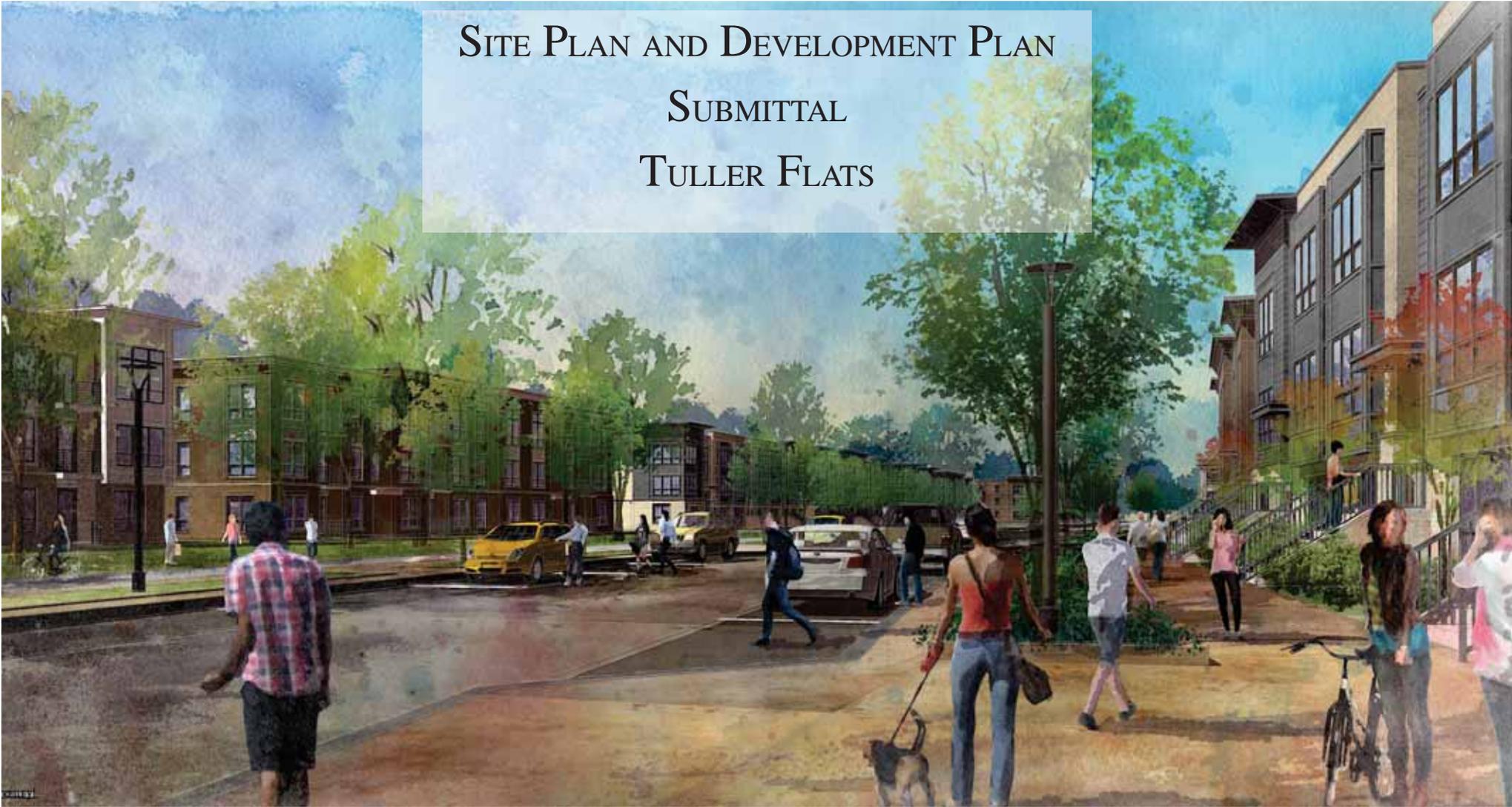


SITE PLAN AND DEVELOPMENT PLAN
SUBMITTAL
TULLER FLATS



FEBRUARY 12, 2015
Revised: March 2, 2015

EMHT
Engineer, Land Planner,
Landscape Architect

CASTO
Applicant


SULLIVAN BRUCK
ARCHITECTS
Architect



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MARK	DATE	DESCRIPTION
	04/20/15	



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
TULLER FLATS
 SITE LOCATION MAP AND DRAWING INDEX



DATE	February 12, 2015
SCALE	Full Size: 1" = 500' Half Size: 1" = 1000'
JOB NO.	2013-1546
SHEET	

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GRAPHIC SCALE



Full Size 1 inch = 20 feet
Half Size 1 inch = 40 feet



REVISION

NO. DATE DESCRIPTION

CAS TO

CITY OF BERKSHIRE COUNTY, OHIO
DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
ILLUSTRATIVE COLOR SITE PLAN

EMHT
ENGINEERING, ARCHITECTURE & LANDSCAPE ARCHITECTURE
10000 WOODBURN AVENUE, SUITE 100
COLUMBUS, OHIO 43240
(614) 266-1100
www.emht.com

0119
February 11, 2015

W 1/2
Full Size: 1" = 40'
Half Size: 1" = 80'

010 001
2013.030

0001
DP-2

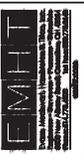
C:\2013\1546\1546.dwg (Access) (Plot) Development: Plan\20131546 - Existing Conditions.dwg Last Saved By: ahng 2/17/2015 10:57 AM Last Printed By: kmg, Semm, 3/7/2015 12:59 PM (No



MARKET	DATE	DESCRIPTION

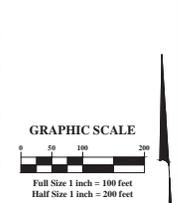
CASIO

**CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
TULLER FLATS
DEVELOPMENT PLAN/SITE PLAN
EXISTING CONDITIONS**



LEGEND

	Ex Building To Be Removed
	Ex Gravel Drive To Be Removed
	Ex Concrete Approach To Be Removed
	Ex Trees
	Ex Street Light To Be Removed
	Ex Power Pole To Be Removed
	Ex Fire Hydrant To Be Removed
	Ex OVID Electric To Be Removed



DATE
February 12, 2015

SCALE
Full Size: 1" = 100'
Half Size: 1" = 200'

JOB NO.
2013-1546

SHEET
DP-3

SITE DATA	
Total Site Area	±20.44 Acres
Public Right of Way	±2.55 Acres
John Shields Parkway	±0.27 Acres
Graham Street	±2.67 Acres
Weston, Deardorff, McCune	
Public Access Easement	±1.84 Acres
Village Square	±1.67 Acres
John Shields Greenway	
Net Developable Land	±11.44 Acres
Residential Units	420 Units
Community Clubhouse	1
Maintenance Building	1
Gross Density	±20.5 DU/Acre
Net Developable Density	±36.7 DU/Acre
Parking Required	
Buildings A-B Unit-TH Garden	30
1.5 spcs/2 bedroom	
Buildings B&C-12 Unit-TH Garden	150
1.5 spcs/2 bedroom	
Building D&E-20 Unit-Garden	113
1.5 spcs/2 bedroom	
Buildings E&C-21 Unit-Garden	141
1.5 spcs/2 bedroom	
Building H&I-10 Unit-Garden	50
1 spc/1 bedroom	
Total Parking Required	484
Handicap Parking Required	11
Parking Provided	
Garage-Building A	24
Garage-Buildings B&C	120
Garage-Buildings D&E	60
Garage-Buildings E&C	54
Garage-Buildings H&I	30
Total Garage Parking (Private)	288
Surface Off-Street Parking	164
Additional On-Street Parking (Public)	54
Handicap Parking Provided (Included in Total)	11
Total Parking Provided	506
Bicycle Parking Required	
1 spc/2 Units	210
Bicycle Parking Provided	
Garages On-Site	162
Open Space Required	±1.9 Acres
200 sq/acre (400)	±4.000 of
Open Space Provided	±3.51 Acres
Village Square North	±1.84 Acres
John Shields Greenway	±1.67 Acres

LEGEND	
	Streets by City of Dublin
	HC Accessible Building
	No Parking Sign (**see Note Below)

NOTES:

Open space provided shall only be applicable to this phase of development.

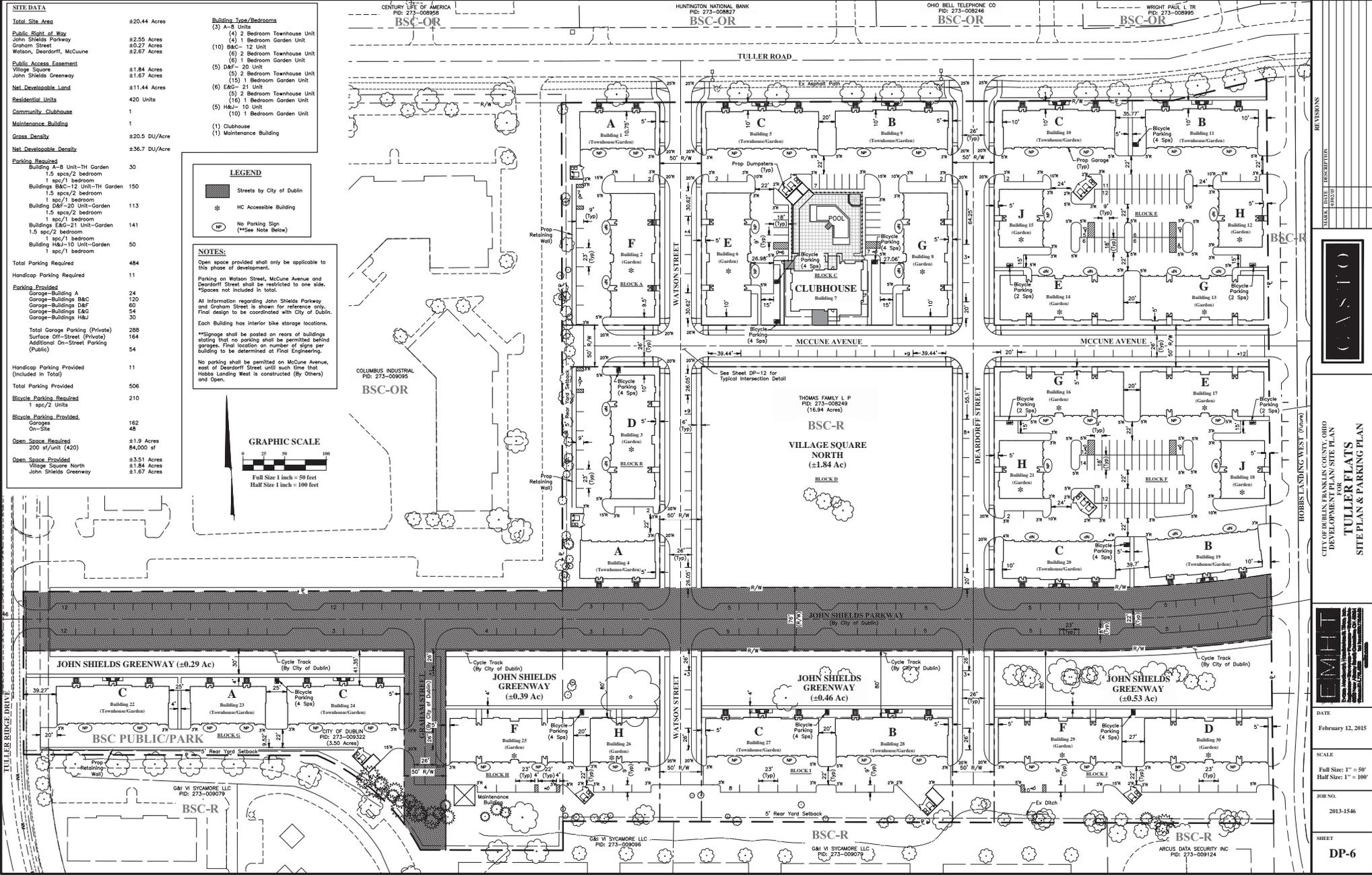
Parking on Watson Street, McCune Avenue and Deardorff Street shall be restricted to one side. *Spaces not included in total.

All information regarding John Shields Parkway and Graham Street is shown for reference only. Final design to be coordinated with City of Dublin.

Each Building has interior bike storage locations.

**Signage shall be posted on rear of buildings stating that no parking shall be permitted behind garages. Final location on number of signs per building to be determined at Final Engineering.

No parking shall be permitted on McCune Avenue, east of Deardorff Street until such time that Hobbs Landing West is constructed (By Others) and Open.



20131546.dwg/04 sheets/04 Development Plan/011346.dwg - Site Dimension Posing List - Sheet By: stimp, 3/7/2015 10:10 AM Last Printed By: King, 3/7/2015 12:30 PM

HOBB'S LANDING WEST (Phase 1)
 CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
 SITE PLAN & PARKING PLAN

DATE: February 12, 2015

SCALE:
 Full Size: 1" = 50'
 Half Size: 1" = 100'

JOB NO.: 2013-1546

SHEET: DP-6

GRAPHIC SCALE



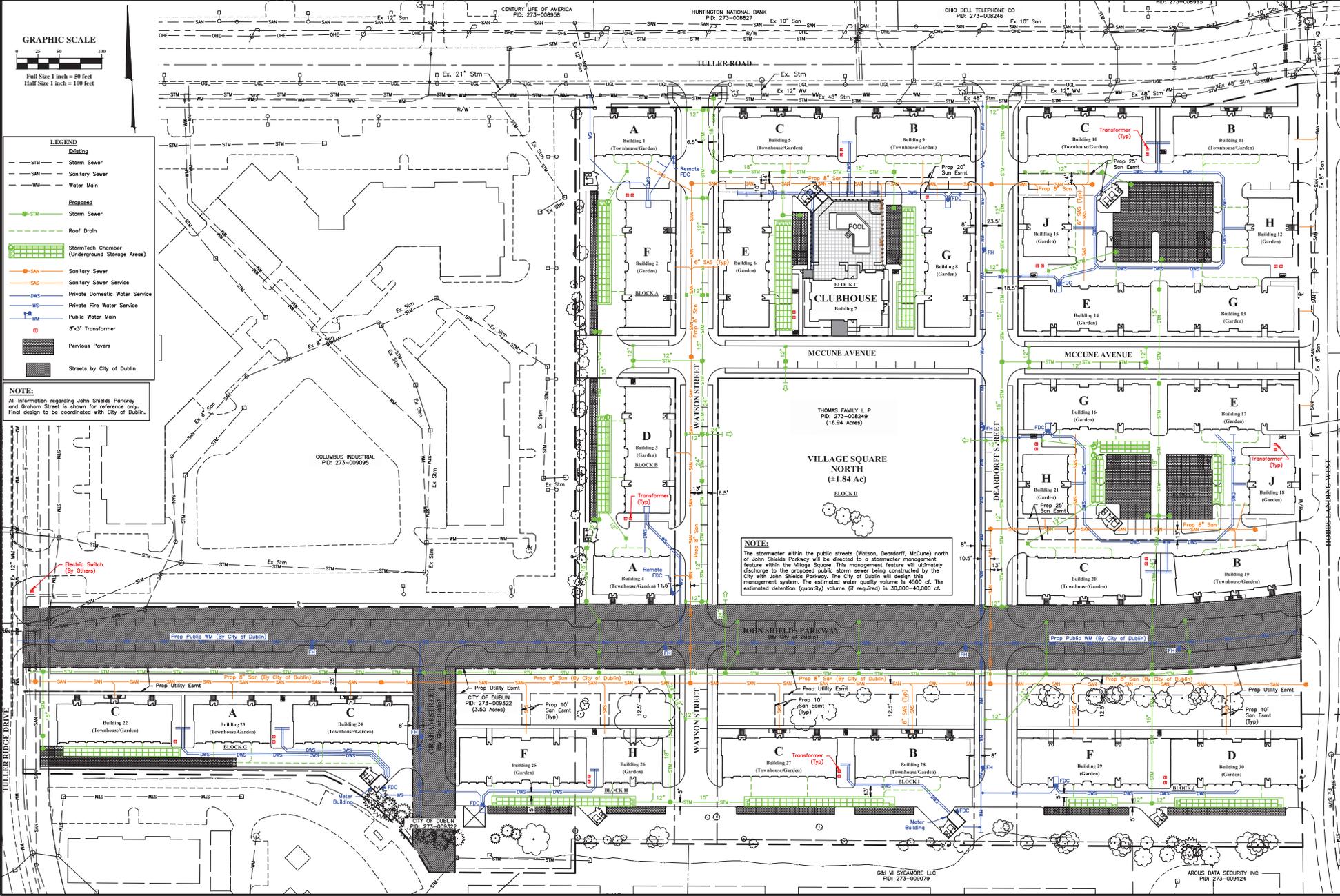
Full Size 1 inch = 50 feet
Half Size 1 inch = 100 feet

LEGEND

Existing

- STM --- Storm Sewer
- SAN --- Sanitary Sewer
- WM --- Water Main
- Proposed --- Storm Sewer
- Roof Drain ---
- StormTech Chamber (Underground Storage Areas)
- SAN --- Sanitary Sewer
- SAS --- Sanitary Sewer Service
- DWS --- Private Domestic Water Service
- PWS --- Private Fire Water Service
- PWS --- Public Water Main
- 3'x3' Transformer
- Pervious Pavers
- Streets by City of Dublin

NOTE:
All information regarding John Shields Parkway and Graham Street is shown for reference only. Final design to be coordinated with City of Dublin.



NOTE:
The stormwater within the public streets (Watson, Deardorff, McCune) north of John Shields Parkway will be directed to a stormwater management feature within the Village Square. This management feature will ultimately discharge to the proposed public storm sewer being constructed by the City with John Shields Parkway. The City of Dublin will design this management system. The estimated water quality volume is 4500 cf. The estimated detention (quantity) volume (if required) is 30,000-40,000 cf.

MARKET DATE	DESCRIPTION
10/02/15	REV. 15/01



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN / SITE PLAN
TULLER FLATS
SITE UTILITY PLAN



DATE: February 12, 2015
SCALE: Full Size: 1" = 50'
Half Size: 1" = 100'
JOB NO.: 2013-1546
SHEET: DP-7

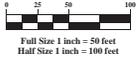
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G&I VI SYCAMORE LLC
PID: 273-09079

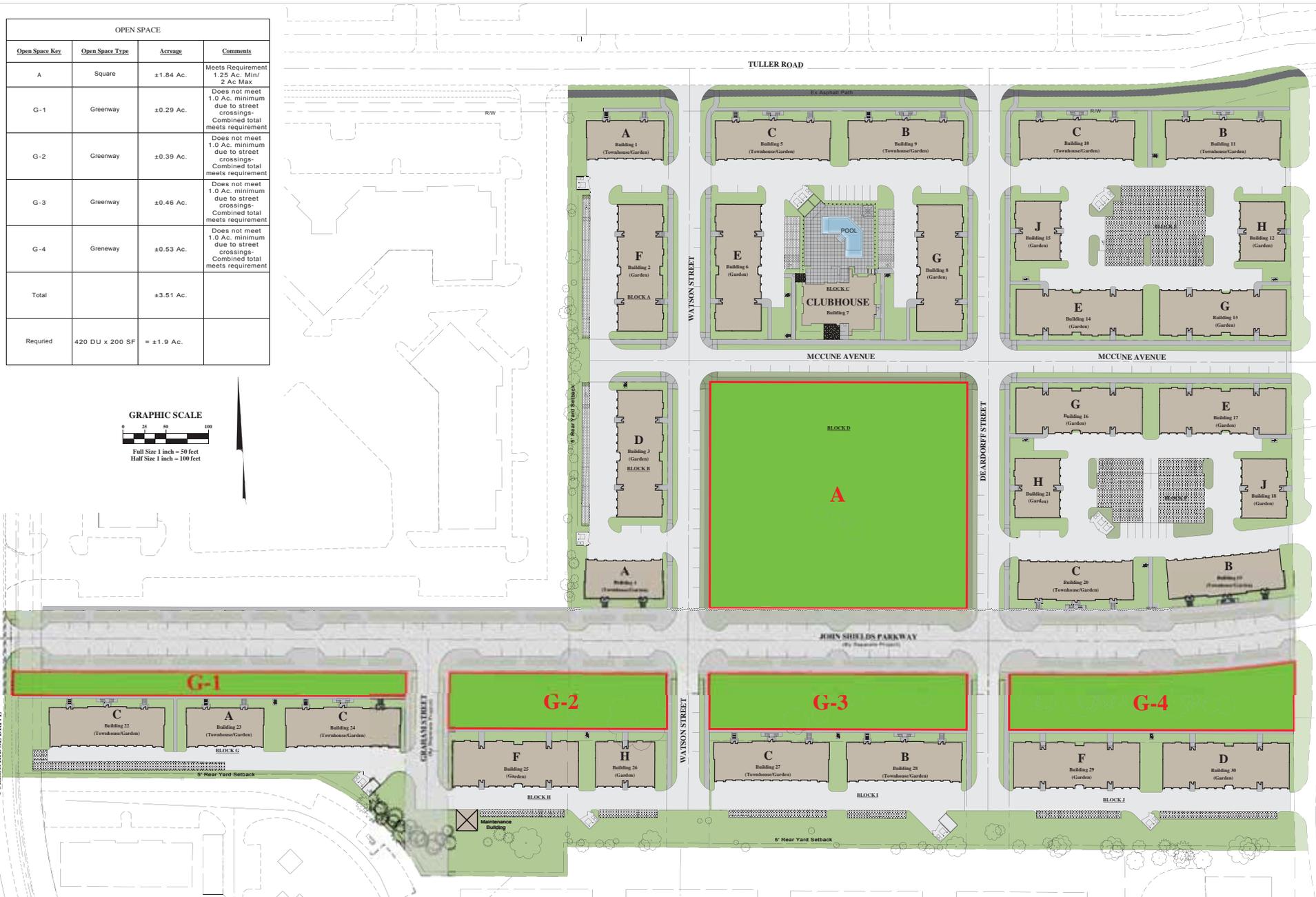
ARCUS DATA SECURITY INC
PID: 273-009124

OPEN SPACE			
Open Space Key	Open Space Type	Acreage	Comments
A	Square	±1.84 Ac.	Meets Requirement 1.25 Ac. Min/ 2 Ac. Max
G-1	Greenway	±0.29 Ac.	Does not meet 1.0 Ac. minimum due to street crossings- Combined total meets requirement
G-2	Greenway	±0.39 Ac.	Does not meet 1.0 Ac. minimum due to street crossings- Combined total meets requirement
G-3	Greenway	±0.46 Ac.	Does not meet 1.0 Ac. minimum due to street crossings- Combined total meets requirement
G-4	Greenway	±0.53 Ac.	Does not meet 1.0 Ac. minimum due to street crossings- Combined total meets requirement
Total		±3.51 Ac.	
Required	420 DU x 200 SF	= ±1.9 Ac.	

GRAPHIC SCALE



TULLER RIDGE DRIVE



REVISIONS	DATE	DESCRIPTION



CITY OF PULPIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
OPEN SPACE PLAN



DATE
February 12, 2015

SCALE
Full Size: 1" = 50'
Half Size: 1" = 100'

JOB NO.
2013-1546

SHEET
DP-10

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BLOCK KEY				
BLOCK	BLOCK TYPE	MAX BLOCK LENGTH	BLOCK PERIMETER	COMMENTS
A	Modified "T"	±265	±770	Partial block- To be completed with adjacent parcel development
B	Modified "T"	±265	±770	Partial block- To be completed with adjacent parcel development
C	Mid Block Access	±300	±1132	Meets Requirements
D	Village Green North	±300	±1130	No Block Access Required
E	Mid Block Access	±330	±1222	Meets Requirements
F	Mid Block Access	±335	±1180	Meets Requirements
G	Mid Block Access	±500	±1290	Partial block- To be completed with adjacent parcel development
H	Mid Block Access	±260	±995	Partial block- To be completed with adjacent parcel development
I	Mid Block Access	±300	±1010	Partial block- To be completed with adjacent parcel development
J	Mid Block Access	±335	±1100	Partial block- To be completed with adjacent parcel development

PERCENT BUILDING COVERAGE ON PRINCIPAL STREETS		
BLOCK	John Shields Parkway	Tuller Road
A	N/A	79%
B	79%	N/A
C	N/A	90%
E	N/A	82%
F	81%	N/A
G	79%	N/A
H	83%	N/A
I	91%	N/A
J	88%	N/A

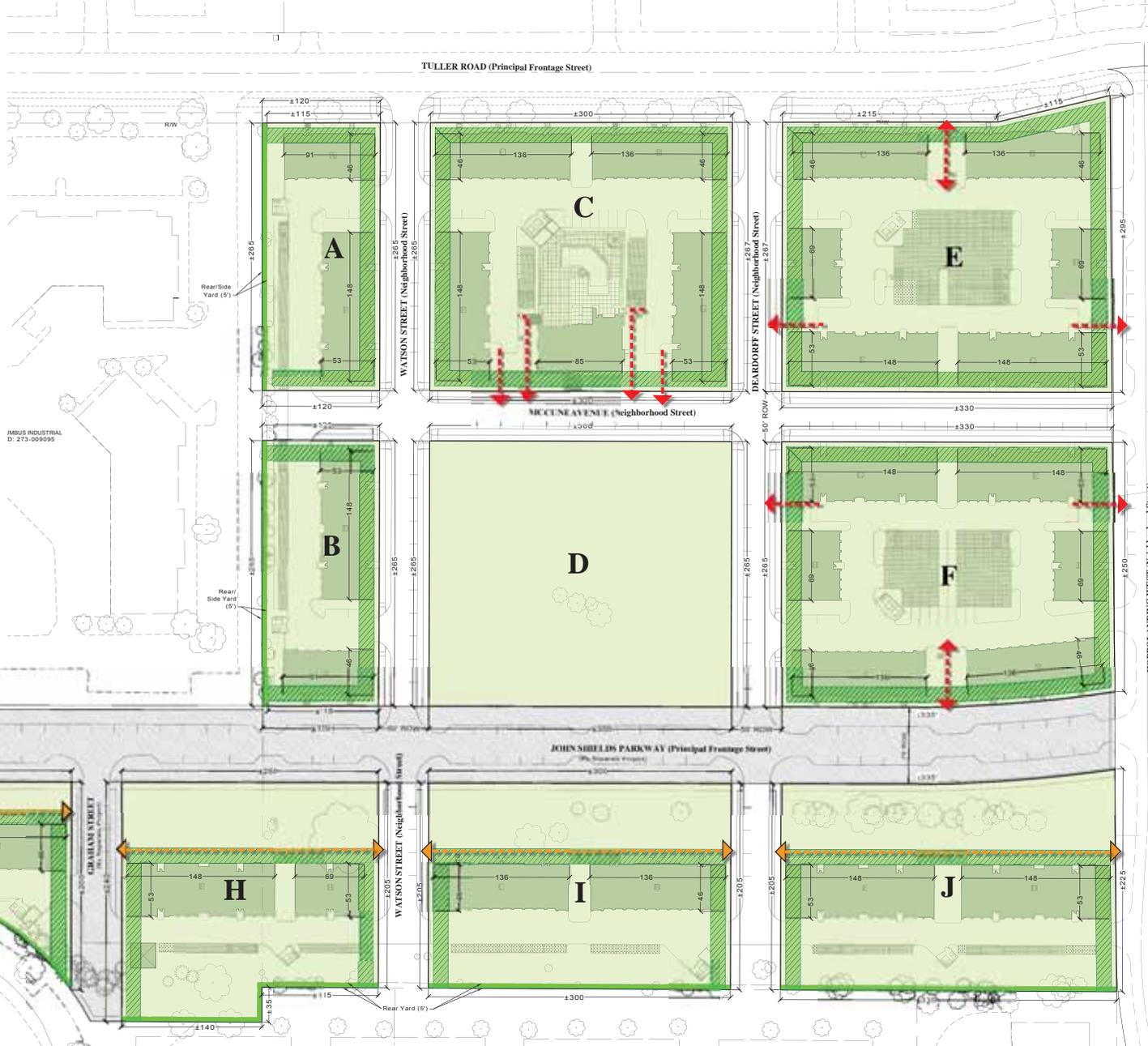
PERCENT IMPERVIOUS COVERAGE		
BLOCK	Impervious Total % (Max 70%)	Pervious Pavement % (Max 20%)
A	67%	5%
B	66%	5%
C	54%	3%
E	69%	12%
F	70%	9%
G	47%	4%
H	36%	3%
I	39%	3%
J	39%	3%

