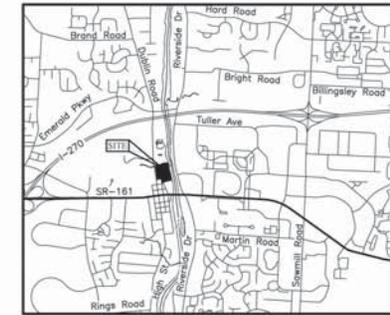
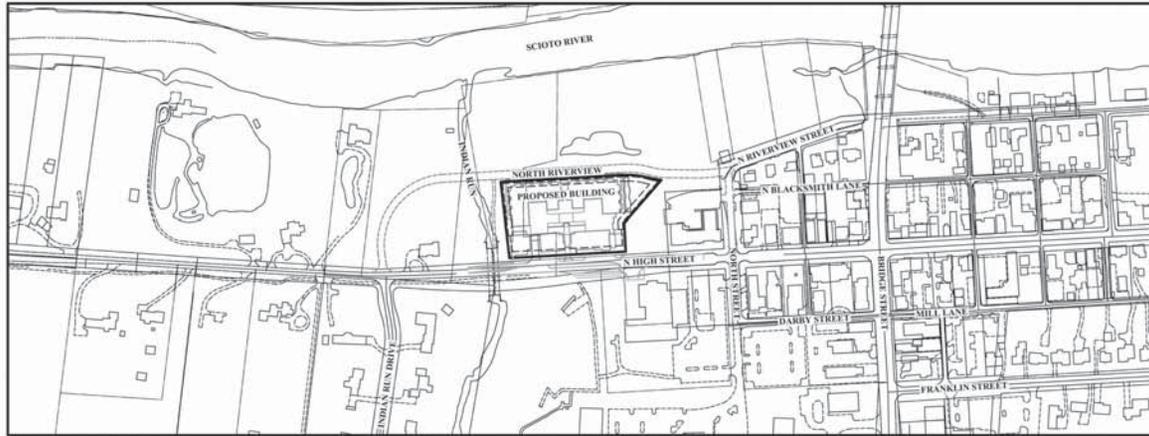


CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

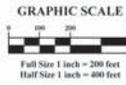
FINAL SITE PLAN FOR BRIDGE PARK WEST 2015



LOCATION MAP
Not to Scale



INDEX MAP
Full Size 1" = 200'
Half Size 1" = 400'



SITE DATA

Total Project Limits Area	±2.4 Acres
Residential Units	40 Units
Gross Density	±17.5 DU/Acre
Office Space	14570 Sq. Ft.
Restaurant	8800 Sq. Ft.
Retail	4479 Sq. Ft.
Required Parking	243
Max Allowable Parking	298
Provided Parking	105
Private Parking Garages	2
Electric Charging Spaces	15
ADA Accessible Parking	2
Public Parking	214
Total Parking Provided	360
COMPACT SPACES PROVIDED	28
Van Accessible Spaces Provided	2
Required bicycle parking	39
Provided Bicycle Parking	58

Minimum Required Parking - Commercial

	Sq	Spaces/1000 SF	Required Spaces
Level 1 Retail	4479	3	15
Level 1 Restaurant	8800	30	90
Level 2 Office	14570	2.5	36
Total	27849		141

Maximum Allowable Parking - Commercial

	Min. Spaces	Percentage	Required Spaces
Level 1 Retail	15	125%	19
Level 1 Restaurant	90	125%	113
Level 2 Office	36	125%	45
Total	141		177

Minimum Required Parking - Residential

Overall Unit Type	QTY.	Spaces/Unit	Required Spaces
1 bdrn	0	1	0
2 bdrn	20	1.5	30
3 bdrn	19	2	38
4 bdrn	1	2	2
Total	40	70	70

Maximum Allowable Parking - Residential

Overall Unit Type	QTY.	Spaces/Unit	Required Spaces
1 bdrn	0	2	0
2 bdrn	20	2	40
3 bdrn	19	2	38
4 bdrn	1	2	2
Total	40	40	80

Residential Unit Break Down

	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	Total
Floor 1	0	6	2	0	8
Floor 2	0	5	3	0	8
Floor 3	0	1	5	0	6
Floor 4	0	2	4	0	6
Floor 5	0	1	3	1	5
Floor 6	0	3	2	1	5
Floor 7	0	2	0	0	2
Total	0	20	14	2	40

- WAVES**
- 153.062 (b)(3) - FRONT PROPERTY LINE COVERAGE; N. HIGH STREET = 70%; N. RIVERVIEW ST. = 75%
 - 153.062 (b)(3)(b) - MIN. FINISHED FLOOR ELEVATION (2.5 ABOVE SIDEWALK)
 - 153.062 (b)(3)(c) - X PER TABLE 153.065, TABLE A ALLOWS PARKING TO OCCUPY 1ST FLOOR W/ PARKING AS CONDITIONAL
 - 153.062 (b)(8) - ENTRANCE EVERY 40' SOUTH BLDG. 1 DOOR EXCEEDS 40'
 - 153.065 (b)(2) - PARKING; REQUIRED VEHICULAR PARKING IS SET AT 243 MIN. AND 298 MAX AS DESIGNED PARKING TOTAL AT 360
 - 153.062 (b)(4)(b) - TOWER HEIGHT NOT GREATER THAN HEIGHT OF ONE ADJUT. UPPER FLOOR (SOUTH TOWER)
 - 153.062 (b)(2)(b)(1) - MIN. PITCH 6:12. NORTH TOWER PITCH 3:12
 - 153.062 (b)(6)(b)(4) - CHANGE IN VERTICAL PLANE EVERY 30' SEE A2310B, A2311B, A2311C, A2313B
 - 153.062 (b)(3)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 40' SEE A2310B, A2311B, A2312B, A2313B
 - 153.062 (b)(3)(d)(1) - PROPERTY COVERAGE = 75% AS DESIGNED 61%
 - 153.062 (b)(1)(b) - TOWER HT. NO GREATER THAN 1 ADDITIONAL STORY 12' MAX. - 14' PROPOSED
 - 153.062 (b)(2)(b)(2) - NON-STREET FACADE TRANSP. 15% REQUIRED MULTI. LOCATIONS - SEE ELEV.
 - 153.062 (b)(6)(b) - MIN. OF 80% PRIMARY MATERIALS; MULTIPLE FACADES DECENT
 - 153.062 (b)(3)(d)(b) - MIN. OF 80% PRIMARY MATERIALS; MULTIPLE FACADES DECENT
 - 153.064 - MIN. OF 30% OF PERIMETER OF POCKET PARK TO FACE STREET. 21% PROVIDED.

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A-2513 <td>WALL SECTIONS</td> <td>A-2514 <td>WALL SECTIONS</td> </td>	WALL SECTIONS	A-2514 <td>WALL SECTIONS</td>	WALL SECTIONS
A-2515 <td>WALL SECTIONS</td> <td>A-2516 <td>WALL SECTIONS</td> </td>	WALL SECTIONS	A-2516 <td>WALL SECTIONS</td>	WALL SECTIONS
A-2517 <td>WALL SECTIONS</td> <td>A-2518 <td>WALL SECTIONS</td> </td>	WALL SECTIONS	A-2518 <td>WALL SECTIONS</td>	WALL SECTIONS
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A-2522 <td>WALL SECTIONS</td> <td>A-2523 <td>WALL SECTIONS</td> </td>	WALL SECTIONS	A-2523 <td>WALL SECTIONS</td>	WALL SECTIONS
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A-2310A <td>MATERIAL PERCENTAGE ELEVATIONS</td> <td></td> <td></td>	MATERIAL PERCENTAGE ELEVATIONS		
A-2310B <td>VERTICAL, HORIZONTAL FACADE DIVISION, AND BALCONY PERCENTAGE ELEVATIONS</td> <td></td> <td></td>	VERTICAL, HORIZONTAL FACADE DIVISION, AND BALCONY PERCENTAGE ELEVATIONS		
A-2311A <td>TRANSPARENCY PERCENTAGE ELEVATIONS</td> <td></td> <td></td>	TRANSPARENCY PERCENTAGE ELEVATIONS		
A-2311B <td>MATERIAL PERCENTAGE ELEVATIONS</td> <td></td> <td></td>	MATERIAL PERCENTAGE ELEVATIONS		
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A-2312A <td>TRANSPARENCY PERCENTAGE ELEVATIONS</td> <td></td> <td></td>	TRANSPARENCY PERCENTAGE ELEVATIONS		
A-2312B <td>MATERIAL PERCENTAGE ELEVATIONS</td> <td></td> <td></td>	MATERIAL PERCENTAGE ELEVATIONS		
A-2313 <td>VERTICAL, HORIZONTAL FACADE DIVISION, AND BALCONY PERCENTAGE ELEVATIONS</td> <td></td> <td></td>	VERTICAL, HORIZONTAL FACADE DIVISION, AND BALCONY PERCENTAGE ELEVATIONS		
A-2313A <td>TRANSPARENCY PERCENTAGE ELEVATIONS</td> <td></td> <td></td>	TRANSPARENCY PERCENTAGE ELEVATIONS		
A-2313B <td>MATERIAL PERCENTAGE ELEVATIONS</td> <td></td> <td></td>	MATERIAL PERCENTAGE ELEVATIONS		

DEVELOPER/OWNER
Crawford Haying Development Partners
855 Metro Plaza North, Suite 800
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Fax: (614) 850-8191

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Fax: (614) 775-4800

ARCHITECT
OHM Advisors
101 Mill Street, Suite 200
Dublin, Ohio 43004
Tel: (614) 418-0600
Fax: (614) 418-0614

ZONING
Zoned BSC Historic Transition Neighborhood
94&100 N High St
Dublin, OH 43017
Site Area: ±2.4 Acres

Bridge Park West - Open Space Calculation

	Area (SF)	Units	Requirement	Minimum Required Open Area
Level 1 Restaurant	8800	-	1.5F per 50 SF of Commercial	176
Level 1 Retail	4479	-	1.5F per 50 SF of Commercial	90
Level 2 Office	14570	-	1.5F per 50 SF of Commercial	291
Residential	-	40	200 SF per Unit	8000
Total				8557
Total Required Open Space				8557 SF
				.020 Acres
Total Provided Open Space				0.21 Acres

TOTAL PARKING - 360

TOTAL PUBLIC PARKING SPACES - 214
TOTAL PRIVATE PARKING SPACES - 155
(COMPACT AND ADA SPACES = 41)
(47 ADA SPACES INCLUDE VAN ACCESSIBLE SPACES = 2)
(SPACES AVAILABLE FOR PUBLIC USE ABOVE MAX ALLOWED PARKING = 103)
214 MIN. REQUIRED PARKING
291 MAX ALLOWED PARKING

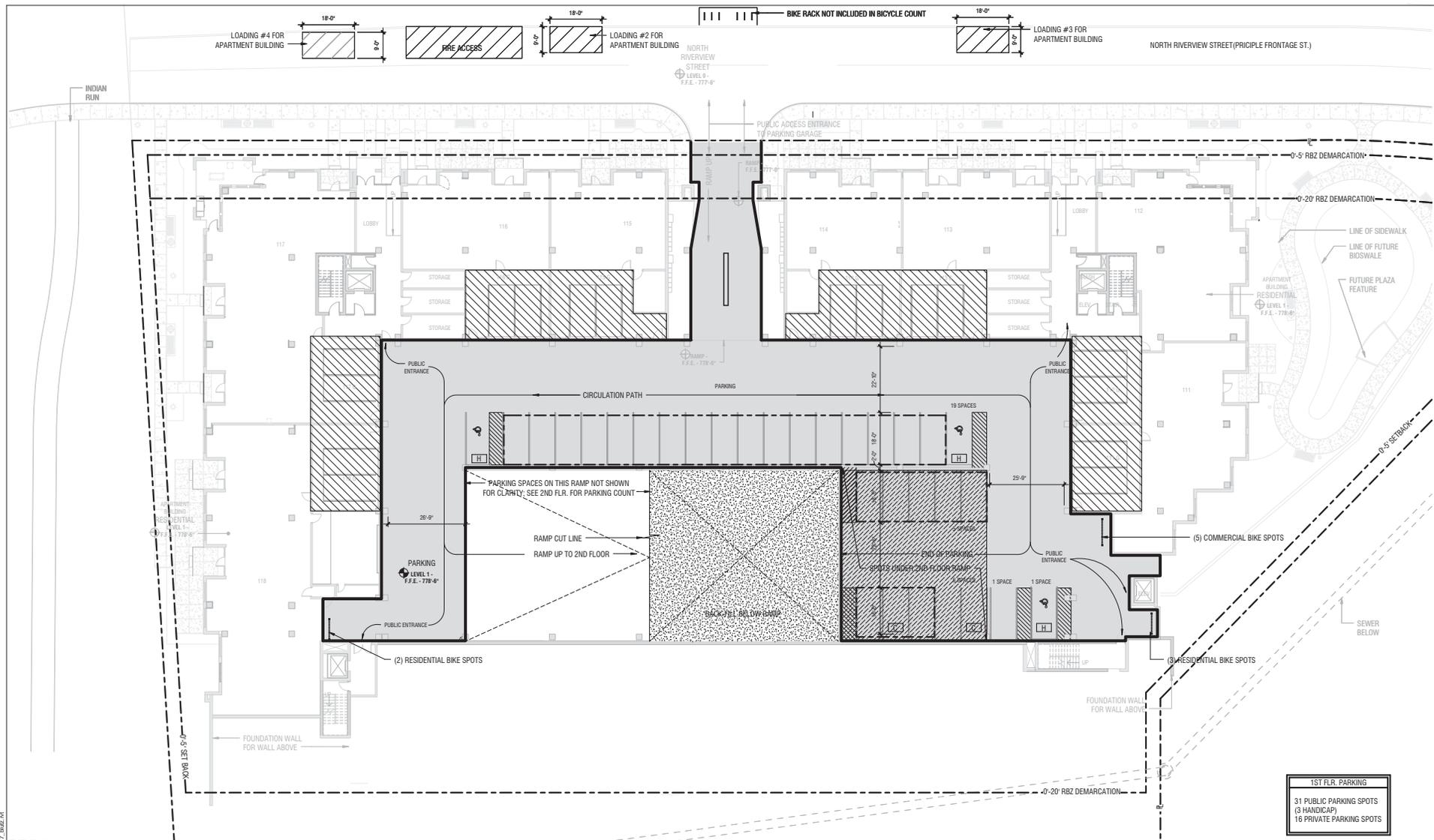


SHEET NO. DATE DESCRIPTION

CRAWFORD HAYING DEVELOPMENT PARTNERS
 BRIDGE PARK WEST - BUILDING Z
 DUBLIN, OHIO
 Final Site Plan Cover Sheet
 A-G-000

FILE PATH: C:\Users\mzr\Documents\Building_Z_20150517_16.mxd

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1ST FLR. PARKING
31 PUBLIC PARKING SPOTS
(3 HANDICAP)
6 PRIVATE PARKING SPOTS

- PARKING LEGEND**
- COMMERCIAL
 - RESIDENTIAL
 - OPEN FOR PUBLIC USE (OVER MAXIMUM ALLOWABLE)
 - COMPACT
 - ADA COMPLIANT
 - VAN ACCESSIBLE

BICYCLE COUNT
153.065(B)(3)(b)
RESIDEN. - 1: 2 DWELLINGS = 40/2=20
COMM. - 1:10 RECD = 173/10=18

38 TOTAL SPACES AND - 10 ALLOWED TO BE COUNTED IN PRIVATE GARAGES (SEE BELOW) 28 SPACES RECD ON SITE - 10 BEING RESIDENTIAL)

BICYCLE LOCATION
153.065(B)(3)(b)(1)(a)
RESIDENTIAL GARAGES ALLOW 50% OF RECD BICYCLES TO BE ENCLOSED = 20/2 = 10

FLOORS	RES.	COMM.
1ST	5	5
2ND	5	
3RD		9
4TH		4
TOTAL	10	18 = 28

(+ 10 IN PRIVATE GARAGES = 38)

WAIVERS
153.069 - TABLE A: APARTMENT BUILDING IS ALLOWED TO OCCUPY 1ST FLOOR AND PARKING IS ALLOWED AS CONDITIONAL. PARKING TO MEET REQUIREMENTS OF TRANSPARENCY. MEET REQUIREMENTS OF NOTE #1 OF ITEM "A" OF 153.065(B)(3)

01-First Floor Plan Parking
SCALE: 1/8" = 1'-0"

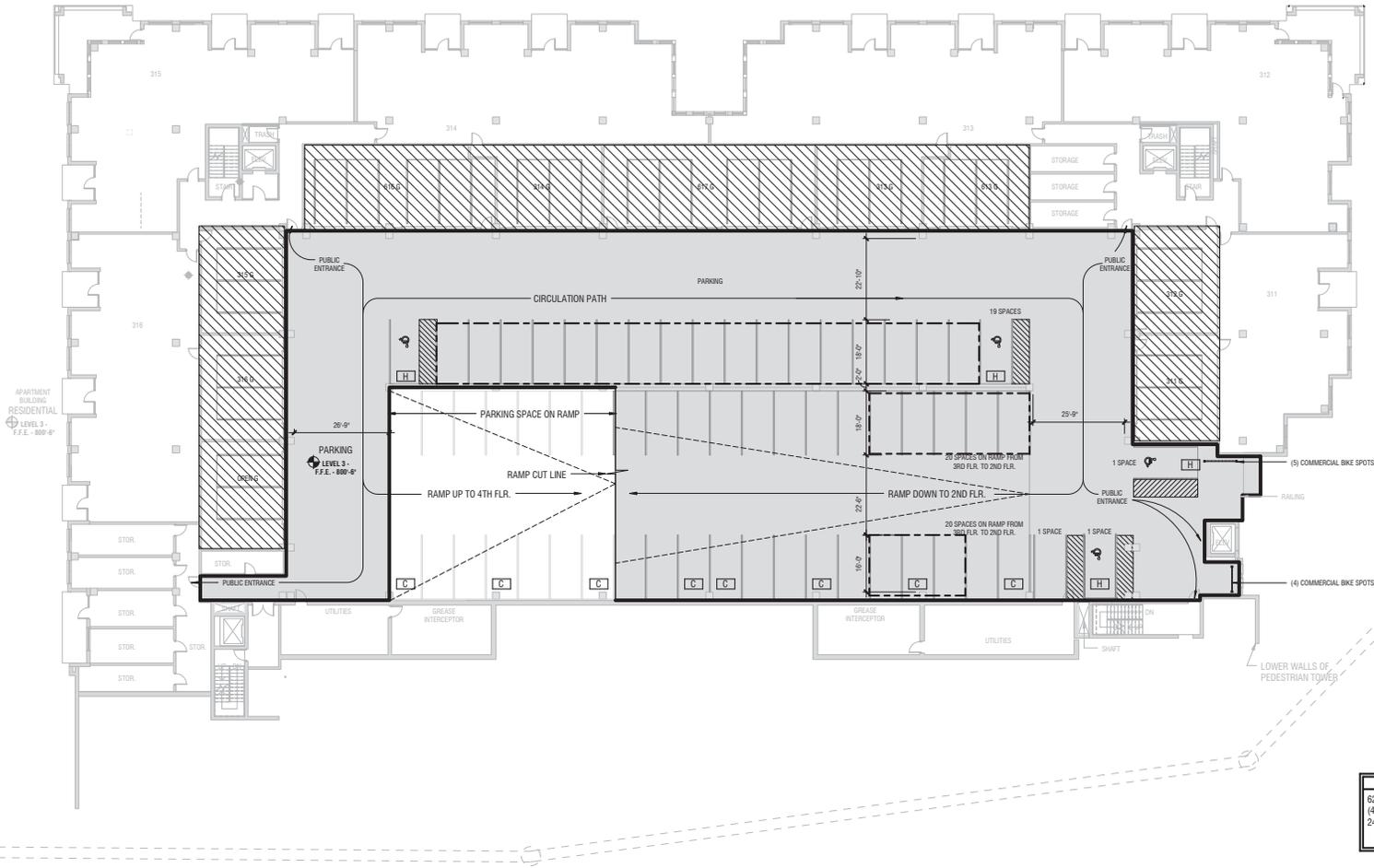
DATE: _____
DESCRIPTION: _____
REVISION: _____

Crawford Hoying Development
Bridge Park West - Building Z
DRAFT, OHIO
1st Floor Parking

A-P101

FILE PATH: C:\Users\adam\Documents\Building_Z_2019\0117_Build.rvt

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3RD FLR. PARKING
62 PUBLIC PARKING SPOTS
(40 ON RAMP AND 4 HANDICAP)
24 PRIVATE PARKING SPOTS

BICYCLE COUNT
153.065(9)(3)(b)
RESIDEN. - 1: 2 DWELLINGS = 40/2 = 20
COMM. - 1: 10 REED = 173/10 = 18

38 TOTAL SPACES AND - 10 ALLOWED TO BE COUNTED IN PRIVATE GARAGES (SEE BELOW) 28 SPACES RECD ON SITE - 10 BEING RESIDENTIAL)

BICYCLE LOCATION
153.065(9)(3)(b)(1)(a)
RESIDENTIAL GARAGES ALLOW 50% OF RECD BICYCLES TO BE ENCLOSED = 20/2 = 10

FLOORS	RES.	COMM.
1ST	5	5
2ND	5	
3RD		9
4TH		4
TOTAL	10	18 = 28 (+ 10 IN PRIVATE GARAGES = 38)

- PARKING LEGEND**
- COMMERCIAL
 - RESIDENTIAL
 - OPEN FOR PUBLIC USE (OVER MAXIMUM ALLOWABLE)
 - COMPACT
 - ADA COMPLIANT
 - VAN ACCESSIBLE

03-Third Floor Plan Parking
SCALE: 1/8" = 1'-0"

DATE

DESCRIPTION

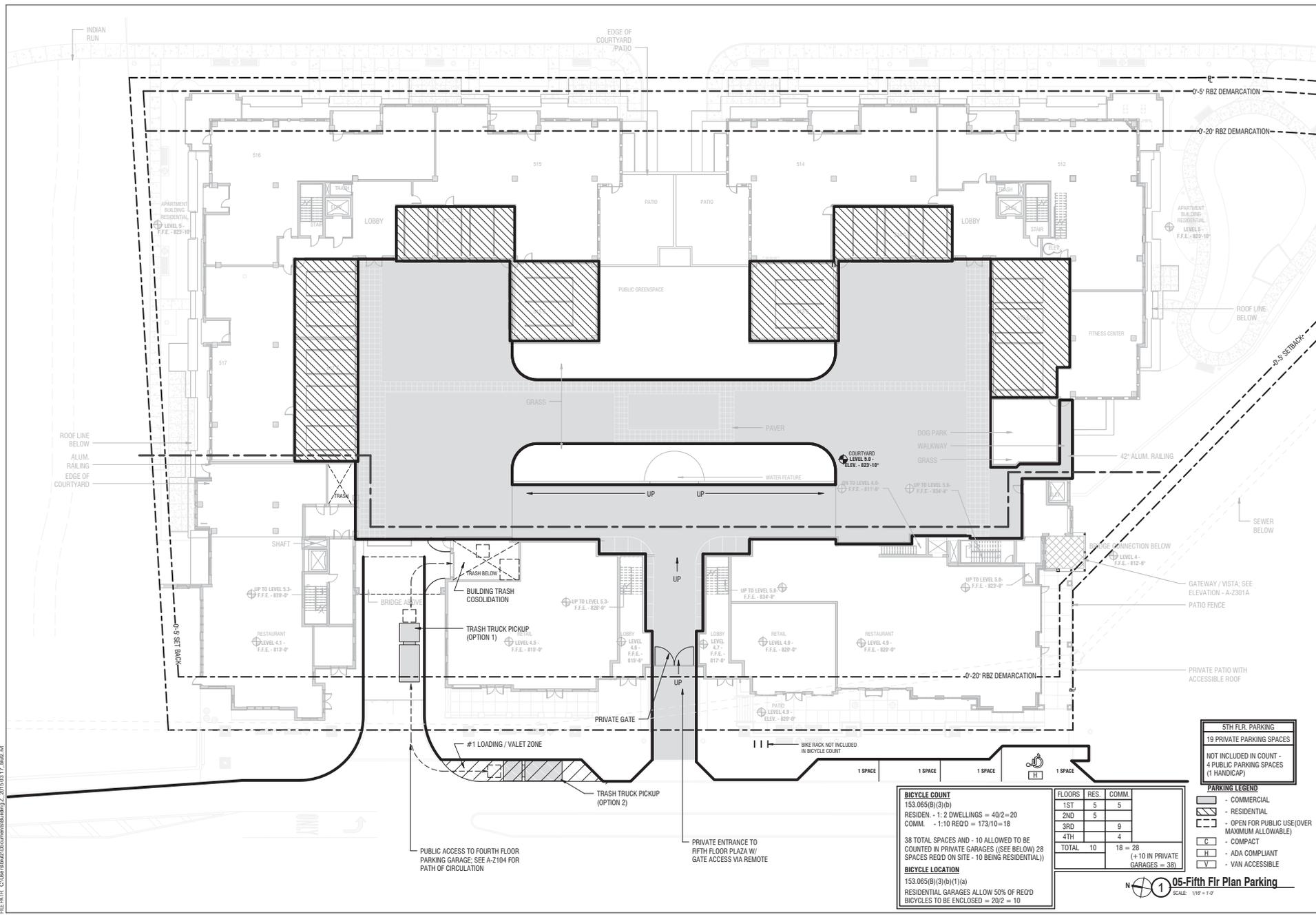
RESIDENTIAL NO.

Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio
3rd Floor Parking

A-P103

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5TH FLR. PARKING
19 PRIVATE PARKING SPACES
NOT INCLUDED IN COUNT -
4 PUBLIC PARKING SPACES
(1 HANDICAP)

PARKING LEGEND

- COMMERCIAL
- RESIDENTIAL
- OPEN FOR PUBLIC USE (OVER MAXIMUM ALLOWABLE)
- C - COMPACT
- H - ADA COMPLIANT
- V - VAN ACCESSIBLE

BICYCLE COUNT
153.065(9)(3)(b)
RESIDEN. - 1: 2 DWELLINGS = 40/2 = 20
COMM. - 1:10 REQ'D = 173/10 = 18
38 TOTAL SPACES AND - 10 ALLOWED TO BE COUNTED IN PRIVATE GARAGES (SEE BELOW) 28 SPACES REQ'D ON SITE - 10 BEING RESIDENTIAL)

BICYCLE LOCATION
153.065(9)(3)(b)(1)(a)
RESIDENTIAL GARAGES ALLOW 50% OF REQ'D BICYCLES TO BE ENCLOSED = 20/2 = 10

FLOORS	RES.	COMM.
1ST	5	5
2ND	5	
3RD		9
4TH		4
TOTAL	10	18 = 28

(+10 IN PRIVATE GARAGES = 38)

05-Fifth Flr Plan Parking
SCALE: 1/16" = 1'-0"

DATE: _____

DESCRIPTION: _____

REVISIONS: _____

PROJECT: _____

DATE: _____

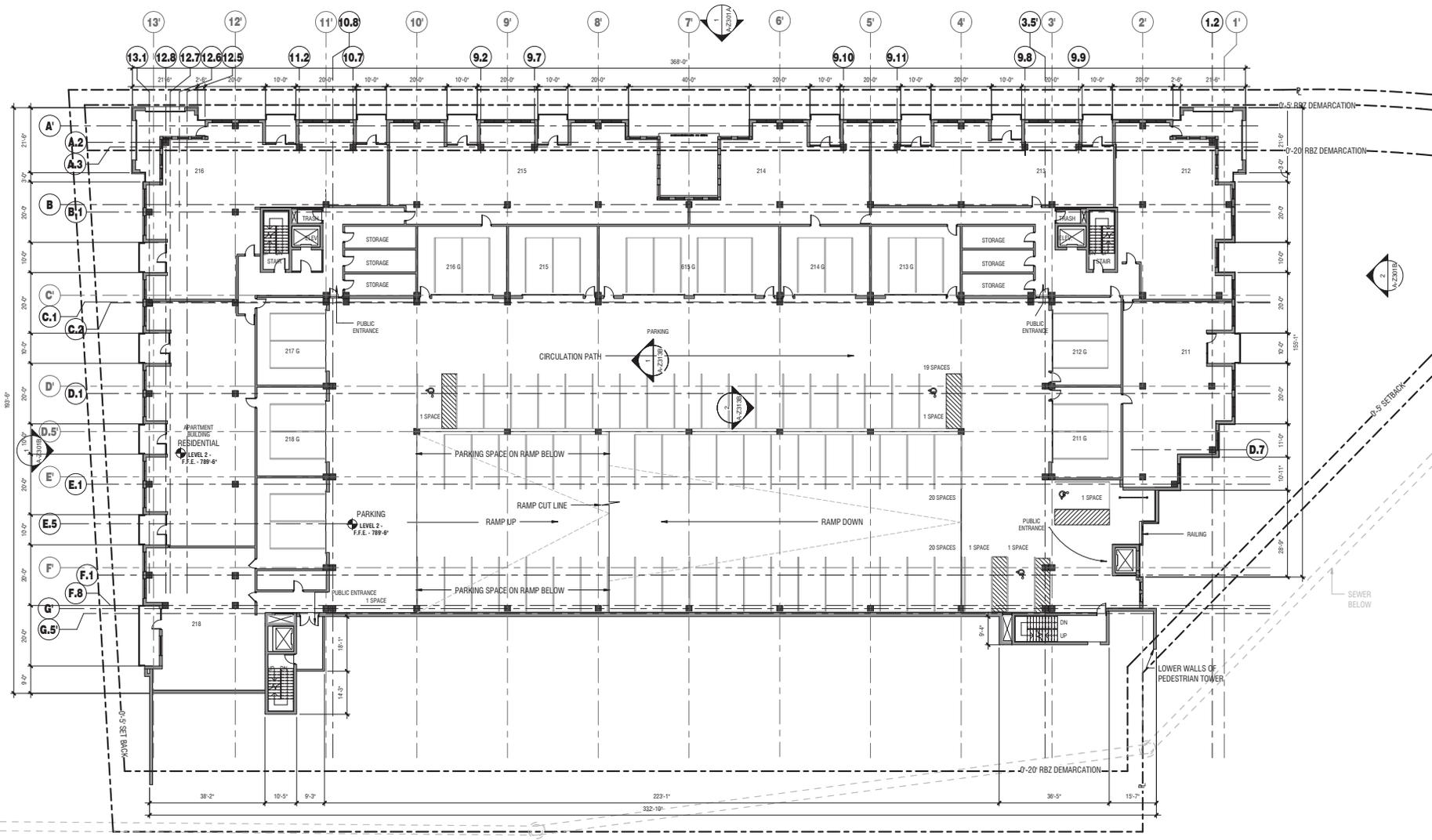
Crawford Hoying Development
Bridge Park West - Building Z
DRAFT, CHD

5th Floor Parking

A-P105

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1 Second Floor Plan - P2
SCALE: 1/16" = 1'-0"

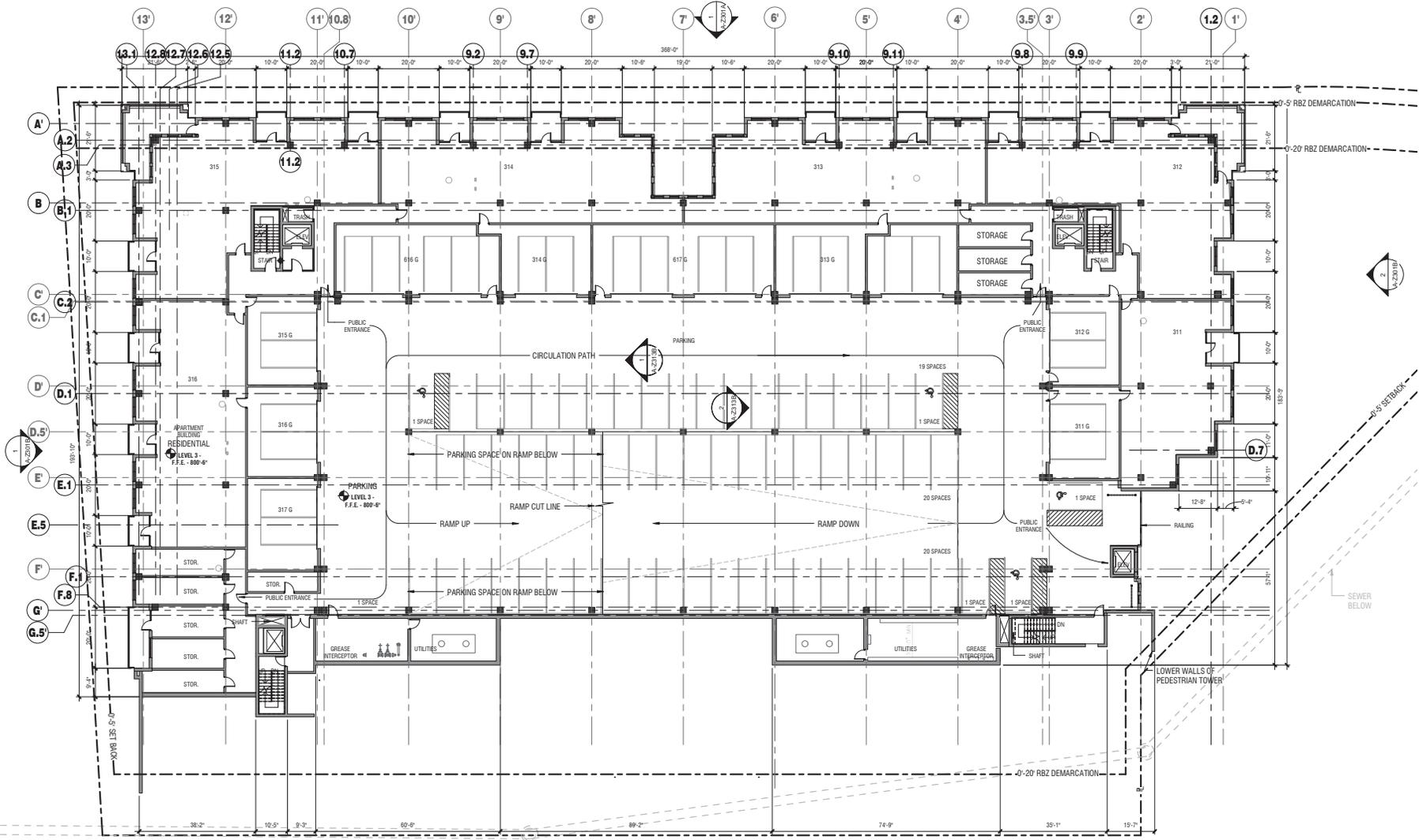
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DESCRIPTION	
REVISION NO.	

