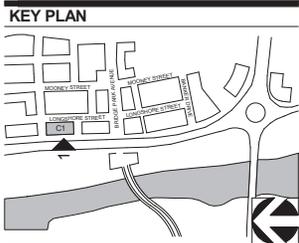


# BUILDING C1

6680 RIVERSIDE DRIVE  
DUBLIN, OHIO 43017

USE	AREA
FOOD / BEVERAGE	15,922 SF.
RESIDENTIAL	50,901SF.
PATIO	5,113 SF.
CIRCULATION	8,768 SF.
SERVICE	3,289 SF
TOTAL	83,993 SF.



**MIXED USE BUILDING TYPE**

REVISED 04-23-2015 C1 - A000 - COVER

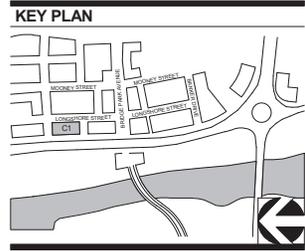
11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"



STREET FACADE ENTRANCES REQUIRED  
1 PER 75' OF FACADE (MIN.)

STREET	FACADE LENGTH	# REQ'D	PROVIDED
LONGSHORE ST	182'	3	4
TULLER RIDGE	100'	2	2
RIVERSIDE DR.	182'	3	3

- CIRCULATION - 662 SF
- RETAIL - 15,922 SF
- SERVICE - 1,151 SF



**1 C1 - LEVEL 1 FLOOR PLAN (EL. 810.00')**  
1/16" = 1'-0"

**RIVERSIDE DRIVE**

**MIXED USE BUILDING TYPE**

04-23-2015 C1 - A101 - LEVEL 1

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"



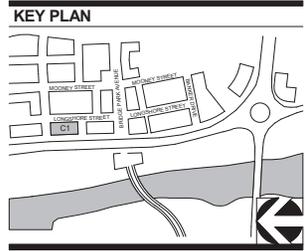
- AMENITY - 661 SF.
- RESIDENTIAL - 12,302 SF.
- CIRCULATION - 2,128 SF.
- SERVICE - 819 SF.
- PATIO - 3,013 SF.

UNIT QUANTITY 2FL	
Name	Quantity

1 BR (HC)	1
2 BR (HC)	1
3 BR (HC)	1
STUDIO (HC)	1

HC RM: 4	
1 BR	4
2 BR	2
3 BR	1

RM: 7  
Grand total: 11



**1 C1 - LEVEL 2 FLOOR PLAN (EL. 830.00')**  
1/16" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A102 - LEVEL 2



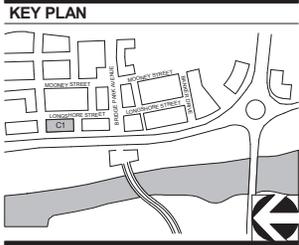
**BRIDGE PARK**  
DUBLIN, OH

- CIRCULATION - 2,402 SF.
- RESIDENTIAL - 12,497 SF.
- PATIO - 700 SF.
- SERVICE - 1002 SF.

UNIT QUANTITY 3FL	
Name	Quantity

1 BR	6
2 BR	4
3 BR	1
CORRIDOR	1

Grand total: 12



**1 C1 - LEVEL 3 FLOOR PLAN ( EL. 840.72')**  
1/16" = 1'-0"

**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

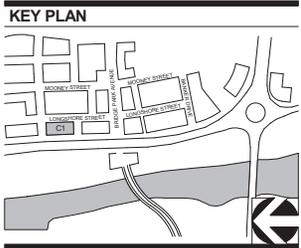
04-23-2015 C1 - A103 - LEVEL 3



**BRIDGE PARK**  
DUBLIN, OH

CIRCULATION - 2,119 SF.     RESIDENTIAL - 13,051 SF.  
 PATIO - 700 SF.     SERVICE - 734 SF.

UNIT QUANTITY 4FL	
Name	Quantity
1 BR	6
2 BR	4
3 BR	1
Grand total: 11	



**1 C1 - LEVEL 4 FLOOR PLAN (EL. 851.37')**  
1/16" = 1'-0"

**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A104 - LEVEL 4



**BRIDGE PARK**  
DUBLIN, OH

 CIRCULATION - 2,119 SF.

 RESIDENTIAL - 13,051 SF.

 PATIO - 700 SF.

 SERVICE - 734 SF.

