or authorized representative, hereby authorize City representatives to visit, photograph and post a notice on the property described in this application.

Signature of applicant or authorized representative: *David Homoelle* Date: 5/13/14

FILE COPY

MAY 16 2014
14-007 BSL-SW/PP/JFP
CITY OF DUBLIN

VIII. UTILITY DISCLAIMER: The Owner/Applicant acknowledges the approval of this request for review by the Dublin Planning and Zoning Commission and/or Dublin City Council does not constitute a guarantee or binding commitment that the City of Dublin will be able to provide essential services such as water and sewer facilities when needed by said Owner/Applicant.

I <u>David Homoelle</u> , the owner or authorized representative, acknowledge that approval of this request does not constitute a guarantee or binding commitment that the City of Dublin will be able to provide essential services such as water and sewer facilities when needed by said Owner/Applicant.	
Signature of applicant or authorized representative: <u><i>David Homoelle</i></u>	Date: <u>5/13/14</u>

IX. APPLICANT'S AFFIDAVIT: This section must be completed and notarized.

I <u>Ross Sanford</u> , the owner or authorized representative, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all respects true and correct, to the best of my knowledge and belief.	
Signature of applicant or authorized representative: <u><i>Ross Sanford</i></u>	Date: <u>5.13.2014</u>

Subscribed and sworn to before me this 13 day of May
 State of OH
 County of Franklin

Notary Public: *Alexa M Tomey*



ALEXA M TOMEY
 Notary Public, State of Ohio
 My Commission Expires 12-19-2015

FOR OFFICE USE ONLY			
Amount Received:	Application No:	P&Z Date(s):	P&Z Action:
Receipt No:	Map Zone:	Date Received:	Received By:
City Council (First Reading):		City Council (Second Reading):	
City Council Action:		Ordinance Number:	
Type of Request:			
N, S, E, W (Circle) Side of:			
N, S, E, W (Circle) Side of Nearest Intersection:			
Distance from Nearest Intersection:			
Existing Zoning District:		Requested Zoning District:	

FILE COPY



State Bank
Dublin Banking Center
January 13, 2014

Civil/Site Narrative:

The proposed bank site generally slopes from east to west and is tributary to the existing roadway drainage system along Shamrock Boulevard and Dublin-Granville Boulevard. The existing site drainage is conveyed via overland sheet flow to the roadway systems. The site grading has been designed to match the existing grades on the parcel and to limit the grading on the parcel. The site has been graded to direct the site storm water to decentralized bio-retention basins within the internal parking islands and perimeter green space. Site storm water management quality and quantity control will be provided with a combination of storage within the aforementioned landscape islands, surface, and pipe storage.

Owner: City of Dublin
Address: 6580 David Rd. Dublin, OH
43017
PID: 273-008309

Owner: Jindal Abha
Address: 4056 Dublin-Granville Rd.
Dublin, OH 43017
PID: 273-008305

Owner: Scott Donnabelle TR
Address: 4070 Dublin Granville Rd.
Dublin, OH 43017
PID: 273-008304

Owner: Stoneridge Medical Office,
LLC
Address: 4015-059 Dublin-Granville
Rd. Dublin, OH 43017
PID: 273-008296

Germain Lexus Service Center
Owner: Germain Real Estate Co. LLC
Address: 6500 Shamrock Blvd. Dublin,
OH 43017
PID: 273-0121184

Lowes
Owner: Lowes Home Centers Inc.
Address: 6592 David Rd. Dublin, OH
43017
PID: 273-008310

Owner: Sri Ratnaraj Jewelers, LLC
Address: Dublin Granville Rd. Dublin,
OH 43017
PID: 273-008306

Owner: Wendy's International Inc.
Address: 1 Dave Thomas Blvd. Dublin,
OH 43017
PID: 273-008805

Germain Lexus Service Center
Owner: Germain Real Estate Co. LLC
Address: 6629 Shamrock Blvd. Dublin,
OH 43017
PID: 273-008285

Owner: ManorCare Health Services,
LLC
Address: Stoneridge Lane Dublin, OH
43017
PID: 273-012383

Owner: The State Bank and Trust Co.
Address: W. Dublin-Granville Rd.
Dublin, OH 43017
PID: 273-008375



LOCATION MAP
No Scale

BENCHMARKS

VERTICAL DATUM
THE VERTICAL DATUM IS BASED ON THE ELEVATION ESTABLISHED BY THE FRANKLIN COUNTY ENGINEERING DEPARTMENT AT MONUMENT 145, BEING 826.994 FEET IN ELEVATION, AND AT MONUMENT FRANK73, BEING 801.706 FEET IN ELEVATION. THE SAID BENCHMARKS WITH ELEVATIONS THAT ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1985.

BM#9 ELEV.=878.18 (NAVD 88)
TOP NORTH BOLT OF FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF STATE ROUTE 161, THE FIRST HYDRANT EAST OF SHAMROCK BOULEVARD, APPROXIMATELY 110 FEET.

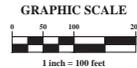
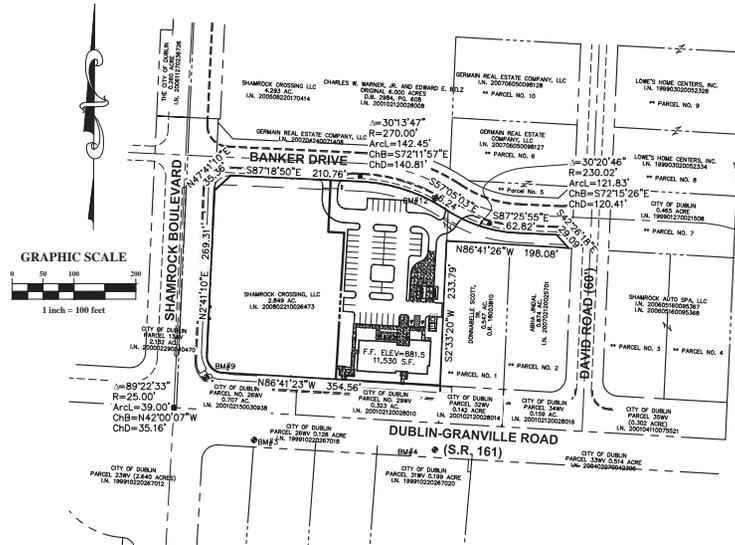
BM#4 ELEV.=862.33 (NAVD 88)
TOP NORTHEAST CORNER OF A CONCRETE BASE FOR A STREET LIGHT LOCATED ON THE SOUTH SIDE OF STATE ROUTE 161, THE SECOND STREET LIGHT EAST OF SHAMROCK BOULEVARD, APPROXIMATELY 400 FEET.

BM#9 ELEV.=874.48 (NAVD 88)
CHISELED SQUARE ON TOP OF THE NORTH CORNER OF A CONCRETE BASE FOR A TRAFFIC SIGNAL STANDARD LOCATED ON THE NORTHEAST CORNER OF THE INTERSECTION OF STATE ROUTE 161 AND SHAMROCK BOULEVARD.

BM#12 ELEV.=883.89 (NAVD 88)
CHISELED SQUARE ON THE SOUTHWEST CORNER OF A CONCRETE LIGHT POLE BASE LOCATED ON THE SOUTH SIDE OF BANKER DRIVE, BEING THE SECOND LIGHT POLE EAST OF THE INTERSECTION OF SHAMROCK BOULEVARD AND BANKER DRIVE.

NOTE: SURVEY WAS PROVIDED BY EMH&T

CITY OF DUBLIN, OHIO SITE IMPROVEMENT PLAN FOR STATE BANK - DUBLIN



INDEX MAP
SCALE: 1"=100'

STANDARD CONSTRUCTION DRAWINGS

CITY OF DUBLIN	CITY OF COLUMBUS	ODOT
MD-01	AA-S102	2-3 CB
ST-03	AA-S106	
	AA-S107	
	AA-S112	
	AA-S117	
	AA-S119	
	AA-S149	
	AA-S150	
	AA-S151	
	AA-S161	
	L-6309 A,B,E	
	L-6310	
	L-6311	
	L-6317 A-E	
	L-6637 A	
	L-6640	
	L-7001	
	L-7002	



OWNER

STATE BANK
108 S. HIGH STREET
DUBLIN, OHIO 43017
614-336-7779

PLANS PREPARED FOR

LINCOLN CONSTRUCTION
4700 SULLISTER RD
COLUMBUS, OHIO 43214
614-457-6015

PREPARED BY:



REGISTERED ENGINEER NUMBER DATE

INDEX OF DRAWINGS

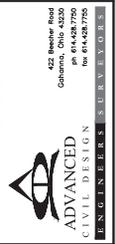
- 1 TITLE
- 2 GENERAL NOTES
- 3 GENERAL DETAILS
- 4 EXISTING CONDITIONS
- 5 SITE PLAN
- 6 UTILITY PLAN
- 7 GRADING PLAN
- 8 STORM PROFILES
- 9 EROSION CONTROL NOTES & DETAILS

CITY OF DUBLIN APPROVAL

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND THE GENERAL LOCATION OF THE PROJECT AND DOES NOT CONSTITUTE ASSURANCE TO OPERATE AS INTENDED. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL CIVIL ENGINEER PREPARING THE PLANS.