DATE: 04/18/2018
PROJECT: Crawfords Hoey Development
BRIDGE PARK WEST - BUILDING Z
DRAFT: OHM
BUILDING Z SECOND FLOOR PLAN

SHEET: A-Z102

FILE PATH: C:\Users\mdu\Documents\Building Z_2018\0517_18.dwg

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1 Third Floor Plan - P3
SCALE: 1/8" = 1'-0"

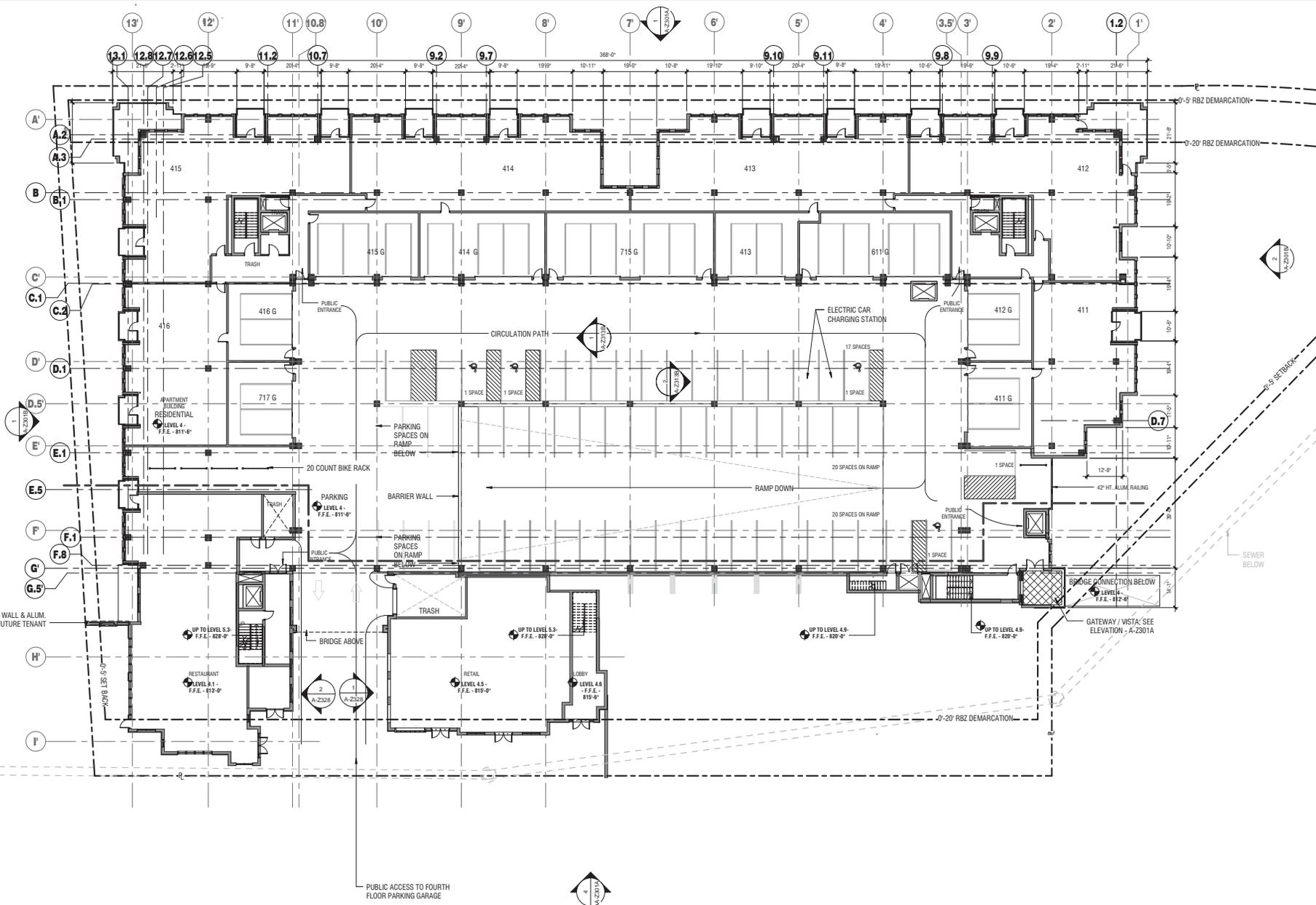
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REVISION NO.	

PROJECT: **Crawford Hoving Development**
Bridge Park West - Building Z
 DATE: 04/16/20
 SHEET: **Building Z Third Floor Plan**

A-Z103

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DESCRIPTION	
REVISION	

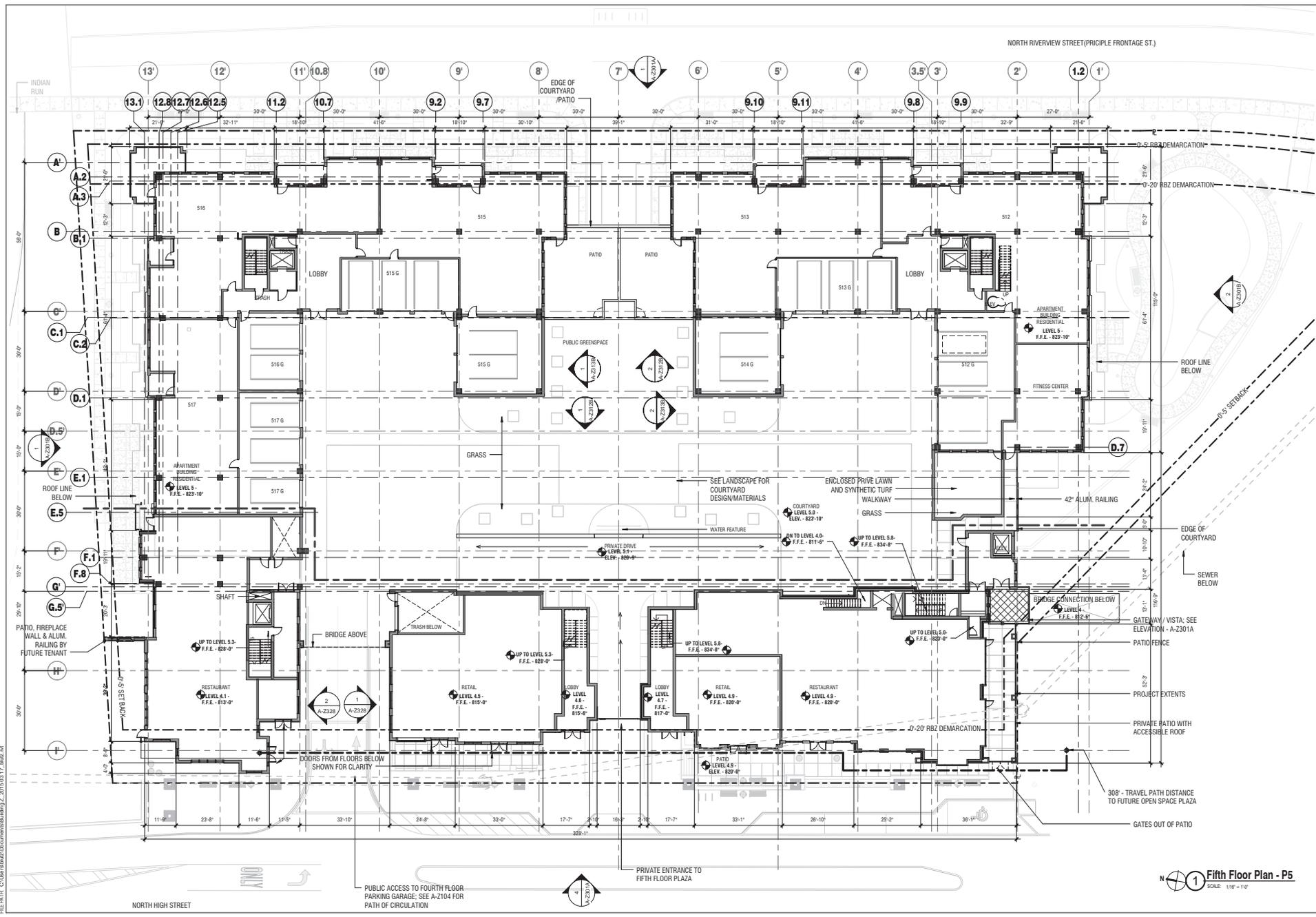
Fourth Floor Plan - P4
SCALE: 1/8" = 1'-0"

Crawford Hoying Development
Bridge Park West - Building Z
Darien, Ohio
Building Z Fourth Floor Plan

A-Z104

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SHEET	DATE
REVISION	DESCRIPTION
NO.	

LEVEL: PRELIMINARY ARCH PROJECT: CDD

Crawford Hoying Development
Bridge Park West - Building Z
Dubuq, Ohio

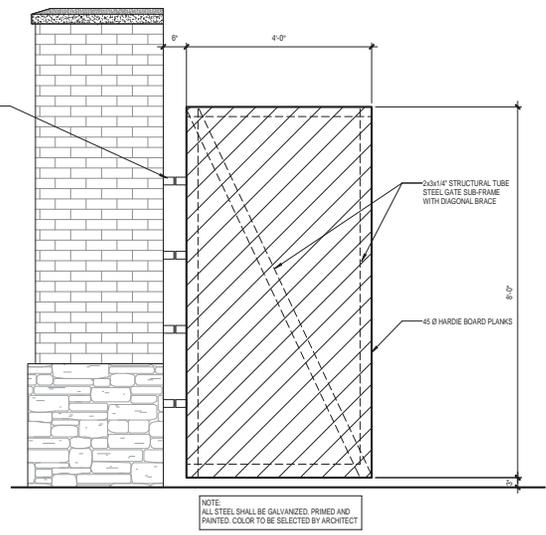
Building Z Fifth Floor Plan

A-Z105

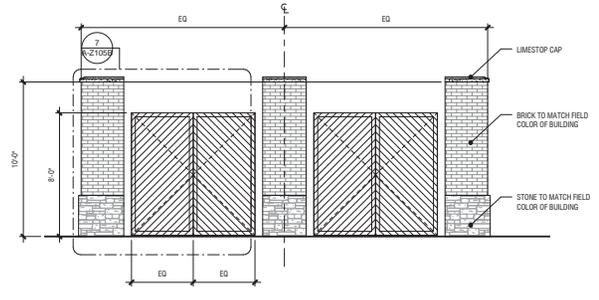
1 Fifth Floor Plan - P5
SCALE: 1/8" = 1'-0"

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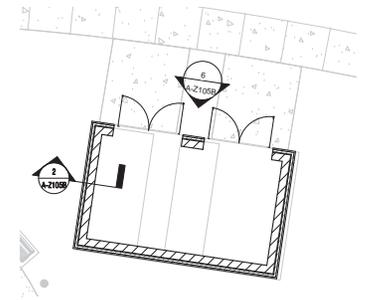
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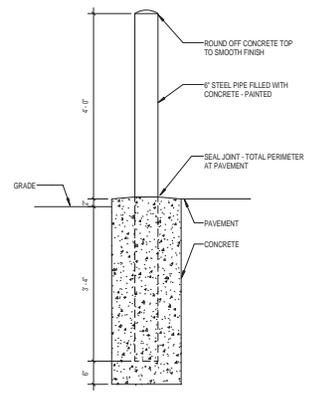
7 ENLARGED GATE ELEVATION
SCALE: 3/4" = 1'-0"



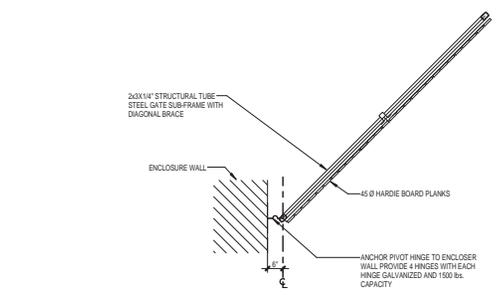
6 GATE ELEVATION
SCALE: 1/4" = 1'-0"



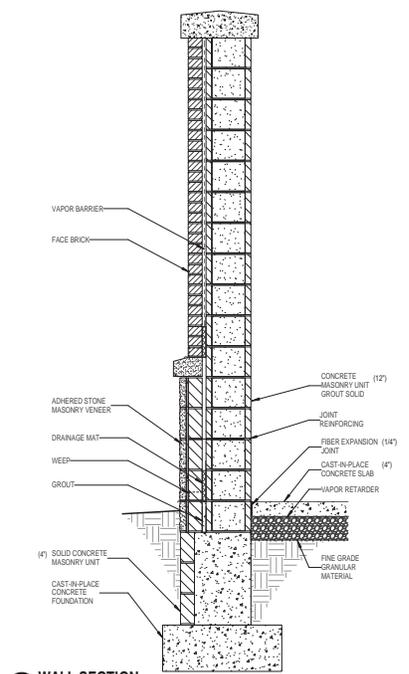
1 ENLARGED PLAN
SCALE: 1/8" = 1'-0"



5 PIPE BOLLARD
SCALE: 3/4" = 1'-0"



4 GATE PLAN DETAIL
SCALE: 1/2" = 1'-0"



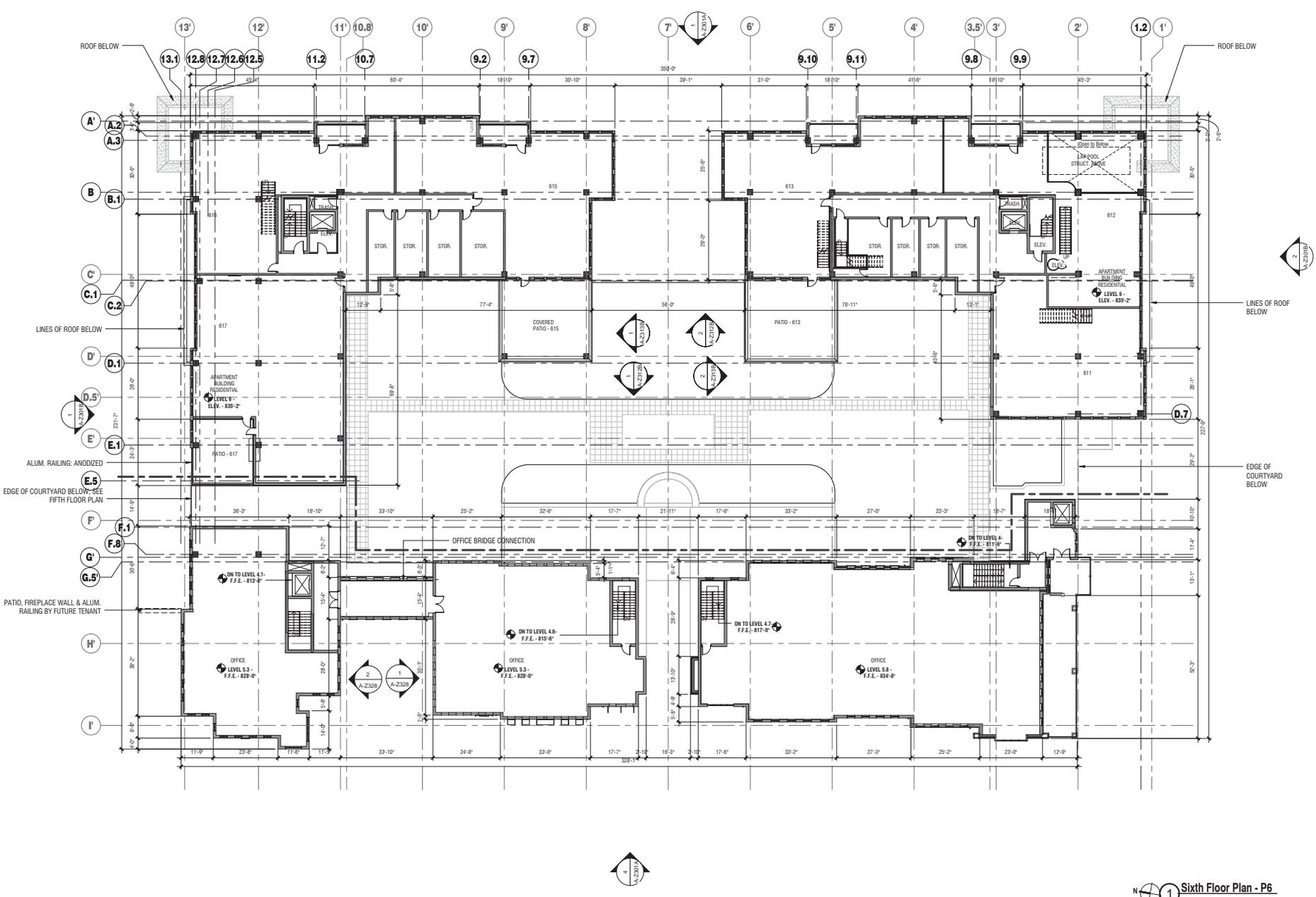
2 WALL SECTION
SCALE: 3/4" = 1'-0"

DATE	
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DESCRIPTION	
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REVISION	
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DATE: 01/11/2018
SHEET: 1 OF 1



1 Sixth Floor Plan - P6
SCALE: 1/16" = 1'-0"

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ARCHITECTS ENGINEERS PLANNERS

OHM-ADVISORS.COM

SECT

Date

DESCRIPTION

REVISION

No.

SHEET

DATE

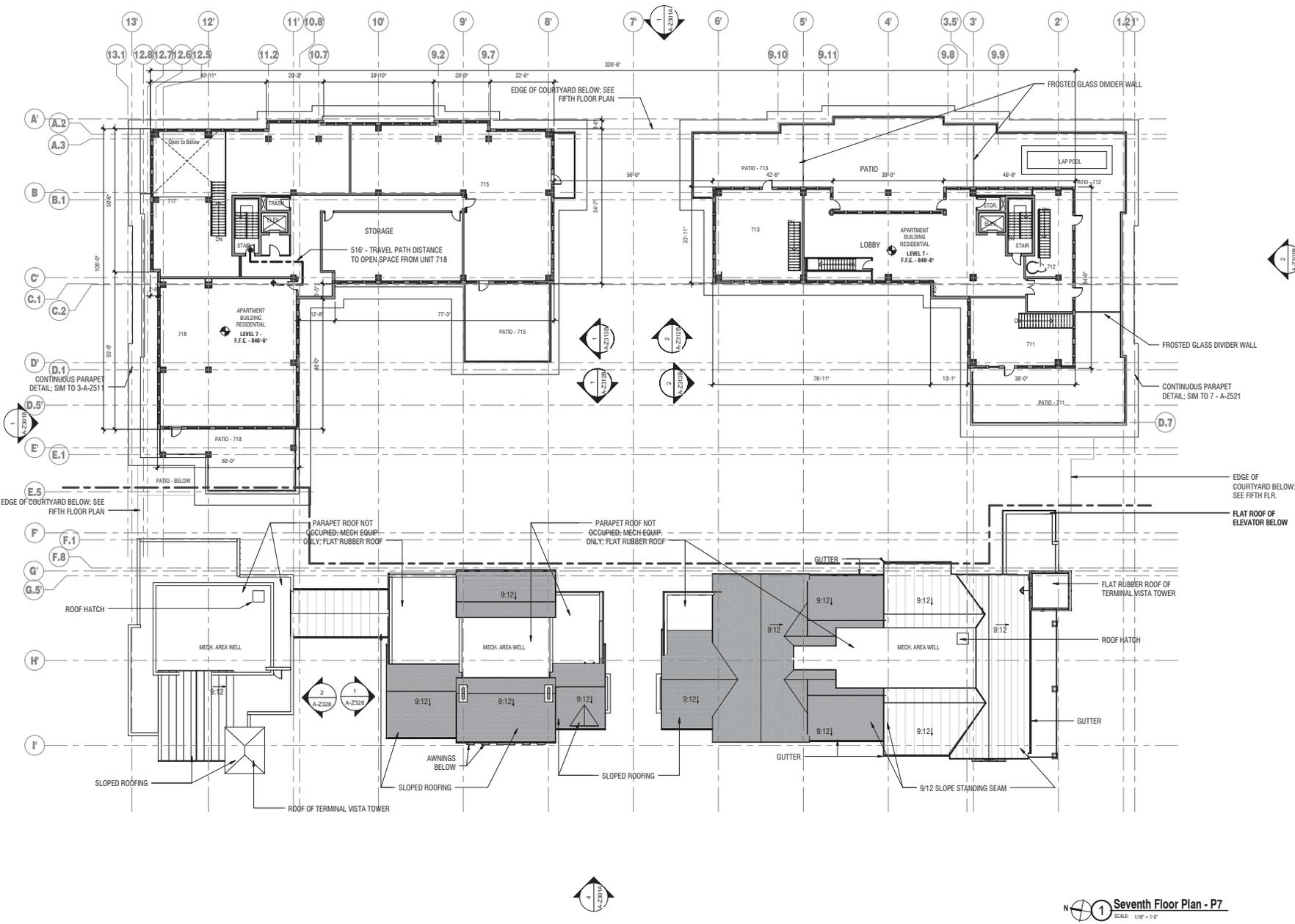
PROJECT

NO.

Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio
Building Z Seventh Floor Plan

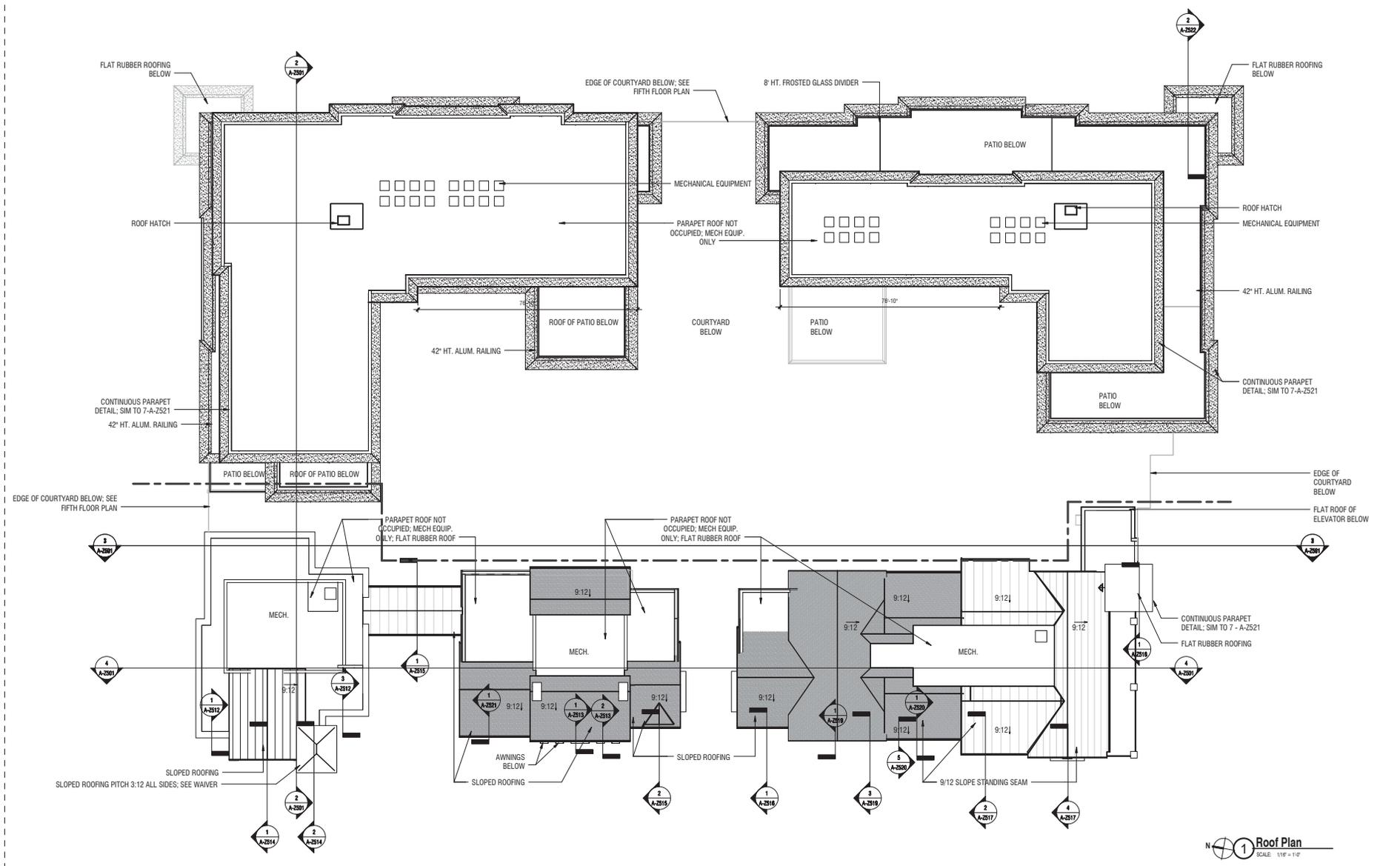
A-Z107

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1 Seventh Floor Plan - P7
SCALE: 1/16" = 1'-0"

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WAIVERS	
153.062(D)(2)(B)(1) - MIN. PITCH 6:12, NORTH TOWER PITCH 3:12	

DATE	
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DESCRIPTION	
-------------	--

NO.	
-----	--

DATE	
DESCRIPTION	
NO.	

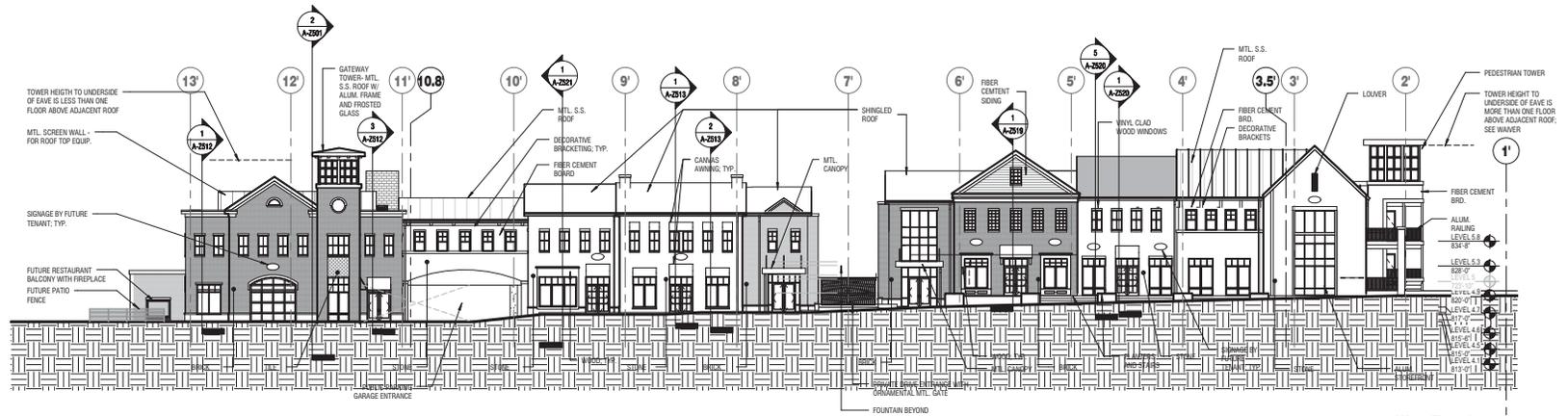
USE: PRELIMINARY ARCH PROJECT: OGD

SHEET: 1

Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio
Building Z Roof Plan
A-Z108

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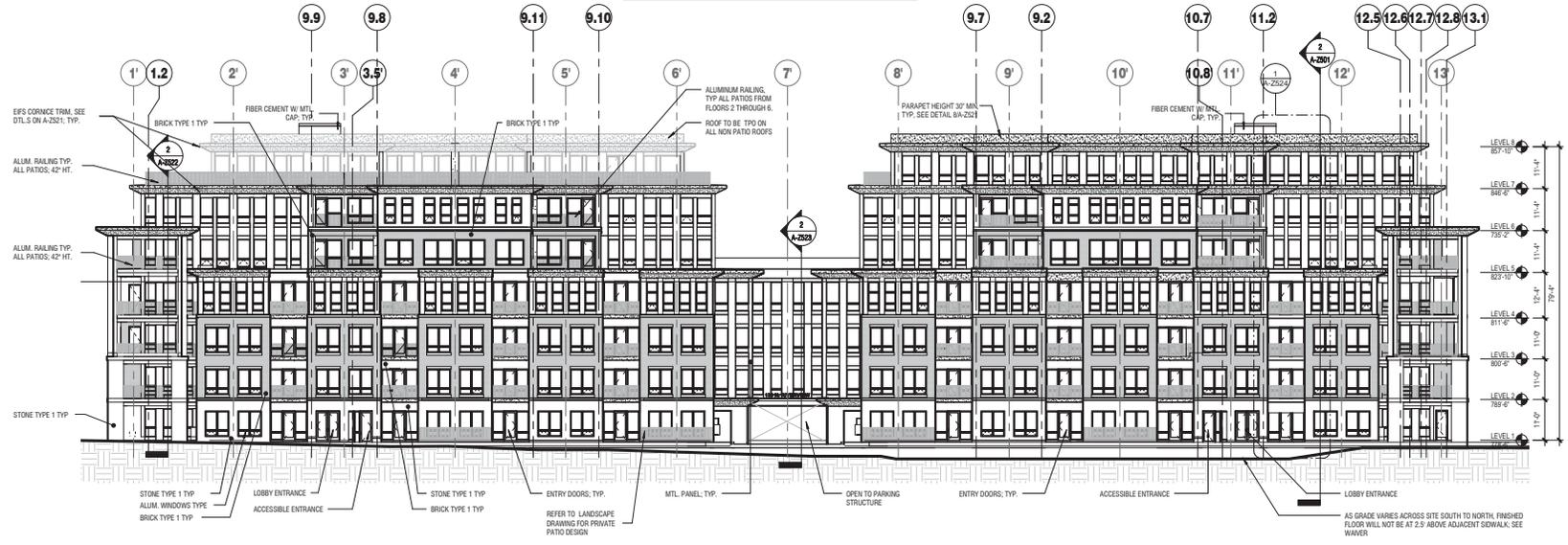


4 West Elevation
SCALE: 1/16" = 1'-0"

WAINERS

133.862(0)21 - 2.5' ABOVE SIDEWALK
133.862(0)4(5) - TOWER HEIGHT NOT GREATER THAN HEIGHT OF ONE ADD'L UPPER FLOOR (SOUTH TOWER AND @ HIGH STREET)

*REFER TO SHEET A-Z301 FOR PARAPET DTLS.
*FACADE COLOR MATERIALS TO BE DEPICTED ON COLORED RENDERINGS



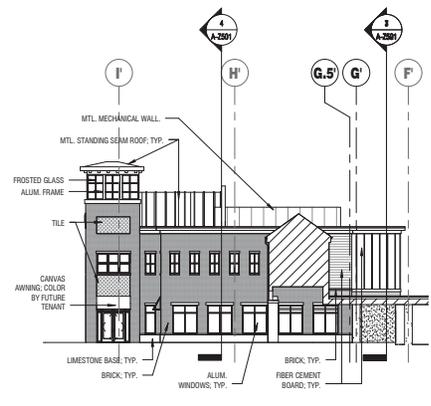
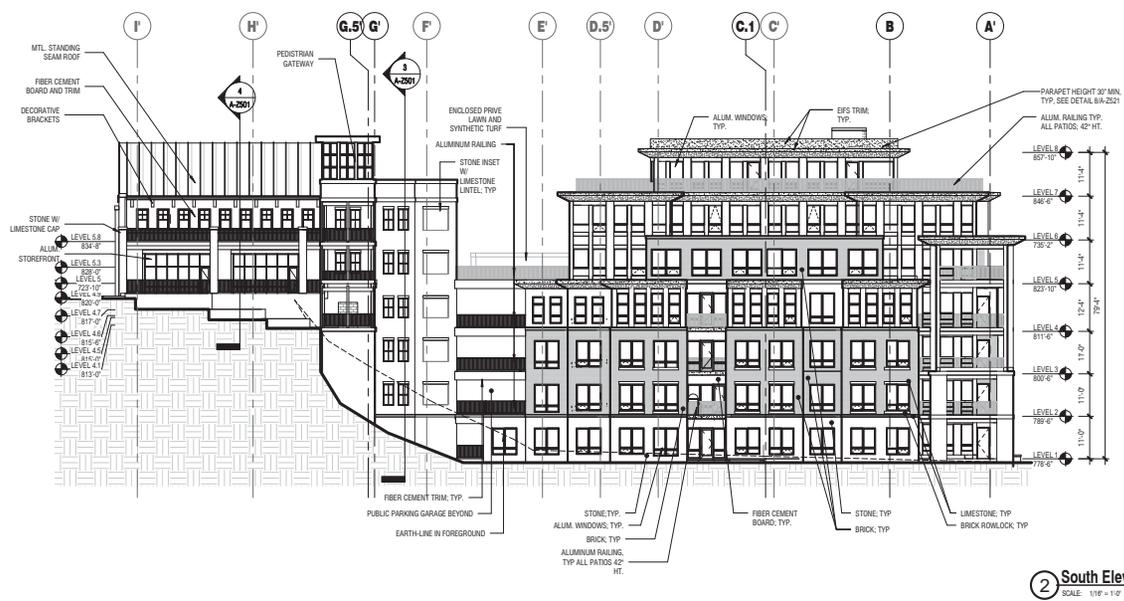
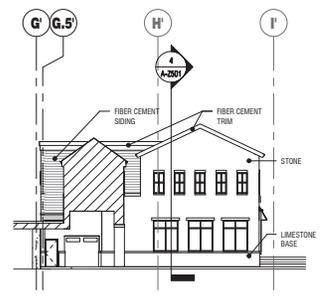
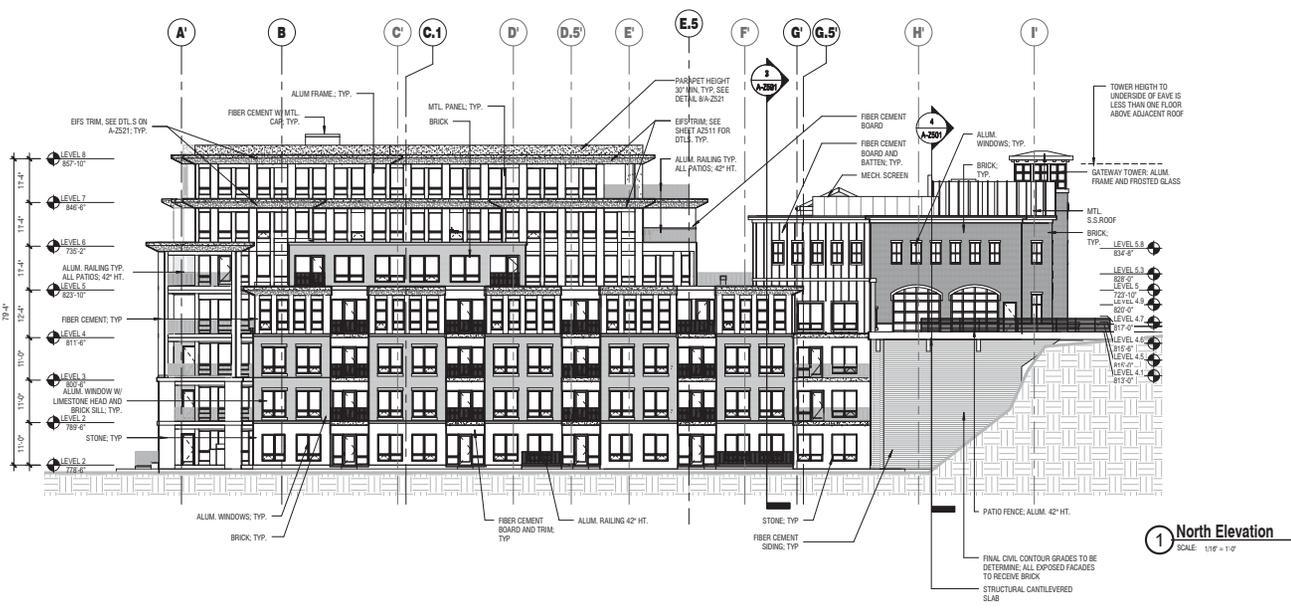
1 East Elevation
SCALE: 1/16" = 1'-0"

DATE	
DESCRIPTION	
REVISION NO.	

LEVEL: PRELIMINARY ARCH: PRELIMINARY CAD

Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio

Elevations



*SEE MATERIAL BOARDS, COLOR ELEVATIONS, AND FINISH SCHEDULES FOR FURTHER IDENTIFICATION.