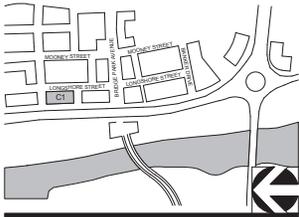
UNIT QUANTITY 5FL	
Name	Quantity

1 BR	6
2 BR	4
3 BR	1
STUDIO	1

Grand total: 12



KEY PLAN



**1 C1 - LEVEL 5 FLOOR PLAN (EL. 862.03')**  
1/16" = 1'-0"

MIXED USE BUILDING TYPE

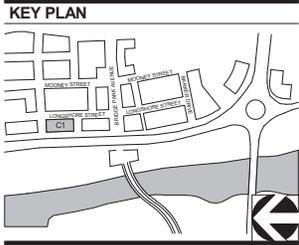
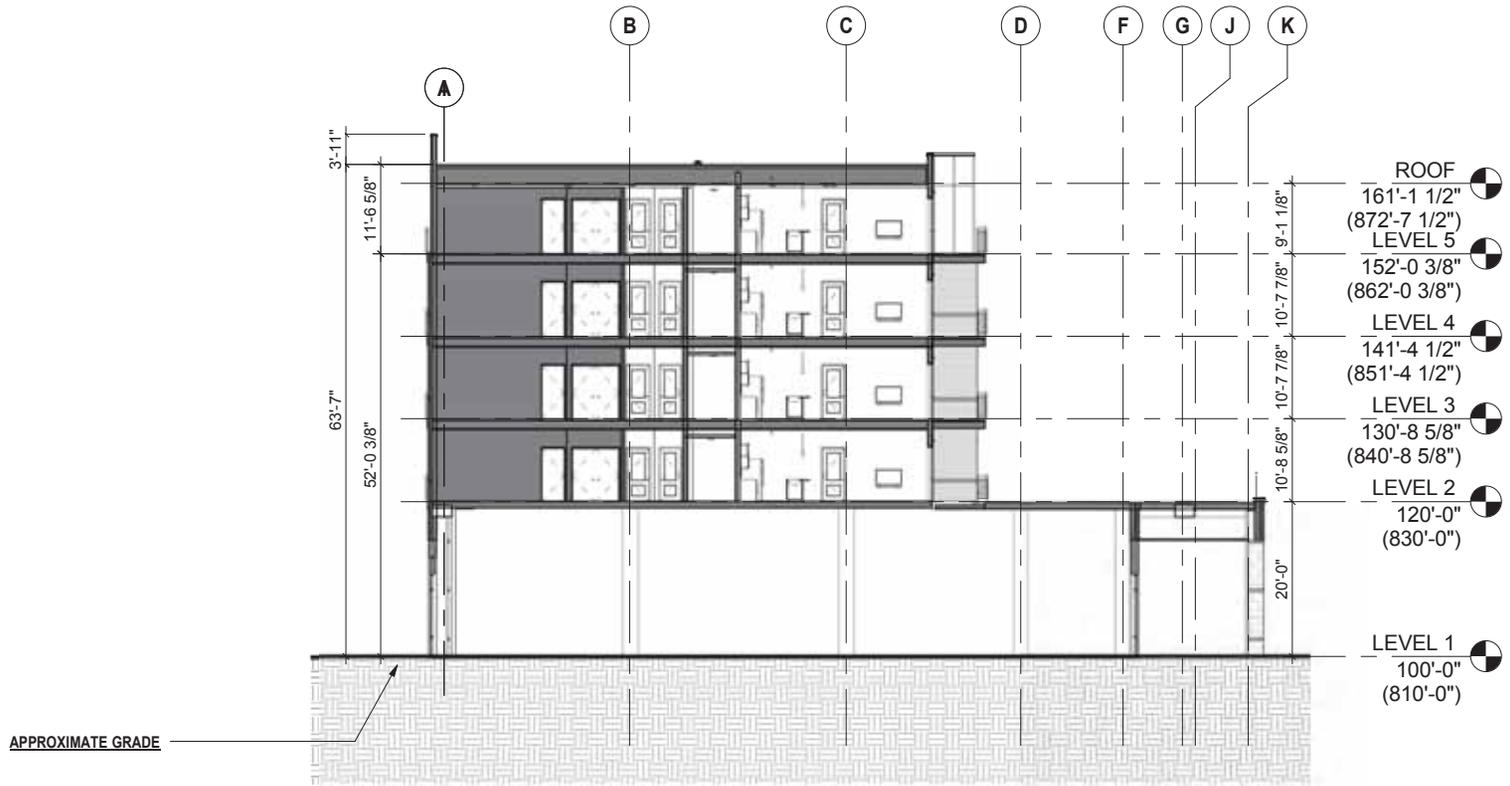
11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A105 - LEVEL 5





**BRIDGE PARK**  
DUBLIN, OH



**1 C1 - BUILDING SECTION**  
1/16" = 1'-0"

**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A107 - BLDG SECTION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45° OR LESS REQUIRED)



### STREET FACADE TRANSPARENCY

Story	Story Area	Transparency	Required	Provided
5th Story	2,705 sf	820 sf	30%	30%
4th Story	2,515 sf	819 sf	30%	33%
3rd Story	2,515 sf	819 sf	30%	33%
2nd Story	2,532 sf	770 sf	30%	30%
1st Story	1,011 sf	813 sf	65%	80%

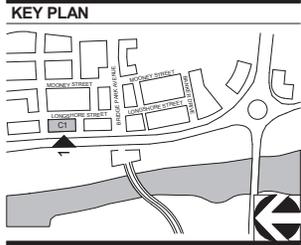
### HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)

