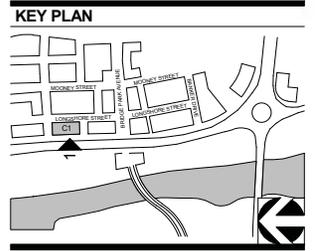


# BUILDING C1

6680 RIVERSIDE DRIVE  
DUBLIN, OHIO 43017

USE	AREA
FOOD / BEVERAGE	15,922 SF.
RESIDENTIAL	50,901SF.
PATIO	5,113 SF.
CIRCULATION	8,768 SF.
SERVICE	3,289 SF
TOTAL	83,993 SF.



## MIXED USE BUILDING TYPE

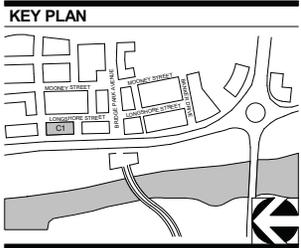
11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A000 - COVER

STREET FACADE ENTRANCES REQUIRED  
1 PER 75' OF FACADE (MIN.)

STREET	FACADE LENGTH	# REQ'D	PROVIDED
LONGSHORE ST	182'	3	4
TULLER RIDGE	100'	2	2
RIVERSIDE DR.	182'	3	3

- CIRCULATION - 662 SF
- RETAIL - 15,922 SF
- SERVICE - 1,151 SF



**1 C1 - LEVEL 1 FLOOR PLAN (EL. 810.00')**  
1/16" = 1'-0"

**RIVERSIDE DRIVE**

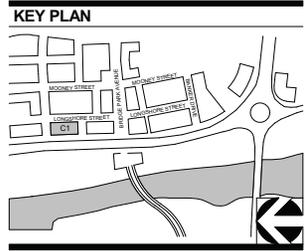
**MIXED USE BUILDING TYPE**

03-23-2015 C1 - A101 - LEVEL 1

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

- AMENITY - 661 SF.
- RESIDENTIAL - 12,302 SF.
- CIRCULATION - 2,128 SF.
- SERVICE - 819 SF.
- PATIO - 3,013 SF.

UNIT QUANTITY 2FL	
Name	Quantity
1 BR (HC)	1
2 BR (HC)	1
3 BR (HC)	1
STUDIO (HC)	1
HC RM: 4	
1 BR	4
2 BR	2
3 BR	1
RM: 7	
Grand total: 11	



**1 C1 - LEVEL 2 FLOOR PLAN (EL. 830.00')**  
1/16" = 1'-0"

MIXED USE BUILDING TYPE

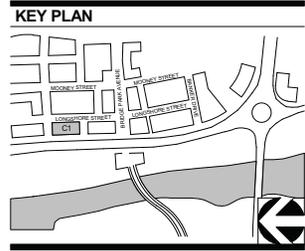
11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A102 - LEVEL 2

CIRCULATION - 2,402 SF.
  RESIDENTIAL - 12,497 SF.
   
 PATIO - 700 SF.
  SERVICE - 1002 SF.

UNIT QUANTITY 3FL	
Name	Quantity

1 BR	6
2 BR	4
3 BR	1
CORRIDOR	1
Grand total: 12	



**1 C1 - LEVEL 3 FLOOR PLAN ( EL. 840.72')**  
 1/16" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A103 - LEVEL 3



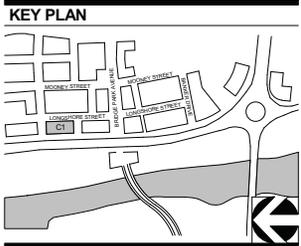
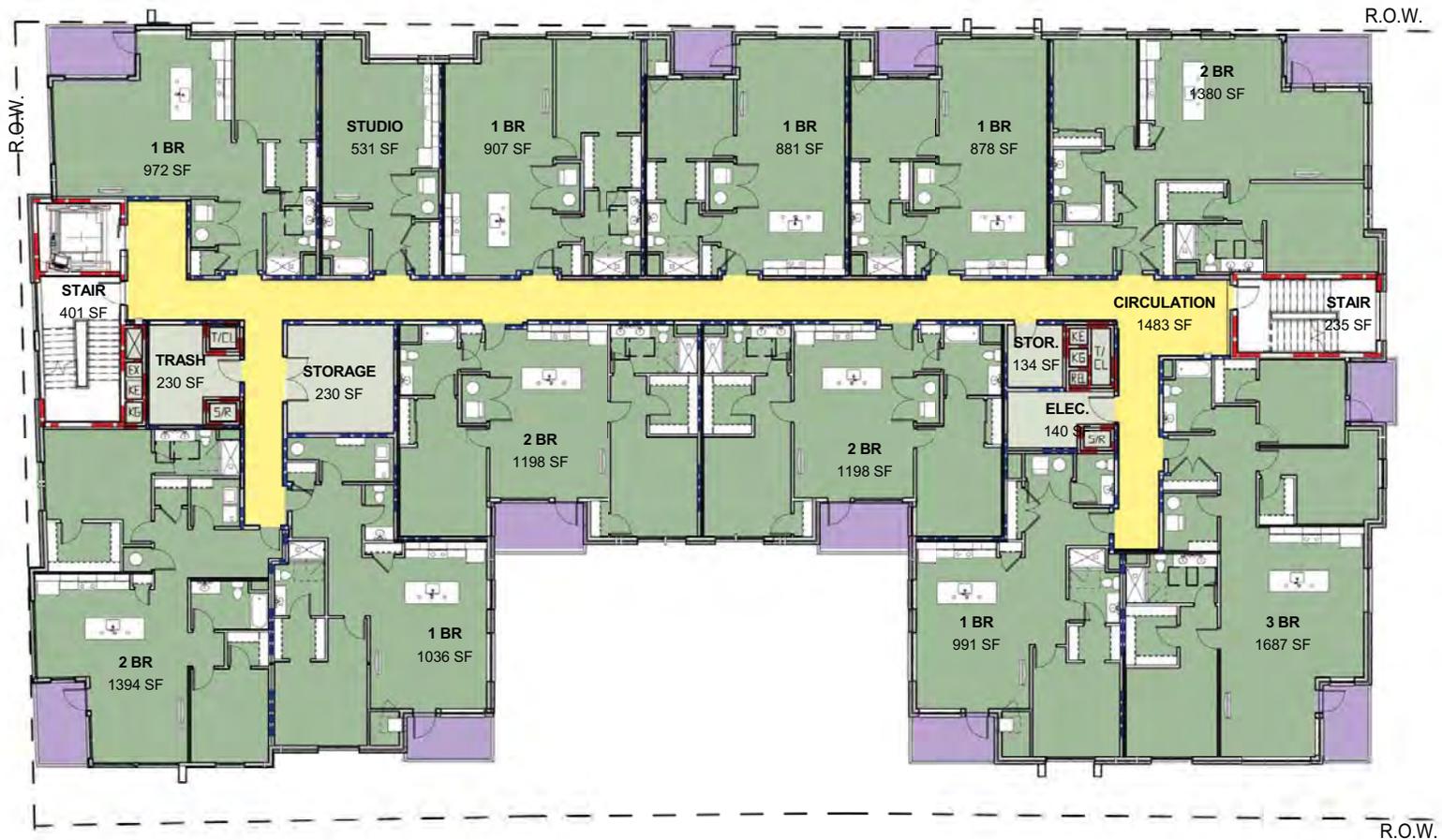
**BRIDGE PARK**  
DUBLIN, OH

CIRCULATION - 2,119 SF.    
  RESIDENTIAL - 13,051 SF.  
 PATIO - 700 SF.    
  SERVICE - 734 SF.

UNIT QUANTITY 4FL	
Name	Quantity

1 BR	6
2 BR	4
3 BR	1

Grand total: 11



**1 C1 - LEVEL 4 FLOOR PLAN (EL. 851.37')**  
1/16" = 1'-0"

MIXED USE BUILDING TYPE

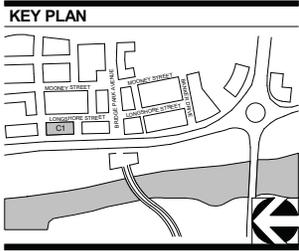
11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A104 - LEVEL 4

CIRCULATION - 2,119 SF.
  RESIDENTIAL - 13,051 SF.

PATIO - 700 SF.
  SERVICE - 734 SF.

UNIT QUANTITY 5FL	
Name	Quantity
1 BR	6
2 BR	4
3 BR	1
STUDIO	1
Grand total: 12	



**1 C1 - LEVEL 5 FLOOR PLAN (EL. 862.03')**  
1/16" = 1'-0"

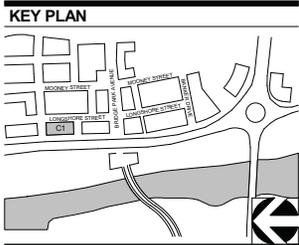
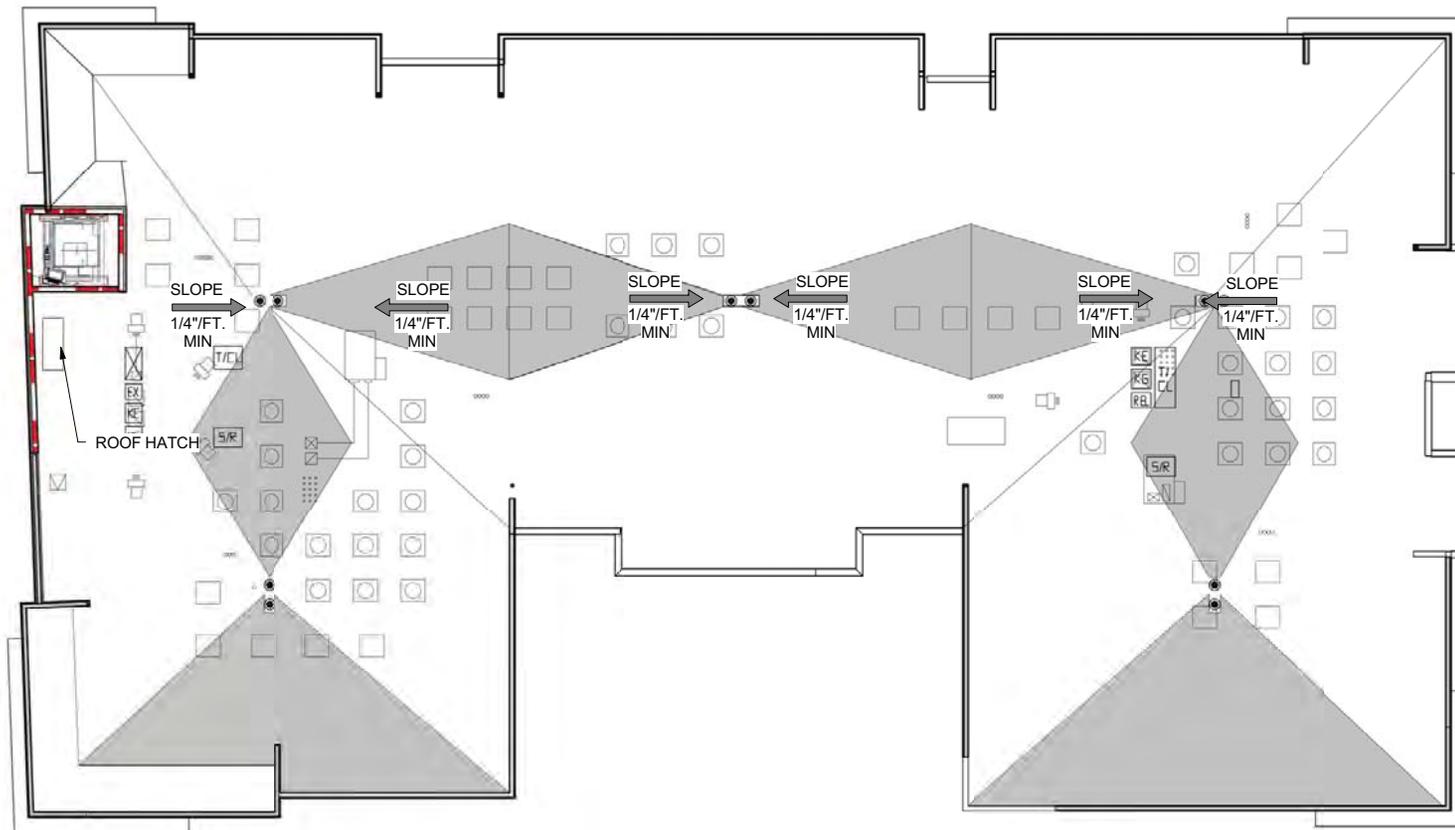
MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A105 - LEVEL 5



**BRIDGE PARK**  
DUBLIN, OH



**1 C1 - ROOF PLAN (EL. 872.63')**  
1/16" = 1'-0"

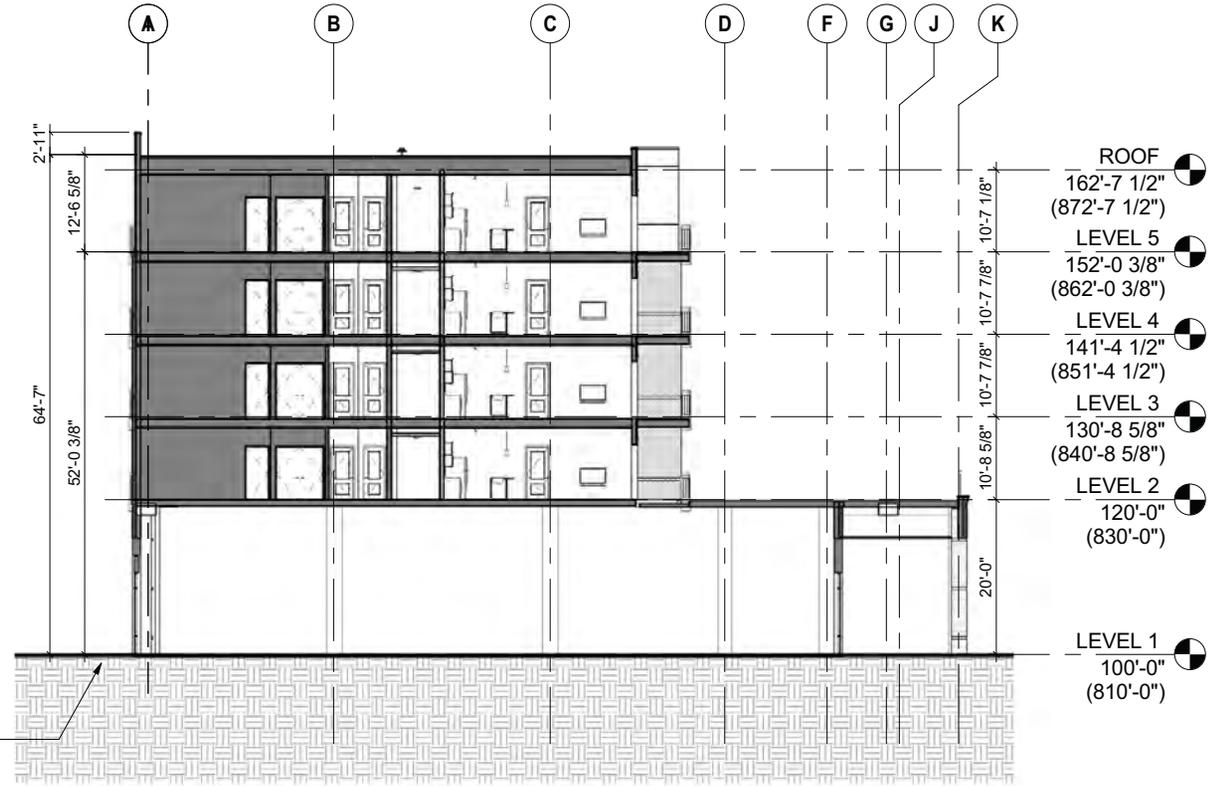
**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

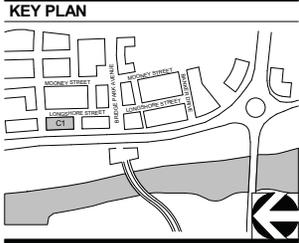
03-23-2015 C1 - A106 - ROOF PLAN



**BRIDGE PARK**  
DUBLIN, OH



APPROXIMATE GRADE



**1 C1 - BUILDING SECTION**  
1/16" = 1'-0"

**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A107 - BLDG SECTION



# BRIDGE PARK

DUBLIN, OH

**GROUND STORY STREET FACADE TRANSPARENCY: 69%**  
**UPPER STORY STREET FACADE TRANSPARENCY: 31%**

### STREET FACADE TRANSPARENCY

- 5th Story**  
 Story Area: 2,834 sf  
 Transparency: 880 sf  
 Required: 30%  
 Provided: 31%
- 4th Story**  
 Story Area: 2,834 sf  
 Transparency: 880 sf  
 Required: 30%  
 Provided: 31%
- 3rd Story**  
 Story Area: 2,834 sf  
 Transparency: 880 sf  
 Required: 30%  
 Provided: 31%
- 2nd Story**  
 Story Area: 2,834 sf  
 Transparency: 880 sf  
 Required: 30%  
 Provided: 31%
- 1st Story**  
 Story Area: 1,270 sf  
 Transparency: 959 sf  
 Required: 65%  
 Provided: 76%

### VERTICAL FACADE DIVISIONS (45° OR LESS REQUIRED)



**Story Height**  
(See Typ. Notes)

- LEVEL 5**  
152'-0 3/8"  
862'-0 3/8"
- LEVEL 4**  
141'-4 1/2"  
851'-4 1/2"
- LEVEL 3**  
130'-8 5/8"  
840'-8 5/8"
- LEVEL 2**  
120'-0"  
(830'-0")
- LEVEL 1**  
100'-0"  
(810'-0")

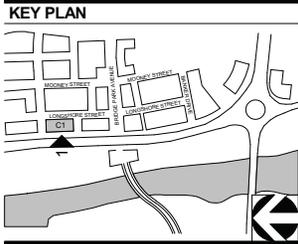
**HORIZONTAL FACADE DIVISIONS**  
(Required within 3' of top of ground story on buildings 3 stories and taller)

### FACADE MATERIALS

Overall Area of elevations: 12,565 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	3,160 sf	25%		
Calcium Silicate Masonry Unit (CSMU)	Primary	1,184 sf	9%		
Glass	Primary	4,192 sf	33%		
		<b>8,536 sf</b>	<b>67%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Secondary	2,488 sf	20%		
Exterior Insulated Finishing System (EIFS)	Permitted As Trim	1,345 sf	11%		
Misc. Elements		196 sf	2%		
		<b>4,029 sf</b>	<b>33%</b>	<b>&lt;20%</b>	<b>N</b>

**WAIVER NEEDED: SECONDARY MATERIALS = 34%**



## 1 C1- WEST ELEVATION

1/16" = 1'-0"

**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A108 - WEST ELEVATION

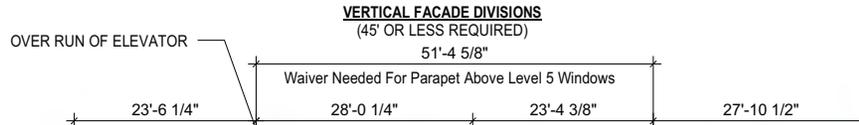


# BRIDGE PARK

DUBLIN, OH

### STREET FACADE TRANSPARENCY

<b>5th Story</b>
Story Area: 1,168 sf
Transparency: 363 sf
Required: 30%
Provided: 31%
<b>4th Story</b>
Story Area: 1,168 sf
Transparency: 363 sf
Required: 30%
Provided: 31%
<b>3rd Story</b>
Story Area: 1,168 sf
Transparency: 363 sf
Required: 30%
Provided: 31%
<b>2nd Story</b>
Story Area: 1,168 sf
Transparency: 363 sf
Required: 30%
Provided: 31%
<b>1st Story</b>
Story Area: 608 sf
Transparency: 376 sf
Required: 65%
Provided: 62%



### Story Height

(See Typ. Notes)

<b>ROOF</b>	162'-7 1/2" (872'-7 1/2")
<b>LEVEL 5</b>	152'-0 3/8" (862'-0 3/8")
<b>LEVEL 4</b>	141'-4 1/2" (851'-4 1/2")
<b>LEVEL 3</b>	130'-8 5/8" (840'-8 5/8")
<b>LEVEL 2</b>	120'-0" (830'-0")
<b>LEVEL 1</b>	100'-0" (810'-0")

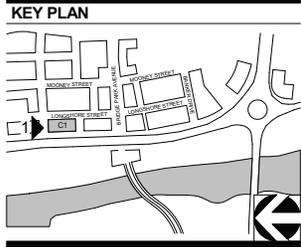
**EAST LOBBY**  
102'-0"  
(812'-0")

**HORIZONTAL FACADE DIVISIONS**  
(Required within 3' of top of ground story on buildings 3 stories and taller)

### FACADE MATERIALS

Overall Area of elevations: 7,402 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,198 sf	16%		
Calcium Silicate Masonry Unit (CSMU)	Primary	799 sf	11%		
Glass	Primary	2,054 sf	28%		
		<b>4,051 sf</b>	<b>55%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Secondary	1,802 sf	24%		
Exterior Insulated Finishing System (EIFS)	Permitted As Trim	1,154 sf	16%		
Misc. Elements		395 sf	5%		
		<b>3,351 sf</b>	<b>45%</b>	<b>&lt;20%</b>	<b>N</b>



## 1 C1 - NORTH ELEVATION

1/16" = 1'-0"

### MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015

C1 - A109 - NORTH ELEVATION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)

Balcony side walls included in story area for transparency and material calculations

### STREET FACADE TRANSPARENCY

<b>5th Story</b>
Story Area: 2,283 sf
Transparency: 717 sf
Required: 30%
Provided: 31%
<b>4th Story</b>
Story Area: 2,283 sf
Transparency: 675 sf
Required: 30%
Provided: 30%
<b>3rd Story</b>
Story Area: 2,283 sf
Transparency: 677 sf
Required: 30%
Provided: 29%
<b>2nd Story</b>
Story Area: 2,283 sf
Transparency: 668 sf
Required: 30%
Provided: 29%
<b>1st Story</b>
Story Area: 1,168 sf
Transparency: 768 sf
Required: 65%
Provided: 66%



### Story Height

(See Typ. Notes)

ROOF	162'-7 1/2"
	(872'-7 1/2")
LEVEL 5	152'-0 3/8"
	(862'-0 3/8")
LEVEL 4	141'-4 1/2"
	(851'-4 1/2")
LEVEL 3	130'-8 5/8"
	(840'-8 5/8")
LEVEL 2	120'-0"
	(830'-0")
EAST LOBBY	102'-0"
	(812'-0")
LEVEL 1	100'-0"
	(810'-0")

### FACADE MATERIALS

Overall Area of elevations: 12,508 sf

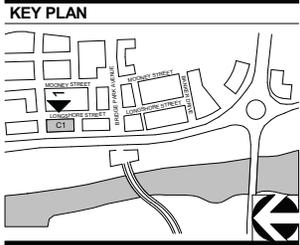
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	3,103 sf	25%		
Calcium Silicate Masonry Unit (CSMU)	Primary	1,488 sf	12%		
Glass	Primary	3,835 sf	31%		
		<b>8,426 sf</b>	<b>68%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Secondary	1,630 sf	13%		
Exterior Insulated Finishing System (EIFS)	Permitted As Trim	2,044 sf	16%		
Misc. Elements		409 sf	3%		
		<b>4,083 sf</b>	<b>32%</b>	<b>&lt;20%</b>	<b>N</b>

### HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)

### PRINCIPAL ENTRANCE LOCATION

(As applicable along any principal frontage street facade of building)



## 1 C1 - EAST ELEVATION

1/16" = 1'-0"

### MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A110 - EAST ELEVATION



**RIDGE PARK**  
DUBLIN, OH

**VERTICAL FACADE DIVISIONS**  
(45' OR LESS REQUIRED)

33'-4 1/4"    13'-1 1/2"    8'-9 1/4"    17'-8 5/8"    27'-6 1/4"

**Story Height**  
(See Typ. Notes)

- ROOF  
162'-7 1/2"  
(872'-7 1/2")
- LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")
- LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")
- LEVEL 3  
130'-8 5/8"  
(840'-8 5/8")
- LEVEL 2  
120'-0"  
(830'-0")
- LEVEL 1  
100'-0"  
(810'-0")



Balcony side walls included in story area for transparency and material calculations