CITY ENGINEER, CITY OF DUBLIN, OHIO DATE

DIRECTOR OF LAND USE AND LONG RANGE PLANNING DATE
CITY OF DUBLIN, OHIO



PLAN PREPARED FOR:
STATE BANK - DUBLIN
SITE IMPROVEMENTS
FOR
LINCOLN CONSTRUCTION
TITLE

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

Issue Date:	
Drawn By:	Checked By:
Project Number:	
Drawing Number:	

Date: 05/16/2014
Scale: 1" = 100'
Drawn By: CAW Checked By: JMH
Project Number: 13-0006-132
Drawing Number: 1/9

Z:\13-0006-132-UMV\Production Drawings\DEVELOPMENT PLAN\COVER.dwg 2 - GENERAL NOTES - 11/06/2014 - 11:06:30am - Proseware

GENERAL NOTES

- 1. City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard Specifications) shall govern all construction items unless otherwise noted. If a conflict between specifications is found, the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of Columbus Item Numbers unless otherwise noted.
 - 2. The City Engineer will not be responsible for means, methods, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for follow by the Contractor to perform work according to contract documents.
 - 3. The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Ohio EPA. Permits to install (PIT) and Notices of Intent (NOI), Building Permits, etc.
 - 4. The Contractor shall notify the City of Dublin Division of Engineering in writing at least 3 working days prior to beginning construction.
 - 5. The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
 - 6. Following completion of construction of the site improvements and before releasing occupancy, a proof survey shall be provided to the Division of Engineering that documents "as-built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be completed, signed and submitted by the Professional Engineer who sealed the construction drawings.
 - 7. The Contractor shall restrict construction activity to public right-of-way and areas dedicated for temporary construction construction easements, unless otherwise authorized by the City Engineer.
 - 8. The Contractor shall carefully preserve landmarks, property corners, reference points, stakes and other survey reference monuments or permanent stakes of monuments. The Contractor shall be responsible for restorations. Resetting of markers shall be performed by an Ohio Professional Surveyor as approved by the City Engineer.
 - 9. Non-rubber tired vehicles shall not be moved on or across public streets or highways without the approval of the City Engineer.
 - 10. The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or culverts that are disturbed by construction shall be restored to the grades and cross-sections that existed before construction.
 - 11. Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited according to Section 97.35 of the Dublin Code of Ordinances. Any such occurrence shall be cleaned up immediately by the Contractor at no cost to the City. If the Contractor fails to remove mud, dirt, debris, or spillage, the City reserves the right to remove the debris and clean affected areas, the cost of which shall be the responsibility of the Contractor.
 - 12. Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) is not permitted.
 - 13. All signs, landscaping, structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.
 - 14. All field file broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the Contractor.
 - 15. All precast concrete products shall be inspected of the location of production. Approved precast concrete products will be stamped or how such identification noting that inspection has been conducted by the City of Columbus. Precast concrete products without proof of inspection shall not be approved for installation.
 - 16. Basins within a 1:1 influence line of existing structures (houses, garages, etc.) or public infrastructure (sewer, curb, sidewalks, bike paths, etc.) shall be compacted granular backfill according to Item 912 of the Standard Specifications or Flexible CIP, Type II according to Item 636, Item 911 of the Standard Specifications shall be used elsewhere.
 - 17. The Contractor shall submit a copy of the approved construction drawings and a list of proposed precast concrete product manufacturers to the City of Columbus Construction Inspection Division before commencing construction.
- Send the information to the following address:
- Construction Inspection Division
City of Columbus
1800 East 17th Avenue
Columbus, Ohio 43219
- Send a copy of the transmittal letter to the following address:
- Division of Engineering
City of Dublin
5600 Shier Rings Road
Dublin, Ohio 43016
- 18. All trenches within public right-of-way shall be backfilled according to the approved construction drawings or securely placed during paving operations. Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during paving operations. Clean up shall follow closely behind the trenching operation.
 - 19. All trees within the construction area not specifically designated for removal shall be preserved. All trees to be removed on the approved construction drawings: Trees to be preserved shall be protected with high visibility fencing placed a minimum 10 feet from the tree trunk. Trees 6 inches or greater at DBH (Diameter Breast Height) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater. Trees not indicated on the approved construction drawings for removal may not be removed without prior approval of the Division of Engineering.
 - 20. Delete
 - 21. Delete
 - 22. Delete
 - 23. Tree trimming within the construction zone is to be completed by a certified Arborist. At the completion of the project, the Arborist is to return and trim any remaining branches as needed.
 - 24. Any modification to the work shown on drawings must have prior written approval by the City Engineer, City of Dublin.
 - 25. All inlets shall be chemized.
 - 26. Park areas shall be fine-graded and seeded with the following mixture:
Improved Kentucky Bluegrass: 40% of weight (2 varieties in equal parts)
Improved Perennial Ryegrass: 60% of weight (2 varieties in equal parts)
Germination Rate: 85% Application Rate: 7 lbs per 1000 sq ft
Approved by the Division of Parks and Recreation, City of Dublin, Ohio.

- 27. Traffic control and other regulatory signs shall be Type S with a square post and/or base installation and meet all requirements of ODOT TC-41.20 and applicable City of Dublin specifications.
 - 28. Street signs shall meet all City of Dublin specifications with lettering color as listed and displayed on a brown background. Sign tubing shall be installed in accordance with ODOT TC-41.20, square post and/or base installation requirements of ODOT TC-41.20.
- UTILITIES
- 1. The following utilities are known to be located within the limits of this project:
GAS
COLUMBIA GAS OF OHIO, INC.
1600 DUBLIN ROAD
COLUMBUS, OHIO 43215
(614) 481-1000
 - ELECTRIC
AMERICAN ELECTRIC POWER
850 TECH CENTER DRIVE
GAINSBORO, OHIO 43230
(614) 883-6817
 - TELEPHONE
THE BARNER CABLE
1266 DUBLIN ROAD
COLUMBUS, OHIO 43215
(614) 481-5000
 - FRONTIER COMMUNICATIONS
(800) 982-8772
 - AT&T
111 N. 4TH STREET
DUBLIN, OHIO 43215
(614) 423-5780
 - CITY OF DUBLIN
8550 SHER-RINGS ROAD
DUBLIN, OHIO 43016
(614) 410-4750
 - SANITARY SEWER/WATER
CITY OF DUBLIN
8550 SHER-RINGS ROAD
DUBLIN, OHIO 43016
(614) 410-4750
 - CITY OF COLUMBUS
DIVISION OF POWER AND WATER
3368 RIDGEMAN AVENUE
COLUMBUS, OHIO 43214
(614) 645-7360
 - CITY OF COLUMBUS
DIVISION OF SEWERS AND DRAINS
1250 FARROW AVENUE
COLUMBUS, OHIO 43206
(614) 645-7102
- 2. The Contractor shall give notice of intent to construct to Ohio Utilities Protection Service (telephone number 800-362-2746). Producer's Underground Protection Service (telephone number 614-587-0486), and to owners of underground utilities that are not members of a registered underground protection service. Notice shall be given at least 2 working days before start of construction.
 - 3. The identify and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the owner of the underground utility. The City of Dublin and the City Engineer assume no responsibility for the accuracy or depths of underground facilities shown on the approved construction drawings. If damage is caused, the Contractor shall be responsible for repair of the same and for any resulting contingent damage.
 - 4. Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.
 - 5. When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.
 - 6. Public street lighting may be in the vicinity of this project. Contact the City of Dublin, Division of Engineering at 410-4637, two days prior to beginning work.
- TRAFFIC CONTROL
- 1. Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Ohio Manual of Uniform Traffic Control Devices (MUTCD), current edition.
 - 2. All traffic lanes of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the City Engineer. At all other hours the Contractor shall maintain minimum one-lane two-way traffic. Uniformed off-duty police officers shall replace flagmen designated by the MUTCD, and shall be present whenever one-lane, two-way traffic control is in effect. Police officers may be required as directed by the City Engineer.
 - 3. If the City Engineer determines that the Contractor is not providing proper provisions for traffic control, the City Engineer shall assign uniformed, off-duty police officers to the project at no cost to the City.
 - 4. Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
 - 5. Access from public roadways to all adjoining properties for existing residents or businesses shall be maintained throughout the duration of the project for mail, public water and sanitary sewer service, and emergency vehicles. The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details contained herein. The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.
- EROSION AND SEDIMENT CONTROL
- 1. The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Ohio EPA. The NOI must be submitted to ODEP 45 days prior to the start of construction and may require coverage under a National Pollution Discharge Elimination Act (NPDES) permit associated with construction activity. A project location map must be submitted with the NOI. A sediment and erosion control plan must be submitted to the City Engineer for approval. If a sediment and erosion control plan has not already been included with the approved construction drawings, this plan must be made available at the project site at all times. The design of erosion control systems shall follow the requirements of Ohio EPA, Item 207 of Ohio Department of Transportation Standard Specifications, and the City Engineer. An individual NPDES Stormwater Discharge Permit may be required. The Contractor shall be considered the permittee.
 - 2. The Contractor shall provide sediment control at all points where storm water runoff leaves the project, including waterways, overland sheet flow, and storm sewers.
 - 3. Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, all filter fences, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.