KEY

- RBZ = 5'-20'
- Mid Block Pedestrian Way
- Rear Yard
- Additional Pedestrian Way

GRAPHIC SCALE

Full Size 1 inch = 50 feet
Half Size 1 inch = 100 feet



REVISIONS
DATE
BY
DESCRIPTION

CASTO

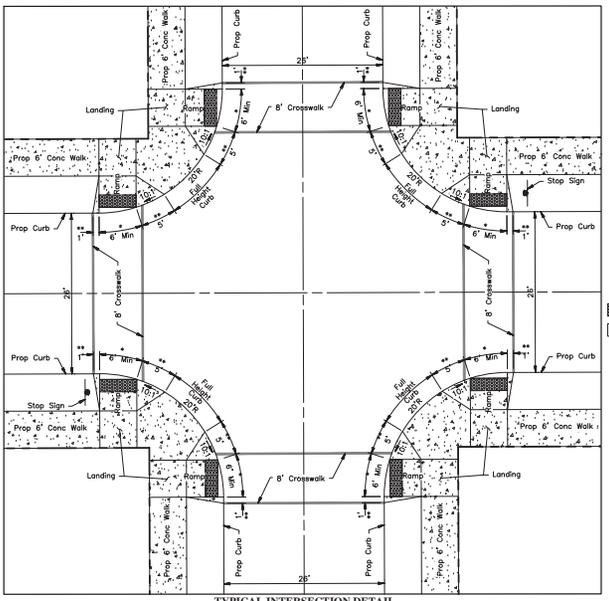
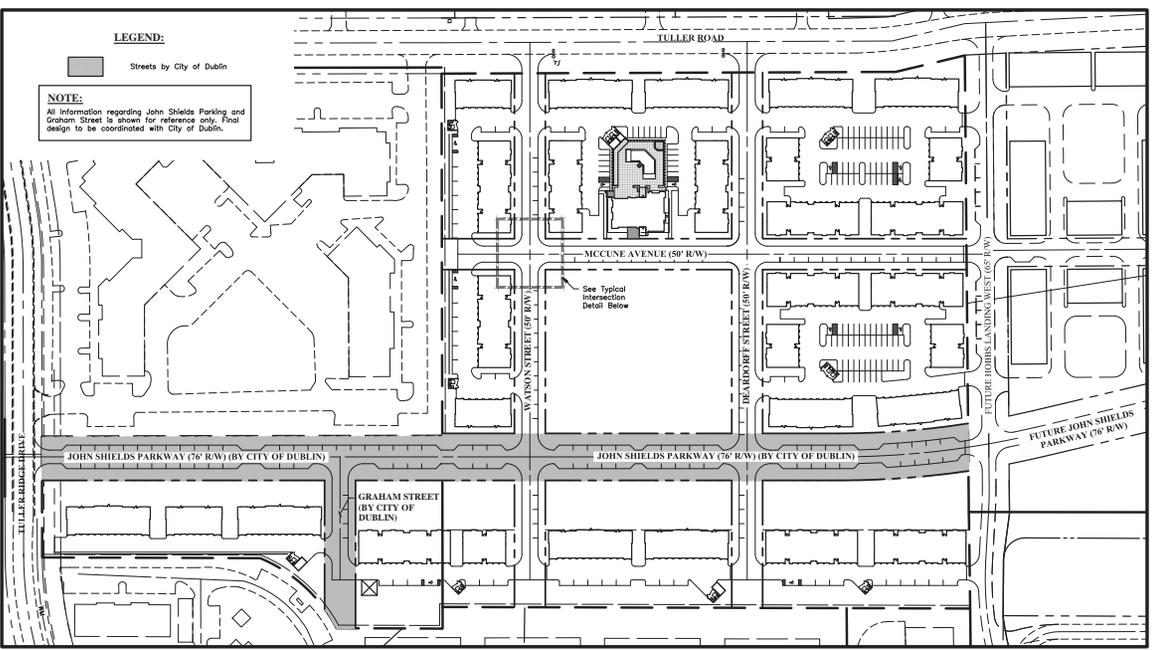
CITY OF PULPIN FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
BLOCK PLAN

EMIT
1000 High Street, Columbus, OH 43215
614.221.1100
www.emit.com

DATE	February 12, 2015
SCALE	Full Size: 1" = 50' Half Size: 1" = 100'
JOB NO.	2013-1546
SHEET	DP-11

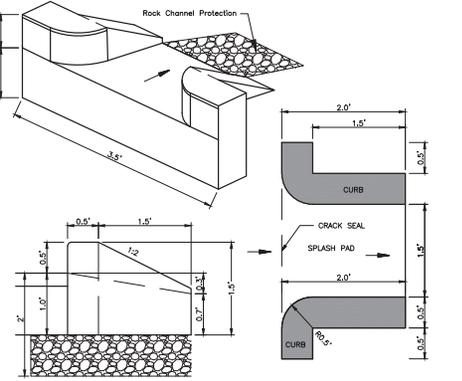
W:\mhaman\01\work\02\01\1546\Dev\04\Site\final development plan\20131546-Block Plan.dwg Last Saved By: jmahwell 3/22/2015 12:30 PM Last Printed By: jmahwell 3/22/2015 12:30 PM

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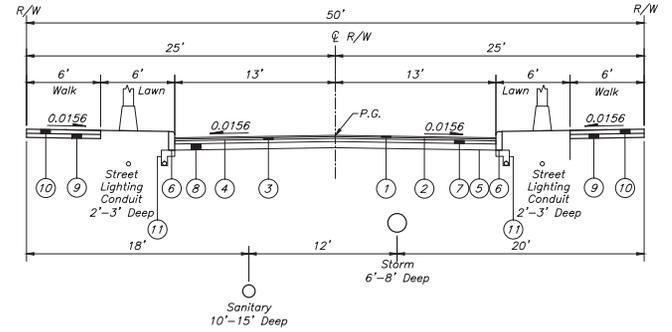
TYPICAL INTERSECTION DETAIL
(Scale: 1"=10')

- LEGEND**
- Curb Flush w/Pavt
 - ** Curb shall taper from full height to 0" over distance shown.
 - ▨ Detectable Warning
 - ▨ Concrete Sidewalk



CURB OPENING DETAIL
Not to Scale

To be used on interior landscape islands where practical - specific locations to be provided at time of Final Engineering.

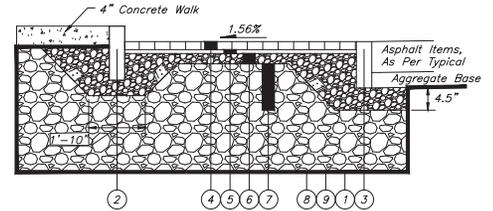


Watson, Deardorff, McCune, & Graham* (50' R/W)

* All information regarding Graham Street is shown for reference only. Final design to be coordinated with City of Dublin.

LEGEND

- ① Item 448 - 1.25" Asphalt Concrete Surface Course (Medium Traffic), PG64-22
- ② Item 407 - NTSS-1HM Trackless Tack Coat for Intermediate Course (0.06 Gal/Sq. Yd.)
- ③ Item 448 - 1.75" Asphalt Concrete Intermediate Course (Medium Traffic), PG64-22
- ④ Item 407 - NTSS-1HM Trackless Tack Coat (0.08 Gal/Sq. Yd.)
- ⑤ Item 204 - Subgrade Compaction and Proof Rolling
- ⑥ Item 609 - Granite Curb (18" x 6")
- ⑦ Item 301 - 3" Asphalt Concrete Base, PG64-22
- ⑧ Item 304 - 6" Aggregate Base
- ⑨ Item 304 - 4" Aggregate Base
- ⑩ Item 608 - 4" Concrete Walk
- ⑪ Item 605 - 4" Underdrain



PERMEABLE PAVEMENT DETAIL
Not to scale

LEGEND

- ① Item 204 - Subgrade Compaction and Proof Rolling
- ② Item 609 - Concrete Curb
- ③ Item 609 - Flush Concrete Curb
- ④ Permeable Pavers
- ⑤ No. 8 Stone (T=1 1/2") (Included for Payment with Permeable Paver Roadway)
- ⑥ Item SPEC - Aggregate Base (No. 57 Stone) (4" Constructed Thickness)
- ⑦ Item SPEC - Aggregate Base (No. 2 Stone) (T=16" Min.)
- ⑧ Item SPEC - Geogrid (Place Under No. 2 Stone and above Geotextile Fabric on bottom only)
- ⑨ Item 204 - Geotextile Fabric, Type D

REVISIONS
 MARKS DATE DESCRIPTION
 10/2/15
 CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
 STREET TYPES AND SECTIONS
 EMHT
 DATE
 February 12, 2015
 SCALE
 As Noted
 JOB NO.
 2013-1546
 SHEET
DP-12



Cree ARE-EDG Street Lamp (Post Top)
(ARE-ED Series, 85 Spider Mount,
Center Direct with 5" Round Pole (by Valmont))

NOTE:
1. Photometrics will meet City of Dublin Code Requirements and a Lighting Plan will be provided at time of building permits.
2. See Lighting Cut Sheets Provided to City

Product Description
This luminaire is designed for use on streets, parking lots, and other outdoor areas. It features a high-pressure sodium (HPS) or metal halide (MH) lamp housed in a die-cast aluminum body. The luminaire is mounted on a 5-inch diameter round pole. The mounting height is adjustable, ranging from 10 to 15 feet. The luminaire is finished with a powder-coated aluminum finish. The luminaire is designed to meet the requirements of the City of Dublin Code.

Performance Summary
Luminaire Type: Street
Lamp Type: HPS or MH
Mounting Height: 10 to 15 feet
Luminaire Finish: Powder Coated Aluminum
Lamp Finish: Clear
Lamp Voltage: 100V or 277V
Lamp Wattage: 100W or 150W
Luminaire Weight: 15 lbs
Luminaire Dimensions: 18" x 18" x 18"

* FIXTURE ON 16 POLE

LEGEND

- Existing Light Pole
- Proposed Light Pole
- City of Dublin Bridge Street District Standard Luminaire for 2 lane streets with 16-foot tall pole. Luminaire and pole to be painted black. Cree ARE-EDR
- Light in building entry/ breezeway
- Step Light
- Wall mounted lights at garages Kichler 106454Z
- Streets by City of Dublin



KICHLER Ona Light Outdoor Wall Lantern

Item ID: 143061
WFL #: 128454Z
Finish: Architectural Bronze
Height: 18.25"
Width: 6.25"

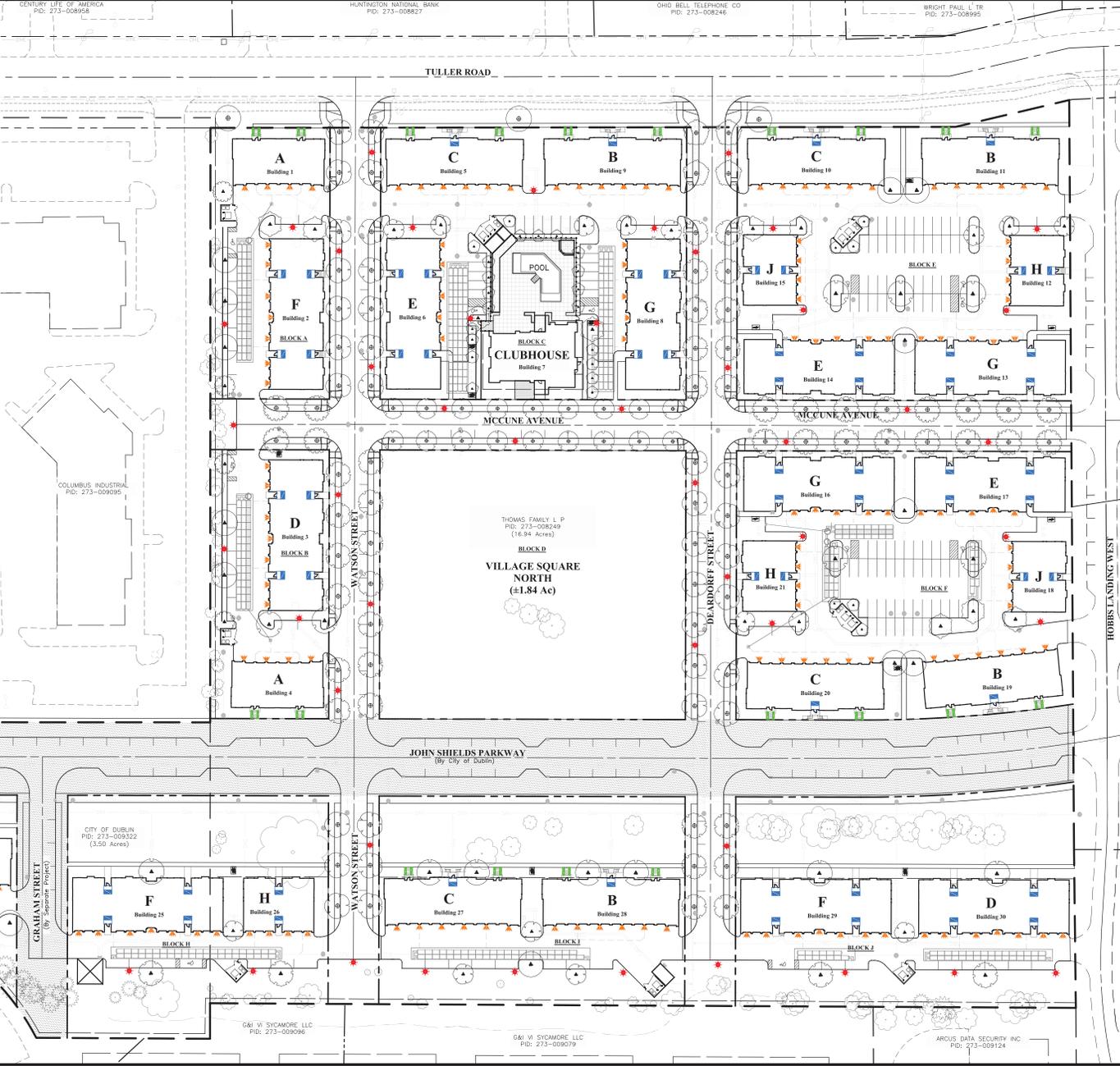
Notes:
White Acrylic Diffuser

▲ WALL MOUNTED LIGHT AT GARAGES

GRAPHIC SCALE



Full Size 1 inch = 50 feet
Half Size 1 inch = 100 feet



REVISIONS

NO.	DATE	DESCRIPTION
1	10/01/15	

GASTO

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
LIGHTING PLAN

HOBBERS LANDING WEST

DATE: February 12, 2015

SCALE:
Full Size: 1" = 50'
Half Size: 1" = 100'

JOB NO.: 2013-1546

SHEET: DP-13

ARCUS DATA SECURITY, INC.
PID: 273-009124

G&I VI SYCAMORE, LLC
PID: 273-009096

G&I VI SYCAMORE, LLC
PID: 273-009079

CITY OF DUBLIN
PID: 273-009322
(3.50 Acres)

THOMAS FAMILY L.P.
PID: 273-008249
(16.94 Acres)

COLUMBUS INDUSTRIAL
PID: 273-008995

OHIO BELL TELEPHONE CO.
PID: 273-008246

HUNTINGTON NATIONAL BANK
PID: 273-008827

CENTURY LIFE OF AMERICA
PID: 273-008928

WRIGHT PAUL L TR
PID: 273-008995

EMET
10000 Independence Ave., Suite 100
Dublin, OH 43017
614-885-7777
www.emet.com

153.065(D)3: Street Tree Calculations (Min. 1 Tree Per 40')

Street	Length	Req. Trees per side (1 per 40')	Provided
Watson Street (North)	±530'	13	13 West, 14 East
Watson Street (South)	±160'	4	3 West, 3 East
East Deardorff Street (North)	±530'	13	14 West, 13 East
East Deardorff Street (South)	±160'	4	3 West, 3 East
McCune Avenue (West)	±90'	2	2 North, 2 South
McCune Avenue (Central)	±300'	8	9 North, 9 South
McCune Avenue (East)	±330'	8	8 North, 8 South
Tuller Ridge Drive	±90'	2	2 East
Tuller Road (Infl Caps)	N/A	3	3 South
Total Street Trees		109	109

TREE REPLACEMENT DATA

Number of trees required to be replaced, see sheet DP-5	Trees	DBH"
Trees Preserved	70	821"
Good and Fair Condition Trees (non-conifer)	101	1514"
Poor Condition Trees	81	1232"
Credit for Good/Fair Trees Preserved = 78-40 (50% of 81)	38	
Trees Provided, see this sheet	205	512.5"

Tree Legend

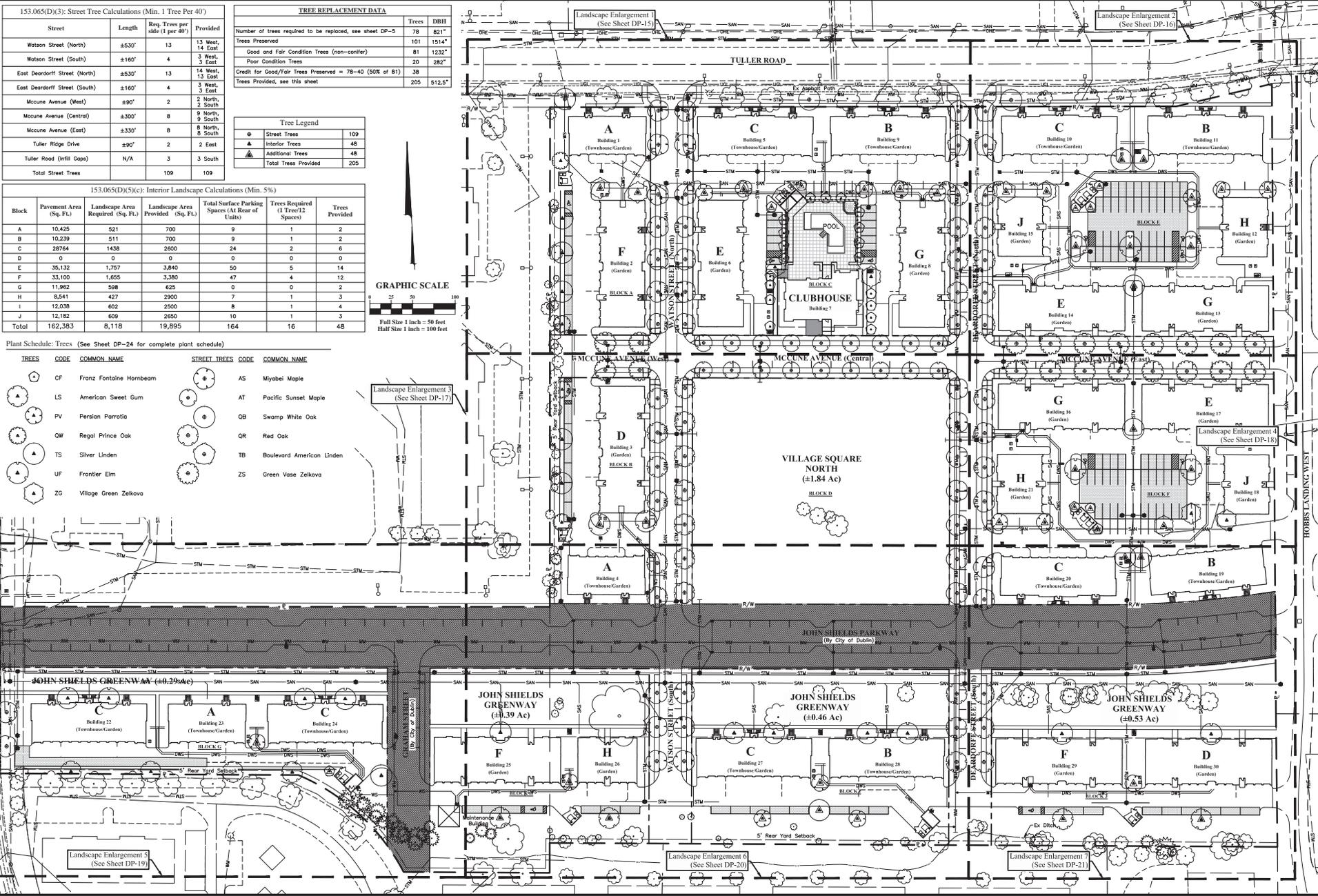
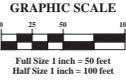
⊙	Street Trees	109
▲	Interior Trees	48
▲	Additional Trees	48
	Total Trees Provided	205

153.065(D)5(c): Interior Landscape Calculations (Min. 5%)

Block	Pavement Area (Sq. Ft.)	Landscape Area Required (Sq. Ft.)	Landscape Area Provided (Sq. Ft.)	Total Surface Parking Spaces (At Rear of Units)	Trees Required (1 Tree/12 Spaces)	Trees Provided
A	10,425	521	700	9	1	2
B	10,239	511	700	9	1	2
C	28,764	1,438	2,600	24	2	6
D	0	0	0	0	0	0
E	35,132	1,757	3,840	50	5	14
F	33,100	1,655	3,380	47	4	12
G	11,982	598	625	0	0	2
H	8,541	427	2,900	7	1	3
I	12,038	602	2,500	8	1	4
J	12,182	609	2,650	10	1	3
Total	162,383	8,118	19,895	164	16	48

Plant Schedule: Trees (See Sheet DP-24 for complete plant schedule)

TREES	CODE	COMMON NAME	STREET TREES	CODE	COMMON NAME
⊙	CF	Franz Fontaine Hornbeam	⊙	AS	Miyabei Maple
⊙	LS	American Sweet Gum	⊙	AT	Pacific Sunset Maple
⊙	PV	Persian Parrotia	⊙	QB	Swamp White Oak
⊙	OW	Regal Prince Oak	⊙	QR	Red Oak
⊙	TS	Silver Linden	⊙	TB	Boulevard American Linden
⊙	UF	Frontier Elm	⊙	ZS	Green Vase Zelkova
⊙	ZC	Village Green Zelkova			



REVISIONS

NO.	DATE	DESCRIPTION
1	12/12/15	ISSUED FOR PERMIT

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN / SITE PLAN
TULLER FLATS
OVERALL LANDSCAPE KEY PLAN

EMHT
Engineering, Mapping, and Horticulture Technology
10000 Woodloch Forest Blvd., Dublin, OH 43017
Tel: 614.233.8800
www.emht.com

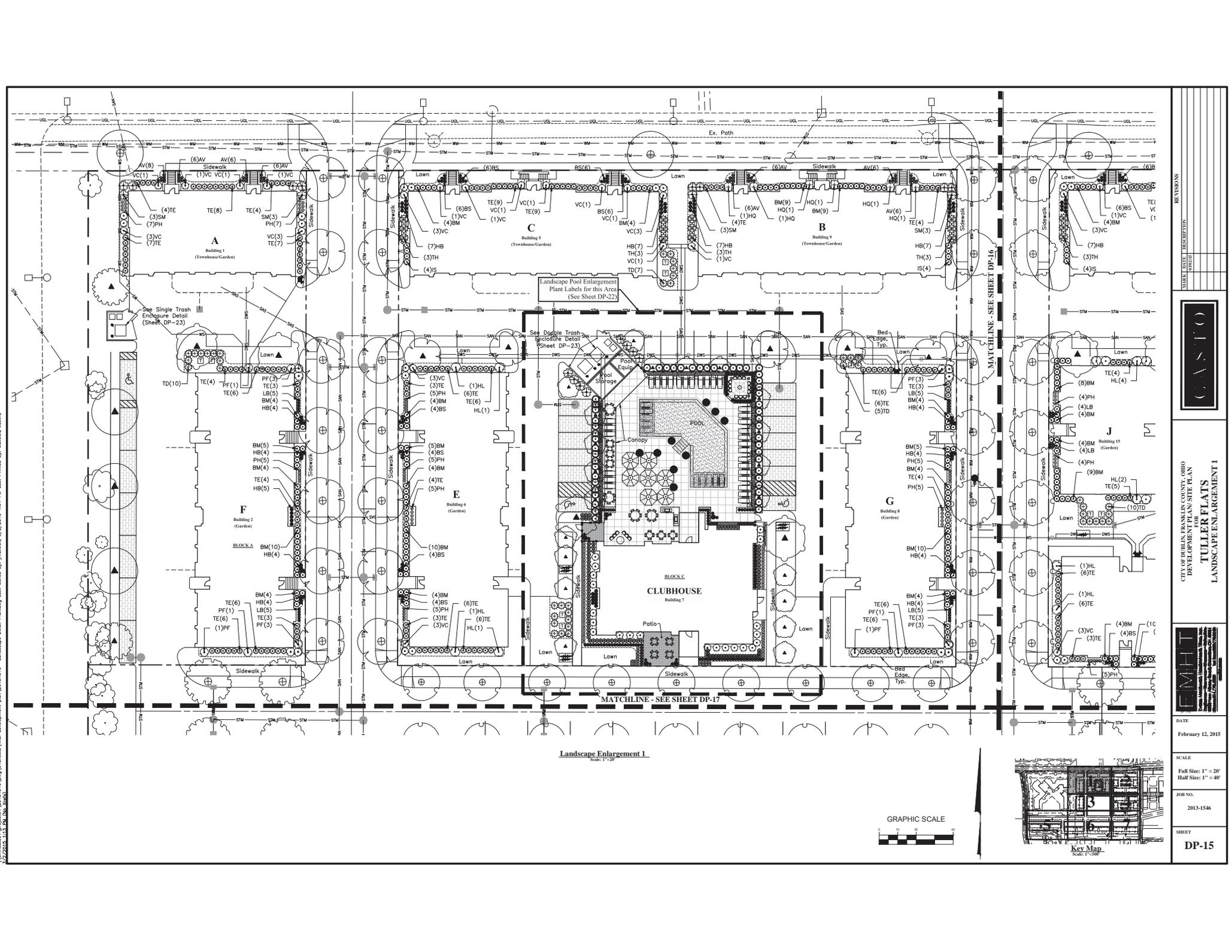
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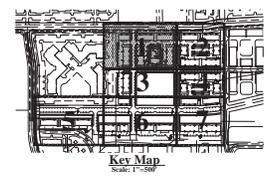
JOB NO.: 2013-1546