**NON-STREET FACADE TRANSPARENCY**

Story	Story Area	Transparency	Required	Provided
5th Story	1,259 sf	380 sf	-15%	30%
4th Story	1,283 sf	409 sf	15%	32%
3rd Story	1,283 sf	409 sf	15%	32%
2nd Story	1,283 sf	393 sf	15%	31%
1st Story	634 sf	329 sf	15%	52%

**HORIZONTAL FACADE DIVISIONS**

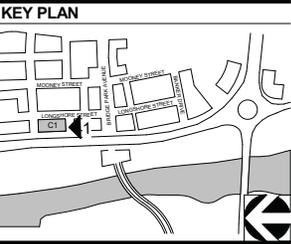
(Required within 3' of top of ground story on buildings 3 stories and taller)

- METAL GRILL GATE @ GAS METER ALCOVE
- HOLLOW METAL DOOR @ ELECTRIC ROOM
- STAIR EGRESS DOOR

**FACADE MATERIALS**

Overall Area of elevations: 6,812 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,370 sf	35%		
Calcium Silicate Masonry Unit (CSMU)	Primary	856 sf	13%		
Glass	Primary	1,869 sf	27%		
		<b>5,095 sf</b>	<b>75%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Secondary	972 sf	14%		
Exterior Insulated Finishing System (EIFS)	Permitted As Trim	573 sf	8%		
Misc. Elements		172 sf	3%		
		<b>1,717 sf</b>	<b>25%</b>	<b>&lt;20%</b>	<b>N</b>



1

**C1 - SOUTH ELEVATION**

1/16" = 1'-0"

**MIXED USE BUILDING TYPE**

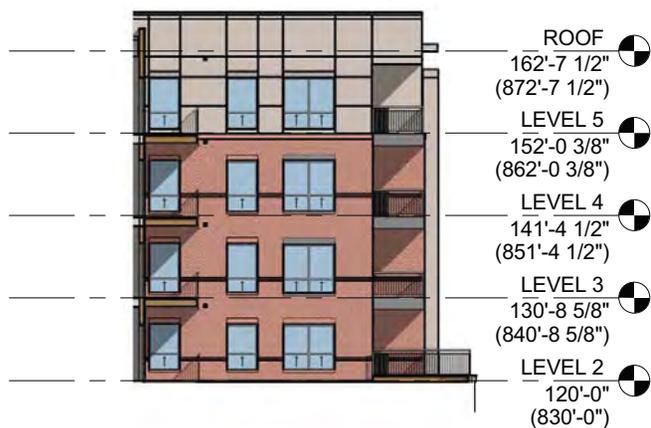
11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A111 - SOUTH ELEVATION



# BRIDGE PARK

DUBLIN, OH



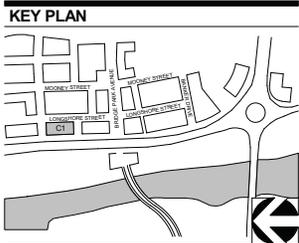
**1 NORTH @ ROOF GARDEN**  
1/16" = 1'-0" NON-STREET ELEVATION



**2 SOUTH @ ROOF GARDEN**  
1/16" = 1'-0" NON-STREET ELEVATION



**3 WEST @ ROOF GARDEN**  
1/16" = 1'-0" FACADE CALCULATION ON INCLUDED ON THE WEST ELEVATIONS



### MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A112 - GARDEN ELEVATIONS



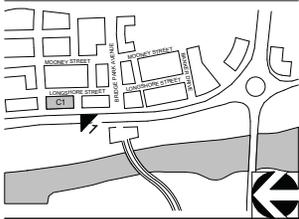
# BRIDGE PARK

DUBLIN, OH



MASSING - VIEW FROM SOUTHWEST CORNER

**KEY PLAN**



## MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A113 - 3D VIEW



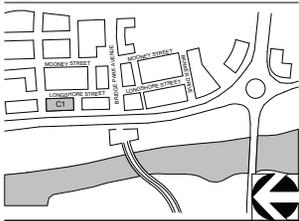
# BRIDGE PARK

DUBLIN, OH



MASSING - VIEW FROM NORTH EAST CORNER

### KEY PLAN



## MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A114 - 3D VIEW

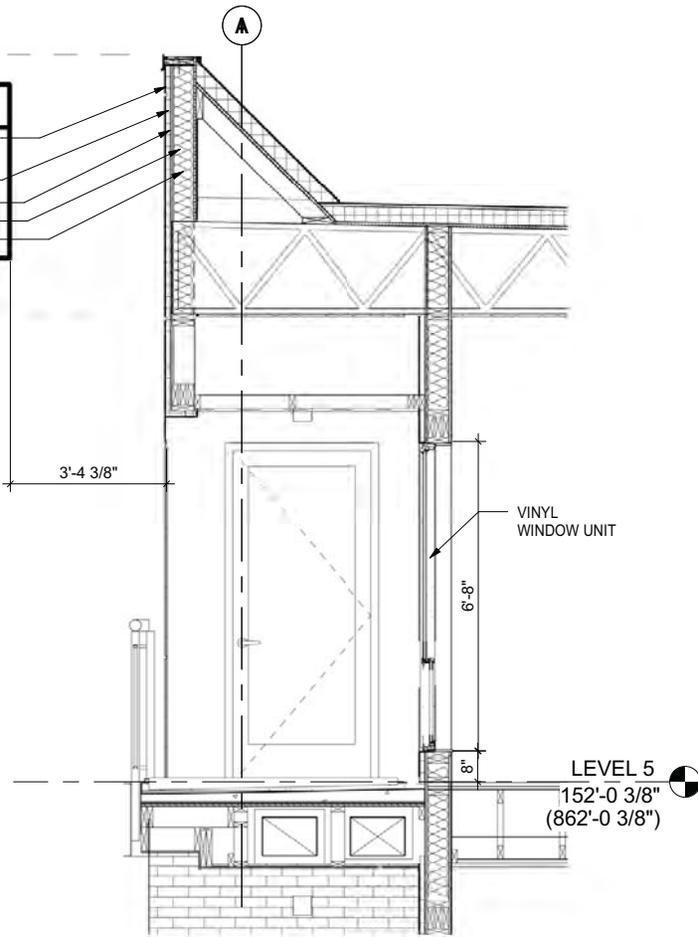


# BRIDGE PARK

DUBLIN, OH

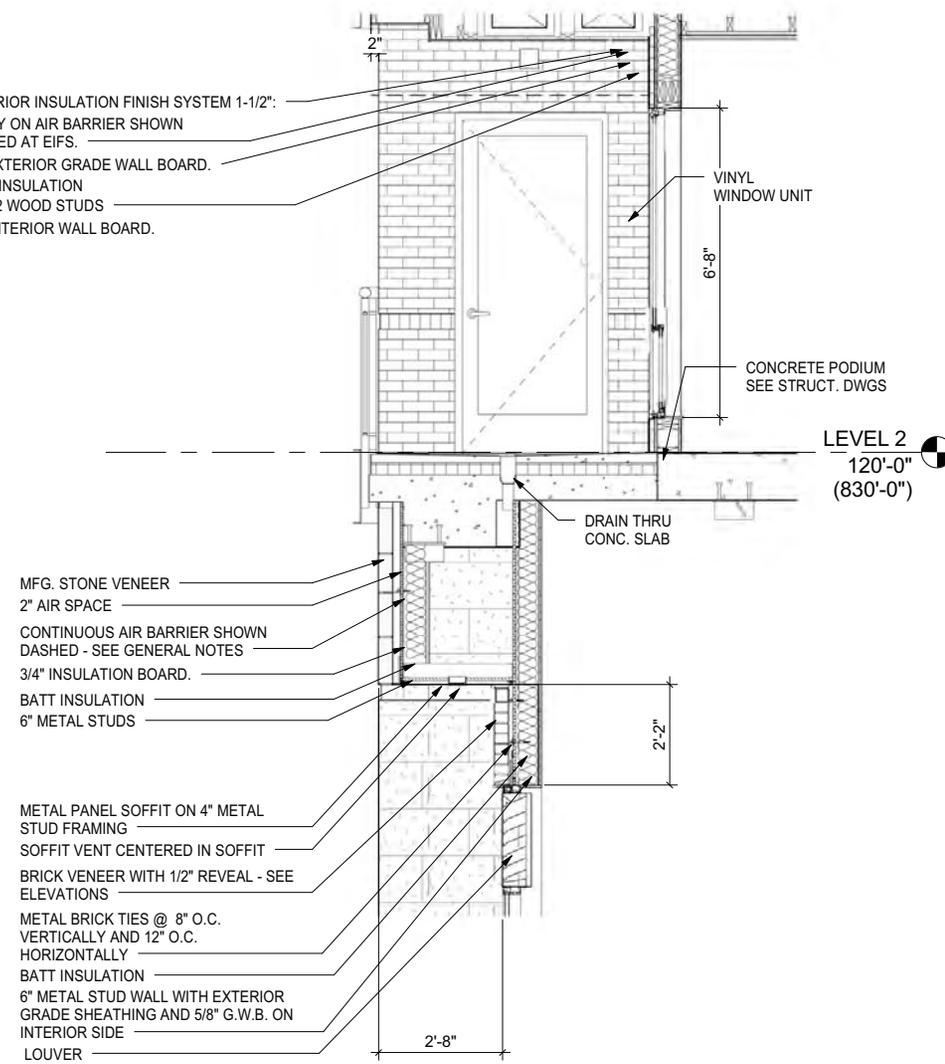
**TYPICAL E.I.F.S. WALL SYSTEM ON 2x5 1/2" WOOD STUD**

E.I.F.S. WALL SYSTEM 1-1/2":  
 CONTINUOUS AIR BARRIER SHOWN DASHED - SEE GENERAL NOTES  
 5/8" EXTERIOR GRADE WALL BOARD.  
 BATT INSULATION  
 2x5 1/2 WOOD STUDS



**1 TOP @ EAST BALCONY**  
 3/8" = 1'-0"

EXTERIOR INSULATION FINISH SYSTEM 1-1/2":  
 SPRAY ON AIR BARRIER SHOWN DASHED AT EIFS.  
 5/8" EXTERIOR GRADE WALL BOARD.  
 BATT INSULATION  
 2x5 1/2 WOOD STUDS  
 5/8" INTERIOR WALL BOARD.



**2 LEVEL 2 @ EAST BALCONY**  
 3/8" = 1'-0"

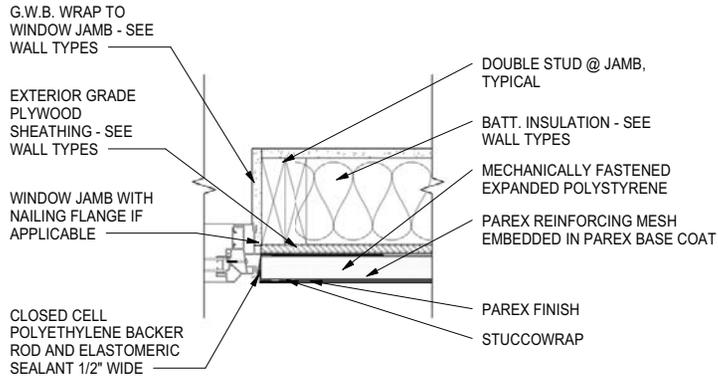
MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A115 - BALCONY DETAILS

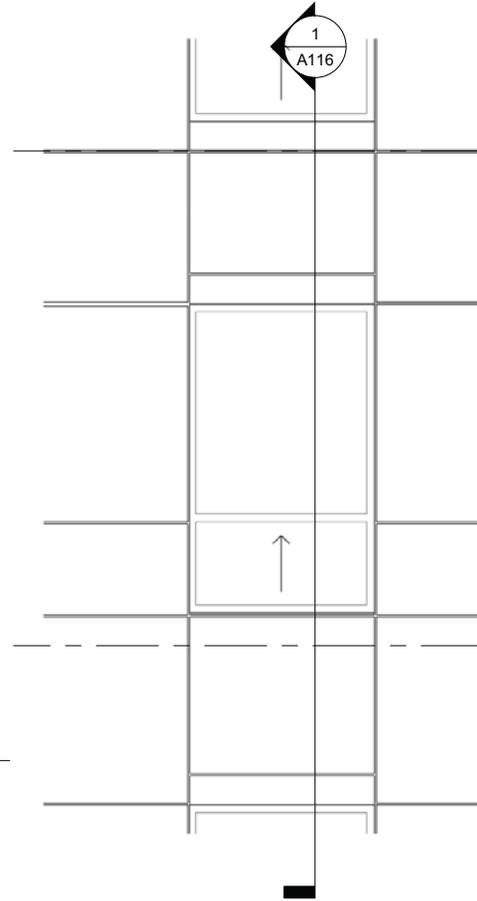
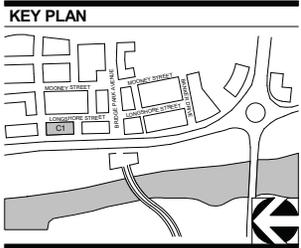


**BRIDGE PARK**  
DUBLIN, OH

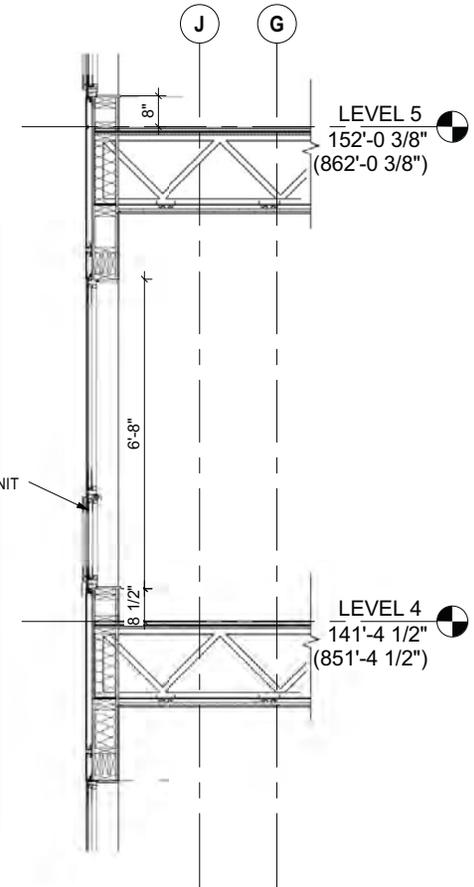


METAL PANEL SIMILAR

**3 WINDOW DTL AW JAMB / HEAD SIM**  
1 1/2" = 1'-0"



**2 AW1 - ALUM WINDOW**  
3/8" = 1'-0"



**1 WEST WINDOW WALL**  
3/8" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A116 - WINDOW DETAILS



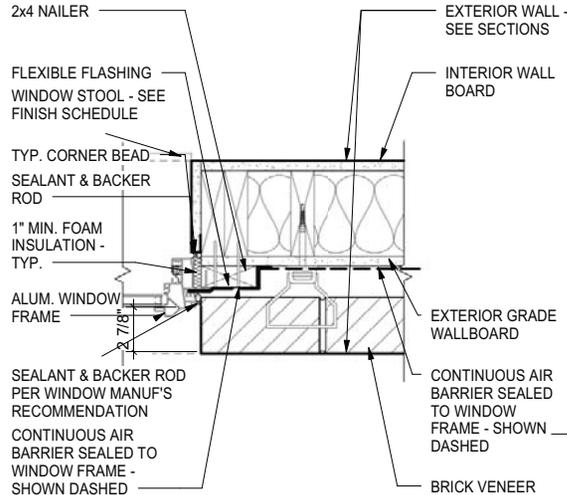
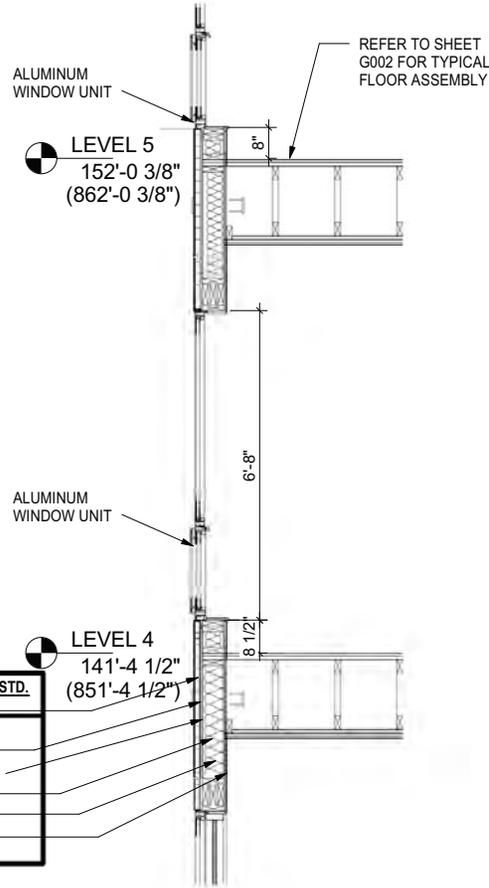
**BRIDGE PARK**  
DUBLIN, OH

10

2  
A117

LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")

LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")



**E.I.F.S. WALL SYSTEM ON 2x5 1/2" WD. STD.**

E.I.F.S. WALL SYSTEM 1-1/2" - \_\_\_\_\_

SPRAY ON AIR BARRIER SHOWN DASHED AT EIFS. \_\_\_\_\_

5/8" EXTERIOR GRADE WALL BOARD. \_\_\_\_\_

BATT INSULATION \_\_\_\_\_

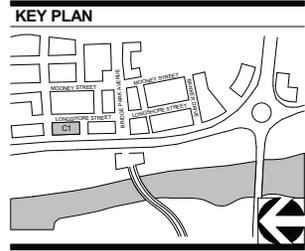
2x5 1/2 WOOD STUDS \_\_\_\_\_

5/8" INTERIOR WALL BOARD. \_\_\_\_\_

**3** **DETAIL AW JAMB @ BRICK**  
1 1/2" = 1'-0"

**1** **BRICK & EIFS WINDOW**  
3/8" = 1'-0"

**2** **BRICK & EIFS WINDOWS**  
3/8" = 1'-0"



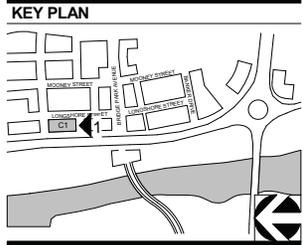
MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A117 - WINDOW DETAILS



**BRIDGE PARK**  
DUBLIN, OH



**1** **LANDSCAPE COORDINATION SOUTH ELEVATION**  
1/16" = 1'-0"

**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

03-23-2015 C1 - A118 - LANDSCAPE ELEVATION



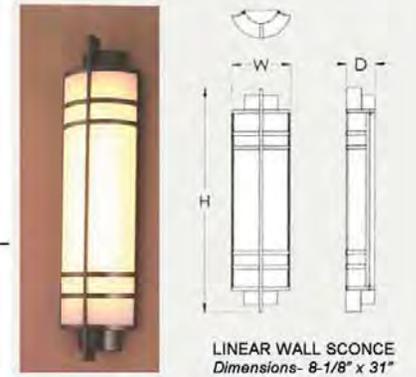
# BRIDGE PARK

DUBLIN, OH



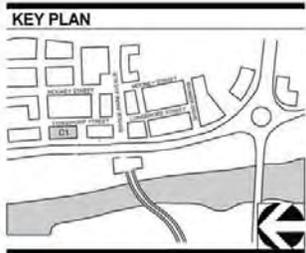
EXTERIOR UP/  
DOWN LIGHT  
FIXTURE (2) 70  
WATTS

UP-DOWN WALL SCONCE



EXTERIOR LINEAR  
FIXTURE LIGHT (2)  
14 WATTS

LINEAR WALL SCONCE  
Dimensions - 8-1/8" x 31"



## 1 C1 - LIGHT FIXTURE DETAILS

MIXED USE BUILDING TYPE

NO SCALE

## **BUILDING C1 (MIXED USE BUILDING) – WAIVER SUMMARY**

**-Vertical Increments Required:** Requirement exceeded where indicated on elevation sheets. In both cases this occurs only above the fifth story windows. There are two reasons for this departure. The first is aesthetic, as the two middle bays in question work better proportionally with the wider bay spacing, and create a more balanced facade. This also creates a more varied aesthetic when looking at the overall street elevations. The second reason is that the elevator is directly behind the north facade parapet, and the desire is to not call attention to that element.

**-Permitted Primary Materials:** Secondary materials exceed requirement (34%). Composite metal panels and EIFS are used along with brick, stone and glass, to add visual interest and material contrast to the building. They are also used to incorporate a visually lighter ‘top’ to the building, to emphasize the visual proportions of base, middle and top, as well as to provide a comfortable street scale.

## **BUILDING C2 (CORRIDOR BUILDING) – WAIVER SUMMARY**

**-Permitted Primary Materials:** Secondary materials exceed requirements (23%). Composite metal panels are introduced in this building as a design element, to add visual interest to the facade and provide a material/texture counterpoint to the brick and glass.

## **BUILDING C3 (CORRIDOR BUILDING) – WAIVER SUMMARY**

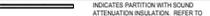
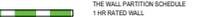
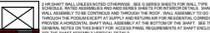
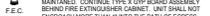
**-Vertical Increments Required:** Requirement exceeded where indicated on north and south elevations. This occurs only at parapets above level 5 windows, once on each elevation. This is primarily a design decision, in order to maintain a bay width that has balanced proportions relative to the overall elevation. Required vertical increments are maintained at ground level and up to the top of the windows at level 5.

**-Horizontal Façade Divisions Required:** Horizontal façade divisions vary between top of ground story and top of second story. As this building is mostly brick, this allowed for a more playful, interesting and varied pedestrian experience of the building. A “corduroy pattern” (corbelling every other course) also adds to the visual interest at the building base.



CITY OF DUBLIN APPROVAL

**FLOOR PLAN LEGEND**

-  INDICATES PARTITION WITH SOUND ATTENUATION INSULATION. REFER TO THE WALL PARTITION SCHEDULE
-  1 HR RATED WALL
-  2 HR RATED WALL
-  12 HR RATED WALL
  
-  LAYOUT WALL/DOORWAY CORNER, SEE SPECIFICATIONS FOR WALL FINISH. WALL CORNER SHALL BE FINISHED TO MATCH THE WALL FINISH. DOORWAY CORNER SHALL BE FINISHED TO MATCH THE DOORWAY FINISH. SEE SPECIFICATIONS FOR WALL FINISH AND DOORWAY FINISH.
-  PLAN ELEVATION
-  MAIL BOX
-  LINE INDICATES ORIENTATION OF KEYHOLE FOR FIRE EXTINGUISHER CABINET. INSTALL FIRE EXTINGUISHER CABINET BEHIND FIRE EXTINGUISHER CABINET. UNIT SHALL NOT ENDOVERCOME MORE THAN 4" INTO THE PATH OF EGRESS.
-  F.E.C. PORTABLE FIRE EXTINGUISHER
-  F.E. PORTABLE FIRE EXTINGUISHER
-  HEARING IMPAIRED UNIT. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. SEE CODE FLOOR PLANS FOR LOCATIONS
-  TYPE A FULLY ACCESSIBLE UNIT. SEE CODE FLOOR PLANS FOR LOCATIONS
-  REQUIRED 30" W/4" WHEEL CHAIR CLEARANCE. 48" SHALL BE CENTERED AT SINKS AND KITCHEN RANGE
-  2'-0" MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATHROOM SINK. TYP. AT PUBLIC AREAS TYPE A UNITS ONLY
-  ELECTRIC FIRE PLACE AND CYPRESS BOARD SUBROOFING TYP. AT ALL 1/2 AND 1/4 SLOPE FOOTING UNITS
-  BALCONY
-  VITAC FLOOR PLAN DIAGRAM
-  UNIT INTERIOR MECHANICAL LOWER PANEL
-  TYPICAL ACCESS PANEL LOCATION FOR MECHANICAL UNIT. ACCESS PANEL TO BE PAINTED TO MATCH UNIT FINISH

**GENERAL NOTES - FLOOR PLAN**

1. ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING WALL & COLUMN CONSTRUCTION
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION FOR LOCATIONS OF FINISH MATERIALS
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION/CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON ARCH.
5. MECHANICAL/ELECTRICAL EQUIPMENT SHALL BE IN ACCORDANCE WITH THE GENERAL TRADES CONTRACTOR. MECHANICAL/ELECTRICAL EQUIPMENT SHALL BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PAID 4" AWAY FROM WALL FINISH UNLESS OTHERWISE NOTED.
6. SEE G SERIES SHEETS FOR WALL TYPE CONSTRUCTION. PROVIDE AN 8" X 8" FIRE RATED ACCESS PANEL TO FACE OF THE PUBLIC CORRIDOR SIDE. COORDINATE MOUNTING HEIGHT WITH ARCHITECT IN THE FIELD.
7. DO NOT RUN FLEXIBLE DUCTS OR ANY DEVICES INTO THE SHAFR ASSEMBLIES. SHAFR ASSEMBLIES TO REMAIN FOR THE SOLE PURPOSE OF THE SHAFR ASSEMBLY UNLESS OTHERWISE NOTED.
8. ELEVATION FINISH EQUALS 10'-0"
9. INSTALL FIRE EXTINGUISHER TO THE INTERIOR OF THE RATED WALL IS MAINTAINED. CONTINUE THE TYPE 3 CYPRESS BOARD ASSEMBLY BEHIND THE FIRE EXTINGUISHER.
10. SEE ARCH SERIES SHEETS FOR UNIT LAYOUT INFORMATION. ALL WOOD GILL PLATES IN WALLS TO POORMAN LEVEL TO BE PRESSURE TREATED.
11. STRUCTURAL BEARING WALLS TO BE 1 HOUR RATED. REFER TO STRUCTURAL SHEETS FOR STAIRS.
12. COORDINATE SHAFR WALL ALIGNMENT WITH ARCHITECT TO MAINTAIN REQUIRED RATING IN ADJACENT WALLS.