### FACADE MATERIALS

Overall Area of elevation: 14,509 sf  
 Area of Windows/Doors: - 2,958 sf  
 Net Area of Elevation: 11,551 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	5,707 sf	49%		
Calcium Silicate Masonry Unit (CSMU)	Primary	606 sf	5%		
Glass	Primary	1,221 sf	11%		
		<b>7,534 sf</b>	<b>65%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Trim	2,158 sf	12%		
Fiber Cement	Secondary	1,387 sf	19%		
Misc. Elements		472 sf	4%		
		<b>4,017 sf</b>	<b>35%</b>	<b>&lt;20%</b>	<b>N</b>



## 1 C1- WEST ELEVATION

1/16" = 1'-0"

### MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

REVISED 04-23-2015 C1 - A108 - WEST ELEVATION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)

### STREET FACADE TRANSPARENCY

**5th Story**  
 Story Area: 1,284 sf  
 Transparency: 365 sf  
 Required: 30%  
 Provided: 28%

**4th Story**  
 Story Area: 1,190 sf  
 Transparency: 365 sf  
 Required: 30%  
 Provided: 31%

**3rd Story**  
 Story Area: 1,190 sf  
 Transparency: 365 sf  
 Required: 30%  
 Provided: 31%

**2nd Story**  
 Story Area: 1,197 sf  
 Transparency: 365 sf  
 Required: 30%  
 Provided: 30%

**1st Story**  
 Story Area: 608 sf  
 Transparency: 395 sf  
 Required: 65%  
 Provided: 66%



### Story Height (See Typ. Notes)

ROOF DECK  
163'-7"

LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")

LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")

LEVEL 3  
130'-8 5/8"  
(840'-8 5/8")

LEVEL 2  
120'-0"  
(830'-0")

LEVEL 1  
100'-0"  
(810'-0")

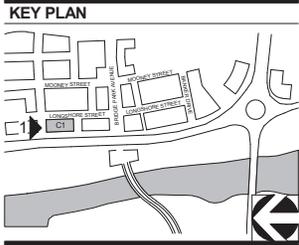
EAST LOBBY  
102'-0"  
(812'-0")

### HORIZONTAL FACADE DIVISIONS (Required within 3' of top of ground story on buildings 3 stories and taller)

### FACADE MATERIALS

Overall Area of elevation: 7,669 sf  
 Area of Windows/Doors: - 1,457 sf  
 Net Area of Elevation: 6,309 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	
Brick Calcium Silicate Masonry Unit (CSMU) Glass	Primary	2,041 sf	32%		
	Primary	1,130 sf	18%		
	Primary	630 sf	10%		
		<b>3,801 sf</b>	<b>60%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP) Fiber Cement Misc. Elements	Trim	359 sf	33%		
	Secondary	2,069 sf	6%		
		80 sf	1%		
		<b>2,508 sf</b>	<b>40%</b>	<b>&lt;20%</b>	<b>N</b>



## 1 C1 - NORTH ELEVATION

1/16" = 1'-0"

### MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

REVISED 04-23-2015

C1 - A109 - NORTH ELEVATION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)

Balcony side walls included in story area for transparency and material calculations

### STREET FACADE TRANSPARENCY

<b>5th Story</b>
Story Area: 2,389 sf
Transparency: 706 sf
Required: 30%
Provided: 30%
<b>4th Story</b>
Story Area: 2,204 sf
Transparency: 682 sf
Required: 30%
Provided: 31%
<b>3rd Story</b>
Story Area: 2,204 sf
Transparency: 668 sf
Required: 30%
Provided: 30%
<b>2nd Story</b>
Story Area: 2,216 sf
Transparency: 693 sf
Required: 30%
Provided: 31%
<b>1st Story</b>
Story Area: 1,168 sf
Transparency: 778 sf
Required: 65%
Provided: 67%



### Story Height (See Typ. Notes)

- ROOF DECK  
163'-7"
- LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")
- LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")
- LEVEL 3  
130'-8 5/8"  
(840'-8 5/8")
- LEVEL 2  
120'-0"  
(830'-0")
- EAST LOBBY  
102'-0"  
(812'-0")
- LEVEL 1  
100'-0"  
(810'-0")

### HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)

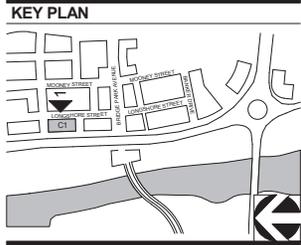
### FACADE MATERIALS

Overall Area of elevation: 13,382 sf  
Area of Windows/Doors: - 2,745 sf  
Net Area of Elevation: 10,637 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	
Brick	Primary	3,542 sf	33%		
	Primary	1,672 sf	16%		
	Primary	1,297 sf	12%		
		<b>6,511 sf</b>	<b>61%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Trim Secondary	1,092 sf	27%		
Fiber Cement		2,869 sf	10%		
Misc. Elements		165 sf	2%		
		<b>4,126 sf</b>	<b>39%</b>	<b>&lt;20%</b>	<b>N</b>