DATE: _____

DESCRIPTION: _____

REVISIONS: _____

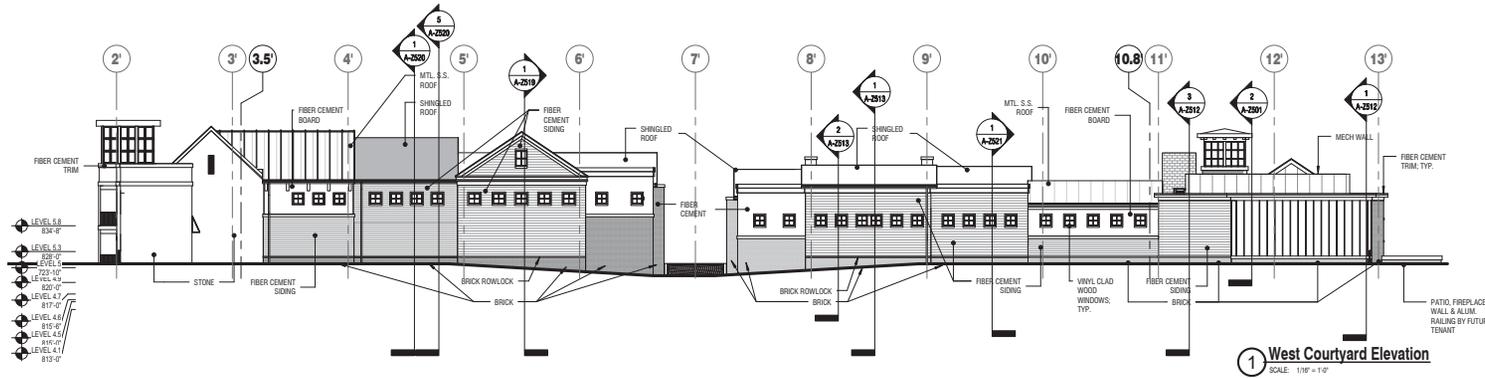
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A-Z301B

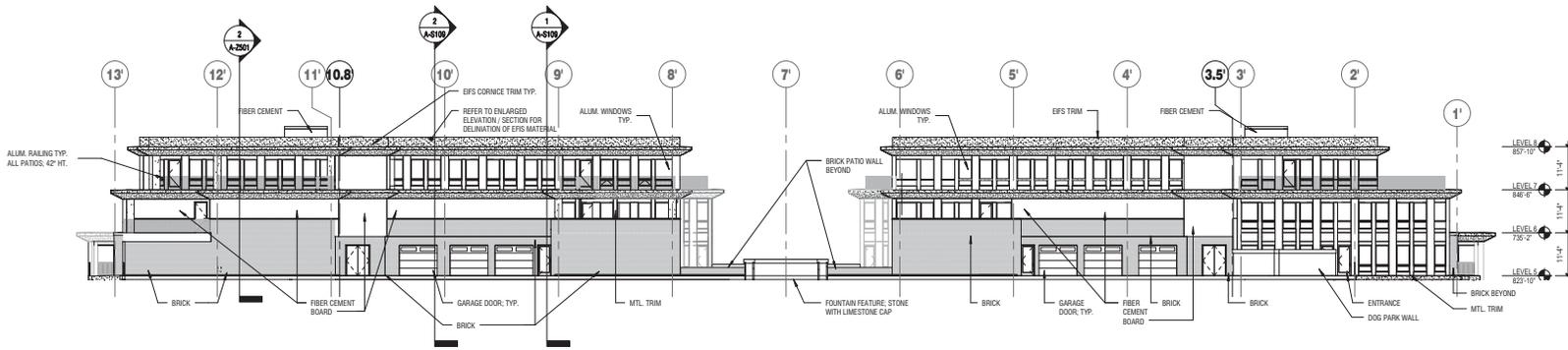
Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio
Elevations

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1 West Courtyard Elevation
SCALE: 1/16" = 1'-0"



2 East Courtyard Elevation
SCALE: 1/16" = 1'-0"

SCALE

DATE

DESCRIPTION

REVISIONS

DATE

PROJECT

ARCH

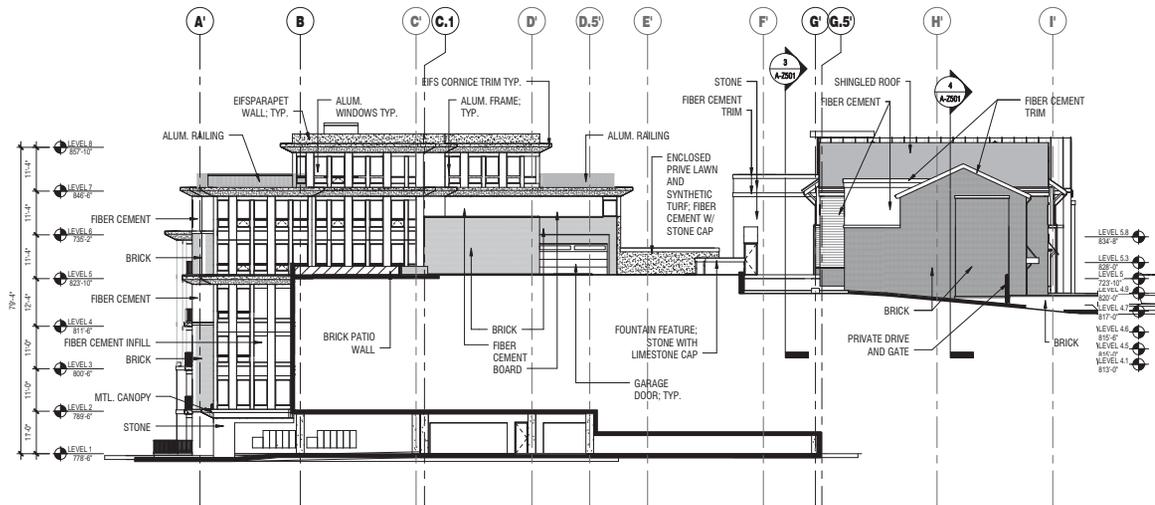
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Crawford Hoving Development
Bridge Park West - Building Z
Dublin, Ohio
Courtyard Elevations

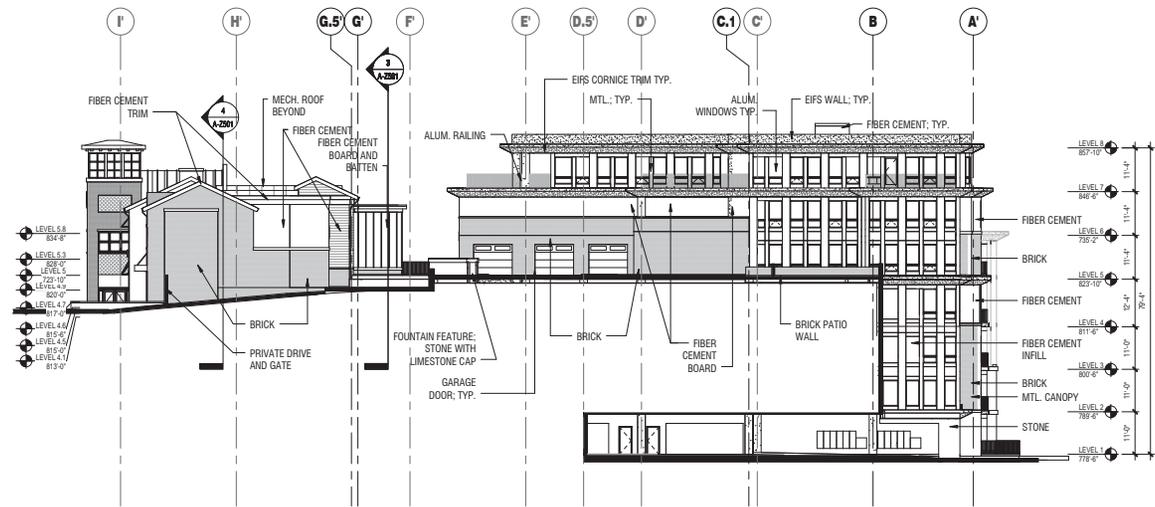
A-Z302A

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FILE PATH: C:\Users\mduke\Documents\Building_Z_2014\0117_1.dwg, xct



2 South Courtyard Elevation
SCALE: 1/16" = 1'-0"



1 North Courtyard Elevation
SCALE: 1/16" = 1'-0"

DATE	
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DESCRIPTION	
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NO.	
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Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio

Courtyard Elevations

SHEET: A-Z302B



HISTORICAL TRANSPARENCY PERCENTAGE - WEST FACADE (PER FLR.)

1ST FLOOR = 52%		2ND FLOOR = 20%	
TOTAL	1673 S.F.	TOTAL	3879 S.F.
VOID	868 S.F.	VOID	788 S.F.
SOLID	805 S.F.	SOLID	3100 S.F.

1 TRANSPARENCY PERCENTAGE WEST ELEVATION
SCALE: 1/8" = 1'-0"



TRANS. % - EAST FACADE

ALL FLOORS = 50%		APARTMENT TRANSPARENCY PERCENTAGES - EAST FACADE (PER FLOOR)							
TOTAL	22915 S.F.	1ST FLOOR = 70%	2ND FLOOR = 44%	3RD FLOOR = 44%	4TH FLOOR = 45%	5TH FLOOR = 40%	6TH FLOOR = 42%	7TH FLOOR = 34%	
VOID	11417 S.F.	TOTAL	4177 S.F.	TOTAL	4177 S.F.	TOTAL	3787 S.F.	TOTAL	3781 S.F.
SOLID	11498 S.F.	VOID	1485 S.F.	VOID	1827 S.F.	VOID	1514 S.F.	VOID	1279 S.F.
		SOLID	600 S.F.	SOLID	2350 S.F.	SOLID	2273 S.F.	SOLID	2482 S.F.

2 TRANSPARENCY PERCENTAGE EAST ELEVATION
SCALE: 1/16" = 1'-0"

DATE

DESCRIPTION

PROJECT No.

Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio

TRANSPARENCY PERCENTAGE ELEVATION



1 MATERIAL PERCENTAGE WEST ELEVATION
SCALE: 1/8" = 1'-0"

HISTORICAL MATERIAL PERCENTAGES - WEST FACADE (equals 100%)						
PRIMARY MATERIALS		SECONDARY MATERIALS		TRIM		TOTAL
STONE	BRICK	FIBER CEMENT BOARD	GLASS	METAL	EIFS	TILE
33.5%	29%	7%	29%	1%	0%	0%
2916 S.F./ 7828 S.F.	2257 S.F./ 7828 S.F.	583 S.F./ 7828 S.F.	2280 S.F./ 7828 S.F.	88 S.F./ 7828 S.F.	0 S.F./ 7828 S.F.	32 S.F./ 7828 S.F.
WAIVER - HMU						
153,062 (0)(9)(d)(5) PRIMARY MATERIALS MIN OF 80%						

SEA

Date

DESCRIPTION

NO.

DATE PREPARED BY PROJECT CODE

SHEET

A-Z310A

Crawford Hoving Development
Bridge Park West - Building Z
Dublin, Ohio

MATERIAL PERCENTAGE ELEVATIONS

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3 MATERIAL PERCENTAGE EAST ELEVATION
SCALE: 1/8" = 1'-0"

APARTMENT MATERIAL PERCENTAGES - EAST FACADE (equals 100%)						
PRIMARY MATERIALS		SECONDARY MATERIALS		TRIM		TOTAL
STONE	BRICK	GLASS	FIBER CEMENT BOARD	METAL	EIFS	TILE
10.3%	13%	42%	22.3%	3%	9%	100%
2926 S.F./ 27982 S.F.	3684 S.F./ 27982 S.F.	11698 S.F./ 27982 S.F.	6242 S.F./ 27982 S.F.	894 S.F./ 27982 S.F.	2598 S.F./ 27982 S.F.	27982 S.F.
WAIVER - APARTMENT						
153,062 (0)(3)(d)(5) PRIMARY MATERIALS MIN OF 80%						



HISTORICAL TRANSPARENCY PERCENTAGE NORTH FACADE ELEVATION TRANSPARENCY = 25%		APARTMENT TRANSPARENCY PERCENTAGE NORTH FACADE ELEVATION TRANSPARENCY = 30%	
TOTAL	2232 S.F.	TOTAL	13827 S.F.
VOID	561 S.F.	VOID	5252 S.F.

1 TRANSPARENCY PERCENTAGE NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 TRANSPARENCY PERCENTAGE NORTH PUBLIC ENTRANCE ELEVATION
 SCALE: 1/8" = 1'-0"

TRANSPARENCY PERCENTAGE NORTH PUBLIC ENTRANCE FACADE ELEVATION TRANSPARENCY = 17%	
TOTAL	1277 S.F.
VOID	223 S.F.



HISTORICAL TRANSPARENCY PERCENTAGE SOUTH FACADE ELEVATION TRANSPARENCY = 17%		APARTMENT TRANSPARENCY PERCENTAGE SOUTH FACADE ELEVATION TRANSPARENCY = 28%	
TOTAL	3961 S.F.	TOTAL	13233 S.F.
VOID	658 S.F.	VOID	3997 S.F.

2 TRANSPARENCY PERCENTAGE SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



4 TRANSPARENCY PERCENTAGE SOUTH PUBLIC ENTRANCE ELEVATION
 SCALE: 1/8" = 1'-0"

TRANSPARENCY PERCENTAGE SOUTH PUBLIC ENTRANCE FACADE ELEVATION TRANSPARENCY = 28%	
TOTAL	1731 S.F.
VOID	488 S.F.

SHEET NO.

DATE

DESCRIPTION

REVISION NO.

PROJECT: CRAWFORD HOYING DEVELOPMENT
 BRIDGE PARK WEST - BUILDING Z
 DUBLIN, OHIO

TRANSPARENCY PERCENTAGE ELEVATION

A-Z311

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3 MATERIAL PERCENTAGE NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

APARTMENT MATERIAL PERCENTAGES - NORTH FACADE (equals 100%)								HISTORICAL MATERIAL PERCENTAGES - NORTH FACADE (equals 100%)									
PRIMARY MATERIALS		SECONDARY MATERIALS		GLASS	METAL	TRIM	EIFS	TOTAL	PRIMARY MATERIALS		SECONDARY MATERIALS		GLASS	METAL	TRIM	EIFS	TOTAL
STONE	BRICK	FIBER CEMENT BOARD							STONE	BRICK	FIBER CEMENT BOARD						
13%	14%	20%		40.5%	3%	9.5%		100%	5%	44%	29%		25%	0%	0%		100%
1871 S.F.	1853 S.F.	2908 S.F.		5202 S.F.	379 S.F.	1287 S.F.		12962 S.F.	186 S.F.	389 S.F.	383 S.F.		348 S.F.	0 S.F.	0 S.F.		2177 S.F.
12962 S.F.	12962 S.F.	12962 S.F.		12962 S.F.	12962 S.F.	12962 S.F.			2177 S.F.	2177 S.F.	2177 S.F.		2177 S.F.	2177 S.F.	2177 S.F.		

WAIVER - HMU	WAIVER - APARTMENT
153.062 (0)(9)(d)(5) MIN. OF 80% OF FACADE VISIBLE FROM STREET TO BE 80%	153.062 (0)(3)(d)(5) MIN. OF 80% OF FACADE VISIBLE FROM ADJACENT PROPERTY



1 MATERIAL PERCENTAGE NORTH PUBLIC ENTRANCE ELEVATION
 SCALE: 1/16" = 1'-0"

HISTORICAL MATERIAL PERCENTAGES - NORTH PUBLIC ENTRANCE FACADE (equals 100%)								
PRIMARY MATERIALS		SECONDARY MATERIALS		GLASS	METAL	TRIM	EIFS	TOTAL
STONE	BRICK	FIBER CEMENT BOARD						
17.5%	53%			12%	17.5%	0%	0%	100%
226 S.F.	679 S.F.			153 S.F.	223 S.F.	0 S.F.	0 S.F.	1281 S.F.
1281 S.F.	1281 S.F.			1281 S.F.	1281 S.F.			

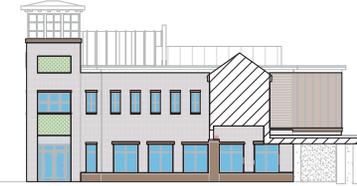
WAIVER - HMU	WAIVER - APARTMENT
153.062 (0)(9)(d)(5) MIN. OF 80% OF FACADE VISIBLE FROM STREET TO BE 80%	153.062 (0)(3)(d)(5) MIN. OF 80% OF FACADE VISIBLE FROM ADJACENT PROPERTY



4 MATERIAL PERCENTAGE SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"

HISTORICAL MATERIAL PERCENTAGES - SOUTH FACADE (equals 100%)								APARTMENT MATERIAL PERCENTAGES - SOUTH FACADE (equals 100%)									
PRIMARY MATERIALS		SECONDARY MATERIALS		GLASS	METAL	TRIM	EIFS	TOTAL	PRIMARY MATERIALS		SECONDARY MATERIALS		GLASS	METAL	TRIM	EIFS	TOTAL
STONE	BRICK	FIBER CEMENT BOARD							STONE	BRICK	FIBER CEMENT BOARD						
56%	0%	23%		20%	1%	0%		100%	12%	16.5%	21%		38%	3.5%	9%		100%
2285 S.F.	0 S.F.	941 S.F.		793 S.F.	53 S.F.	0 S.F.		4872 S.F.	1157 S.F.	1598 S.F.	2032 S.F.		3697 S.F.	300 S.F.	875 S.F.		9689 S.F.
4872 S.F.	4872 S.F.	4872 S.F.		4872 S.F.	4872 S.F.	4872 S.F.			9689 S.F.	9689 S.F.	9689 S.F.		9689 S.F.	9689 S.F.	9689 S.F.		

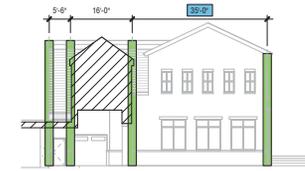
WAIVER - HMU	WAIVER - APARTMENT
153.062 (0)(9)(d)(5) MIN. OF 80% OF FACADE VISIBLE FROM STREET TO BE 80%	153.062 (0)(3)(d)(5) MIN. OF 80% OF FACADE VISIBLE FROM ADJACENT PROPERTY



2 MATERIAL PERCENTAGE SOUTH PUBLIC ENTRANCE ELEVATION
 SCALE: 1/16" = 1'-0"

HISTORICAL MATERIAL PERCENTAGES - SOUTH PUBLIC ENTRANCE FACADE (equals 100%)								
PRIMARY MATERIALS		SECONDARY MATERIALS		GLASS	METAL	TRIM	EIFS	TOTAL
STONE	BRICK	FIBER CEMENT BOARD						
10%	48%			13%	24%	0%	0%	100%
218 S.F.	976 S.F.			479 S.F.	875 S.F.	0 S.F.	0 S.F.	2025 S.F.
2025 S.F.	2025 S.F.			2025 S.F.	2025 S.F.			

WAIVER - HMU	WAIVER - APARTMENT
153.062 (0)(9)(d)(5) MIN. OF 80% OF FACADE VISIBLE FROM STREET TO BE 80%	153.062 (0)(3)(d)(5) MIN. OF 80% OF FACADE VISIBLE FROM ADJACENT PROPERTY



2 VERTICAL FACADE DIVISION NORTH PUBLIC ENTRANCE ELEVATION
SCALE: 1/8" = 1'-0"

HISTORIC MIXED-USE WAIVERS
153.0820(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 30'
*AREAS IN ACCESS SHOWN IN [BLUE] (WAIVER NEEDED)



1 VERTICAL FACADE DIVISION NORTH ELEVATION
SCALE: 1/8" = 1'-0"

<p>APARTMENT WAIVERS 153.0820(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 40' *AREAS IN EXCESS SHOWN IN [BLUE] (WAIVER NEEDED); AREAS IN EXCESS FOLLOW WINDOW BAY RHYTHM</p> <p>153.0820(9)(c) - CHANGE IN HORIZONTAL PLANE *AREA IN SHOWN IN [RED] (WAIVER NEEDED) CAST STONE COURSE AND BALCONY SLAB EDGES PROVIDED FOR SEPARATION W/ IN 3' OF TOP OF GROUND STORY</p>	<p>HISTORIC MIXED-USE WAIVERS 153.0820(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 30' *AREAS IN ACCESS SHOWN IN [BLUE] (WAIVER NEEDED)</p>	<p>BALCONY PERMITS CALCULATION BALCONIES SHOWN IN [RED] MAKE UP 18% OF THE EAST FACADE</p>
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3 VERTICAL FACADE DIVISION SOUTH PUBLIC ENTRANCE ELEVATION
SCALE: 1/8" = 1'-0"

HISTORIC MIXED-USE WAIVERS
153.0820(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 30'
*AREAS IN ACCESS SHOWN IN [BLUE] (WAIVER NEEDED)



4 VERTICAL FACADE DIVISION SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

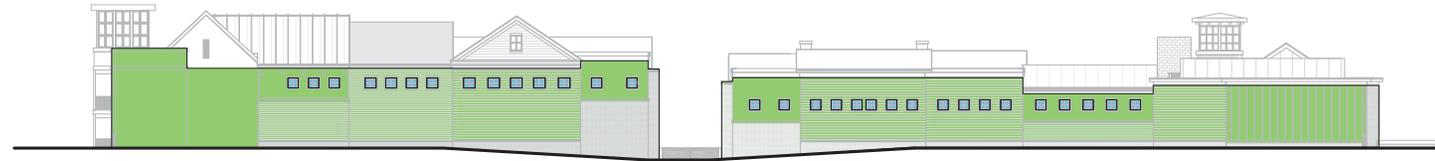
<p>HISTORIC MIXED-USE WAIVERS 153.0820(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 30' *AREAS IN ACCESS SHOWN IN [BLUE] (WAIVER NEEDED)</p>	<p>APARTMENT WAIVERS 153.0820(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 40' *AREAS IN EXCESS SHOWN IN [BLUE] (WAIVER NEEDED); AREAS IN EXCESS FOLLOW WINDOW BAY RHYTHM</p> <p>153.0820(9)(c) - CHANGE IN HORIZONTAL PLANE *AREA IN SHOWN IN [RED] (WAIVER NEEDED) CAST STONE COURSE AND BALCONY SLAB EDGES PROVIDED FOR SEPARATION W/ IN 3' OF TOP OF GROUND STORY</p>
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DATE	
DESCRIPTION	
REVISION NO.	

USE: PRELIMINARY ARCH PROJECT GDD

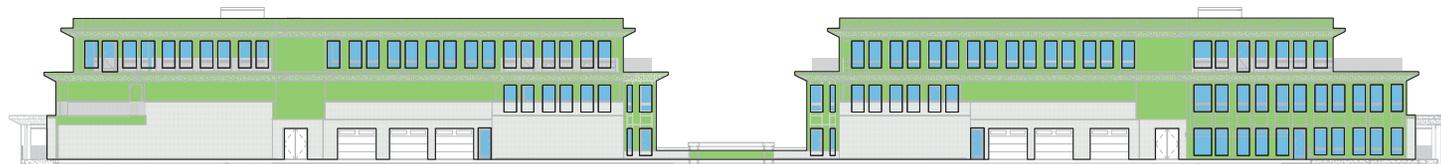
Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio

VERTICAL FACADE DIVISION ELEVATIONS



TRANSPARENCY PERCENTAGE WEST COURTYARD FACADE		WAIVER - HMU	
ELEVATION TRANSPARENCY = 4%		153.062 (0)(9)(d)(2) MIN. 15% FACADE TRANSPARENCY FOR HMU: WEST COURTYARD 4%	
TOTAL	6039 S.F.		
VOID	219 S.F.		

② **TRANSPARENCY PERCENTAGE WEST COURTYARD ELEVATION**
 SCALE: 1/16" = 1'-0"



APARTMENT TRANSPARENCY PERCENTAGE EAST COURTYARD FACADE	
ELEVATION TRANSPARENCY = 80%	
TOTAL	10414 S.F.
VOID	8354 S.F.

① **TRANSPARENCY PERCENTAGE EAST COURTYARD ELEVATION**
 SCALE: 1/16" = 1'-0"

SCALE

DATE

DESCRIPTION

REVISIONS

NO.

DATE

PREPARED BY

CHECKED BY

PROJECT

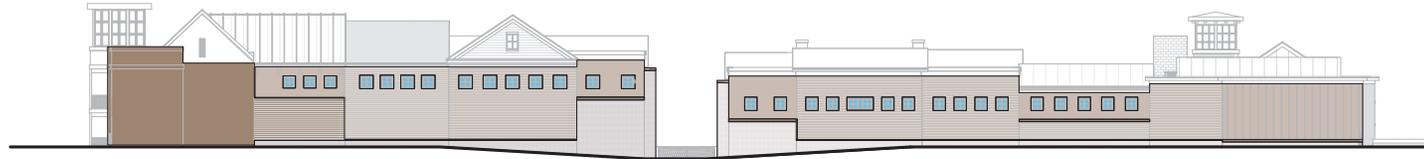
DATE

Crawford Hoying Development
 Bridge Park West - Building Z
 Dublin, Ohio

TRANSPARENCY PERCENTAGE ELEVATION

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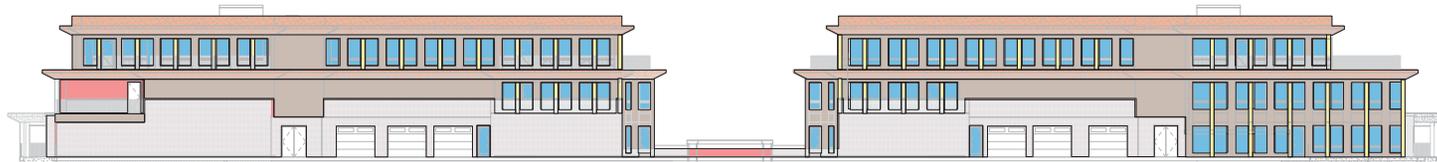


1 MATERIAL PERCENTAGE WEST COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

HISTORICAL MATERIAL PERCENTAGES - WEST COURTYARD FACADE (equals 100%)							
PRIMARY MATERIALS		SECONDARY MATERIALS			TRIM		TOTAL
STONE	BRICK	FIBER CEMENT BOARD	GLASS	METAL	EIFS		
21%	16%	57%	0%	0%	0%	100%	
1262 S.F./ 6042 S.F.	971 S.F./ 6042 S.F.	3450 S.F./ 6042 S.F.	359 S.F./ 6042 S.F.	0 S.F./ 6042 S.F.	0 S.F./ 6042 S.F.	6042 S.F.	

WAIVER - HMU

NOT VISIBLE FROM STREET OR ADJACENT PROPERTY ALLOWS FOR USE OF PRIMARY & SECONDARY MATERIALS FOR 80% PER 153.062 (b)(3)(d)(5)



2 MATERIAL PERCENTAGE EAST COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

APARTMENT MATERIAL PERCENTAGES - WEST COURTYARD FACADE (equals 100%)							
PRIMARY MATERIALS		SECONDARY MATERIALS			TRIM		TOTAL
STONE	BRICK	FIBER CEMENT BOARD	GLASS	METAL	EIFS		
0%	25%	25%	16.0%	16.5%	17%	100%	
0 S.F./ 12236 S.F.	3093 S.F./ 12236 S.F.	2916 S.F./ 12236 S.F.	2060 S.F./ 12236 S.F.	2060 S.F./ 12236 S.F.	2107 S.F./ 12236 S.F.	12236 S.F.	

SCALE

DATE

DESCRIPTION

REVISIONS

NO.

DATE

PROJECT

NO.

DATE

Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio

MATERIAL PERCENTAGE ELEVATIONS

A-Z312A

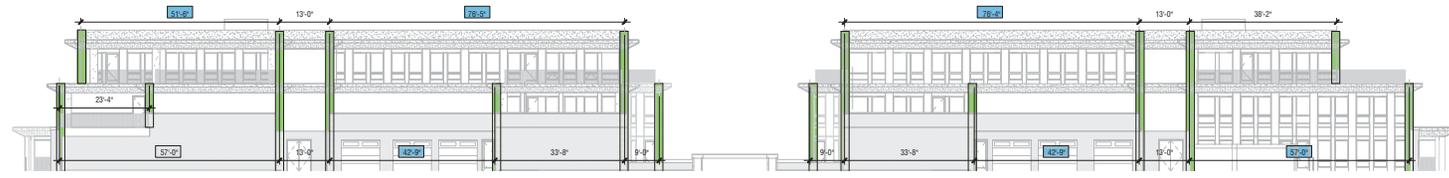
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HISTORIC MIXED-USE WAIVERS
 153.062(B)(1)(b)(4) - CHANGE IN VERTICAL PLANE EVERY 30'
 *AREAS IN EXCESS SHOWN IN **BLUE** (WAIVER NEEDED)

1 VERTICAL FACADE DIVISION WEST COURTYARD ELEVATION
 SCALE: 1/8" = 1'-0"



APARTMENT WAIVERS
 153.062(B)(1)(b)(4) - CHANGE IN VERTICAL PLANE EVERY 40'
 *AREAS IN EXCESS SHOWN IN **BLUE** (WAIVER NEEDED)

2 VERTICAL FACADE DIVISION EAST COURTYARD ELEVATION
 SCALE: 1/8" = 1'-0"

SCALE

DATE

DESCRIPTION

REVISIONS

NO.

DATE PREPARED BY PROJECT CODE

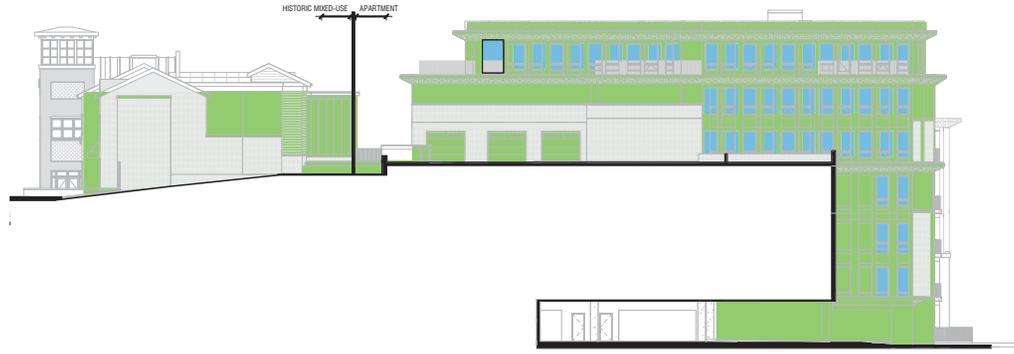
Crawford Hoising Development
 Bridge Park West - Building Z
 Dublin, Ohio

VERTICAL FACADE DIVISION ELEVATIONS

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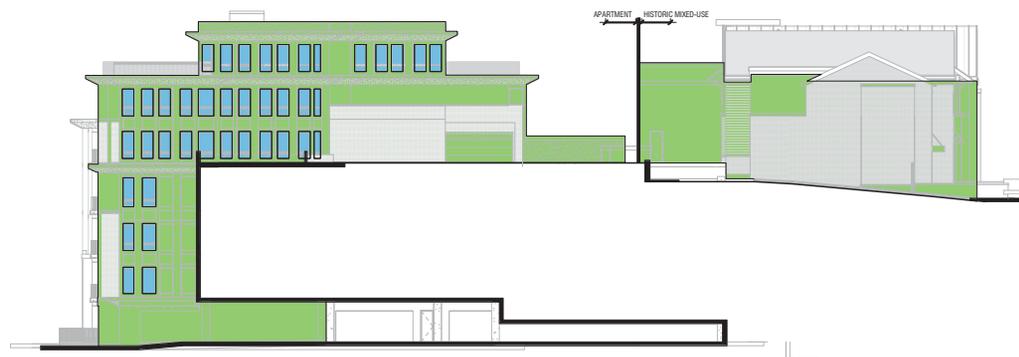
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A-Z312B



HISTORICAL MIXED-USE		APARTMENT		WAIVER - APARTMENT	
TRANSPARENCY PERCENTAGE NORTH COURTYARD FACADE		TRANSPARENCY PERCENTAGE NORTH COURTYARD FACADE		153.062 (0)(9)(d)(5) MIN OF 15% FACADE TRANSPARENCY FOR HMU - NORTH COURTYARD AND SOUTH COURTYARD	
ELEVATION TRANSPARENCY = 0%		ELEVATION TRANSPARENCY = 22%			
TOTAL	2863 S.F.	TOTAL	5158 S.F.		
VOID	0 S.F.	VOID	1158 S.F.		

① TRANSPARENCY PERCENTAGE NORTH COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"



APARTMENT		HISTORICAL MIXED-USE		WAIVER - APARTMENT	
TRANSPARENCY PERCENTAGE SOUTH COURTYARD FACADE		TRANSPARENCY PERCENTAGE SOUTH COURTYARD FACADE		153.062 (0)(9)(d)(5) MIN OF 15% FACADE TRANSPARENCY FOR HMU - NORTH COURTYARD AND SOUTH COURTYARD	
ELEVATION TRANSPARENCY = 19%		ELEVATION TRANSPARENCY = 0%			
TOTAL	5229 S.F.	TOTAL	2495 S.F.		
VOID	833 S.F.	VOID	0 S.F.		

② TRANSPARENCY PERCENTAGE SOUTH COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

SEA

DATE

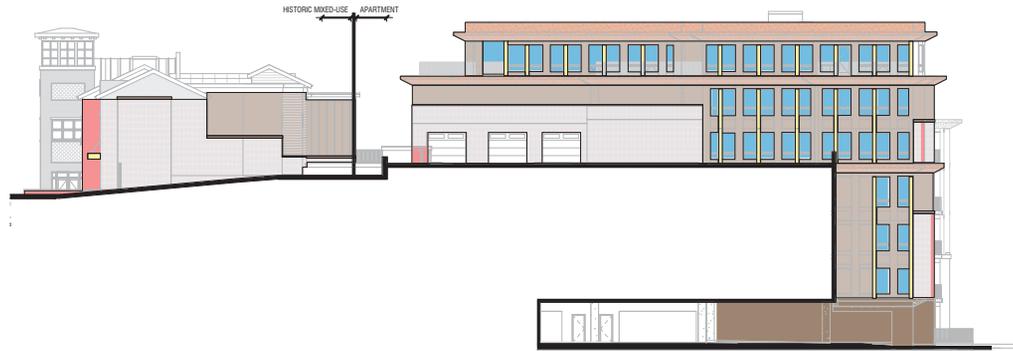
DESCRIPTION

NO.

Crawford Hoying Development
Bridge Park West - Building Z
Dublin, Ohio

TRANSPARENCY PERCENTAGE ELEVATION

A-Z313



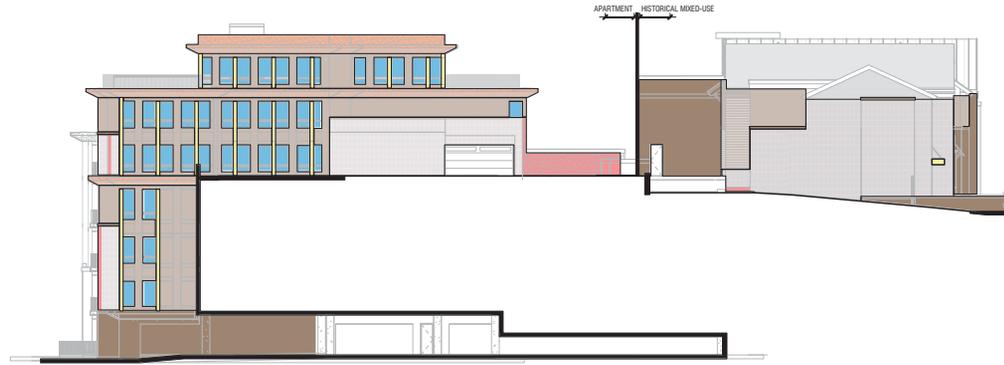
APARTMENT MATERIAL PERCENTAGES - NORTH COURTYARD FACADE (equals 100%)						
PRIMARY MATERIALS			SECONDARY MATERIALS			TRIM
STONE	BRICK	FIBER CEMENT BOARD	GLASS	METAL	EIFS	TOTAL
12%	18%	31%	19%	3%	10%	100%
665 S.F./ 9565 S.F.	1075 S.F./ 3965 S.F.	1858 S.F./ 5955 S.F.	1147 S.F./ 3965 S.F.	236 S.F./ 9565 S.F.	974 S.F./ 9565 S.F.	9565 S.F.

HISTORICAL MATERIAL PERCENTAGES - SOUTH COURTYARD FACADE (equals 100%)						
PRIMARY MATERIALS			SECONDARY MATERIALS			TRIM
STONE	BRICK	FIBER CEMENT BOARD	GLASS	METAL	EIFS	TOTAL
2%	65%	32.5%	0%	5%	0%	100%
31 S.F./ 1550 S.F.	1910 S.F./ 1550 S.F.	504 S.F./ 1550 S.F.	0 S.F./ 1550 S.F.	5 S.F./ 1550 S.F.	0 S.F./ 1550 S.F.	1550 S.F.