**KEY PLAN**



#	DATE	CHANGE DESCRIPTION
1	02-17-15	Addendum 1
4	03-17-15	Addendum 4

BRIDGE PARK BUILDING C1  
 140002 BRIDGE PARK, COLUMBUS, OHIO

by  
**CRAWFORD HOYING development**

**MOODY-NOLAN**  
 RESPONSIVE ARCHITECTURE

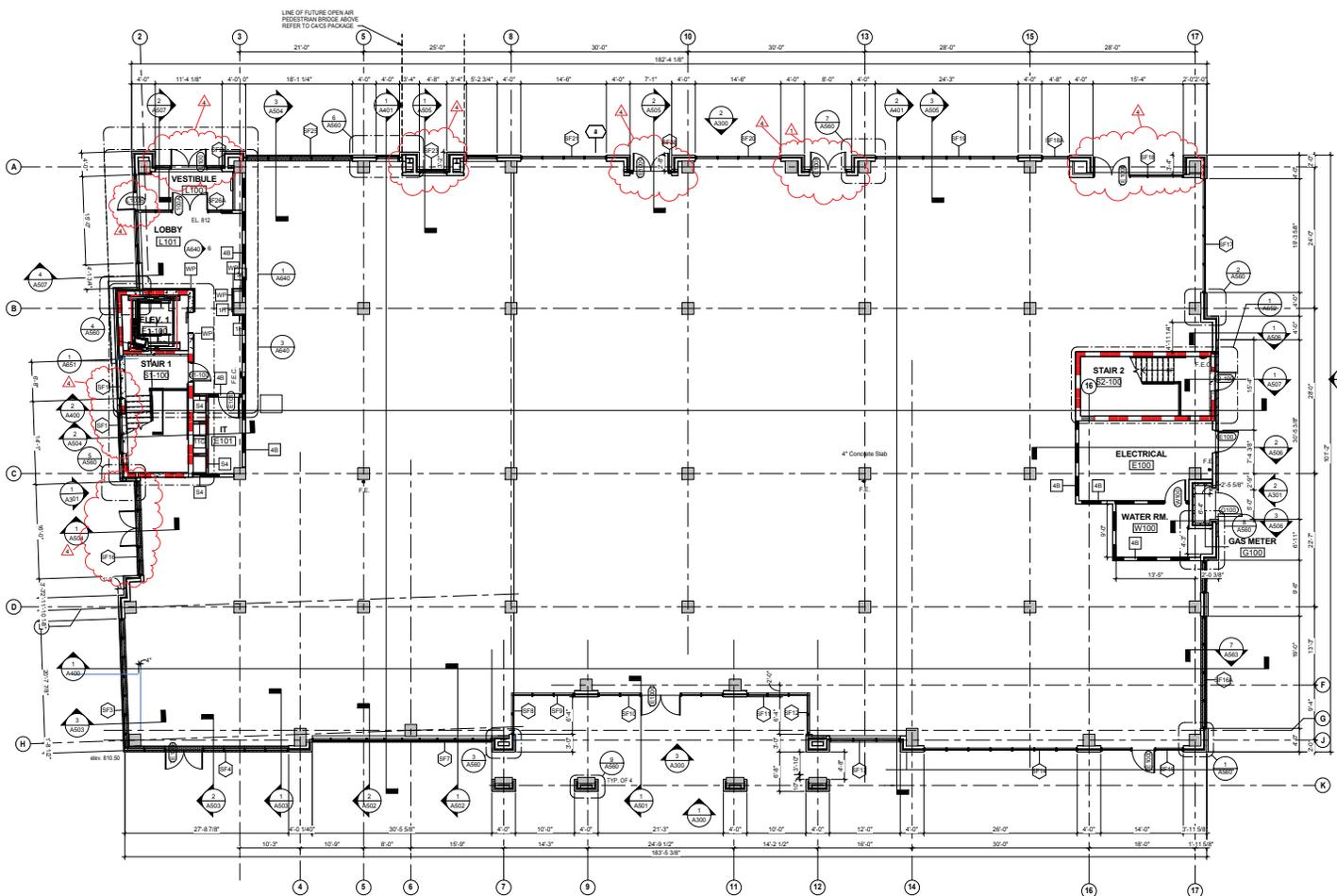
300 Spice Street Phone: (614) 461-4864  
 Suite 300 Fax: (614) 288-8881  
 Columbus, Ohio 43215 www.moody-nolan.com

DATE: 02/05/2015  
 SHEET: A110 OF 100

Desig. Coord. Author Tech. Coord. Checker 14145

**LEVEL 1 FLOOR PLAN**  
 CD PERMIT / GMP SET

**A110**  
 02.05.2015



**1 PLAN LEVEL 1 - OVERALL FLOOR PLAN**  
 1/8" = 1'-0"



**FLOOR PLAN LEGEND**

- INDICATES PARTITION WITH SOUND ATTENUATION INSULATION. REFER TO THE WALL PARTITION SCHEDULE
- 1 HR RATED WALL
- 2 HR RATED WALL
- 12 HR RATED WALL
- PLAN ELEVATION
- MAIL BOX
- LINE INDICATES ORIENTATION OF KEYHOLE FOR ANDS COMPLIANCE
- ISMA RECESSED FIRE EXTINGUISHER CABINET. INSTALL FIRE EXTINGUISHER SO THAT THE INTEGRITY OF RATED WALL IS MAINTAINED. CONTINUE TYPE 'X' CYPRUM BOARD ASSEMBLY BEHIND FIRE EXTINGUISHER CABINET. UNIT SHALL NOT ENCRUSH MORE THAN 4" INTO THE PATH OF EGRESS.
- PORTABLE FIRE EXTINGUISHER
- HEARING IMPAIRED UNIT. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS. SEE CODE FLOOR PLANS FOR LOCATIONS
- TYPE A FULLY ACCESSIBLE UNIT. SEE CODE FLOOR PLANS FOR LOCATIONS
- REQUIRED 30"x48" WHEELCHAIR CLEARANCE. 48" SHALL BE CENTERED AT 30"x48" AND NOT ON RANGE
- 2" OF MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATHROOM BURNER. TYP. AT PUBLIC AREAS TYPE A AND UNITS
- ELECTRIC FIRE PLACE AND CYPRUM BOARD SURROUND TYP. AT ALL 1 AND 2 BEDROOM PENTHOUSE UNITS
- EXT. WALL
- VTAC FLOOR PLAN DIAGRAM
- UNIT INTERIOR MECHANICAL FOR MECHANICAL PANEL TO MATCH EXT. FINISH
- TYPICAL ACCESS PANEL LOCATION FOR MECHANICAL ACCESS. PANEL TO BE PAINTED.

**GENERAL NOTES - FLOOR PLAN**

1. ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING WALL & FLOOR CONSTRUCTION
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON ARCH. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON MECHANICAL FLOOR. FINISH TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PAID 4" BY 4" TRIM SHALL BE PROVIDED UNLESS OTHERWISE NOTED.
5. SEE G SERIES SHEETS FOR WALL TYPE CONSTRUCTION. PROVIDE AN 8" X 8" FIRE RATED ACCESS PANEL FIRE FLOOR AT ALL KITCHEN GREASE SHAWT LOCATIONS AND EVERY OTHER FLOOR FOR ALL OTHER SHAWT LOCATIONS. ACCESS PANELS TO MATCH THE PUBLIC CORRIDOR SIDE. COORDINATE MOUNTING HEIGHT WITH ARCHITECT AT THE TIME OF THE BID. FINISH OVER THE SHAWT ASSEMBLIES. SHAWT ASSEMBLIES TO REMAIN FOR THE SOLE PURPOSE OF THE MECHANICAL WORK TO BE PROVIDED.
6. DO NOT SIGN OFF THE SHEETS OR ANY DEVICES WITH THE SHAWT ASSEMBLIES. SHAWT ASSEMBLIES TO REMAIN FOR THE SOLE PURPOSE OF THE MECHANICAL WORK TO BE PROVIDED.
7. ELEVATION FINISH EQUALS 10'-0"
8. INSTALL FIRE EXTINGUISHER TO THE INTEGRITY OF THE RATED WALL IS MAINTAINED. CONTINUE THE TYPE 'X' CYPRUM BOARD ASSEMBLY BEHIND THE FIRE EXTINGUISHER.
9. SEE ARCH SERIES SHEETS FOR UNIT LAYOUT INFORMATION
10. ALL WOOD SILL PLATES SHALL BE AT FLOOR LEVEL TO BE
11. EXTERIOR BEARING WALLS TO BE 1 HOUR RATED. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION
12. COORDINATE SHAWT LAYOUT WITH ARCHITECT TO MAINTAIN REQUIRED RATING IN ADJACENT WALLS.

**KEY PLAN**



#	DATE	CHANGE DESCRIPTION
1	02-17-15	Addendum 1
4	03-17-15	Addendum 4

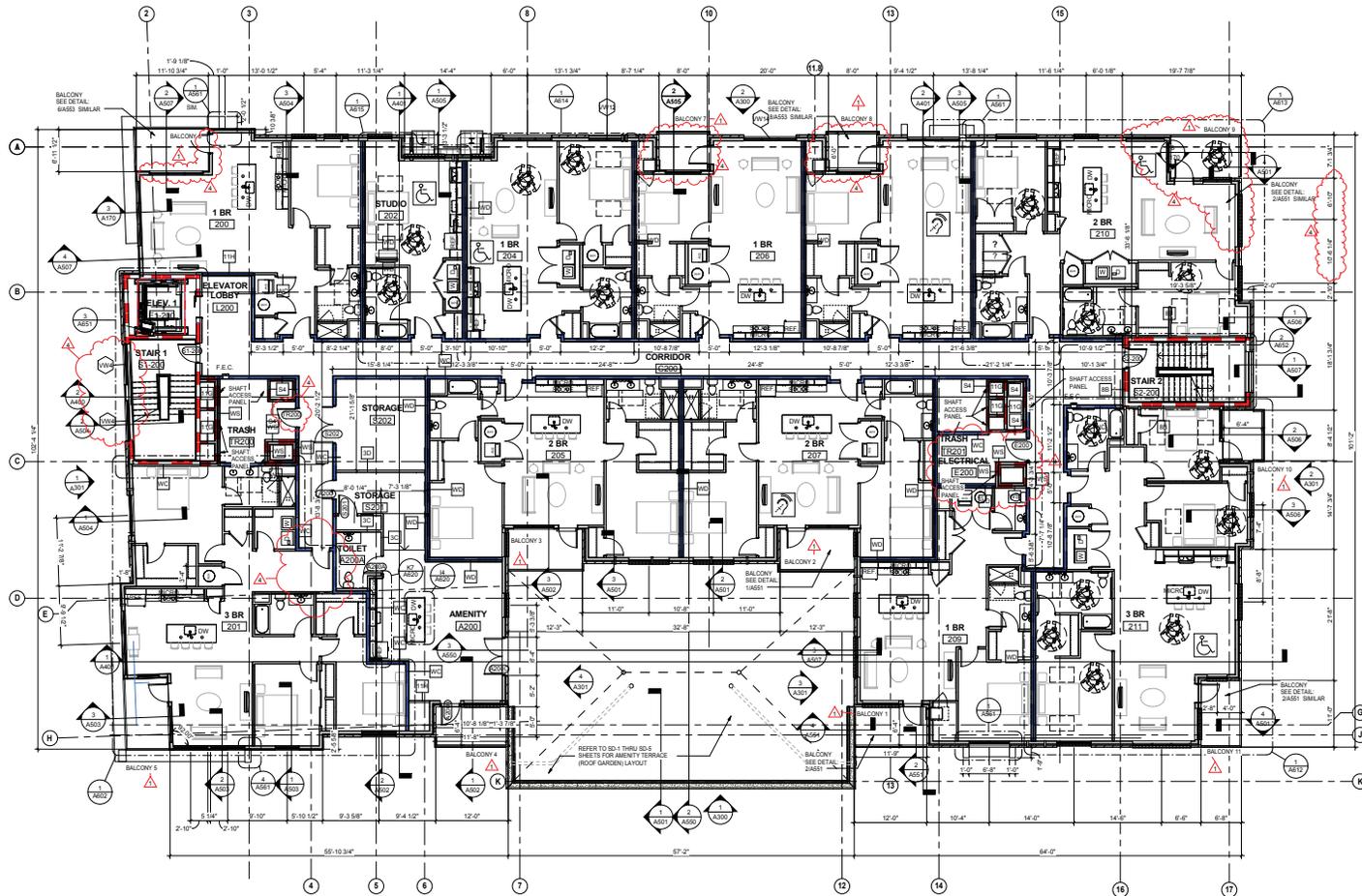
BRIDGE PARK BUILDING C1  
666 HERRING DR. DUBLIN, OHIO 43017



MOODY-NOLAN  
RESPONSIVE ARCHITECTURE

300 Spruce Street Phone: (614) 461-4844  
Suite 300 Fax: (614) 288-8881  
Columbus, Ohio 43215 www.moody-nolan.com

CD PERMIT / GMP SET 14145  
DATE: 02.05.2015



**1 PLAN LEVEL 2 - OVERALL FLOOR PLAN**  
1/8" = 1'-0"





FLOOR PLAN LEGEND

- INDICATES PARTITION WITH SOUND ATTENUATION INSULATION. REFER TO THE WALL PARTITION SCHEDULE
- 1 HR RATED WALL
- 2 HR RATED WALL
- 12 HR RATED WALL

- PLAN ELEVATION
- MAIL BOX
- LINE INDICATES ORIENTATION OF KEYHOLE FOR FIRE ARMS COMPLIANCE
- SSBA RECESSED FIRE EXTINGUISHER CABINET. INSTALL FIRE EXTINGUISHER SO THAT THE INTENSITY OF RATED WALL IS MAINTAINED. CONTINUE THE UNIT BEHIND FIRE EXTINGUISHER CABINET. UNIT SHALL NOT ENDOVERLAP MORE THAN 4" INTO THE PATH OF EGRESS.
- F.E.C. PORTABLE FIRE EXTINGUISHER
- F.E. PORTABLE FIRE EXTINGUISHER

- HEARING IMPAIRED UNIT. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS. SEE CODE FLOOR PLANS FOR LOCATIONS
- TYPE A FULLY ACCESSIBLE UNIT. SEE CODE FLOOR PLANS FOR LOCATIONS
- REQUIRED 30"x48" WHEELCHAIR CLEARANCE. 48" SHALL BE CENTERED AT 180" AND 180" RADIUS

- 2" OF MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATHROOM SINK/RM. TYP. AT PUBLIC AREAS TYPE A AND UNIT
- ELECTRIC FIRE PLACE AND COPULUM BOARD SURROUND TYP. AT ALL 1, 2 AND 3 BEDROOM PENTHOUSE UNITS
- EXT. WALL
- BALCONY
- VITAC FLOOR PLAN DIAGRAM
- UNIT INTERIOR
- MECHANICAL LOWER PANEL TO MATCH EXT. FINISH
- TYPICAL ACCESS PANEL LOCATION FOR MECHANICAL ACCESS PANEL TO BE PAINTED

GENERAL NOTES - FLOOR PLAN

- ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE.
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL.
- SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON ADD.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPER PANEL. THIS ARE TO PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PAIDS # BR 1.
- SEE G SERIES SHEETS FOR WALL TYPE CONSTRUCTION.
- PROVIDE AN 8" X 8" FIRE RATED ACCESS PANEL PER FLOOR FOR ALL PUBLIC CORRIDOR SIDE. COORDINATE MOUNTING HEIGHT WITH ALL OTHER SHAFIT LOCATIONS AND EVERY OTHER FLOOR FOR ARCHITECT IN THE FIELD. COORDINATE WITH THE SHAFIT ASSEMBLIES. SHAFIT ASSEMBLIES TO REMAIN FOR THE SOLE PURPOSE OF THE MECHANICAL EQUIPMENT.
- DO NOT REINFORCE CONCRETE OR ANY OTHER FLOOR FOR ARCHITECT IN THE FIELD. COORDINATE WITH THE SHAFIT ASSEMBLIES. SHAFIT ASSEMBLIES TO REMAIN FOR THE SOLE PURPOSE OF THE MECHANICAL EQUIPMENT.
- ELEVATION #110 EQUALS 100'.
- INSTALL FIRE EXTINGUISHER TO THE INTENSITY OF THE RATED WALL IS MAINTAINED. CONTINUE THE TYPE A COPULUM BOARD ASSEMBLY BEHIND THE FIRE EXTINGUISHER CABINET.
- SEE ADD SERIES SHEETS FOR UNIT LAYOUT INFORMATION.
- ALL WOOD SILL PLATES TO BE 1 HOUR RATED. REFER TO PRESSURE TREATED.
- EXTENSIVE REPAIRS TO BE 1 HOUR RATED. REFER TO STRUCTURAL SHEETS FOR REPAIR INFORMATION.
- COORDINATE SHAFIT WALL ALIGNMENT WITH ARCHITECT TO MAINTAIN REQUIRED RATING IN ADJACENT WALLS.

KEY PLAN



#	DATE	CHANGE DESCRIPTION
4	03-17-15	Addendum 4

BRIDGE PARK BUILDING C1  
1400 W. BRIDGE PARK DR. DUBLIN, OHIO 43017

for  
**CRAWFORD HOYING development**

**MOODY-NOLAN**  
RESPONSIVE ARCHITECTURE

300 Spine Street  
Suite 300  
Columbus, Ohio 43215  
Phone: (614) 461-4861  
Fax: (614) 288-8881  
www.moodynolan.com

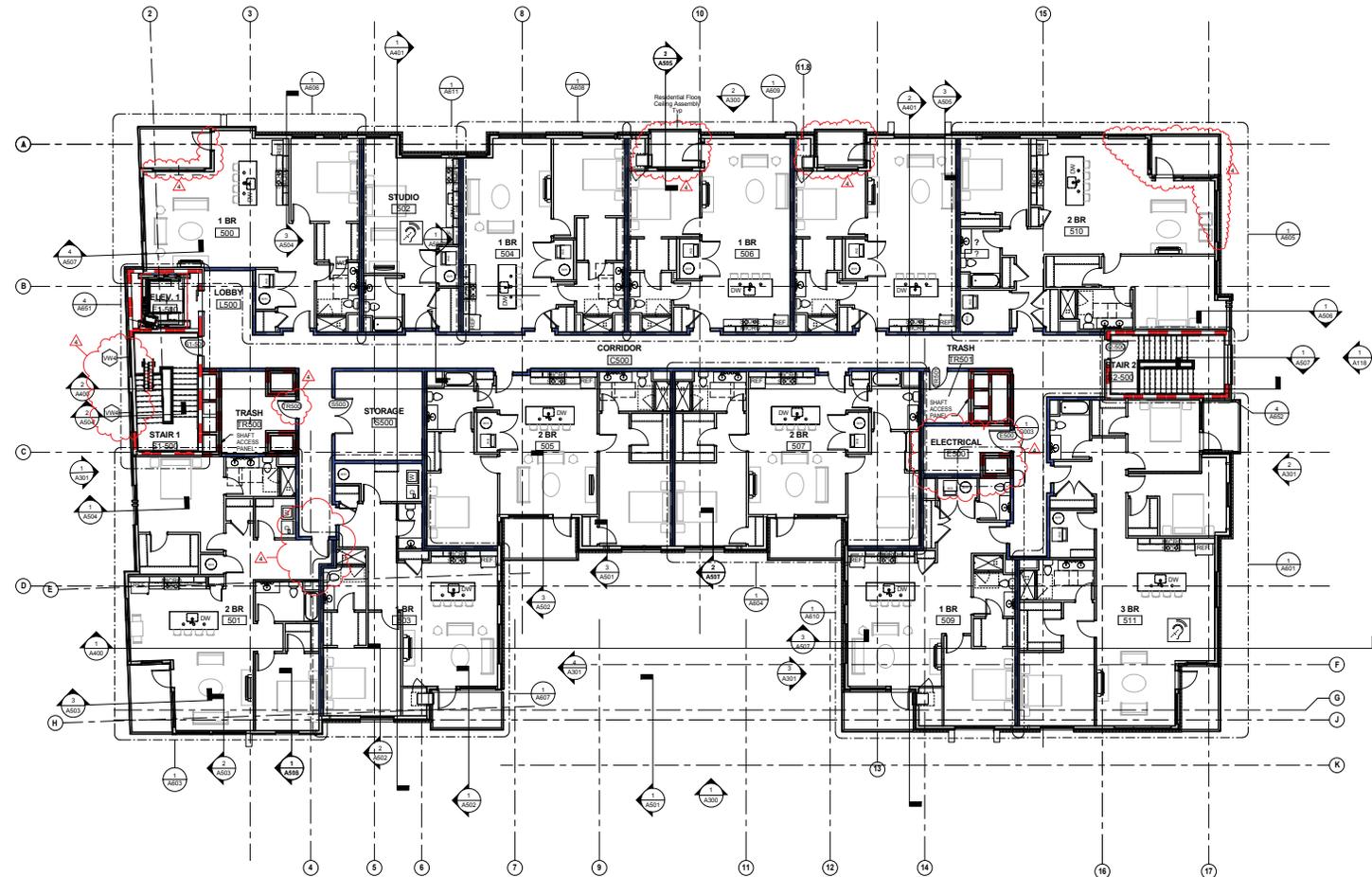
CURTIS J. MOODY, LIC #806  
DATE: 03/17/15