SHEET: DP-14

\Users\j\Projects\153.065(D)5(c)\153.065(D)5(c)\Overall Landscape Key Plan.dwg: User: j\Date Plotted: 2/12/2015 2:26 PM: User: j\Plotter: HP DesignJet 5000PSN



Landscape Enlargement 1
Scale: 1" = 20'



REVISIONS
DATE: 12/12/2015
DESCRIPTION: 15001515



CITY OF PULPIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
LANDSCAPE ENLARGEMENT 1



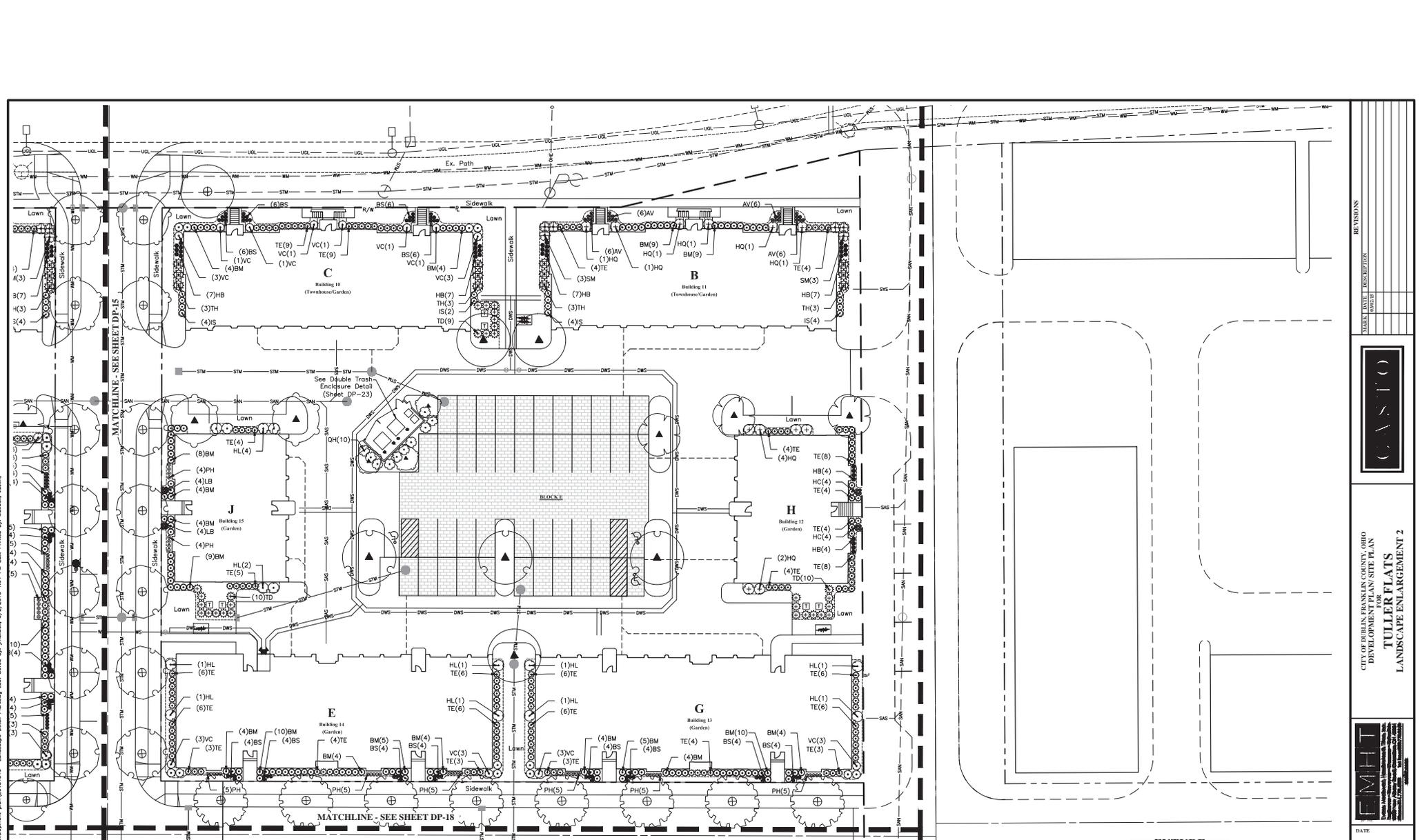
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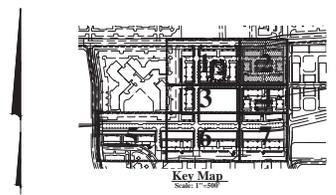
JOB NO.
2013-1546

SHEET
DP-15

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 I:\projects\2013-1546\2013-1546.dwg (User: jmm) 12/12/2015 10:04 PM Laid Out: jmm



Landscape Enlargement 2
Scale: 1" = 20'



FUTURE

REVISIONS
DATE: 12/12/2015
DESCRIPTION: 1002151



CITY OF PULPIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
LANDSCAPE ENLARGEMENT 2



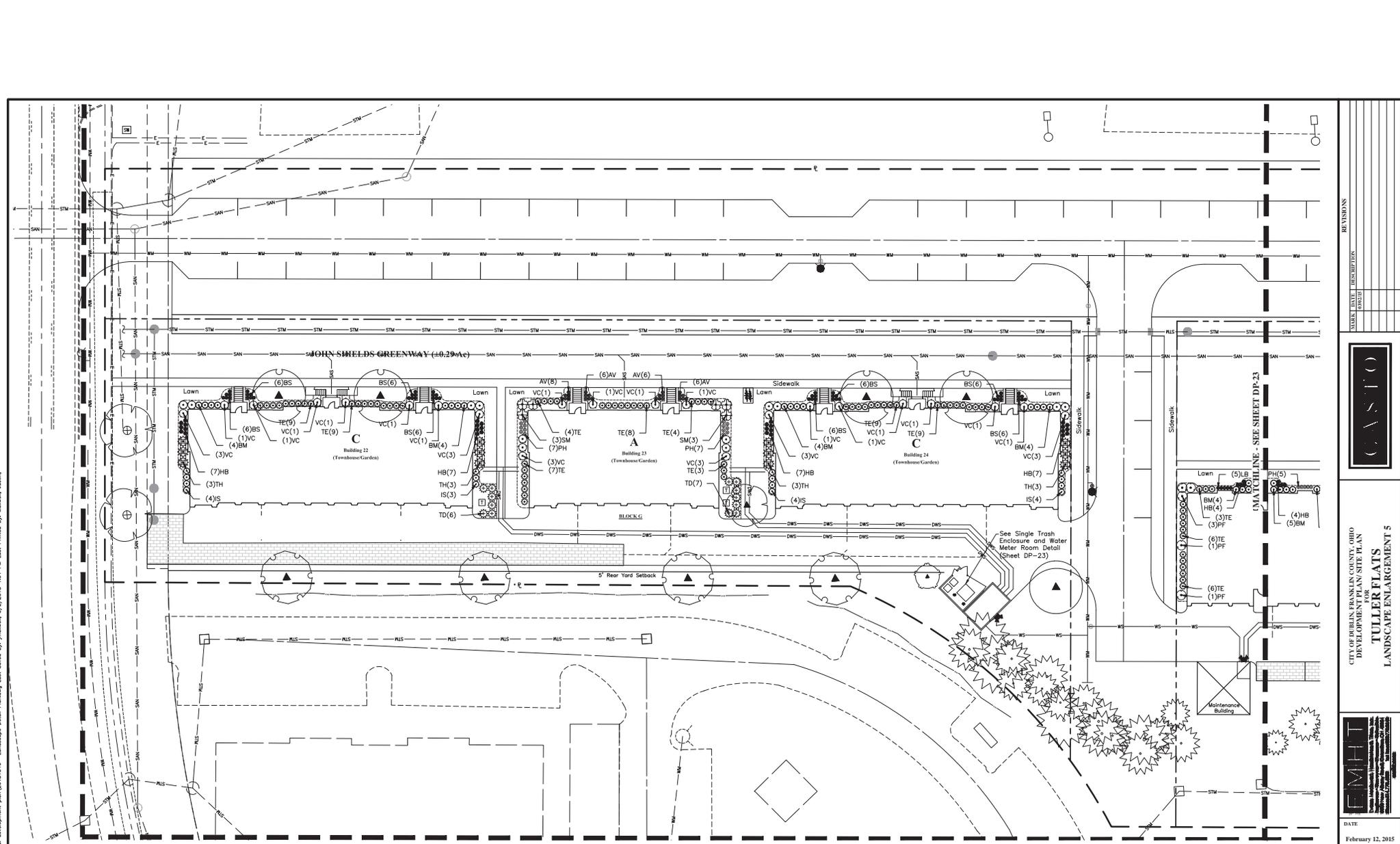
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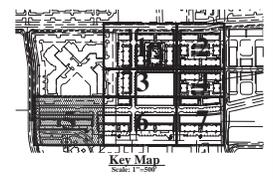
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SHEET: DP-16

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Landscape Enlargement 5
Scale: 1" = 20'



REVISIONS	DATE	DESCRIPTION



CITY OF DEBILIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
LANDSCAPE ENLARGEMENT 5



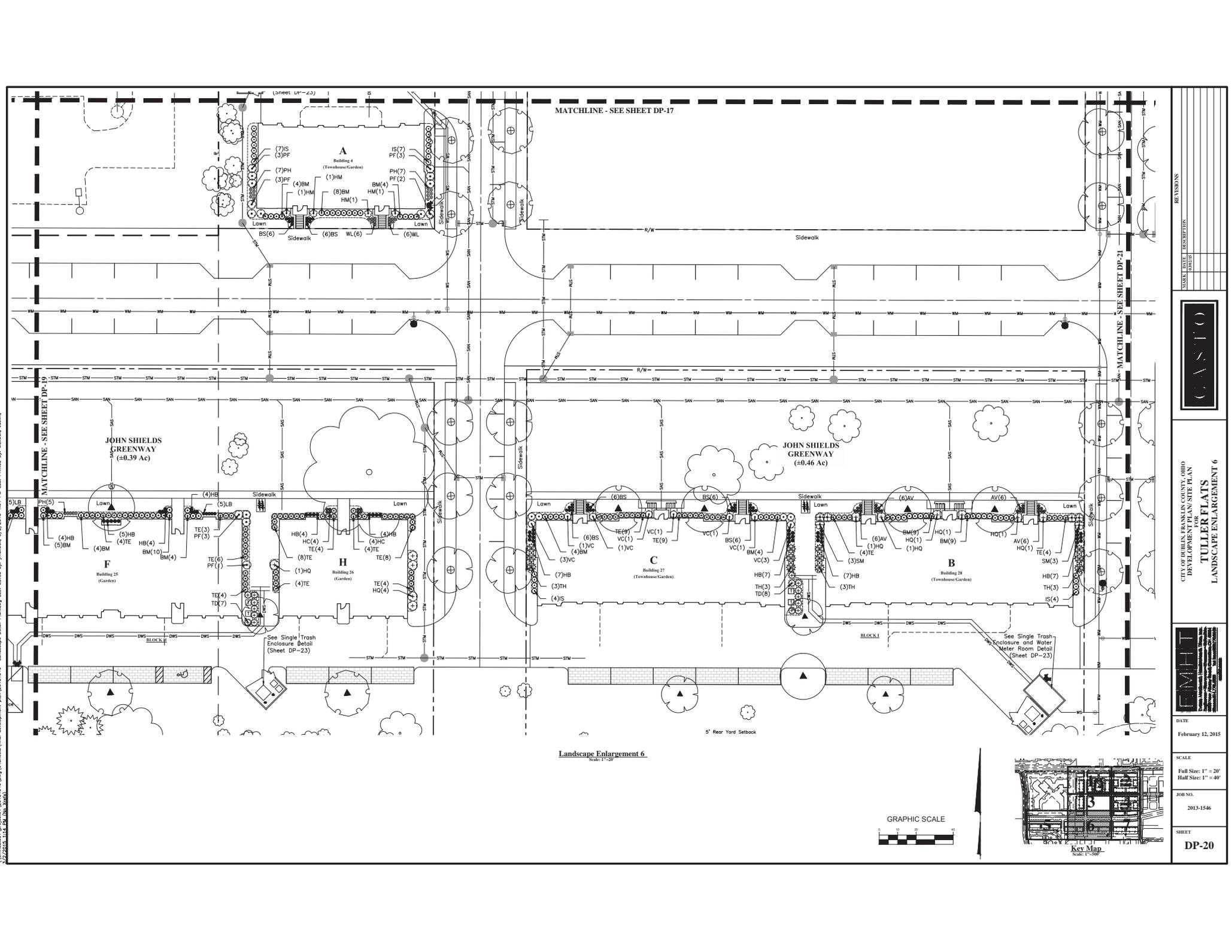
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JOB NO.
2013-1546

SHEET
DP-19

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MATCHLINE - SEE SHEET DP-17

MATCHLINE - SEE SHEET DP-10

MATCHLINE - SEE SHEET DP-21

Landscape Enlargement 6
Scale: 1" = 20'

REVISIONS

NO.	DATE	DESCRIPTION
1	04/02/15	



CITY OF PULPIN, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
 LANDSCAPE ENLARGEMENT 6



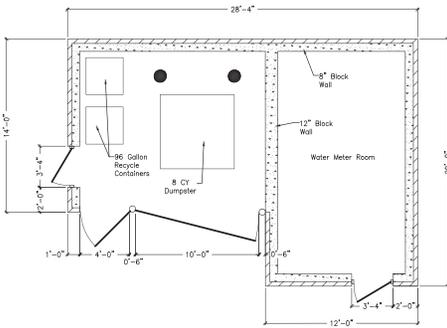
DATE
 February 12, 2015

SCALE
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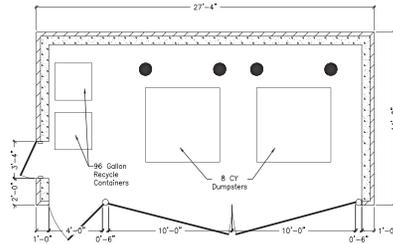
JOB NO.
 2013-1546

SHEET
 DP-20

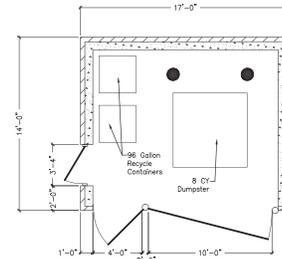
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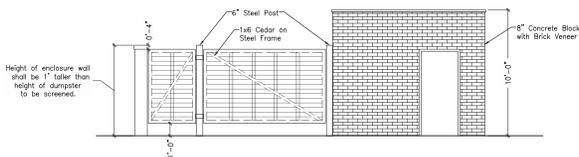
SINGLE TRASH ENCLOSURE & WATER METER ROOM - PLAN
Scale: 1"=5'



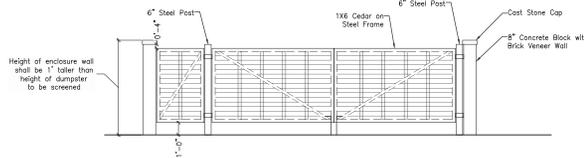
DOUBLE TRASH ENCLOSURE - PLAN
Scale: 1"=5'



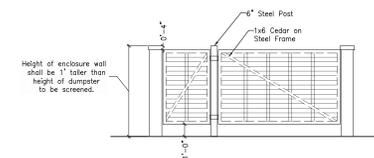
SINGLE TRASH ENCLOSURE - PLAN
Scale: 1"=5'



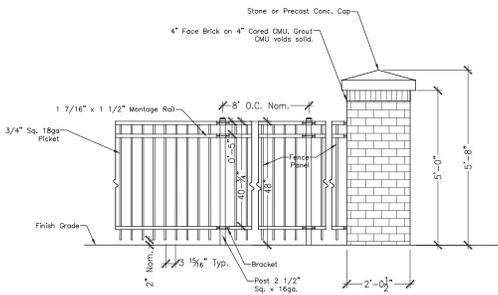
SINGLE TRASH ENCLOSURE & WATER METER ROOM - ELEVATION
Scale: 1"=5'



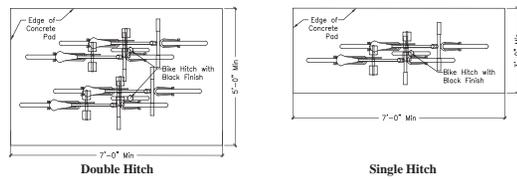
DOUBLE TRASH ENCLOSURE - ELEVATION
Scale: 1"=5'



SINGLE TRASH ENCLOSURE - ELEVATION
Scale: 1"=5'

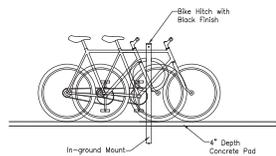


Pool Fence and Brick Column Detail
Scale: 1"=2'



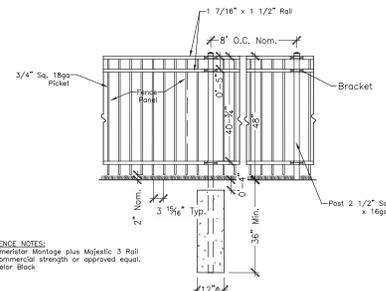
Double Hitch

Single Hitch



Bicycle Rack Detail
Scale: 1"=5'

- Manufacturer: Dera
- 11-ground Bike Hitch
- Two bikes per Hitch
- Black Finish



Pool Fence Detail
Scale: 1"=2'

FENCE NOTES:
• Ameristar Montage plus Majestic 3 Rail commercial strength or approved equal.
• Color: Black



Stair Railing Detail
Superior Heavy-Duty Aluminum Railing or Equal

- Series 900
- Style A
- 2" Wide x 1 1/2" High Top Rail
- Color: Black

REVISIONS	DATE	DESCRIPTION



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN/SITE PLAN
TULLER FLATS
LANDSCAPE DETAILS

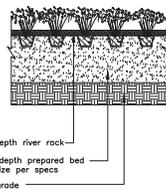


DATE	February 12, 2015
SCALE	As Noted
JOB NO.	2013-1546
SHEET	DP-23

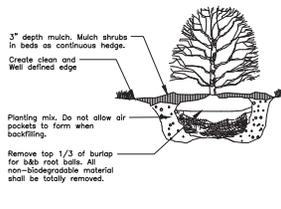
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GENERAL NOTES

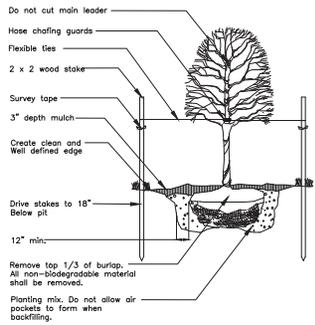
- Prior to installation, the landscape contractor shall inspect the general site conditions and verify the substrate, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
- All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, 2014. All plants shall equal or exceed the measurements and sizes specified in the schedule.
- All planting operations shall adhere to American Nursery & Landscape Association standards unless noted otherwise.
- Substitutions shall be permitted with notification and written approval from the Landscape Architect. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
- Confirm location of all utilities and subsurface drain lines prior to plant installation.
- A pre-installation conference shall be conducted prior to planting operations with Owner, Contractor, and Landscape Architect present.
- Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
- Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
- Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
- Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
- Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
- Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
- All planting beds shall be covered with mesh weed barrier. Impervious plastic is not acceptable.
- Bed edge shall be smooth, consistent, hand trenched 6" deep and "V" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
- All planting bed edges to be smooth floating or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
- Install all plants in accordance with planting details and specifications.
- Parking lot and street trees shall have a clear canopy height of 6' min.
- Tree shall be placed a minimum of 3' from sidewalks and curbs.
- All planting beds to be filled and backfilled with prepared planting mix to a minimum depth of 12 inches unless otherwise indicated. All individually planted trees and shrubs to be backfilled with prepared planting mix. Prepared planting mix shall be mixed on site and consist of one part topsoil, one part soil amendment, one part soil from excavation. Topsoil: ASTM D5268, pH range of 5.5 to 7, min. 4 percent organic material, free of stones 1 inch and larger. Soil amendment: Source separated yard waste compost from an Ohio EPA rated class IV compost facility.
- Related beds, including mulch, shall be no higher than 6 inches above adjacent grade.
- Lawn areas to be backfilled with topsoil to a minimum settled thickness of 6 inches.
- All trees, shrubs, groundcover, and lawn to be fertilized with a commercial grade fertilizer consisting of fast and slow release nitrogen.
- Composition and application rate of fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit test results and amendment recommendations to Landscape Architect. Fertilizer shall be in a dry granular form for lawn and granular or tablet form for plants.
- Contractor to determine plant list quantities from the plan. Graphic representation on plan supercedes in case of discrepancy with quantities on schedule.
- Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor's expense.
- Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
- All annuals to be provided by Owner. OR All annuals to be selected from available seasonal stock. Submit annual planting plan to Landscape Architect for approval prior to installation.
- Lawn seed mix shall be proportioned by weight as follows: 10 percent NuBlue or Blue Chip Kentucky Bluegrass; 10 percent Caddishead or Goodkeeper Perennial Ryegrass; 80 percent Quest, Inferno, Arid 3 and/or Plixie Tall Fescue (select 2).
- Sodded lawns shall match seeded lawns.
- Lawn seed shall not have less than 95 percent germination, not less than 85 percent pure seed, and not more than 0.5 percent weed seed.



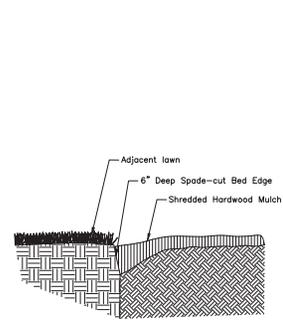
PERENNIAL AND GROUNDCOVER PLANTING
No Scale



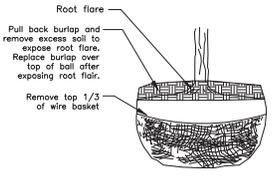
SHRUB PLANTING
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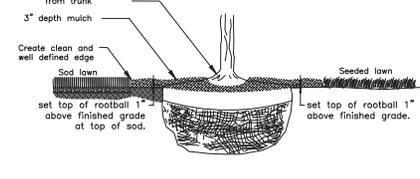
DECIDUOUS TREE PLANTING
No Scale



PLANTING BED EDGE
No Scale



ROOTBALL PREPARATION
No Scale



ROOTBALL SETTING
No Scale

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
CF	28	Carpinus betulus 'Franz Fontaine'	Franz Fontaine Hornbeam	2.5" Cal.	B&B
LS	8	Liquidambar styraciflua	American Sweet Gum	2.5" Cal.	B&B
PV	16	Parrotia persica 'Venessa'	Parrotia Parrotia	2.5" Cal.	B&B
QW	4	Quercus x warei 'Long'	Regal Prince Oak	2.5" Cal.	B&B
TS	13	Tilia tomentosa	Silver Linden	2.5" Cal.	B&B
UF	18	Ulmus x 'Frontier'	Frontier Elm	2.5" Cal.	B&B
ZG	9	Zelkova serrata 'Village Green'	Village Green Zelkova	2.5" Cal.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
AS	33	Acer myriophyllum 'State Street'	Myrtle Maple	2.5" Cal.	B&B
AT	18	Acer truncatum 'Pacific Sunset'	Pacific Sunset Maple	2.5" Cal.	B&B
OB	3	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B
OR	29	Quercus rubra	Red Oak	2.5" Cal.	B&B
TB	4	Tilia americana 'Boulevard'	Boulevard American Linden	2.5" Cal.	B&B
ZS	20	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2.5" Cal.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
BG	84	Buxus x 'Green Gem'	Green Gem Boxwood	24" Ht.	Cont.
BM	509	Buxus x 'Green Mountain'	Green Mountain Boxwood	24" Ht.	B&B or Cont.
HM	7	Hydrangea macrophylla 'Endless Summer'	Balmer Hydrangea	24" Ht.	#5 Cont.
HL	35	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	24" Ht.	B&B or Cont.
HL	10	Hydrangea paniculata 'Quick Fire'	Quick Fire Hydrangea	24" Ht.	B&B or Cont.
HO	49	Hydrangea quercifolia	Oakleaf Hydrangea	24" Ht.	#5 Cont.
IS	59	Hea virginica 'Scarlet Beauty'	Scarlet Beauty Virginia Sweetpire	24" Ht.	B&B or Cont.
JF	50	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24" Ht.	B&B or Cont.
PF	56	Panicum virgatum 'Prairie Fire'	Red Switch Grass	24" Ht.	B&B or Cont.
SM	46	Syringa patula 'Miss Kim'	Miss Kim Lilac	24" Ht.	#5 Cont.
TD	133	Taxus x media 'Densiformis'	Dense Yew	24" Ht.	B&B
TE	659	Taxus x media 'Everlow'	Yew	18" Ht.	B&B
TH	48	Taxus x media 'Hicksii'	Hicks Yew	36" Ht.	B&B
VC	160	Viburnum corymbosum	Korean Spice Viburnum	24" Ht.	#5 Cont.
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
LB	222	Liriope muscari 'Big Blue'	Big Blue Liriope	#1	Cont.
WL	79	Nepeta x fossensis 'Walkers Low'	Walkers Low Catmint	#2	Cont.
PH	399	Pennisetum alopecuroides 'Hornem'	Hornem Dwarf Fountain Grass	#2	Cont.
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
BS	180	Amsonia x 'Blue Star'	Blue Star	#2	Cont.
AV	124	Astilbe chinensis 'Visions in Red'	Chinese Astilbe	#2	Cont.
HC	24	Heuchera sanguinea	Coral Belle	#2	Cont.
HB	292	Hosta x 'Blue Codol'	Blue Codol Hosta	#2	Cont.
ANNUALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
AN	117		Annual Color		

TREE REPLACEMENT DATA		
Number of trees required to be replaced, see sheet DP-5	Trees	DBH"
Trees Preserved	101	1514"
Good and Fair Condition Trees (non-contour)	81	1232"
Poor Condition Trees	20	282"
Credit for Good/Fair Trees Preserved = 78+40 (50% of 81)	38	
Trees Provided, see sheet DP-14	205	512.5"

REVISIONS	DATE	DESCRIPTION
1	10/27/15	



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN/SITE PLAN
TULLER PLATS
LANDSCAPE DETAILS AND PLANT SCHEDULE



DATE
February 12, 2015
SCALE
As Noted
JOB NO.
2013-1546
SHEET
DP-24

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Tuller Flats | Dublin, OH

View of John Shields Parkway

3-2-2015



R-1



Tuller Flats | Dublin, OH
View from Motor Court to Village Square

3-2-2015

R-2





Tuller Flats | Dublin, OH

View of Clubhouse from Village Square

3-2-2015

R-3





Tuller Flats | Dublin, OH

View of McCune Street

3-2-2015

R-4





South Elevation
 1/8" = 1'-0"