WAIVER - APARTMENT	WAIVER - HMU
153,062 (0)(3)(d)(5) PRIMARY MATERIALS MIN OF 80%	153,062 (0)(9)(d)(5) PRIMARY MATERIALS MIN OF 80%

2 MATERIAL PERCENTAGE NORTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



APARTMENT MATERIAL PERCENTAGES - SOUTH COURTYARD FACADE (equals 100%)						
PRIMARY MATERIALS			SECONDARY MATERIALS			TRIM
STONE	BRICK	FIBER CEMENT BOARD	GLASS	METAL	EIFS	TOTAL
12%	19%	31%	19%	3%	12%	100%
665 S.F./ 4917 S.F.	948 S.F./ 4917 S.F.	1539 S.F./ 4917 S.F.	903 S.F./ 4917 S.F.	223 S.F./ 4917 S.F.	659 S.F./ 4917 S.F.	4917 S.F.

HISTORICAL MATERIAL PERCENTAGES - SOUTH COURTYARD FACADE (equals 100%)						
PRIMARY MATERIALS			SECONDARY MATERIALS			TRIM
STONE	BRICK	FIBER CEMENT BOARD	GLASS	METAL	EIFS	TOTAL
44.5%	44%	11%	0%	2%	0%	100%
1278 S.F./ 2859 S.F.	1259 S.F./ 2859 S.F.	322 S.F./ 2859 S.F.	0 S.F./ 2859 S.F.	5 S.F./ 2859 S.F.	0 S.F./ 2859 S.F.	2859 S.F.

WAIVER - APARTMENT	WAIVER - HMU
153,062 (0)(3)(d)(5) PRIMARY MATERIALS MIN OF 80%	153,062 (0)(9)(d)(5) PRIMARY MATERIALS MIN OF 80%

1 MATERIAL PERCENTAGE SOUTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

SEA

DATE

DESCRIPTION

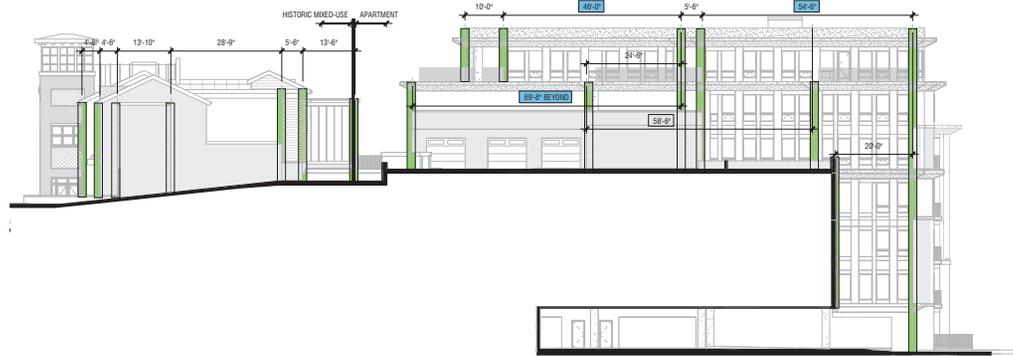
ISSUES

NO.

Crawford Hoying Development
 Bridge Park West - Building Z
 Dublin, Ohio

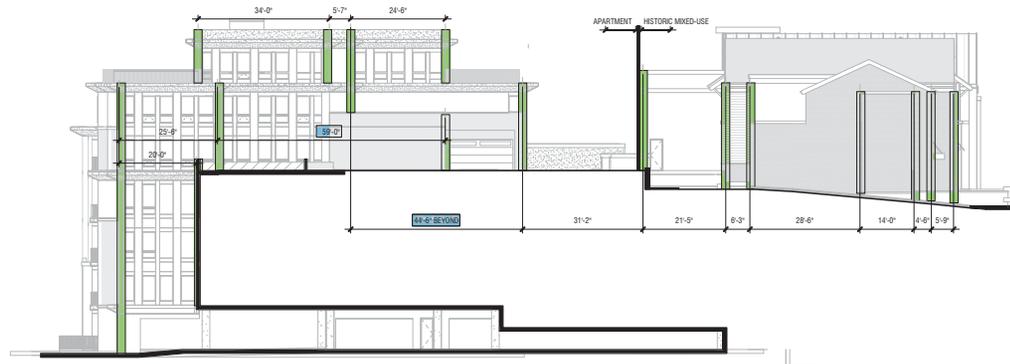
MATERIAL PERCENTAGE ELEVATIONS

A-Z313A



APARTMENT WAIVERS	HISTORIC MIXED-USE WAIVERS
153.062(0)(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 40' *AREAS IN EXCESS SHOWN IN BLUE (WAIVER NEEDED)	153.062(0)(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 30' *AREAS IN EXCESS SHOWN IN BLUE (WAIVER NEEDED)

1 VERTICAL FACADE DIVISION NORTH COURTYARD ELEVATION
SCALE: 1/16" = 1'-0"



APARTMENT WAIVERS	HISTORIC MIXED-USE WAIVERS
153.062(0)(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 40' *AREAS IN EXCESS SHOWN IN BLUE (WAIVER NEEDED)	153.062(0)(9)(d)(4) - CHANGE IN VERTICAL PLANE EVERY 30' *AREAS IN EXCESS SHOWN IN BLUE (WAIVER NEEDED)

2 VERTICAL FACADE DIVISION SOUTH COURTYARD ELEVATION
SCALE: 1/16" = 1'-0"

SEA

DATE

DESCRIPTION

REVISIONS

NO.

DATE

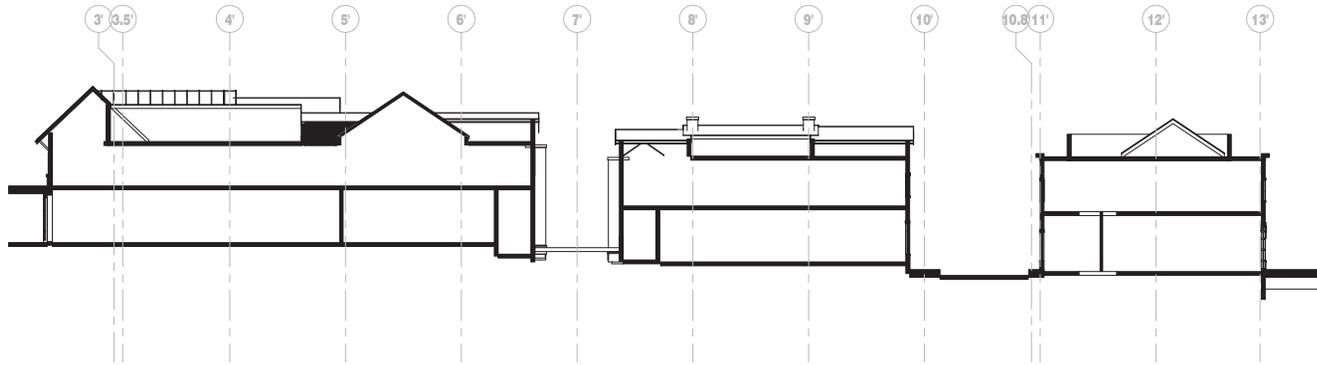
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A-Z313B

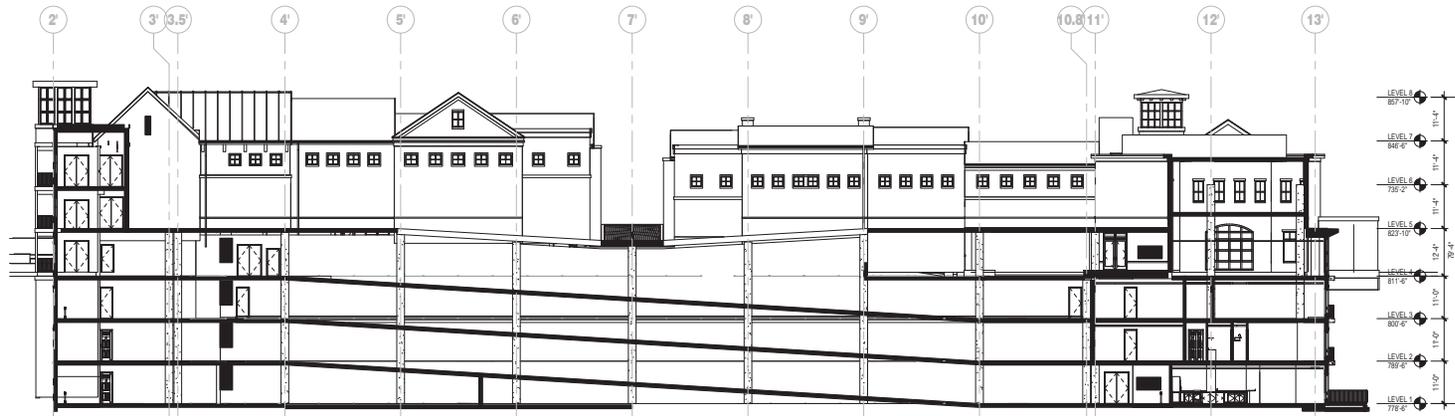
Crawford Hoyle Development
Bridge Park West - Building Z
Dublin, Ohio

VERTICAL FACADE DIVISION ELEVATIONS

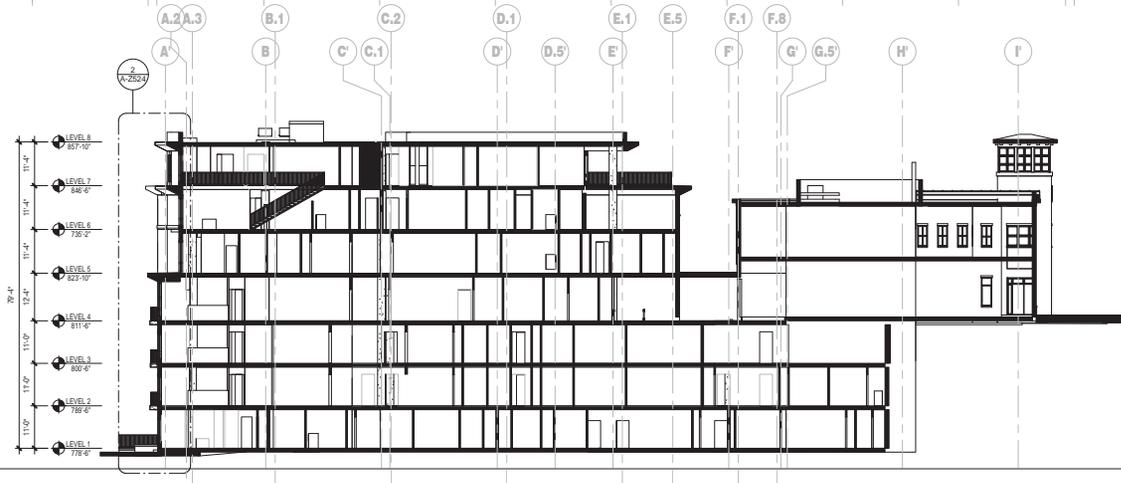
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BUILDING SECTION 4
 1/16" = 1'-0"



BUILDING SECTION 3
 1/16" = 1'-0"



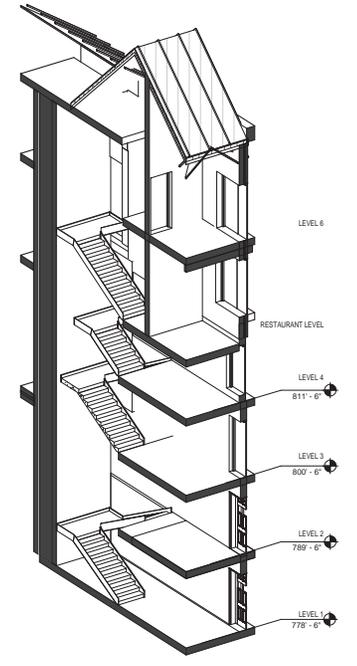
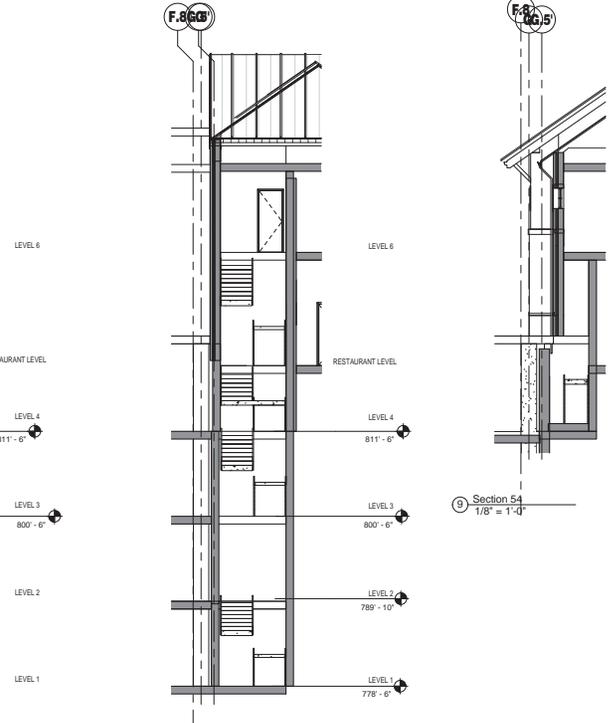
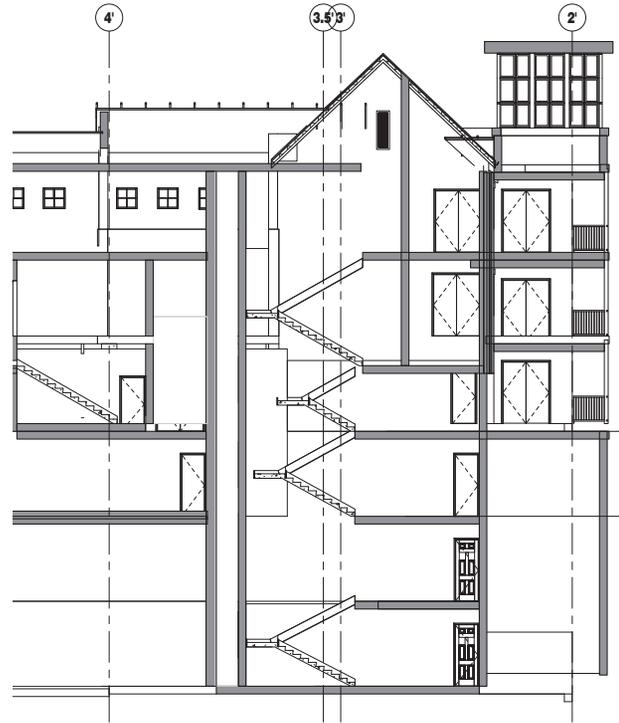
BUILDING SECTION 2
 1/16" = 1'-0"

DATE	
DESCRIPTION	
REVISION	

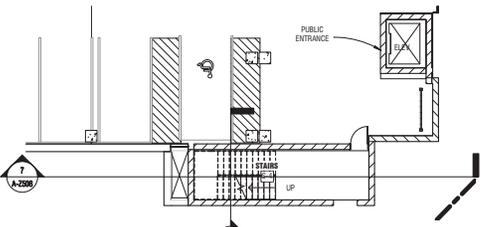
Crawford Hoying Development
 Bridge Park West - Building Z
 Dublin, Ohio
 Building Z Sections

A-Z501

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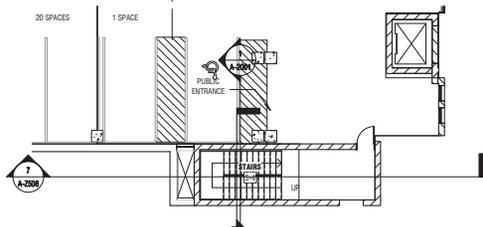


7 SECTION
 1/8" = 1'-0"



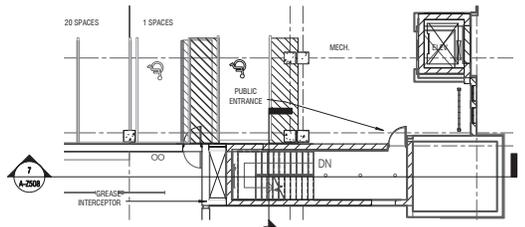
2 STAIRS - First Floor Plan - P1
 3/32" = 1'-0"

8 SECTION
 1/8" = 1'-0"

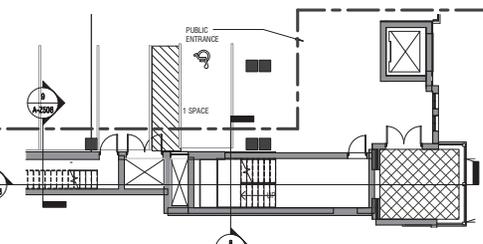


4 STAIRS - Second Floor Plan - P2
 3/32" = 1'-0"

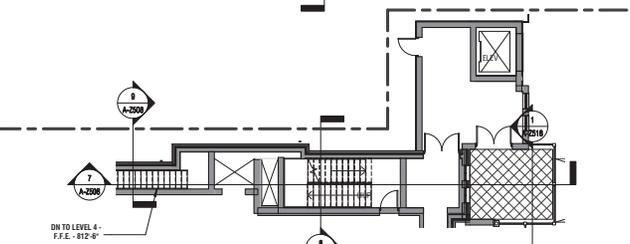
6 SECTION
 1/8" = 1'-0"



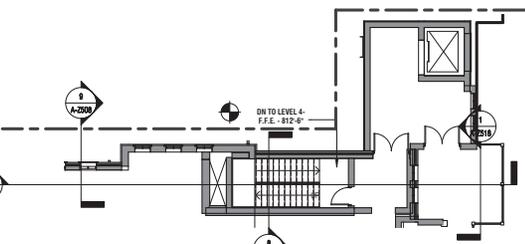
6 STAIRS - Third Floor Plan - P3
 3/32" = 1'-0"



3 STAIRS - Fourth Floor Plan - P4
 3/32" = 1'-0"



1 STAIRS - Fifth Floor Plan - P5
 3/32" = 1'-0"



5 STAIRS - Sixth Floor Plan - P6
 3/32" = 1'-0"

SEA	
DATE	

REVISIONS	
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 Bridge Park West - Building Z
 Dublin, Ohio

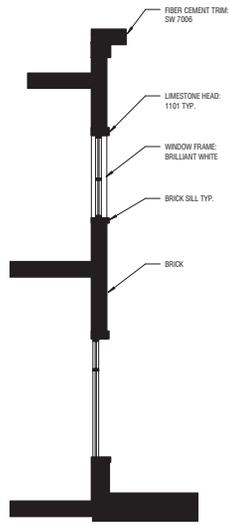
STAIR SECTION

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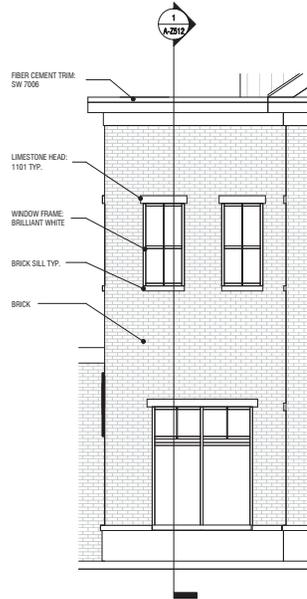
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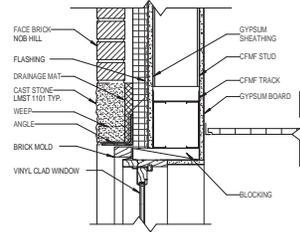
1 WALL SECTION
SCALE: 1/4" = 1'-0"



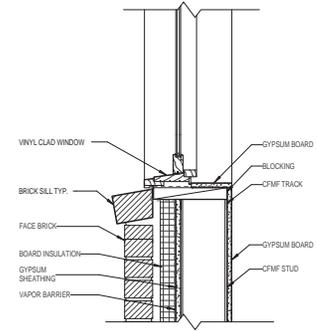
2 ELEVATION
SCALE: 1/4" = 1'-0"



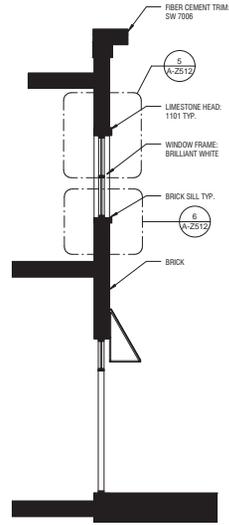
5 VINYL CLAD WINDOW HEAD
SCALE: 1 1/2" = 1'-0"



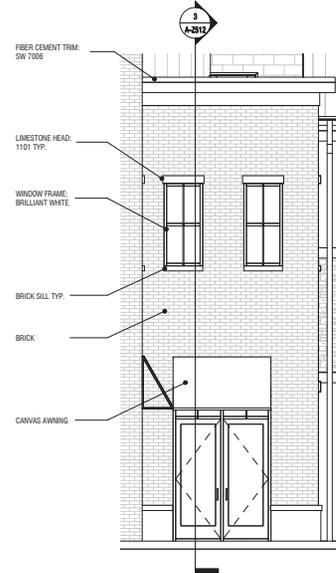
6 VINYL CLAD WINDOW SILL
SCALE: 1 1/2" = 1'-0"

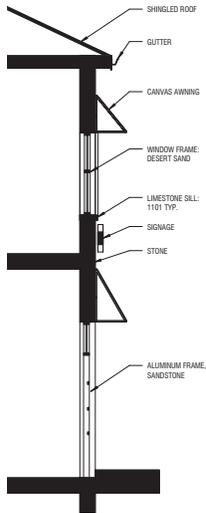
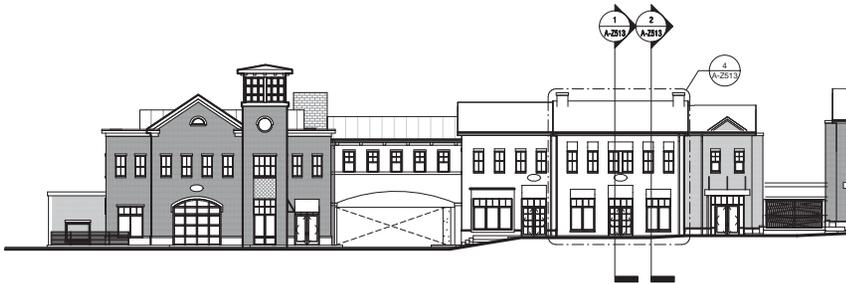


3 WALL SECTION
SCALE: 1/4" = 1'-0"



4 ELEVATION
SCALE: 1/4" = 1'-0"

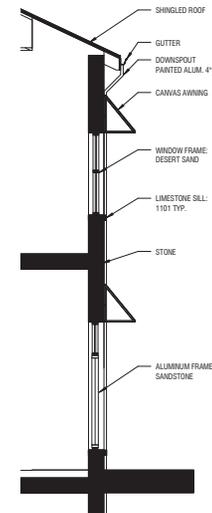




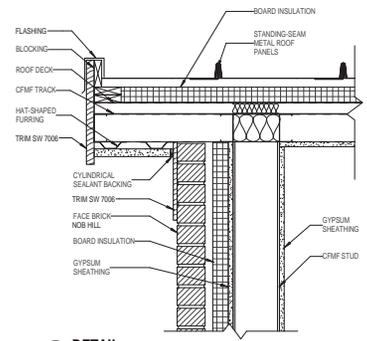
1 WALL SECTION
 SCALE: 1/4" = 1'-0"



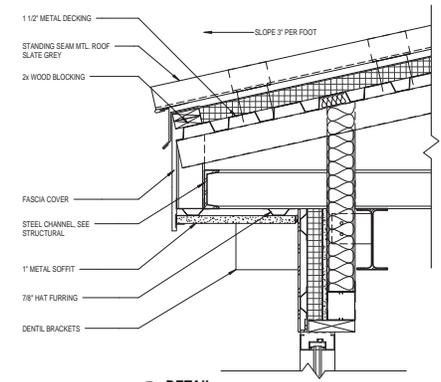
4 ELEVATION
 SCALE: 1/4" = 1'-0"



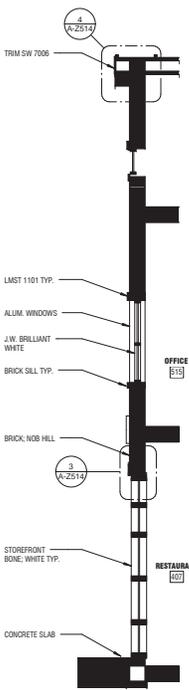
2 WALL SECTION
 SCALE: 1/4" = 1'-0"



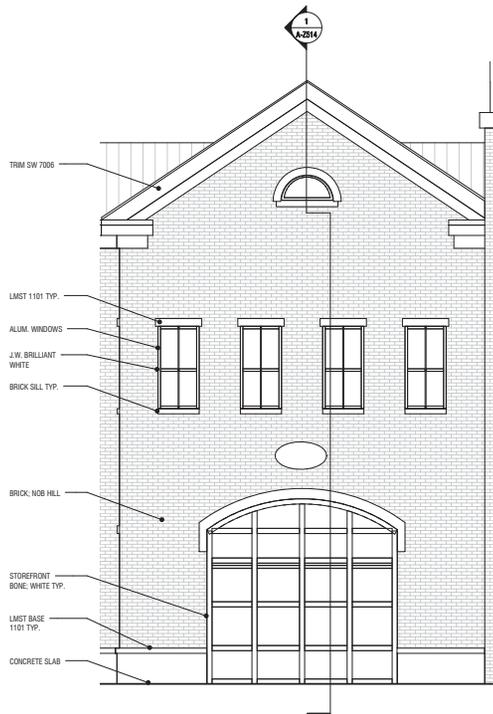
4 DETAIL
SCALE: 1 1/2" = 1'-0"



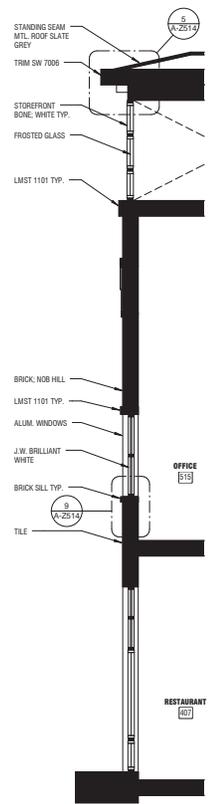
5 DETAIL
SCALE: 1 1/2" = 1'-0"



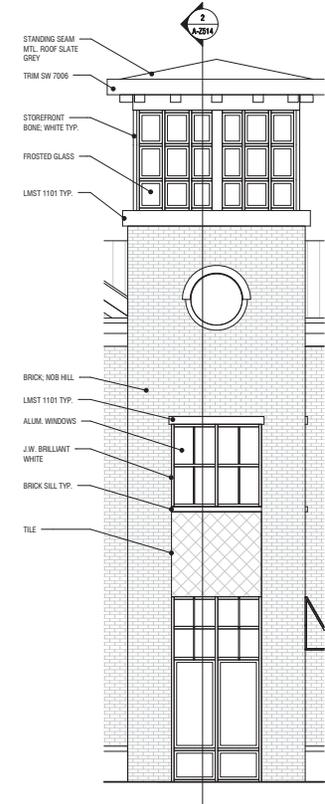
1 WALL SECTION
SCALE: 1/4" = 1'-0"



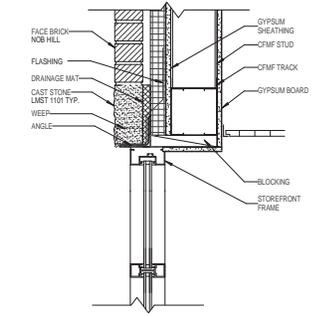
6 ELEVATION
SCALE: 1/4" = 1'-0"



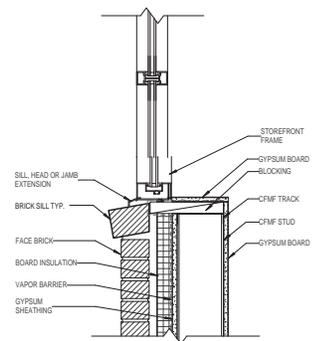
2 WALL SECTION
SCALE: 1/4" = 1'-0"



8 ELEVATION
SCALE: 1/4" = 1'-0"



3 DETAIL
SCALE: 1 1/2" = 1'-0"



9 DETAIL
SCALE: 1 1/2" = 1'-0"

SCALE	
DATE	
DESCRIPTION	
REVISIONS	

DATE: _____
PROJECT: _____
SHEET: _____



SEA

DATE

DESCRIPTION

REVISION

NO.

DATE

PREPARED BY

RECHK

PROJECT

GRID

Crawford Hoving Development
 Bridge Park West - Building Z
 Dublin, Ohio

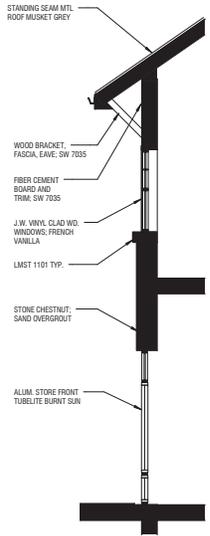
WALL SECTIONS

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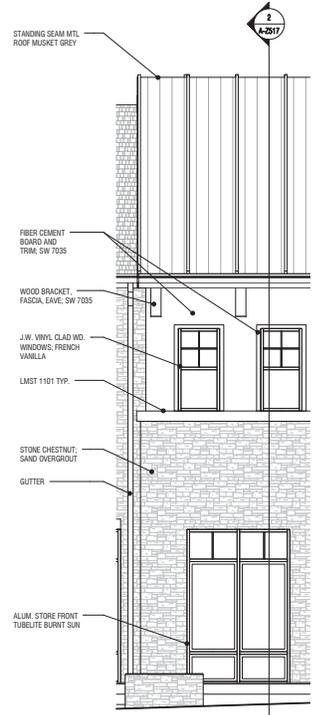
A-Z517

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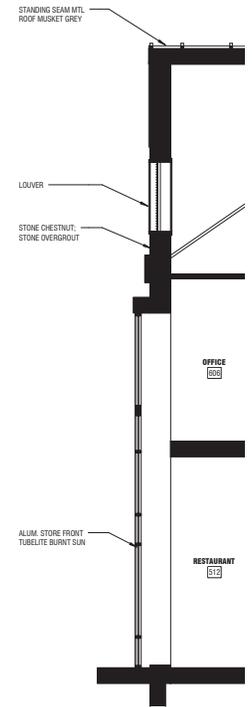
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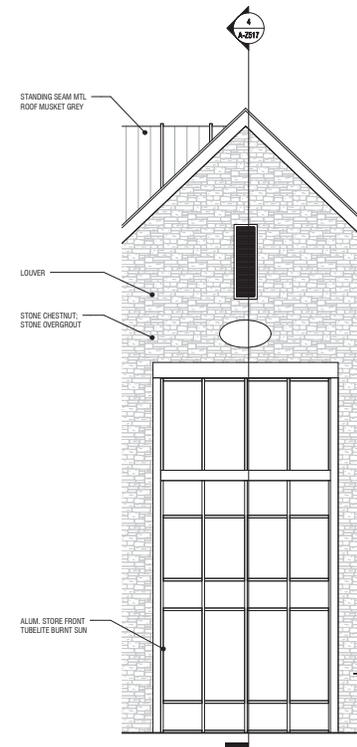
2 SECTION
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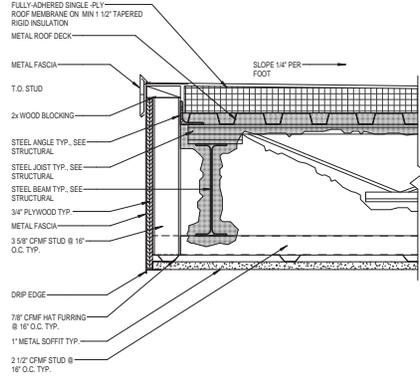
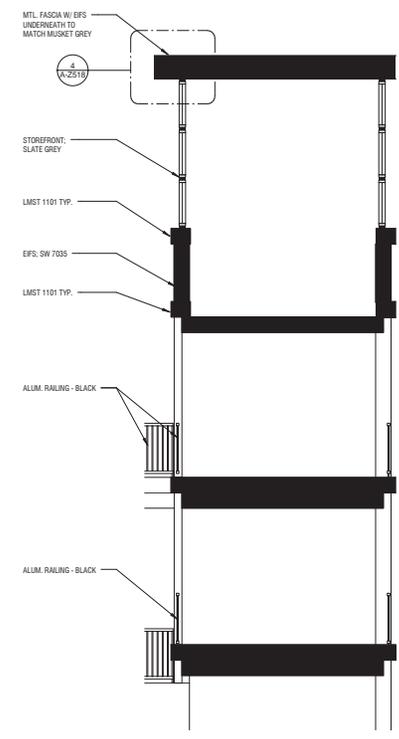
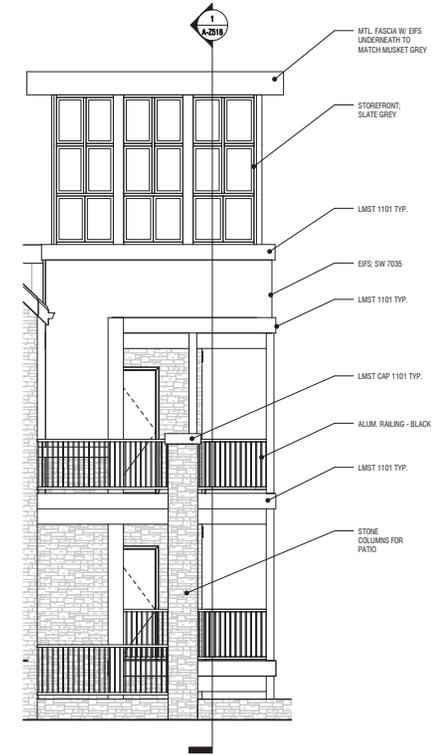
3 ELEVATION
SCALE: 1/4" = 1'-0"



4 SECTION
SCALE: 1/4" = 1'-0"



5 ELEVATION
SCALE: 1/4" = 1'-0"



4 DETAIL
SCALE: 1/2" = 1'-0"

1 SECTION
SCALE: 1/4" = 1'-0"

2 ELEVATION
SCALE: 1/4" = 1'-0"

5 Callout (3) of Key East Elevation
SCALE: 3/16" = 1'-0"

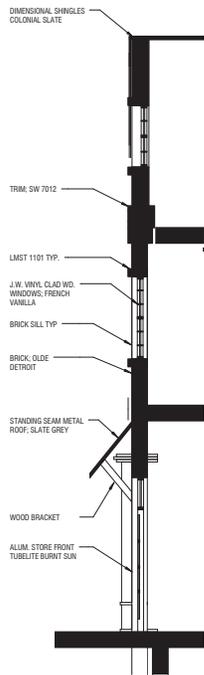
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REVISION	

WALL SECTIONS

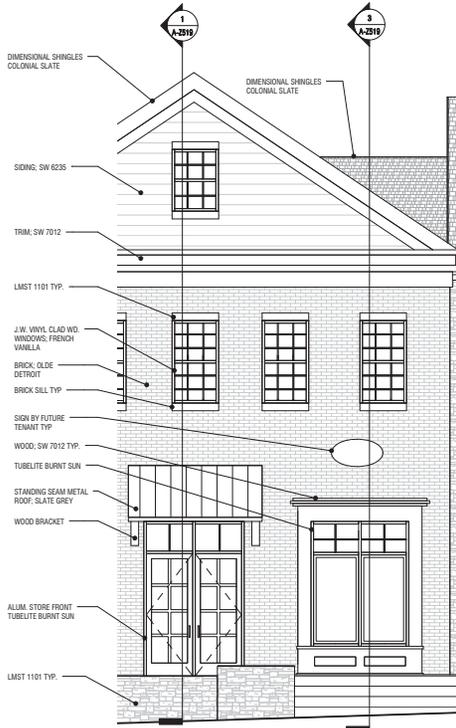
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Dublin, Ohio

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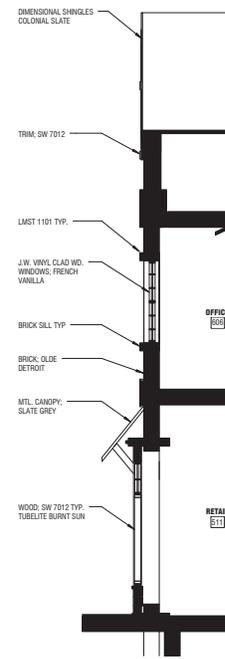
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1 WALL SECTION
SCALE: 1/4" = 1'-0"



2 ELEVATION
SCALE: 1/4" = 1'-0"



3 WALL SECTION
SCALE: 1/4" = 1'-0"

SEA

DATE

DESCRIPTION

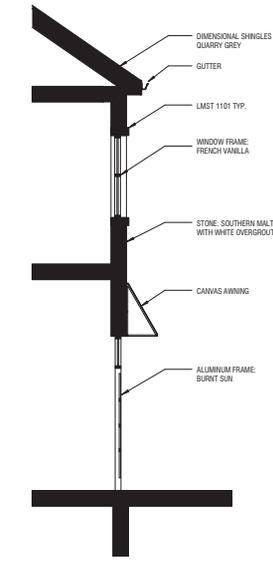
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DATE PREPARED BY CHECKED BY

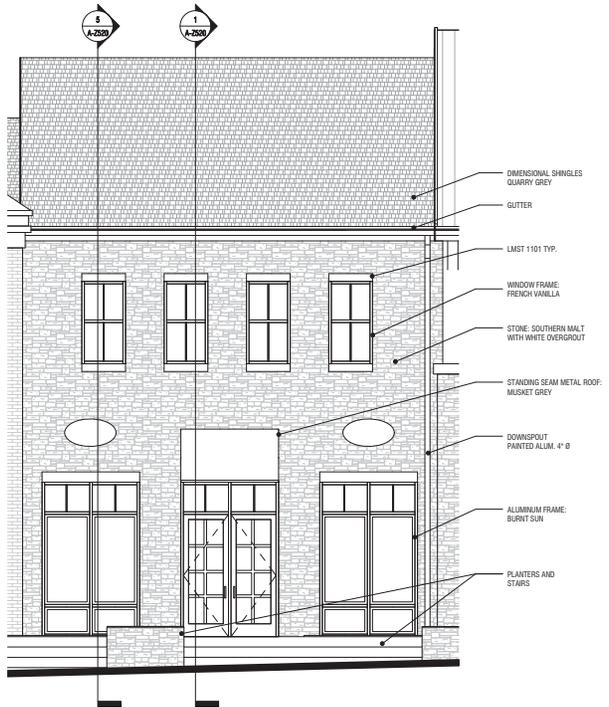
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WALL SECTIONS

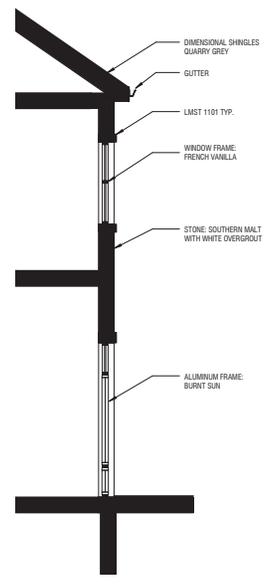
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1 WALL SECTION
 SCALE: 1/4" = 1'-0"



4 ELEVATION
 SCALE: 1/4" = 1'-0"



5 WALL SECTION
 SCALE: 1/4" = 1'-0"

DATE	
DESCRIPTION	
REVISION	
NO.	