Des. Coord. Author Tech. Coord. Checker 14145

**LEVEL 5 FLOOR PLAN** **A150**

CD PERMIT / GMP SET 02.05.2015

REFER TO SHEET A150 FOR DIMENSIONS AND WALL TYPES UNLESS NOTED ON PLAN



1 PLAN LEVEL 5 - OVERALL FLOOR PLAN  
1/8" = 1'-0"

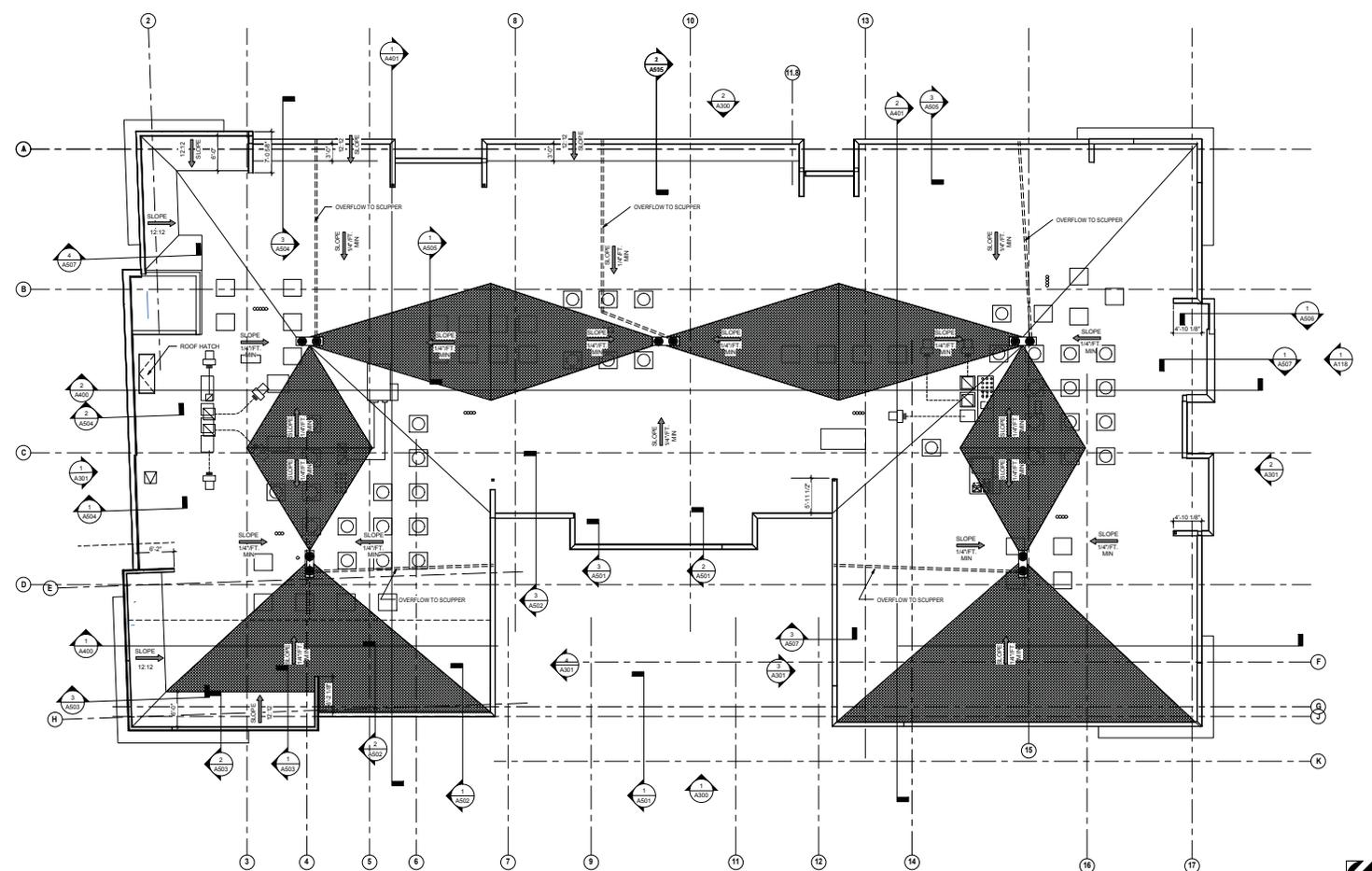


CITY OF DUBLIN APPROVAL



**GENERAL NOTES - ROOF PLAN**

- SEE STRUCTURAL DRAWINGS FOR TOP OF STEEL (T.O.S.) AT ALL PROPOSED ROOFS.
- REFER TO MECHANICAL DRAWINGS FOR PIPE PENETRATION DETAIL AT ROOF.
- REFER TO PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR INFORMATION REGARDING ROOF MOUNTED EQUIPMENT AND ALL REQUIRED ROOF PENETRATIONS.
- INSTALL ROOF SADDLE OR CRICKET AT LOCATIONS ON ROOF WHERE EQUIPMENT ROOF PENETRATIONS BLOCKS DOWN FLOW OF WATER TO DRAINS.
- LOCATION OF ROOF DRAINS TO BE FIELD COORDINATED.
- TEMPORARY FALL PROTECTION IS NOT SHOWN AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DRAWING REPRESENTATION OF TAPPED INSULATION IS SIMPLIFIED AND SHALL SERVE FOR REFERENCE ONLY. IT IS CONTRACTOR RESPONSIBILITY TO PROVIDE ROOF DRAINS TO ROOF OR DRAIN DRAINS AT SLOPE 1/4" PER FOOT MINIMUM ON THE ENTIRE ROOF.
- PROVIDE ROOF MEMBRANE WALKWAY PROTECTIONS (AS OUTLINED) REFER TO MEP DRAWINGS FOR EXACT LAYOUT OF MECHANICAL EQUIPMENT. ALL MEP EQUIPMENT TO BE CONNECTED WITH THE MEMBRANE WALKWAY LAYOUT FOR MAINTENANCE ACCESS.
- ROOFING ASSEMBLY TO PROVIDE AN AVERAGE INSULATION VALUE OF R-20.



**1 PLAN** LEVEL 6 - OVERALL FLOOR PLAN  
 1/8" = 1'-0"

**KEY PLAN**



#	DATE	CHANGE DESCRIPTION

**BRIDGE PARK BUILDING C1**  
 1685 WYNDLE DR, DUBLIN, OH 43017

for  
**CRAWFORD HOYING development**

**MOODY-NOLAN**  
 RESPONSIVE ARCHITECTURE

300 Spino Street Phone: (614) 461-4861  
 Suite 300 Fax: (614) 282-8881  
 Columbus, Ohio 43215 www.moody-nolan.com

CURTIS J. MOODY, LIC #7662  
 EXP. DATE: 03/31/2019

Proj. Coord.: Author	Arch. Coord.: Checker	14145
<b>ROOF PLAN</b>		<b>A160</b>
CD PERMIT / GMP SET		02.05.2015

CITY OF DUBLIN APPROVAL

**WINDOW LEGEND**

- AW1 VINYL WINDOW FRAME COLOR TO MATCH STOREFRONT SYSTEM FINISH - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- AW2 ALUMINUM WINDOW UNIT FRAME FINISH TO MATCH STOREFRONT SYSTEM FINISH - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- AW3 ALUMINUM STOREFRONT SYSTEM (FLUORIDE MEDIA BRONZE) - CLASS 1 ANODIZED FINISH (DARK RANGE)

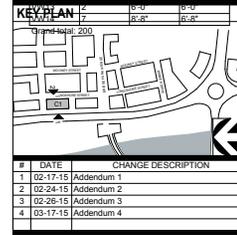
**ELEVATION GENERAL NOTES**

- A. REFER TO A710 SERIES SHEETS FOR WINDOW AND DOOR SCHEDULES AND DETAILS
- B. REFER TO SELECTED CEILING PLANS FOR EXTERIOR SOFFIT SPECIFICATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL VENTILATION AS REQUIRED.
- C. PROVIDE GRAPHIC VENEER WALLS & EXTERIOR CANOPY SHALL BE CALCIUM SILICATE MASONRY UNITS WITH VERTICAL MULLIONS OF STRUCTURAL STEEL RELATED TO THE EXTERIOR CANOPY SHALL BE GALVANNEAD AND PAINTED WITH A SPECIAL COATING (THEIR COATING OR LISTED EQUAL).
- D. COORDINATE THE BACK & CHAMFER WITH VERTICAL MULLIONS OF STOREFRONT SYSTEM.
- E. INSTALL TEMPORARY GLAZING AT ALL LOCATIONS REQUIRED BY CODE (SECTION 2202) UNTIL PERMANENT GLAZING IS INSTALLED.

**ELEVATION CODED NOTES**

- 01 COMPARTMENT FIRE RATING (SEE STOREFRONT SCHEDULES)
- 02 CALCIUM SILICATE MASONRY UNITS (SUBMIT SAMPLES FOR SELECTION BY ARCHITECT)
- 03 SPEC. COLOR TO MATCH COMPOSITE METAL PANEL - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 04 BRICK (GREEN VERY MILD BLENDED)
- 05 ROOF DRAIN SCUPPER
- 06 RECAL
- 07 NOT USED
- 08 ALUMINUM PICKET RAILING FINISH TO MATCH STOREFRONT GLAZING SYSTEM POWDER COAT FINISH - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 09 CONTROL JOINT
- 10 SOLDIER COURSE - SEE WALL SECTIONS
- 11 SPECIAL SHAW BRICK WALL
- 12 NOT USED
- 13 PRE MANUFACTURED ALUMINUM CANOPY COLOR TO MATCH COMPOSITE METAL PANEL - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 14 PREFINISHED METAL COPING COLOR TO MATCH COMPOSITE METAL PANEL - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 15 FUTURE SUPER DRAINAGE LOCATION (BY OTHERS)
- 16 RECESSED CALCIUM SILICATE MASONRY UNITS - SEE WALL SECTIONS
- 17 PROJECTING CALCIUM SILICATE MASONRY UNIT CAP - SEE WALL SECTIONS
- 18 RECESSED ROWLOCK BRICK COURSE - SEE WALL SECTIONS AND DETAILS
- 19 6" ROOF DOWNSPOUT NOZZLE
- 20 ALUMINUM ARCHITECTURAL LOWER FINISH TO MATCH STOREFRONT SYSTEM - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 21 PROFILE OF FUTURE BRIDGE CONNECTION - CONSTRUCTION DETAIL IN FUTURE PHASE
- 22 DRIVER VENT PRIME AND PAINT TO MATCH BRICK ALONG VERTICALLY FROM LEVEL 2 TO LEVEL 5

Window Schedule			
Type Mark	Count	Rough Width	Rough Height
AW1	6	4'-0"	6'-6"
AW2	5	4'-8"	6'-6"
AW3	13	5'-8"	6'-6"
AW4	15	6'-8"	6'-6"
AW5	1	9'-8"	6'-6"
AW6	8	10'-8"	6'-6"
AW7	5	3'-4"	6'-6"
AW10	4	6'-4"	6'-6"
AW12	5	6'-0"	6'-6"
AW14	9	8'-8"	6'-6"
AW19	4	5'-2"	6'-6"
VW1	30	4'-0"	6'-6"
VW2	7	4'-8"	6'-6"
VW3	18	5'-8"	6'-6"
VW4	38	6'-8"	6'-6"
VW5	3	9'-8"	6'-6"
VW6	1	6'-8"	4'-9"
VW7	5	6'-8"	6'-0"
VW8	4	4'-0"	6'-0"
VW9	5	3'-4"	6'-6"
VW10	1	3'-4"	4'-9"
VW11	4	8'-0"	6'-6"
VW12	13	6'-0"	6'-6"
VW13	7	6'-0"	6'-6"
VW14	12	6'-8"	6'-6"



#	DATE	CHANGE DESCRIPTION
1	02-17-15	Addendum 1
2	02-24-15	Addendum 2
3	02-26-15	Addendum 3
4	03-17-15	Addendum 4

**BRIDGE PARK BUILDING C1**  
 1414 S. BRIDGE PARK DR., DUBLIN, OH 43017

by **CRAWFORD HOYING development**

**MOODY-NOLAN**  
 RESPONSIVE ARCHITECTURE

300 Spino Street, Suite 300, Columbus, Ohio 43215  
 Phone: (614) 461-4864, Fax: (614) 282-8881, www.moody-nolan.com

CURTIS J. MOODY, LIC #3962  
 3/16 DATE: 2/23/2015

Design: Author Tech. Coord. Checker 14145

**EXTERIOR ELEVATIONS**

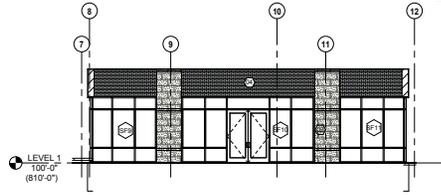
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**A300**

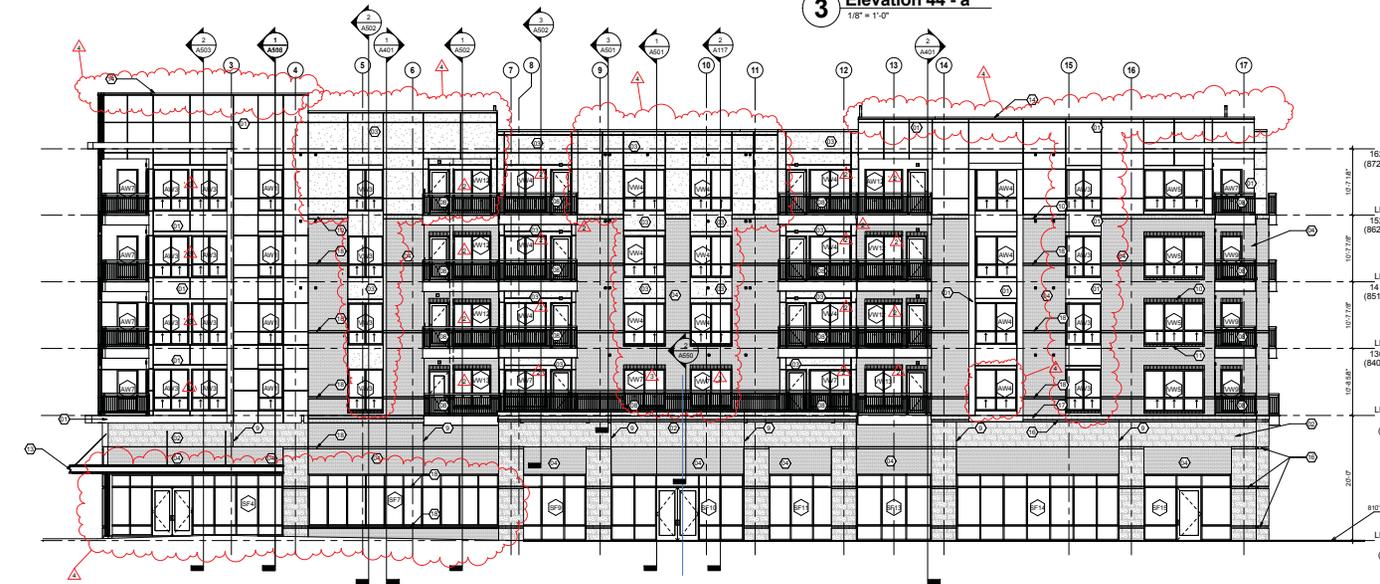
02.05.2015



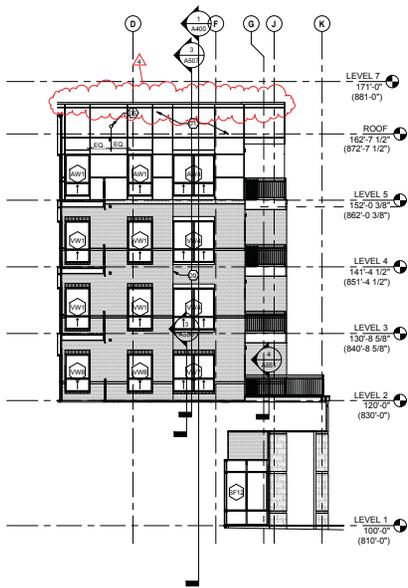
**2 ELEVATION EAST**  
 1/8" = 1'-0"



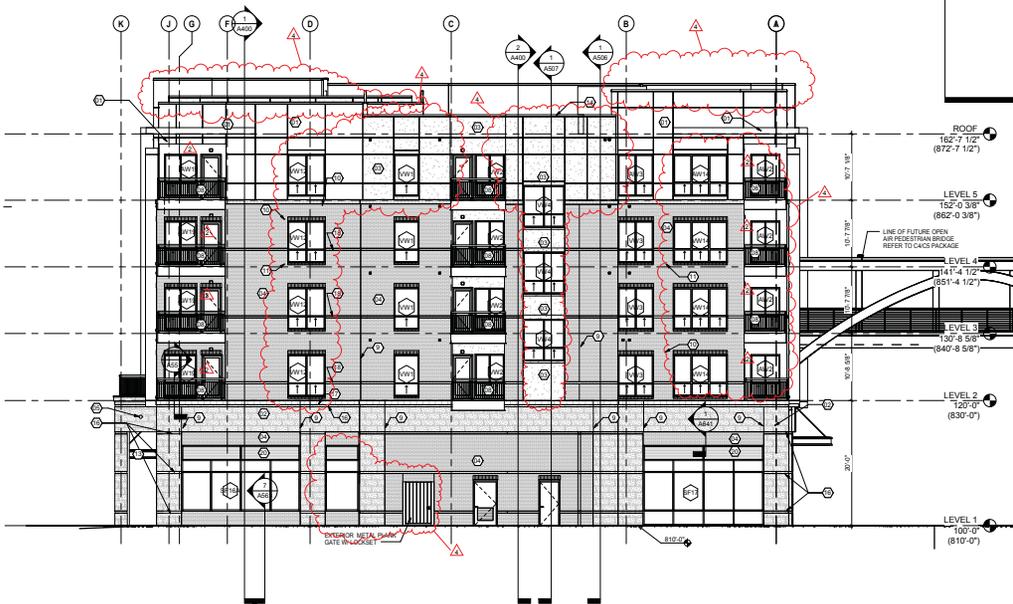
**3 Elevation 44 - a**  
 1/8" = 1'-0"



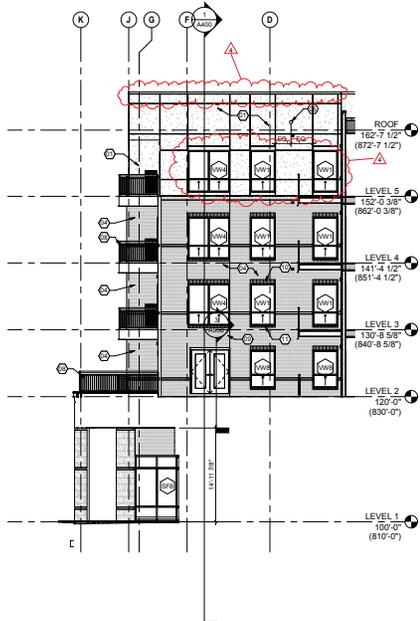
**1 ELEVATION WEST**  
 1/8" = 1'-0"



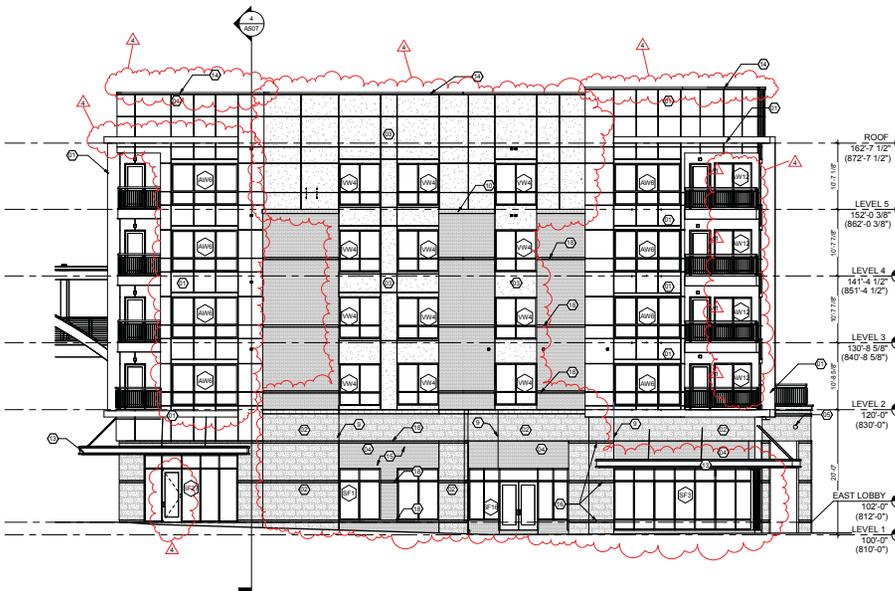
**3 ELEVATION NORTH PODIUM ELEVATION**  
1/8" = 1'-0"



**2 ELEVATION SOUTH**  
1/8" = 1'-0"



**4 ELEVATION SOUTH PODIUM ELEVATION**  
1/8" = 1'-0"



**1 ELEVATION NORTH**  
1/8" = 1'-0"

**WINDOW LEGEND**

- A REFER TO A700 SERIES SHEETS FOR WINDOW ELEVATIONS AND DETAILS
- B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION
- C REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL JOINTS AS REQUIRED.
- D PROVIDE GRAPHIC COATING UP TO 11 FEET HIGH ON ALL EXTERIOR WINDOW VENEERS
- E STRUCTURAL STEEL RELATED TO THE EXTERIOR CANOPY SHALL BE GALVANIZED TO MATCH THE EXTERIOR CANOPY FINISH (THERMIC COATING OR LISTED EQUAL)
- F COORDINATE THE BACK & CANNOPES WITH GRAPHIC COATING OF STOREFRONT SYSTEM
- G INSTALL TYPICAL GLAZING AT ALL LOCATIONS REQUIRED BY CODE (GLAZING SHALL INCLUDE MOTIF DRAWING)

**ELEVATION GENERAL NOTES**

- A REFER TO A700 SERIES FOR WINDOW AND DOOR SCHEDULES AND DETAILS
- B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION
- C REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL JOINTS AS REQUIRED.
- D PROVIDE GRAPHIC COATING UP TO 11 FEET HIGH ON ALL EXTERIOR WINDOW VENEERS
- E STRUCTURAL STEEL RELATED TO THE EXTERIOR CANOPY SHALL BE GALVANIZED TO MATCH THE EXTERIOR CANOPY FINISH (THERMIC COATING OR LISTED EQUAL)
- F COORDINATE THE BACK & CANNOPES WITH GRAPHIC COATING OF STOREFRONT SYSTEM
- G INSTALL TYPICAL GLAZING AT ALL LOCATIONS REQUIRED BY CODE (GLAZING SHALL INCLUDE MOTIF DRAWING)

**ELEVATION CODED NOTES**

- 01 CALCIUM SILICATE MASONRY UNIT (MERCURY CHAMBER)
- 02 BRICK COLOR TO MATCH COMPOSITE METAL PANEL - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 03 BRICK (GREEN BERRY MARION BLEND MOD)
- 04 ROOF CHAIN SCUPPER
- 05 NOT USED
- 06 ALUMINUM PICKET RAILING FINISH TO MATCH STOREFRONT GLAZING SYSTEM POWDER COAT FINISH - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 07 CONTROL JOINT
- 08 SOLIDER COURSE - SEE WALL SECTIONS
- 09 SPECIAL SHAW BRICK WALL
- 10 NOT USED
- 11 PRE MANUFACTURED ALUMINUM CANOPY COLOR TO MATCH COMPOSITE METAL PANEL - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 12 PREFINISHED METAL COPING COLOR TO MATCH COMPOSITE METAL PANEL - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 13 FUTURE SUPER GRAPHIC LOCATION (BY OTHERS)
- 14 RECESSED CALCIUM SILICATE MASONRY UNITS - SEE WALL SECTIONS
- 15 PROJECTING CALCIUM SILICATE MASONRY UNIT CAP - SEE WALL SECTIONS
- 16 RECESSED ROWLOCK BRICK COURSE - SEE WALL SECTIONS AND DETAILS
- 17 6" ROOF DOWNSPOUT NOZZLE
- 18 ALUMINUM ARCHITECTURAL LOWER FINISH TO MATCH STOREFRONT SYSTEM - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
- 19 PROFILE OF FUTURE BRIDGE CONNECTION - CONSTRUCTION DETAIL IN A FUTURE FRAME
- 20 DEVER UNIT FRAME AND PAINT TO MATCH BRICK ALONG VERTICALLY FROM LEVEL 2 TO LEVEL 5

Window Schedule				
Type Mark	Count	Rough Width	Rough Height	
AW1	6	4'-0"	6'-8"	
AW2	5	4'-8"	6'-8"	
AW3	13	5'-8"	6'-8"	
AW4	5	5'-8"	6'-8"	
AW5	1	9'-8"	6'-8"	
AW6	8	10'-8"	6'-8"	
AW7	5	3'-4"	6'-8"	
AW8	4	5'-4"	6'-8"	
AW10	4	5'-4"	6'-8"	
AW12	5	6'-0"	6'-8"	
AW14	9	6'-8"	6'-8"	
AW19	4	3'-2"	6'-8"	
VW1	30	4'-0"	6'-8"	
VW2	7	4'-8"	6'-8"	
VW3	15	5'-8"	6'-8"	
VW4	38	5'-8"	6'-8"	
VW5	3	9'-8"	6'-8"	
VW6	1	6'-8"	4'-9"	
VW7	5	6'-8"	6'-0"	
VW8	4	6'-8"	6'-0"	
VW9	5	3'-4"	6'-8"	
VW10	1	3'-4"	4'-9"	
VW11	4	5'-0"	6'-8"	
VW12	13	5'-0"	6'-8"	
KE1	2	0'-0"	0'-0"	
KE2	7	6'-8"	6'-8"	