### PRINCIPAL ENTRANCE LOCATION

(As applicable along any principal frontage street facade of building)



## 1 C1 - EAST ELEVATION

1/16" = 1'-0"

### MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

REVISED 04-23-2015 C1 - A110 - EAST ELEVATION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)

46'-6 1/4"      8'-9 1/4"      18'-2 7/8"      27'-4"

**Story Height**  
(See Typ. Notes)  
● ROOF DECK  
163'-7"

● LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")

● LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")

● LEVEL 3  
130'-8 5/8"  
(840'-8 5/8")

● LEVEL 2  
120'-0"  
(830'-0")

● LEVEL 1  
100'-0"  
(810'-0")

Balcony side walls included in story area for transparency and material calculations

### NON-STREET FACADE TRANSPARENCY

**5th Story**  
Story Area: 1,328 sf  
Transparency: 306 sf  
Required: -15%  
Provided: 23%

**4th Story**  
Story Area: 1,233 sf  
Transparency: 335 sf  
Required: 15%  
Provided: 27%

**3rd Story**  
Story Area: 1,233 sf  
Transparency: 335 sf  
Required: 15%  
Provided: 27%

**2nd Story**  
Story Area: 1,240 sf  
Transparency: 335 sf  
Required: 15%  
Provided: 27%

**1st Story**  
Story Area: 2,111 sf  
Transparency: 493 sf  
Required: 15%  
Provided: 23%

### HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)

METAL GRILL GATE @ GAS METER ALCOVE

HOLLOW METAL DOOR @ ELECTRIC ROOM

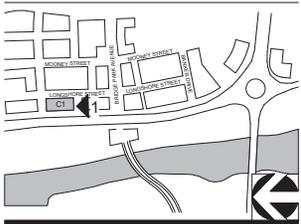
STAIR EGRESS DOOR

### FACADE MATERIALS

Overall Area of elevation: 7,498 sf  
Area of Windows/Doors: -1,446 sf  
Net Area of Elevation: 6,052 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	
Brick	Primary	3,567 sf	59%		
Calcium Silicate Masonry Unit (CSMU)	Primary	932 sf	15%		
Glass	Primary	406 sf	7%		
		<b>4,905 sf</b>	<b>81%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Trim	712 sf	5%		
Fiber Cement	Secondary	275 sf	12%		
Misc. Elements		160 sf	2%		
		<b>1,147 sf</b>	<b>19%</b>	<b>&lt;20%</b>	<b>N</b>

### KEY PLAN



1

## C1 - SOUTH ELEVATION

1/16" = 1'-0"

### MIXED USE BUILDING TYPE

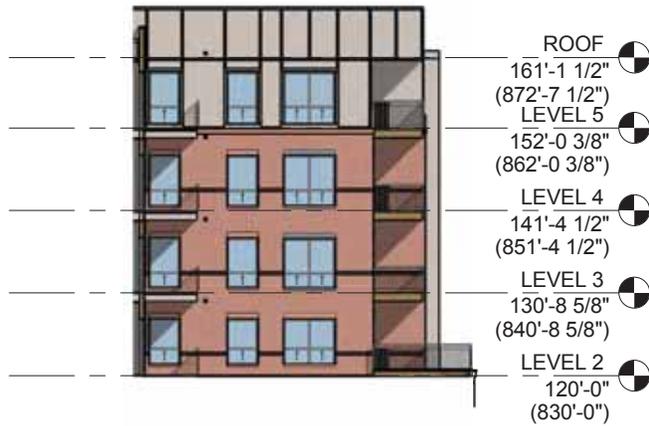
11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