- 4. The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.
 - 5. Disturbed areas that will remain unworked for 30 days or more shall be seeded or protected with an erosion control mat of the manufacturer. Other sediment controls that are installed shall be maintained until vegetative growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before removal of permanent ground cover.
- BLASTING (If Permitted)
- 1. The Contractor must obtain a blasting permit from Washington Township Fire Department prior to blasting for rock excavation. The Contractor shall submit blasting reports upon completion of blasting to the City Engineer, the Owner, and the Owner's engineer. Top of rock elevations shall be shown on "as-built" construction drawings.
- SANITARY SEWERS
- 1. Connections to the sanitary sewer will be permitted upon receiving an ODEP Permit to install (PIT), and upon receiving a satisfactory letter from the design engineer stating that the project has been constructed as per the plans, and all of the conditions of the PIT have been met. The developer is responsible for obtaining all required Ohio EPA approvals and paying review fees.
 - 2. Sanitary sewer collection systems shall be constructed in accordance with the rules, regulations, standards and specifications of the City of Dublin, Ohio EPA, Ohio Department of Health and the current edition of the Great Lakes-Upper Mississippi River Board (Ten States) - Recommended Standards for Wastewater Facilities.
 - 3. The minimum requirements for sanitary sewer pipe with diameters 15 inches and smaller shall be reinforced concrete pipe ASTM C76 Class 3, 11 N, 11 C PVC sewer pipe ASTM A304, SDR 35 pipe 12 inches and larger shall be ductile iron pipe with a minimum wall thickness of 0.187 inches. All 12 inch and larger sewer lines shall be PVC pipe ASTM D3034, SDR 35. PVC pipe shall not be used at depths greater than 5 feet. Pipe materials and related structures shall be shop tested in accordance with City of Dublin sanitary manhole standard drawing. Manhole lids shall include City of Dublin logo.
 - 4. The minimum requirements for sanitary sewer pipes with diameters greater than 15 inches shall be reinforced concrete pipe ASTM C76 with 100 gals per inch of infiltration sewer diameter per 24 hours per mile. All 18 inch and larger, shall be either Kor-N-Seal or Kor-N-Seal connectors conforming to the manufacturer's recommendations.
 - 5. Granular backfill shall be compacted granular material according to Item 912 of the Standard Specifications or Controlled Density Backfill according to Item 636, Type III of the Standard Specifications as directed by the City Engineer.
 - 7. All manhole lids shall be provided with continuous self-sealing gaskets. The approved construction drawings shall show where bolt-down lids are required. Sanitary sewer manhole covers shall be provided or as approved by the City Engineer and conform to the City of Dublin sanitary manhole standard drawing. Manhole lids shall include City of Dublin logo.
 - 8. All PVC sewer pipes shall be deflection tested no less than 60 days after installation to ensure compliance with the requirements shall be according to Item 901.21 of the Standard Specifications.
 - 9. Temporary backhoes shall be placed in places at locations shown on the approved construction drawings and shall remain in place until the Permit to Install (PIT) has been issued by the ODEP and the sewers have been approved for use by the City Engineer. The cost of the furnishing, installing, maintaining, and removing backhoes shall be included in the contract unit bid price for the various sanitary sewer items.
 - 10. All sanitary sewers including sanitary sewer service lines shall be tested and passed by pressure or air tests according to Item 901 of the Standard Specifications and must be approved for use by the City Engineer before any service connections are tapped into sewers.
 - 11. For sanitary sewer infiltration, leakage through joints shall not exceed 100 gallons per inch of sanitary sewer diameter per 24 hours per mile, of length or the computed equivalent. All sanitary sewers shall be tested.
 - 12. At the determination of the City Engineer, the Contractor may be required to perform a TV inspection of the sanitary sewer system prior to final acceptance by the City. This work shall be completed by the Contractor at his expense.
 - 13. Visible leaks or other defects observed or discovered during TV inspection shall be reported to the satisfaction of the Engineer.
 - 14. Road drains, foundation drains, field tile or other clean water connections to the sanitary sewer system are strictly prohibited according to Section 91.23 of the Dublin Code of Ordinances.
 - 15. All water lines shall be located at least 10 feet horizontally and 18 inches vertically, from sanitary sewers and storm sewers, to the greatest extent practicable. Where sanitary sewers cross waterlines or other sewers or other utilities, trench backfill shall be placed between the pipe crossing and shall be compacted granular material according to Item 912 of the Standard Specifications. In the event that a water line must cross within 18 inches of a sanitary sewer, the sanitary sewer shall be concrete encased or consist of ductile iron pipe material.
 - 16. Service risers shall be installed where the depth from wyes to proposed ground elevation exceeds 10 feet. Tops of risers shall be no less than 8 feet below proposed ground level, if basement level is intended.
 - 17. Where service risers are not installed, a minimum 5-foot length of sanitary sewer shall be installed above the same area of the open piping area.
 - 18. The Contractor shall furnish and place, as directed, approved eye bolts on Class II or Class III pipe diameters 12 inches to 18 inches, extended services, or at the end of each riser where risers are required. Eye bolts shall be visible before acceptance by the City. The cost of these poles shall be included in the contract unit price for the various sanitary sewer items.
 - 19. Existing sanitary sewer flows shall be maintained at all times. Costs for pumping and bypassing shall be included in the Contractor's unit price.
 - 20. The Contractor shall furnish all material, equipment, and labor to make connections to existing manholes. The sewer pipe to manhole connection shall be installed with a 12 inch diameter flexible joint. All holes shall be neatly cored. The sewer pipe barrel at the springline shall be installed with the face of the manhole connection to maintain flexibility in the connection, a 1-inch gap shall be left between the end of the pipe inside the manhole and the concrete connection. The space between the pipe and the manhole shall be filled with a waterproof flexible joint filler. Any metal that is used shall be Type 300 Series Stainless Steel. The connection may be any of the following types:
A. Rubber sleeve with stainless steel banding.
B. 1) Kor-N-Seal as manufactured by National Pollution Control Systems, Inc.
2) Leak Joint Flexible Manhole Sleeve as manufactured by Intertape Corporation.

- 3) or equal as approved by the City Engineer.
 - B. Rubber gasket compression.
1) Press Wedge II as manufactured by Press-Seal Gasket Corporation.
2) Pure Seal III as manufactured by Dura Tech, Inc.
3) Link-Seal as manufactured by Thunderbird Corporation.
- The cost for this work along with a new channelized base for the manhole shall be included in the unit bid price for the related items of work.
- WATER LINE
- 1. All water line materials shall be provided and installed according to current specifications of the City of Columbus Division of Water.
 - 2. All public water pipe with a diameter 3 inches to 6 inches shall be Ductile Iron, Class 53. Public water pipe 12 inches in diameter or larger shall be Ductile Iron, Class 54. Public water pipe 20 inches in diameter or larger may be prestressed concrete pipe. Private water pipe shall meet the approval of the City of Columbus Division of Water prior to approval of the construction drawings.
 - 3. Only fire hydrants conforming to City of Columbus standards will be approved for use.
 - 4. Public water lines shall be disinfected by the City of Columbus Division of Water. Requests for water line disinfection shall be made through the City of Dublin Division of Engineering. The cost for disinfection shall be paid for by the Contractor.
 - 5. All water lines shall be disinfected according to Item 801.13 of the Standard Specifications. Special identification tags shall be applied to sections of American Water Works Association specification C-651. All water lines shall be disinfected in accordance with Item 801.13 of the Standard Specifications. When water lines are ready for disinfection, the City of Dublin shall submit two (2) sets of "as-built" plans, and a letter stating that the water lines have been pressure tested and are to be disinfected, to the City of Columbus, Division of Water. The Contractor shall be responsible for all costs associated with the disinfection of all water line construction per this plan. Pressure testing shall be performed in accordance with Section 801.12 of the City of Columbus Construction and Material Specifications.
 - 6. The Contractor shall point all fire hydrants according to City of Dublin standards. The cost of painting the hydrants shall be included in the contract unit price for fire hydrants.
 - 7. No water taps or service connections (e.g., to curb stops or meter pits) shall be issued until approved by the City of Columbus. Construction site area have been disinfectant by the City of Columbus Division of Water and have been accepted by the City Engineer. A tap permit for each water service must be obtained from the City of Dublin utility water and the City of Columbus Division of Water before making any taps into public water lines.
 - 8. The Contractor shall notify the City of Columbus Division of Water at 645-7788 and the City of Dublin Division of Engineering at least 24 hours before tapping into existing water lines.
 - 9. All water main stationing shall be based on street centerline stationing.
 - 10. All bends, joint deflections and fittings shall be backed with concrete per City of Columbus standards.
 - 11. The Contractor shall give written notice to all affected property owners at least 1 working day but not more than 3 working days prior to any temporary interruption of water service. Interruption of water service shall be minimized and must be approved by the City Engineer.
 - 12. Water meters shall be installed inside proposed structures unless a different location is approved by the City of Columbus Division of Water. Meter pits must conform to standard drawings L-7103, A&B for 1/2" through 1 1/2" meters or L-8317, A, B, C&D for 1-1/2" or larger meters.
 - 13. Water lines to be installed in embankment areas shall be placed under the embankment, has been placed and compacted according to the Standard Specifications.
 - 14. Curb stop boxes shall be located at least 1 foot inside the right-of-way and set at finished grade.
 - 15. If the top of the operating nut of any valve is greater than 36 inches above finished grade, an extension stem shall be furnished to bring the top of the operating nut to within 24 inches of finished grade elevation.
 - 16. All water lines shall be piped at a minimum depth of 4 feet measured from top of finished grade to top of water line. Water lines shall be set deeper at all points where necessary to clear obstructions or proposed utility lines or other underground restrictions by a minimum of 18 inches.
 - 17. Two 1-inch taps shall be installed within 2 feet of the end of the line on all dead-end water lines.
- STORM SEWER
- 1. All storm water detention and retention areas and major flood routing swales shall be constructed to finish grade and hydro-graded and hydro-mulched according to Items 203 and 650 of the Standard Specifications.
 - 2. Where private storm sewers connect to public storm sewers, the last 20 feet of private storm sewer connecting to the public storm sewer shall be Reinforced Concrete Pipe conforming to ASTM D2412, 12 inches to 18 inches in diameter, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
 - 3. Granular backfill shall be compacted granular material according to Item 912 of the Standard Specifications or Controlled Density Backfill according to Item 636, Type III of the Standard Specifications as directed by the City Engineer.
 - 4. All storm sewers shall be reinforced concrete pipe conforming to ASTM Designation C76, Wall B, Class II for pipe diameters 12 inches to 15 inches, Class II for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
 - 5. Headwalls and endwalls shall be required at all storm sewer inlets or channelized inlets and shall be constructed of concrete. All stone or/and brick approved by the City Engineer shall be provided on all visible storm sewer inlets and/or endwalls.
 - 6. Storm inlets or catch basins shall be channelized and have blycote safety grates. Manhole lids shall include City of Dublin logo and O&M No WASTE, DRAINS TO RIVER.
 - 7. Storm sewer outlets greater than 18 inches in diameter accessible from the management facilities at watercourses shall be provided with safety grates, as approved by the City Engineer.
- MAIL DELIVERY
- 1. The Contractor shall be responsible to ensure that US Mail delivery within the project limits is not disrupted by construction operations. This responsibility is limited to relocation of mailboxes to a temporary location that will allow the completion of the work and shall also include the restoration of mailboxes to their original location or approved new location. Any relocation of mailbox services must be first coordinated with the US Postal Service and the homeowner.