Tuller Flats | Dublin, OH

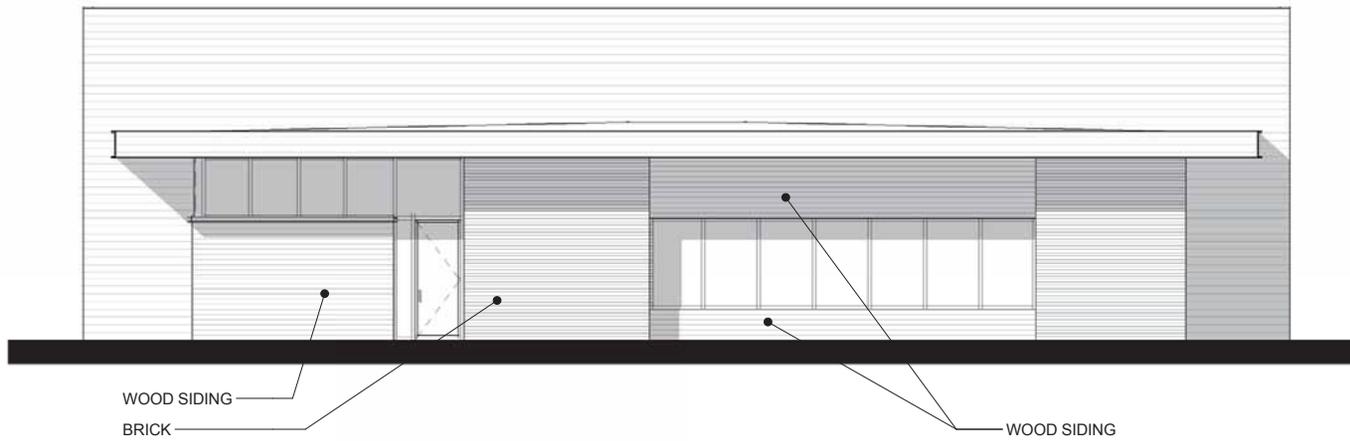
Clubhouse

2-12-2015



A1





East Elevation
1/8" = 1'-0"

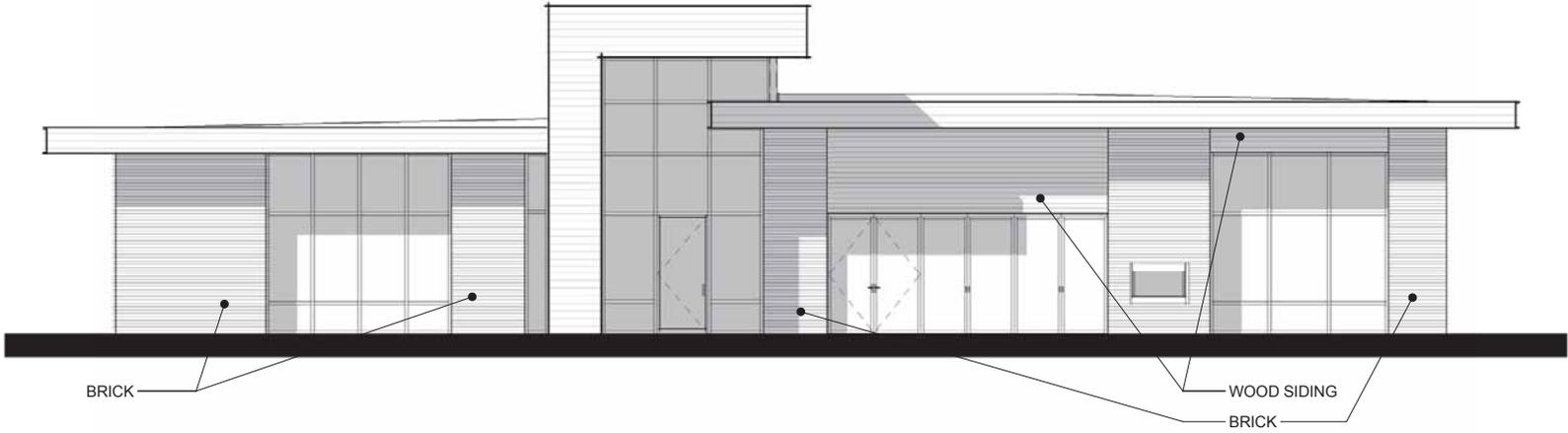
Tuller Flats | Dublin, OH

Clubhouse

2-12-2015



A2



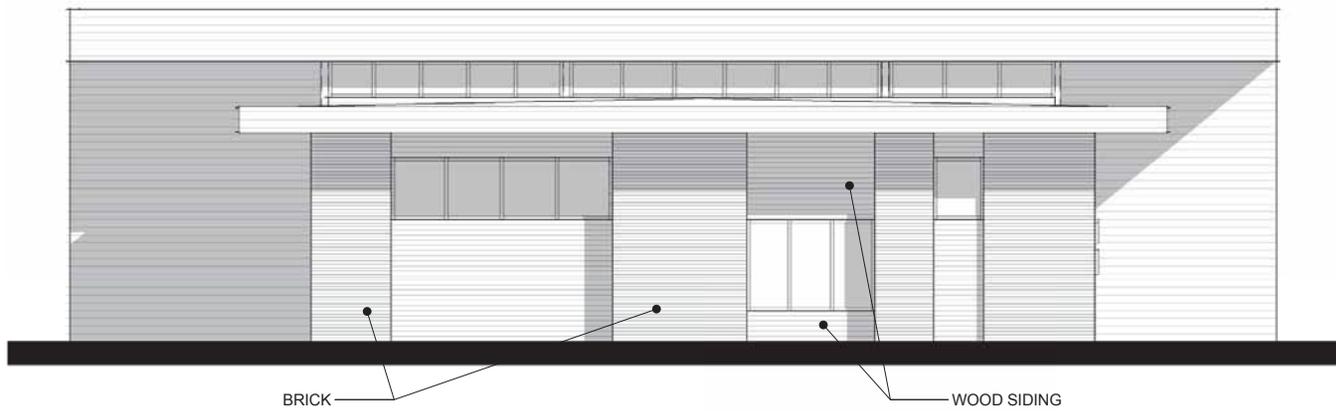
North Elevation
1/8" = 1'-0"

Tuller Flats | Dublin, OH

Clubhouse

2-12-2015





West Elevation
1/8" = 1'-0"

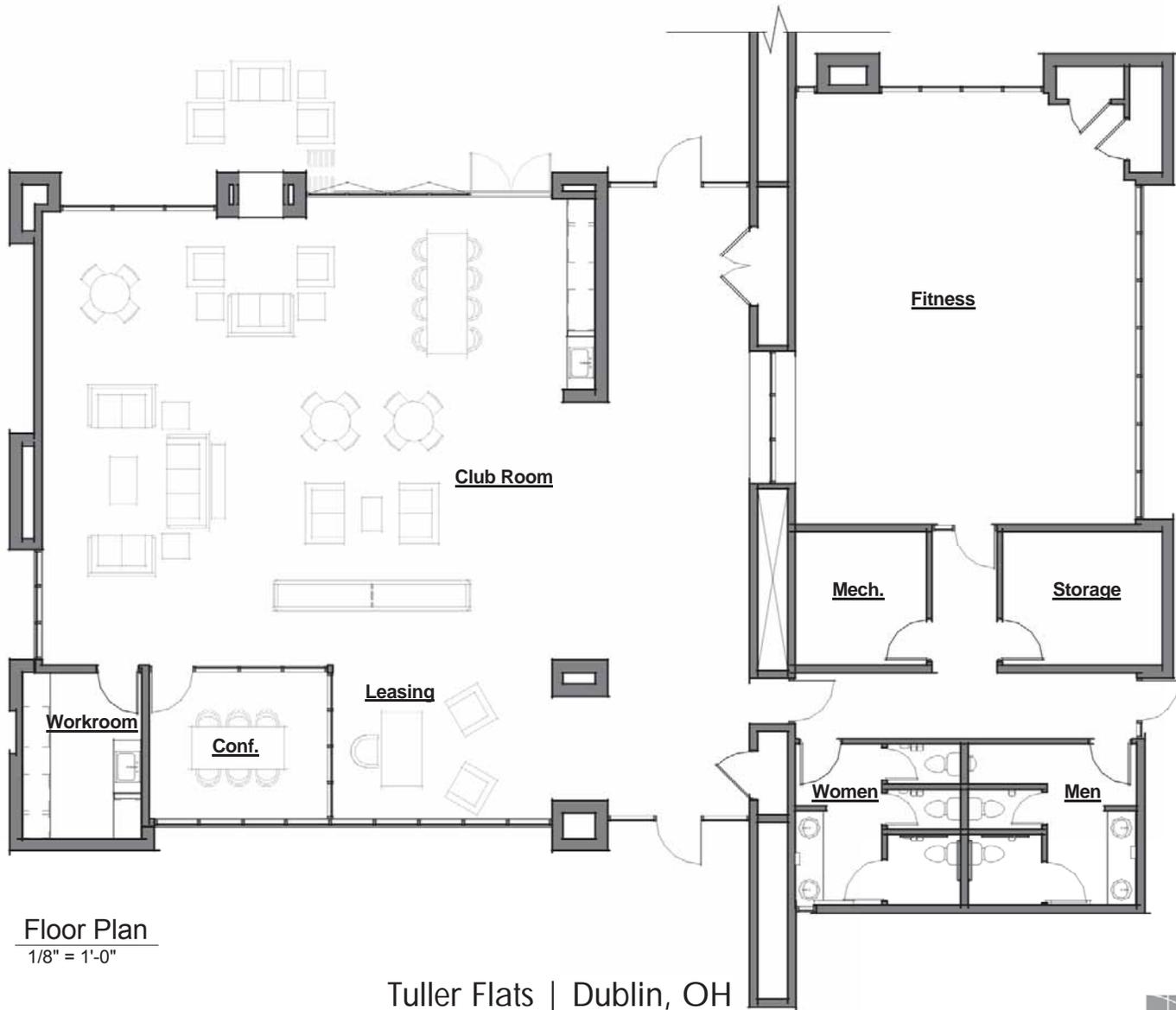
Tuller Flats | Dublin, OH

Clubhouse

2-12-2015



A4



Floor Plan
 1/8" = 1'-0"

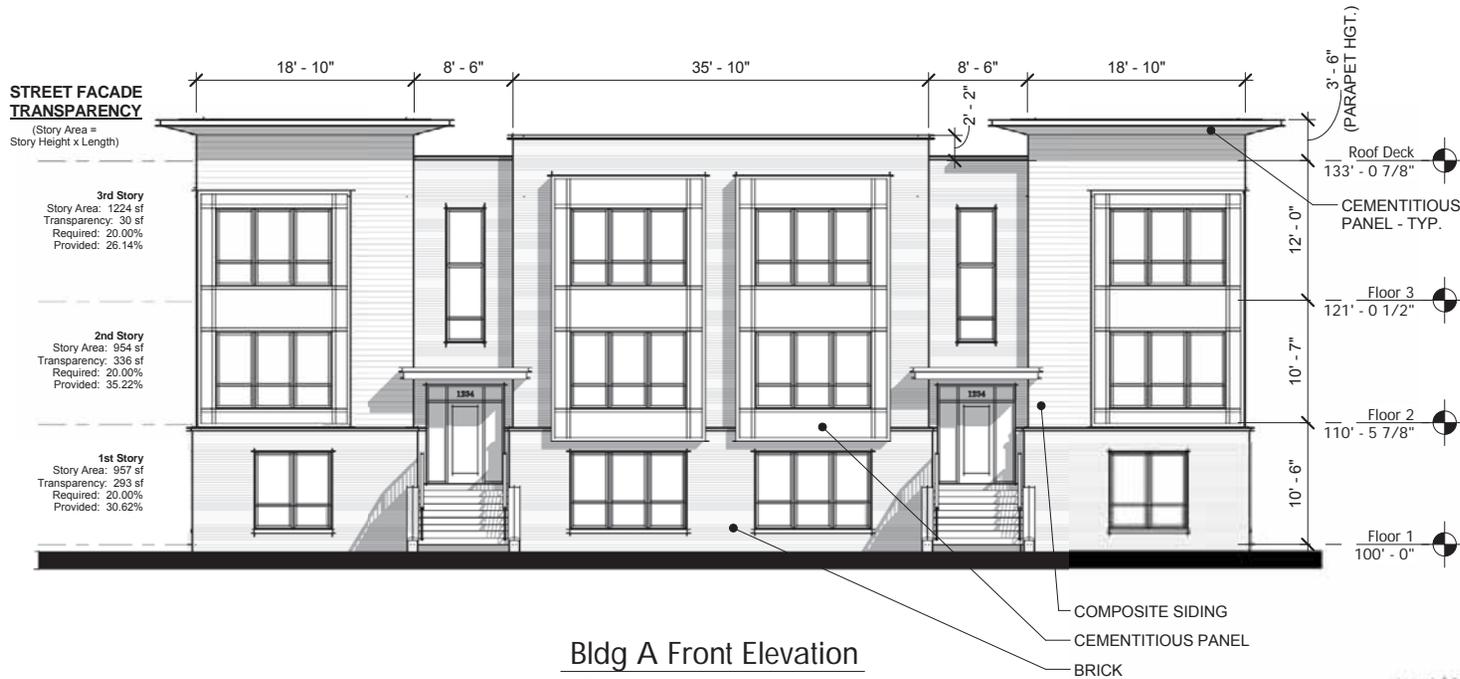
Tuller Flats | Dublin, OH

Clubhouse

2-12-2015



A5



Total Facade Area* = 2,244 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,152	51.34%		
Glass Storefront	Primary	116	5.17%		
		1,268	56.51%	80%	N
Composite Siding	Secondary	407	18.14%		
Cementitious Panel	Secondary	569	25.36%		
		976	43.49%	<20%	N

Tuller Flats | Dublin, OH

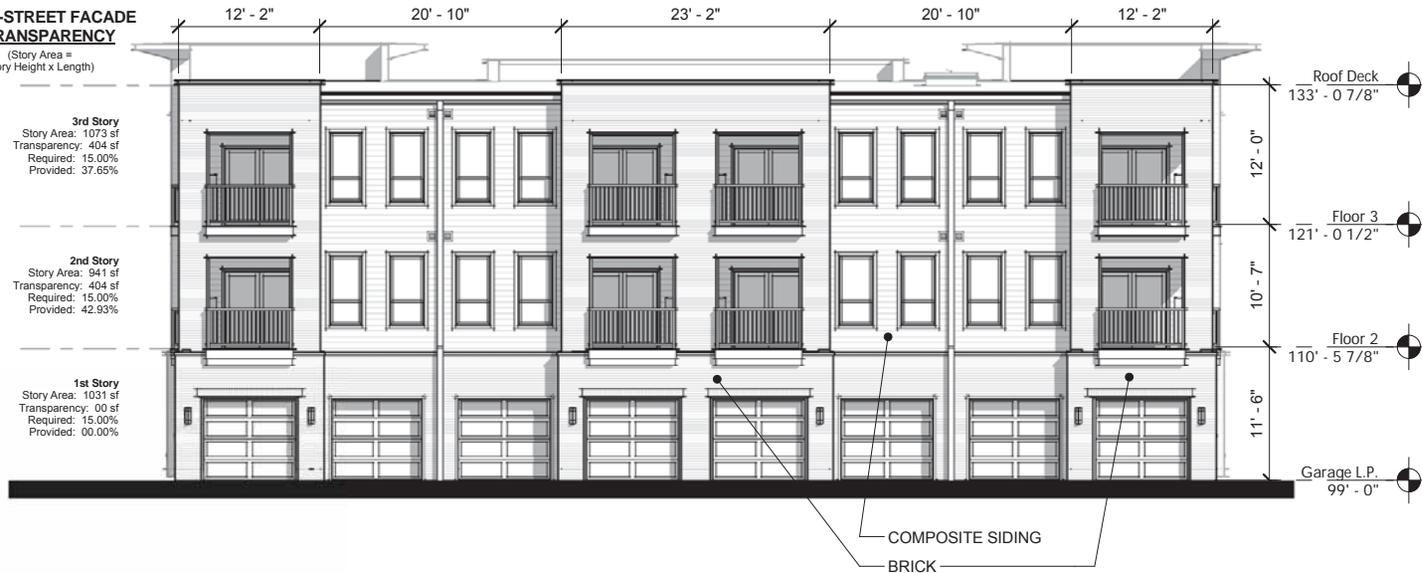
Townhomes & Garden Apartments

2-12-2015

Updated: 3-2-2015



**NON-STREET FACADE
TRANSPARENCY**
(Story Area =
Story Height x Length)



3rd Story
Story Area: 1073 sf
Transparency: 404 sf
Required: 15.00%
Provided: 37.65%

2nd Story
Story Area: 941 sf
Transparency: 404 sf
Required: 15.00%
Provided: 42.93%

1st Story
Story Area: 1031 sf
Transparency: 00 sf
Required: 15.00%
Provided: 00.00%

Bldg A Rear Elevation
3/32" = 1'-0"

Total Facade Area* = 1,603 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,080	67.37%		
Glass Storefront	Primary	0	0.00%	80%	N
		1,080	67.37%		
Composite Siding	Secondary	523	32.63%		
Cementitious Panel	Secondary	0	0.00%		
		523	32.63%	<20%	N

Tuller Flats | Dublin, OH
Townhomes & Garden Apartments

2-12-2015
Updated: 3-2-2015



A7



STREET FACADE TRANSPARENCY
(Story Area = Story Height x Length)

3rd Story
Story Area: 1618 sf
Transparency: 460 sf
Required: 20.00%
Provided: 29.67%

2nd Story
Story Area: 1419 sf
Transparency: 503 sf
Required: 20.00%
Provided: 35.45%

1st Story
Story Area: 1418 sf
Transparency: 462 sf
Required: 20.00%
Provided: 32.58%

Bldg B Front Elevation
3/32" = 1'-0"

COMPOSITE SIDING
CEMENTITIOUS PANEL
BRICK



Total Facade Area* = 3,285 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,677	51.05%		
Glass Storefront	Primary	173	5.27%		
		1,850	56.32%	80%	N
Composite Siding	Secondary	507	15.43%		
Cementitious Panel	Secondary	928	28.25%		
		1,435	43.68%	<20%	N

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**NON-STREET FACADE
TRANSPARENCY**

(Story Area =
Story Height x Length)

3rd Story
Story Area: 1618 sf
Transparency: 606 sf
Required: 15.00%
Provided: 37.45%

2nd Story
Story Area: 1405 sf
Transparency: 606 sf
Required: 15.00%
Provided: 43.13%

1st Story
Story Area: 1537 sf
Transparency: 00 sf
Required: 15.00%
Provided: 00.00%



Bldg B Rear Elevation

3/32" = 1'-0"

Total Facade Area* = 2,379 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,594	67.00%		
Glass Storefront	Primary	0	0.00%	80%	N
		1,594	67.00%		
Composite Siding	Secondary	785	33.00%		
Cementitious Panel	Secondary	0	0.00%		
		785	33.00%	<20%	N



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**STREET FACADE
TRANSPARENCY**

(Story Area =
Story Height x Length)

3rd Story

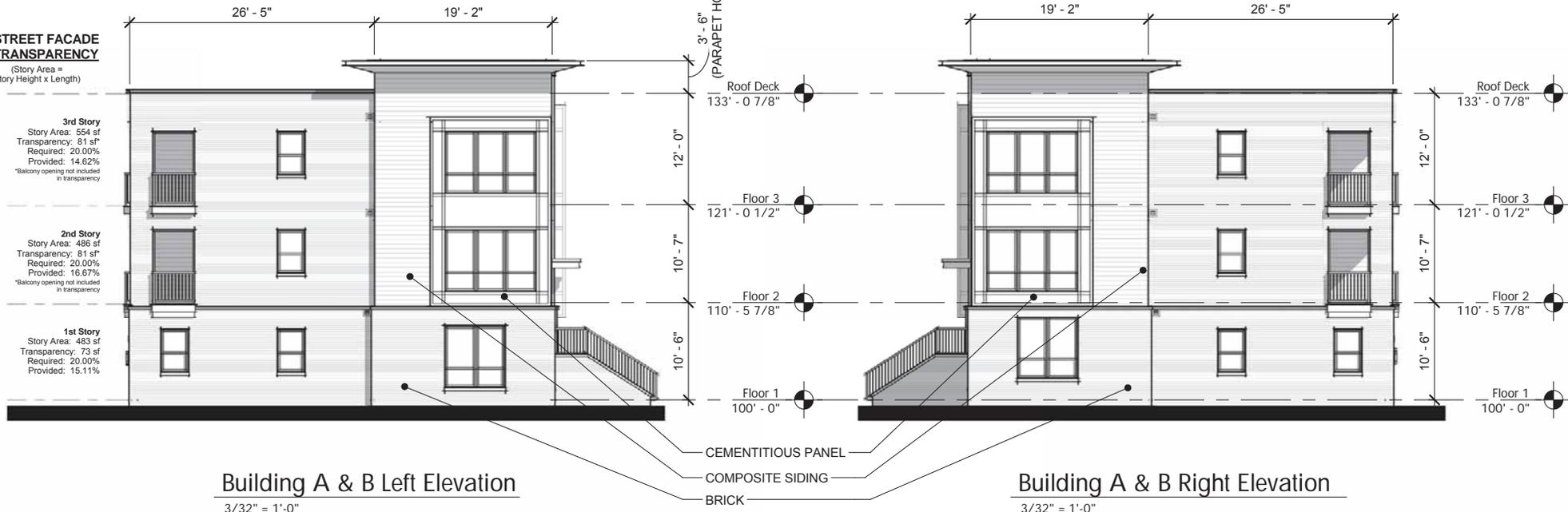
Story Area: 554 sf
Transparency: 81 sf
Required: 20.00%
Provided: 14.62%
*Balcony opening not included
in transparency

2nd Story

Story Area: 486 sf
Transparency: 81 sf
Required: 20.00%
Provided: 16.67%
*Balcony opening not included
in transparency

1st Story

Story Area: 483 sf
Transparency: 73 sf
Required: 20.00%
Provided: 15.11%



Building A & B Left Elevation

3/32" = 1'-0"

Building A & B Right Elevation

3/32" = 1'-0"

Total Facade Area* = 1,270 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	924	72.76%		
Glass Storefront	Primary	0	0.00%		
		924	72.76%	80%	N
Composite Siding	Secondary	213	16.77%		
Cementitious Panel	Secondary	133	10.47%		
		346	27.24%	<20%	N



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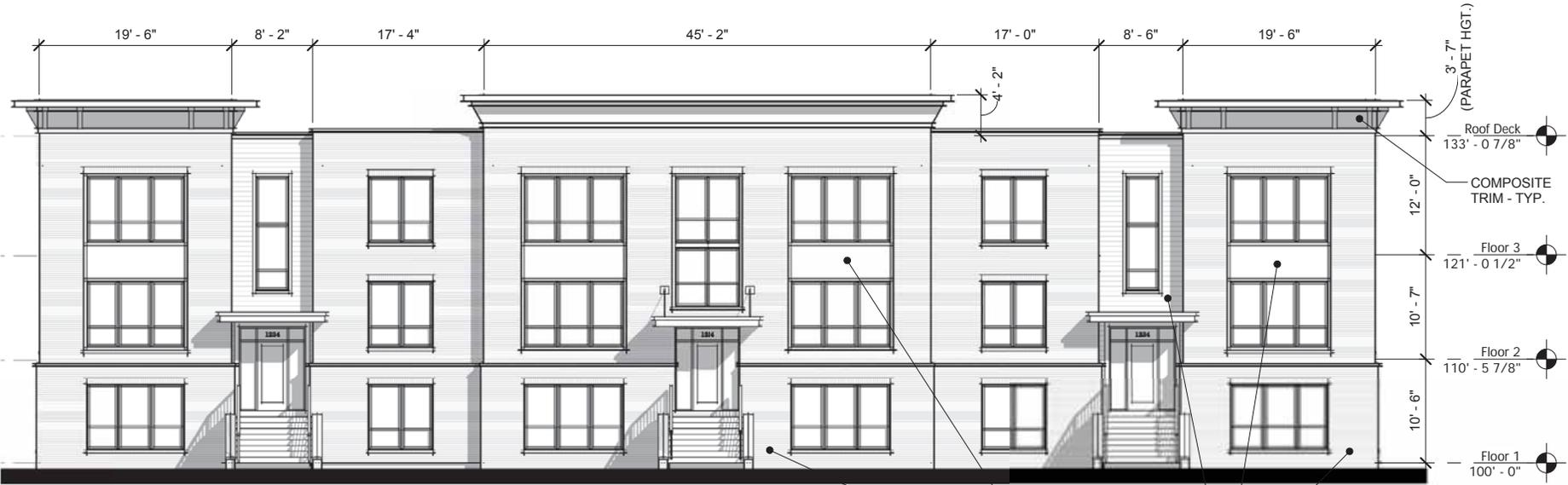
A10

STREET FACADE TRANSPARENCY
(Story Area = Story Height x Length)

3rd Story
Story Area: 1618 sf
Transparency: 480 sf
Required: 20.00%
Provided: 29.67%

2nd Story
Story Area: 1419 sf
Transparency: 503 sf
Required: 20.00%
Provided: 35.45%

1st Story
Story Area: 1418 sf
Transparency: 462 sf
Required: 20.00%
Provided: 32.58%



Bldg C Front Elevation

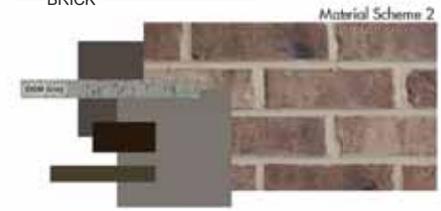
3/32" = 1'-0"

Total Facade Area* = 3,130 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,588	82.68%		
Glass Storefront	Primary	173	5.53%		
		2,761	88.21%	80%	Y
Composite Siding	Secondary	205	6.55%		
Cementitious Panel	Secondary	164	5.24%		
		369	11.79%	<20%	Y

COMPOSITE SIDING
CEMENTITIOUS PANEL
BRICK



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**STREET FACADE
TRANSPARENCY**

(Story Area =
Story Height x Length)

3rd Story
Story Area: 1618 sf
Transparency: 606 sf
Required: 15.00%
Provided: 37.45%

2nd Story
Story Area: 1405 sf
Transparency: 606 sf
Required: 15.00%
Provided: 43.13%

1st Story
Story Area: 1537 sf
Transparency: 00 sf
Required: 15.00%
Provided: 00.00%



Bldg C Rear Elevation

3/32" = 1'-0"

Total Facade Area* = 2,379 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,594	67.00%		
Glass Storefront	Primary	0	0.00%	80%	N
		1,594	67.00%		
Composite Siding	Secondary	785	33.00%		
Cementitious Panel	Secondary	0	0.00%		
		785	33.00%	<20%	N