REVISED 04-23-2015

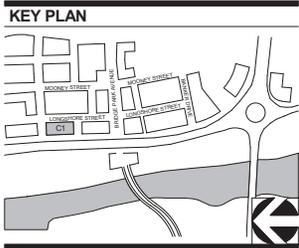
C1 - A111 - SOUTH ELEVATION



# BRIDGE PARK DUBLIN, OH



**1 NORTH @ ROOF GARDEN**  
1/16" = 1'-0" NON-STREET ELEVATION



**2 SOUTH @ ROOF GARDEN**  
1/16" = 1'-0" NON-STREET ELEVATION



**3 WEST @ ROOF GARDEN**  
1/16" = 1'-0" FACADE CALCULATION ON INCLUDED ON THE WEST ELEVATIONS

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A112 - GARDEN ELEVATIONS



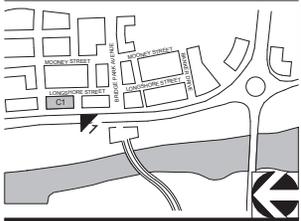
# BRIDGE PARK

DUBLIN, OH



MASSING - VIEW FROM SOUTHWEST CORNER

**KEY PLAN**



## MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

REVISED 04-23-2015 C1 - A113 - 3D VIEW

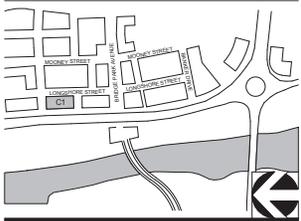


**BRIDGE PARK**  
DUBLIN, OH



MASSING - VIEW FROM NORTH EAST CORNER

**KEY PLAN**



**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

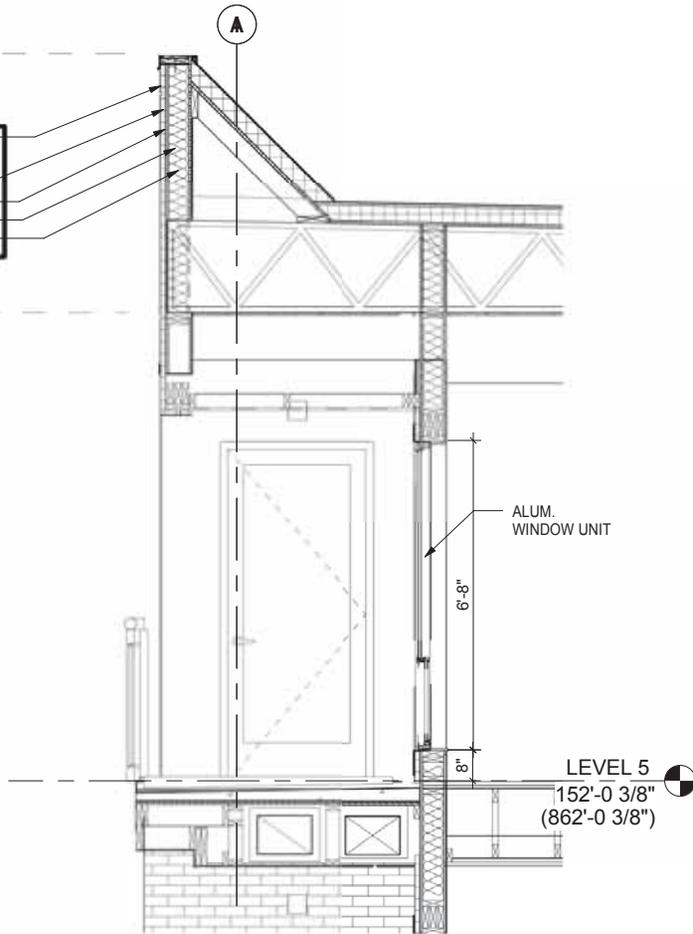
REVISED 04-23-2015 C1 - A114 - 3D VIEW



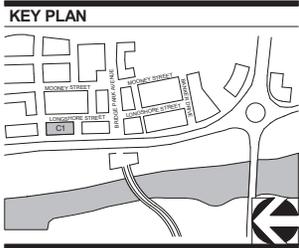
**BRIDGE PARK**  
DUBLIN, OH

- FIBER CEMENT BOARD
- CONTINUOUS AIR BARRIER SHOWN DASHED - SEE GENERAL NOTES
- 5/8" EXTERIOR GRADE WALL BOARD.
- BATT INSULATION
- 2x5 1/2 WOOD STUDS

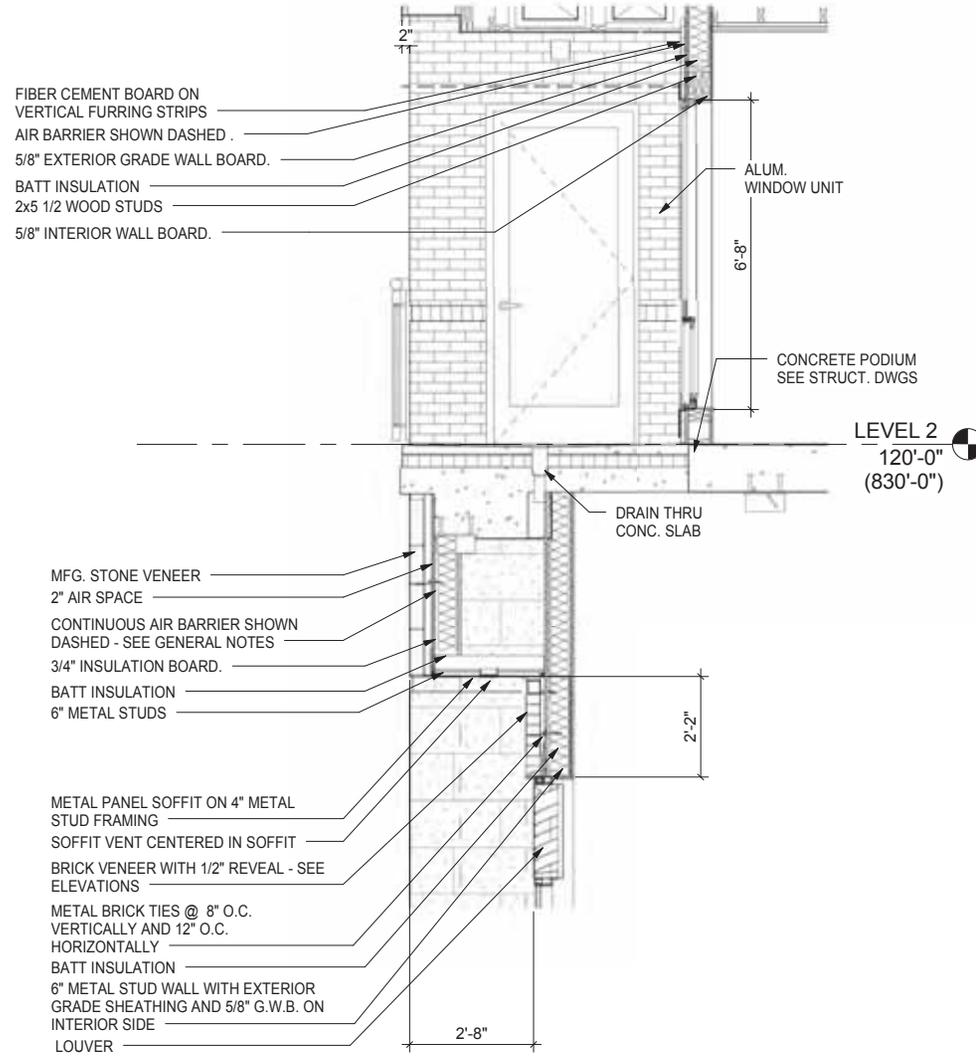
TRUSS BEARING  
162'-1 1/2"