- 2. Before relocating any mailboxes, the Contractor shall contact the U.S. Postal Service and relocate mailboxes according to the requirements of the Postal Service.
- USE OF FIRE HYDRANTS
- 1. The Contractor shall make proper arrangements with the Dublin Fire Department and the Columbus Division of Water for the use of fire hydrants when used for work performed under this contract and provide the City of Dublin a copy of the Hydrant Usage Permit/obtained from the City of Columbus. The Contractor shall also send a copies of permits obtained from Dublin and Columbus to the Washington and/or Perry Township Fire Department. Permits shall be kept at reconstruction site at all times.
 - 2. Before the final estimate is paid, the Contractor shall submit a letter from the City of Columbus Division of Water to the City Engineer stating that the Contractor has paid all costs arising from the use of the fire hydrants.

PLAN PREPARED BY: PLAN PREPARED FOR:

DATE: 05/16/2014
Scale: N/A

DRAWN BY: CAW
CHECKED BY: JMH

PROJECT NUMBER:
13-0006-132

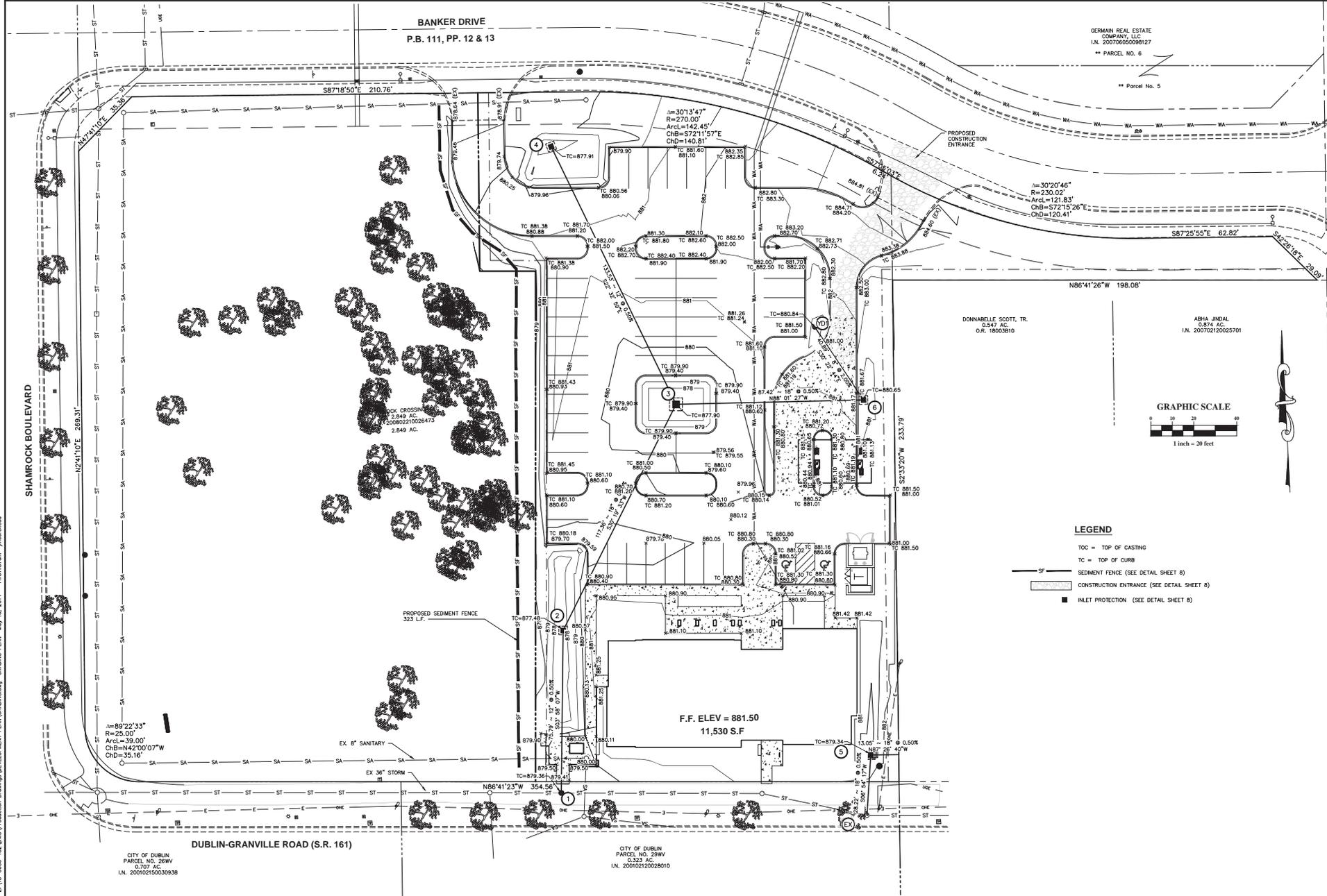
DRAWING NUMBER:
2/9

4522 Reber Road
Columbus, Ohio 43220
PH: 614-476-7700
FAX: 614-476-7700

ADVANCED
CIVIL DESIGN

STATE BANK - DUBLIN
SITE IMPROVEMENT
FOR
LINCOLN CONSTRUCTION
GENERAL NOTES

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- LEGEND**
- TOC = TOP OF CASTING
 - TC = TOP OF CURB
 - SEDIMENT FENCE (SEE DETAIL SHEET 8)
 - CONSTRUCTION ENTRANCE (SEE DETAIL SHEET 8)
 - INLET PROTECTION (SEE DETAIL SHEET 8)



PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
 432 Maple Road
 Columbus, Ohio 43230
 PH: 614-498-7700
 FAX: 614-498-7700
 WWW: ADVANCEDCIVILDESIGN.COM

PLAN PREPARED FOR:
 CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
STATE BANK - DUBLIN
SITE IMPROVEMENTS
 FOR
LINCOLN CONSTRUCTION
GRADING PLAN

Issue Dates:

Date:	05/16/2014
Scale:	1" = 20'
Drawn By:	CAW
Checked By:	JMH
Project Number:	13-0006-132
Drawing Number:	719

CITY OF DUBLIN
 PARCEL NO. 261W
 0.707 AC.
 I.N. 200102150030938

CITY OF DUBLIN
 PARCEL NO. 291W
 0.333 AC.
 I.N. 200102120028010

DONABELLE SCOTT, TR.
 0.547 AC.
 O.R. 18005810

ABHA JINDAL
 0.874 AC.
 I.N. 200702120025701

BANKER DRIVE
 P.B. 111, PP. 12 & 13

DUBLIN-GRANVILLE ROAD (S.R. 161)

F.F. ELEV = 881.50
11,530 S.F.

PROPOSED SEDIMENT FENCE
 323 L.F.

EX. 6" SANITARY

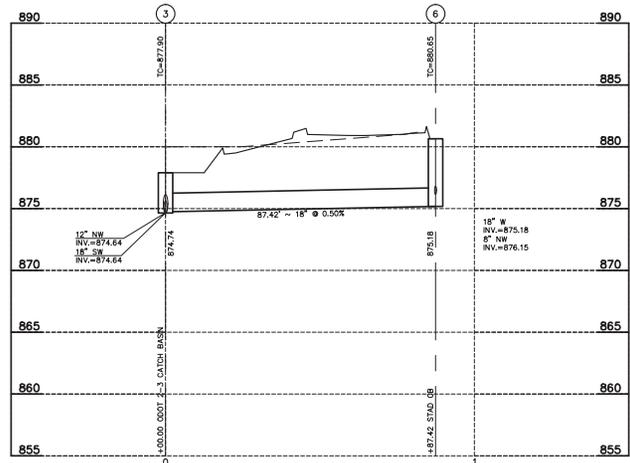
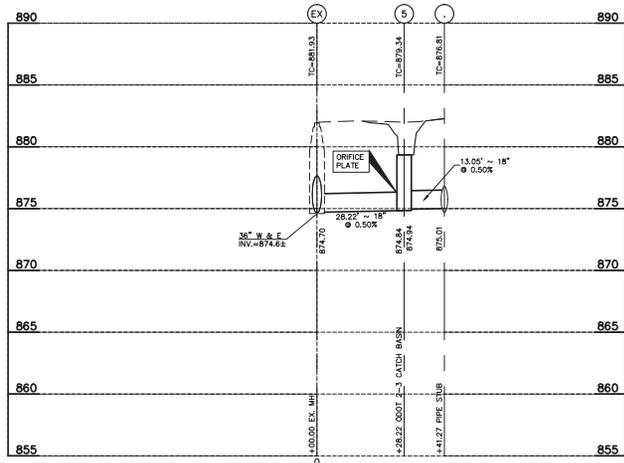
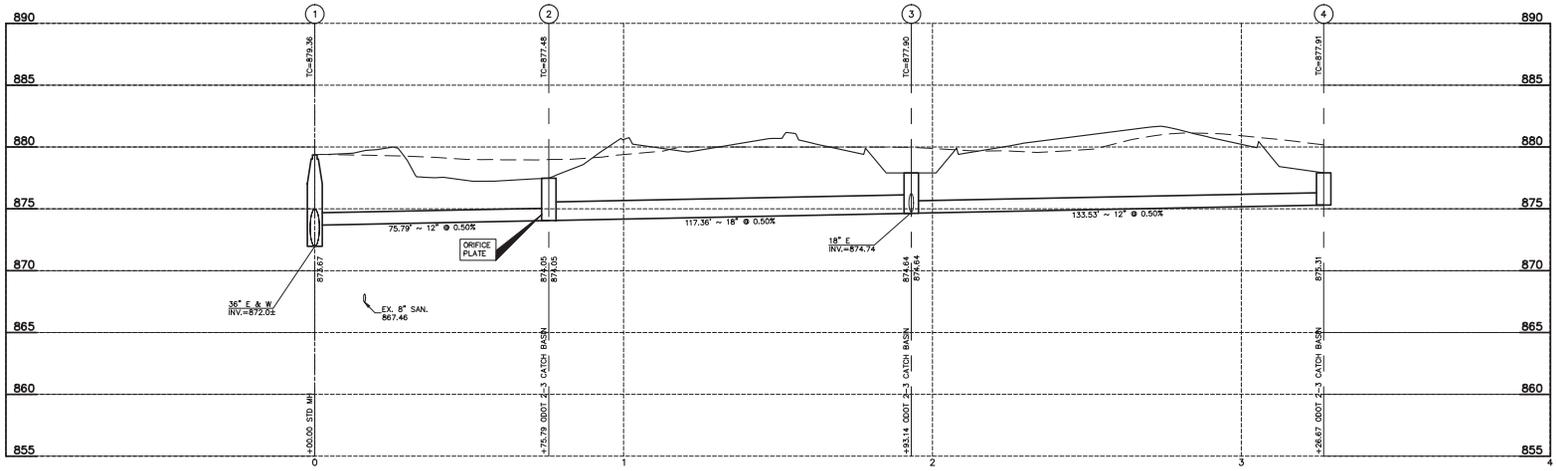
EX. 36" STORM