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A12

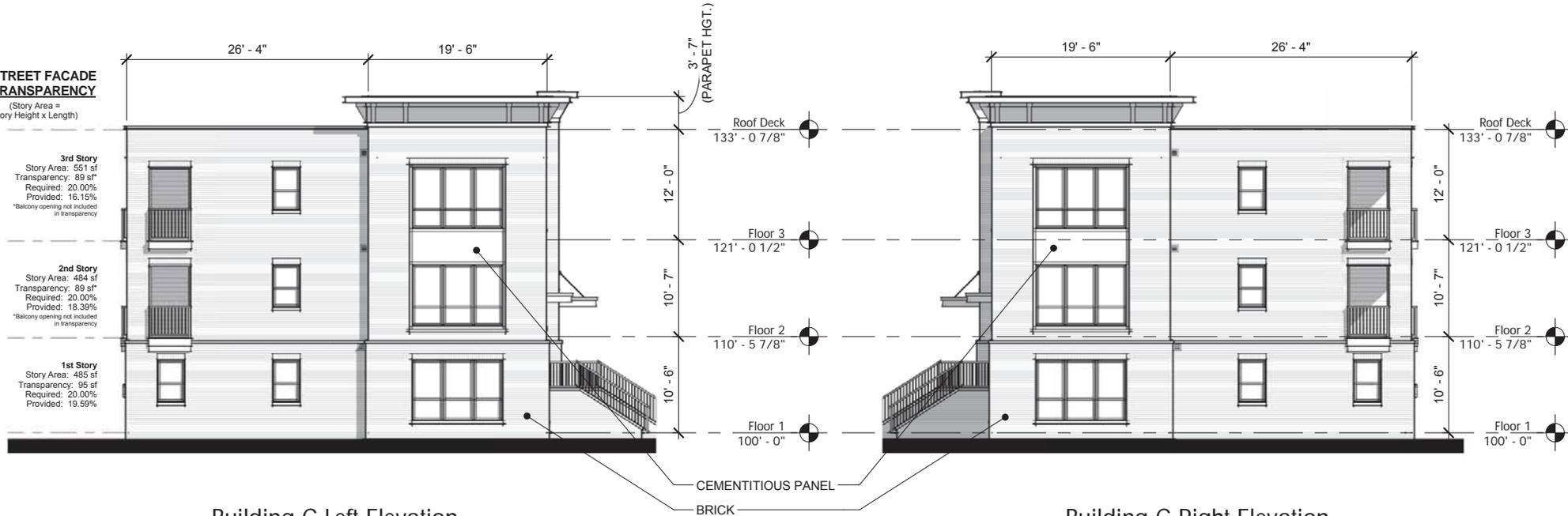
**STREET FACADE
TRANSPARENCY**

(Story Area =
Story Height x Length)

3rd Story
Story Area: 551 sf
Transparency: 89 sf*
Required: 20.00%
Provided: 16.15%
*Balcony opening not included
in transparency

2nd Story
Story Area: 484 sf
Transparency: 89 sf*
Required: 20.00%
Provided: 18.39%
*Balcony opening not included
in transparency

1st Story
Story Area: 485 sf
Transparency: 95 sf
Required: 20.00%
Provided: 19.59%



Building C Left Elevation

3/32" = 1'-0"

Building C Right Elevation

3/32" = 1'-0"

Total Facade Area* = 1,225 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,184	96.65%		
Glass Storefront	Primary	0	0.00%	80%	Y
		1,184	96.65%		
Composite Siding	Secondary	0	0.00%		
Cementitious Panel	Secondary	41	3.35%	<20%	Y
		41	3.35%		



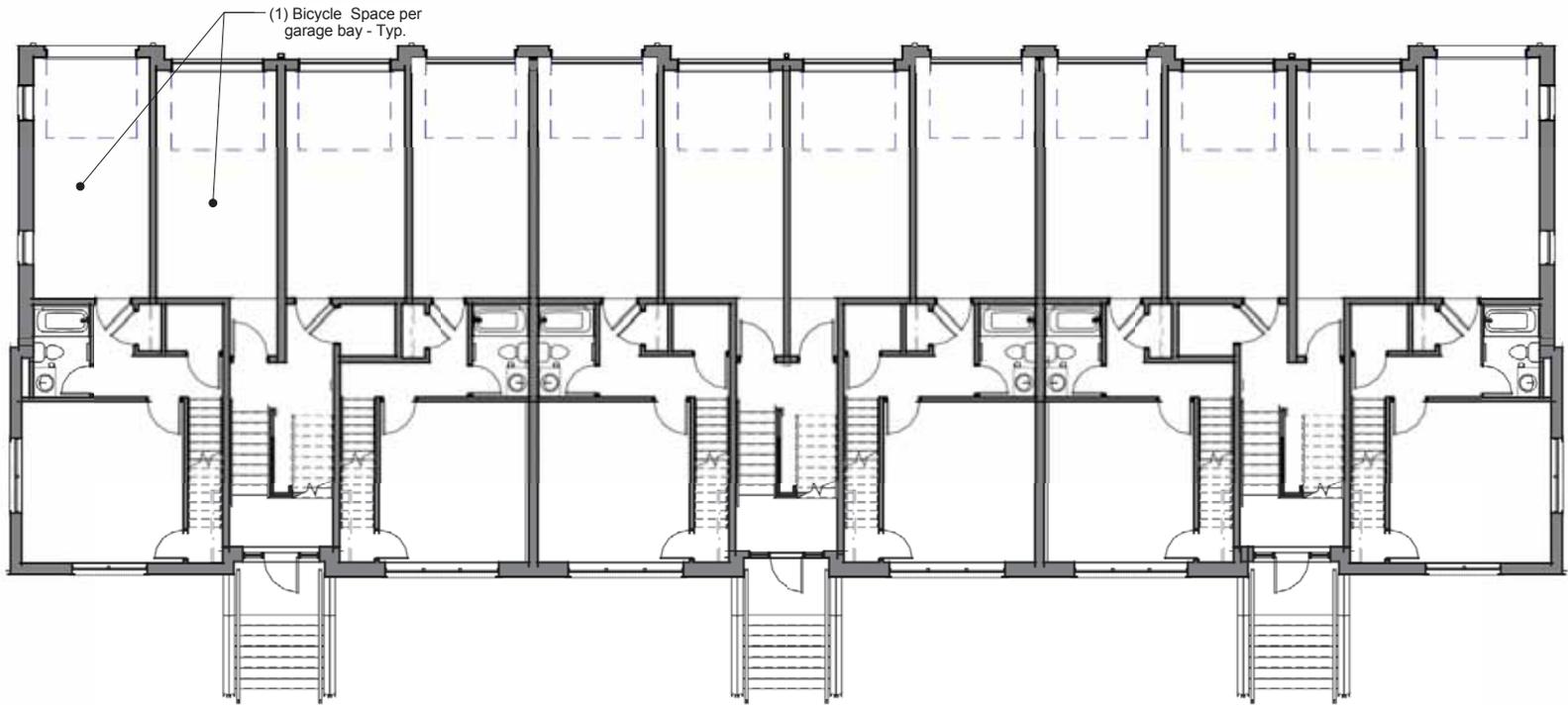
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A13



Floor 1 Plan

3/32" = 1'-0"

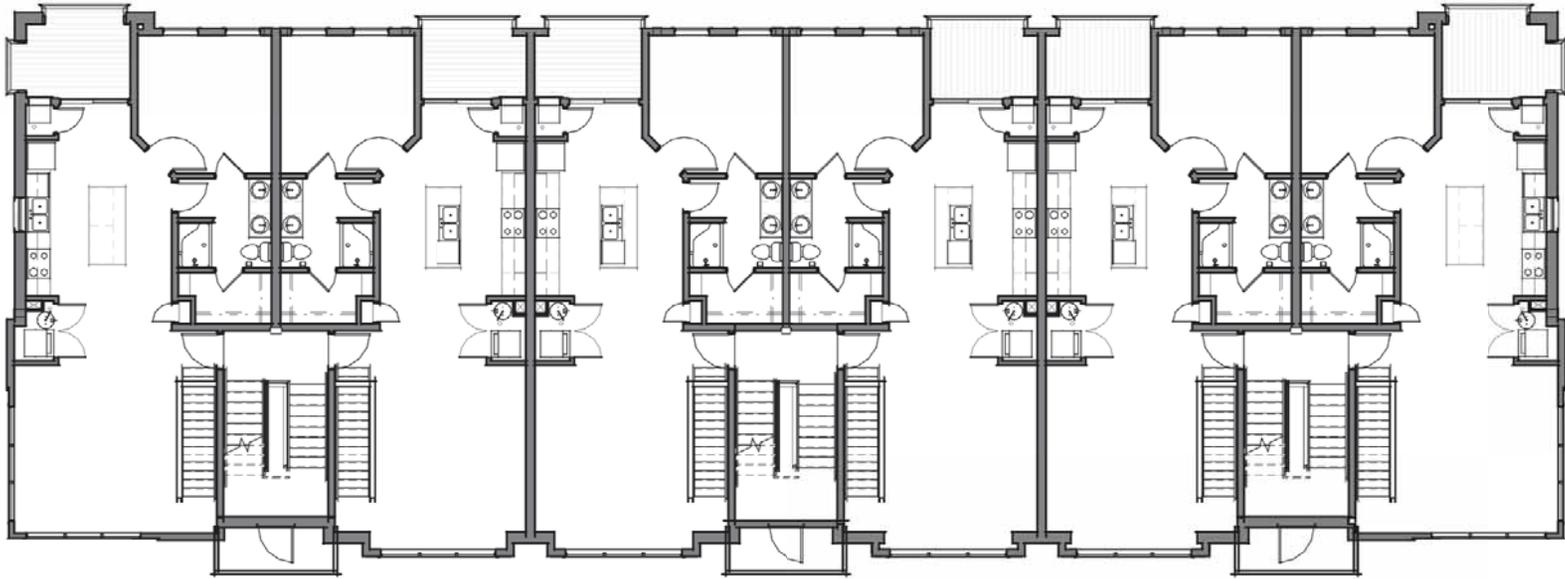
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A14



Floor 2 Plan
3/32" = 1'-0"

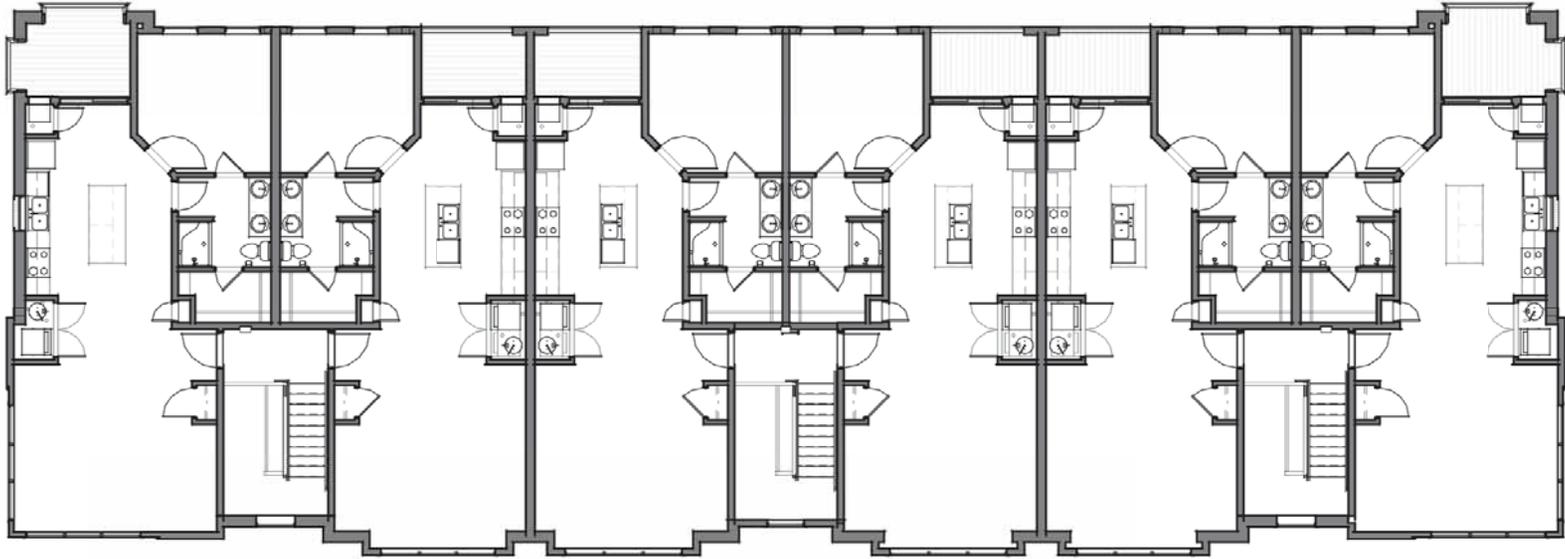
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A15



Floor 3 Plan
3/32" = 1'-0"

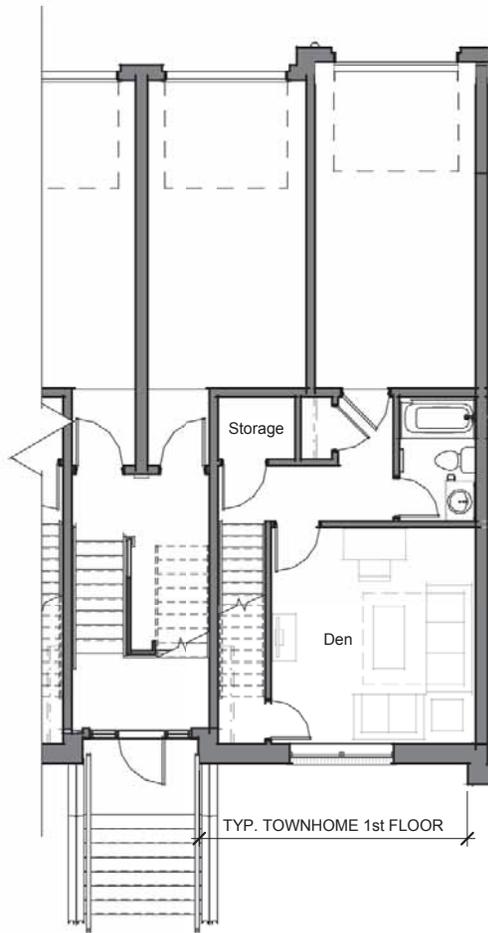
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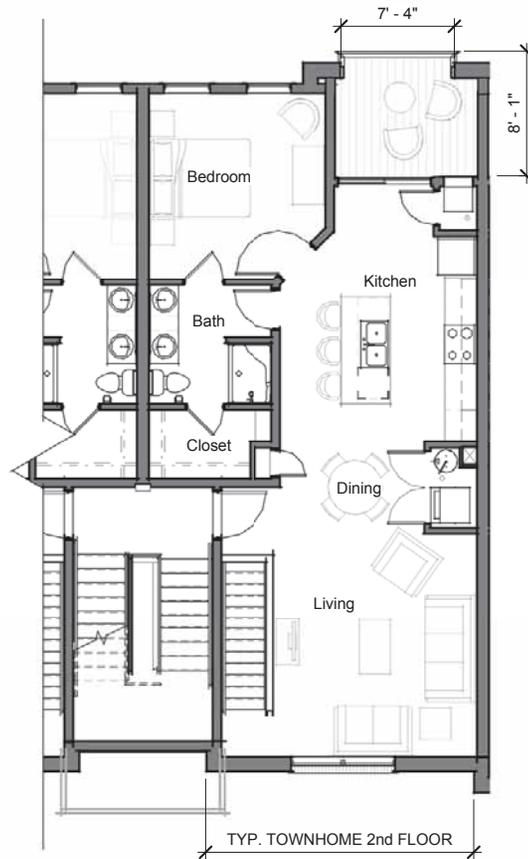


A16



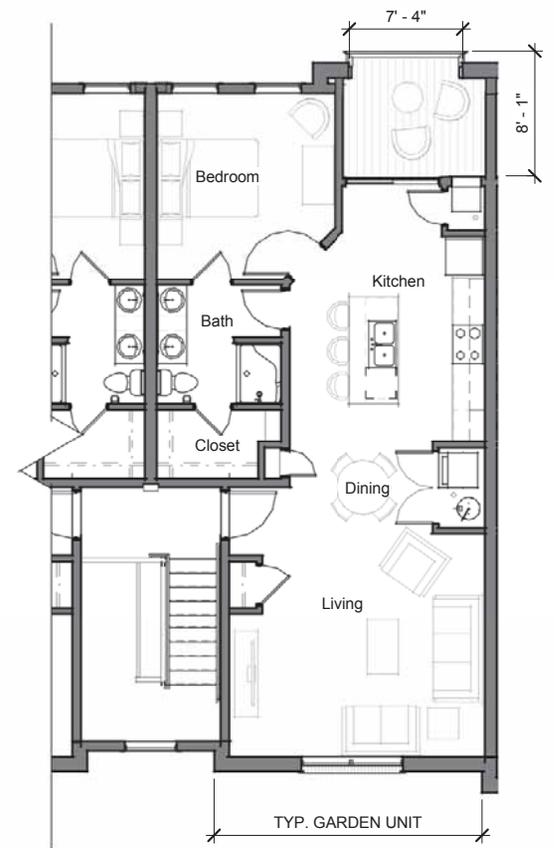
Unit Plan - Floor 1

1/8" = 1'-0"



Unit Plan - Floor 2

1/8" = 1'-0"



Unit Plan - Floor 3

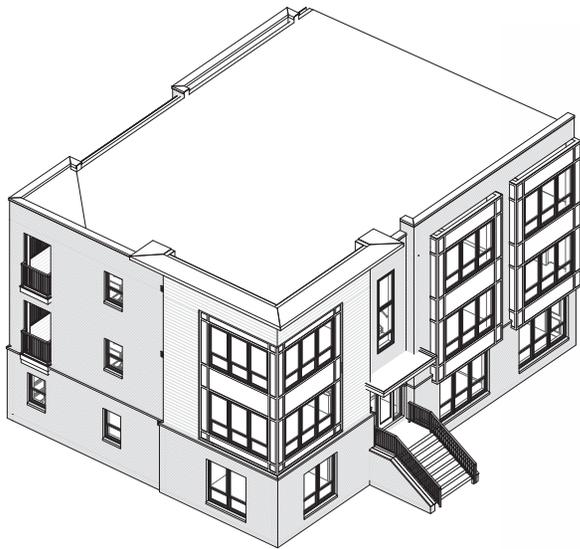
1/8" = 1'-0"



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Building A/B Partial Roof View



Building C Perspective



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Townhomes & Garden Apartments

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A18

STREET FACADE TRANSPARENCY

(Story Area = Story Height x Length)

3rd Story
 Story Area: 1664 sf
 Transparency: 693 sf
 Required: 20.00%
 Provided: 41.65%

2nd Story
 Story Area: 1558 sf
 Transparency: 647 sf
 Required: 20.00%
 Provided: 41.53%

1st Story
 Story Area: 1558 sf
 Transparency: 628 sf
 Required: 20.00%
 Provided: 40.31%



D & E Front Elevation

3/32" = 1'-0"

Total Facade Area* = 3,101 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,075	66.91%		
Glass Storefront	Primary	104	3.35%		
		2,179	70.27%	80%	N
Composite Siding	Secondary	195	6.29%		
Cementitious Panel	Secondary	727	23.44%		
		922	29.73%	<20%	N

- COMPOSITE SIDING
- CEMENTITIOUS PANEL
- BRICK



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Garden Units

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A19



D Rear Elevation

3/32" = 1'-0"

Total Facade Area* = 2,946 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,771	60.12%		
Glass Storefront	Primary	104	3.53%		
		1,875	63.65%	80%	N
Composite Siding	Secondary	344	11.68%		
Cementitious Panel	Secondary	727	24.68%		
		1,071	36.35%	<20%	N



Tuller Flats | Dublin, OH

Garden Units

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Updated: 3-2-2015

A20





**NON-STREET FACADE
TRANSPARENCY**

(Story Area =
Story Height x Length)

3rd Story
Story Area: 1664 sf
Transparency: 693 sf
Required: 15.00%
Provided: 41.65%

2nd Story
Story Area: 1558 sf
Transparency: 647 sf
Required: 15.00%
Provided: 41.53%

1st Story
Story Area: 1558 sf
Transparency: 224 sf
Required: 15.00%
Provided: 14.38%

E Rear Elevation*

3/32" = 1'-0"
*Mirrored as required per site plan

Total Facade Area* = 2,989 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,814	60.69%		
Glass Storefront	Primary	104	3.48%		
		1,918	64.17%	80%	N
Composite Siding	Secondary	344	11.51%		
Cementitious Panel	Secondary	727	24.32%		
		1,071	35.83%	<20%	N



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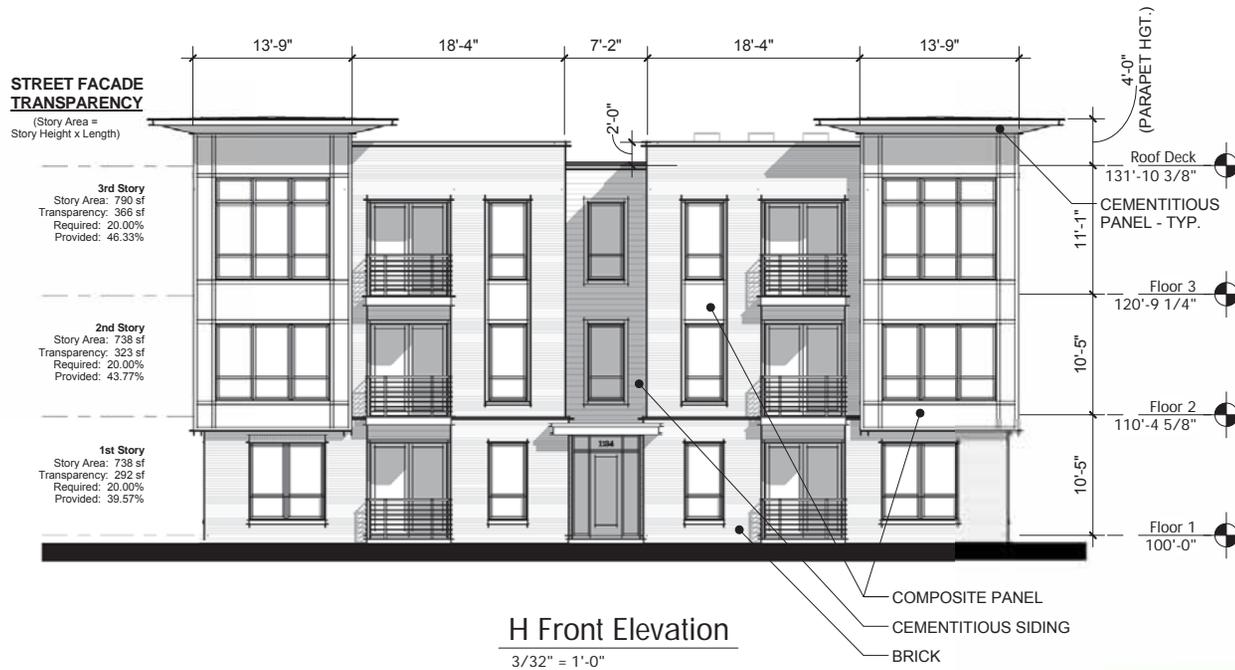
Garden Units

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Updated: 3-2-2015

A21





Total Facade Area* = 1,398 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	823	58.87%		
Glass Storefront	Primary	52	3.72%		
		875	62.59%	80%	N
Composite Siding	Secondary	103	7.37%		
Cementitious Panel	Secondary	420	30.04%		
		523	37.41%	<20%	N



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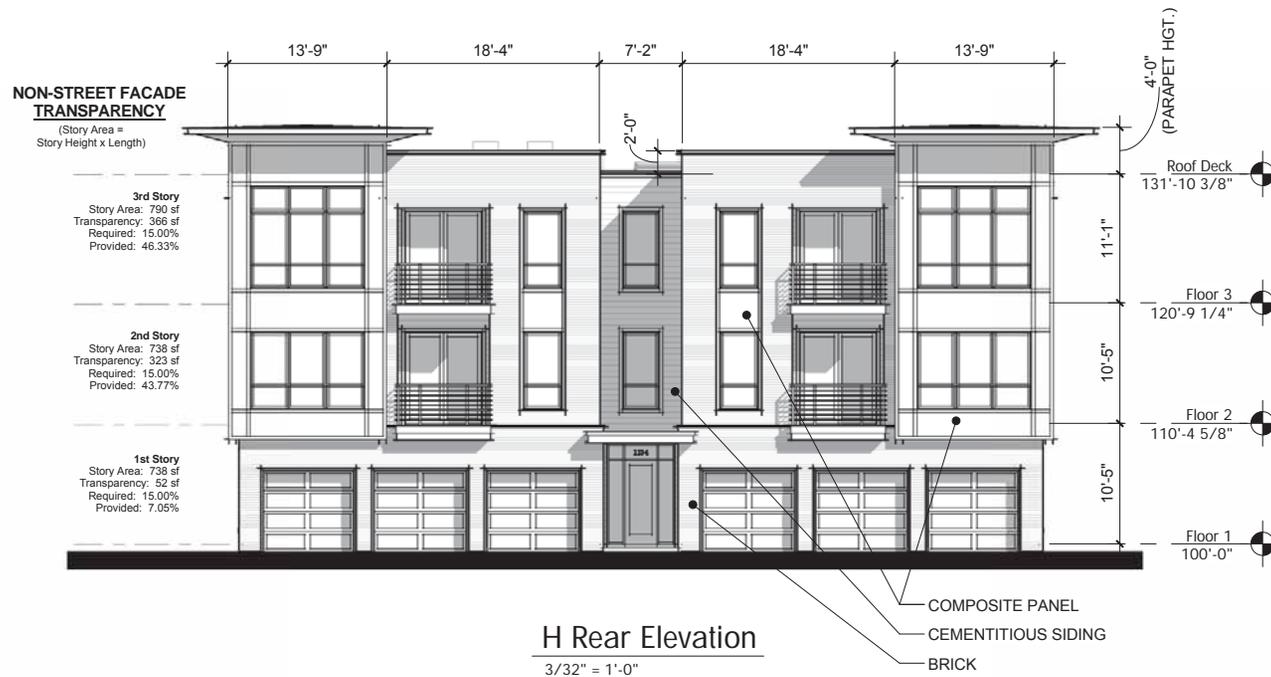
Garden Units

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Updated: 3-2-2015



A22



Total Facade Area* = 1,308 SF
*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	733	56.04%		
Glass Storefront	Primary	52	3.98%		
		785	60.02%	80%	N
Composite Siding	Secondary	103	7.87%		
Cementitious Panel	Secondary	420	32.11%		
		523	39.98%	<20%	N

Tuller Flats | Dublin, OH

Garden Units

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Updated: 3-2-2015



A23

STREET FACADE TRANSPARENCY

(Story Area = Story Height x Length)

3rd Story
Story Area: 611 sf
Transparency: 221 sf
Required: 20.00%
Provided: 36.17%

2nd Story
Story Area: 572 sf
Transparency: 178 sf
Required: 20.00%
Provided: 31.12%

1st Story
Story Area: 572 sf
Transparency: 133 sf
Required: 20.00%
Provided: 23.25%



E Left Elevation

3/32" = 1'-0"

STREET FACADE TRANSPARENCY

(Story Area = Story Height x Length)

3rd Story
Story Area: 611 sf
Transparency: 221 sf
Required: 20.00%
Provided: 36.17%

2nd Story
Story Area: 572 sf
Transparency: 178 sf
Required: 20.00%
Provided: 31.12%

1st Story
Story Area: 572 sf
Transparency: 111 sf
Required: 20.00%
Provided: 19.41%



D & H Right Elevation*

3/32" = 1'-0"

*Mirror of Left Elevation; Bldg G Right Elevation - refer to site plan

Total Facade Area* = 1,378 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	984	71.41%		
Glass Storefront	Primary	0	0.00%	80%	N
		984	71.41%		
Composite Siding	Secondary	0	0.00%		
Cementitious Panel	Secondary	394	28.59%	<20%	N
		394	28.59%		

Total Facade Area* = 1,400 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,006	71.86%		
Glass Storefront	Primary	0	0.00%	80%	N
		1,006	71.86%		
Composite Siding	Secondary	0	0.00%		
Cementitious Panel	Secondary	394	28.14%	<20%	N
		394	28.14%		