**1 TOP @ EAST BALCONY**  
3/8" = 1'-0"



- FIBER CEMENT BOARD ON VERTICAL FURRING STRIPS
- AIR BARRIER SHOWN DASHED .
- 5/8" EXTERIOR GRADE WALL BOARD.
- BATT INSULATION
- 2x5 1/2 WOOD STUDS
- 5/8" INTERIOR WALL BOARD.



- MFG. STONE VENEER
- 2" AIR SPACE
- CONTINUOUS AIR BARRIER SHOWN DASHED - SEE GENERAL NOTES
- 3/4" INSULATION BOARD.
- BATT INSULATION
- 6" METAL STUDS
- METAL PANEL SOFFIT ON 4" METAL STUD FRAMING
- SOFFIT VENT CENTERED IN SOFFIT
- BRICK VENEER WITH 1/2" REVEAL - SEE ELEVATIONS
- METAL BRICK TIES @ 8" O.C. VERTICALLY AND 12" O.C. HORIZONTALLY
- BATT INSULATION
- 6" METAL STUD WALL WITH EXTERIOR GRADE SHEATHING AND 5/8" G.W.B. ON INTERIOR SIDE
- LOUVER

**2 LEVEL 2 @ EAST BALCONY**  
3/8" = 1'-0"

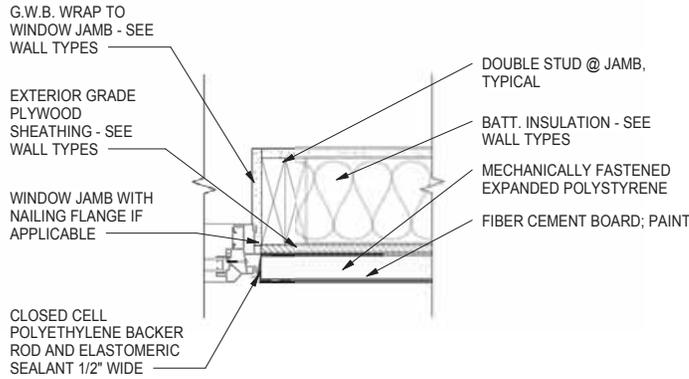
**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A115 - BALCONY DETAILS

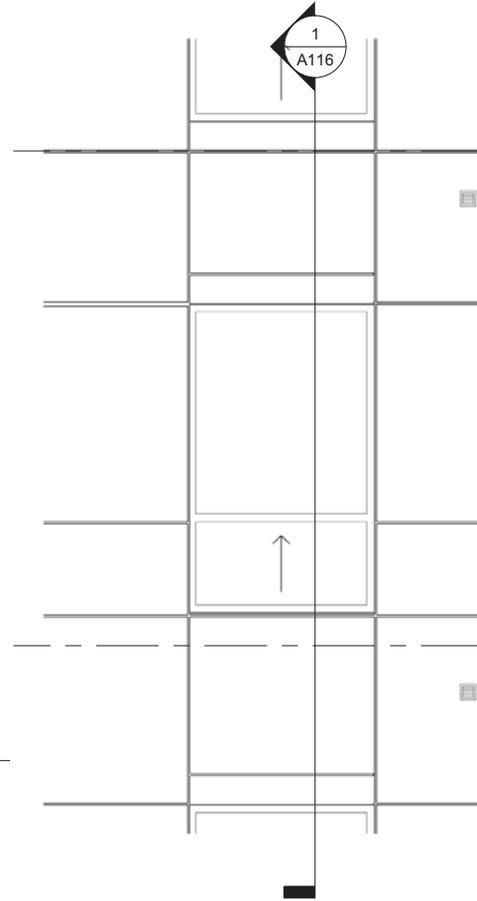
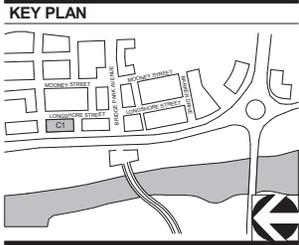