PROPOSED
 CONSTRUCTION
 ENTRANCE

GERMAN REAL ESTATE
 COMPANY, LLC
 I.N. 200706050098127
 ** PARCEL NO. 6

** PARCEL NO. 5

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PLAN PREPARED FOR:
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
STATE BANK - DUBLIN
SITE IMPROVEMENTS
FOR
LINCOLN CONSTRUCTION
STORM PROFILES

Issue Date:	
Date:	05/16/2014
Scale:	1" = 20'
Drawn By:	CAW
Checked By:	JMH
Project Number:	13-0006-132
Drawing Number:	

EROSION AND SEDIMENT CONTROL NARRATIVE

PLAN ENGINEERS: ADVANCED CIVIL DESIGN, INC. 422 BECHER ROAD GANAMAHA, OH 43020 PH (614) 428-7750 FAX (614) 428-7755 CONTACT: TOM WARNER EMAIL: TWARNER@ADVANCEDCIVILDISEGN.COM

PROPERTY OWNER: STATE BANK 109 S. HIGH STREET DUBLIN, OH 43017

EXISTING SITE DESCRIPTION: THE SITE IS A WOODED AREA OVERALL SITE AREA: 2.849 ACRES DISTURBED ACREAGE: +/- 1.269 ACRES

EXISTING SITE DRAINAGE CONDITION: THE EXISTING SITE DRAINS VIA OVERLAND SHEET FLOW TO THE WEST INTO ROADWAY DRAINAGE SYSTEM CURB INLETS & EVENTUALLY TRIBUTARY TO THE SCIOTO RIVER VIA THE PUBLIC STORM SYSTEM.

ADJACENT AREAS: THE SITE IS BOUNDED BY BANKER DRIVE TO THE NORTH, W. DUBLIN GRANVILLE ROAD TO THE SOUTH, AN EXISTING RESIDENTIAL PARCEL EAST & SHAMROCK BOULEVARD TO THE WEST

CRITICAL AREAS: N/A

EROSION & SEDIMENT CONTROL MEASURES: EROSION AND SEDIMENT RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE AND INLET PROTECTION. INLET PROTECTION AT ALL EXISTING INLETS SHALL BE PLACED AS A PART OF THE SITE MASS EXCAVATION.

MAINTENANCE: MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED WITH THIS PLAN.

CONSTRUCTION SEQUENCE: (EROSION & SED. CONTROL)

GENERAL EROSION AND SEDIMENT CONTROL NOTES

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENIED AREAS WITHIN SEVEN DAYS AFTER FINAL PROPOSED GRADE IS REACHED ON ANY PORTION OF THE SITE. ALL DENIED AREAS SHALL BE CONSTRUCTED TO FINAL PROPOSED GRADE AS QUICKLY AS POSSIBLE AND SHOULD NOT BE LEFT DORMANT UNLESS SITE CONDITIONS DO NOT ALLOW FINAL GRADING TO BE COMPLETED. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENIED AREAS WHERE GRADING MAY NOT BE COMPLETED, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SHEET FLOW RUNOFF FROM DENIED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS WHICH ARE NOT TRIBUTARY TO A SEDIMENT BASIN OR DAM.

THE LIMITS OF SEEDING AND MULCHING WILL EXTEND OVER THE PROJECT AREA IN ACCORDANCE WITH THE LEVEL OF DISTURBANCE ASSOCIATED WITH THE ACTUAL CONSTRUCTION SEQUENCE. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL GRASS COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDDED AT THE CONTRACTOR'S EXPENSE.

TEMPORARY SEEDING		PERMANENT SEEDING	
Area requiring temporary stabilization	Time frame to apply erosion controls	Area requiring Permanent stabilization	Time frame to apply erosion controls
Any disturbance areas within 50 feet of a surface water of the State and not of final grade	Within two days of the most recent disturbance if the area will remain idle for more than 31 days	Any area that will be dormant for one year or more	Within seven days of the most recent disturbance
For all construction activities, any disturbed areas that will be dormant for more than 21 days but less than one year, and not within 50 feet of a surface water of the State	Within seven days of the most recent disturbance within the area	Any areas within 50 feet of a surface water of the State and at final grade	Within two days of reaching final grade
Disturbed areas that will be idle over winter	Prior to the onset of winter weather	Any other areas at final grade	Within seven days of reaching final grade within that area

DESCRIPTION	DATES	RECOMMENDED APPLICATION RATE (OR EQUIVALENT) AS SPECIFIED IN NARRATIVE & LANE DEVELOPMENT
PERMANENT SEEDING	MARCH 1-SEPT 30	GENERAL USE MIX OF - PERENNIAL RYEGRASS @ 20-40 LB/AC DOMESTIC RYEGRASS @ 10-20 LB/AC - HYDRIC BLUEGRASS @ 10-20 LB/AC
		STEEP BANKS TALL FESCUE @ 40 LB/AC
ROAD DITCHES		
TEMPORARY SEEDING	MARCH 1-SEPT 30	MIX OF - PERENNIAL RYEGRASS @ 40 LB/AC TALL FESCUE @ 40 LB/AC ANNUAL RYEGRASS @ 40 LB/AC
DORMANT SEEDING	OCT 1-NOV 20	PREPARE SEEDBED, ADD LIME & FERTILIZER, THEN MULCH FROM NOV. 21 THROUGH MARCH 15. APPLY THE SELECTED SEED MIXTURE AT A 50% INCREASE IN RATE.
		NOV 20-MARCH 15
MULCH	ANY TIME OF YEAR	STRAW 2 TONS/AC OR 80 LB/1000SF
		HYDROSEED (WOOD CELLULOSE FIBER) 1 TON/AC OR 46 LB/1000SF

MAINTENANCE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL FEATURES USED ON THIS PROJECT. THE SITE SHALL BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREATER THAN 0.5" PER 24 HOURS PERIOD. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

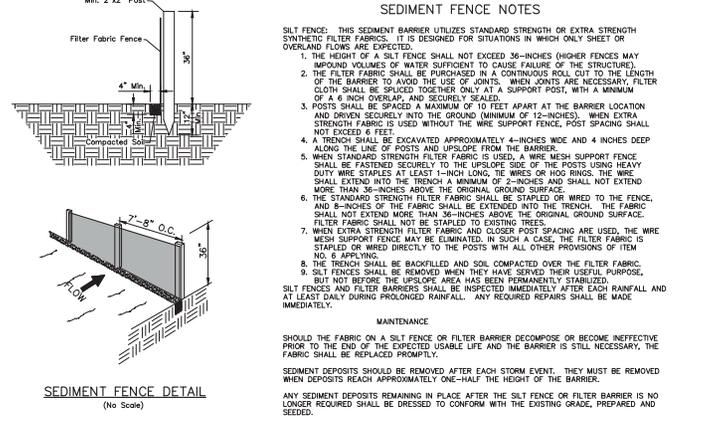
SCHEDULE: THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE CONSTRUCTION MANAGER. SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE PLACED IN ACCORDANCE WITH THIS SCHEDULE.