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Garden Units

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A24

STREET FACADE TRANSPARENCY

(Story Area = Story Height x Length)

3rd Story
Story Area: 1640 sf
Transparency: 711 sf
Required: 20.00%
Provided: 43.35%

2nd Story
Story Area: 1542 sf
Transparency: 624 sf
Required: 20.00%
Provided: 40.47%

1st Story
Story Area: 1542 sf
Transparency: 628 sf
Required: 20.00%
Provided: 40.73%



F & G Front Elevation

3/32" = 1'-0"

Total Facade Area* = 2,928 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,438	83.27%		
Glass Storefront	Primary	104	3.55%		
		2,542	86.82%	80%	Y
Composite Siding	Secondary	195	6.66%		
Cementitious Panel	Secondary	191	6.52%		
		386	13.18%	<20%	Y



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Garden Units

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A25

NON-STREET FACADE TRANSPARENCY
(Story Area = Story Height x Length)

3rd Story
Story Area: 1640 sf
Transparency: 711 sf
Required: 15.00%
Provided: 43.35%

2nd Story
Story Area: 1542 sf
Transparency: 624 sf
Required: 15.00%
Provided: 40.47%

1st Story
Story Area: 1542 sf
Transparency: 104 sf
Required: 15.00%
Provided: 6.74%



F Rear Elevation
3/32" = 1'-0"

Total Facade Area* = 2,773 SF
*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,283	82.33%		
Glass Storefront	Primary	104	3.75%	80%	Y
		2,387	86.08%		
Composite Siding	Secondary	195	7.03%		
Cementitious Panel	Secondary	191	6.89%		
		386	13.92%	<20%	Y



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A26

NON-STREET FACADE TRANSPARENCY
(Story Area = Story Height x Length)

3rd Story
Story Area: 1640 sf
Transparency: 711 sf
Required: 15.00%
Provided: 43.35%

2nd Story
Story Area: 1542 sf
Transparency: 624 sf
Required: 15.00%
Provided: 40.47%

1st Story
Story Area: 1542 sf
Transparency: 224 sf
Required: 15.00%
Provided: 14.53%



G Rear Elevation*

3/32" = 1'-0"
*Mirrored as required per site plan

Total Facade Area* = 2,817 SF
*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,327	82.61%		
Glass Storefront	Primary	104	3.69%		
		2,431	86.30%	80%	Y
Composite Siding	Secondary	195	6.92%		
Cementitious Panel	Secondary	191	6.78%		
		386	13.70%	<20%	Y



Tuller Flats | Dublin, OH

Garden Units

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Updated: 3-2-2015

A27





J Front Elevation
3/32" = 1'-0"

Total Facade Area* = 1,321 SF
*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,088	82.36%		
Glass Storefront	Primary	52	3.94%		
		1,140	86.30%	80%	Y
Composite Siding	Secondary	98	7.42%		
Cementitious Panel	Secondary	83	6.28%		
		181	13.70%	<20%	Y



Tuller Flats | Dublin, OH

Garden Units

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A28

**NON-STREET FACADE
TRANSPARENCY**

(Story Area =
Story Height x Length)

3rd Story
Story Area: 764 sf
Transparency: 290 sf
Required: 15.00%
Provided: 37.96%

2nd Story
Story Area: 721 sf
Transparency: 290 sf
Required: 15.00%
Provided: 40.22%

1st Story
Story Area: 721 sf
Transparency: 52 sf
Required: 15.00%
Provided: 7.21%



J Rear Elevation

3/32" = 1'-0"

- CEMENTITIOUS PANEL
- COMPOSITE SIDING
- BRICK

Total Facade Area* = 1,233 SF

*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,000	81.10%		
Glass Storefront	Primary	52	4.22%	80%	Y
		1,052	85.32%		
Composite Siding	Secondary	98	7.95%		
Cementitious Panel	Secondary	83	6.73%		
		181	14.68%	<20%	Y



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A29



STREET FACADE TRANSPARENCY
(Story Area = Story Height x Length)

3rd Story
Story Area: 586 sf
Transparency: 145 sf
Required: 20.00%
Provided: 24.74%

2nd Story
Story Area: 549 sf
Transparency: 145 sf
Required: 20.00%
Provided: 26.41%

1st Story
Story Area: 572 sf
Transparency: 133 sf
Required: 20.00%
Provided: 24.23%



G Left Elevation
3/32" = 1'-0"

STREET FACADE TRANSPARENCY
(Story Area = Story Height x Length)

3rd Story
Story Area: 586 sf
Transparency: 145 sf
Required: 20.00%
Provided: 24.74%

2nd Story
Story Area: 549 sf
Transparency: 145 sf
Required: 20.00%
Provided: 26.41%

1st Story
Story Area: 549 sf
Transparency: 111 sf
Required: 20.00%
Provided: 20.22%



F & J Right Elevation*
3/32" = 1'-0"
*Mirror of Left Elevation; Bldg G Right Elevation - refer to site plan

Total Facade Area* = 1,406 SF
*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,352	96.16%		
Glass Storefront	Primary	0	0.00%	80%	Y
		1,352	96.16%		
Composite Siding	Secondary	0	0.00%		
Cementitious Panel	Secondary	54	3.84%	<20%	Y
		54	3.84%		

Total Facade Area* = 1,428 SF
*Windows/Doors not included in Facade Area

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,374	96.22%		
Glass Storefront	Primary	0	0.00%	80%	Y
		1,374	96.22%		
Composite Siding	Secondary	0	0.00%		
Cementitious Panel	Secondary	54	3.78%	<20%	Y
		54	3.78%		



Tuller Flats | Dublin, OH

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Bldg D/F Floor 1 Plan

3/32" = 1'-0"

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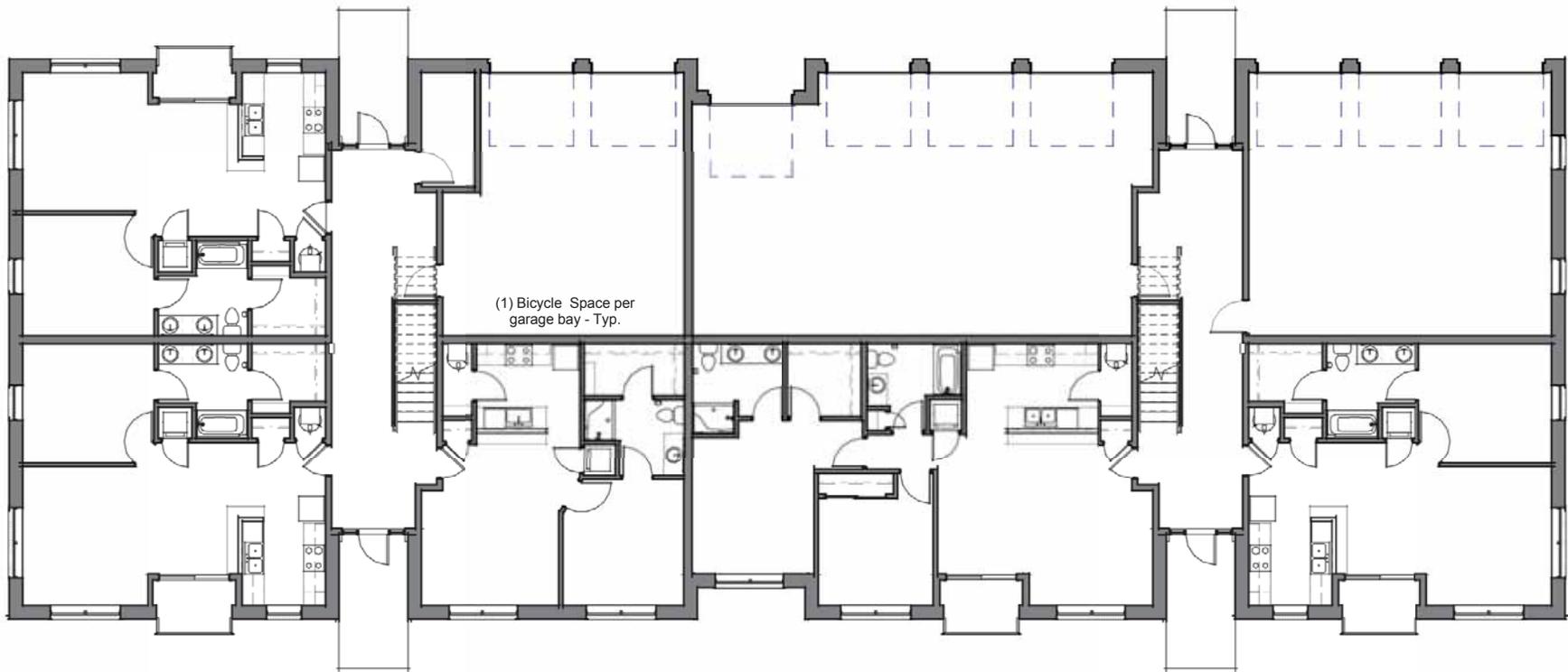
Garden Units

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Updated: 3-2-2015



A31



Bldg E/G Floor 1 Plan*

3/32" = 1'-0"

*Mirrored as required per site plan

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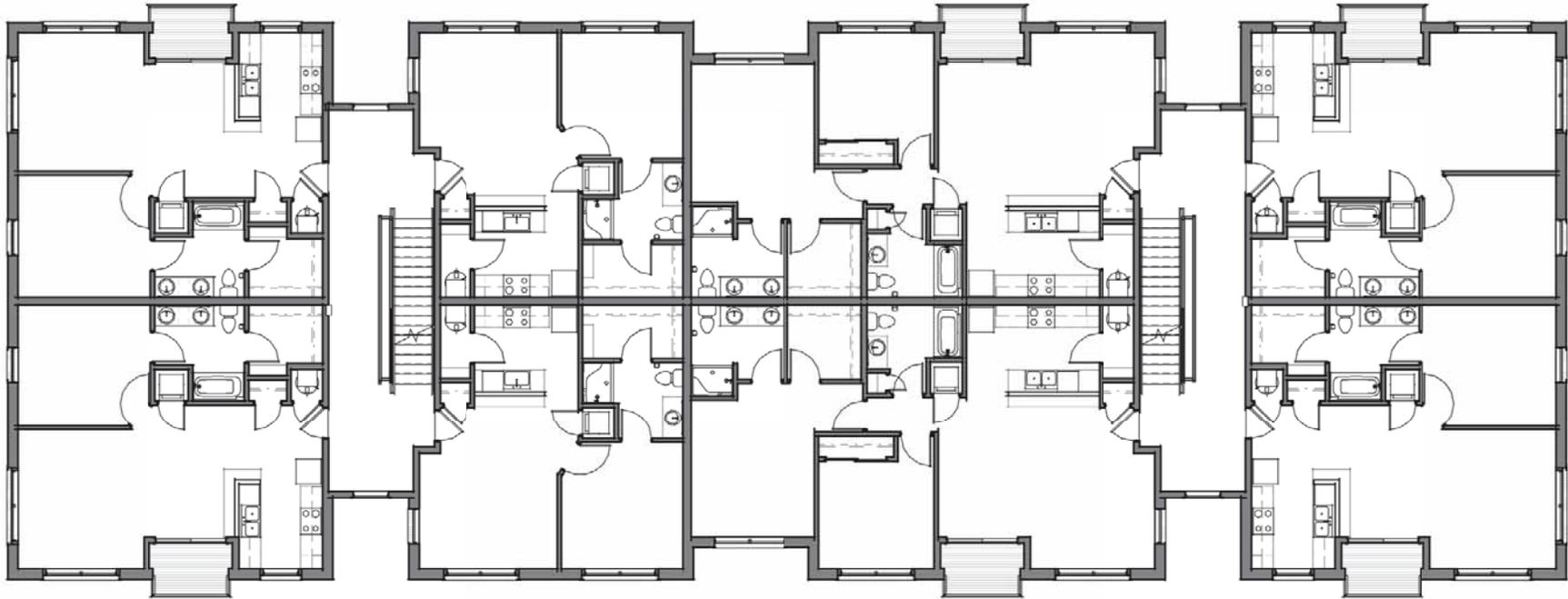
Garden Units

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A32



Floor 2 & 3 Plan

3/32" = 1'-0"

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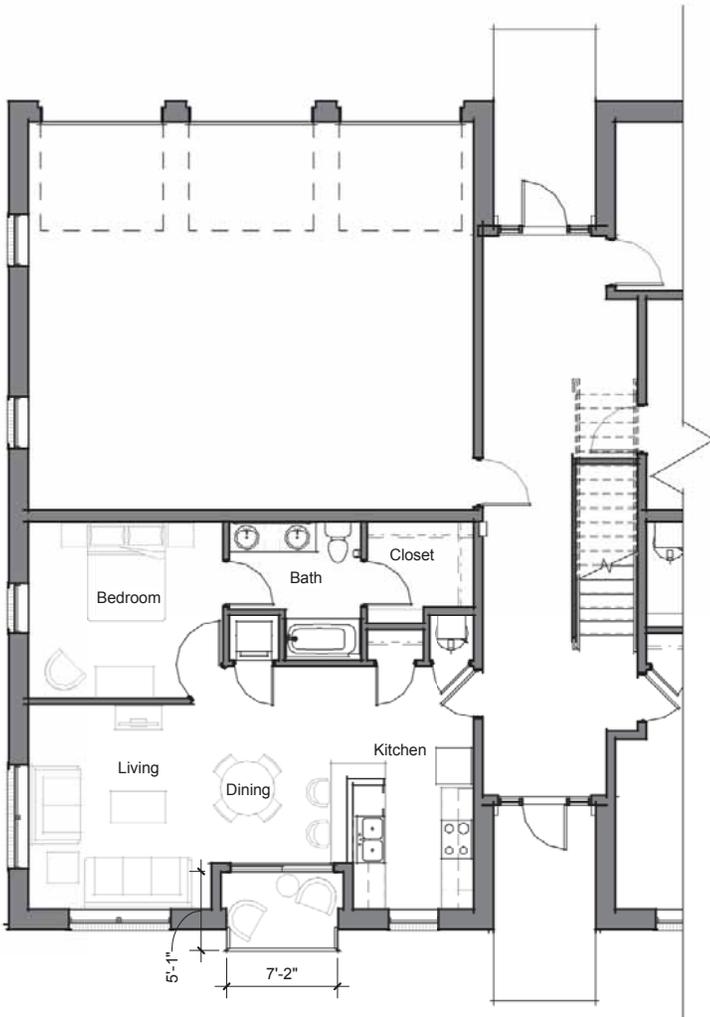
Garden Units

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Updated: 3-2-2015

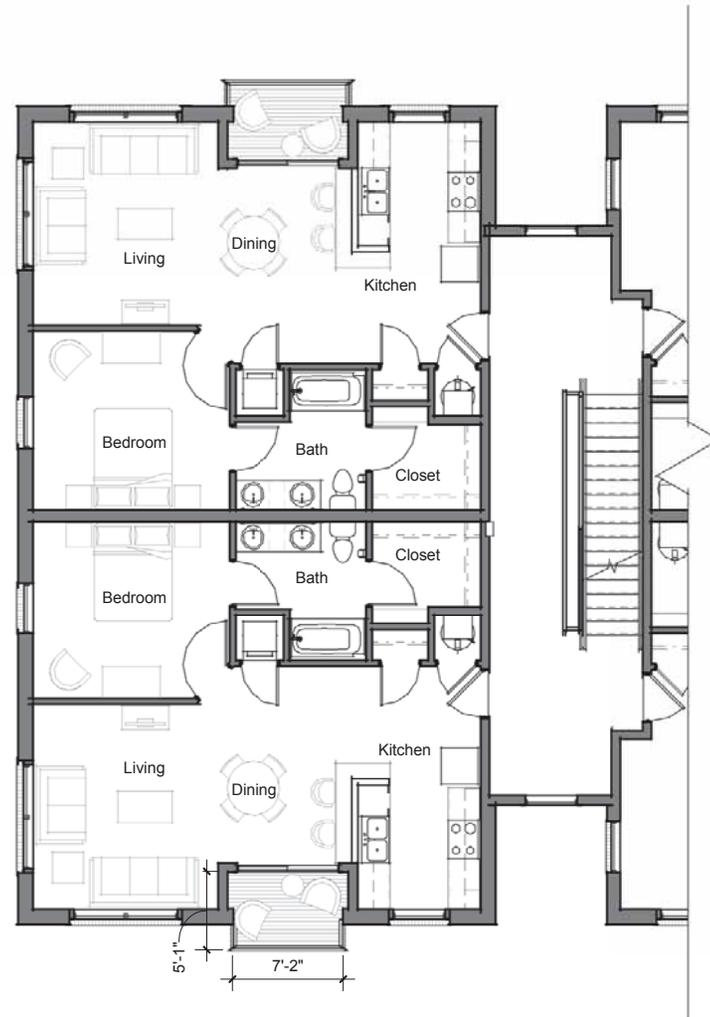


A33



Unit Plan - Floor 1

1/8" = 1'-0"



Unit Plan - Floor 2 & 3

1/8" = 1'-0"

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Garden Units

2-12-2015

Updated: 3-2-2015



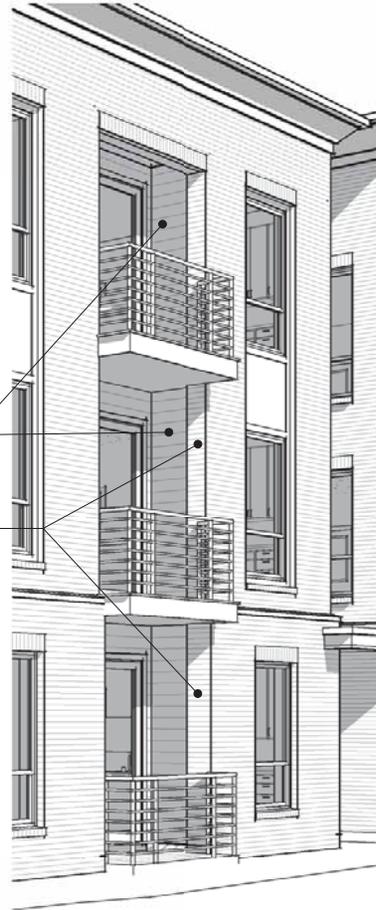
A34



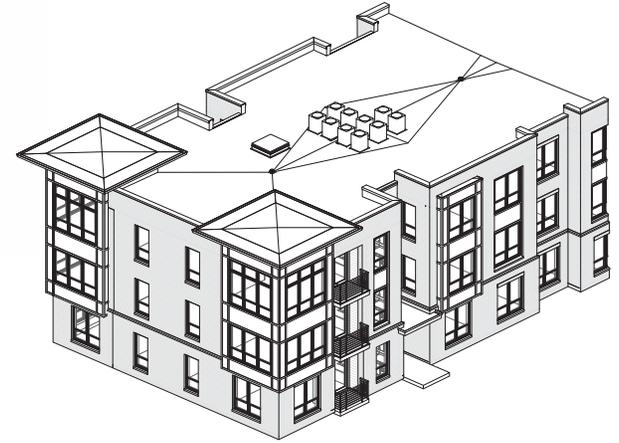
Building D Perspective

COMPOSITE
SIDING

1'-0" BRICK
RETURN - TYP.



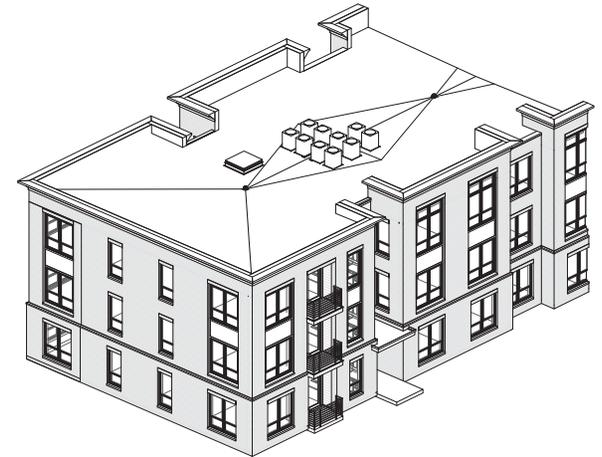
Typ. Material Transition at Balcony



Building D Roof View



Building F Perspective



Building F Roof View

Tuller Flats | Dublin, OH

Garden Units

2-12-2015

Updated: 3-2-2015



A35



Scheme 1		
Material	Manufacturer	Color / Model
Brick	Boral	St Lorain - Queen
Mortar	Flamingo Brixment	Type N - Soft White
Siding, Panels & Trim*	Sherwin-Williams	Web Gray SW7075
Windows	Hurd Super Seal	Bronze
Coping	Dimensional Metals, Inc	Classic Bronze
Storefront	Kawneer	Bronze 40
Exterior Metal	Sherwin-Williams	Black Fox SW7020

Scheme 2		
Material	Manufacturer	Color / Model
Brick	Boral	Sugar Creek - Queen
Mortar	Cemex Richcolor	Type N - Gray
Siding, Panels & Trim*	Sherwin-Williams	Gauntlet Gray SW7019
Windows	Hurd Super Seal	Bronze
Coping	Dimensional Metals, Inc	Classic Bronze
Storefront	Kawneer	Bronze 40
Exterior Metal	Sherwin-Williams	Black Fox SW7020

Scheme 3		
Material	Manufacturer	Color / Model
Brick	Boral	Ocean Isle - Queen
Mortar	Cemex Richcolor	Type N - Gray
Siding, Panels & Trim*	Sherwin-Williams	Backdrop SW7025
Windows	Hurd Super Seal	Bronze
Coping	Dimensional Metals, Inc	Classic Bronze
Storefront	Kawneer	Bronze 40
Exterior Metal	Sherwin-Williams	Black Fox SW7020

Scheme 4		
Material	Manufacturer	Color / Model
Brick	Glen-Gery	Cedar Lake - Queen
Mortar	Cemex Richcolor	Type N - Gray
Siding, Panels & Trim*	Sherwin-Williams	Mega Greige SW7031
Windows	Hurd Super Seal	Bronze
Coping	Dimensional Metals, Inc	Classic Bronze
Storefront	Kawneer	Bronze 40
Exterior Metal	Sherwin-Williams	Black Fox SW7020

*Siding: Boral TruExterior Siding

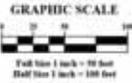
Tuller Flats | Dublin, OH

Material Schedule

2-12-2015

Updated: 3-2-2015





John Shields - Primary Facades

BUILDING	BRICK (Primary)		Storefront (Primary)		SIDING		PANEL		NET* (SF)
	(SF)	(%)	(SF)	(%)	(SF)	(%)	(SF)	(%)	
North	9373	68.45%	462	3.37%	1758	12.84%	2101	15.34%	13694
South	27603	76.94%	1172	3.27%	2430	6.77%	4670	13.02%	35875
TOTAL	36976	74.60%	1634	3.30%	4188	8.45%	6771	13.66%	49569

Total Primary Materials on John Shields Pkwy: **77.89%**

Site Primary Facades

BUILDING	BRICK (Primary)		Storefront (Primary)		SIDING		PANEL		NET* (SF)
	(SF)	(%)	(SF)	(%)	(SF)	(%)	(SF)	(%)	
TOTAL	83984	76.75%	3482	3.18%	8833	8.07%	16608	15.18%	109425

Total Primary Materials on all Primary Facades: **79.93%**

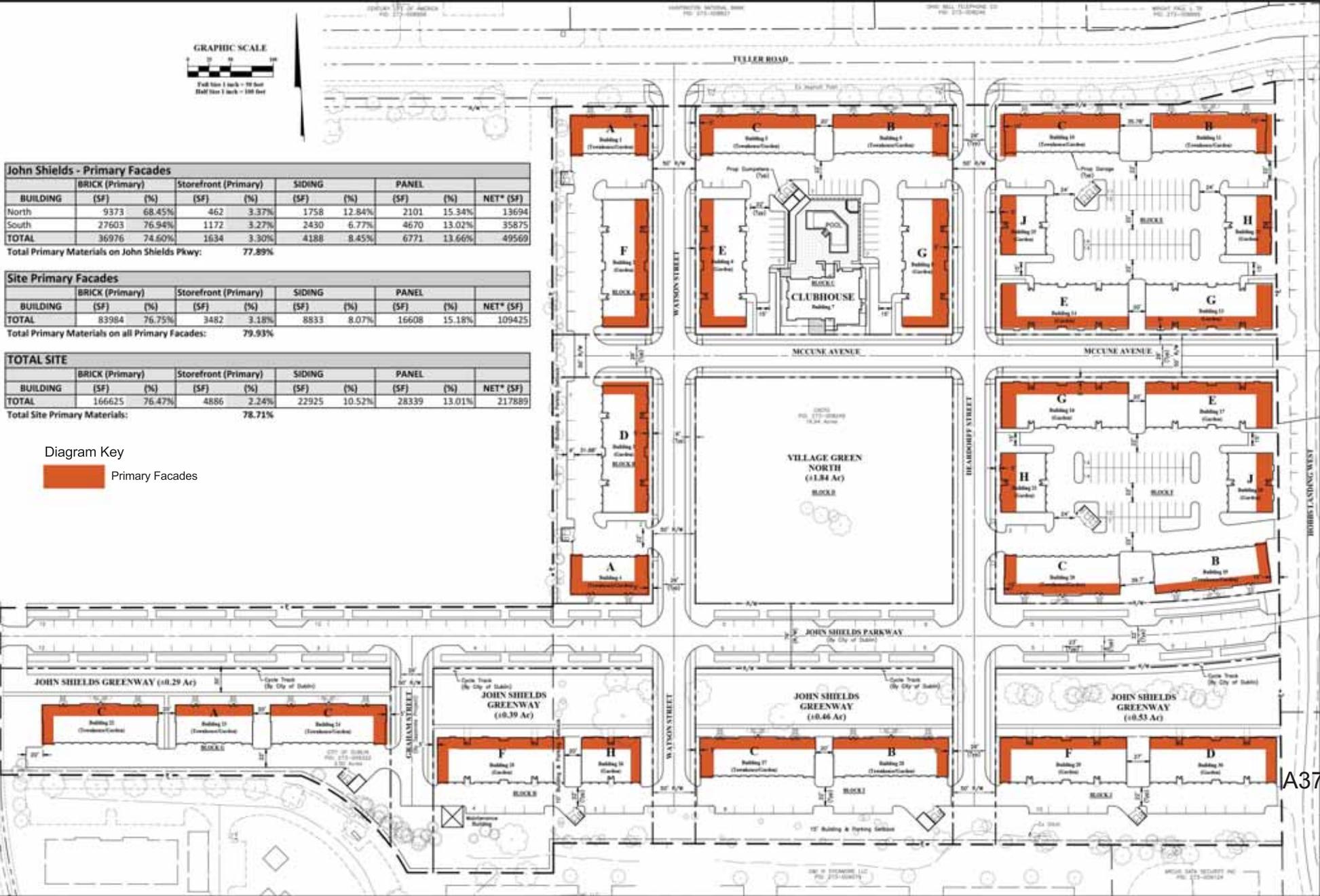
TOTAL SITE

BUILDING	BRICK (Primary)		Storefront (Primary)		SIDING		PANEL		NET* (SF)
	(SF)	(%)	(SF)	(%)	(SF)	(%)	(SF)	(%)	
TOTAL	166625	76.47%	4886	2.24%	22925	10.52%	28339	13.01%	217889