#	DATE	CHANGE DESCRIPTION
1	02-17-15	Addendum 1
2	02-24-15	Addendum 2
3	02-26-15	Addendum 3
4	03-17-15	Addendum 4

**BRIDGE PARK BUILDING C1**  
1665 HYDROBLOOM DR. DUBLIN, OH 43017



**MOODY-NOLAN**  
RESPONSIVE ARCHITECTURE

300 Spinoe Street Phone: (614) 461-4864  
Suite 300 Fax: (614) 285-8881  
Columbus, Ohio 43215 www.moodynolan.com

CURTIS J. MOODY, LIC #7862  
3/18/2015 DATE

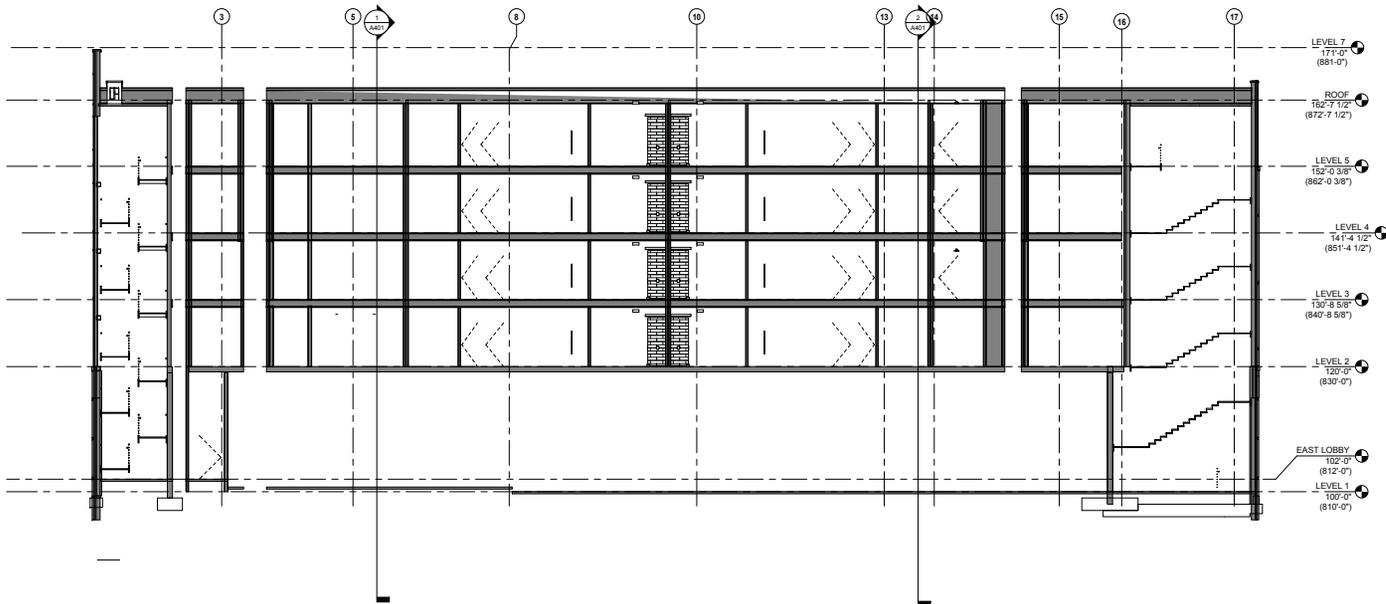
Proj. Coord. Author Tech. Coord. Checker 14145

**EXTERIOR ELEVATIONS**

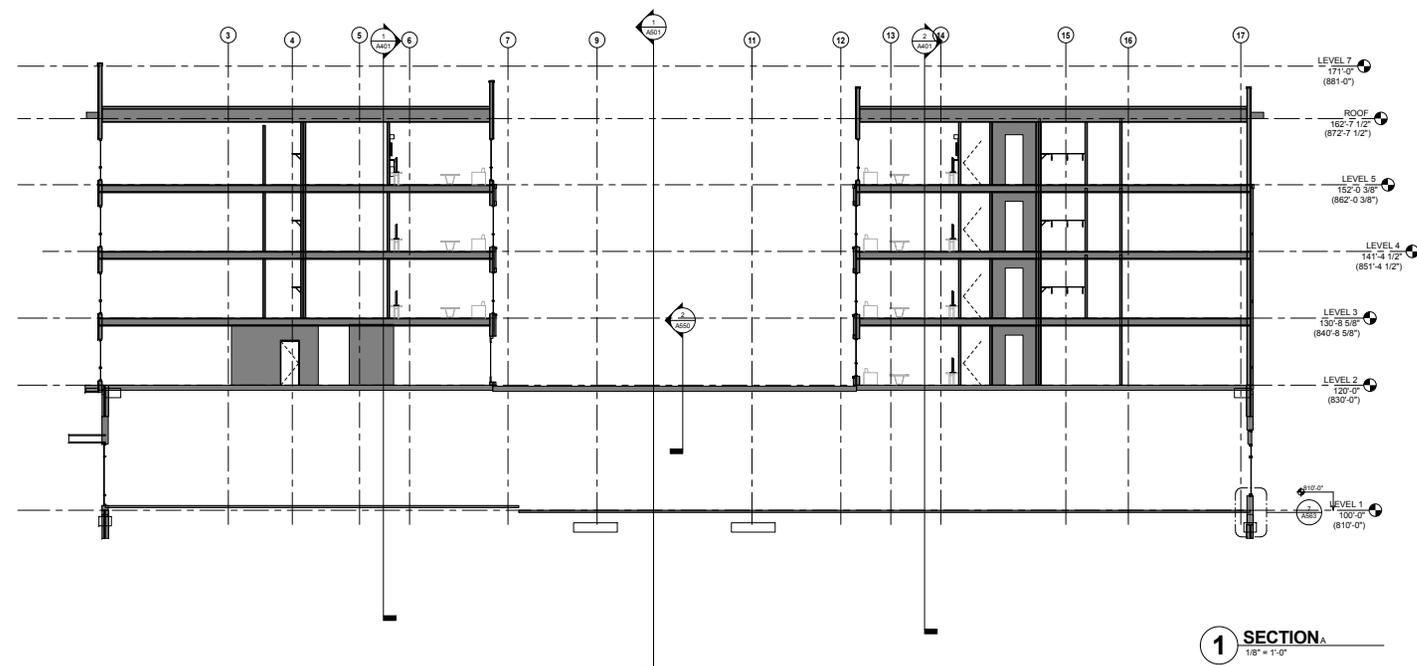
CD PERMIT / GMP SET

**A301**

02.05.2015

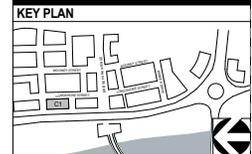


**2 SECTION B**  
 1/8" = 1'-0"



**1 SECTION A**  
 1/8" = 1'-0"

CITY OF DUBLIN APPROVAL



#	DATE	CHANGE DESCRIPTION

**BRIDGE PARK BUILDING C1**  
 1685 HUNTSIDE DR, DUBLIN, OH 43017

for  
**CRAWFORD HOYING**  
 development

**MOODY·NOLAN**  
 RESPONSIVE ARCHITECTURE

300 Spinoe Street Phone: (614) 461-4884  
 Suite 300 Fax: (614) 285-8881  
 Columbus, Ohio 43215 www.moodynolan.com

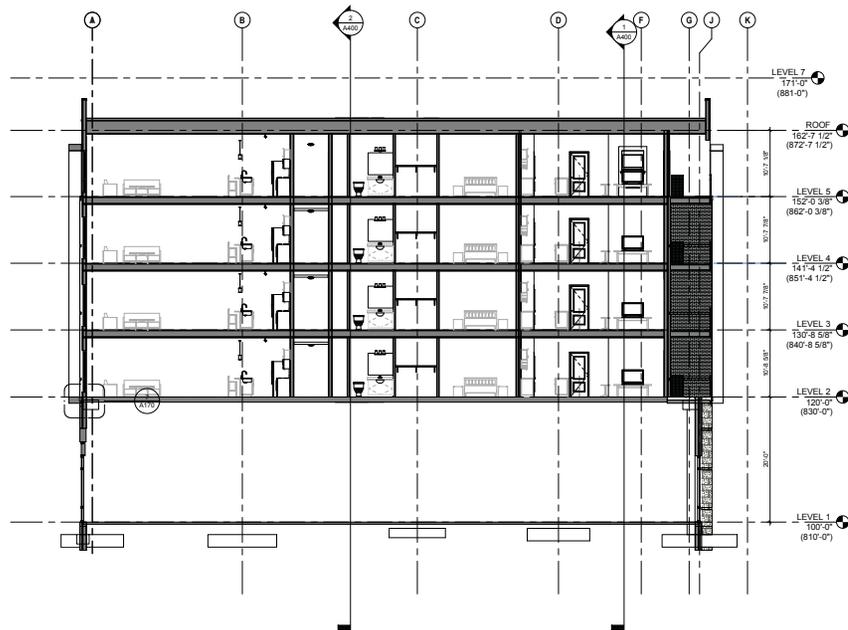


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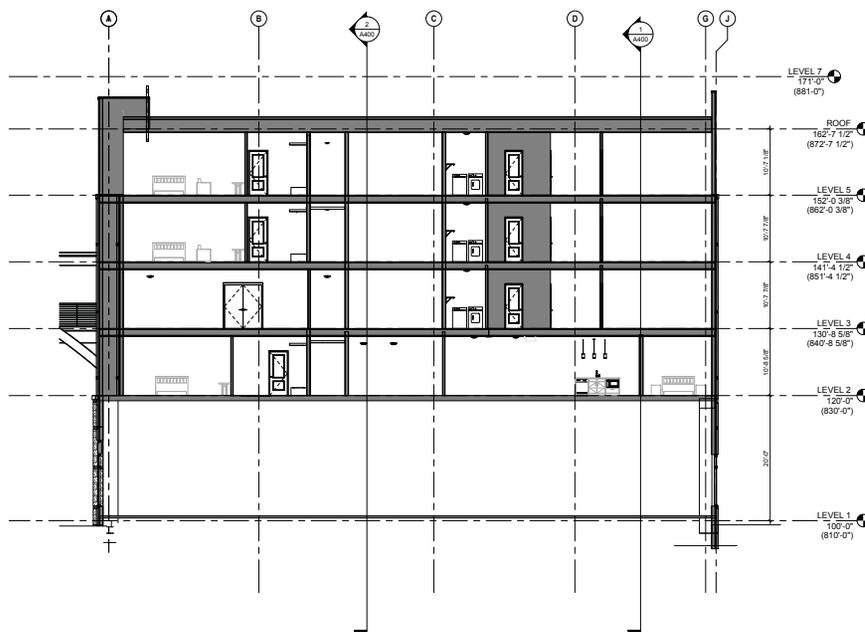
14145

**A400**

02.05.2015



**2 SECTION D**  
 1/8" = 1'-0"



**1 SECTION C**  
 1/8" = 1'-0"

CITY OF DUBLIN APPROVAL

**KEY PLAN**

#	DATE	CHANGE DESCRIPTION

**BRIDGE PARK BUILDING C1**  
 1668 HIVERSHIDE DR, DUBLIN, OH 43017

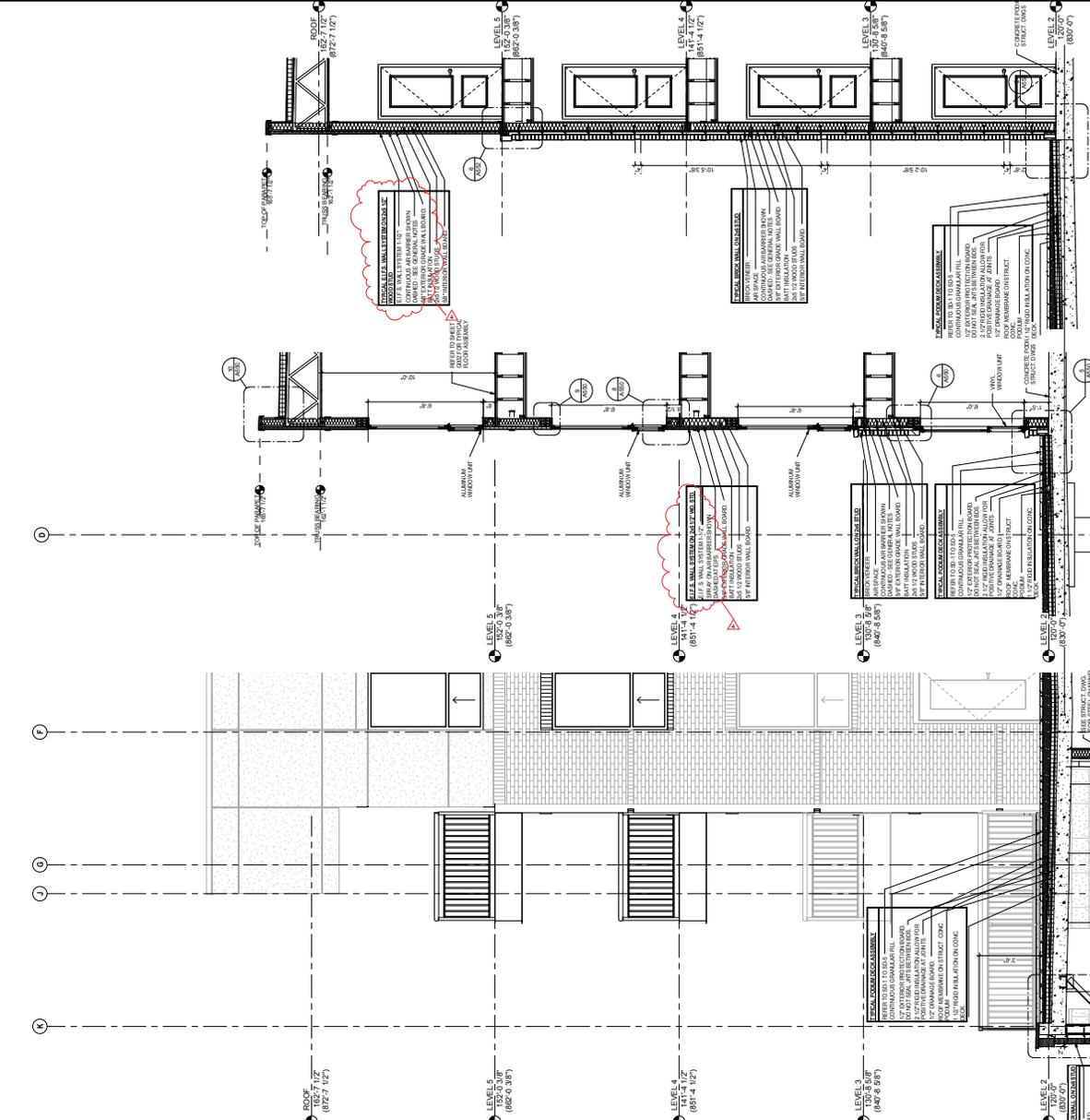
for  
**CRAWFORD HOYING development**

**MOODY·NOLAN**  
 RESPONSIVE ARCHITECTURE

300 Spice Street Phone: (614) 461-4884  
 Suite 300 Fax: (614) 285-8881  
 Columbus, Ohio 43215 www.moodynolan.com

DESIGNED BY: CURTIS J. MOODY, LIC #766  
 DATE: 02/20/15

Des. Coord. / Author	Tech. Coord. / Checker	14145
<b>BUILDING SECTIONS</b>		<b>A401</b>
CD PERMIT / GMP SET		02.05.2015



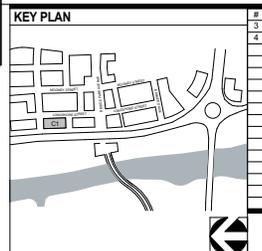
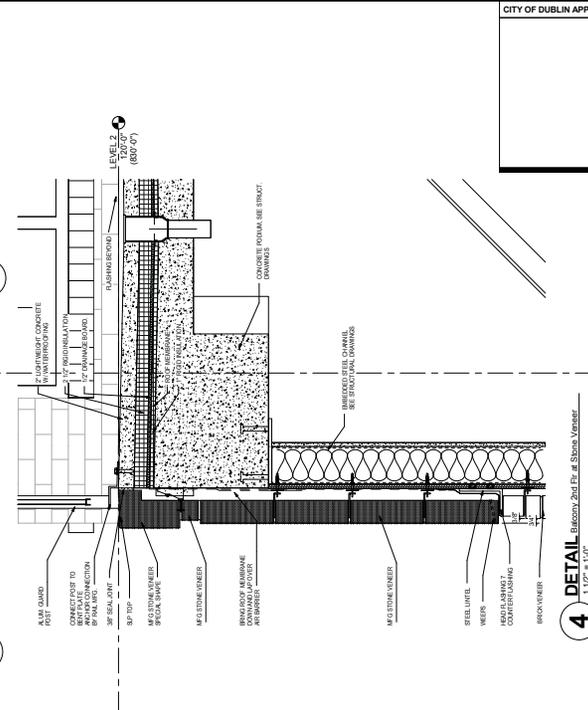
**GENERAL NOTES - WALL SECTIONS**

1. UNLESS ALL OPENINGS 6" WIDE OR GREATER AT EXTERIOR RATED BEARING WALLS TO BE FIRE RATED.
2. SEAL AIR BARRIER CONTINUOUSLY THROUGHOUT ALL ADJACENT SYSTEMS
3. AIR BARRIER TO BE CONTINUOUSLY SEALED AT ALL WINDOW FRAMES
4. ALL RIGID INSULATION IN WALLS OR CURTAINWALL TO BE PROPERLY TAPED AND PENETRATION TO BE SEALED.
5. ALL GRADE TO SLOPE AWAY FROM BUILDING.
6. ALL DRP EDGES TO BE STAINLESS STEEL.
7. ALL FLASHING IN WALLS INTERSECTING ROOF SURFACES TO TURN UP ROOF A MIN. 8" ADDITIONAL TURN UP MAY BE REQUIRED BY ROOF MANUFACTURER TO MAINTAIN WARRANTY. REFER TO ROOF MANUFACTURED RECOMMENDATIONS FOR ADDITIONAL INFORMATION.
8. EXTERIOR BUILDING FOUNDATION WALLS TO HAVE SPRAY-ON-BENTONITE WATERPROOFING APPLIED BELOW GRADE.
9. ELEVATION TARGETS SHOWN ON SECTIONS ARE FOR DESIGN INTENT ONLY REFER TO STRUCTURAL FOR ELEVATION REPORT CONFLICTING INFORMATION TO THE ARCHITECT IN PROVIDE BREATHABLE MASONRY WATER REPELLANT OVER ANY C.M.U. EXPOSED TO WEATHER.
10. ALL ROOF PENETRATION FLASHING TO EXTEND 12" MIN ABOVE THE HORIZONTAL ROOF MEMBRANE.
11. ALL BEARING WALLS FOR FLOORS OR ROOF JOIST TO BE FIRE RATED.
12. SEE STRUCTURAL DWGS. FOR BEARING CONDITIONS.

**3 SECTION 3/AS01 EAST PODIUM TYPICAL WALL**  
 3/8" = 1'-0"

**2 SECTION 2/AS01 EAST PODIUM WINDOWS**  
 3/8" = 1'-0"

**1 SECTION 1/AS01 WEST CANOPY**  
 3/8" = 1'-0"



#	DATE	CHANGE DESCRIPTION
1	03-25-15	Issue for Review
2	03-25-15	Issue for Review
3	03-25-15	Addendum 3
4	03-17-15	Addendum 4

**CITY OF DUBLIN APPROVAL**

**BRIDGE PARK BUILDING C1**  
 1600 BRYANTON DR. DUBLIN, OH 43017

by **CRAWFORD HOYING development**

**MOODY-NOLAN**  
 RESPONSIVE ARCHITECTURE

300 Spinoe Street, Suite 300, Columbus, Ohio 43215  
 Phone: (614) 461-4884, Fax: (614) 285-8881, www.moody-nolan.com

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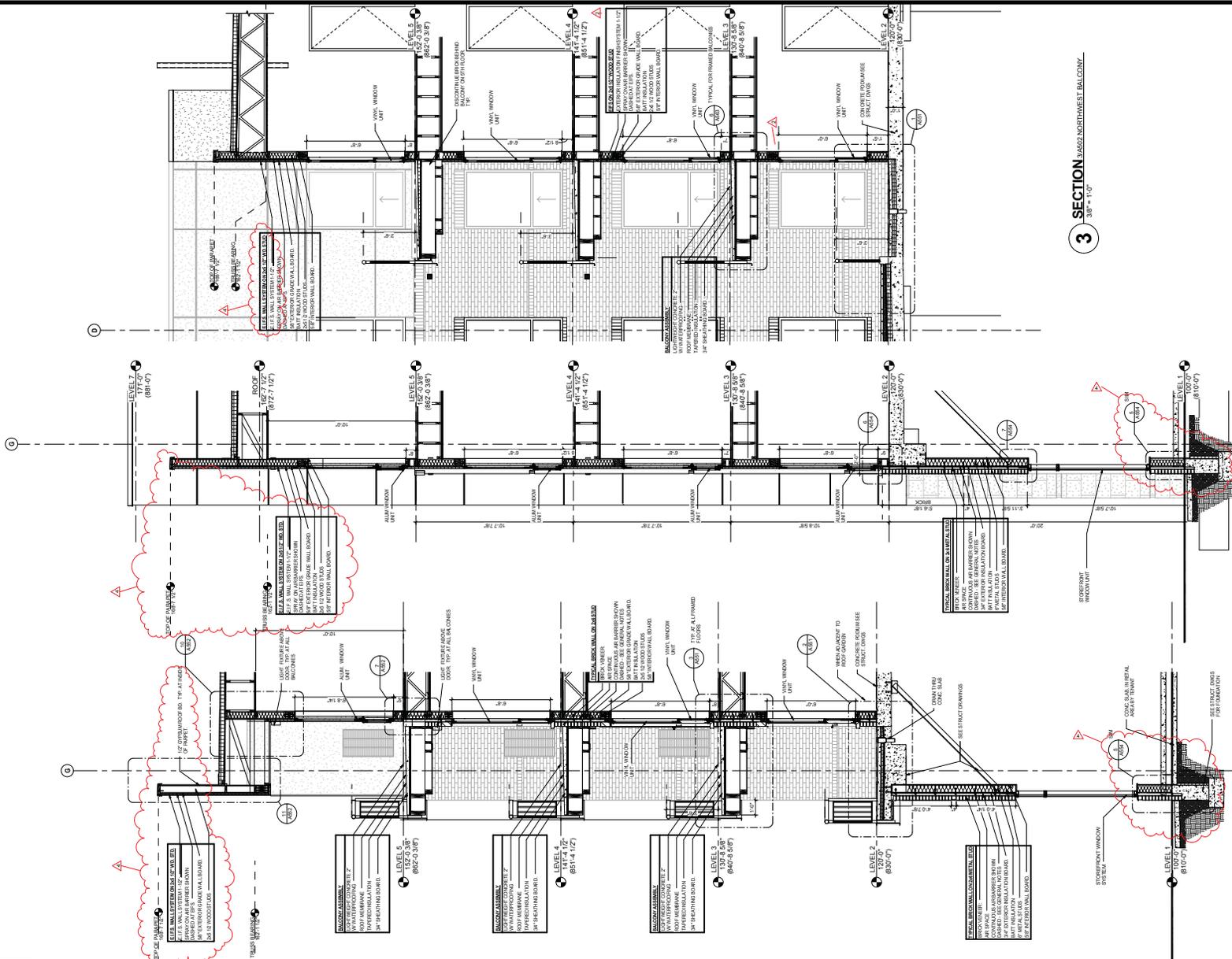
14145

**A501**

02.05.2015

**GENERAL NOTES - WALL SECTIONS**

1. UNLESS ALL OPENINGS 4" WIDE OR GREATER AT EXTERIOR RATED BEARING WALLS TO BE FIRE RATED.
2. SEAL AIR BARRIER CONTINUOUSLY THROUGHOUT ALL ADJACENT SYSTEMS
3. AIR BARRIER TO BE CONTINUOUSLY SEALED AT ALL WINDOW FRAMES
4. ALL RIGID INSULATION IN WALLS OR CURTAINWALL TO BE PROPERLY TAPERED AND PENETRATION TO BE SEALED.
5. ALL GRADE TO SLOPE AWAY FROM BUILDING.
6. ALL DRIP EDGES TO BE STAINLESS STEEL.
7. ALL FLASHING IN WALLS INTERSECTING ROOF SURFACES TO TURN UP ROOF A MIN. 8" ADDITIONAL TURN-UP MAY BE REQUIRED BY ROOF MANUFACTURER TO MAINTAIN WARRANTY. REFER TO ROOF MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INFORMATION.
8. EXTERIOR BUILDING FOUNDATION WALLS TO HAVE SPRAY-ON BENTONITE WATERPROOFING APPLIED BELOW GRADE.
9. ELEVATION TARGETS SHOWN ON SECTIONS ARE FOR DESIGN INTENT ONLY REFER TO STRUCTURAL FOR ELEVATION REPORT CONFLICTING INFORMATION TO THE ARCHITECT IN WRITING. PROVIDE BREATHABLE MASONRY WATER REPELLANT OVER ANY CMU EXPOSED TO WEATHER.
10. ALL ROOF PENETRATION FLASHING TO EXTEND 12" MIN ABOVE THE HORIZONTAL ROOF MEMBRANE.
11. ALL BEARING WALLS FOR A GROUND OR ROOF JOIST TO BE 1 HOUR RATED, U.L. U.S.A. SEE STRUCTURAL DWGS. FOR BEARING CONDITIONS.