DATE: _____
 REVISION: _____
 NO.: _____

USE: _____
 PREPARED BY: _____
 CHECKED BY: _____
 DATE: _____

SHEET: _____

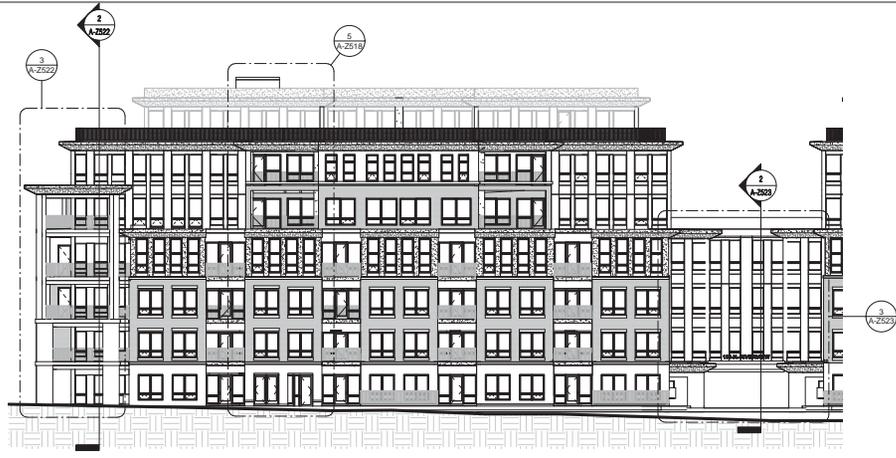
A-Z520

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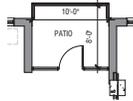
WALL SECTIONS

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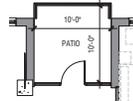
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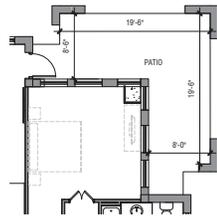
1 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



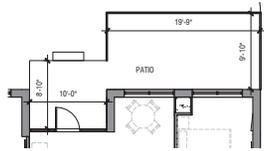
5 LARGE SCALE PATIO
SCALE: 1/8" = 1'-0"



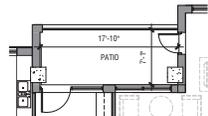
9 LARGE SCALE TYPICAL PATIO
SCALE: 1/8" = 1'-0"



6 LARGE SCALE FIRST FLOOR CORNER PATIO
SCALE: 1/8" = 1'-0"



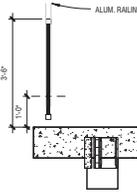
7 LARGE SCALE FIRST FLOOR TYPICAL PATIO
SCALE: 1/8" = 1'-0"



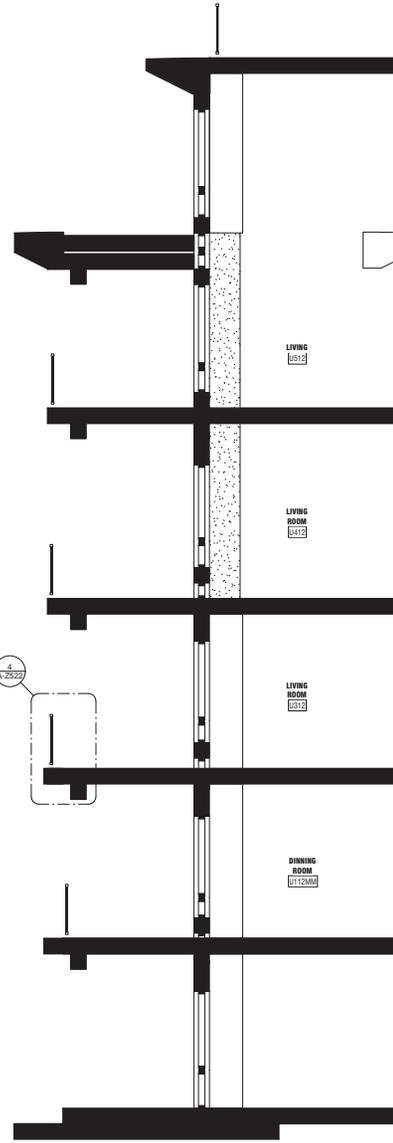
10 LARGE SCALE TYPICAL FIFTH FLOOR PATIO
SCALE: 1/8" = 1'-0"



8 LARGE SCALE SECOND THRU FIFTH FLOOR CORNER PATIO
SCALE: 1/8" = 1'-0"

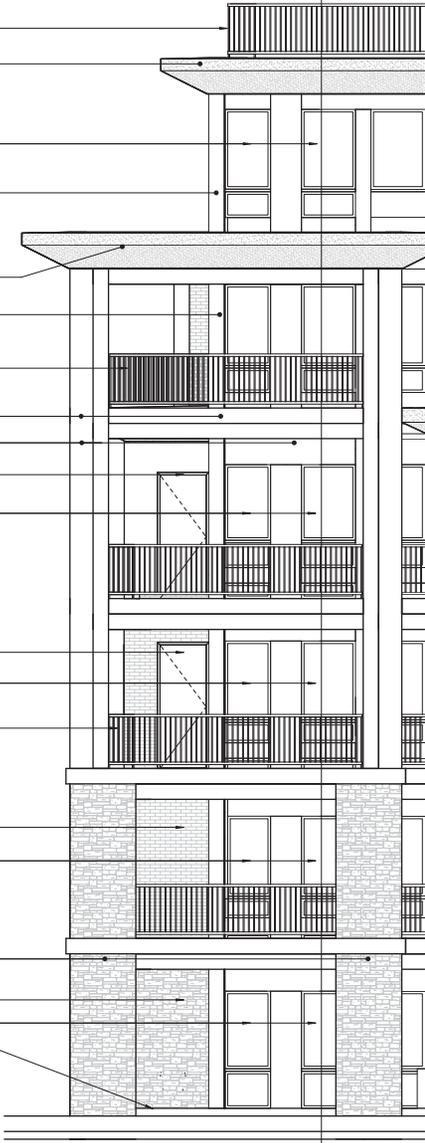


4 DETAIL
SCALE: 1/2" = 1'-0"

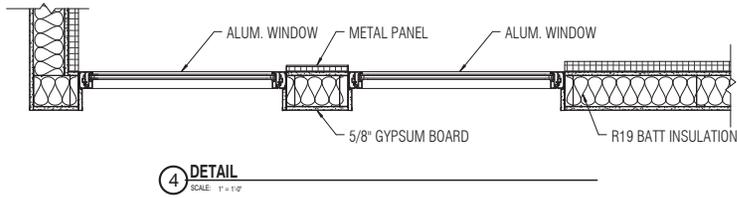
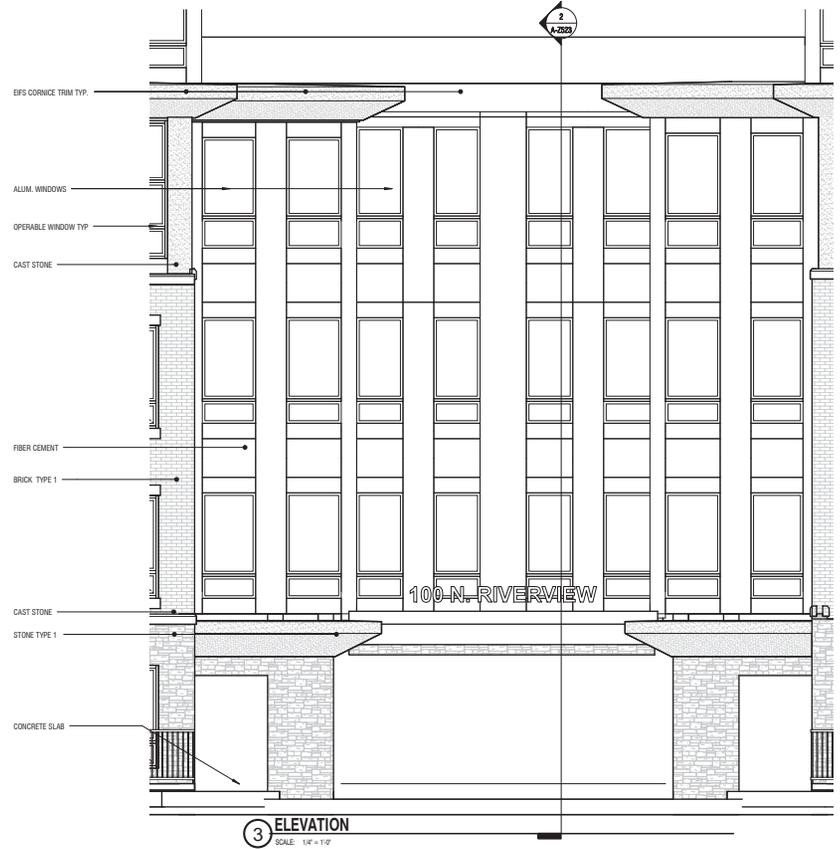


2 WALL SECTION
SCALE: 1/8" = 1'-0"

- METAL RAILING 42" HT., 4" TOE HT. MAX.
- EIFS CORNICE TRIM TYP.
- ALUM. WINDOWS
- MTL. PANELS
- EIFS
- MTL. PANELS
- METAL RAILING 42" HT., 4" TOE HT. MAX.
- FIBER CEMENT TRIM TYP.
- FIBER CEMENT
- ALUM. DOOR
- ALUM. WINDOWS
- ALUM. DOOR
- ALUM. WINDOWS
- METAL RAILING 42" HT., 4" TOE HT. MAX.
- BRICK
- ALUM. WINDOWS
- STONE
- STONE
- ALUM. WINDOWS
- CONCRETE SLAB

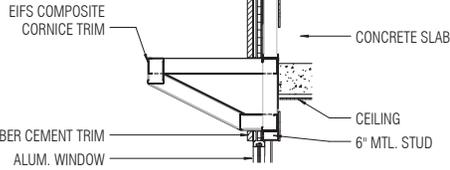


3 ELEVATION
SCALE: 1/8" = 1'-0"



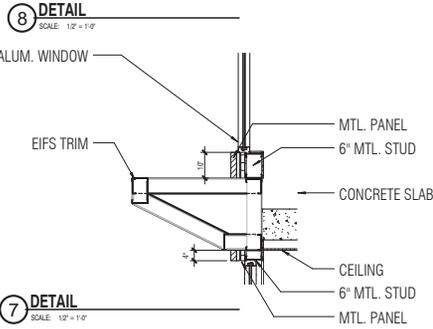


(X) PARTIAL EAST ELEVATION
SCALE: 1/16" = 1'-0"

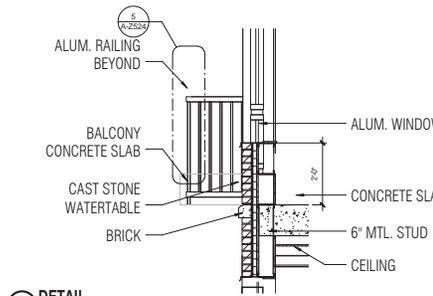


ALUM. RAILING

(5) DETAIL
SCALE: 1" = 1'-0"



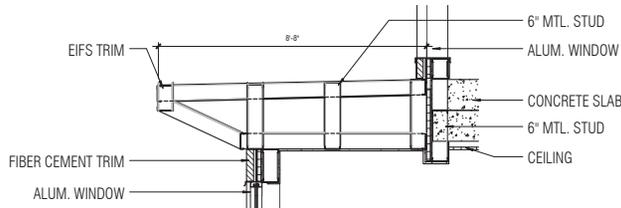
(8) DETAIL
SCALE: 1/2" = 1'-0"



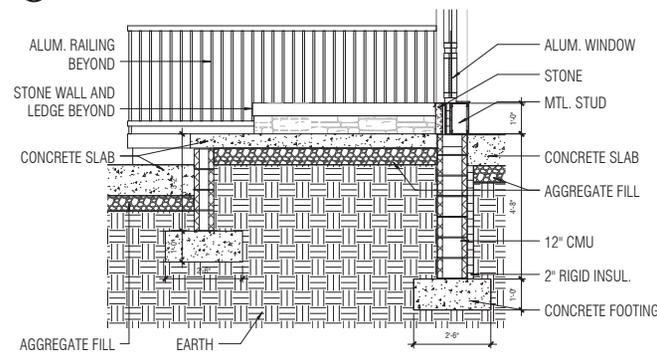
(7) DETAIL
SCALE: 1/2" = 1'-0"



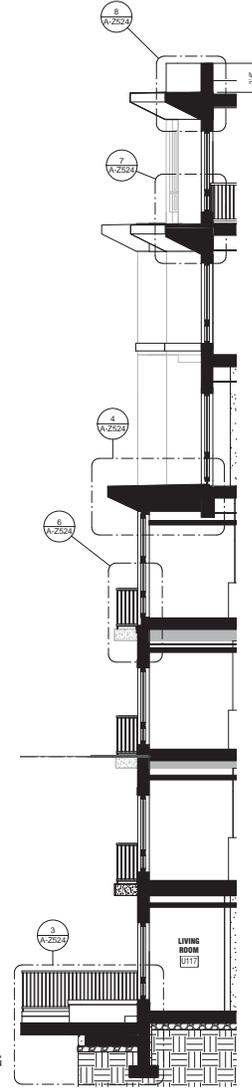
(6) DETAIL
SCALE: 1/2" = 1'-0"



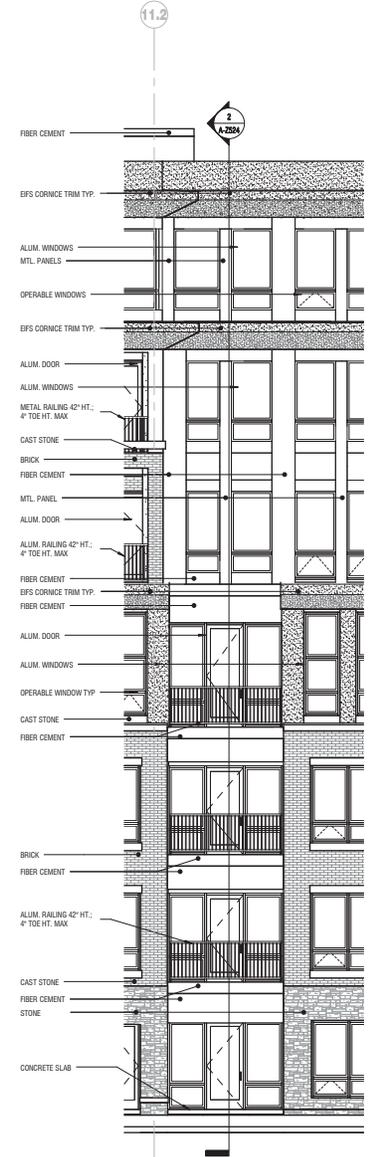
(4) DETAIL
SCALE: 1/2" = 1'-0"



(3) DETAIL
SCALE: 1/2" = 1'-0"



(2) WALL SECTION
SCALE: 3/16" = 1'-0"



(1) ELEVATION
SCALE: 3/16" = 1'-0"

SHEET

Date

DESCRIPTION

NO.

DATE

PROJECT

ARCH

PREPARED BY

DATE

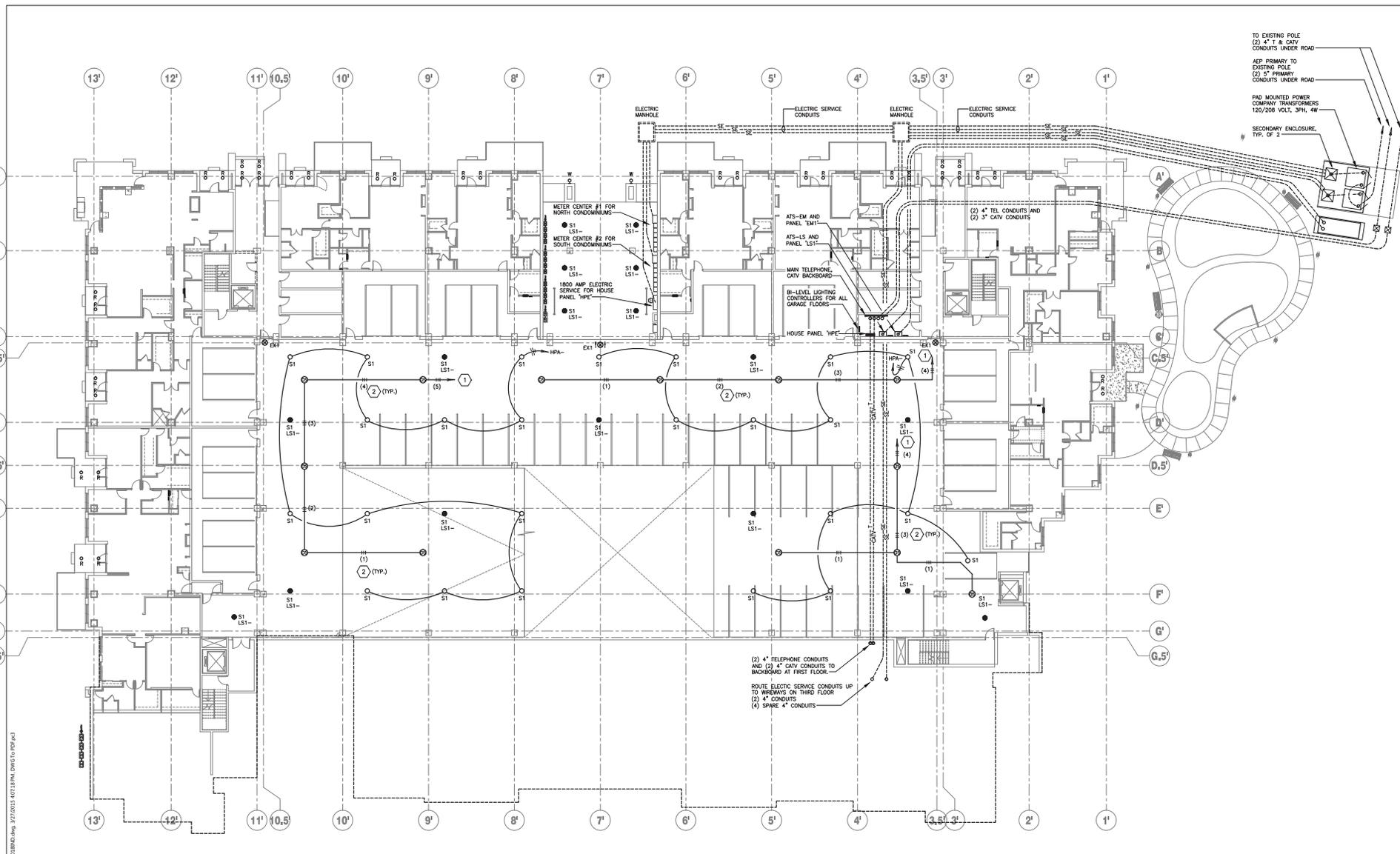
SHEET

Crawford Hoyle Development
Bridge Park West - Building Z
Dublin, Ohio

WALL SECTIONS

A-Z524

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NORTH
FIRST FLOOR PLAN - ELECTRICAL
 SCALE: 1/16" = 1'-0"

TO EXISTING POLE
 (2) 4" T & CAVY
 CONDUITS UNDER ROAD

 AEP PRIMARY TO
 EXISTING POLE
 (2) 5" PRIMARY
 CONDUITS UNDER ROAD

 PAD MOUNTED POWER
 COMPANY TRANSFORMERS
 120/208 VOLT, 3PH, 4W

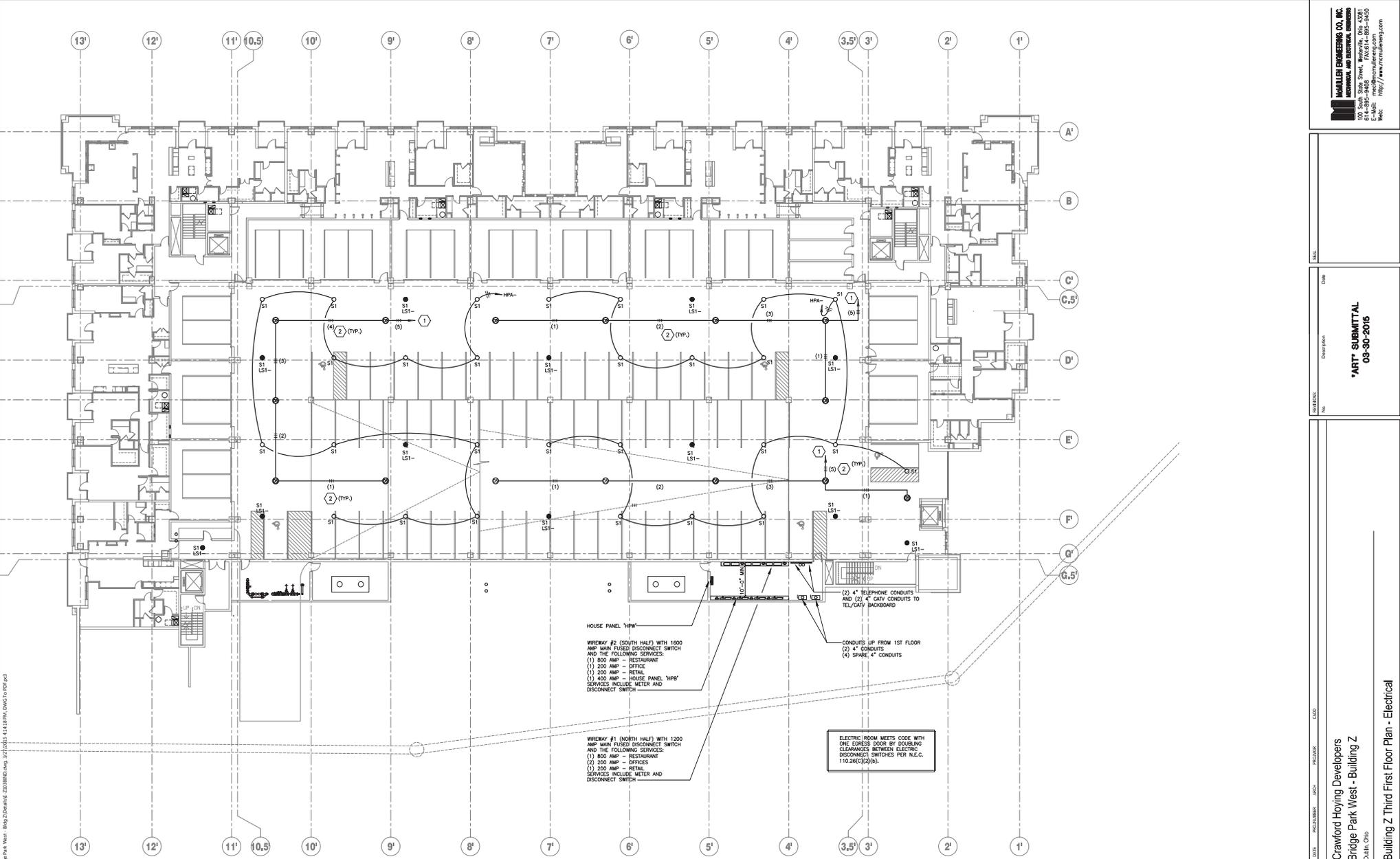
 SECONDARY ENCLOSURE,
 TYP. OF 2

(2) 4" TELEPHONE CONDUITS
 AND (2) 4" CAVY CONDUITS TO
 BACKBOARD AT FIRST FLOOR.

 ROUTE ELECTRIC SERVICE CONDUITS UP
 TO WIREWAYS ON THIRD FLOOR
 (2) 4" CONDUITS
 (4) SPARE 4" CONDUITS

F:\DOKU\1410-A Bridge Park West - 849-720\Drawings - 230188D.dwg 3/27/2015 4:07:18 PM DWG TO PDF.plt

	MAULIEN ENGINEERING CO., INC. MECHANICAL AND ELECTRICAL ENGINEERS 100 South State Street, Westerville, Ohio 43081 Phone: 614-891-4400 Fax: 614-891-4405 E-Mail: mec@maulieneng.com Web: http://www.maulieneng.com
SHEET NO.	DATE
REVISIONS	DESCRIPTION
1	*ART* SUBMITTAL 03-30-2015
PROJECT:	
Crawford Hoying Developers Bridge Park West - Building Z Dublin, Ohio	
SHEET TITLE:	
Building Z First Floor Plan - Electrical	
SHEET NO.	E-Z101



F:\DOKU\110-A-BridgePark West - BridgePark West - 23018RD.dwg 1/27/2015 4:41:18 PM DWG TO PDF.plt

NORTH
THIRD FLOOR PLAN - ELECTRICAL
 SCALE: 1/16" = 1'-0"

MARLETT ENGINEERING CO., INC.
 MECHANICAL AND ELECTRICAL ENGINEERS
 100 South State Street, Westerville, Ohio 43081
 Phone: 614-891-4400
 Fax: 614-891-4405
 E-Mail: info@marletting.com
 Web: http://www.marletting.com

EEL

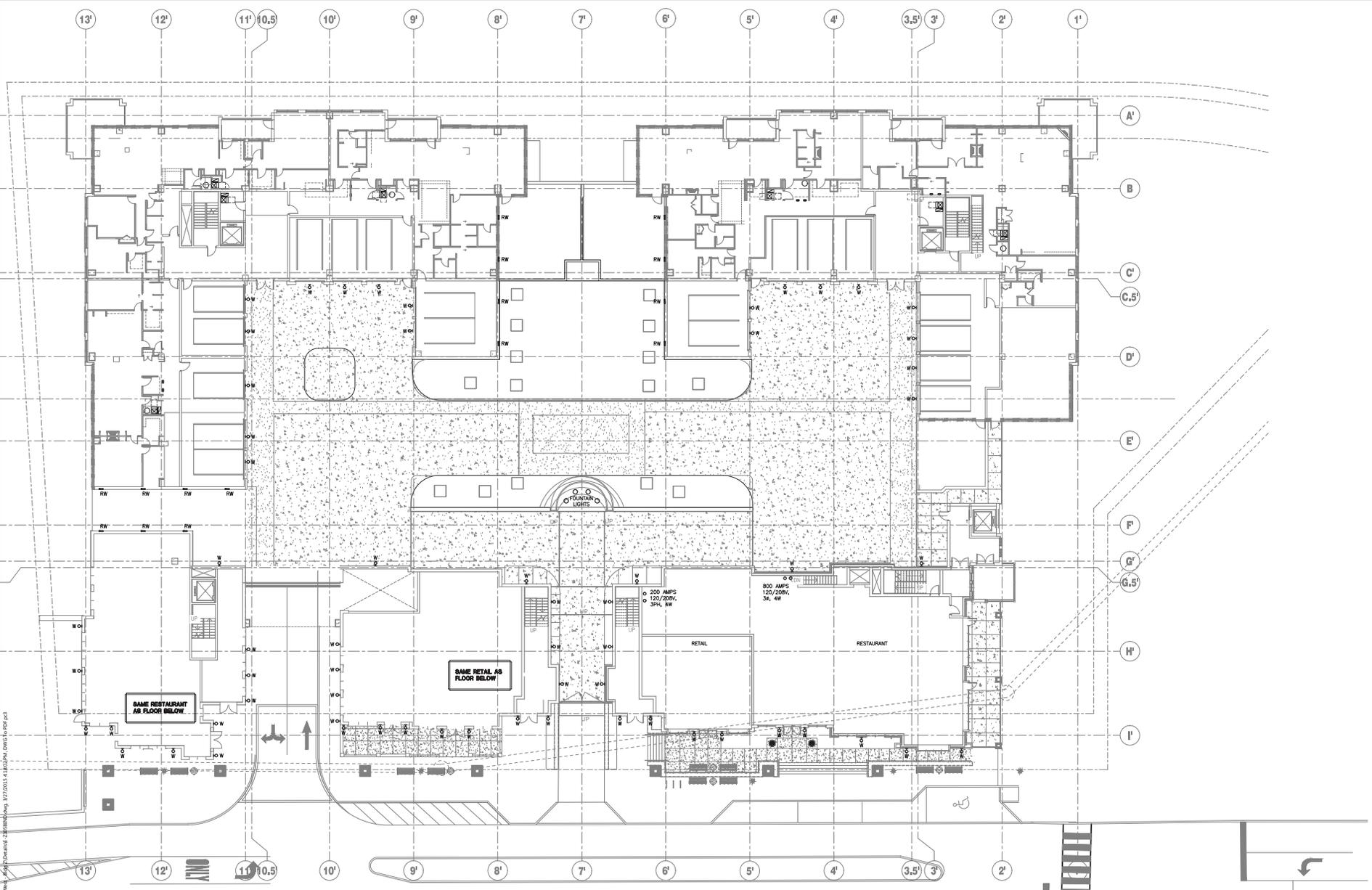
DATE
 Description
***PART SUBMITTAL**
03-30-2015

DESIGNER
 No.