**BRIDGE PARK**  
DUBLIN, OH



METAL PANEL SIMILAR

**3 WINDOW DTL AW JAMB / HEAD SIM**  
1 1/2" = 1'-0"

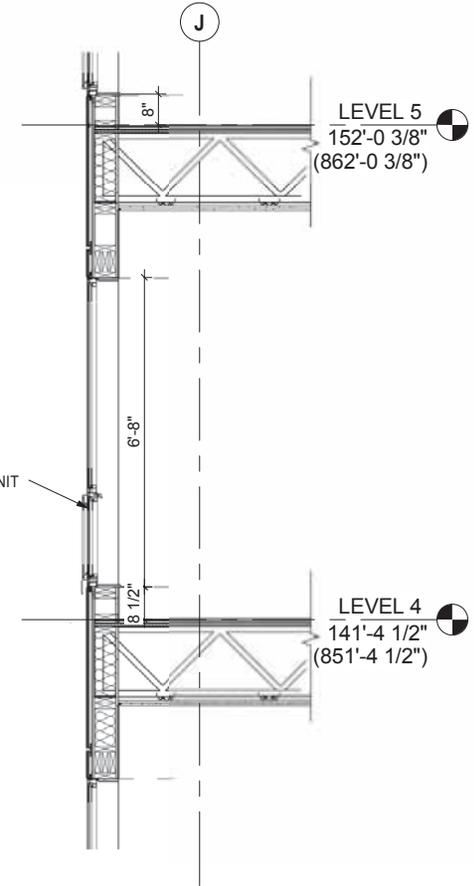


**2 AW1 - ALUM WINDOW**  
3/8" = 1'-0"

LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")

ALUMINUM WINDOW UNIT

LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")



**1 WEST WINDOW WALL**  
3/8" = 1'-0"

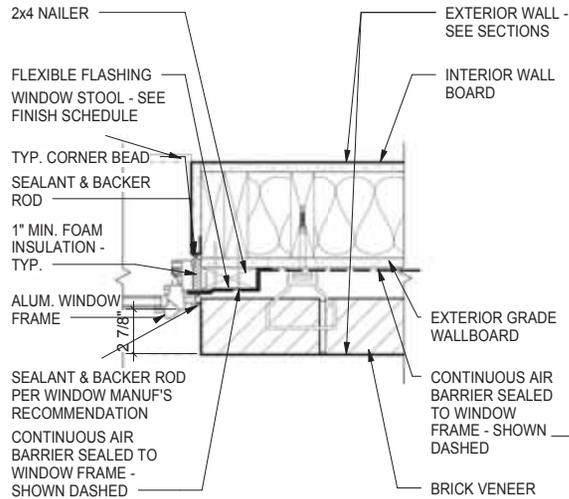
MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

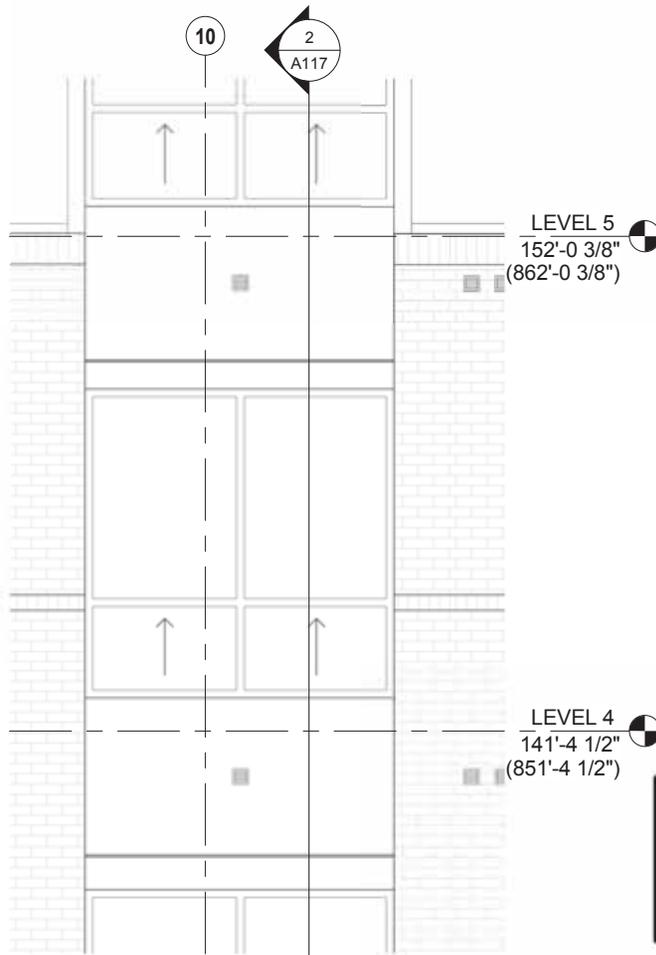
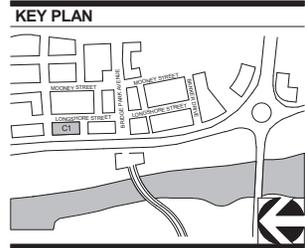
04-23-2015 C1 - A116 - WINDOW DETAILS