CONTRACTOR RESPONSIBILITY

DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS". THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ACCURATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

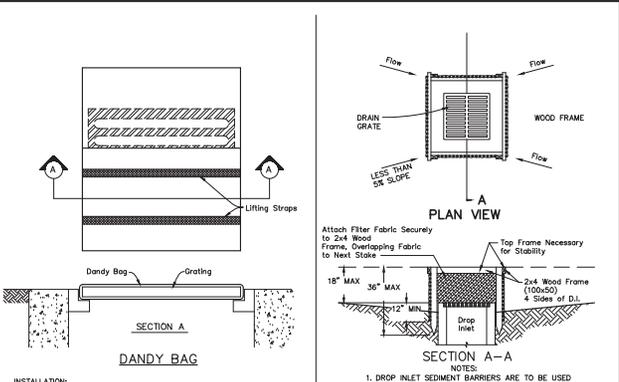
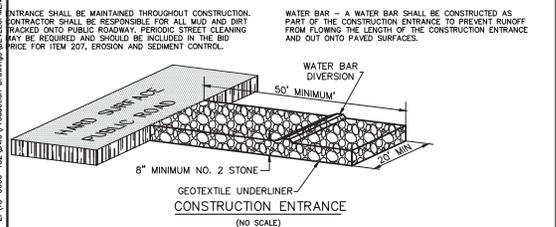
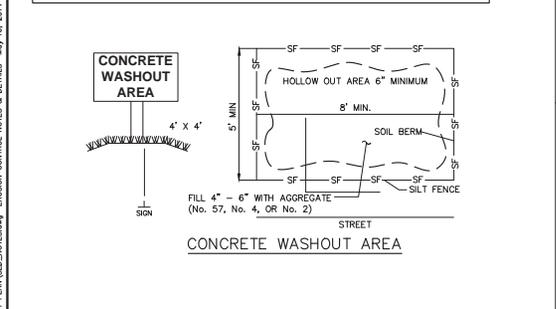
THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE OWNER. THE SCHEDULE SHOULD INCLUDE A SEQUENCE OF THE PLACEMENT OF THE SEDIMENTATION AND EROSION CONTROL MEASURES THAT PROVIDES FOR CONTINUAL PROTECTION OF THE SITE THROUGHOUT THE EARTH MOVING ACTIVITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT OFF-SITE TRACKING OF SEDIMENTS BY VEHICLES AND EQUIPMENT IS MINIMIZED. ALL SUCH OFF-SITE SEDIMENT SHALL BE CLEANED UP DAILY.



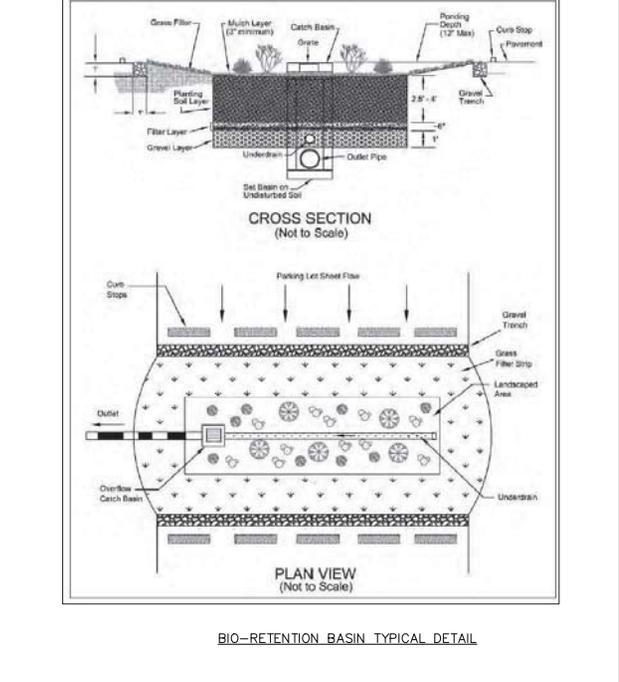
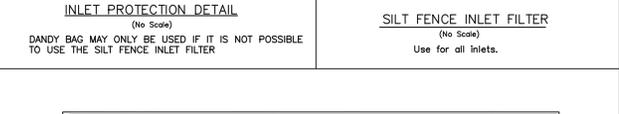
- OBTAIN PROPER CITY OF DUBLIN, COUNTY, STATE, AND FEDERAL PERMITS.
- PRIOR TO CONSTRUCTION THE OWNER/OPERATOR SHALL COORDINATE WITH ALL CONTRACTORS AND THE CITY OF DUBLIN ENGINEER AS REQUIRED.
- THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2764 FORTY-EIGHT (48) HOURS IN ADVANCE OF ANTICIPATED START OF CONSTRUCTION, AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR LINES.
- ESTABLISH THE TEMPORARY CONSTRUCTION ENTRANCE INTO THE SITE PER DETAIL ON THIS SHEET.
- THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCE AROUND ALL PROTECTION AREAS (PRESERVED TREES) PRIOR TO COMMENCEMENT OF WORK.
- CLEAR NECESSARY VEGETATION FOR THE INSTALLATION OF THE PERMETER SEDIMENT FENCE.
- WHILE PERFORMING SITE GRADING ACTIVITIES, DISTURBED AREAS SHALL BE SEEDDED WITHIN 7 DAYS OF CONSTRUCTION. DRAINAGE SHALL BE DIRECTED TO A FILTERING FACILITY AT ALL TIMES DURING CONSTRUCTION. TOPSOIL SHALL BE STOCKPILED FOR LATER RE-SPREAD OR HAULLED OFFSITE.
- AS EACH AREA IS DISTURBED AND MOUNDING TAKES PLACE IN ORDER TO PROVIDE COMPACTATION AND PLACEMENT OF FILL ACROSS THE SITE, EROSION CONTROL MEASURES SHALL BE USED. STOCKPILES SHALL BE SURROUNDED BY SEDIMENT FENCE AND TEMPORARY SEEDING APPLIED.
- SEED AND MULCH THE SITE ACCORDING TO THE TEMPORARY AND PERMANENT SEEDING REQUIREMENTS TO REESTABLISH ALL DENIED AREAS.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR SEEDDED/MULCHED. AFTER REMOVAL OF THE EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL INLETS AND STORM SEWER PIPES OF ALL SEDIMENT INCURRED DURING CONSTRUCTION.

CONTRACTOR RESPONSIBILITY: DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS". THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ACCURATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.



INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. ROLL GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE: WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL REMOVE SILT & OTHER DEBRIS OFF SURFACE AFTER EACH EVENT.



422 Becher Road
Ganama, Ohio 43020
PH: 614-428-7750
FAX: 614-428-7755
WWW.ADVANCEDCIVILDISEGN.COM

ADVANCED CIVIL DESIGN

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

STATE BANK - DUBLIN

FOR

LINCOLN CONSTRUCTION

EROSION CONTROL NOTES & DETAILS

Date: 05/16/2014
Scale: N/A

Drawn By: CAW Checked By: JMH

Project Number: 13-0006-132

Drawing Number: 9/9

PRELIMINARY PLAT

STATE BANK - DUBLIN

SHAMROCK BOULEVARD AND DUBLIN-GRANVILLE ROAD (S.R.161)

QUARTER TOWNSHIP 3, TOWNSHIP 2, RANGE 19
 UNITED STATES MILITARY DISTRICT
 CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO



LOCATION MAP
 No Scale

BENCHMARKS

BASED ON NAVD 1988 DATUM.

VERTICAL DATUM

The vertical datum is based on the elevation established by the Franklin County Engineering Department at monument N45, being 626.994 feet in elevation, and at monument FRANK2, being 801.706 feet in elevation. The said benchmark with elevations that are based on the North American Vertical Datum of 1988.

BM#1 ELEV.=876.19 (NAVD 88)
 Top northwest corner of a concrete base for a street light located on the south side of State Route 161, the west right-of-way east of Shamrock Boulevard, approximately 110 feet.

BM#4 ELEV.=882.33 (NAVD 88)
 Top northeast corner of a concrete base for a street light located on the south side of State Route 161, the second street right-of-way east of Shamrock Boulevard, approximately 400 feet.

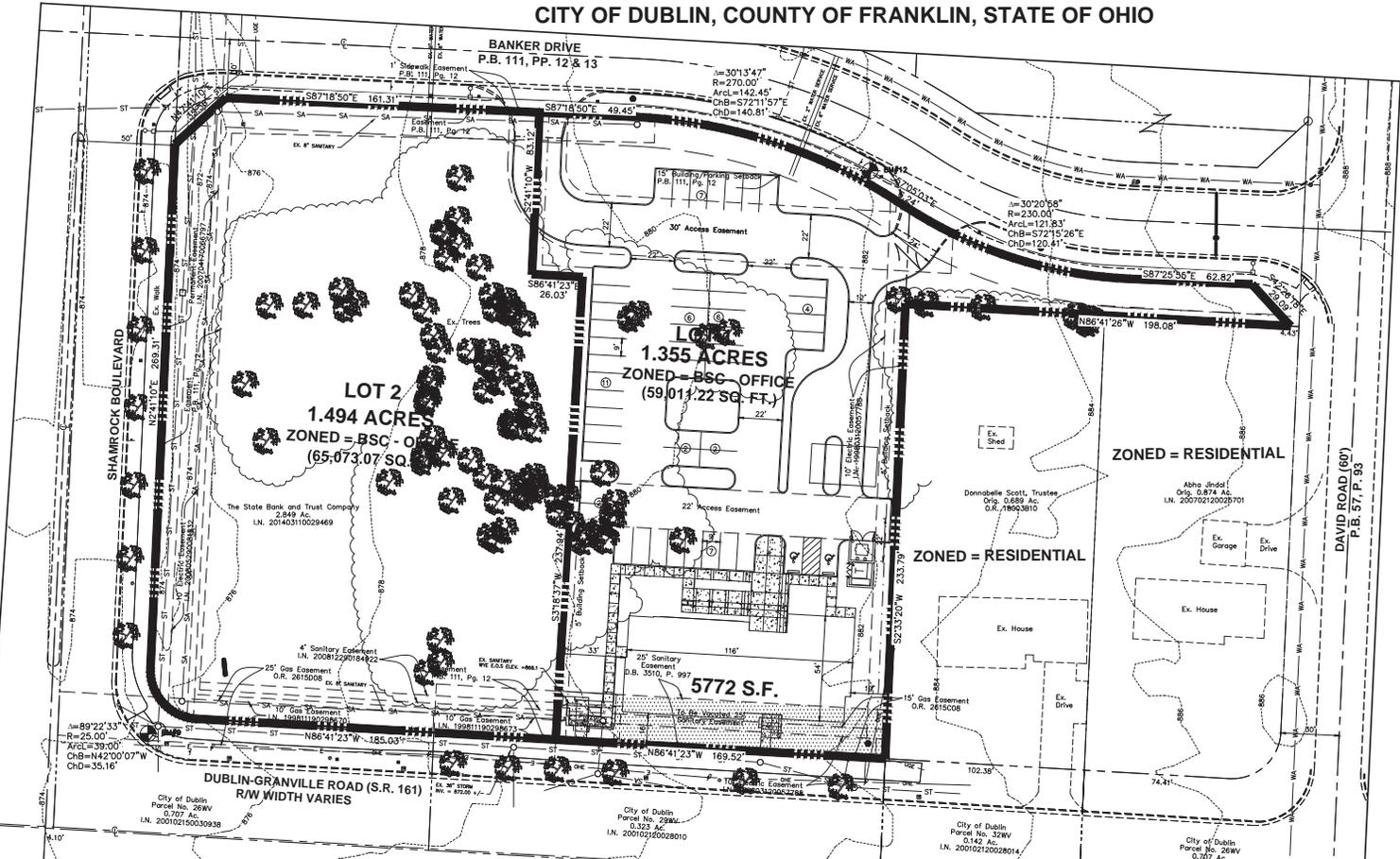
BM#5 ELEV.=874.48 (NAVD 88)
 Chained square on the top of the north corner of a concrete base for a traffic signal standard located on the northeast corner of the intersection of State Route 161 and Shamrock Boulevard.