DATE
 REVISIONS
 DOOR
 DRAWER
 DATE
 REVISIONS
 DOOR
 DRAWER

SHEET
E-Z103

Crawford Hoying Developers
 Bridge Park West - Building Z
 Dublin, Ohio
 Building Z Third First Floor Plan - Electrical



FLOOR PLAN A Bridge Park West, 3377 Oldstone, 231000020000, 33770011430000, DWG 15 (R) 10/13

NORTH
FIFTH FLOOR PLAN - ELECTRICAL
 SCALE: 1/16" = 1'-0"

MARILLER ENGINEERING CO., INC.
 MECHANICAL AND ELECTRICAL ENGINEERS
 100 South State Street, Westerville, Ohio 43081
 Phone: 614-891-4400
 Fax: 614-891-4405
 E-Mail: me@marillere.com
 Web: <http://www.marillere.com>

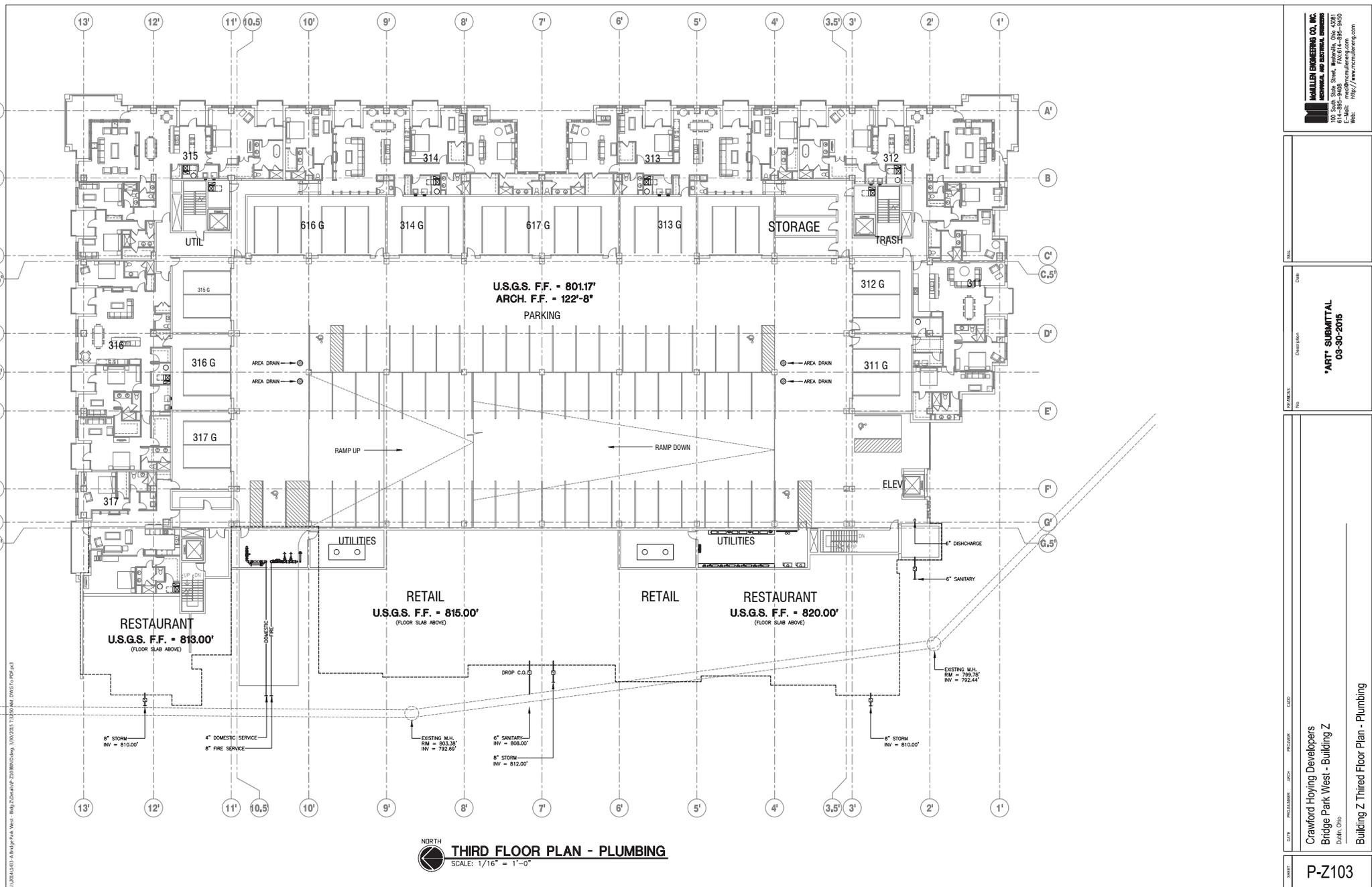
SHEET NO. _____
 DATE _____

REVISIONS
 No. _____
 Description _____
***ART* SUBMITTAL**
03-30-2015

DATE: _____
 PREPARED BY: _____
 CHECKED BY: _____
 DATE: _____

Crawford Hoying Developers
 Bridge Park West - Building Z
 Dublin, Ohio
 Building Z Fifth Floor Plan - Electrical

SHEET
E-Z105



THIRD FLOOR PLAN - PLUMBING
 SCALE: 1/16" = 1'-0"

MARLEN ENGINEERING CO., INC.
 ARCHITECTURAL AND MECHANICAL ENGINEERS
 100 South State Street, Westerville, Ohio 43081
 Tel: 614-891-4400
 Fax: 614-891-4405
 E-Mail: me@marleneng.com
 Web: <http://www.marleneng.com>

SHEET NO. _____
 DATE _____

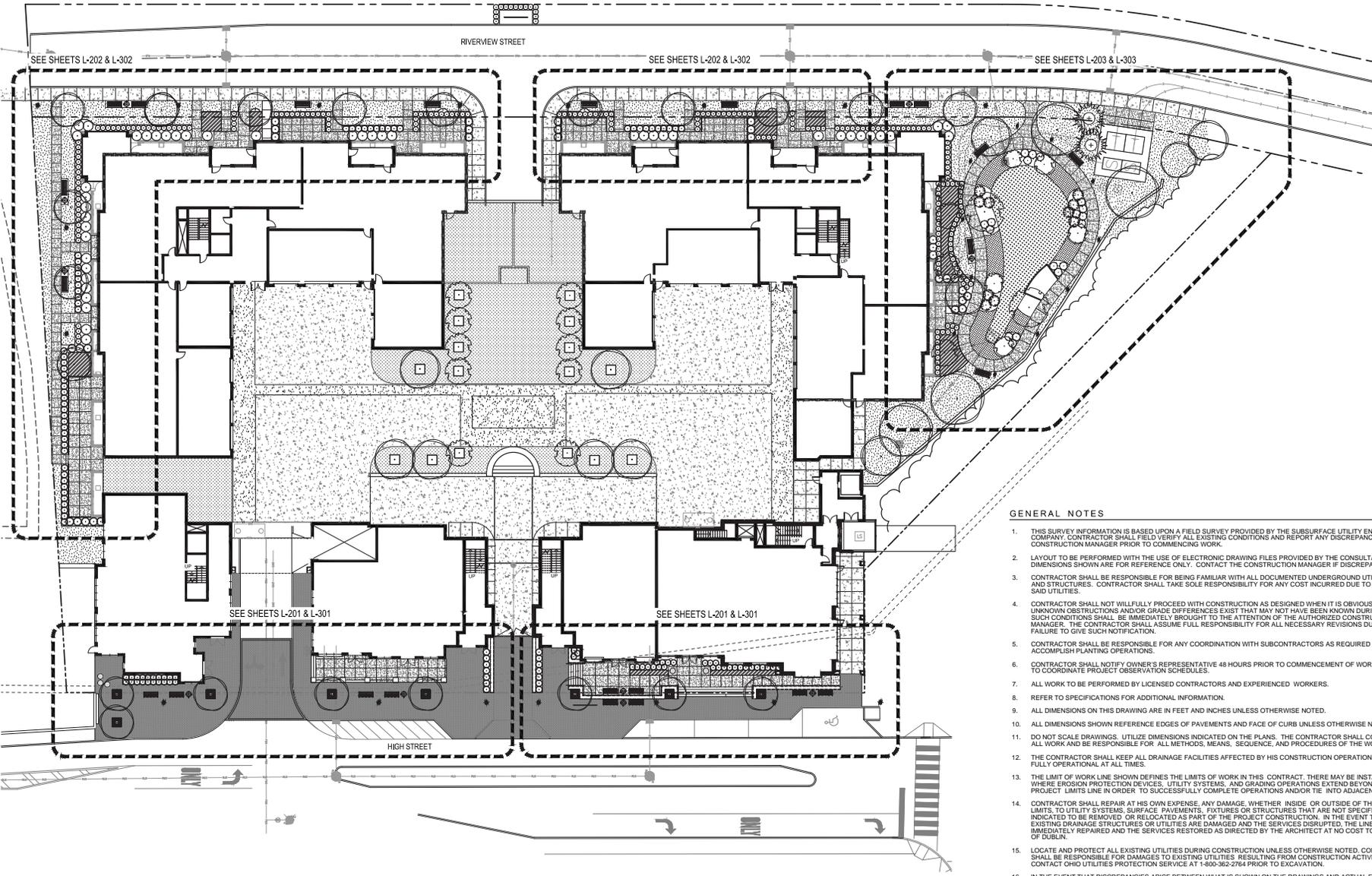
PART SUBMITTAL
 03-30-2015

DATE _____
 CHECKED BY _____
 DESIGNED BY _____

DATE _____
 PROJECT NO. _____
 PROJECT NAME: **Crawford Hoying Developers**
Bridge Park West - Building Z
 Duffin, Ohio
Building Z Third Floor Plan - Plumbing

SHEET NO. **P-Z103**

I:\PROJECTS\1410-A Bridge Park West - Bridge Park West - 210 BRIDGE PARK WEST - 1410\2015.12.10\1410A.DWG (15) (R) (P) (D)



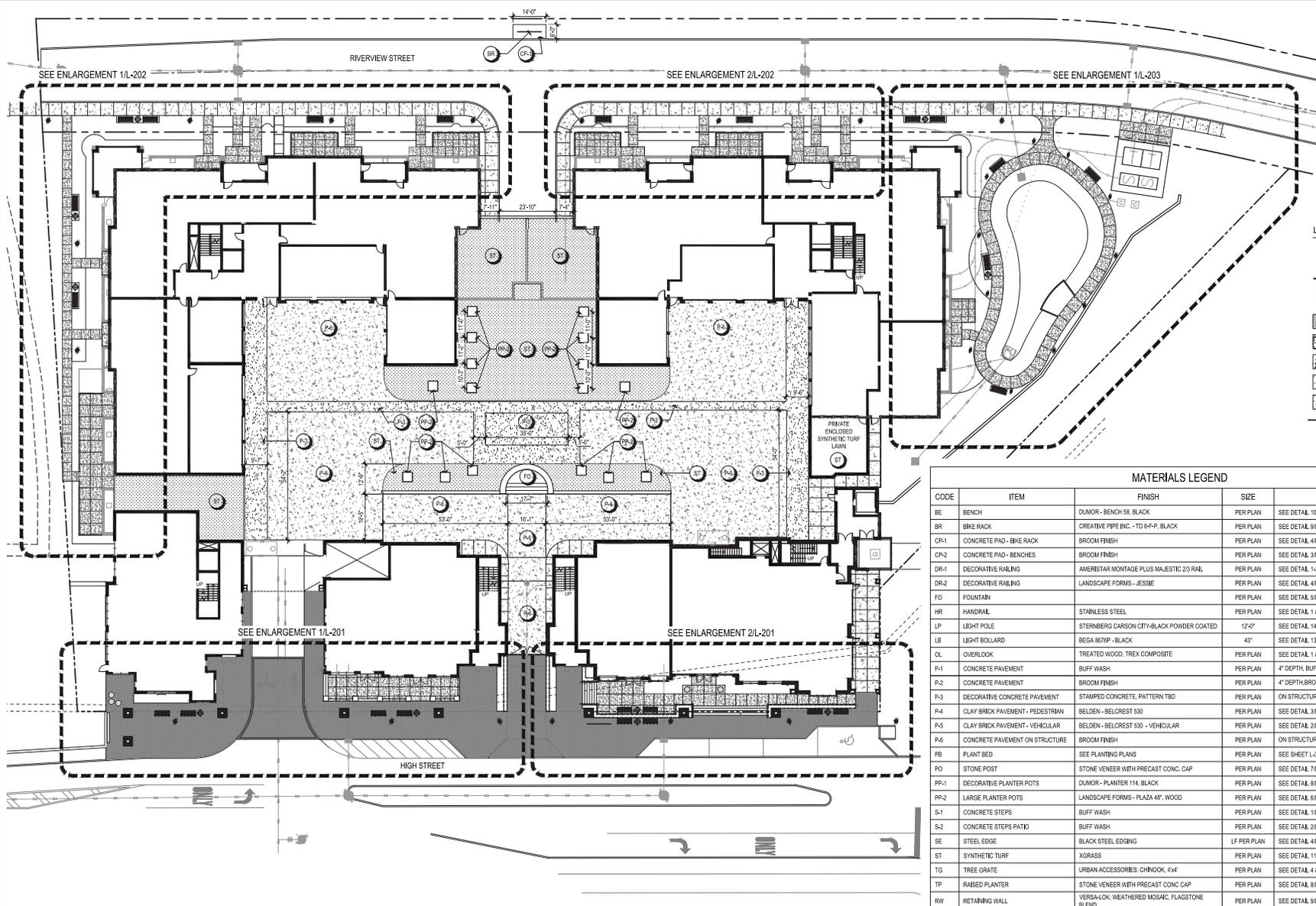
GENERAL NOTES

1. THIS SURVEY INFORMATION IS BASED UPON A FIELD SURVEY PROVIDED BY THE SUBSURFACE UTILITY ENGINEERING COMPANY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE CONSTRUCTION MANAGER PRIOR TO COMMENCING WORK.
2. LAYOUT TO BE PERFORMED WITH THE USE OF ELECTRONIC DRAWING FILES PROVIDED BY THE CONSULTANT. DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. CONTACT THE CONSTRUCTION MANAGER IF DISCREPANCIES EXIST.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL DOCUMENTED UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
4. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE AUTHORIZED CONSTRUCTION MANAGER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
6. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE 48 HOURS PRIOR TO COMMENCEMENT OF WORK IN ORDER TO COORDINATE PROJECT OBSERVATION SCHEDULES.
7. ALL WORK TO BE PERFORMED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS.
8. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
9. ALL DIMENSIONS ON THIS DRAWING ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHOWN REFERENCE EDGES OF PAVEMENTS AND FACE OF CURB UNLESS OTHERWISE NOTED.
11. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE ALL WORK AND BE RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCE, AND PROCEDURES OF THE WORK.
12. THE CONTRACTOR SHALL KEEP ALL DRAINAGE FACILITIES AFFECTED BY HIS CONSTRUCTION OPERATIONS CLEAN AND FULLY OPERATIONAL AT ALL TIMES.
13. THE LIMIT OF WORK LINE SHOWN DEFINES THE LIMITS OF WORK IN THIS CONTRACT. THERE MAY BE INSTANCES WHERE EROSION PROTECTION DEVICES, UTILITY SYSTEMS, AND GRADING OPERATIONS EXTEND BEYOND THE PROJECT LIMITS LINE IN ORDER TO SUCCESSFULLY COMPLETE OPERATIONS AND/OR TIE INTO ADJACENT SYSTEMS.
14. CONTRACTOR SHALL REPAIR AT HIS OWN EXPENSE, ANY DAMAGE, WHETHER INSIDE OR OUTSIDE OF THE PROJECT LIMITS, TO UTILITY SYSTEMS, SURFACE PAVEMENTS, FIXTURES OR STRUCTURES THAT ARE NOT SPECIFICALLY INDICATED TO BE REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION. IN THE EVENT THAT ANY EXISTING DRAINAGE STRUCTURES OR UTILITIES ARE DAMAGED AND THE SERVICES DISRUPTED, THE LINES SHALL BE IMMEDIATELY REPAIRED AND THE SERVICES RESTORED AS DIRECTED BY THE ARCHITECT AT NO COST TO THE CITY OF DUBLIN.
15. LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION UNLESS OTHERWISE NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION ACTIVITIES. CONTACT OHM UTILITIES PROTECTION SERVICE AT 1-800-362-2766 PRIOR TO EXCAVATION.
16. IN THE EVENT THAT DISCREPANCIES ARISE BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS THE CONSTRUCTION MANAGER SHALL BE NOTIFIED IMMEDIATELY FOR RESOLUTION.
17. ALL CONCRETE SODDING IS PARALLEL AND PERPENDICULAR TO THE STREET CURBS AND BUILDING FACES UNLESS OTHERWISE NOTED.
18. PROVIDE ISOLATION JOINT WHERE CONCRETE PAVING OR PAVING BASE MEETS A FIXED STRUCTURE (EXISTING OR PROPOSED).

1 REFERENCE PLAN
 SCALE: 1" = 20'-0"



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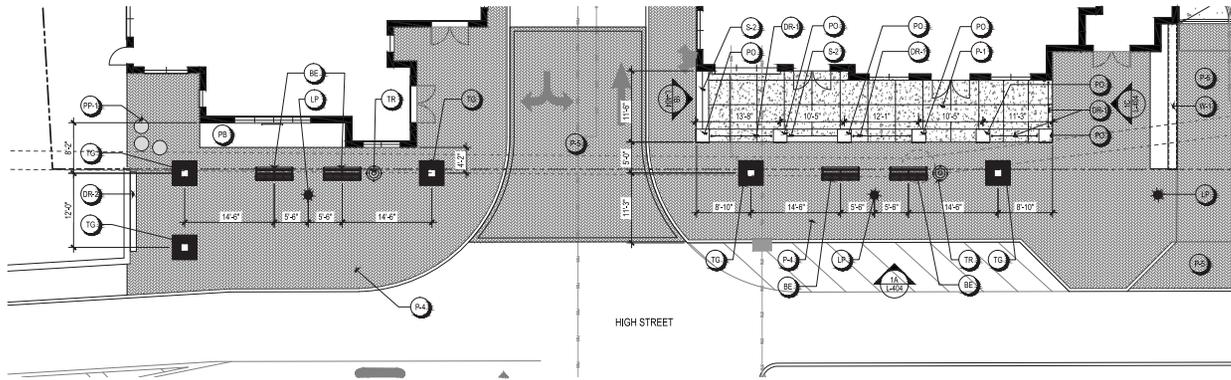
LEGEND

- ◆ BENCH
- TRASH RECEPTACLES
- BIKE RACK
- POT PLANTERS
- ▨ BRICK PAVING
- ▩ CONCRETE PAVEMENT BUFF WASH FINISH
- ▧ CONCRETE PAVEMENT BROOM FINISH
- ▦ CONCRETE PAVEMENT DECORATIVE STAMPED
- ▤ SYNTHETIC TURF
- - - PROPERTY LINE

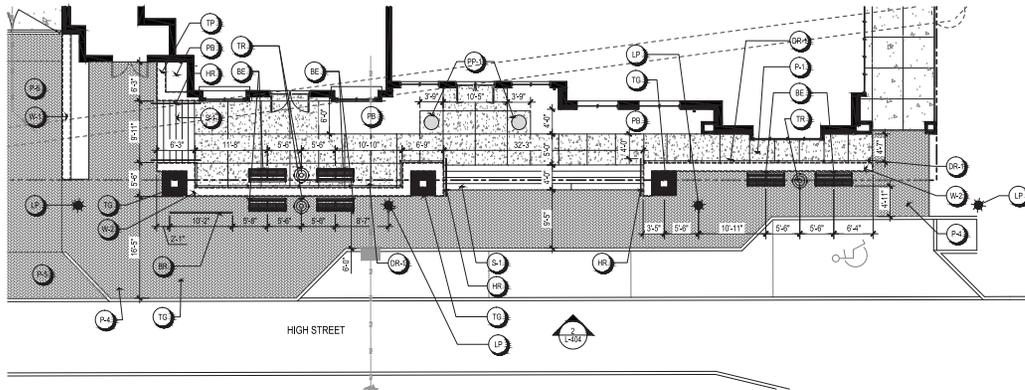
MATERIALS LEGEND

CODE	ITEM	FINISH	SIZE	NOTES
BE	BENCH	DUMOR - BENCH 58, BLACK	PER PLAN	SEE DETAIL 10L-400
BR	BIKE RACK	CREATIVE PIPE INC. - TD 8-P-P, BLACK	PER PLAN	SEE DETAIL 9L-400
CP-1	CONCRETE PAD - BIKE RACK	BROOM FINISH	PER PLAN	SEE DETAIL 4L-403
CP-2	CONCRETE PAD - BENCHES	BROOM FINISH	PER PLAN	SEE DETAIL 3L-403
DR-1	DECORATIVE RAILING	AMERSTAR MONTAGE PLUS MAJESTIC 23 RAIL	PER PLAN	SEE DETAIL 13L-402
DR-2	DECORATIVE RAILING	LANDSCAPE FORMS - JESSIE	PER PLAN	SEE DETAIL 4L-402
FO	FOUNTAIN		PER PLAN	SEE DETAIL 9L-403
HR	HANDRAIL	STAINLESS STEEL	PER PLAN	SEE DETAIL 1 & 3L-401
LP	LIGHT POLE	STERNBERG CARSON CITY-BLACK POWDER COATED	12'-0"	SEE DETAIL 10L-400 & ENGINEERING DRAWINGS
LB	LIGHT BOLLARD	BEGA 807P - BLACK	4"	SEE DETAIL 13L-400 & ENGINEERING DRAWINGS
OL	OVERLOOK	TREATED WOOD, TREX COMPOSITE	PER PLAN	SEE DETAIL 8 & 2L-403
P-1	CONCRETE PAVEMENT	BUFF WASH	PER PLAN	4" DEPTH, BUFF WASH FINISH, SEE DETAIL 1L-400
P-2	CONCRETE PAVEMENT	BROOM FINISH	PER PLAN	4" DEPTH, BROOM FINISH, SEE DETAIL 1L-400
P-3	DECORATIVE CONCRETE PAVEMENT	STAMPED CONCRETE, PATTERN TRD	PER PLAN	ON STRUCTURE, SEE ARCHITECTURAL DRAWINGS
P-4	CLAY BRICK PAVEMENT - PEDESTRIAN	BELDEN - BELCREST 530	PER PLAN	SEE DETAIL 3L-400 & 5L-402
P-5	CLAY BRICK PAVEMENT - VEHICULAR	BELDEN - BELCREST 530 - VEHICULAR	PER PLAN	SEE DETAIL 2L-400
P-6	CONCRETE PAVEMENT ON STRUCTURE	BROOM FINISH	PER PLAN	ON STRUCTURE, SEE ARCHITECTURAL DRAWINGS
PB	PLANT BED	SEE PLANTING PLANS	PER PLAN	SEE SHEET L-300, L-303 & L-500
PO	STONE POST	STONE VENEER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL 7L-401
PP-1	DECORATIVE PLANTER POTS	DUMOR - PLANTER 114, BLACK	PER PLAN	SEE DETAIL 8L-400
PP-2	LARGE PLANTER POTS	LANDSCAPE FORMS - FLAZA 48", WOOD	PER PLAN	SEE DETAIL 9L-400
S-1	CONCRETE STEPS	BUFF WASH	PER PLAN	SEE DETAIL 1L-401
S-2	CONCRETE STEPS PATIO	BUFF WASH	PER PLAN	SEE DETAIL 2L-401
SE	STEEL EDGE	BLACK STEEL, EDGING	L/F PER PLAN	SEE DETAIL 4L-500
ST	SYNTHETIC TURF	XGRASS	PER PLAN	SEE DETAIL 11L-400
TG	TREE GRATE	URBAN ACCESSORIES: CHINOOK, 4'x4'	PER PLAN	SEE DETAIL 4 & 7L-400
TP	RAISED PLANTER	STONE VENEER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL 8L-401
RW	RETAINING WALL	VERSALOK: WEATHERED MOSAIC FLAGSTONE BLEND	PER PLAN	SEE DETAIL 9L-401
TR	TRASH RECEPTACLE RECYCLING	DUMOR - 107, 23 GALLON, BLACK	PER PLAN	SEE DETAIL 12L-400
W-1	CHEEK WALL	STONE VENEER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL 6L-401, SIMILAR - NO RAILING
W-2	STONE WALL	STONE VENEER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL 6L-401
UB	PROPOSED UTILITY BOX		PER PLAN	SEE ENGINEERING DRAWINGS
US	UTILITY BOX SCREEN		PER PLAN	SEE ARCHITECTURAL DRAWINGS

1 KEY PLAN
SCALE: 1" = 20'-0"



1 STREETScape ENLARGEMENT - A
SCALE: 1" = 10'-0"



2 STREETScape ENLARGEMENT - B
SCALE: 1" = 10'-0"

LAYOUT NOTES

1. ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED
2. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON THE PLANS.
3. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF WALL, OR FACE OF CURB UNLESS OTHERWISE NOTED.
4. WALKWAYS AND HARDSCAPE ELEMENTS INDICATED AS CURVILINEAR SHALL HAVE SMOOTH CONTINUOUS CURVES.
5. UNLESS INDICATED OTHERWISE, ALL WALKWAYS ABUTT AT 90 DEGREE ANGLES.
6. ALL CONCRETE SCORING SHALL BE PARALLEL, PERPENDICULAR OR TANGENT TO ADJACENT IMPROVEMENTS UNLESS OTHERWISE NOTED.
7. LAYOUT ALL CONSTRUCTION LINES AND VERIFY LAYOUT WITH THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
8. RADI OF CURBS ARE ESTIMATED FROM SURVEY OR BASE DATA. THE CONTRACTOR SHALL MAKE ALL MODIFICATIONS NECESSARY TO ASSURE EXISTING AND NEW CURBS MEET FLUSH, EVEN AND SMOOTHLY.
9. PROVIDE ISOLATION JOINTS WHERE CONCRETE PAVING OR PAVING BASE MEETS A FIXED STRUCTURE (EXISTING OR PROPOSED).
10. PROVIDE FLUSH CONDITIONS AT JUNCTURE OF ALL WALKWAYS AND DOOR THRESHOLDS.
11. REFER GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

LEGEND

- BE BENCH
- BR BIKE RACK
- PP POT PLANTERS
- BRICK PAVING
- CONCRETE PAVEMENT BUFF WASH FINISH
- CONCRETE PAVEMENT BROOM FINISH
- CONCRETE PAVEMENT DECORATIVE STAMPED
- SYNTHETIC TURF
- PROPERTY LINE

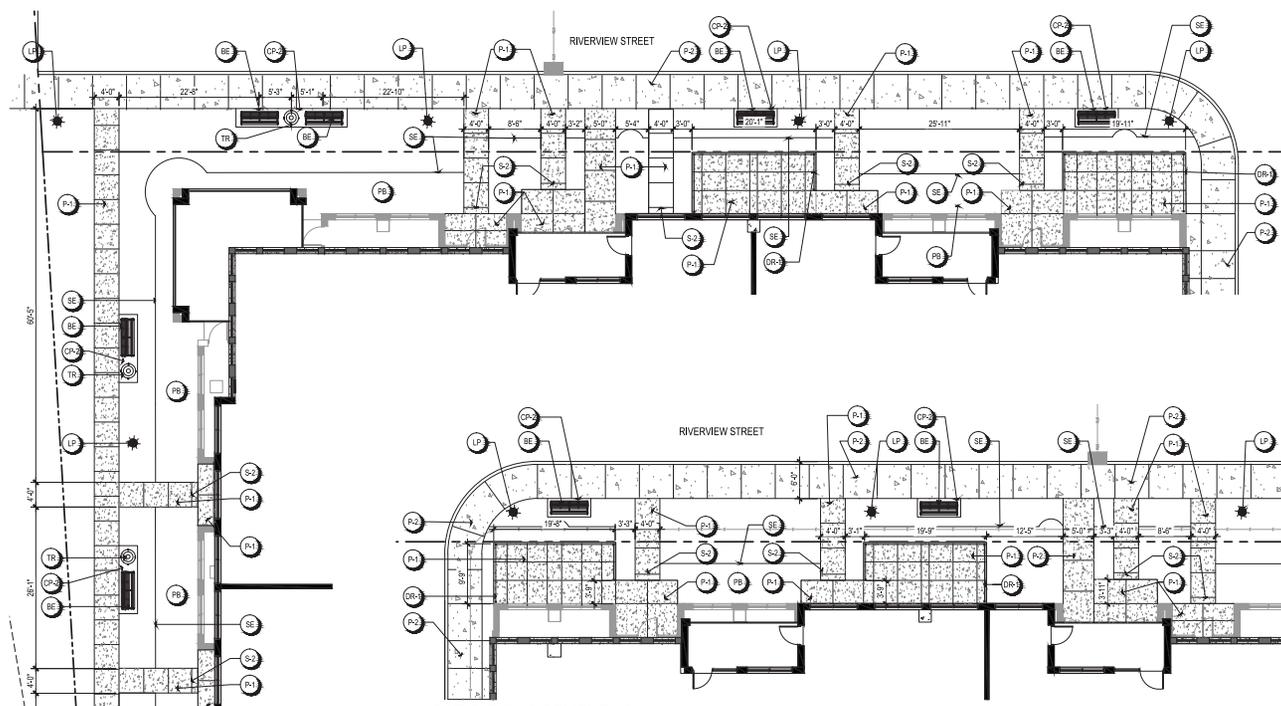
MATERIALS LEGEND				
CODE	ITEM	FINISH	SIZE	NOTES
BE	BENCH	DUMOR - BENCH 58, BLACK	PER PLAN	SEE DETAIL 10L-400
BR	BIKE RACK	CREATIVE PIPE INC. - TD 8-F-P, BLACK	PER PLAN	SEE DETAIL 9L-400
CP-1	CONCRETE PAD - BIKE RACK	BROOM FINISH	PER PLAN	SEE DETAIL 4L-403
CP-2	CONCRETE PAD - BENCHES	BROOM FINISH	PER PLAN	SEE DETAIL 3L-403
DR-1	DECORATIVE RAILING	AMERSTAR MONTAGE PLUS MAJESTIC 203 RAIL	PER PLAN	SEE DETAIL 13L-402
DR-2	DECORATIVE RAILING	LANDSCAPE FORMS - JESSIE	PER PLAN	SEE DETAIL 4L-402
FO	FOUNTAIN		PER PLAN	SEE DETAIL 1 & 3L-403
HR	HANDRAIL	STAINLESS STEEL	PER PLAN	SEE DETAIL 1 & 3L-401
LP	LIGHT POLE	STERNBERG CARSON CITY-BLACK POWDER COATED	12'-0"	SEE DETAIL 14L-400 & ENGINEERING DRAWINGS
LB	LIGHT BOLLARD	BEGA 907P - BLACK	4"	SEE DETAIL 13L-400 & ENGINEERING DRAWINGS
OL	OVERLOOK	TREATED WOOD, TREX COMPOSITE	PER PLAN	SEE DETAIL 1 & 2L-403
P-1	CONCRETE PAVEMENT	BUFF WASH	PER PLAN	4" DEPTH, BUFF WASH FINISH-SEE DETAIL 1L-400
P-2	CONCRETE PAVEMENT	BROOM FINISH	PER PLAN	4" DEPTH, BROOM FINISH, SEE DETAIL 1L-400
P-3	DECORATIVE CONCRETE PAVEMENT	STAMPED CONCRETE, PATTERN T8D	PER PLAN	ON STRUCTURE, SEE ARCHITECTURAL DRAWINGS
P-4	CLAY BRICK PAVEMENT - PEDESTRIAN	BELDEN - BELCREST 530	PER PLAN	SEE DETAIL 3L-400 & 5-6L-402
P-5	CLAY BRICK PAVEMENT - VEHICULAR	BELDEN - BELCREST 530 - VEHICULAR	PER PLAN	SEE DETAIL 2L-400
P-6	CONCRETE PAVEMENT ON STRUCTURE	BROOM FINISH	PER PLAN	ON STRUCTURE, SEE ARCHITECTURAL DRAWINGS
P8	PLANT BED	SEE PLANTING PLANS	PER PLAN	SEE SHEET L-300 - L-303 & L-500
PO	STONE POST	STONE VENEER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL 7L-401
PP-1	DECORATIVE PLANTER POTS	DUMOR - PLANTER 114, BLACK	PER PLAN	SEE DETAIL 9L-400
PP-2	LARGE PLANTER POTS	LANDSCAPE FORMS - PLAZA 48", WOOD	PER PLAN	SEE DETAIL 9L-400
S-1	CONCRETE STEPS	BUFF WASH	PER PLAN	SEE DETAIL 1L-401
S-2	CONCRETE STEPS PATIO	BUFF WASH	PER PLAN	SEE DETAIL 2L-401
SE	STEEL EDGE	BLACK STEEL EDGING	LF PER PLAN	SEE DETAIL 4L-500
ST	SYNTHETIC TURF	XORASS	PER PLAN	SEE DETAIL 11L-400
TG	TREE GRATE	URBAN ACCESSORIES: CHINOOK, 4'x4'	PER PLAN	SEE DETAIL 4 & 7L-400
TP	RAISED PLANTER	STONE VENEER WITH PRECAST CONC CAP	PER PLAN	SEE DETAIL 9L-401
RW	RETAINING WALL	VERSALOK - WEATHERED MOSAIC, FLAGSTONE BLEND	PER PLAN	SEE DETAIL 12L-400
TR	TRASH RECEPTACLE RECYCLING	DUMOR - 107, 22 GALLON, BLACK	PER PLAN	SEE DETAIL 9L-401
W-1	CHEEK WALL	STONE VENEER WITH PRECAST CONC CAP	PER PLAN	SEE DETAIL 9L-401, SIMILAR - NO RAILING
W-2	STONE WALL	STONE VENEER WITH PRECAST CONC CAP	PER PLAN	SEE DETAIL 9L-401
UB	PROPOSED UTILITY BOX		PER PLAN	SEE ENGINEERING DRAWINGS
US	UTILITY BOX SCREEN		PER PLAN	SEE ARCHITECTURAL DRAWINGS

OHM
ARCHITECTS ENGINEERS PLANNERS
OHM Office Address Line 1
OHM Office Address Line 2
OHM Office Phone No.
OHM Office Fax No.
OHM-ADVISORS.COM

BRIDGE PARK
COLUMBUS, OH
CRAWFORD HOYING
management

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: _____

PROJECT: _____
SHEET: _____
DATE: _____
Crawford Hoying Developers
Bridge Park West - Building Z
Dublin, Ohio
MATERIALS/LAYOUT ENLARGEMENT



2 PATIO ENLARGEMENT - B
SCALE: 1" = 10'-0"

MATERIALS LEGEND				
CODE	ITEM	FINISH	SIZE	NOTES
BE	BENCH	DUMOR - BENCH 58, BLACK	PER PLAN	SEE DETAIL 10L-400
BR	BIKE RACK	CREATIVE PIPE INC. - TD 84-P, BLACK	PER PLAN	SEE DETAIL 9L-400
CP-1	CONCRETE PAD - BIKE RACK	BROOM FINISH	PER PLAN	SEE DETAIL 4L-403
CP-2	CONCRETE PAD - BENCHES	BROOM FINISH	PER PLAN	SEE DETAIL 3L-403
DR-1	DECORATIVE RAILING	AMERISTAR MONTAGE PLUS MAJESTIC 20 RAIL	PER PLAN	SEE DETAIL 13L-402
DR-2	DECORATIVE RAILING	LANDSCAPE FORMS - JESSIE	PER PLAN	SEE DETAIL 4L-402
FO	FOUNTAIN		PER PLAN	SEE DETAIL 5L-403
HR	HANDRAIL	STAINLESS STEEL	PER PLAN	SEE DETAIL 1 & 3L-401
LP	LIGHT POLE	STERNBERG CARSON CITY-BLACK POWDER COATED	12'-0"	SEE DETAIL 14L-400 & ENGINEERING DRAWINGS
LB	LIGHT BOLLARD	BEGA 8676P - BLACK	4"	SEE DETAIL 13L-400 & ENGINEERING DRAWINGS
OL	OVERLOOK	TREATED WOOD, TREX COMPOSITE	PER PLAN	SEE DETAIL 1 & 2L-403
P-1	CONCRETE PAVEMENT	BUFF WASH	PER PLAN	4" DEPTH, BUFF WASH FINISH, SEE DETAIL 1L-400
P-2	CONCRETE PAVEMENT	BROOM FINISH	PER PLAN	4" DEPTH, BROOM FINISH, SEE DETAIL 1L-400
P-3	DECORATIVE CONCRETE PAVEMENT	STAMPED CONCRETE, PATTERN TBD	PER PLAN	ON STRUCTURE, SEE ARCHITECTURAL DRAWINGS
P-4	CLAY BRICK PAVEMENT - PEDESTRIAN	BELDEN - BELCREST 530	PER PLAN	SEE DETAIL 3L-400 & 5-6L-402
P-5	CLAY BRICK PAVEMENT - VEHICULAR	BELDEN - BELCREST 530 - VEHICULAR	PER PLAN	SEE DETAIL 2L-400

1 PATIO ENLARGEMENT - A
SCALE: 1" = 10'-0"

- LAYOUT NOTES**
1. ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED
 2. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON THE PLANS.
 3. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF WALL, OR FACE OF CURB UNLESS OTHERWISE NOTED.
 4. WALKWAYS AND HARDSCAPE ELEMENTS INDICATED AS CURVILINEAR SHALL HAVE SMOOTH CONTINUOUS CURVES.
 5. UNLESS INDICATED OTHERWISE, ALL WALKWAYS ABUTT AT 90 DEGREE ANGLES.
 6. ALL CONCRETE SCORING SHALL BE PARALLEL, PERPENDICULAR OR TANGENT TO ADJACENT IMPROVEMENTS UNLESS OTHERWISE NOTED.
 7. LAYOUT ALL CONSTRUCTION LINES AND VERIFY LAYOUT WITH THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
 8. RADI OF CURBS ARE ESTIMATED FROM SURVEY OR BASE DATA. THE CONTRACTOR SHALL MAKE ALL MODIFICATIONS NECESSARY TO ASSURE EXISTING AND NEW CURBS MEET FLUSH, EVEN AND SMOOTHLY.
 9. PROVIDE ISOLATION JOINTS WHERE CONCRETE PAVING OR PAVING BASE MEETS A FIXED STRUCTURE (EXISTING OR PROPOSED).
 10. PROVIDE FLUSH CONDITIONS AT JUNCTURE OF ALL WALKWAYS AND DOOR THRESHOLDS.
 11. REFER GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

LEGEND

	BENCH
	TRASH RECEPTACLES
	BIKE RACK
	POT PLANTERS
	BRICK PAVING
	CONCRETE PAVEMENT BUFF WASH FINISH
	CONCRETE PAVEMENT BROOM FINISH
	CONCRETE PAVEMENT DECORATIVE STAMPED
	SYNTHETIC TURF
	PROPERTY LINE