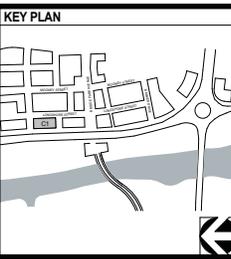


**3 SECTION A502-NORTHWEST BALCONY**  
 3/8" = 1'-0"

**2 SECTION A502-WEST METAL PANEL WALL**  
 3/8" = 1'-0"

**1 SECTION A502-WEST BALCONY**  
 3/8" = 1'-0"

CITY OF DUBLIN APPROVAL



#	DATE	CHANGE DESCRIPTION
1	02-24-15	Addendum 2
2	02-24-15	Addendum 2
3	03-17-15	Addendum 4
4	03-17-15	Addendum 4

**BRIDGE PARK BUILDING C1**  
 884 IVY CIRCLE, DR. DUBLIN, OH 43017

BY  
**CRAWFORD HOYING development**

**MOODY-NOLAN**  
 RESPONSIVE ARCHITECTURE

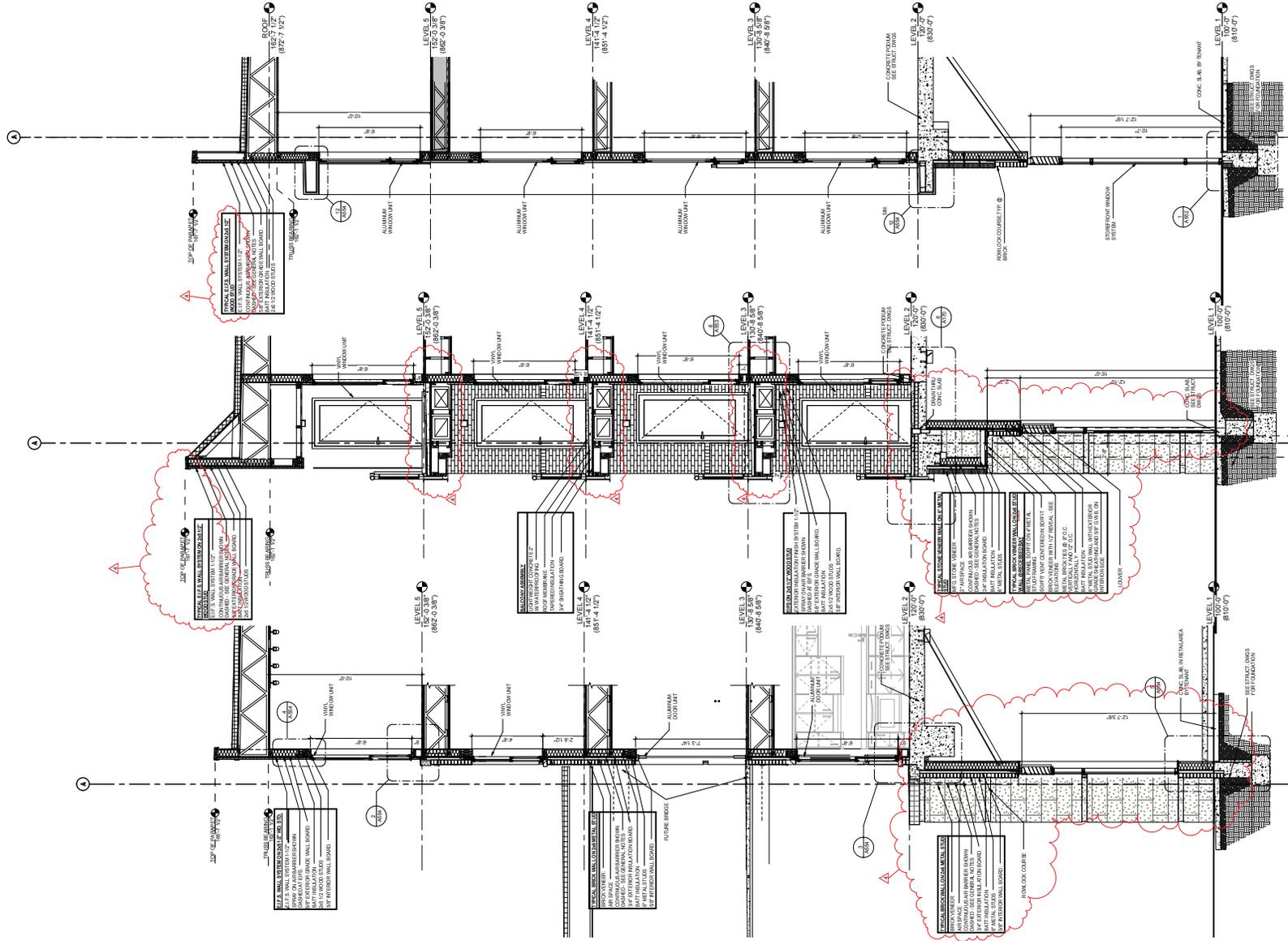
300 Spinoe Street  
 Suite 300  
 Columbus, Ohio 43215  
 Phone: (614) 461-4861  
 Fax: (614) 288-8881  
 www.moody-nolan.com

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14145  
**A502**  
 02.05.2015







CITY OF DUBLIN APPROVAL

3 SECTION 3/2055 EAST PANEL WINDOW  
 3/8" = 1'-0"

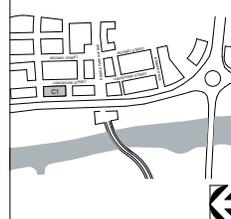
2 SECTION 2/2055 EAST BALCONY  
 3/8" = 1'-0"

1 SECTION 1/2055 EAST WALL AT WINDOW  
 3/8" = 1'-0"

**GENERAL NOTES - WALL SECTIONS**

1. LIFELITS AT ALL OPENINGS 6" WIDE OR GREATER AT EXTERIOR RATED BEARING WALLS TO BE FIRE RATED.
2. SEAL AIR BARRIER CONTINUOUSLY THROUGHOUT ALL ADJACENT SYSTEMS
3. AIR BARRIER TO BE CONTINUOUSLY SEALED AT ALL WINDOW FRAMES
4. ALL RIGID INSULATION IN WALLS OR CURTAINWALL TO BE PROPERLY TAPED AND PENETRATION TO BE SEALED.
5. ALL GRADE TO SLOPE AWAY FROM BUILDING.
6. ALL DRIP EDGES TO BE STAINLESS STEEL.
7. ALL FLASHING IN WALLS INTERSECTING ROOF SURFACES TO TURN UP ROOF A MIN. 6" ADDITIONAL TURN-UP MAY BE REQUIRED BY ROOF MANUFACTURER TO MAINTAIN WARRANTY. REFER TO ROOF MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INFORMATION.
8. EXTERIOR BUILDING FOUNDATION WALLS TO HAVE SPRAY-ON-BENTONITE WATERPROOFING APPLIED BELOW GRADE.
9. ELEVATION TARGETS SHOWN ON SECTIONS ARE FOR DESIGN INTENT ONLY REFER TO STRUCTURAL FOR ELEVATION REPORT CONSULTING INFORMATION TO THE ARCHITECT IN WRITER PROVIDE BREATHABLE MASONRY WATER REPELLANT OVER ANY C.M.U. EXPOSED TO WEATHER.
10. ALL ROOF PENETRATION FLASHING TO EXTEND 12" MIN ABOVE THE HORIZONTAL ROOF MEMBRANE.
11. ALL BEARING WALLS FOR FLOORS OR ROOF JOIST TO BE 12" MIN. THICK. SEE STRUCTURAL DWGS. FOR BEARING CONDITIONS.

**KEY PLAN**



#	DATE	CHANGE DESCRIPTION
1	02-24-15	ADDENDUM 1
2	02-24-15	ADDENDUM 2
3	03-17-15	ADDENDUM 3
4	03-17-15	ADDENDUM 4

**BRIDGE PARK BUILDING C1**  
 6665 HYDRAVIEW DR. DUBLIN, OH 43017

BY  
**CRAWFORD HOYING development**

**MOODY-NOLAN**  
 RESPONSIVE ARCHITECTURE

390 Spioos Street  
 Suite 300  
 Columbus, Ohio 43215  
 Phone: (614) 461-4864  
 Fax: (614) 285-8881  
 www.moody-nolan.com

DATE: 02/20/2015

CD PERMIT / GMP SET

14145

A505

02.05.2015







DOOR SCHEDULE - UNIT 201. Table with columns: NUMBER, ROOM NAME, DOOR, HEIGHT, MATERIAL, ELEV, MATERIAL, ELEV, FRAME, ELEV, FIBRE RATING, HOW SET, DETAILS - SHEET & XX, SILL, REMARKS.

ROOM FINISH SCHEDULE - UNIT 201. Table with columns: ROOM NUMBER, ROOM NAME, FLOOR, BASE, COOR/FINISH, DOOR, FRAME, PAINT, NORTH, SOUTH, EAST, WEST, REMARKS.

CODED REMARKS - FINISH

- 1. REFER TO UNIT DESIGN FOR LEVELS 1 AND 2. REFER TO UNIT DESIGN FOR LEVELS 3 AND 4. REFER TO FINISH PLAN FOR METAL DIRECTION OF FLOORING LVL 01R.

FINISH LEGEND

NOTE: FINISHES OF UNITS SHOWN ARE BASED ON NORTH ARROW SHOWN IN KEY PLAN. ORIENTATION OF ACTUAL UNITS VARIES WITHIN BUILDING. SEE GENERAL NOTES - FINISH - SHEET A001.

- FLOORS: CR1: UNIT 1: MOHAWK BRISTL TOP COARD - 7/8" OAT STRAW BRADLOOM (BROADLOOM) UPRULOUNG.

CITY OF DUBLIN APPROVAL

INDICATES TRUSS LAYOUT AND REGION WITH MECHANICAL, ELECTRICAL AND PLUMBING LAYOUT TO BE APPROVED. TRUSS LAYOUTS SHALL INDICATE PLUMBING LINES AND HVAC DUCTS. SEE THE TRUSS LAYOUT ON THE SHEET.

FLOOR PLAN LEGEND

- INDICATES TRUSS WITH SOUND ATTENUATION ISOLATION. REFER TO THE WALL PARTITION DRAWING FOR DETAILS.

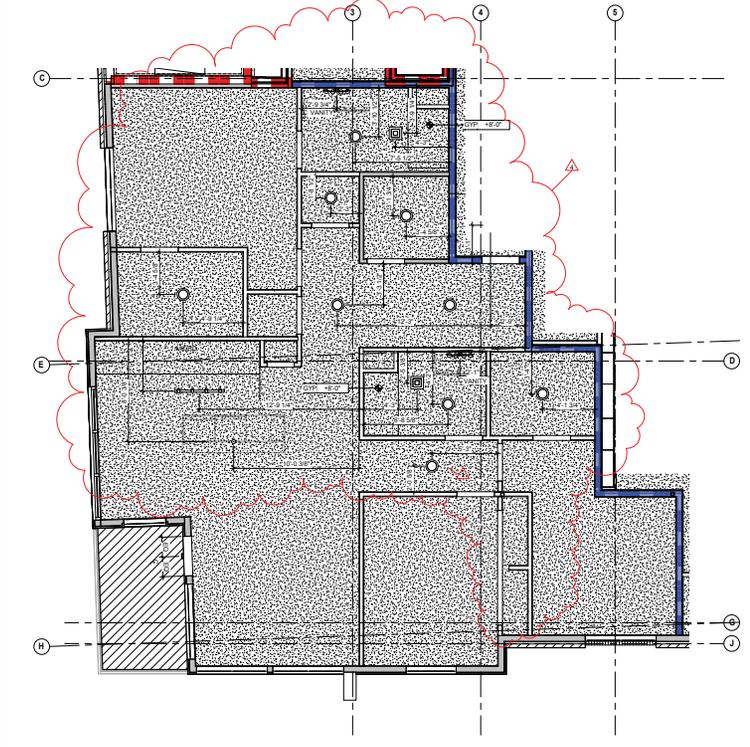
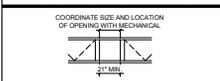
GENERAL NOTES - UNIT PLAN

- 1. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.

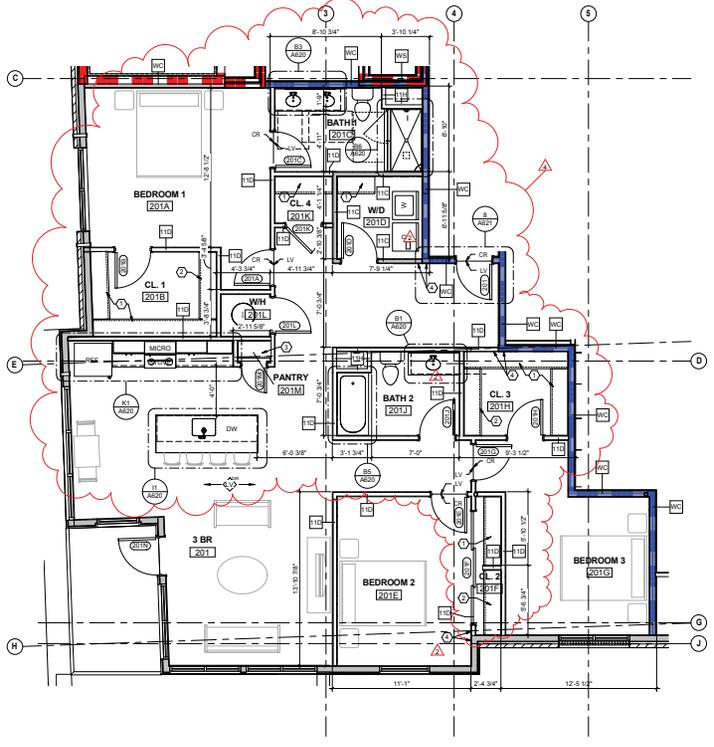
CODED NOTES - UNIT PLAN

- 1. TYPE 1 WALLING AND DOOR - CLOSET TYPE B.

TRUSS OP'NG DIAGRAM AT UNITS



2 PLAN RCP - 3 BEDROOM APARTMENT # 201 1/4" = 1'-0"



1 PLAN ENLARGED PLAN - 3 BEDROOM APARTMENT # 201 1/4" = 1'-0"

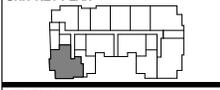
- PLAN ELEVATION: MAIL BOX, PARCEL BOX, ONE INDICATES ORIENTATION OF KEYHOLE FOR FOR ANSI COMPLIANCE.

- REFLECTED CEILING PLAN LEGEND: 24" FLUORESCENT LIGHT FIXTURE, 14" FLUORESCENT LIGHT FIXTURE, LINEAR FLUSH FIXTURE, 30" FLUORESCENT LIGHT FIXTURE.

- REFLECTED CLNG. PLAN CODED NOTES: 1. FACE OF BUILDINGS SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BUILDINGS ARE PARALLEL, UNLESS OTHERWISE NOTED.

- REFLECTED CLNG. PLAN GEN. NOTES: 1. FACE OF BUILDINGS SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BUILDINGS ARE PARALLEL, UNLESS OTHERWISE NOTED.

UNIT KEY PLAN



KEY PLAN



Table with columns: #, DATE, CHANGE DESCRIPTION. Includes entries for Addendum 1 through 4.

BRIDGE PARK BUILDING C1



309 Sproul Street, Columbus, Ohio 43221. Phone: (614) 461-4864. Fax: (614) 285-9887. Website: www.moody-nolan.com

3 BEDROOM UNIT A602 CD PERMIT / GMP SET 02.05.2015





DOOR SCHEDULE - UNIT S10														
NUMBER	ROOM NAME	DOOR	WIDTH	HEIGHT	MATERIAL	ELEV.	FRAME		FIRE RATING	HOW SET	DETAILS - SHEET AS XX			REMARKS
							MATERIAL	ELEV.			HEAD	jamb	SWELL	
S10A	CL 1	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10B	CL 1	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10C	CL 1	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10D	CL 3	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10E	CL 2	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10F	CL 2	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10G	CL 4	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10H	CL 4	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10I	CL 4	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10J	CL 4	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10K	CL 4	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	
S10L	2 BR	2'-10"	7'-2"	WD	AP	WD	WD	22 MR			BA701	BA701	BA701	

ROOM FINISH SCHEDULE - UNIT S10													
ROOM NUMBER	SPACE	FLOOR	BASE		DOORFRAME FINISH		NORTH		SOUTH		WEST		REMARKS
			MAT	COL	PAINT	PAINT	MAT	COL	MAT	COL	MAT	COL	
S10	2 BR	LV	1	WD	PT-2	PT	1	PT	1	PT	1	PT	1, 2, 3
S10A	BEDROOM 1	CR	1	WD	PT-2	PT	1	PT	1	PT	1	PT	
S10B	CL 1	LV	1	WD	PT-2	PT	1	PT	1	PT	1	PT	
S10C	BATH 1	LV	2	WD	PT-2	PT	1	PT	1	PT	1	PT	
S10D	CL 3	LV	1	WD	PT-2	PT	1	PT	1	PT	1	PT	
S10E	BEDROOM 2	CR	1	WD	PT-2	PT	1	PT	1	PT	1	PT	
S10F	CL 2	CR	1	WD	PT-2	PT	1	PT	1	PT	1	PT	
S10G	BATH 2	LV	1	WD	PT-2	PT	1	PT	1	PT	1	PT	
S10H	WID. WH	LV	1	WD	PT-2	PT	1	PT	1	PT	1	PT	
S10I	CL 4	LV	1	WD	PT-2	PT	1	PT	1	PT	1	PT	
S10K	PANTRY	LV	1	WD	PT-2	PT	1	PT	1	PT	1	PT	

**CODED REMARKS - FINISH**

- REFER TO UNIT DESIGN FOR LEVELS 2 AND 4
- REFER TO FINISH PLAN FOR METAL SHEETWORK FINISH ON FLOORING LV1 (DR)
- INSTALL CT-1 LAMINATE TILE IN WRO OFFSET PATTERN
- REFER TO SHEETS ADD - ADD FOR LOBBY FINISH DETAILS
- REFER TO SHEETS ADD - ADD FOR UNIT FINISH DETAILS
- UPGRADE TO PENHOUSE AND AMENITY FINISHES TO INCLUDE CROWN MOLDING, UPGRADIC DECORATIVE LEAD IN BEHIND AND VANITY AND TILE BACKPLASH & KITCHEN. REFER TO SHEETS ADD - ADD
- METAL STAR COMPONENTS TO BE PAINTED PT-5 UNID

**FINISH LEGEND**

- NOTE:** FINISHES OF ACTUAL UNITS VARY WITH BUILDING. SEE GENERAL NOTES - FINISH SHEET ADD.
- Legend:**
- CR: CRACK FILLER
  - CR-1: UNIT A - MICHAM BRIST TOP CARD - 75# DAT STRAW (BROADLOM) BROADLOM
  - CR-2: CRACK FILLER - URBAN ESCAPE 40038 (1" X 3" PLANK)
  - CR-3: ALUMINUM FURF & SAMPLE - 88# EMPORER YOURSELF (BROADLOM)
  - CR-4: WAC-CF - MANMOTION RUSTAN 1.74# (TERRAZO (BLE))
  - CR-5: CARPET TILE AREA RUG - FLOOR - LASTING GRADIENTS - TEA, BONE
  - CR-6: CARPET TILE AREA RUG - FLOOR - INTERCITY - WINE
  - CR-7: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE
  - CR-8: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE
  - CR-9: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE
  - CR-10: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE
  - CR-11: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE
  - CR-12: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE
  - CR-13: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE
  - CR-14: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE
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  - CR-99: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE
  - CR-100: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE

**CITY OF DUBLIN APPROVAL**

1. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.

2. SEE GENERAL NOTES FOR FINISH CONSTRUCTION AND PARTITION INFORMATION.

3. EXTERIOR WALL CONDITIONS VARY REFER TO BUILDING PLAN SHEETS 1-A100 SERIES FOR EXTERIOR WALL, DOOR, WINDOW AND BALCONY CONDITIONAL PLAN SHEETS, A100 SERIES AND TO STRUCTURAL DRAWINGS.

4. LOCAL PERMITS AND TYPE 2 AND TYPE 3 PERMITS AND TYPE 4.

5. INSTALL ACoustic BATT INSULATION AT PARTITIONS WITH PLUMBING STACKS.

6. INSTALL ACoustic BATT INSULATION AT MECHANICAL CEILING PARTITIONS & HORIZONTAL OFFSETS IN PLUMBING DRAIN PIPES. PROVIDE ACoustic PIPE INSULATION RE PLUMBING DRAWINGS.

7. COORDINATE TRUSS LAYOUT AND DESIGN WITH MECHANICAL, ELECTRICAL AND PLUMBING LAYOUT PRIOR TO FABRICATION. TRUSS SHIP DRAWINGS SHALL INDICATE PLUMBING LINES AND HVAC DUCTS. SEE THE TRUSS LAYOUT ON THE SHEET.

8. PROVIDE WOOD BLOCKS ON ALL RESIDENTIAL TYPE A AND TYPE B UNITS AND HORIZONTAL OFFSETS IN PLUMBING DRAIN PIPES. PROVIDE ACoustic PIPE INSULATION RE PLUMBING DRAWINGS.

9. PROVIDE WOOD BLOCKS ON ALL UNIT LOCATIONS AND LAYOUTS.

10. PROVIDE TWO WIRE SHEILD AND HANGER ROD AT ALL CLOSET UNITS. PROVIDE WIRE SHEILD AT PARTNERS. SEE SPECIFICATIONS. SEE THE "AN" IN ALL PARTS SHEET AND UNDER ALL RESIDENTIAL REQUIREMENTS.

11. EXTERIOR FINISH FLOOR MATERIAL UNDER OTHER APPLIANCE. VANITY IN ALL BATHROOMS AND UNDER ALL RESIDENTIAL UNITS. SEE SHEET ADD FOR FLOORING INFORMATION.

12. SHOWER CURTAIN ROD OR SHOWER BARRIERS BASE. IMPROVED BROWN FRAMING DIMENSION REQUIREMENTS FOR PRE-FABRICATED SHOWER PAN AND PARTNERS. SEE PLUMBING INFORMATION.

13. PROVIDE PREPARE AT ALL UNIT ENTRANCES PROVIDE TWO FLOORPLATES AT ALL UNITS.

14. SIDES OF RANGE, DISHWASHER OR OPEN WORK AREAS BELOW THE BASE CABINETS MUST BE COVERED BY FINISHED DOOR OR BACK PANEL ADJACENT COUNTERTOP.

15. USE COUNTERTOP REFER TO FINISHED END OR BACK PANEL ADJACENT COUNTERTOP.

16. PROVIDE WOOD FRAMED HANGERS ABOVE VANITY SPACES. SEE SHEET ADD FOR ELEVATIONS.

17. USE SHEETS ADD FOR MOUNTING HOOKS AND OTHER HANGING DIMENSIONS REQUIRED FOR PLUMBING AND OTHER FIXTURES REQUIRED AT ALL UNITS. FURNITURE NOT IN CONTRACT.

18. CORRIDOR FLOOR, CEILING ASSEMBLIES AND ALL CEILING IN RESIDENTIAL BUILDINGS CONSTRUCTED OF WOOD SHALL BE 1/8" RATED. REFER TO LIST 2 COORDINATE TO MATCH HANGING HEIGHTS AND THROUGH-HALL EXTENSION ON THE SHEET.

19. REFER TO SPECIFICATIONS SECTION 9.1 FOR UNIT DOOR HARDWARE.

20. KITCHEN SINKS AT TYPE A UNITS AND PUBLIC AREAS SHALL INCLUDE REAR DRAINAGE UNIT WITH REAR ACCESS TO SINKS. AT LEAST ONE SINK SHALL NOT BE DEEPER THAN 12".

21. ALL TYPE A UNITS, THE FRESH AIR CONTROL FOR THE WATER CLOSET WILL BE LOCATED ON THE OPEN SIDE AWAY FROM THE SIDE WALL.