BM#11 ELEV.=883.89 (NAVD 88)
 Chained square on the southwest corner of a concrete light pole located on the south side of State Route 161, the second street right-of-way east of the intersection of Shamrock Boulevard and Banker Drive.

- | | |
|---|--|
| <p>SM#1 SANITARY MANHOLE 1/0-880.07
(W) 8" PVC INV.-870.94</p> <p>SM#2 SANITARY MANHOLE 1/0-873.92
(E) 8" PVC INV.-869.92
(S) 8" PVC INV.-869.91</p> <p>SM#3 SANITARY MANHOLE 1/0-875.07
(N) 8" PVC INV.-868.40
(E) 8" PVC INV.-868.29</p> <p>SM#4 SANITARY MANHOLE 1/0-879.44
(E) 8" PVC INV.-867.15
(N) 8" PVC INV.-867.25</p> <p>SM#5 SANITARY MANHOLE 1/0-879.47
(S) 8" PVC INV.-867.31
(W) 8" PVC INV.-867.41</p> <p>SM#1 CURB & GUTTER INLET 1/0-861.95
(NE) 12" CONC. INV.-876.58</p> <p>SM#2 CURB & GUTTER INLET 1/0-874.04
(SW) 12" CONC. INV.-866.54</p> <p>SM#3 GRATED STORM MANHOLE 1/0-873.40
(NE) 12" CONC. INV.-866.12
(S) 36" CONC. INV.-866.11
(E) 36" CONC. INV.-867.67</p> <p>SM#4 CATCH BASIN 1/0-872.69
(N) 36" CONC. INV.-866.51
(E) 36" CONC. INV.-865.49</p> | <p>SM#6 STORM MANHOLE 1/0-874.09
CENTRELINE INV.-867.27
FULL OF WATER AND DEBRIS</p> <p>SM#7 STORM MANHOLE 1/0-874.20
CENTRELINE INV.-865.25
FULL OF BRUSH AND DEBRIS</p> <p>SM#8 GRATED STORM MANHOLE 1/0-874.48
(N) 36" CONC. INV.-864.38
(E) 36" CONC. INV.-863.75
(S) 36" CONC. INV.-864.18
(W) 36" CONC. INV.-863.07
(NW) 12" CONC. INV.-867.60</p> <p>SM#9 CURB & GUTTER INLET 1/0-873.31
(SE) 12" CONC. INV.-868.34
(W) 36" CONC. INV.-871.31
(S) 36" CONC. INV.-871.44
(E) 36" CONC. INV.-872.98</p> <p>SM#10 CURB & GUTTER INLET 1/0-878.67
(N) 36" CONC. INV.-873.26
(S) 15" CONC. INV.-873.33</p> <p>SM#11 GRATED STORM MANHOLE 1/0-873.40
(NE) 12" CONC. INV.-866.12
(S) 36" CONC. INV.-866.11
(E) 36" CONC. INV.-867.67</p> <p>SM#12 GRATED STORM MANHOLE 1/0-873.74
(N) 36" CONC. INV.-874.60
(E) 36" CONC. INV.-874.67</p> <p>SM#13 CURB & GUTTER INLET 1/0-873.26
(E) 1" PVC INV.-867.96</p> |
|---|--|

MISCELLANEOUS NOTES

- Existing contours shown are based on Franklin County Aerials Information.
- MINIMUM SETBACKS:** Setback regulations for State Bank Dublin Plat, Lots 1 & 2, in effect at the time of platting of State Bank Dublin Plat, Lots 1 & 2 specify the following dimensions for the minimum front, side and rear yard setbacks for each lot:
- Front: As shown
 Side: As shown
 Rear: As shown
- Said zoning regulations and any amendments thereto passed subsequent to acceptance of this plat, should be interpreted to determine the then current requirements. This notice is solely for the purpose of notifying the public of the existence, at the time of platting, of certain zoning regulations applicable to this property. This notice shall not be interpreted as creating plat or subdivision restrictions, access use restrictions, covenants running with the land or site encumbrances of any kind.
- FEMA ZONE:** As the time of platting, The State Bank Dublin Plat is in Zone X (Areas determined to be outside 500-year floodplain). Zone "X" (Areas of 500-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 100-year floods) per FEMA Flood Insurance Rate Map for Franklin County, Ohio and Incorporated Areas, Map Number 300450191K with effective date of June 1, 2006. No field surveying was performed to determine flood zones.
- PLAZA EASEMENT** is an easement hereby reserved for the purpose of constructing and maintaining a plaza area and shall be maintained by the owner of land therein platting.
- SANITARY EASEMENT LOCATION:** use of the 22' Sanitary Sewer Easement as described in Deed Book 3516, Page 997 shall be retained for the purpose of constructing the proposed building and shall only be vacated in an area where no sanitary manhole or catch basin exists. Accession thereto shall be retained by the land or site encumbrances of any kind.
- ACCESS EASEMENT:** is a 22' easement hereby reserved for the purpose of allowing access to the property between the parcels to the east and the west.
- GRANITE DRIVE ACCESS:** is a 30' easement hereby reserved for the purpose of allowing access to the property from Banker Drive. No other access shall be permitted with the exception of the 22' access drive to the easement as shown herein.



LEGEND

-----	EXISTING CONTOUR
=====	PROJECT LIMITS
-----SA-----SA-----	EXISTING SANITARY
-----ST-----ST-----	EXISTING WATER
-----ST-----ST-----	EXISTING STORM SEWER
X TC 795.20	TOP OF CURB ELEVATION
X 795.20	TOP OF PAVEMENT OR GROUND SURFACE

NOTE: UTILITY PROVIDERS:
 WATER: CITY OF DUBLIN
 SANITARY: CITY OF DUBLIN
 STORM: PRIVATE
 ELECTRIC: AEP
 GAS: COLUMBIA GAS OF OHIO
 TELEPHONE: AT&T OHIO

SITE STATISTICS

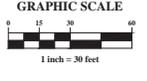
TOTAL ACREAGE: 2.849 Ac.
 ZONING: BSC - Office

SUMMARY TABLE		
AREA	ACREAGE	SF
LOT 1	1.355	65,073
LOT 2	1.494	65,011
TOTAL	2.849	124,084

SURVIVOR
 ADVANCED CIVIL DESIGN, INC.
 422 BEESCHER ROAD
 GAHANNA, OH 43230
 PHONE: (614) 426-7750
 FAX: (614) 426-7755
 CONTACT: MR. THOMAS WARNER

DEVELOPER
 LINCOLN CONSTRUCTION
 4790 Shuster Road
 COLUMBUS, OH 43214
 PHONE: (614) 457-6015
 CONTACT: MR. ROSS SANFORD

OWNER
 STATE BANK
 109 S. High Street
 DUBLIN, OH 43017
 PHONE: (614) 336-7779
 CONTACT: MR. DAVID HOMELLE



PLAN PREPARED BY:
 ADVANCED CIVIL DESIGN
 422 BEESCHER ROAD
 GAHANNA, OHIO 43230
 PHONE: (614) 426-7750
 FAX: (614) 426-7755

FRANKLIN COUNTY, OHIO
 STATE BANK - DUBLIN
 PRELIMINARY PLAT
 FOR
 LINCOLN CONSTRUCTION
 VICTINITY MAP

Date: 05/16/2014
 Scale: 1" = 50'

Drawn By: BKJ
 Checked By: JCD

Project Number:
 13-0006-132

Drawing Number:
 1/1

STATE BANK DUBLIN PLAT

LOTS 1 & 2

FINAL PLAT

Situated in State of Ohio, County of Franklin, City of Dublin, Quarter Township 3, Township 2, Range 19, United States Military Lands, containing 2,849 acres of land more or less, said 2,849 acres being all of that tract of land as conveyed to The State Bank and Trust Company of record in Instrument Number 201403110029469 in the Recorder's Office, Franklin County, Ohio.