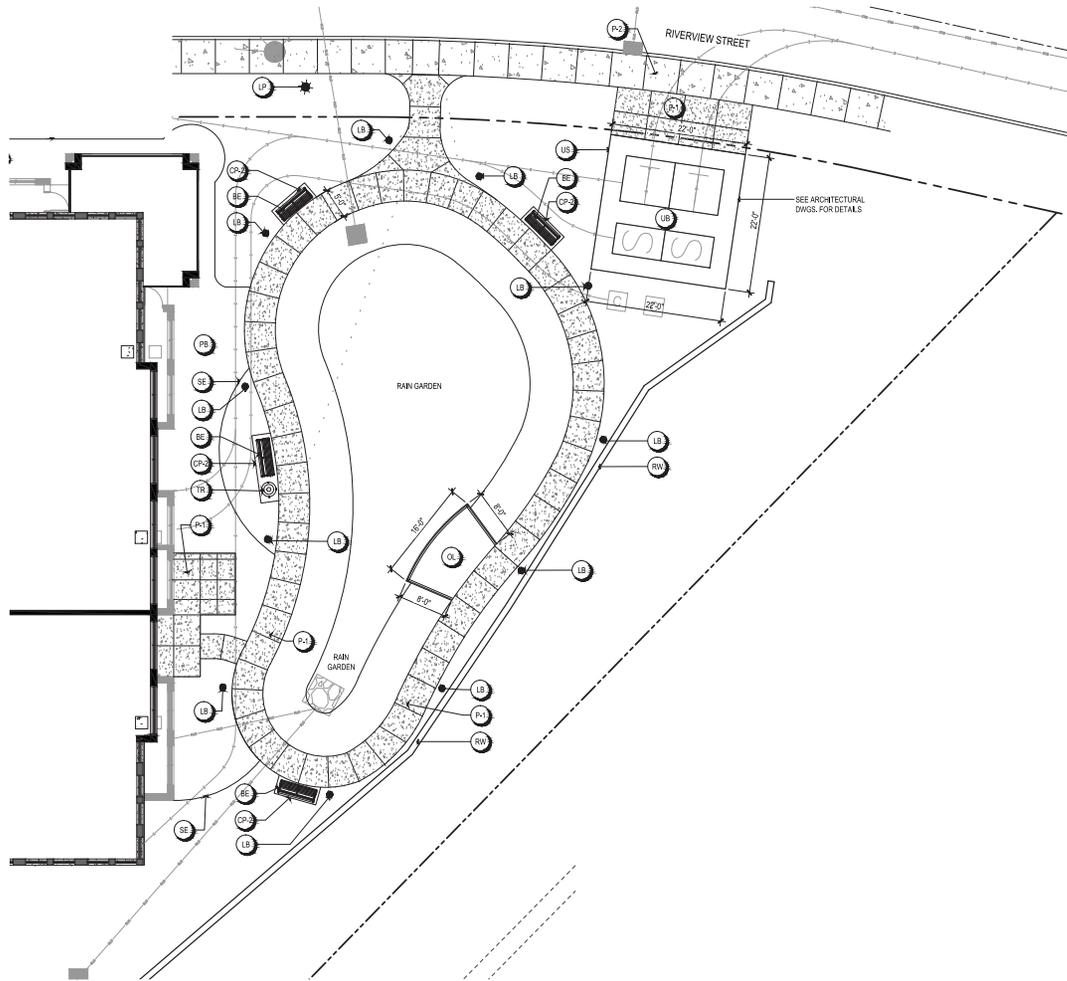
P-6	CONCRETE PAVEMENT ON STRUCTURE	BROOM FINISH	PER PLAN	ON STRUCTURE, SEE ARCHITECTURAL DRAWINGS
PB	PLANT BED	SEE PLANTING PLANS	PER PLAN	SEE SHEET L-200 - L-203 & L-500
PO	STONE POST	STONE VENEER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL 7L-401
PP-1	DECORATIVE PLANTER POTS	DUMOR - PLANTER 114, BLACK	PER PLAN	SEE DETAIL 8L-400
PP-2	LARGE PLANTER POTS	LANDSCAPE FORMS - PLAZA 48", WOOD	PER PLAN	SEE DETAIL 6L-400
S-1	CONCRETE STEPS	BUFF WASH	PER PLAN	SEE DETAIL 13L-401
S-2	CONCRETE STEPS PATIO	BUFF WASH	PER PLAN	SEE DETAIL 2L-401
SE	STEEL EDGE	BLACK STEEL EDGING	LF PER PLAN	SEE DETAIL 4L-500
ST	SYNTHETIC TURF	XGRASS	PER PLAN	SEE DETAIL 11L-400
TP	TREE GRATE	URBAN ACCESSORIES: CHINDOK, 4x4"	PER PLAN	SEE DETAIL 4 & 7L-400
TG	RAISED PLANTER	STONE VENEER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL 8L-401
RW	RETAINING WALL	VERSALOK WEATHERED MOSAIC, FLAGSTONE BLEND	PER PLAN	SEE DETAIL 9L-401
TR	TRASH RECEPTACLE, RECYCLING	DUMOR - 107, 22 GALLON, BLACK	PER PLAN	SEE DETAIL 12L-400
W-1	CHEEK WALL	STONE VENEER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL 6L-401, SIMILAR - NO RAILING
W-2	STONE WALL	STONE VENEER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL 6L-401
UB	PROPOSED UTILITY BOX		PER PLAN	SEE ENGINEERING DRAWINGS
US	UTILITY BOX SCREEN		PER PLAN	SEE ARCHITECTURAL DRAWINGS



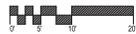
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MATERIALS/LAYOUT ENLARGEMENT

Crawford Hoying Developers
Bridge Park West - Building Z
Dublin, Ohio



1 RAINGARDEN ENLARGEMENT
SCALE: 1" = 10'-0"



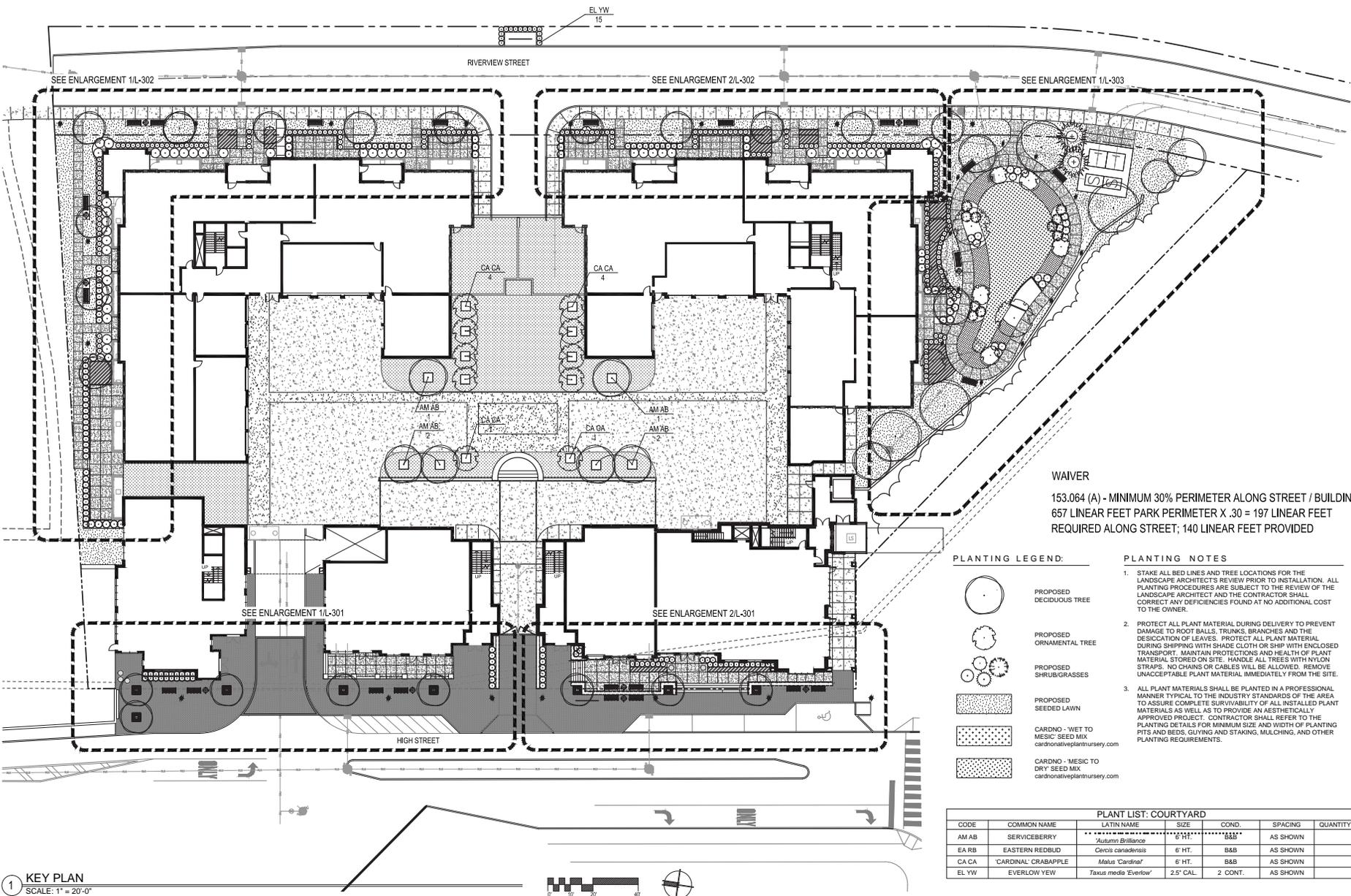
MATERIALS LEGEND				
CODE	ITEM	FINISH	SIZE	NOTES
BE	BENCH	DUMOR - BENCH 58, BLACK	PER PLAN	SEE DETAIL, 101-400
BR	BIKE RACK	CREATIVE PIPE INC. - TD 6-F-P, BLACK	PER PLAN	SEE DETAIL, 91-400
CP-1	CONCRETE PAD - BIKE RACK	BROOM FINISH	PER PLAN	SEE DETAIL, 41-403
CP-2	CONCRETE PAD - BENCHES	BROOM FINISH	PER PLAN	SEE DETAIL, 31-403
DR-1	DECORATIVE RAILING	AMERSTAR MONTAGE PLUS MAJESTIC 23 RAIL	PER PLAN	SEE DETAIL, 1-31-402
DR-2	DECORATIVE RAILING	LANDSCAPE FORMS - JESSE	PER PLAN	SEE DETAIL, 41-402
FO	FOUNTAIN		PER PLAN	SEE DETAIL, 51-403
HR	HANDRAIL	STAINLESS STEEL	PER PLAN	SEE DETAIL, 1 & 31-401
LP	LIGHT POLE	STERNBERG CARSON CITY-BLACK POWDER COATED	12'-0"	SEE DETAIL, 141-400 & ENGINEERING DRAWINGS
LB	LIGHT BOLLARD	BEGA 8076P - BLACK	43"	SEE DETAIL, 131-400 & ENGINEERING DRAWINGS
OL	OVERLOOK	TREATED WOOD, TREX COMPOSITE	PER PLAN	SEE DETAIL, 1 & 21-403
P-1	CONCRETE PAVEMENT	BUFF WASH	PER PLAN	4" DEPTH, BUFF WASH FINISH, SEE DETAIL, 111-400
P-2	CONCRETE PAVEMENT	BROOM FINISH	PER PLAN	4" DEPTH, BROOM FINISH, SEE DETAIL, 111-400
P-3	DECORATIVE CONCRETE PAVEMENT	STAMPED CONCRETE, PATTERN TBD	PER PLAN	ON STRUCTURE, SEE ARCHITECTURAL DRAWINGS
P-4	CLAY BRICK PAVEMENT - PEDESTRIAN	BELDEN - BELCREST 530	PER PLAN	SEE DETAIL, 31-400 & 5-61-402
P-5	CLAY BRICK PAVEMENT - VEHICULAR	BELDEN - BELCREST 530 - VEHICULAR	PER PLAN	SEE DETAIL, 21-400
P-6	CONCRETE PAVEMENT ON STRUCTURE	BROOM FINISH	PER PLAN	ON STRUCTURE, SEE ARCHITECTURAL DRAWINGS
PB	PLANT BED	SEE PLANTING PLANS	PER PLAN	SEE SHEET L-300-L-303 & L-500
PO	STONE POST	STONE VENER WITH PRECAST CONC. CAP	PER PLAN	SEE DETAIL, 71-401
PP-1	DECORATIVE PLANTER POTS	DUMOR - PLANTER 114, BLACK	PER PLAN	SEE DETAIL, 91-400
PP-2	LARGE PLANTER POTS	LANDSCAPE FORMS - PLAZA 48", WOOD	PER PLAN	SEE DETAIL, 61-400
S-1	CONCRETE STEPS	BUFF WASH	PER PLAN	SEE DETAIL, 111-400
S-2	CONCRETE STEPS PATIO	BUFF WASH	PER PLAN	SEE DETAIL, 21-401
SE	STEEL EDGE	BLACK STEEL EDGING	LP PER PLAN	SEE DETAIL, 41-400
ST	SYNTHETIC TURF	XGRASS	PER PLAN	SEE DETAIL, 111-400
TG	TREE GRATE	URBAN ACCESSORIES CHNOOK, 6x6"	PER PLAN	SEE DETAIL, 4 & 71-400
TP	RAISED PLANTER	STONE VENER WITH PRECAST CONC CAP	PER PLAN	SEE DETAIL, 81-401
RW	RETAINING WALL	VERSALOK, WEATHERED MOSAIC, FLAGSTONE BLEND	PER PLAN	SEE DETAIL, 91-401
TR	TRASH RECEPTACLE/RECYCLING	DUMOR - 107, 22 GALLON, BLACK	PER PLAN	SEE DETAIL, 121-400
W-1	CHEEK WALL	STONE VENER WITH PRECAST CONC CAP	PER PLAN	SEE DETAIL, 91-401, SIMILAR - NO RAILING
W-2	STONE WALL	STONE VENER WITH PRECAST CONC CAP	PER PLAN	SEE DETAIL, 61-401
UB	PROPOSED UTILITY BOX		PER PLAN	SEE ENGINEERING DRAWINGS
US	UTILITY BOX SCREEN		PER PLAN	SEE ARCHITECTURAL DRAWINGS

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LEGEND

- BENCH
- TRASH RECEPTACLES
- BIKE RACK
- POT PLANTERS
- BRICK PAVING
- CONCRETE PAVEMENT BUFF WASH FINISH
- CONCRETE PAVEMENT BROOM FINISH
- CONCRETE PAVEMENT DECORATIVE STAMPED
- SYNTHETIC TURF
- PROPERTY LINE



WAIVER
153.064 (A) - MINIMUM 30% PERIMETER ALONG STREET / BUILDING - 657 LINEAR FEET PARK PERIMETER X .30 = 197 LINEAR FEET REQUIRED ALONG STREET; 140 LINEAR FEET PROVIDED

PLANTING LEGEND:

-  PROPOSED DECIDUOUS TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED SHRUB/GRASSES
-  PROPOSED SEEDED LAWN
-  CARDNO - WET TO MESIC SEED MIX
cardno@liveplantnursery.com
-  CARDNO - MESIC TO DRY SEED MIX
cardno@liveplantnursery.com

PLANTING NOTES

1. STAKE ALL BED LINES AND TREE LOCATIONS FOR THE LANDSCAPE ARCHITECT'S REVIEW PRIOR TO INSTALLATION. ALL PLANTING PROCEDURES ARE SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES FOUND AT NO ADDITIONAL COST TO THE OWNER.
2. PROTECT ALL PLANT MATERIAL DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, BRANCHES AND THE DESICCATION OF LEAVES. PROTECT ALL PLANT MATERIAL DURING SHIPPING WITH SHADE CLOTH OR SHIP WITH ENCLOSED TRANSPORT. MAINTAIN PROTECTIONS AND HEALTH OF PLANT MATERIAL STORED ON SITE. HANDLE ALL TREES WITH NYLON STRAPS. NO CHAINS OR CABLES WILL BE ALLOWED. REMOVE UNACCEPTABLE PLANT MATERIAL IMMEDIATELY FROM THE SITE.
3. ALL PLANT MATERIALS SHALL BE PLANTED IN A PROFESSIONAL MANNER TYPICAL TO THE INDUSTRY STANDARDS OF THE AREA TO ASSURE COMPLETE SURVIVABILITY OF ALL INSTALLED PLANT MATERIALS AS WELL AS TO PROVIDE AN AESTHETICALLY APPROVED PROJECT. CONTRACTOR SHALL REFER TO THE PLANTING DETAILS FOR MINIMUM SIZE AND WIDTH OF PLANTING PITS AND BEDS, GUYING AND STAKING, MULCHING, AND OTHER PLANTING REQUIREMENTS.

PLANT LIST: COURTYARD

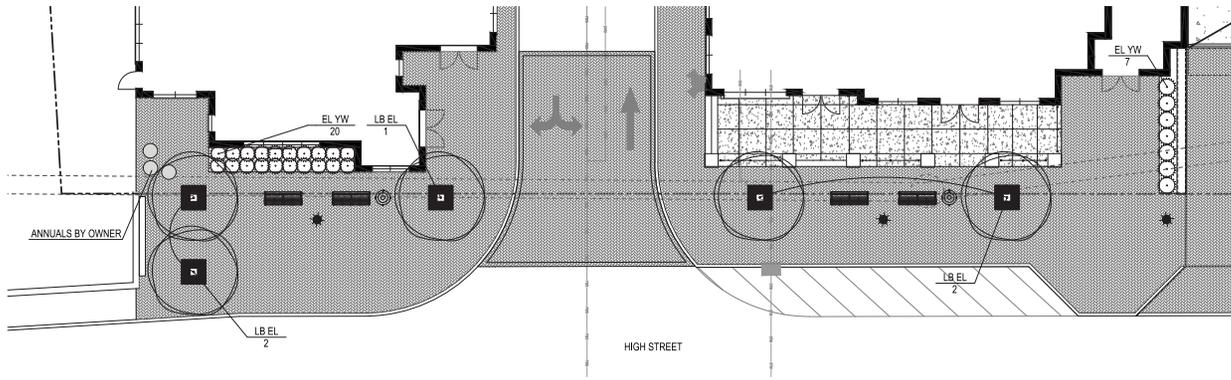
CODE	COMMON NAME	LATIN NAME	SIZE	COND.	SPACING	QUANTITY
AM AB	SERVICEBERRY	<i>Autumn Brilliance</i>	6" HT.	B&B	AS SHOWN	
EA RB	EASTERN REDBUD	<i>Cercis canadensis</i>	6' HT.	B&B	AS SHOWN	
CA CA	'CARDINAL' CRABAPPLE	<i>Malus 'Cardinal'</i>	6' HT.	B&B	AS SHOWN	
EL YW	EVERLOW YEW	<i>Taxus media 'Everlow'</i>	2.5" CAL.	2 CONT.	AS SHOWN	

1 KEY PLAN
SCALE: 1" = 20'-0"

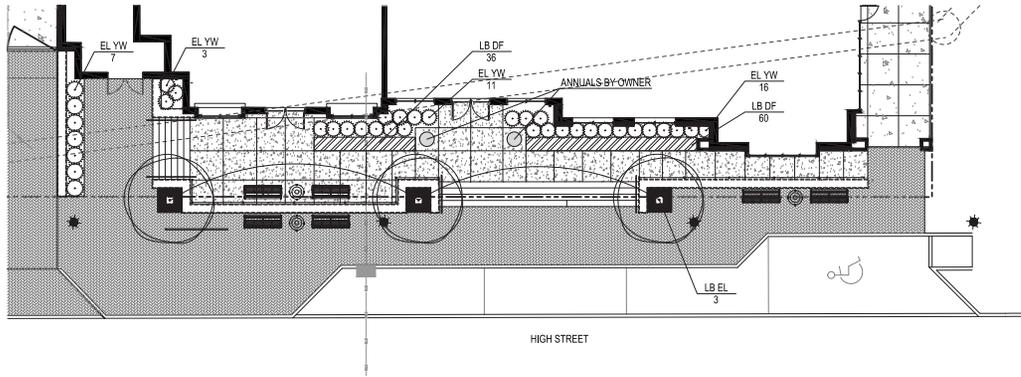


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1 STREETScape ENLARGEMENT - A
SCALE: 1" = 10'-0"



2 STREETScape ENLARGEMENT - B
SCALE: 1" = 10'-0"



PLANT LIST: STREETScape						
CODE	COMMON NAME	LATIN NAME	SIZE	COND.	SPACING	QUANTITY
LB DF	LITTLE BUNNY DWARF FOUNTAIN GRASS	<i>Pennisetum alopecuroides</i> "Little Bunny"		2 CONT.	12' O.C.	
EL YW	EVERLOW YEW	<i>Taxus media</i> "Everlow"	24" HT.	2 CONT.	AS SHOWN	
LB EL	LACEBARK ELM	<i>Ulmus parvifolia</i>	2.5 CAL.	B&B	AS SHOWN	

PLANTING LEGEND:

- PROPOSED DECIDUOUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED SHRUB/GRASSES
- PROPOSED SEEDED LAWN
- CARDNO - WET TO MESIC SEED MIX
cardnoassociatenuresury.com
- CARDNO - MESIC TO DRY SEED MIX
cardnoassociatenuresury.com

PLANTING NOTES

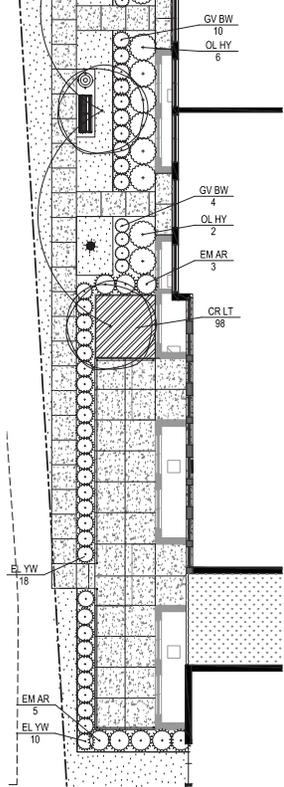
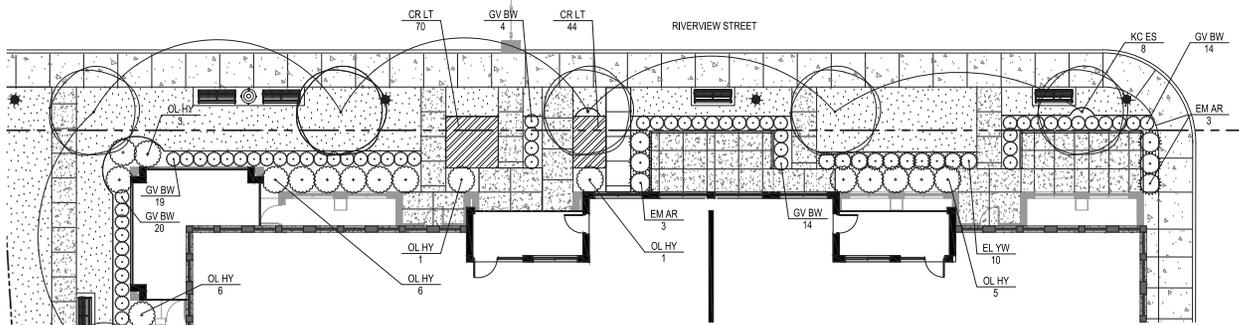
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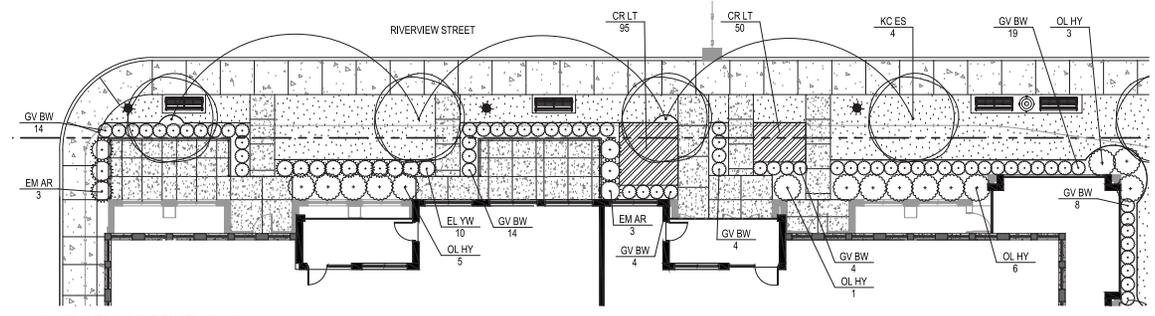
BRIDGE PARK
DUBLIN, OH
CRAWFORD HOYING
development

DATE	
DESIGNED BY	Cheryl Bohn
NO.	

DATE: 08/01/2011
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 PROJECT NUMBER: [blank]
 SITE: [blank]
 CRAWFORD HOYING DEVELOPERS
 Bridge Park West - Building Z
 Dublin, Ohio
 PLANTING PLAN ENLARGEMENT

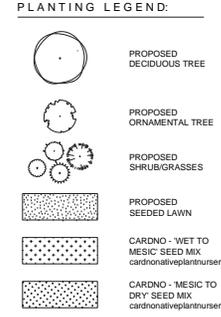


1 PATIO ENLARGEMENT - A
 SCALE: 1" = 10'-0"



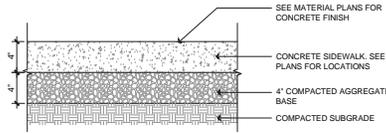
2 PATIO ENLARGEMENT - B
 SCALE: 1" = 10'-0"

PLANT LIST: PATIOS						
CODE	COMMON NAME	LATIN NAME	SIZE	COND.	SPACING	QUANTITY
GV BW	GREEN VELVET BOXWOOD	<i>Buxus 'Green Velvet'</i>		2 CONT.	AS SHOWN	
OL HY	OAKLEAF HYDRANGEA	<i>Hydrangea quercifolia</i>		3 CONT.	AS SHOWN	
KC ES	ESPRESSO KENTUCKY COFFEE TREE	<i>Gymnocladia dioica 'Espresso'</i>	2.5 CAL.	B&B	AS SHOWN	
EL YW	EVERLOW YEWE	<i>Taxus media 'Everlow'</i>	24" HT.	2 CONT.	AS SHOWN	
CR LT	CREEPING LILYTURF	<i>Liriope spicata</i>	12" HT.	QT. POT	12" O.C.	
EM AR	EMERALD GREEN ARBORVITAE	<i>Thuja occidentalis 'Smaragd'</i>		5 CONT.	AS SHOWN	

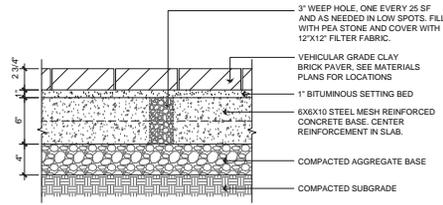


- PLANTING NOTES
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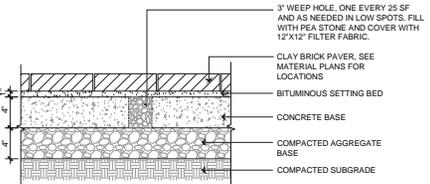




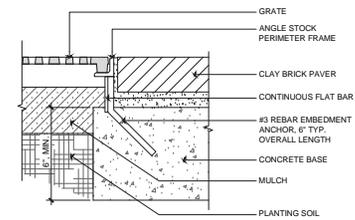
1 PEDESTRIAN CONCRETE SIDEWALK
SCALE: 1-1/2" = 1'-0"



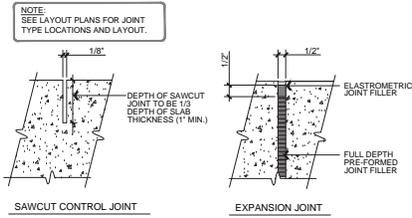
2 CLAY BRICK PAVER AT CROSSWALK - VEHICULAR
SCALE: 1-1/2" = 1'-0"



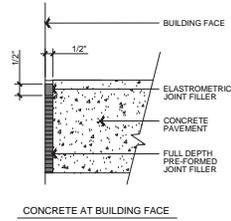
3 CLAY BRICK PAVER
SCALE: 1-1/2" = 1'-0"



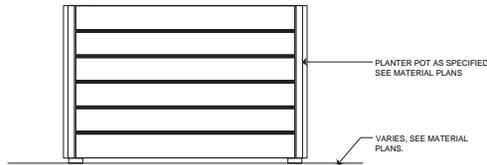
4 TREE GRATE FRAME
SCALE: 3" = 1'-0"



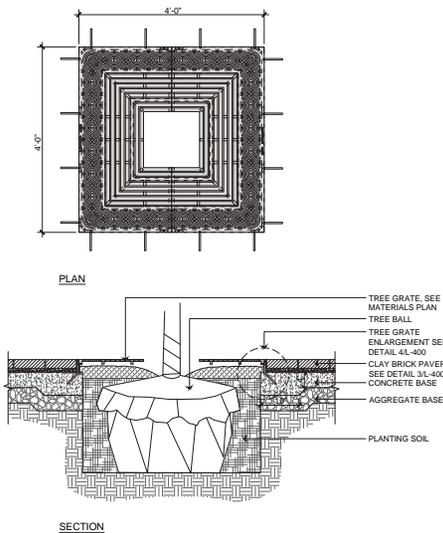
5 EXPANSION AND CONTROL JOINTS
SCALE: 3" = 1'-0"



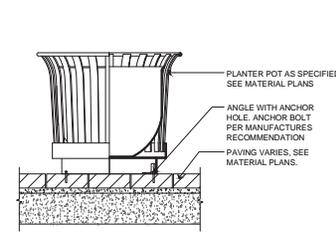
6 COURTYARD PLANTER POT
SCALE: 1" = 1'-0"



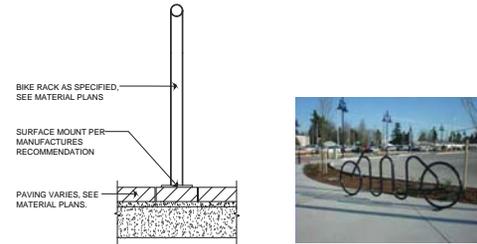
7 TREE GRATE
SCALE: 3/4" = 1'-0"



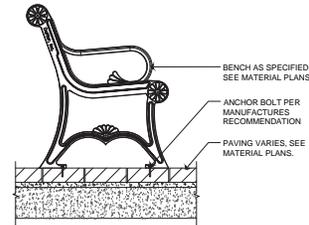
8 PLANTER POT MOUNTING
SCALE: 1" = 1'-0"



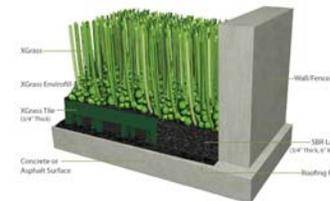
9 BIKE RACK MOUNTING
SCALE: 1" = 1'-0"



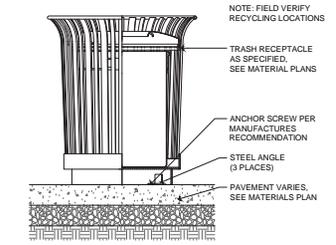
10 BENCH MOUNTING
SCALE: 1" = 1'-0"



11 SYNTHETIC TURF ON ROOFTOP
NTS



12 TRASH RECEPTACLE
SCALE: 1" = 1'-0"



13 BOLLARD
NTS



14 LIGHT POLE
NTS



15 SITE DETAILS

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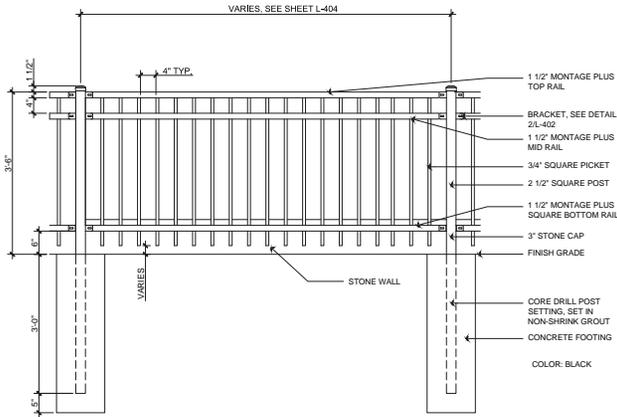
BRIDGE PARK
DUBLIN, OH
CRAWFORD HOYING
development

DATE: _____
DESIGNED BY: _____
CHECKED BY: _____
DATE: _____
DESIGNED BY: _____
CHECKED BY: _____

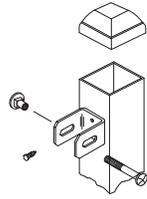
Crawford Hoying Developers
Bridge Park West - Building Z
Dublin, Ohio

SITE DETAILS

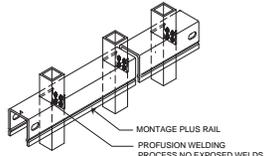
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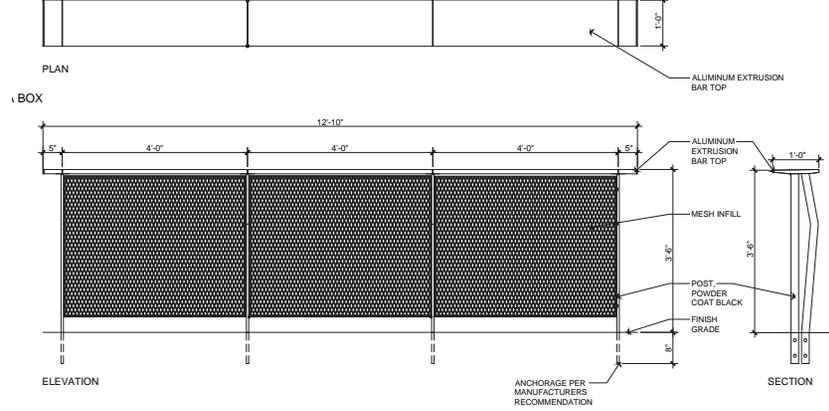
1 GUARDRAIL/FENCE
SCALE: 3/4" = 1'-0"



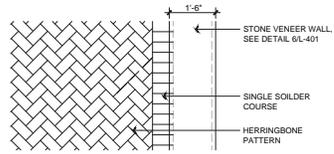
2 FLAT MOUNT BRACKET
SCALE: 3" = 1'-0"



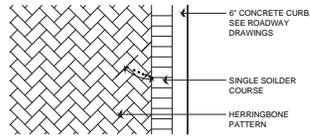
3 RAILING/PICKET CONNECTION
SCALE: 3" = 1'-0"



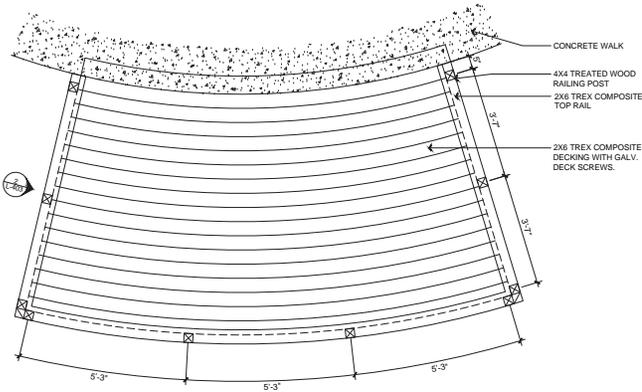
4 GUARDRAIL
SCALE: 3/4" = 1'-0"



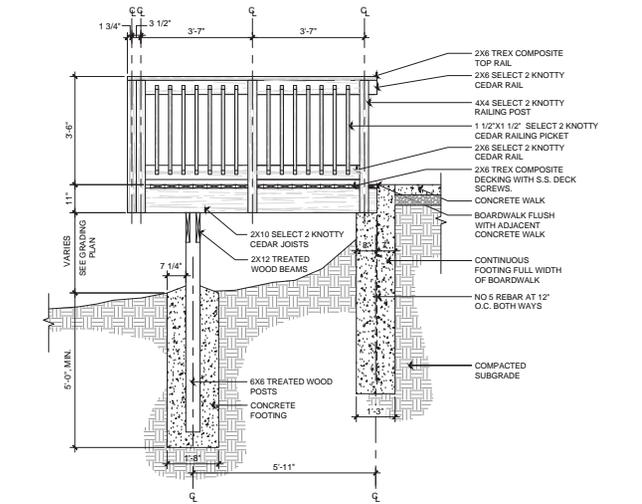
5 BRICK AT WALL PATTERN
SCALE: 1/2" = 1'-0"



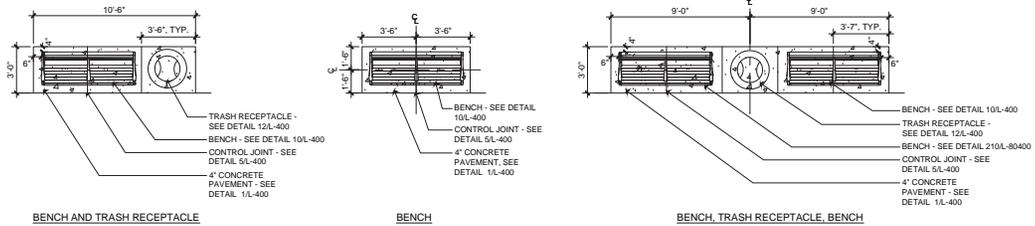
6 STANDARD PAVING PATTERN
SCALE: 1/2" = 1'-0"



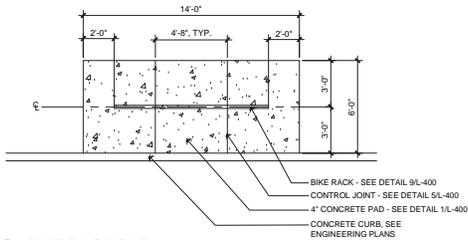
1 OVERLOOK DECKING PLAN
SCALE: 1/2" = 1'-0"



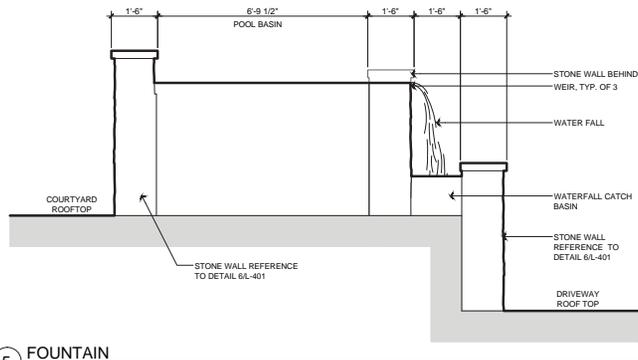
2 OVERLOOK DECK ELEVATION
SCALE: 1/2" = 1'-0"



3 BENCH/TRASH RECEPTACLE PAD
SCALE: 1/4" = 1'-0"



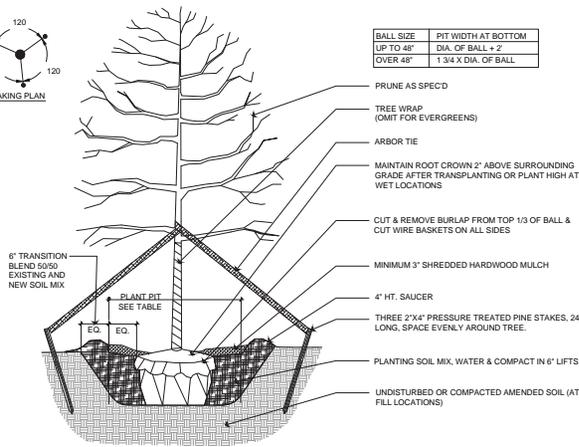
4 BIKE RACK PAD
SCALE: 1/4" = 1'-0"



5 FOUNTAIN
SCALE: 1/2" = 1'-0"

NOTES:

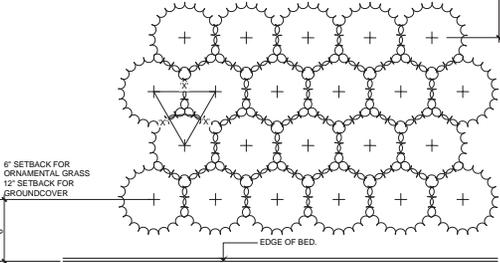
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
- FINAL TREE STAKING PLACEMENT TO BE APPROVED BY OWNER.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREES TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN (B) INTO PLANTING HOLE.
- REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOTBALL.
- SET TREE PLUMB IN PLANTING PIT.
- EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.