**FLOOR PLAN LEGEND**

- INDICATES PARTITION WITH SOUND ATTENUATION. REFER TO THE WALL PARTITION SCHEDULE.
- 2 HR RATED WALL
- 12 HR RATED WALL

- PLAN ELEVATION
- MAIL BOX
- PARCEL BOX
- LINE INDICATES ORIENTATION OF KEYHOLE FOR FOR ANSI COMPLIANCE
- RECESSED FIRE EXTINGUISHER CABINET. INSTALL FIRE EXTINGUISHER SO THAT THE INTERIOR OF RATED WALL IS MAINTAINED. CONTRA TYPE 2 OR PARALLEL ASSEMBLY BEHIND FIRE EXTINGUISHER CABINET. UNIT SHALL NOT ENDOUR MORE THAN 4" INTO THE TOP OF EGRESS.
- PORTABLE FIRE EXTINGUISHER
- TYPE A FULLY ACCESSIBLE UNIT. SEE CODE FLOOR PLANS FOR LOCATIONS
- REQUIRED 90° MIN WHEELCHAIR CLEARANCE. 4" SHALL BE CENTERED AT DRUG AND KITCHEN RANGE
- 2'-10" MAXIMUM HEIGHT TO TOP OF THE KITCHEN OR BATHROOM SINK. TYP. AT PUBLIC AREAS & TYPE A AND UNIT BALCONY
- ELECTRIC FIRE PLAZES AND DRYWALL BOARD SURROUND TYP. AT 1" AND RESIDENTIAL PARTITIONS AND UNIT BALCONY
- BALCONY
- VTAC FLOOR PLAN DIAGRAM
- UNIT INTERIOR MECHANICAL LOWER PAINT TO MATCH EXT. FINISH
- TYPICAL ACCESS PANEL LOCATION FOR MECHANICAL UNIT. ACCESS PANEL TO BE REPAINTED

**CODED NOTES - UNIT PLAN**

1. ALUM FEATURES
2. OPEN TO ABOVE
3. SMALL GRAZER FIXTURE
4. RECESSED PENDANT CLUSTER

**TRUSS OP'NG DIAGRAM AT UNITS**



**REFLECTED CEILING PLAN LEGEND**

1. ACoustic CEILING TYPE 1 - 2" LAY IN CEILING
  2. ACoustic CEILING TYPE 2 - 2" LAY IN CEILING
  3. ACoustic CEILING TYPE 3 - 2" LAY IN CEILING
  4. OYPRIM BOARD CEILING OR SOFFIT
  5. SPECIALLY CEILING TYPE 1 - WOOD MILLWORK
- 24" FLUORESCENT LIGHT FIXTURE
  - 14" FLUORESCENT LIGHT FIXTURE
  - LINEAR FLUSH FIXTURE
  - 30" FLUORESCENT LIGHT FIXTURE
  - RECESSED CAN LIGHT
  - SURFACE MOUNTED LIGHT
  - 3 LIGHT ISLAND FIXTURE
  - TRACK LIGHTING
  - WALL MOUNTED VANITY FIXTURES
  - EXT LIGHT WITH DIRECTIONAL ARROW
  - EXT LIGHT
  - RETURN AIR GRILLE
  - SUPPLY DIFFUSER
  - LINEAR DIFFUSER
  - 24" LAY-IN ACoustICAL CEILING
  - 30" LAY-IN ACoustICAL CEILING
  - OYPRIM BOARD CEILING OR SOFFIT
  - CEMENTITIOUS FIBER BOARD WOOD/VENT

**REFLECTED CLNG. PLAN CODED NOTES**

1. FACE OF BALUNERS SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BALUNERS ARE PARALLEL, U.N.G. OR DIMENSIONED.
2. CEILING OPEN AREAS DIMENSIONED IN ROOM, U.N.G. OR DIMENSIONED.
3. WHERE EXT SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.

**REFLECTED CLNG. PLAN GEN. NOTES**

1. FACE OF BALUNERS SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BALUNERS ARE PARALLEL, U.N.G. OR DIMENSIONED.
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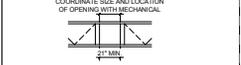
**GENERAL NOTES - UNIT PLAN**

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3. EXTERIOR WALL CONDITIONS VARY REFER TO BUILDING PLAN SHEETS 1-A100 SERIES FOR EXTERIOR WALL, DOOR, WINDOW AND BALCONY CONDITIONAL PLAN SHEETS, A100 SERIES AND TO STRUCTURAL DRAWINGS.
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5. INSTALL ACoustic BATT INSULATION AT PARTITIONS WITH PLUMBING STACKS.
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18. CORRIDOR FLOOR, CEILING ASSEMBLIES AND ALL CEILING IN RESIDENTIAL BUILDINGS CONSTRUCTED OF WOOD SHALL BE 1/8" RATED. REFER TO LIST 2 COORDINATE TO MATCH HANGING HEIGHTS AND THROUGH-HALL EXTENSION ON THE SHEET.
19. REFER TO SPECIFICATIONS SECTION 9.1 FOR UNIT DOOR HARDWARE.
20. KITCHEN SINKS AT TYPE A UNITS AND PUBLIC AREAS SHALL INCLUDE REAR DRAINAGE UNIT WITH REAR ACCESS TO SINKS. AT LEAST ONE SINK SHALL NOT BE DEEPER THAN 12".
21. ALL TYPE A UNITS, THE FRESH AIR CONTROL FOR THE WATER CLOSET WILL BE LOCATED ON THE OPEN SIDE AWAY FROM THE SIDE WALL.

**CODED NOTES - UNIT PLAN**

1. ALUM FEATURES
2. OPEN TO ABOVE
3. SMALL GRAZER FIXTURE
4. RECESSED PENDANT CLUSTER

**TRUSS OP'NG DIAGRAM AT UNITS**



**REFLECTED CEILING PLAN LEGEND**

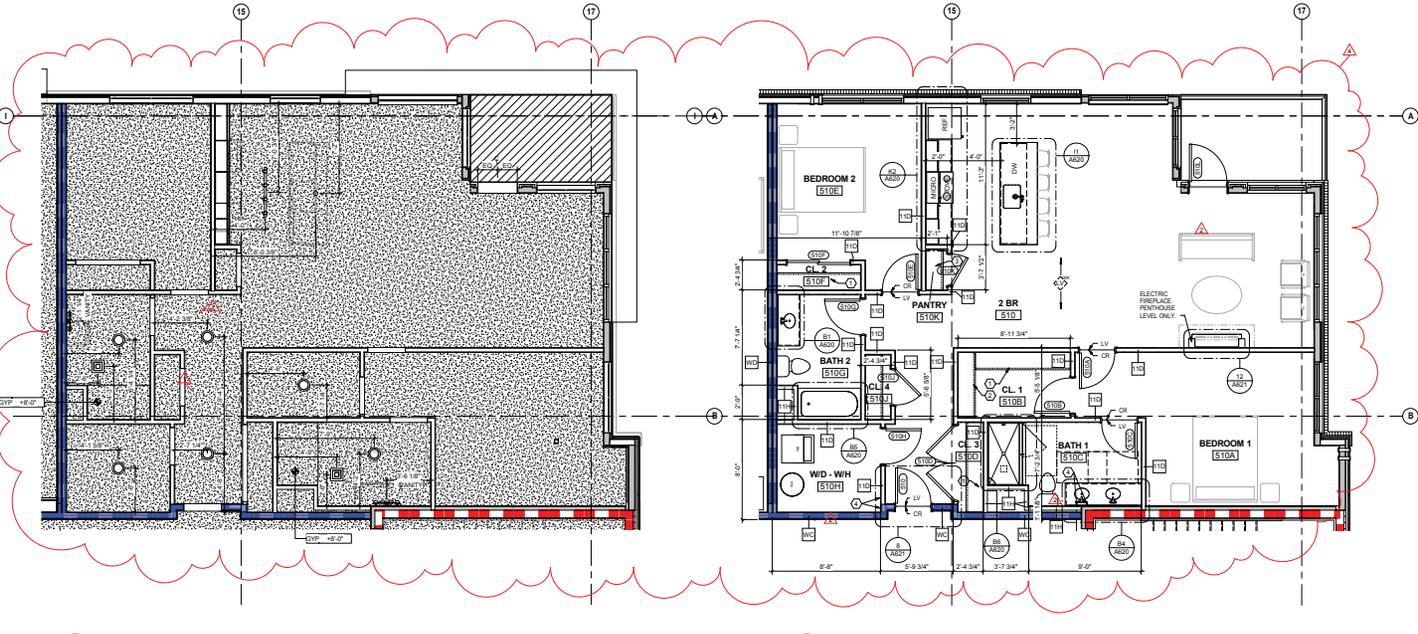
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**REFLECTED CLNG. PLAN CODED NOTES**

1. ALUM FEATURES
2. OPEN TO ABOVE
3. SMALL GRAZER FIXTURE
4. RECESSED PENDANT CLUSTER

**REFLECTED CLNG. PLAN GEN. NOTES**

1. FACE OF BALUNERS SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BALUNERS ARE PARALLEL, U.N.G. OR DIMENSIONED.
2. CEILING OPEN AREAS DIMENSIONED IN ROOM, U.N.G. OR DIMENSIONED.
3. WHERE EXT SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.



**2 PLAN** RCP - 2 BEDROOM APARTMENT # S10  
1/4" = 1'-0"  
TYPICAL PLAN FOR UNITS # S10, #410 AND #510

**1 PLAN** ENLARGED PLAN - 2 BEDROOM APARTMENT # S10  
1/4" = 1'-0"  
TYPICAL PLAN FOR UNITS # S10, #410 AND #510

**BRIDGE PARK BUILDING C1**  
100 W. HIGHLAND DR. DUBLIN, OH 43017



Moody Nolan  
RESPONSIVE ARCHITECTURE

390 Spine Street, Suite 300, Columbus, Ohio 43215  
Phone: (614) 461-4864  
Fax: (614) 288-9887  
www.moodynolan.com

DATE: 02/05/15  
OFFICE: 1 MOODY, LIC #006  
JOB DATE: 02/05/15

Design Coord. Author Tech Coord. Checker 14145

**2 BEDROOM UNIT**  
CD PERMIT / GMP SET  
**A605**  
02.05.2015

DOOR SCHEDULE - UNIT 500											
NUMBER	ROOM NAME	DOOR		FRAME		DETAILS - SCHEDULE		DETAILS - SCHEDULE		REMARKS	
		WIDTH	HEIGHT	MATERIAL	ELEV	FINISH	NEW SET	HEAD	JAMB		WELL
500	1 BR	2'-10"	7'-0"	WD	NA	NA	SD MN	DA701	DA701	DA701	
500A	CL	2'-4"	7'-0"	MEF	SP	SP		BA701	BA701	BA701	
500B	W/D WH	2'-0"	7'-0"	MEF	SP	SP		BA701	BA701	BA701	
500C	BATH	2'-10"	7'-0"	MEF	SP	SP		BA701	BA701	BA701	
500D	BEDROOM	2'-10"	7'-0"	MEF	SP	SP		BA701	BA701	BA701	
500E	BEDROOM	2'-0"	7'-0"	MEF	SP	SP		BA701	BA701	BA701	

ROOM FINISH SCHEDULE - UNIT 500														
ROOM NUMBER	ROOM NAME	FLOOR	BASE	DOOR/FRAME FINISH		WALLS						REMARKS		
				DOOR	FRAME	NORTH	SOUTH	EAST	WEST	COL	COL			
500	1 BR	LV	1	WD	PF.2	PT	1	PT	1	PT	1	PT	1	1, 2, 5
500A	CL	LV	1	WD	PF.2	PT	1	PT	1	PT	1	PT	1	
500B	W/D WH	LV	1	WD	PF.2	PT	1	PT	1	PT	1	PT	1	
500C	BATH	LV	1	WD	PF.2	PT	1	PT	1	PT	1	PT	1	
500D	BEDROOM	LV	1	WD	PF.2	PT	1	PT	1	PT	1	PT	1	

- ### CODED REMARKS - FINISH
- REFER TO UNIT DESIGN A FOR LEVELS 3 AND 4
  - REFER TO UNIT DESIGN B FOR LEVELS 5 AND 6
  - REFER TO FINISH PLAN FOR INSTALL DIRECTION OF FLOORING LV 4 (DR)
  - INSTALL C1 LAMINATE IN 1/8" OFFSET PATTERN
  - REFER TO SHEET A600 - ADD FOR LOBBY FINISH DETAILS
  - REFER TO SHEET A600 - ADD FOR UNIT FINISH DETAILS
  - UPGRADE TO PENETRATOR AND IDENTIFY FINISHES TO INCLUDE CROWN MOLDING, UPGRADED DECORATIVE LIGHTING @ ISLAND AND VANITY AND THE SINK/STOVE @ KITCHEN. REFER TO SHEET A600 - ADD
  - METAL STAMP COMPONENTS TO BE PAINTED PF 5 (D)

- ### FINISH LEGEND
- NOTE: FINISHES OF UNITS SHOWN ARE BASED ON NORTH ARROW SHOWN IN KEY PLAN. ORIENTATION OF ACTUAL UNITS VARIES WITHIN BUILDING. NOTE: FINISH LEGEND - FINISH SHEET A600
- FLOORS**
- CR.1: UNIT A: MOHAWK BRIST TOP CARD - 7/8" OAT STRAW (BROADLOOM)
  - CR.2: UNIT A: MOHAWK BRIST TOP CARD - 7/8" OAT STRAW (BROADLOOM)
  - CR.3: ALADDIN PURE & SIMPLE - 8/8" EMPORER YOURSELF (BROADLOOM)
  - CR.4: WALK-OFF - MANNING-TURNER FIVE (ECONOMY 64" TILE)
  - CR.5: CARPET TILE AREA RUG - FLOOR - LASTING GRATESS - TEALSTONE
  - CR.6: CARPET TILE AREA RUG - FLOOR - LASTING GRATESS - TEALSTONE
  - CR.7: CARPET TILE AREA RUG - FLOOR - LASTING GRATESS - TEALSTONE

### CITY OF DUBLIN APPROVAL

1. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.

2. SEE B SERIES SHEETS FOR TYPE 1 FINISH CONSTRUCTION AND PARTITION CONSTRUCTION.

3. EXTERIOR WALL CONDITIONS VARY REFER TO BUILDING PLAN SHEETS A 100 SERIES FOR EXTERIOR WALL, DOOR, WINDOW AND BALCONY CONSTRUCTION. PLAN SHEETS A 100 SERIES AND TO STRUCTURAL DRAWINGS.

4. LULLABY AND TYPE 3 AND TYPE 4 EXTERIOR AND TYPE 4.

5. INSTALL ACOUSTIC BATT INSULATION AT PARTITIONS WITH PLUMBING STACKS.

6. INSTALL ACOUSTIC BATT INSULATION AT MECHANICAL CLOSET PARTITIONS & HORIZONTAL OFFSETS IN PLUMBING DRAIN PIPES. PROVIDE ACOUSTIC PIPE INSULATION RE PLUMBING DRAWINGS.

7. COORDINATE TRUSS LAYOUT AND REGION WITH MECHANICAL, ELECTRICAL AND PLUMBING LAYOUT PRIOR TO ABRICATION. TRUSS SHIP DRAWINGS SHALL INDICATE PLUMBING LINES AND HVAC DUCTS. SEE THE TRUSS LAYOUT ON THE SHEET.

8. PROVIDE WOOD BLOCKS ON ALL RESIDENTIAL TYPE A AND TYPE B UNITS & B SERIES CODE SHEETS FOR TYPE A & B UNIT LOCATIONS AND LOCATIONS.

9. PROVIDE WOOD BLOCKS NOT SHOWN OR SPECIFIED AS REQUIRED TO MOUNT MILLWORK, MEP DEVICES AND AIR FITURES.

10. PROVIDE TWO WIRE SHEEL AND HANGER ROD AT ALL CLOSET UNITS. PROVIDE WIRE SHEEL AT PARTILES. SEE SPECIFICATIONS. SEE THE "AN" TYPE SHEET FOR THE LOCATION AND TYPE OF WIRE SHEEL. PROVIDE WIRE SHEEL AND HANGER ROD AT ALL CLOSET UNITS.

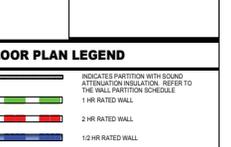
11. EXTERIOR FINISH FLOOR MATERIAL UNDER OTHER APPLIANCE, VANITY IN ALL BATHROOMS AND UNDER ALL RESIDENTIAL UNIVERSAL BATH CABINETS.

12. PROVIDE FINISH FLOORING UNDER ALL APPLIANCE, VANITY IN ALL BATHROOMS AND UNDER ALL RESIDENTIAL UNIVERSAL BATH CABINETS.

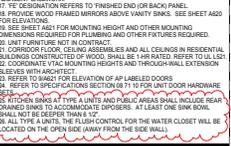
13. PROVIDE FINISH FLOORING UNDER ALL APPLIANCE, VANITY IN ALL BATHROOMS AND UNDER ALL RESIDENTIAL UNIVERSAL BATH CABINETS.

14. ALL UNIT FINISHES TO BE FINISHED TO MEET THE MINIMUM REQUIREMENTS FOR FINISHING AND FINISHING INFORMATION. PROVIDE FINISHING INFORMATION FOR ALL FINISHES TO BE FINISHED TO MEET THE MINIMUM REQUIREMENTS FOR FINISHING AND FINISHING INFORMATION. PROVIDE FINISHING INFORMATION FOR ALL FINISHES TO BE FINISHED TO MEET THE MINIMUM REQUIREMENTS FOR FINISHING AND FINISHING INFORMATION.

- ### GENERAL NOTES - UNIT PLAN
- ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
  - SEE B SERIES SHEETS FOR TYPE 1 FINISH CONSTRUCTION AND PARTITION CONSTRUCTION.
  - EXTERIOR WALL CONDITIONS VARY REFER TO BUILDING PLAN SHEETS A 100 SERIES FOR EXTERIOR WALL, DOOR, WINDOW AND BALCONY CONSTRUCTION. PLAN SHEETS A 100 SERIES AND TO STRUCTURAL DRAWINGS.
  - LULLABY AND TYPE 3 AND TYPE 4 EXTERIOR AND TYPE 4.
  - INSTALL ACOUSTIC BATT INSULATION AT PARTITIONS WITH PLUMBING STACKS.
  - INSTALL ACOUSTIC BATT INSULATION AT MECHANICAL CLOSET PARTITIONS & HORIZONTAL OFFSETS IN PLUMBING DRAIN PIPES. PROVIDE ACOUSTIC PIPE INSULATION RE PLUMBING DRAWINGS.
  - COORDINATE TRUSS LAYOUT AND REGION WITH MECHANICAL, ELECTRICAL AND PLUMBING LAYOUT PRIOR TO ABRICATION. TRUSS SHIP DRAWINGS SHALL INDICATE PLUMBING LINES AND HVAC DUCTS. SEE THE TRUSS LAYOUT ON THE SHEET.
  - PROVIDE WOOD BLOCKS ON ALL RESIDENTIAL TYPE A AND TYPE B UNITS & B SERIES CODE SHEETS FOR TYPE A & B UNIT LOCATIONS AND LOCATIONS.
  - PROVIDE WOOD BLOCKS NOT SHOWN OR SPECIFIED AS REQUIRED TO MOUNT MILLWORK, MEP DEVICES AND AIR FITURES.
  - PROVIDE TWO WIRE SHEEL AND HANGER ROD AT ALL CLOSET UNITS. PROVIDE WIRE SHEEL AT PARTILES. SEE SPECIFICATIONS. SEE THE "AN" TYPE SHEET FOR THE LOCATION AND TYPE OF WIRE SHEEL. PROVIDE WIRE SHEEL AND HANGER ROD AT ALL CLOSET UNITS.
  - EXTERIOR FINISH FLOOR MATERIAL UNDER OTHER APPLIANCE, VANITY IN ALL BATHROOMS AND UNDER ALL RESIDENTIAL UNIVERSAL BATH CABINETS.
  - PROVIDE FINISH FLOORING UNDER ALL APPLIANCE, VANITY IN ALL BATHROOMS AND UNDER ALL RESIDENTIAL UNIVERSAL BATH CABINETS.
  - PROVIDE FINISH FLOORING UNDER ALL APPLIANCE, VANITY IN ALL BATHROOMS AND UNDER ALL RESIDENTIAL UNIVERSAL BATH CABINETS.
  - ALL UNIT FINISHES TO BE FINISHED TO MEET THE MINIMUM REQUIREMENTS FOR FINISHING AND FINISHING INFORMATION. PROVIDE FINISHING INFORMATION FOR ALL FINISHES TO BE FINISHED TO MEET THE MINIMUM REQUIREMENTS FOR FINISHING AND FINISHING INFORMATION.



- ### CODED NOTES - UNIT PLAN
1. FINISHING AND R.O.D. - CLOSET TYPE B
  2. WIRE SHEELING AND R.O.D. - CLOSET TYPE B
  3. WIRE SHEELING AND R.O.D. - PARTNER TYPE C
  4. ALU.

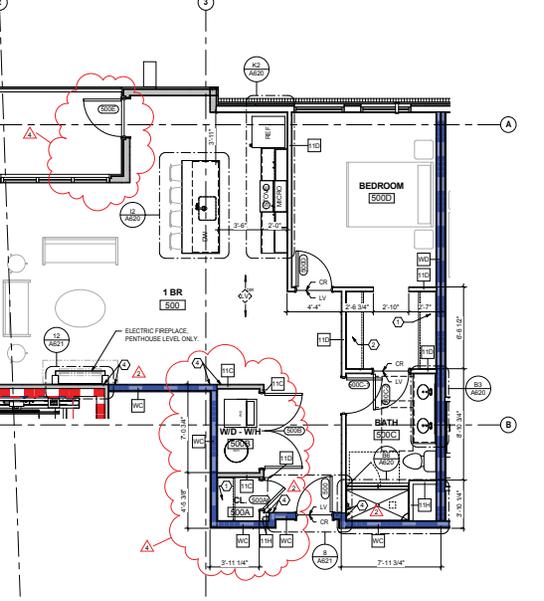
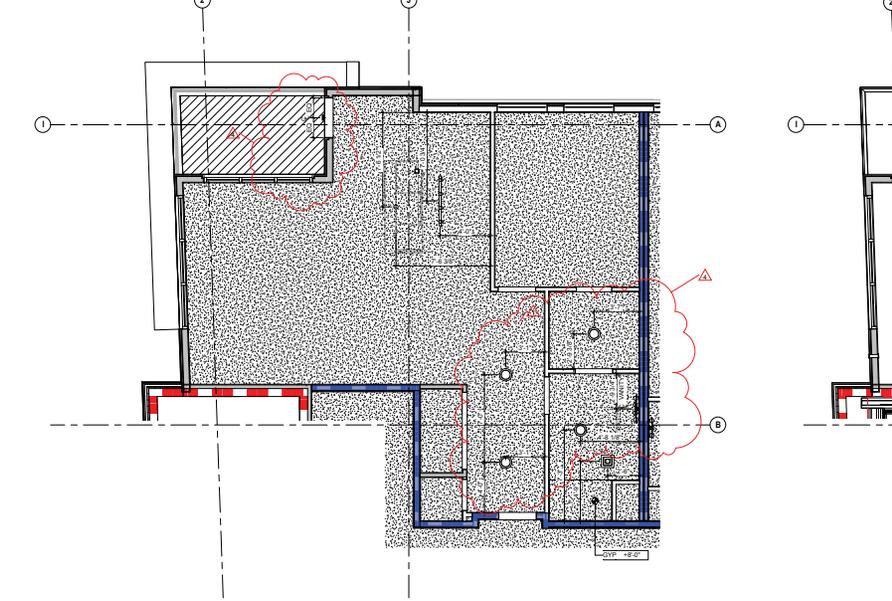


- ### REFLECTED CEILING PLAN LEGEND
- ACOUSTIC CEILING TYPE 1: 2x2 LAY AN CEILING
  - ACOUSTIC CEILING TYPE 2: 2x2 LAY AN CEILING
  - ACOUSTIC CEILING TYPE 3: 2x2 LAY AN CEILING
  - DYPRUM BOARD CEILING OR SOFFIT
  - SPECIALTY CEILING TYPE 1: WOOD MILLWORK
- 2x4 FLUORESCENT LIGHT FIXTURE
  - 1x4 FLUORESCENT LIGHT FIXTURE
  - LINEAR FLUSH FIXTURE
  - 30" FLUORESCENT LIGHT FIXTURE
  - RECESSED CAN LIGHT
  - SURFACE MOUNTED LIGHT
  - SLOTT ISLAND FIXTURE
  - TRACK LIGHTING
  - WALL MOUNTED VANITY FIXTURES
  - EXIT LIGHT WITH DIRECTIONAL ARROW
  - EXIT LIGHT
  - RETURN AIR GRILLE
  - BUFFLY DIFFUSER
  - LINEAR DIFFUSER
  - 2x4 LAY AN ACOUSTICAL CEILING
  - 30" LAY AN ACOUSTICAL CEILING
  - DYPRUM BOARD CEILING OR SOFFIT
  - CENTIMETRIC FIBER BOARD WOOD VENT

- ### UNIT KEY PLAN
- KEY PLAN
- 

- ### REFLECTED CLNG. PLAN CODED NOTES
- ALU. FEATURES
  - OPEN TO ABOVE
  - WALL GRAZER FIXTURE
  - DECORATIVE PENDANT CLUSTER

- ### REFLECTED CLNG. PLAN GEN. NOTES
- FINISH OF BATHROOMS SHALL BE FINISH OF ADJACENT WALL TO WHICH BATHROOMS ARE PARALLEL, LONG OR DIMENSIONED.
  - CEILING AREAS ARE DIMENSIONED FROM LINES OR DIMENSIONED.
  - WHERE EXT SIGN OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.