The undersigned, The State Bank and Trust Company, being the owner of the land platted herein, duly authorized in the premises, does hereby certify that this plat correctly represents its "STATE BANK DUBLIN PLAT", a subdivision containing Lot 1 and Lot 2 and does hereby accept this plat of the same.

The undersigned further agrees that any use or improvements on this land shall be in conformity with all existing valid zoning, planning, health or other lawful rules and regulations, including applicable off street parking and loading requirements of the City of Dublin, Ohio, for the benefit of itself and all other subsequent owners or assigns taking title from, under or through the undersigned.



LOCATION MAP
No Scale

SURVEY DATA:

BASIS OF BEARINGS: Bearings are based on the Ohio State Plane Coordinate System South Zone, NAD83. CORRECT. A bearing of N89°41'23"W was held for the south line of that 2,849 acre tract recorded in Instrument Number 201403110029469.

SOURCE OF DATA: The sources of recorded survey data are the records of the Franklin County, Ohio, Recorder, referenced in the plan and text of this plat.

IRON PINS, where indicated, are to be set and are iron pins, thirteen-sixteenths inch inside diameter, thirty inches long with a plastic cap placed in the top bearing the inscription "ADVANCED". These markers shall be set following the completion of the construction/installation of the street pavement and utilities.

PERMANENT MARKERS, where indicated, are to be set and are one-inch diameter, thirty-inch long, solid iron pins, with the top end flush with the surface of the ground and then capped with an aluminum cap stamped "ADVANCED". Once installed, the top of the cap shall be marked (punched) to record the actual location of the pin. These markers shall be set following the completion of the construction/installation of the street pavement and utilities.

We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- Iron Pin Set
- Permanent Marker
- PK Nail Set
- Iron Pin Found
- PK Nail Found
- Monument Found

By _____ Date _____
Registered Surveyor

Approved this ____ day of _____, 2014
By the Planning and Zoning Commission

Chairman, Planning and Zoning
Commission, Dublin, Ohio

Approved this ____ day of _____, 2014

City Engineer, Dublin, Ohio

Approved and Accepted this ____ day of _____, 2014
by Resolution No. _____, wherein the lots, as
indicated hereon, and the easements as granted hereon
are accepted as such by the Council of the City of Dublin,
Ohio

Clerk of Council, Dublin, Ohio

Transferred this ____ day of _____,
2014

Auditor, Franklin County, Ohio

Deputy Auditor, Franklin County, Ohio

Filed for record this ____ day of _____,
2014 at _____, OH

Recorder, Franklin County, Ohio

Fee \$ _____ File No. _____

Recorded this ____ day of _____, 2014

Deputy Recorder, Franklin County, Ohio

Plat Book _____ Page(s) _____

In witness whereof, David Homolle, President, The State Bank and Trust Company set his hand this ____ day of _____, 2014, for and on behalf of said Company.

THE STATE BANK AND TRUST COMPANY

By: _____
David Homolle, President

STATE OF OHIO
COUNTY OF FRANKLIN, SS:

The foregoing Instrument was acknowledged before me this ____ day of _____, 2014 by David Homolle, President of The State Bank and Trust Company, for and on behalf of said company.

Notary Public, State of Ohio

My Commission expires _____

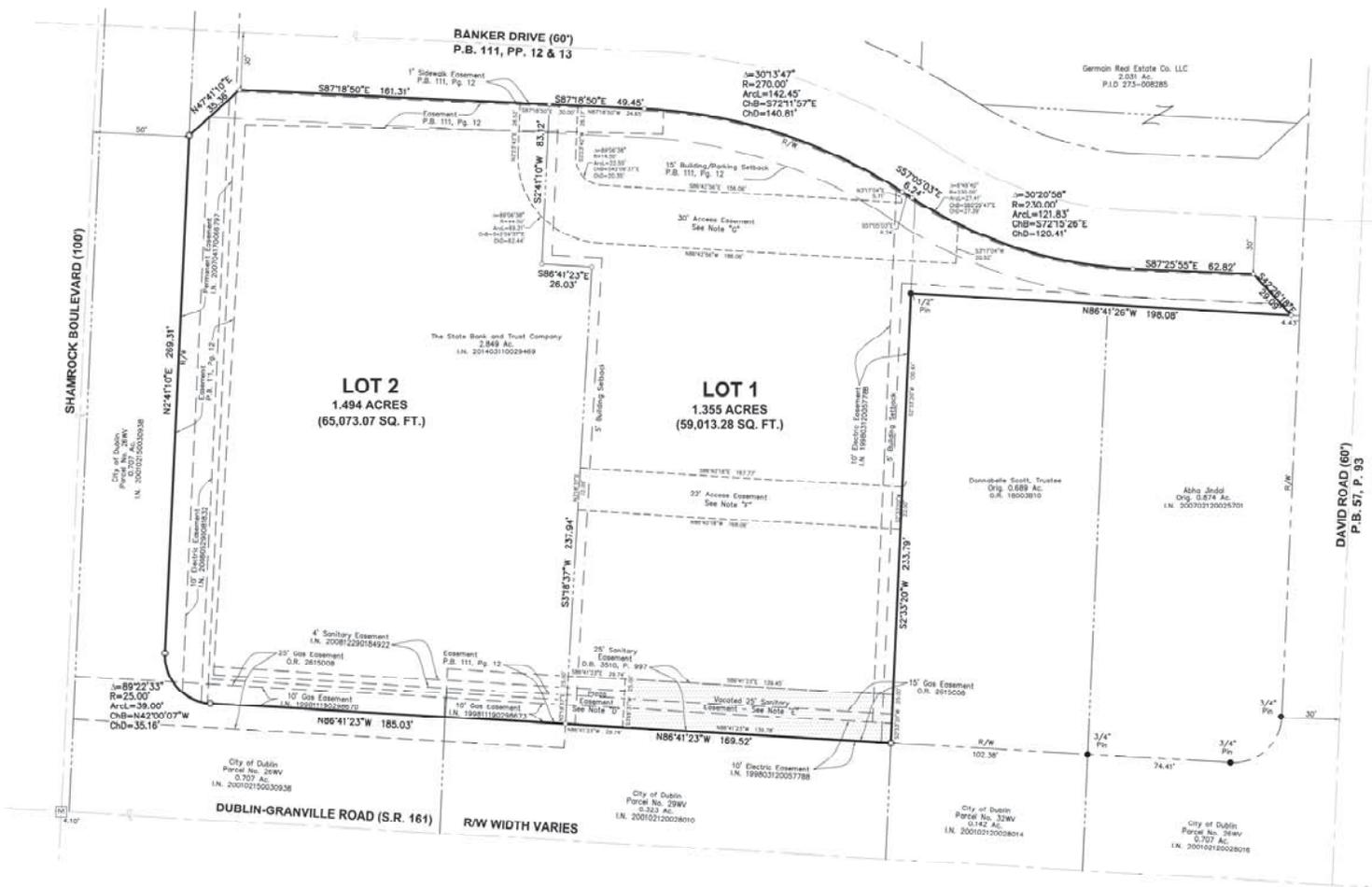
Z:\13-0006-123\SURVEY\0006-132-99.dwg Plotted: 1 May 16, 2014 10:07:09am shorner

**ADVANCED
CIVIL DESIGN**
ENGINEERS SURVEYORS

422 Becher Road
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

STATE BANK DUBLIN PLAT

LOTS 1 & 2 FINAL PLAT



NOTE "A" - MINIMUM SETBACKS: Zoning regulations for State Bank Dublin Plat, Lots 1 & 2, in effect at the time of platting of State Bank Dublin Plat, Lots 1 & 2 specify the following dimensions for the minimum front, side and rear yard setbacks for each lot:

Front: As shown
Side: As shown
Rear: As shown

Said zoning regulations and any amendments thereto passed subsequent to easements of this plat, should be reviewed to determine the then current requirements. This notice is solely for the purpose of notifying the public of the existence, at the time of platting, of certain zoning regulations applicable to this property. This notice shall not be interpreted as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or title encumbrances of any nature, and is for informational purposes only.

NOTE "B" - FEMA ZONE: At the time of platting, The State Bank Dublin Plat is in Zone X (Areas determined to be outside 500-year floodplain). Zone "X" (Areas of 500-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 100-year flood) per FEMA Flood Insurance Rate Map for Franklin County, Ohio and Incorporated Areas, Map Number 2246020151K with effective date of June 17, 2005. No field surveying was performed to determine these zones.

NOTE "C" - SCHOOL DISTRICT: At the time of platting, all of the State Bank Dublin Plat is in the Dublin City School District.

NOTE "D" - PLAZA EASEMENT: The public access easement is dedicated to the City of Dublin and grants a non-exclusive right and easement for the purpose of providing reasonable pedestrian access, ingress, egress and passage to the general public over and upon the area depicted in the plat. The City may provide facilities open to the general public in the area depicted in the plat.

NOTE "E" - SANITARY EASEMENT VACATION - part of the 25' Sanitary Sewer Easement as described in Deed Book 3910, Page 997 shall be vacated for the purpose of constructing the proposed building and shall only be vacated in an area where no sanitary mainline exists. Said vacated area is shown hatched hereon and will be vacated by the recording of this plat.

NOTE "F" - ACCESS EASEMENT is a 22' easement hereby reserved for the purpose of allowing access to the property to/from the parcel to the east and the west.

NOTE "G" - BANKER DRIVE ACCESS is a 30' easement hereby reserved for the purpose of allowing access to the property from Banker Drive. No other access shall be permitted with the exception of the 22' access drive to the southwest as shown hereon.

SUMMARY TABLE		
AREA	ACREAGE	SF
LOT 1	1.355	65,073
LOT 2	1.494	59,011
TOTAL	2.849	124,084