Total Site Primary Materials: **78.71%**

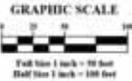
Diagram Key

Primary Facades



CASTO
 CITY OF BEREN, BRANKIN COUNTY, ARMO
 DEVELOPMENT PLAN & SITE PLAN
 TULLER FLATS
 SITE PLAN
 EMHT
 February 12, 2018
 Full Size: 1" = 30'
 Half Size: 1" = 150'
 SHEET

A37



John Shields - Primary Facades

BUILDING	BRICK (Primary) (SF)	(%)	Storefront (Primary) (SF)	(%)	SIDING (SF)	(%)	PANEL (SF)	(%)	NET* (SF)
North	9373	68.45%	462	3.37%	1758	12.84%	2101	15.34%	13694
South	27603	76.94%	1172	3.27%	2430	6.77%	4670	13.02%	35875
TOTAL	36976	74.60%	1634	3.30%	4188	8.45%	6771	13.66%	49569

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Site Primary Facades

BUILDING	BRICK (Primary) (SF)	(%)	Storefront (Primary) (SF)	(%)	SIDING (SF)	(%)	PANEL (SF)	(%)	NET* (SF)
TOTAL	83984	76.75%	3482	3.18%	8833	8.07%	16608	15.18%	109425

Total Primary Materials on all Primary Facades: **79.93%**

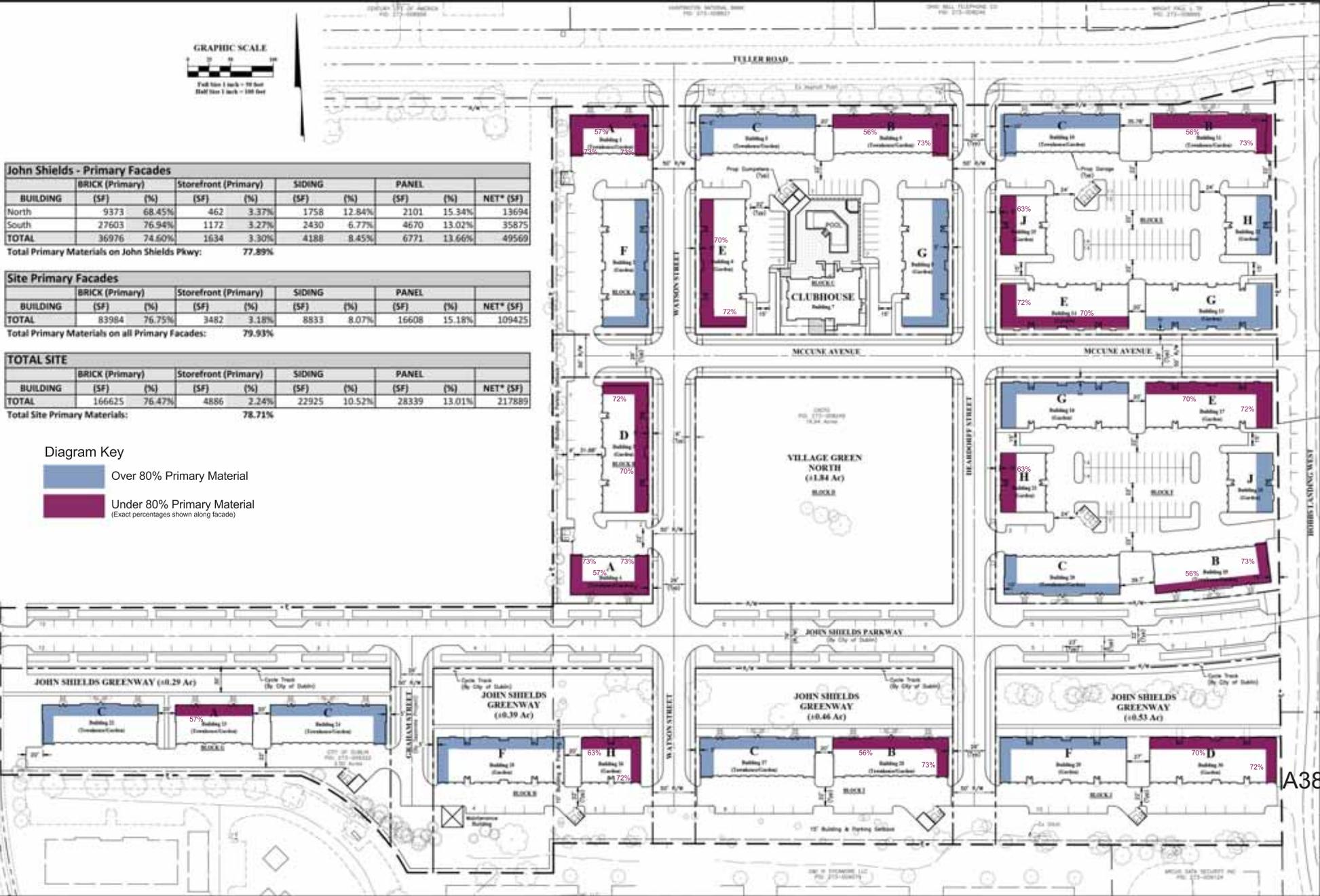
TOTAL SITE

BUILDING	BRICK (Primary) (SF)	(%)	Storefront (Primary) (SF)	(%)	SIDING (SF)	(%)	PANEL (SF)	(%)	NET* (SF)
TOTAL	166625	76.47%	4886	2.24%	22925	10.52%	28339	13.01%	217889

Total Site Primary Materials: **78.71%**

Diagram Key

- Over 80% Primary Material
- Under 80% Primary Material
(Exact percentages shown along facade)



CASTO
 CITY OF BIRMGHAM COUNTY, ARIZONA
 DEVELOPMENT PLAN SITE PLAN
TULLER FLATS
 SITE PLAN
 EMHT
 February 13, 2018
 Full Size: 1" = 10'
 Half Size: 1/4" = 10'
 SCALE
 SHEET

A38



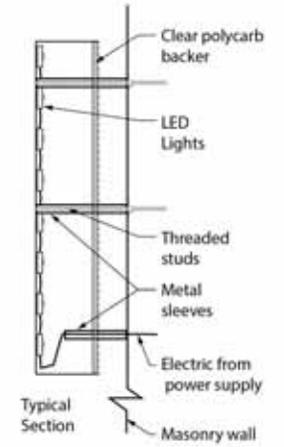
Ground Sign, Typical daytime view



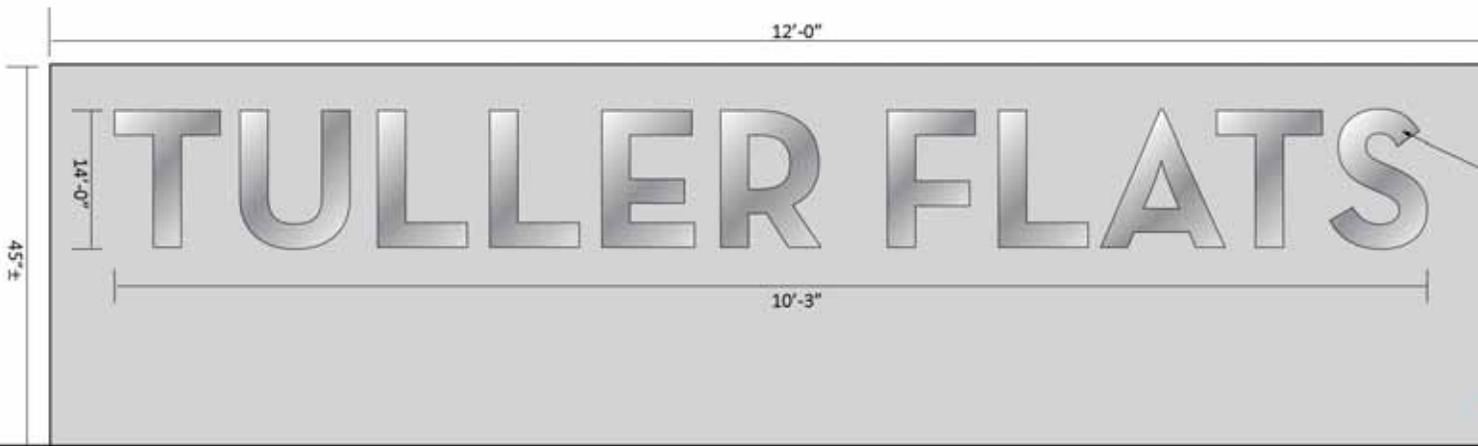
Ground Sign, Typical night-time view



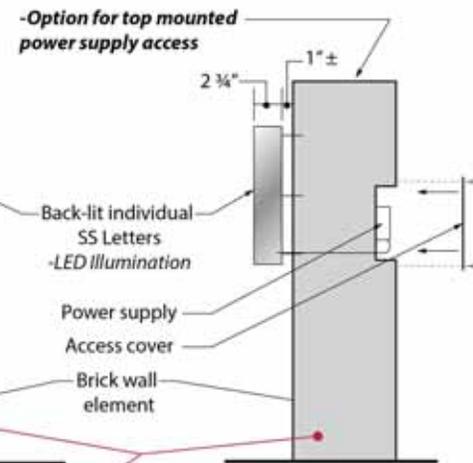
Typical Iso view



Typical Section



Elevation



Side/section -Typical

Ground sign with Dimensional stainless steel halo illuminated lettering, Qty 4 Sets

- Custom fabricated stainless steel letters attached to masonry ground sign structure
- Letters attached to masonry with threaded SS studs and adhesive into pre-drilled holes
- Individual letters have internal **BLUE LED lights** providing halo illumination at night and remote power supplies as needed
- Font: Custom as per customer provided horizontal layout, 16" tall with 2 3/4" returns and 1" stand-offs



1515 E. Fifth Ave. Columbus, OH. 43219 P: (614) 252-3133 F: (614) 252-2494

Revised 03/02/15 Scale: _____
 Revised _____ Salesperson: BH AFR
 U/I Required YES NO Drawn By: TN

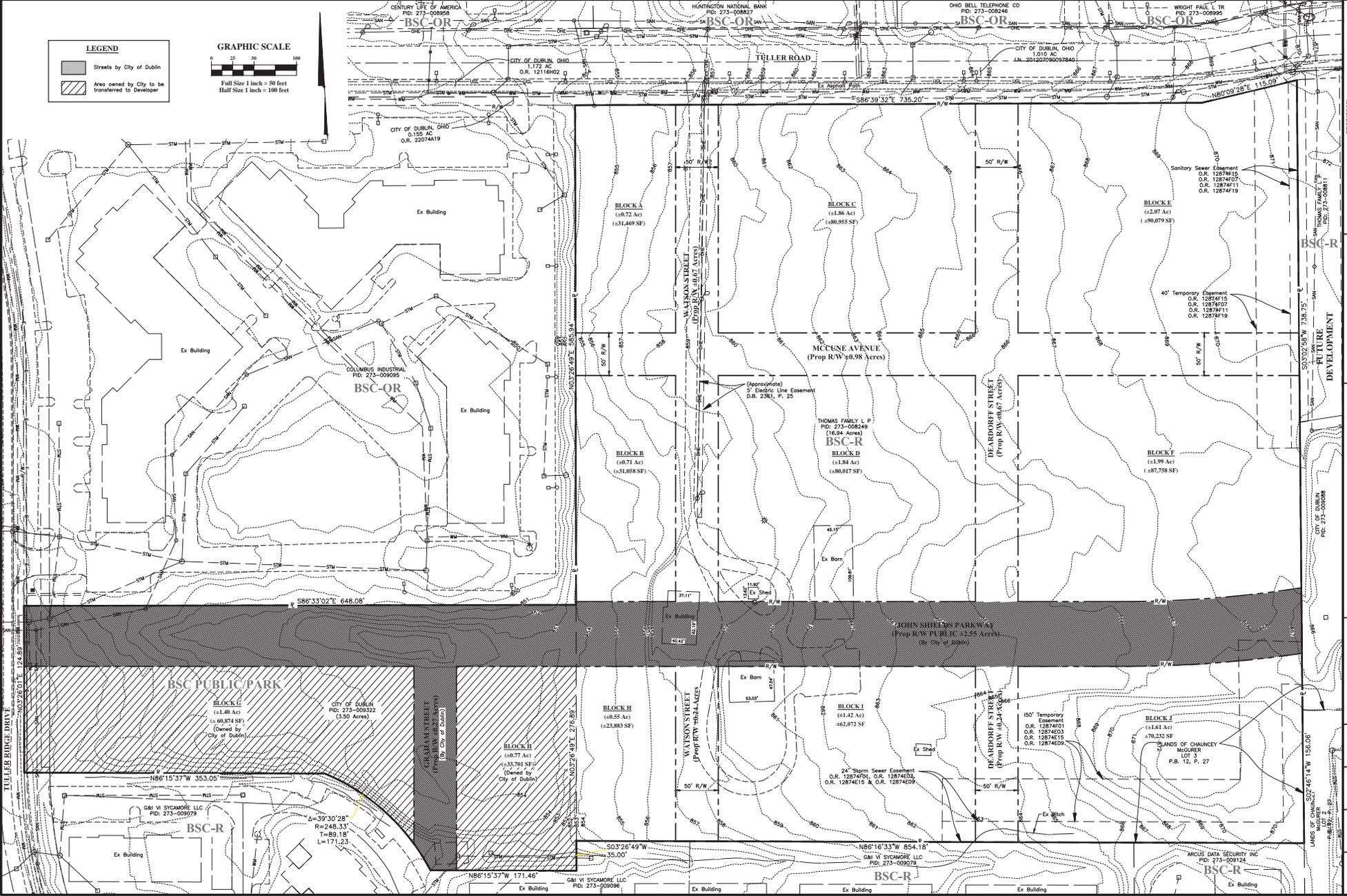
Approved for installation by: _____ / /

Client: **CASIO -Tuller Flats, Dublin, Ohio**



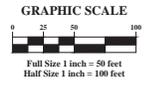
Date: 02/12/15 Dwg: 15-039
 Job #: _____ Page: 2





LEGEND

- Streets by City of Dublin
- Area owned by City to be transferred to Developer



EMHT
Engineering, Inc.
10000 Woodloch Forest Dr., Dublin, OH 43017
Tel: 614-233-8800
Fax: 614-233-8801
www.emht.com

DATE: February 12, 2015

SCALE:
Full Size: 1" = 50'
Half Size: 1" = 100'

JOB NO.: 2013-1546

SHEET: PP-2

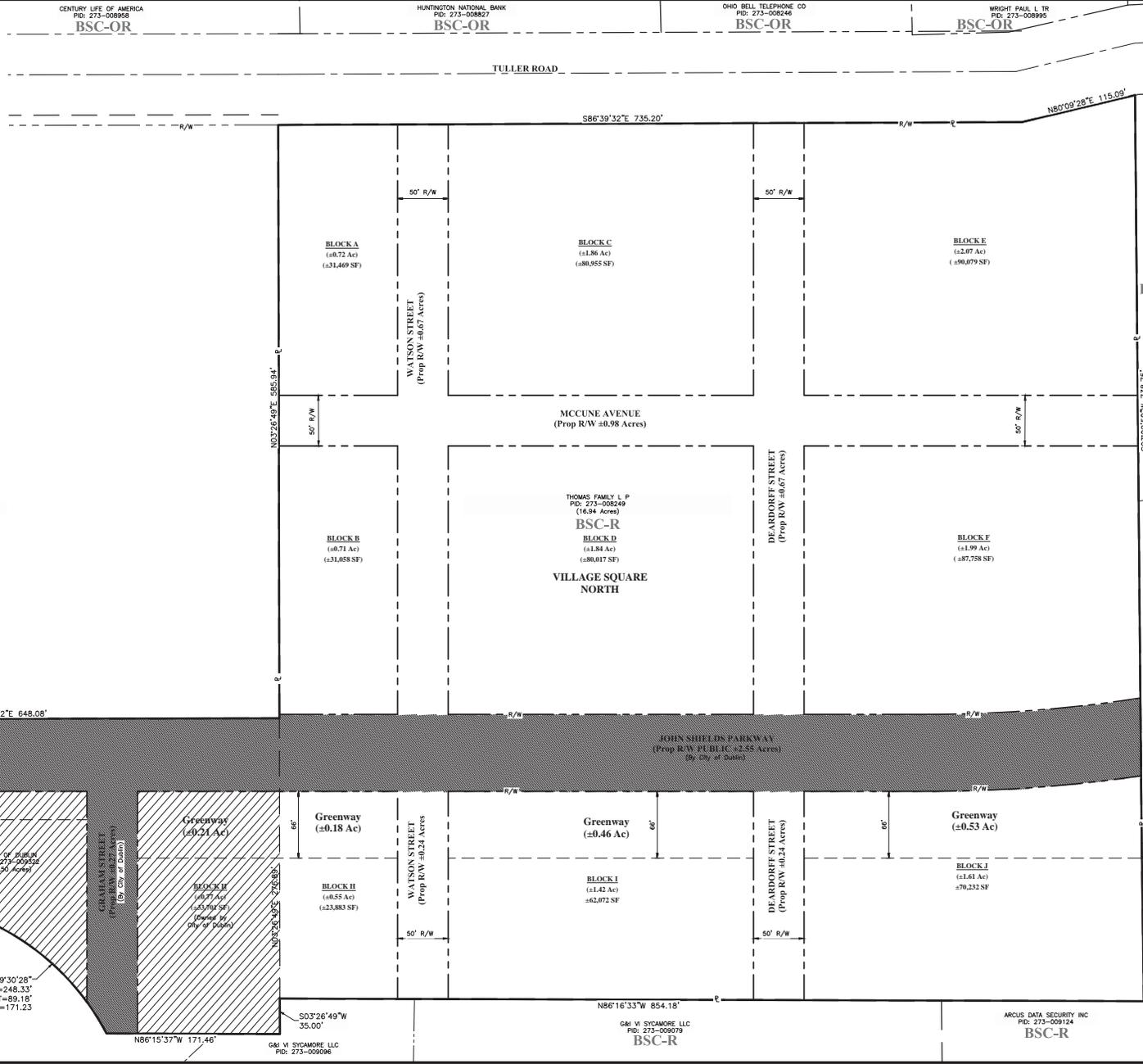
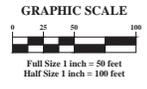
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAT
TULLER FLATS
PRELIMINARY PLAT DETAIL

CASTRO

A:\2013\1546\1546.dwg - Preliminary Plat - Revised - 2/28/2014 11:12 AM Last Printed By: Gina Spadon 3/2/2014 10:36 PM (Site 3941)

LEGEND

- Streets by City of Dublin
- Area owned by City to be transferred to Costo



STATE	DATE	DESCRIPTION
OHIO	12/12/2015	PRELIMINARY PLAT

DATE: February 12, 2015

SCALE: Full Size: 1" = 50'
Half Size: 1" = 100'

JOB NO.: 2013-1546

SHEET: PP-3

COSTO

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAT
TULLER FLATS
 PRELIMINARY PLAT

EMHT
 ENGINEERING & ARCHITECTURE
 10000 W. STATE ST., SUITE 100, COLUMBUS, OHIO 43240
 (614) 861-1111

TULLER FLATS

FINAL PLAT

Situated in the State of Ohio, County of Franklin, City of Dublin and in Lot 16, Quarter Township 2, Township 2, Range 19, containing 20.444 acres of land, more or less, said 20.444 acres being a resubdivision of part of Lot 3 as designated and delineated on the subdivision plat entitled "Lands of Channey McGurer" of record in Plat Book 12, Page 27 and being comprised of all of that tract of land conveyed to **TULLER FLATS I, LLC** by deeds of record in Instrument Number _____ and that tract of land conveyed to **CITY OF DUBLIN, OHIO** by deed of record in Official Record 32743C18, all references being to those of record in the Recorder's Office, Franklin County, Ohio.

The undersigned, **TULLER FLATS I, LLC**, an Ohio limited liability company, by **WILLIAM J. RIAT**, Member and the **CITY OF DUBLIN, OHIO** by **DANA McDANIELS**, City Manager, owners of the lands platted herein, duly authorized in the premises, does hereby certify that this plat correctly represents their "**TULLER FLATS**", a subdivision containing Lots numbered 1 to 14, both inclusive, does hereby accept this plat of same and dedicates to public use, as such, all of the Avenue, Parkway and Streets shown hereon and not heretofore dedicated.

The undersigned further agrees that any use or improvements on this land shall be in conformity with all existing valid zoning, planning, health or other lawful rules and regulations, including applicable off-street parking and loading requirements of the City of Dublin, Ohio, for the benefit of itself and all other subsequent owners or assigns taking title from, under or through the undersigned.

Easements are hereby reserved in, over and under areas designated on this plat as "Easement," "Drainage Easement," or "Sidewalk Easement." Each of the aforementioned designated easements permit the construction, operation, and maintenance of all public and quasi public utilities above, beneath, and on the surface of the ground and, where necessary, are for the construction, operation, and maintenance of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the Dublin City Engineer. Within those areas designated "Sidewalk Easement" on this plat, an additional easement is hereby reserved for the construction and maintenance of a sidewalk for use by the public.

In Witness Whereof, **WILLIAM J. RIAT**, Member of **TULLER FLATS I, LLC**, has hereunto set his hand this ____ day of _____, 20____.

Signed and Acknowledged **TULLER FLATS I, LLC**
In the presence of:

By **WILLIAM J. RIAT**,
Member

STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared **WILLIAM J. RIAT**, Member of **TULLER FLATS I, LLC** who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of **TULLER FLATS I, LLC** for the uses and purposes expressed herein.

In Witness Thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 20____.

My commission expires _____ Notary Public, State of Ohio

In Witness Whereof, **DANA McDANIEL**, City Manager of **CITY OF DUBLIN, OHIO**, has hereunto set his hand this ____ day of _____, 20____.

Signed and Acknowledged **CITY OF DUBLIN, OHIO**
In the presence of:

By **DANA McDANIEL**,
City Manager

STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared **DANA McDANIEL**, City Manager of **CITY OF DUBLIN, OHIO** who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of **CITY OF DUBLIN, OHIO** for the uses and purposes expressed herein.

In Witness Thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 20____.

My commission expires _____ Notary Public, State of Ohio

Approved this ____ Day of _____, 20____

Director of Land Use and Long Range Planning, Dublin, Ohio

Approved this ____ Day of _____, 20____

City Engineer, Dublin, Ohio

Approved this ____ day of _____, 20____, by vote of Council, wherein all of Avenue, Parkway and Streets dedicated hereon are accepted as such by the Council of the City of Dublin, Ohio.

In Witness Thereof I have hereunto set my hand and affixed my seal this ____ day of _____, 20____.

Clerk of Council, Dublin, Ohio

Transferred this ____ day of _____, 20____.

Auditor, Franklin County, Ohio

Deputy Auditor, Franklin County, Ohio

Filed for record this ____ day of _____, 20____ at _____ M. Fee \$_____

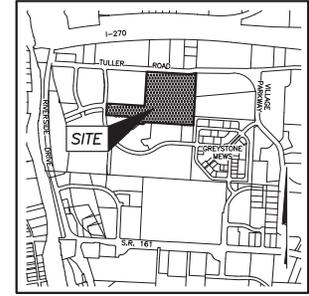
Recorder, Franklin County, Ohio

File No. _____

Recorded this ____ day of _____, 20____.

Deputy Recorder, Franklin County, Ohio

Plat Book _____, Pages _____



LOCATION MAP AND BACKGROUND DRAWING
SCALE: 1" = 1000'

SURVEY DATA:

BASIS OF BEARINGS: The Bearings shown hereon are based on the Ohio State Plane Coordinate System South Zone as per NAD83 (1986 Adjustment). Control for bearings was from coordinates of monuments FRANK 73 and FRANK 174, established by the Franklin County Engineering Department, using Global Positioning System procedures and equipment, giving a bearing of South 03° 26' 58" West for a portion of Tuller Ridge Drive.

SOURCE OF DATA: The sources of recorded survey data referenced in the plan and text of this plat, are the records of the Franklin County, Ohio, Recorder.

IRON PINS: Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pins, thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

PERMANENT MARKERS: Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid iron pins. Pins are to be set to monument the points indicated, and set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped "EMHT INC." Once installed, the top of the cap shall be marked (punched) to record the actual location of the point.

SURVEYED & PLATTED
By



We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- = Iron Pin (See Survey Data)
- = MAG Nail to be set
- ⊗ = Permanent Marker (See Survey Data)

By _____ Professional Surveyor No. 7865 _____ Date _____

C:\Users\meh\OneDrive\Documents\Tuller Flats\Tuller Flats Final Plat.dwg, printed by KMG, 06/06/2013 10:58:33 AM, sheet 1 of 0002, on 12/27/2013 4:51:23 PM

TULLER FLATS

NOTE "A" - BUILD ZONE: A part of the facade of buildings will be located in the zone created by the minimum and maximum front yard setback lines:

NOTE "B" - MINIMUM SETBACKS: City of Dublin zoning regulations for Tuller Flats in effect at the time of platting of Tuller Flats specify the following dimensions for the minimum front, side and rear yard setbacks for each lot:

Front: As shown hereon
Side: As shown hereon
Rear: 5 feet

Said zoning regulations and any amendments thereto passed subsequent to acceptance of this plat, should be reviewed to determine the then current requirements. This notice is solely for the purpose of notifying the public of the existence, at the time of platting, of certain zoning regulations applicable to this property. This notice shall not be interpreted as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or title encumbrances of any nature, and is for informational purposes only.

NOTE "C" - FEMA ZONE: At the time of platting, all of Tuller Flats is in Zone X (areas determined to be outside of the 0.2% annual chance floodplain) as said zone is designated and delineated on the FEMA Flood Insurance Rate Map for Franklin County, Ohio and Incorporated Areas, Map Number 39049C0151K with effective date of June 17, 2008.

NOTE "D" - UTILITY PROVIDERS: Buyers of the lots in the Tuller Flats subdivision are hereby notified that, at the time of platting, utility service to Tuller Flats for electric power is provided by American Electric Power and telephone service is provided by Ameritech.