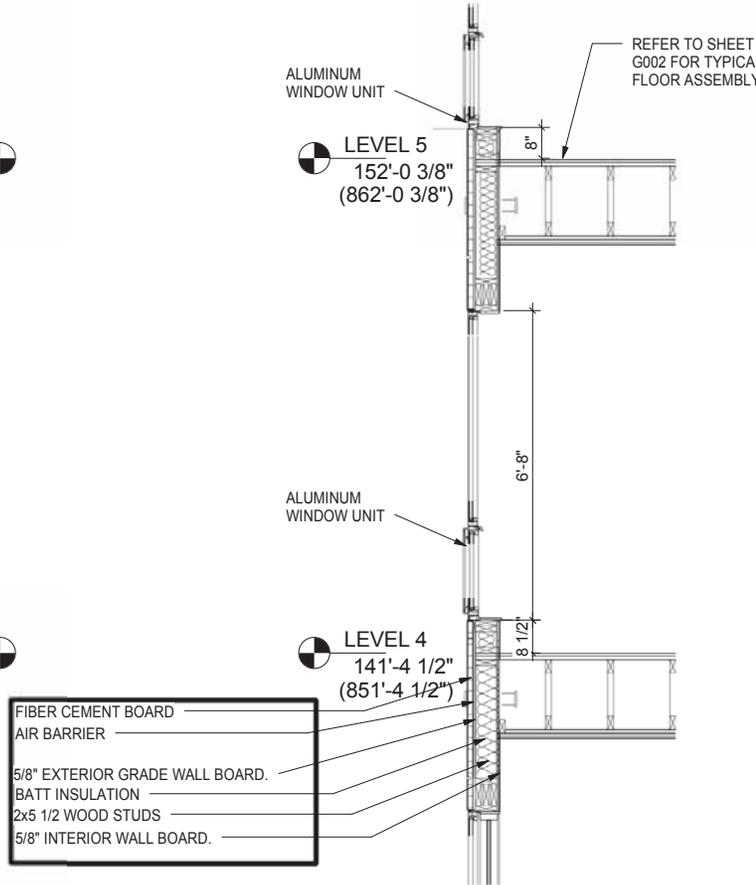
**BRIDGE PARK**  
DUBLIN, OH



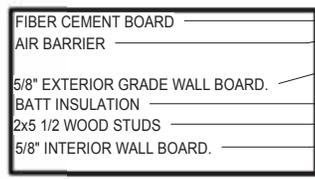
**3** **DETAIL** DETAIL AW JAMB @ BRICK  
1 1/2" = 1'-0"



**1** **ELEVATION** BRICK & FIBER CEMENT WINDOW  
3/8" = 1'-0"



**2** **SECTION** BRICK & FIBER CEMENT WINDOWS  
3/8" = 1'-0"



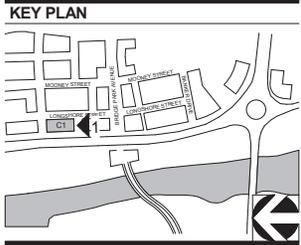
**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A117 - WINDOW DETAILS



BRIDGE PARK  
DUBLIN, OH



**1** LANDSCAPE COORDINATION SOUTH ELEVATION  
1/16" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A118 - LANDSCAPE ELEVATION

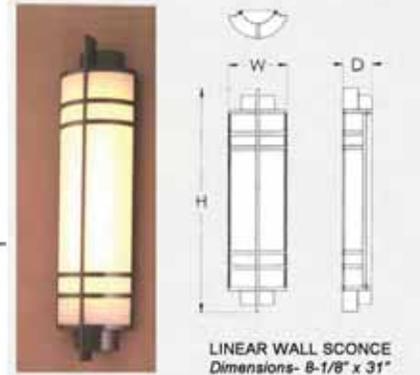


# BRIDGE PARK

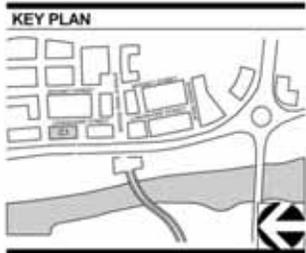
DUBLIN, OH



UP-DOWN WALL SCONCE



LINEAR WALL SCONCE  
Dimensions- 6-1/8" x 31"



## 1 C1 - LIGHT FIXTURE DETAILS

MIXED USE BUILDING TYPE

NO SCALE