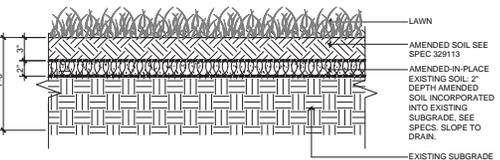
1 TREE PLANTING
SCALE: 1/2" = 1'-0"

NOTES:

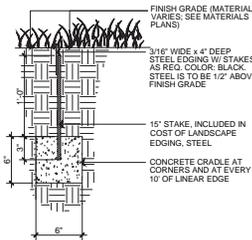
- PROVIDE MIN. 12" SPACING BETWEEN DIFFERENT PLANT TYPES. SEE PLANTING PLAN FOR SPECIFIC PLANT SPACING.
- ALL ORNAMENTAL GRASS AND GROUNDCOVER MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING "X".



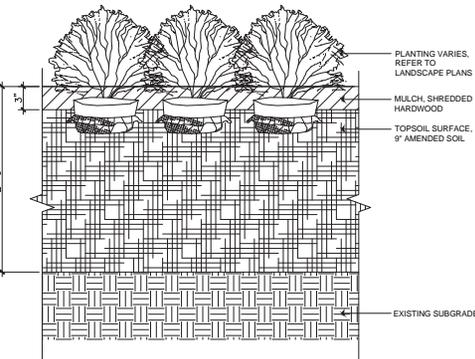
2 PLANT SPACING
SCALE: 1" = 1'-0"



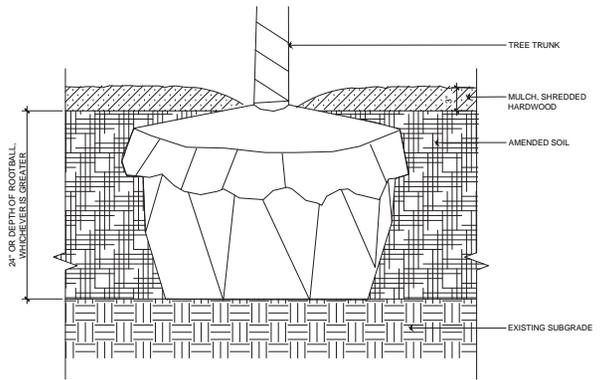
3 FILL SYSTEM TYPE 1 - TURF GRASS
SCALE: 1 1/2" = 1'-0"



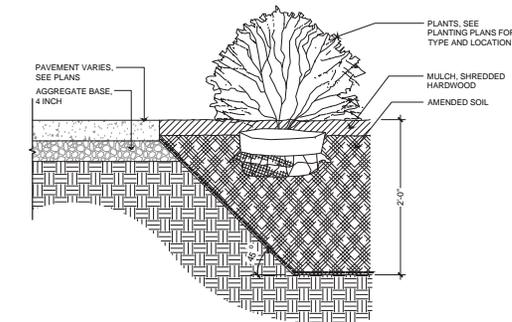
4 STEEL LANDSCAPE EDGING
SCALE: 1 1/2" = 1'-0"



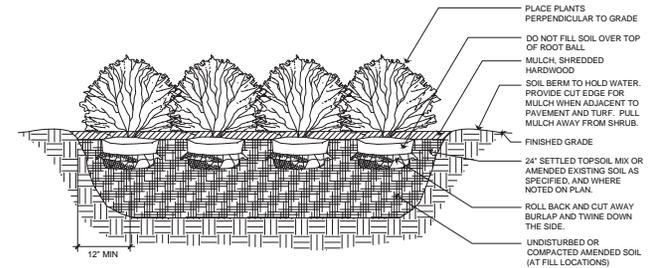
5 SHRUB / ORNAMENTAL GRASS - PLANTING BEDS
SCALE: 1 1/2" = 1'-0"



6 TREE PLANTING BED
SCALE: 1 1/2" = 1'-0"

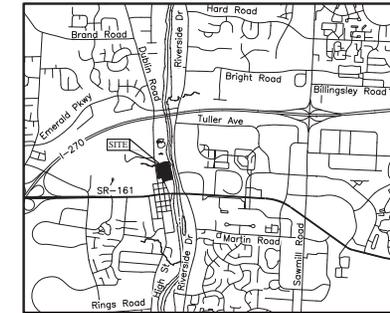


7 EXCAVATION FOR SOIL @ PAVEMENT AND STRUCTURES
SCALE: 1" = 1'-0"

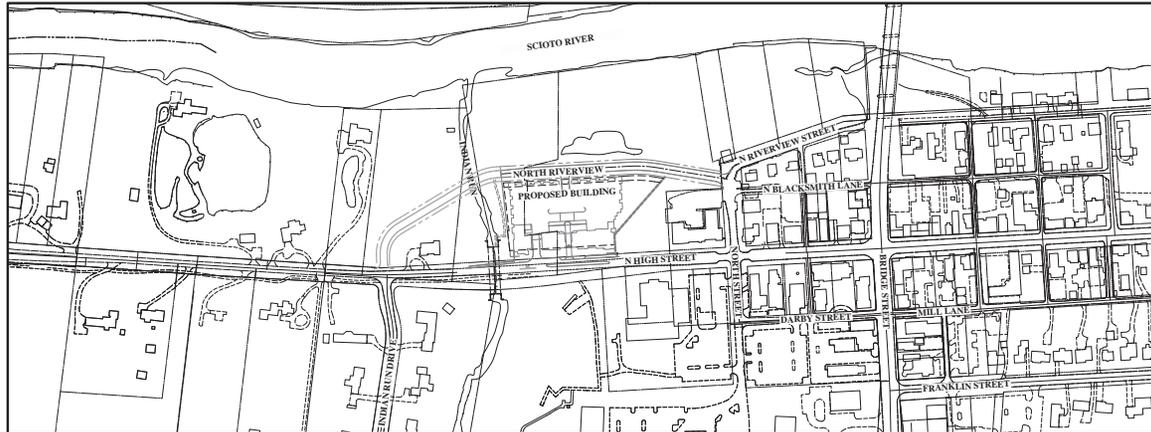


8 SHRUB / ORNAMENTAL GRASS PLANTING
SCALE: 1" = 1'-0"

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO FINAL SITE PLAN FOR BRIDGE PARK WEST 2015



LOCATION MAP
Not to Scale



INDEX MAP
Full Size: 1" = 200'
Half Size: 1" = 400'

GRAPHIC SCALE



SHEET INDEX

Title Sheet	C1
Tree Clearing Plan	C2
Tree Clearing Plan	C3
Demolition Plan - Phase 1	C4
Interim Conditions Plan	C5
Demolition Plan - Phase 2	C6
Overall Site Plan	C7
Site Plan	C8
Grading Plan	C9
Utility Plan	C10
Roadway Grading and Utility Plan	C11
North River View Street	C12
Street Sections	C13
Bioretention Details and Notes	C14

SITE DATA	
Total Project Limits Area	±2.4 Acres
Pre-Developed Impervious Area	±1.5 Acres
Post-Developed Impervious Area	±1.9 Acres
Percent Impervious	80%
Apartment Building Max	70%
Historic Mixed Use Max	85%
Residential Units	42 Units
Gross Density	±17.5 DU/Acre
Office Space	16,650 Sq. Ft.
Restaurant	11,800 Sq. Ft.
Retail	4,200 Sq. Ft.
Required Parking	242
Max Allowable Parking	302
Provided Parking	
Private Parking Garages	115
Electric Charging Spaces	2
ADA Accessible Parking	20
Public Parking	238
Total Parking Provided	375
Required Bicycle Parking	39
Provided Bicycle Parking	39
Front Property Line Coverage	
N. High Street (Min. 50%)	83%
N. River View Street (Min. 75%)	61%
Building Lot Coverage	
Historic Mixed Use Building Area	17,884 Sq. Ft.
Lot Coverage Percentage	17%
Apartment & Parking Building Area	54,342 Sq. Ft.
Lot Coverage Percentage	52%
Total Building Lot Coverage	69%

OPEN SPACE DATA	
Total Open Space Area	±0.24 Acres
Impervious Area	±0.03 Acres
Right-of-Way Frontage	30%
Open Water Area	0 Sq. Ft.

Minimum Required Parking - Residential			
1 bdrm	2 bdrm	3 bdrm	4 bdrm
0	1	2	2
0	1.5	2	2
19	2	38	2
1	2	2	2
40	1	2	70

Maximum Allowable Parking - Residential			
1 bdrm	2 bdrm	3 bdrm	4 bdrm
0	2	2	2
20	2	40	2
19	2	38	2
1	2	2	2
40	2	2	80

Bridge Park West - Open Space Calculation				
	Area (SF)	Units	Requirement	Minimum Required Open Area
Level 1 Retail	4,479	-	1 SF per 50 SF of Commercial	90
Level 2 Office	14,570	-	1 SF per 50 SF of Commercial	291
Residential	-	40	200 SF per Unit	8,000
Total				8,557
Total Required Open Space	8,500			SF
		0.20		Acres
Total Provided Open Space	0.24			Acres

Minimum Required Parking - Commercial				
	SF	Spaces/1000 SF	Required Spaces	
Level 1 Retail	4479	3	14	34
Level 1 Restaurant	8900	10	89	88
Level 2 Office	14570	2.5	37	37
Total	27949		139	139

Maximum Allowable Parking - Commercial				
	Min.	Spaces	Percentage	Required Spaces
Level 1 Retail	34	14	125%	19
Level 1 Restaurant	88	88	125%	115
Level 2 Office	37	37	125%	47
Total	139	139		175

SITE PLAN WAIVER TABLE		DEVELOPMENT PLAN WAIVER TABLE	
A. Section 153.063 (D)(4)(b); Building heights - apartment building exceeds 2 ½ story limit due to site constraints.		A. Section 153.060/153.063; (2) Maximum block length exceeds 300' length permitted in Historic Transition District; perimeter exceeds the 1000' maximum permitted.	
		B. Section 153.060 (C)(5)(a); Midblock Pedestrian Way; Historic Mixed Use Building, waiver requested due to site constraints.	

Maximum Block Dimensions Per Block					
Block #	Side Length (ft.)				Perimeter (ft.)
	North	South	East	West	
Block 2	246	300	528	340	1414

Maximum Allowable Block Dimensions per Zoning		
BSC Historic Transition Neighborhood	Length (ft.)	
	Length (ft.)	Perimeter (ft.)
	300	1000

DEVELOPER/OWNER
Crawford Hoying Development Partners
555 Metro Place North, Suite 600
Dublin, Ohio 43017
Tel: (614) 335-2020
Fax: (614) 850-9191

ENGINEER
EMH&T Inc.
5500 New Albany Road
Columbus, Ohio 43234
Tel: (614) 775-4500
Fax: (614) 850-6800

ARCHITECT
OHM Advisors
101 Mill Street, Suite 200
Gahanna, Ohio 43230
Tel: (614) 418-0600
Fax: (614) 418-0614

ZONING
Zoned BSC Historic Transition Neighborhood
946100 N High St.
Dublin, OH 43017
Site Area: ±2.4 Acres



DATE: _____
DESCRIPTION: _____
NO. _____

Crawford Hoying Developers
Bridge Park West - Building Z
Dublin, Ohio
TITLE SHEET

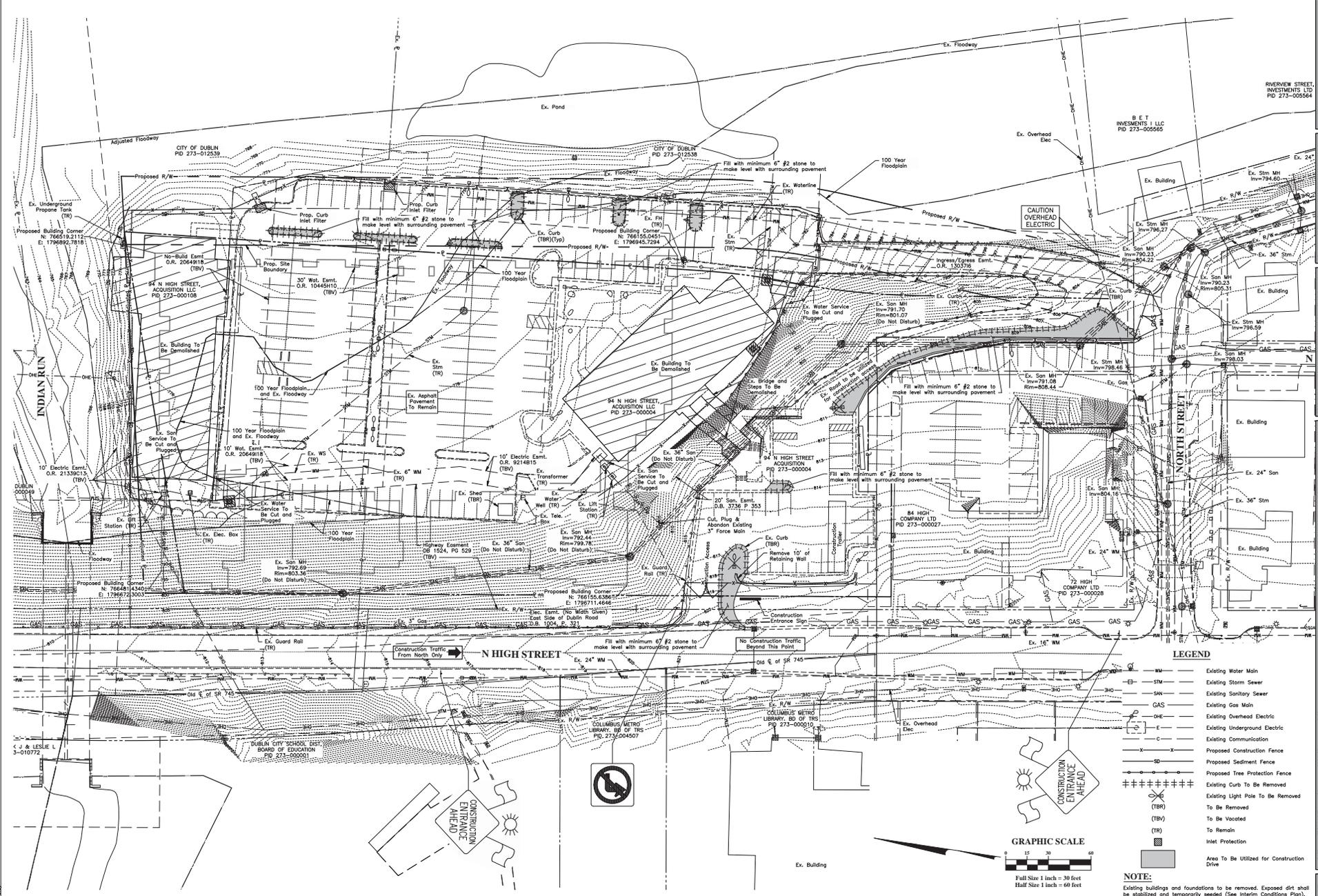
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Crawford Hoiving Developers
Bridge Park West - Building Z
DUBLIN, OHIO



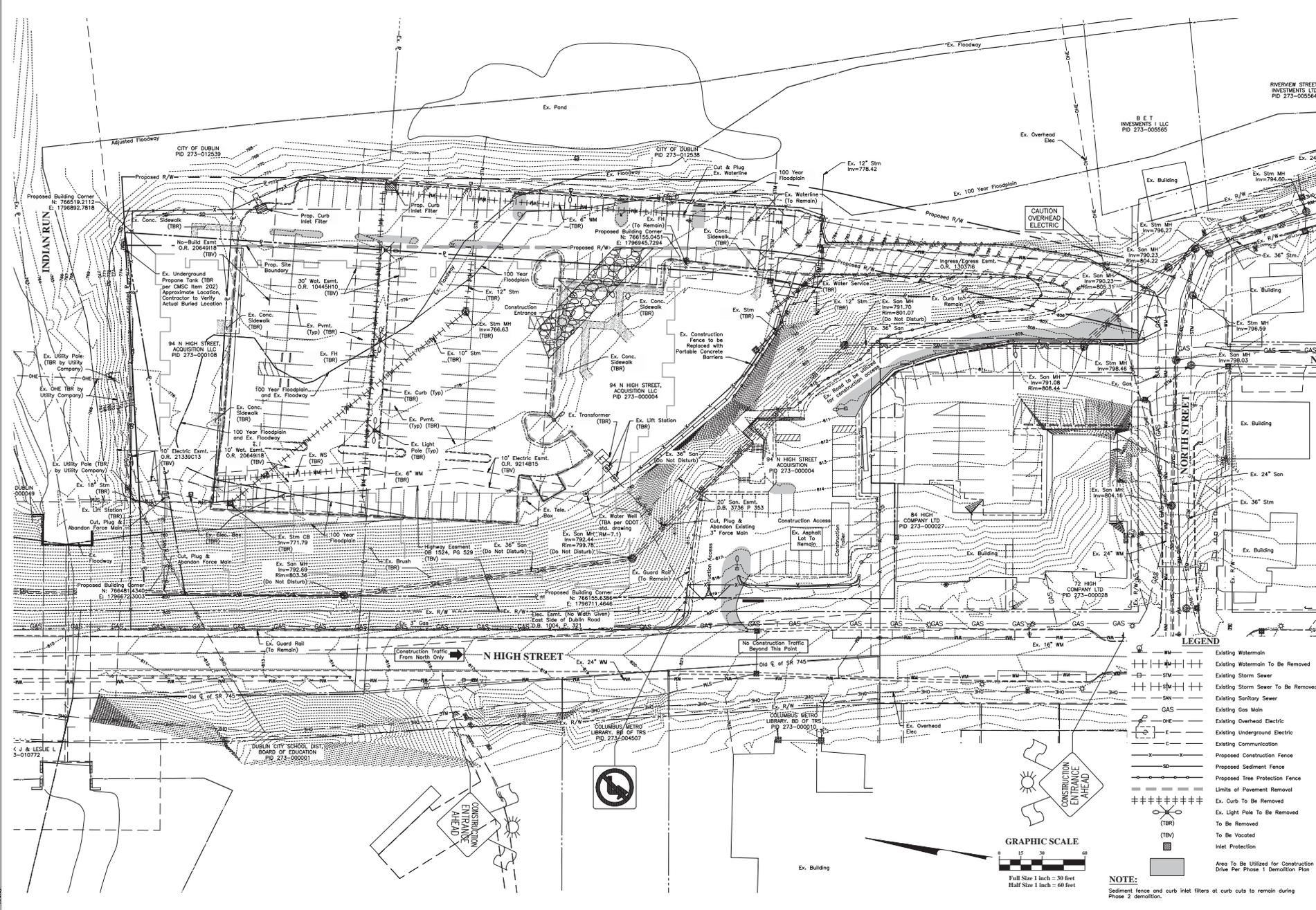
LEGEND

- WM Existing Water Main
- STM Existing Storm Sewer
- SAN Existing Sanitary Sewer
- GAS Existing Gas Main
- OHE Existing Overhead Electric
- E Existing Underground Electric
- C Existing Communication
- - - - - Proposed Construction Fence
- - - - - Proposed Sediment Fence
- - - - - Proposed Tree Protection Fence
- Existing Curb To Be Removed
- To Be Removed
- To Be Vacated
- To Remain
- Inlet Protection
- Area To Be Utilized for Construction Drive

NOTE:
Existing buildings and foundations to be removed. Exposed dirt shall be stabilized and temporarily seeded (See Interim Conditions Plan).

GRAPHIC SCALE
Full Size 1 inch = 30 feet
Half Size 1 inch = 60 feet

2/29/2015 8:45 AM User: [Name] Plot: [Name] Scale: [Scale] Date: [Date] Time: [Time]



CAUTION OVERHEAD ELECTRIC

LEGEND

- Existing Watermain
- Existing Watermain To Be Removed
- Existing Storm Sewer
- Existing Storm Sewer To Be Removed
- Existing Sanitary Sewer
- Existing Gas Main
- Existing Overhead Electric
- Existing Underground Electric
- Existing Communication
- Proposed Construction Fence
- Proposed Sediment Fence
- Proposed Tree Protection Fence
- Limits of Pavement Removal
- Ex. Curb To Be Removed
- Ex. Light Pole To Be Removed
- To Be Removed
- To Be Vacated
- Inlet Protection

GRAPHIC SCALE

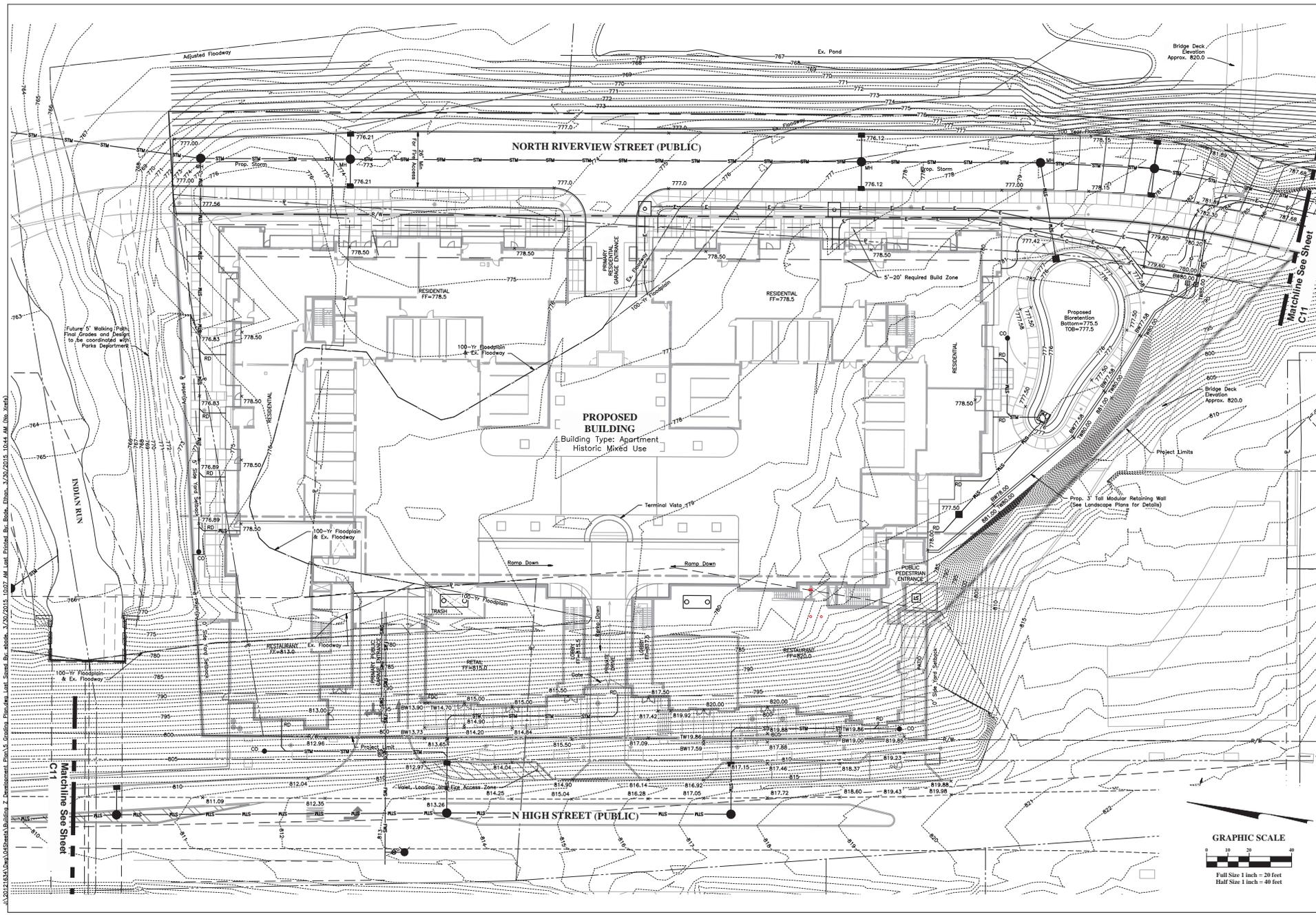


NOTE:

Sediment fence and curb inlet filters at curb cuts to remain during Phase 2 demolition.

Crawford Hoving Developers
 Bridge Park West - Building Z
 DUBLIN, OH
 DEMOLITION PLAN - PHASE 2

2/20/21 (C:\Users\jls\OneDrive\Building Z Development\Plan\Demolition Plan Phase 2.dwg) Last Saved By: jls Date: 2/20/21 10:40 AM (No



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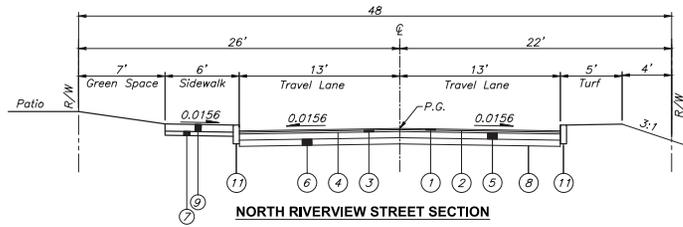
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 ARCHITECTS ENGINEERS PLANNERS
 OHM-ADVISORS.COM

BRIDGE PARK
 CRAWFORD HOVING
EMHI
 LAND SURVEYING & ENGINEERING, INC.
 10000 W. STATE ST. SUITE 100
 COLUMBUS, OH 43240
 614.291.1100

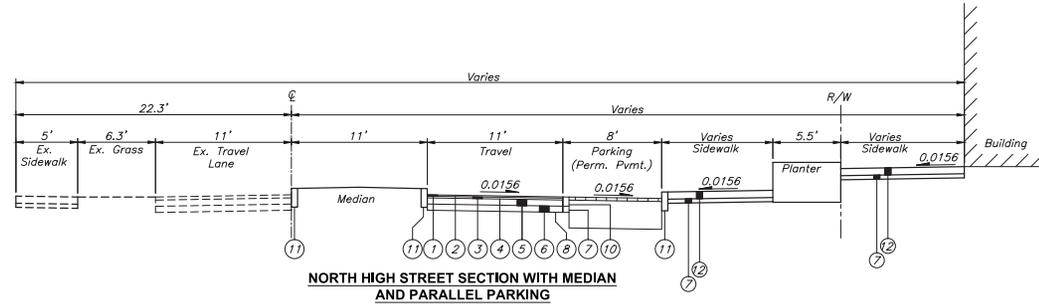
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REVISIONS	

SHEET
 DATE: PROJECT NUMBER: ARCH: PROJECT NO: CDD
Crawford Hoving Developers
Bridge Park West - Building Z
 DRAFT, OHIO
GRADING PLAN
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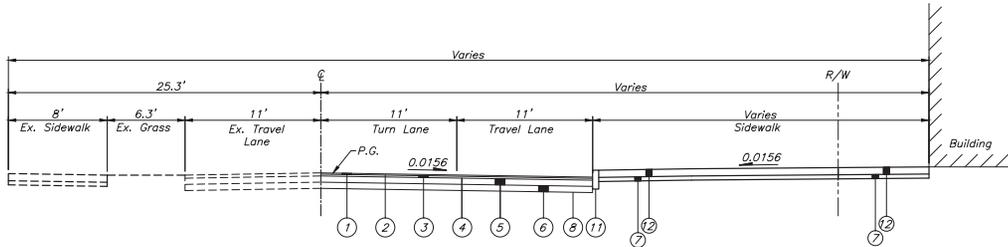
DATE	DESCRIPTION



NORTH RIVERVIEW STREET SECTION



NORTH HIGH STREET SECTION WITH MEDIAN AND PARALLEL PARKING



NORTH HIGH STREET SECTION WITH TURN LANE

NOTE:
Design pending coordination with the City of Dublin. Street Sections are shown for reference only.

LEGEND

- ① Item 448 - 1.25" Asphalt Concrete Surface Course (Medium Traffic), PG64-22
- ② Item 407 - NTSS-1HM Trackless Tack Coat for Intermediate Course (0.06 Gal/Sq. Yd.)
- ③ Item 448 - 1.75" Asphalt Concrete Intermediate Course (Medium Traffic), PG64-22
- ④ Item 407 - NTSS-1HM Trackless Tack Coat (0.08 Gal/Sq. Yd.)
- ⑤ Item 301 - 6" Asphalt Concrete Base, PG64-22
- ⑥ Item 304 - 6" Aggregate Base
- ⑦ Item 304 - 4" Aggregate Base
- ⑧ Item 204 - Subgrade Compaction and Proof Rolling
- ⑨ Item 60B - 4" Concrete Walk
- ⑩ Item 609 - Granite Band (15" x 6")
- ⑪ Item 609 - Granite Curb (18" x 6")
- ⑫ Item SPEC - Brick Paver Walk
- ⑬ Item SPEC - Granite Planter Curb



ARCHITECTS ENGINEERS PLANNERS

OHM-ADVISORS.COM



EAST ELEVATION

DATE: _____
REVISION No. _____

DATE: _____
REVISION No. _____

Crawford Hoyle Development
Bridge Park West - Building Z
Dublin, Ohio

ELEVATION RENDITION

A-4002

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NORTH ELEVATION

SEA

Date

NO.

Description

DATE

USER

PREPARED BY

PROJECT

GRID

SHEET

Crawford Hoising Development
Bridge Park West - Building Z
Dublin, Ohio

ELEVATION RENDITION

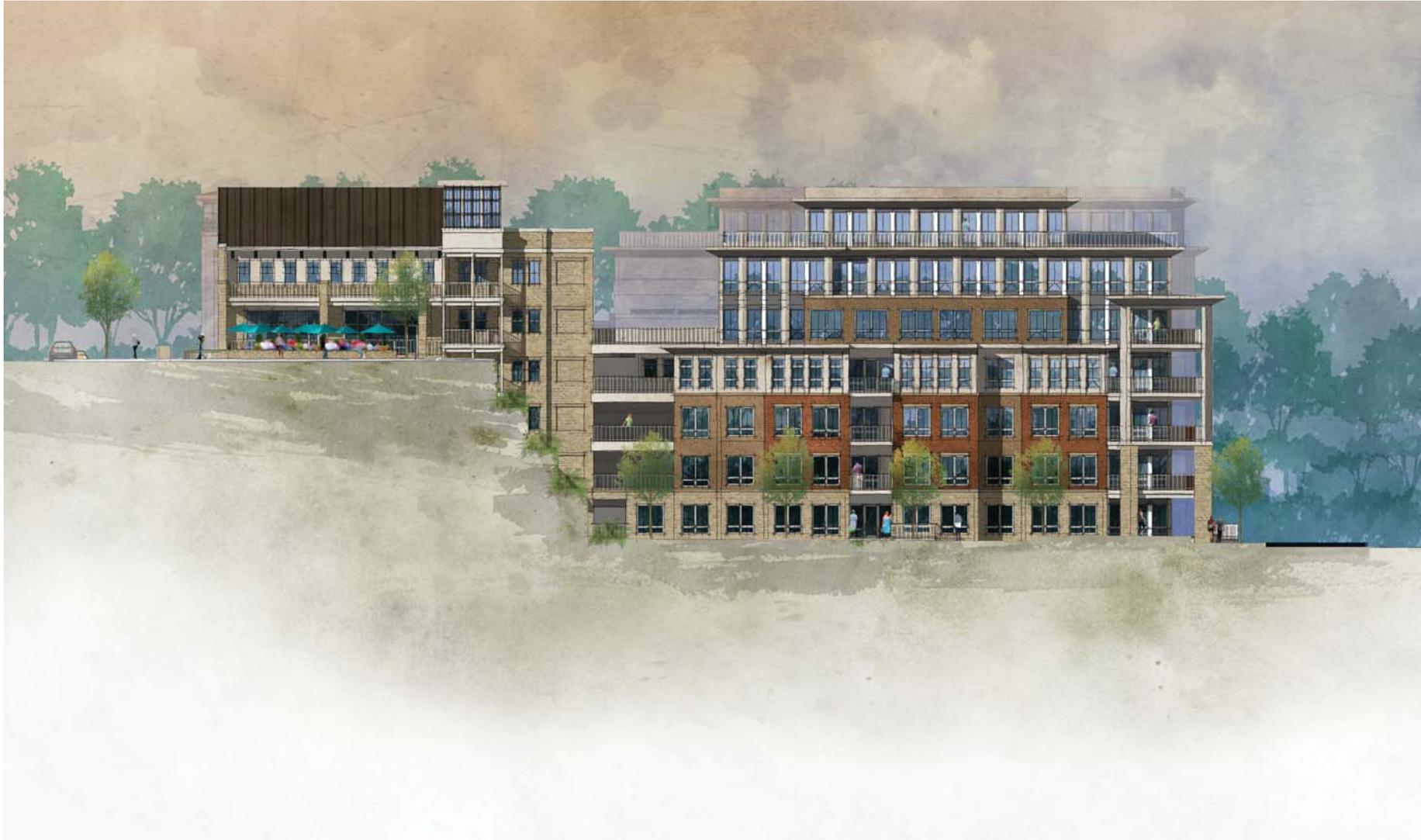
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ARCHITECTS ENGINEERS PLANNERS

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SOUTH ELEVATION

SCALE

DATE
DESCRIPTION
NO.

DATE
PROJECT
JOB
USE: **RESIDENCES** ARCH: **RESIDENTIAL** QAD
Crawford Hoising Development
Bridge Park West - Building Z
DRAFT, OHIO
ELEVATION RENDITION

SHEET
A-4004

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