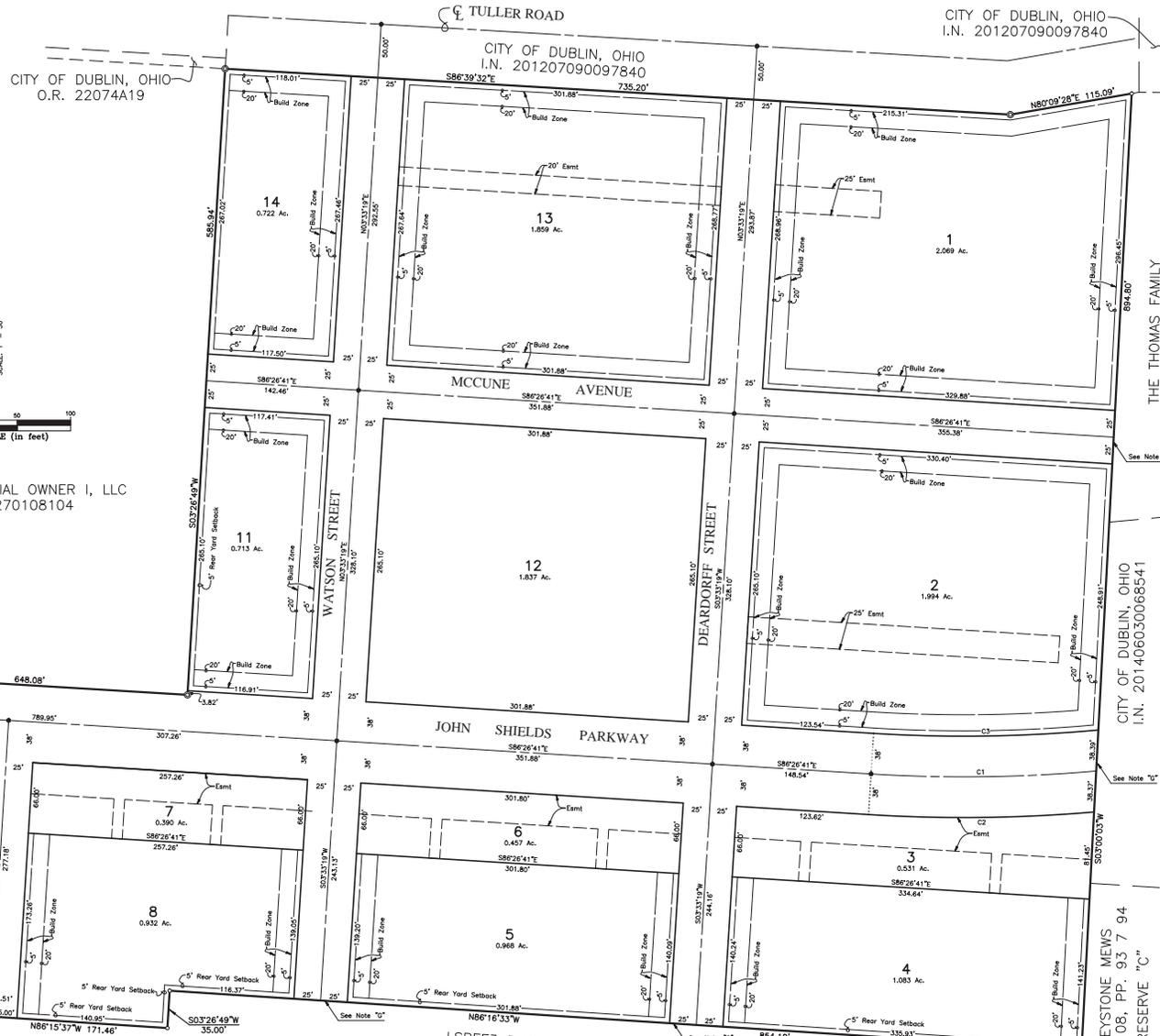
NOTE "E" - SCHOOL DISTRICT: At the time of platting, all of Tuller Flats is in the City of Dublin School District.

NOTE "F" - ACREAGE BREAKDOWN:
Total Acreage 20.444 Ac.
Acreage in Right-of-way 5.493 Ac.
Acreage in Remaining Lots 14.951 Ac.

NOTE "G" - ACREAGE BREAKDOWN: Tuller Flats is comprised of the following Franklin County Parcel Numbers
Parcel Number 273-009322 3.502Ac.
Parcel Number 273- 16.942 Ac.

NOTE "H": At the time of platting, electric, cable, and telephone service providers have not issued information required so that easement areas, in addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of all of their main line facilities, could conveniently be shown on this plat. Existing recorded easement information about Tuller Flats or any part thereof can be acquired by a competent examination of the then current public records, including those in the Franklin County Recorder's Office.

NOTE "I": At the time of platting, electric, cable, and telephone service providers have not issued information required so that easement areas, in addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of all of their main line facilities, could conveniently be shown on this plat. Existing recorded easement information about Tuller Flats or any part thereof can be acquired by a competent examination of the then current public records, including those in the Franklin County Recorder's Office.



CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	83°1'16"	1400.00'	210.65'	N 89°14'41" E	210.45'
C2	82°4'24"	1438.00'	210.99'	N 89°21'08" E	210.80'
C3	85°0'52"	1362.00'	210.32'	N 89°07'54" E	210.11'
C4	82°9'42"	248.33'	36.82'	N 28°26'30" W	36.79'
C5	31°00'46"	248.33'	134.41'	N 48°11'44" W	132.78'



COLUMBUS INDUSTRIAL OWNER I, LLC
I.N. 201207270108104

LSREF3 BRAVO (OHIO), LLC
I.N. 201410070132678

LSREF3 BRAVO (OHIO), LLC
I.N. 201410070132678

ARCUS DATA SECURITY, INC.
I.N. 199904070086644

CITY OF DUBLIN, OHIO
I.N. 201406030068541

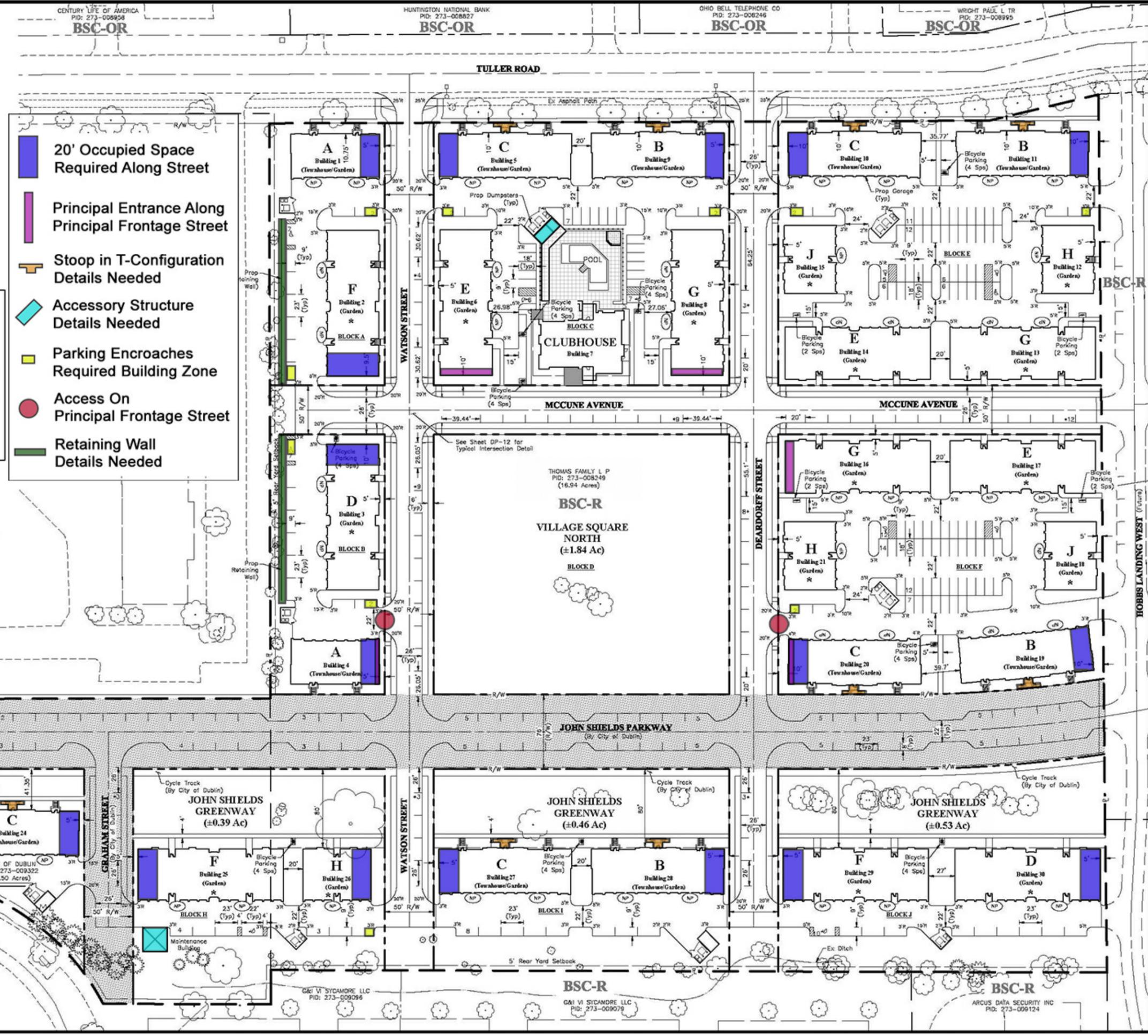
GREYSTONE MEWS
P.B. 108, PP. 93, 7, 94
RESERVE "C"

THE THOMAS FAMILY
LIMITED PARTNERSHIP
O.R. 17716D10

SITE DATA	
Total Site Area	±20.44 Acres
Public Right of Way	±2.55 Acres
John Shields Parkway	±0.27 Acres
Graham Street	±2.67 Acres
Watson, Deardorff, McCune	
Public Access Easement	
Village Square	±1.84 Acres
John Shields Greenway	±1.67 Acres
Net Developable Land	±11.44 Acres
Residential Units	420 Units
Community Clubhouse	1
Maintenance Building	1
Gross Density	±20.5 DU/Acre
Net Developable Density	±36.7 DU/Acre
Parking Required	
Building A-B Unit-TH Garden	30
1.5 spc/2 bedroom	
1 spc/1 bedroom	
Buildings B&C-12 Unit-TH Garden	150
1.5 spc/2 bedroom	
1 spc/1 bedroom	
Building D&F-20 Unit-Garden	113
1.5 spc/2 bedroom	
1 spc/1 bedroom	
Buildings E&G-21 Unit-Garden	141
1.5 spc/2 bedroom	
1 spc/1 bedroom	
Building H&J-10 Unit-Garden	50
1 spc/1 bedroom	
Total Parking Required	484
Handicap Parking Required	11
Parking Provided	
Garage-Building A	24
Garage-Buildings B&C	120
Garage-Buildings D&F	60
Garage-Buildings E&G	54
Garage-Buildings H&J	30
Total Garage Parking (Private)	288
Surface Off-Street (Private)	164
Additional On-Street Parking (Public)	54
Handicap Parking Provided (Included in Total)	11
Total Parking Provided	505
Bicycle Parking Required	210
1 spc/2 Units	
Bicycle Parking Provided	
Garage On-Site	162
On-Site	48
Open Space Required	
200 sq/Unit (420)	±1.9 Acres
84,000 sq	
Open Space Provided	
Village Square North	±3.51 Acres
John Shields Greenway	±1.84 Acres
	±1.67 Acres

LEGEND	
	Streets by City of Dublin
	HC Accessible Building
	No Parking Sign (**See Note Below)

NOTES:	
Open space provided shall only be applicable to this phase of development.	
Parking on Watson Street, McCune Avenue and Deardorff Street shall be restricted to one side. *Spaces not included in total.	
All information regarding John Shields Parkway and Graham Street is shown for reference only. Final design to be coordinated with City of Dublin.	
Each Building has interior bike storage locations.	
**Signage shall be posted on rears of buildings stating that no parking shall be permitted behind garages. Final location an number of signs per building to be determined at Final Engineering.	
No parking shall be permitted on McCune Avenue, east of Deardorff Street until such time that Hobbs Landing West is constructed (By Others) and Open.	



- 20' Occupied Space Required Along Street
- Principal Entrance Along Principal Frontage Street
- Stoop in T-Configuration Details Needed
- Accessory Structure Details Needed
- Parking Encroaches Required Building Zone
- Access On Principal Frontage Street
- Retaining Wall Details Needed

MARK DATE	DESCRIPTION
03/25/15	

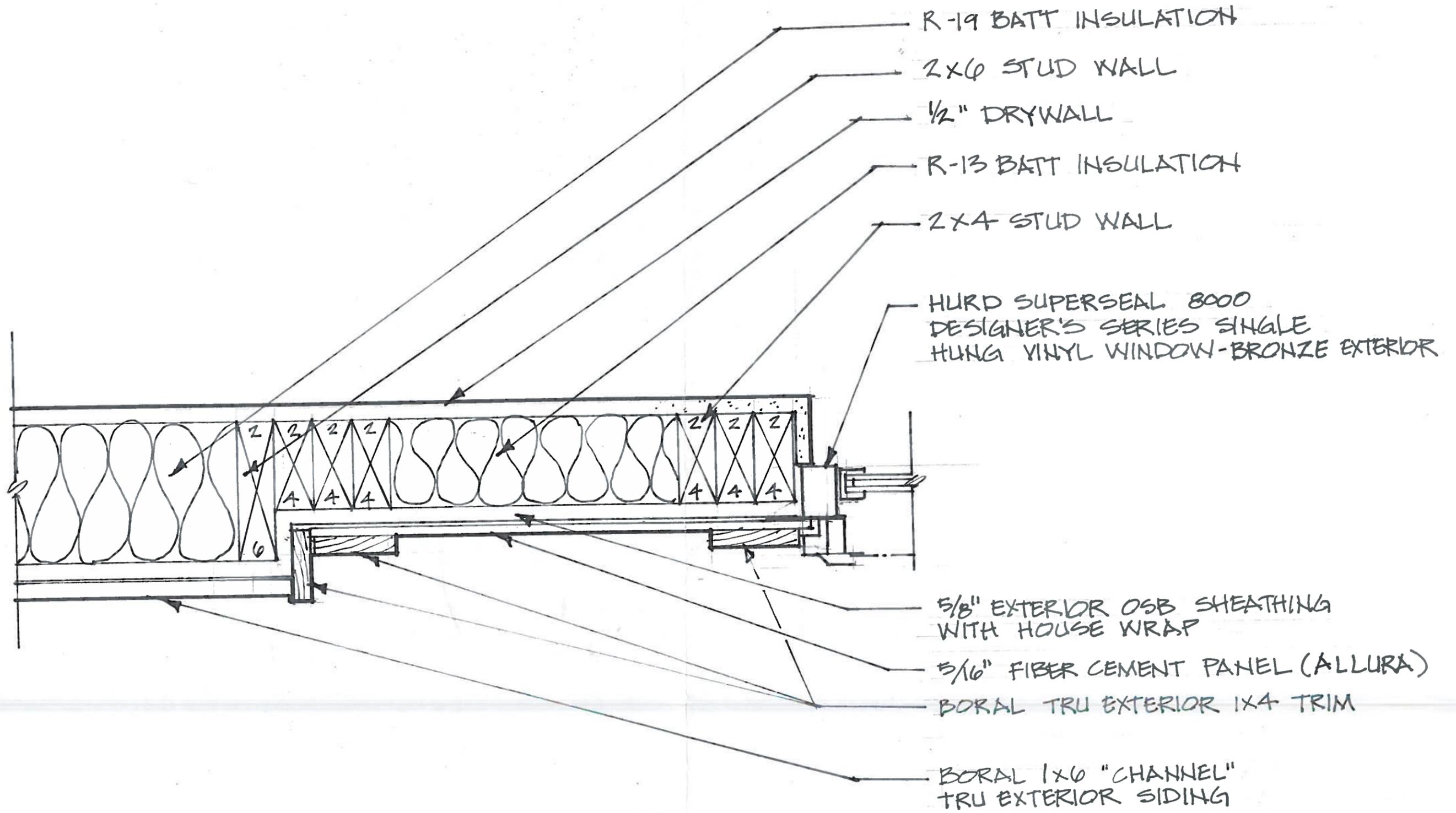
CASTO

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN / SITE PLAN
FOR
TULLER FLATS
SITE PLAN & PARKING PLAN

DATE	February 12, 2015
SCALE	Full Size 1" = 50' Half Size 1" = 100'
JOB NO.	2013-1546
SHEET	DP-6

EMHT
Environmental Management & Technology, Inc.
3500 New Albany Road, Columbus, OH 43254
Phone: 614.776.6200 Fax: 614.776.6201 emht.com

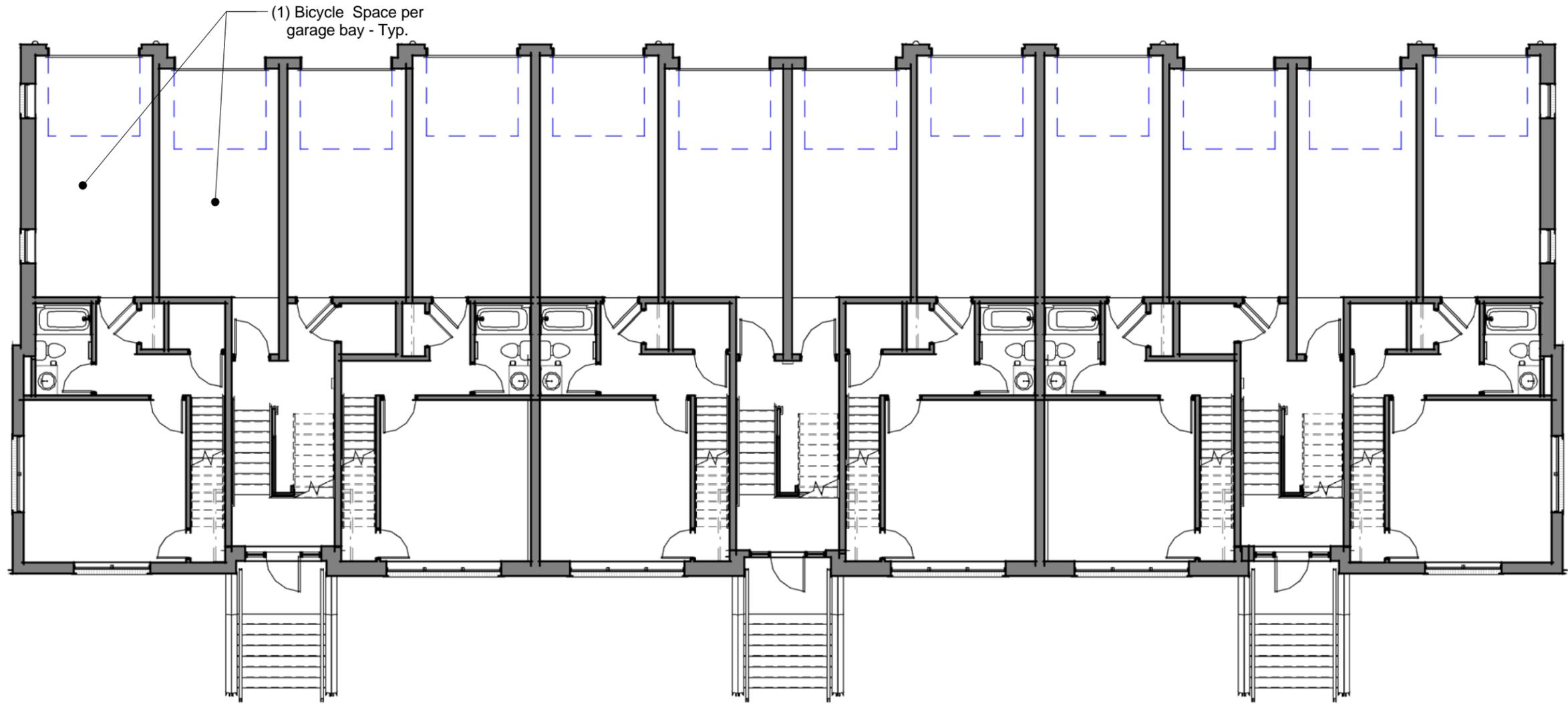
3/2/2015 10:10 AM Last Printed By: King, Sandra, 3/2/2015 12:30 PM (10)



WINDOW JAMB DETAIL

3" = 1'-0"

RECEIVED
 FEB 12 2015
 15-012 DP/SP
 CITY OF DUBLIN
 PLANNING



Floor 1 Plan

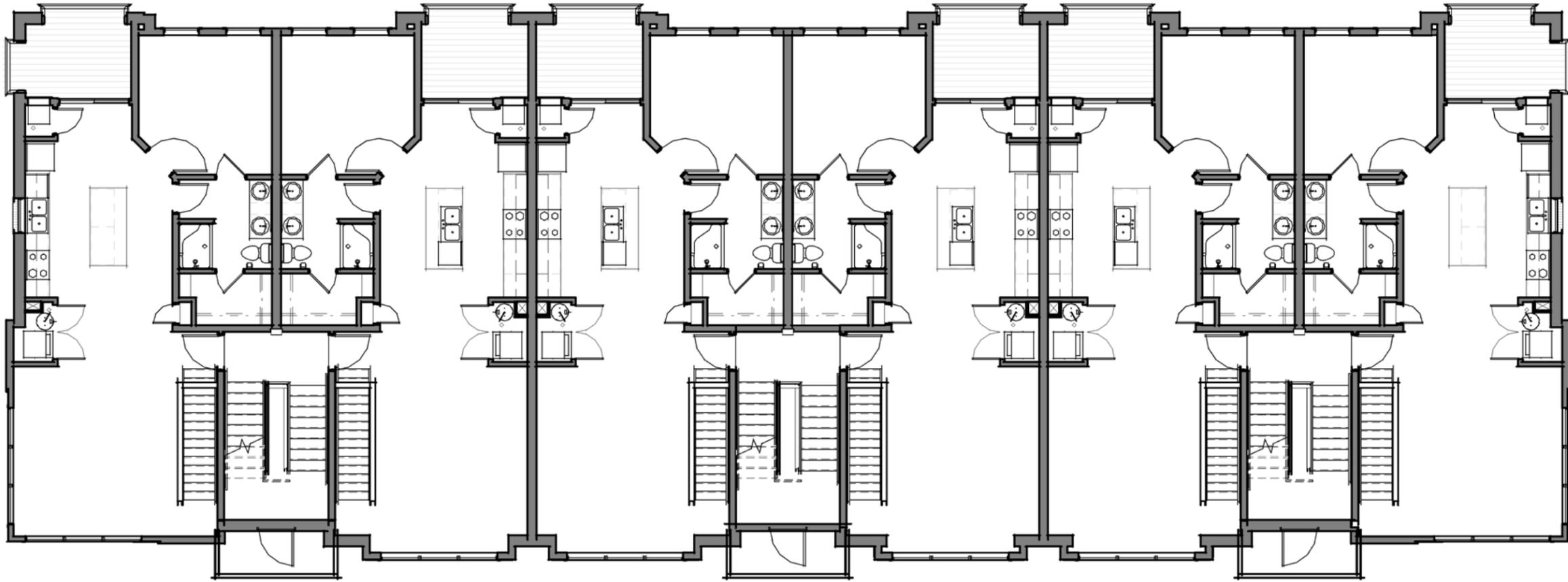
3/32" = 1'-0"

Tuller Flats | Dublin, OH
Townhomes & Garden Apartments

2-12-2015

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Floor 2 Plan

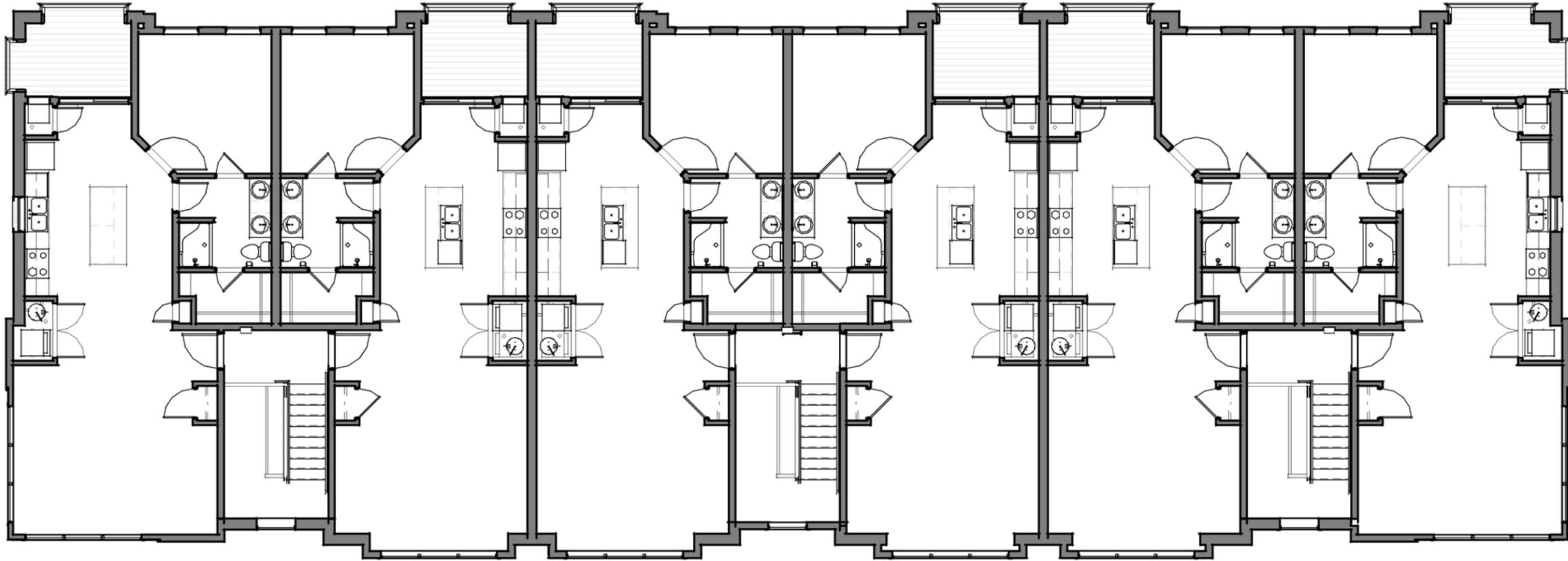
3/32" = 1'-0"

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Floor 3 Plan

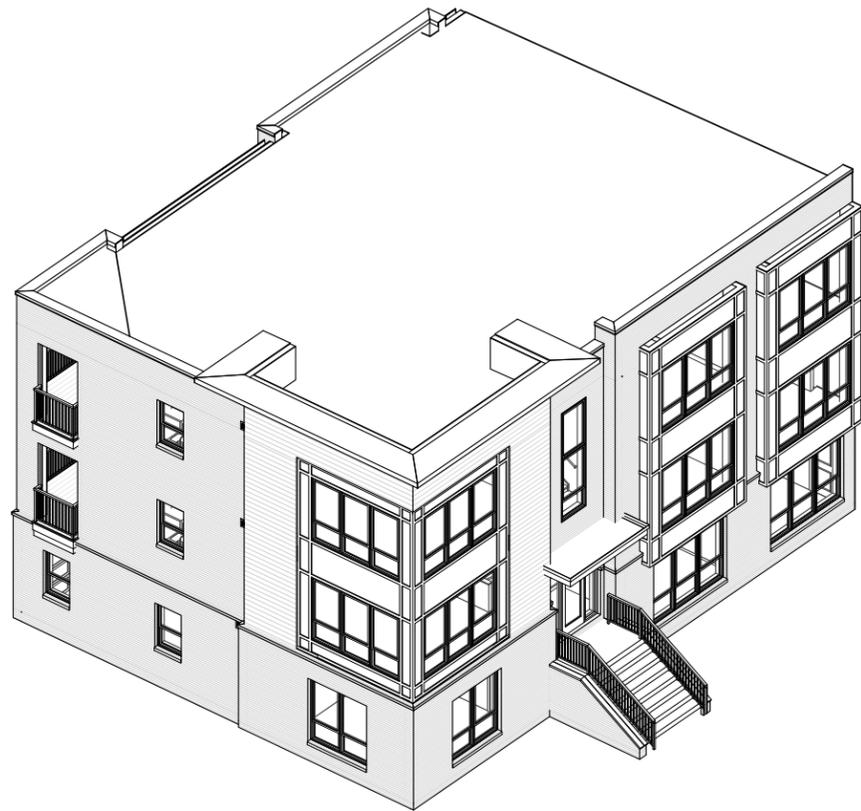
3/32" = 1'-0"

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Building A/B Partial Roof View



Building C Perspective

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