2 PLAN RCP - 1 BEDROOM APARTMENT # 500  
1/4" = 1'-0" TYPICAL PLAN FOR UNITS 500, 400, 440 AND 500

1 PLAN ENLARGED PLAN - 1 BEDROOM APARTMENT # 500  
1/4" = 1'-0" TYPICAL PLAN FOR UNITS 500, 400, 440 AND 500

BRIDGE PARK BUILDING C1  
1000 WOODSIDE DR, DUBLIN, OH 43017

for  
**CRAWFORD HOYING development**

**MOODY-NOLAN**  
RESPONSIVE ARCHITECTURE

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OFFICE 1 MOODY, LVL #200  
3/16/2015 DATE: 2/20/2015

Eng. Control, Author Tech. Control, Checker 14145

**1 BEDROOM UNIT A600**  
CD PERMIT / GMP SET 02.05.2015















DOOR SCHEDULE - UNIT 204													
NUMBER	ROOM NAME	DOOR		MATERIAL	ELEV.	FRAME		FIRE RATING	HOW SET	DETAILS - SHEET AX XX			REMARKS
		WIDTH	HEIGHT			MATERIAL	ELEV.			HEAD	jamb	SWICH	
204	1 BR	2'-10"	7'-0"	WD	AP	WD	RD	00 MIN		7A201	8A201	20A201	
204A	CL	2'-10"	7'-0"	WD	MF	WD	RD			8A201	10A201		
204B	WD	2'-10"	7'-0"	MF	AP	WD	RD			8A201	10A201		
204C	BATH	2'-10"	7'-0"	MF	AP	WD	RD			8A201	10A201		
204D	WH	2'-10"	7'-0"	MF	AP	WD	RD			8A201	10A201		
204E	CL	2'-10"	7'-0"	MF	AP	WD	RD			8A201	10A201		
204F	BEDROOM	2'-10"	7'-0"	MF	AP	WD	RD			8A201	10A201	8A201	

ROOM FINISH SCHEDULE - UNIT 204											
ROOM NUMBER	ROOM NAME	FLOOR		BASE	DOORFRAME FINISH		WALLS		EAST	WEST	REMARKS
		MAT	COL.		DOOR	PAINT	NORTH	SOUTH			
204	1 BR	LV	1	WD	PF-2	PT	1	PT	1	PT	1, 2, 5
204A	CL	LV	1	WD	PF-2	PT	1	PT	1	PT	1
204B	WD	LV	1	WD	PF-2	PT	1	PT	1	PT	1
204C	BATH	LV	1	WD	PF-2	PT	1	PT	1	PT	1
204D	WH	LV	1	WD	PF-2	PT	1	PT	1	PT	1
204E	CL	LV	1	WD	PF-2	PT	1	PT	1	PT	1
204F	BEDROOM	CR	1	WD	PF-2	PT	1	PT	1	PT	1

**CODED REMARKS - FINISH**

1. REFER TO UNIT DESIGN FOR LEVELS 2 AND 4
2. REFER TO UNIT DESIGN FOR LEVELS 3 AND 5
3. REFER TO FINISH PLAN FOR INSTALL DIRECTION OF FLOORING L1+1 (DIR)
4. INSTALL CT L1+2 TILE IN 1'0" OF SETBACK DETAILS
5. REFER TO SHEETS 8A61 AND FOR L1+1 FINISH DETAILS
6. UPGRADE TO POSTHOLE AND ADJUTANT FINISHES TO INCLUDE CROWN MOLDING, UPGRADED DECORATIVE LIGHTING @ ISLAND AND VANITY AND TILE BACKSPLASH @ KITCHEN. REFER TO SHEETS 8A62 AND 8A63
7. METAL STAR COMPONENTS TO BE PAINTED PT 6 UN.C.

**FINISH LEGEND**

**NOTE:** FINISHES OF UNITS SHOWN ARE BASED ON NORTH ARROW SHOWN IN KEY PLAN. ORIENTATION OF ACTUAL UNITS VARIES WITHIN BUILDING. SEE GENERAL NOTES - FINISH - SHEET AX 01.

**FLOORS:**  
**Color Code:**  
 CL-1: UNIT 1 - MOHAWK BRISTLE TOP CARD - 7/8" OAT STRAW (BROADLOOM) (BROADLOOM)  
 CR-1: UNIT 1 - MOHAWK BRISTLE TOP CARD - 7/8" VERNER SMOKE (BROADLOOM)  
 CR-2: ALADDIN PURE & SIMPLE - 8/8" EMPORER YOURSELF (BROADLOOM)  
 CR-3: MINKY PUT - MANHATTAN (RUBIN 1" X 4" 12" ON 12" HX 1/4") (BROADLOOM)  
 CR-4: ALADDIN PURE & SIMPLE - 8/8" EMPORER YOURSELF (BROADLOOM)  
 CR-5: CARPET TILE AREA RUG - FLOOR LASTING GREENNESS - TEAL/NOIR (BROADLOOM)  
 CR-6: CARPET TILE AREA RUG - FLOOR LASTING GREENNESS - TEAL/NOIR (BROADLOOM)  
 CR-7: CARPET TILE AREA RUG - FLOOR LASTING GREENNESS - TEAL/NOIR (BROADLOOM)  
 CR-8: CARPET TILE AREA RUG - FLOOR LASTING GREENNESS - TEAL/NOIR (BROADLOOM)

**CITY OF DUBLIN APPROVAL**

INDICATES PARTITION WITH SOUND ATTENUATION INSULATION. REFER TO THE WALL PARTITION SCHEDULE FOR ELEVATIONS.

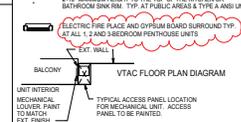
1 HR RATED WALL

2 HR RATED WALL

10 HR RATED WALL

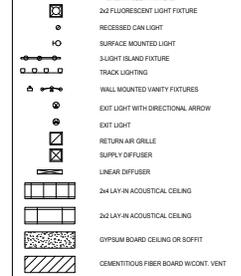
**FLOOR PLAN LEGEND**

- INDICATES PARTITION WITH SOUND ATTENUATION INSULATION. REFER TO THE WALL PARTITION SCHEDULE FOR ELEVATIONS.
- 1 HR RATED WALL
- 2 HR RATED WALL
- 10 HR RATED WALL



**REFLECTED CEILING PLAN LEGEND**

1. ACOUSTIC CEILING TYPE 1 - 2x2 LAY-IN CEILING
2. ACOUSTIC CEILING TYPE 2 - 2x4 LAY-IN CEILING
3. ACOUSTIC CEILING TYPE 3 - 2x4 LAY-IN CEILING
4. CYPRESS BOARD CEILING OR SOFFIT
5. SPECIALLY CEILING TYPE 1 - WOOD MILLWORK



**REFLECTED CLNG. PLAN CODED NOTES**

1. ALIEN FEATURES
2. OPEN TO BELOW
3. WALL GRAZER FIXTURE
4. RECREATIVE PENDANT CLUSTER

**REFLECTED CLNG. PLAN GEN. NOTES**

1. FACE OF BUSINESS SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BUSINESS ARE PARALLEL, UN.C. OR DIMENSIONS.
2. CEILING SPOTS ARE CENTERED IN ROOM UN.C. OR DIMENSIONS.
3. WHERE EXT. SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.

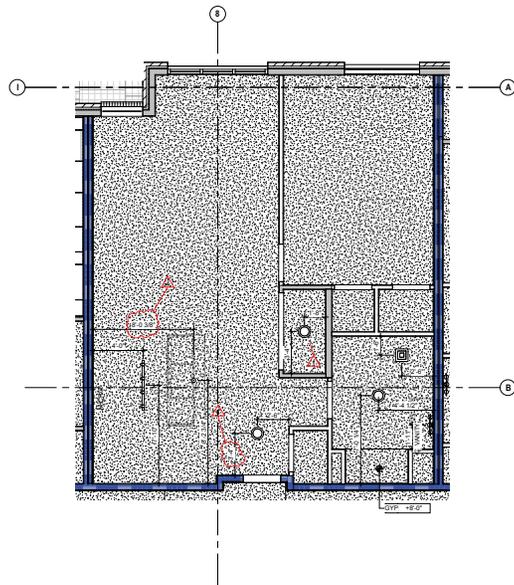
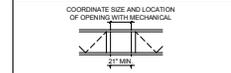
**GENERAL NOTES - UNIT PLAN**

1. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
2. SEE G SERIES SHEETS FOR UNIT FINISH CONSTRUCTION AND PARTITION INFORMATION.
3. EXTERIOR WALL CONDITIONS VARY. REFER TO BUILDING PLAN SHEETS. ALSO REFER TO EXTERIOR WALL, DOOR, WINDOW AND BALCONY CONDITIONAL LOADS.
4. ALL UNITS SHALL BE PROVIDED WITH MECHANICAL, ELECTRICAL AND PLUMBING LAYOUT PRIOR TO ABSTRACTION. TRUSS SHIP DRAWINGS SHALL INDICATE PLUMBING LINES AND HVAC DUCTS. SEE THE TRUSS LAYOUT ON THE SHEET.
5. PROVIDE TWO WIRE SHELF AND HANGER ROD AT ALL CLOSET UNITS. PROVIDE WIRE SHELVES AT VANITY. SEE SPECIFICATIONS. SEE THE "UNIT A" WALL SHEET FOR ADDITIONAL MOUNTING HEIGHT REQUIREMENTS.
6. EXTEND FINISH FLOOR MATERIAL UNDER OTHER APPLIANCES. VANITY IN ALL BATHROOMS AND UNDER ALL REMOVABLE UNITS. BATH CABINETS, SINKS, CUPBOARD AND/OR SHOWER SURROUND BASE, TAMPED GLASS PARTITION AND FLOOR WILL BE SURROUND TO ACCESSIBLE COORDINATE. ROUGH FRAMING DIMENSION REQUIREMENTS FOR PREFABRICATED SHOWER PAN AND BATHUBS. SEE PLUMBING INFORMATION.
7. PROVIDE PREPICKERS AT ALL UNIT ENTRANCES. PROVIDE TWO PREPICKERS AT ALL UNITS.
8. SIZES OF RANGE, DISHWASHER OR OPEN WORK AREAS BELOW THE BASE CABINETS BE COVERED BY FINISHED END (OR BACK) PANEL.
9. PROVIDE WOOD FRAMED MIRRORS ABOVE VANITY SINKS. SEE SHEET 8A60 FOR ELEVATIONS.
10. SEE SHEET 8A61 FOR MOUNTING HEIGHT AND OTHER MOUNTING DIMENSIONS REQUIRED FOR PLUMBING AND OTHER FIXTURES REQUIRED.
11. UNIT FURNITURE NOT IN CONTRACT.
12. CORRIDOR FLOOR, CEILING ASSEMBLIES AND ALL CEILING IN RESIDENTIAL BUILDINGS CONSTRUCTED OF WOOD SHALL BE 1HR RATED. REFER TO L1+1 FOR SPECIFICATIONS SECTION 0711 TO 0714 FOR UNIT DOOR HARDWARE.
13. REFER TO SHEET 8A62 FOR ELEVATION OF APPLIANCES DOORS.
14. REFER TO SPECIFICATIONS SECTION 0711 TO 0714 FOR UNIT DOOR HARDWARE.
15. REFER TO SHEET 8A63 FOR ELEVATION OF APPLIANCES DOORS.
16. REFER TO SHEET 8A64 FOR ELEVATION OF APPLIANCES DOORS.
17. REFER TO SHEET 8A65 FOR ELEVATION OF APPLIANCES DOORS.
18. REFER TO SHEET 8A66 FOR ELEVATION OF APPLIANCES DOORS.
19. REFER TO SHEET 8A67 FOR ELEVATION OF APPLIANCES DOORS.
20. REFER TO SHEET 8A68 FOR ELEVATION OF APPLIANCES DOORS.
21. REFER TO SHEET 8A69 FOR ELEVATION OF APPLIANCES DOORS.
22. REFER TO SHEET 8A70 FOR ELEVATION OF APPLIANCES DOORS.
23. REFER TO SHEET 8A71 FOR ELEVATION OF APPLIANCES DOORS.
24. REFER TO SHEET 8A72 FOR ELEVATION OF APPLIANCES DOORS.
25. REFER TO SHEET 8A73 FOR ELEVATION OF APPLIANCES DOORS.
26. REFER TO SHEET 8A74 FOR ELEVATION OF APPLIANCES DOORS.
27. REFER TO SHEET 8A75 FOR ELEVATION OF APPLIANCES DOORS.
28. REFER TO SHEET 8A76 FOR ELEVATION OF APPLIANCES DOORS.
29. REFER TO SHEET 8A77 FOR ELEVATION OF APPLIANCES DOORS.
30. REFER TO SHEET 8A78 FOR ELEVATION OF APPLIANCES DOORS.
31. REFER TO SHEET 8A79 FOR ELEVATION OF APPLIANCES DOORS.
32. REFER TO SHEET 8A80 FOR ELEVATION OF APPLIANCES DOORS.
33. REFER TO SHEET 8A81 FOR ELEVATION OF APPLIANCES DOORS.
34. REFER TO SHEET 8A82 FOR ELEVATION OF APPLIANCES DOORS.
35. REFER TO SHEET 8A83 FOR ELEVATION OF APPLIANCES DOORS.
36. REFER TO SHEET 8A84 FOR ELEVATION OF APPLIANCES DOORS.
37. REFER TO SHEET 8A85 FOR ELEVATION OF APPLIANCES DOORS.
38. REFER TO SHEET 8A86 FOR ELEVATION OF APPLIANCES DOORS.
39. REFER TO SHEET 8A87 FOR ELEVATION OF APPLIANCES DOORS.
40. REFER TO SHEET 8A88 FOR ELEVATION OF APPLIANCES DOORS.
41. REFER TO SHEET 8A89 FOR ELEVATION OF APPLIANCES DOORS.
42. REFER TO SHEET 8A90 FOR ELEVATION OF APPLIANCES DOORS.
43. REFER TO SHEET 8A91 FOR ELEVATION OF APPLIANCES DOORS.
44. REFER TO SHEET 8A92 FOR ELEVATION OF APPLIANCES DOORS.
45. REFER TO SHEET 8A93 FOR ELEVATION OF APPLIANCES DOORS.
46. REFER TO SHEET 8A94 FOR ELEVATION OF APPLIANCES DOORS.
47. REFER TO SHEET 8A95 FOR ELEVATION OF APPLIANCES DOORS.
48. REFER TO SHEET 8A96 FOR ELEVATION OF APPLIANCES DOORS.
49. REFER TO SHEET 8A97 FOR ELEVATION OF APPLIANCES DOORS.
50. REFER TO SHEET 8A98 FOR ELEVATION OF APPLIANCES DOORS.
51. REFER TO SHEET 8A99 FOR ELEVATION OF APPLIANCES DOORS.
52. REFER TO SHEET 8A00 FOR ELEVATION OF APPLIANCES DOORS.

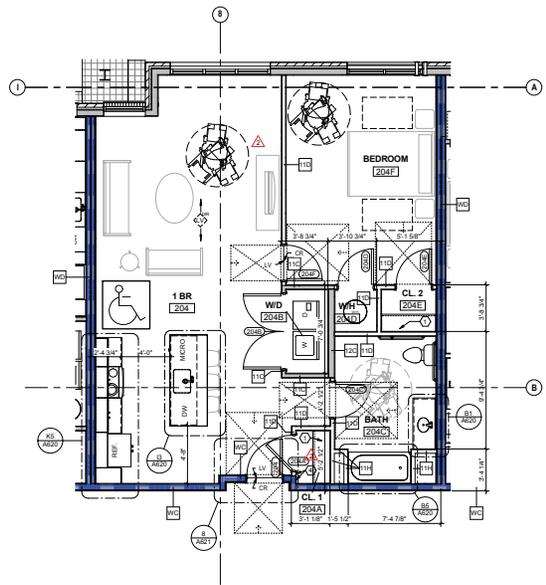
**CODED NOTES - UNIT PLAN**

1. TYPE A FULLY ACCESSIBLE UNIT
2. WIRE SHELVING AND ROD - CLOSET TYPE C
3. WIRE SHELVING AND ROD - VANITY TYPE C
4. ALIEN

**TRUSS OP'NG DIAGRAM AT UNITS**

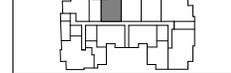


**2 PLAN** RCP - ANSI UNIT - 1 BEDROOM APARTMENT # 204  
1/4" = 1'-0"



**1 PLAN** ENLARGED PLAN - ANSI UNIT - 1 BEDROOM APARTMENT # 204  
1/4" = 1'-0"

**UNIT KEY PLAN**



**KEY PLAN**



#	DATE	CHANGE DESCRIPTION
1	02-17-15	Addendum 1
2	02-24-15	Addendum 2
3	02-25-15	Addendum 3
4	03-17-15	Addendum 4

**BRIDGE PARK BUILDING C1**

for CRAWFORD HOYING development

**MOODY-NOLAN**  
RESPONSIVE ARCHITECTURE

390 Spivey Street, Suite 300, Columbus, Ohio 43215  
Phone: (614) 461-4864, Fax: (614) 288-9887, www.moody-nolan.com

CITY OF MOODY, LIC #006  
JOB DATE: 02/10/15

Design: Author Tech: Const: Checker: 14145

**ANSI UNIT - 1 BEDROOM UNIT** **A614**

CD PERMIT / GMP SET 02.05.2015

DOOR SCHEDULE - UNIT 202. Table with columns: NUMBER, ROOM NAME, WIDTH, HEIGHT, MATERIAL, ELEV, FRAME, FINISH, NEW SET, DETAILS - SHEET AX XX, REMARKS.

ROOM FINISH SCHEDULE - UNIT 202. Table with columns: ROOM NUMBER, SPACE, FLOOR, BASE, DOOR/FRAME FINISH, WALLS, NORTH, SOUTH, EAST, WEST, REMARKS.

CODED REMARKS - FINISH

- 1. REFER TO UNIT DESIGN A FOR LEVELS 1 AND 4... 2. REFER TO FINISH PLAN FOR INSTALL DIRECTION OF FLOORING LV (DR)... 3. INSTALL CT-1 LOBBY TILE IN 10RD OFFSET PATTERN...

FINISH LEGEND

NOTE: FINISHES OF UNITS SHOWN ARE BASED ON NORTH ARROW SHOWN IN KEY PLAN. ORIENTATION OF ACTUAL UNITS VARIES WITHIN BUILDING. NOTE: FINISH PLAN NOTES - FINISH SHEET A01.

- FLOORS: UNIT 1: UNIT A - MOHAWK BRISTOL TOP CARD... UNIT 1: UNIT A - MOHAWK BRISTOL TOP CARD... UNIT 1: UNIT A - MOHAWK BRISTOL TOP CARD...

CITY OF DUBLIN APPROVAL

INDICATES PARTITION WITH SOUND ATTENUATION. REFER TO THE WALL PARTITION SCHEDULE.

FLOOR PLAN LEGEND

- 1 HR RATED WALL, 2 HR RATED WALL, 1 1/2 HR RATED WALL, 1 1/4 HR RATED WALL.

- PLAN ELEVATION, MAIL BOX, PARCEL BOX, COMPLIANCE, PORTABLE FIRE EXTINGUISHER, TYPE A FULLY ACCESSIBLE UNIT.

- REQUIRED 30" MIN WHEELCHAIR CLEARANCE, 2'-0" MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATH-ROOM SINK, ELECTRIC FIRE RAZOR AND DYPSUM BOARD SURROUND.

- REFLECTED CEILING PLAN LEGEND: 24" FLUORESCENT LIGHT FIXTURE, 14" FLUORESCENT LIGHT FIXTURE, 4" LINEAR FLUSH FIXTURE, 30" FLUORESCENT LIGHT FIXTURE.

- REFLECTED CLNG. PLAN CODED NOTES: 1. ALIEN FEATURES, 2. OPEN TABULAR, 3. MALL GRATER FIXTURE, 4. DECORATIVE PENDANT CLUSTER.

- REFLECTED CLNG. PLAN GEN. NOTES: 1. FACE OF BUREAU: SHALL SHOW WHERE OF ADJACENT WALL TO WHICH BUREAUS ARE PARALLEL, UNLESS OTHERWISE NOTED.

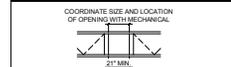
GENERAL NOTES - UNIT PLAN

- 1. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE... 2. SEE B SERIES SHEETS FOR WALL TYPE CONSTRUCTION AND PARTITION INFORMATION... 3. EXTERIOR WALL CONDITIONS VARY. REFER TO BUILDING PLAN SHEETS...

CODED NOTES - UNIT PLAN

- 1. 1/2" SHELVING AND ROD - CLOSET TYPE A, 2. 1/2" SHELVING AND ROD - CLOSET TYPE B, 3. 1/2" SHELVING AND ROD - HANGERY TYPE A, 4. ALIEN.

TRUSS OP'NG DIAGRAM AT UNITS



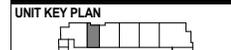
UNIT KEY PLAN



KEY PLAN



BRIDGE PARK BUILDING C1



for CRAWFORD HOYING development

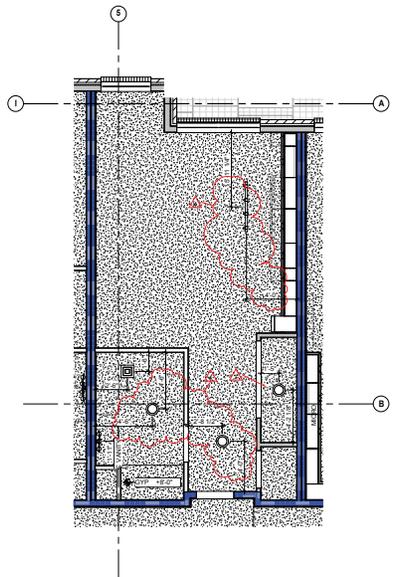
MOODY-NOLAN RESPONSIVE ARCHITECTURE

390 Sproule Street, Suite 300, Columbus, Ohio 43215. Phone: (614) 461-4864. Fax: (614) 968-9887. www.moodynolan.com

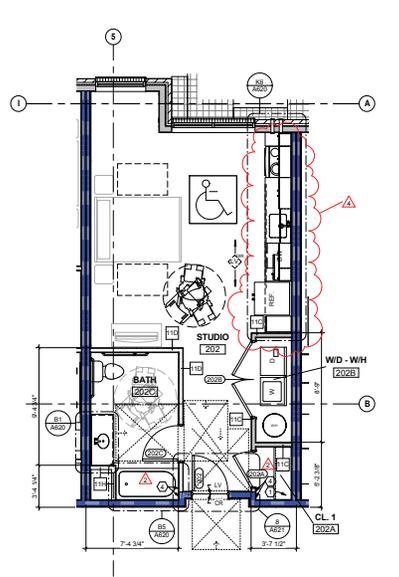
Design: Author, Tech: Coord., Checker. 14145

ANSI UNIT - STUDIO UNIT. CO PERMIT / GMP SET. 02.05.2015

2 PLAN RCP - ANSI UNIT - STUDIO APARTMENT # 202. 1/4" = 1'-0"



1 PLAN ENLARGED PLAN - ANSI UNIT - STUDIO APARTMENT # 202. 1/4" = 1'-0"





# BRIDGE PARK

DUBLIN, OH

## BUILDING C1

6680 RIVERSIDE DR. DUBLIN, OH 43017

PREPARED FOR:



PREPARED BY:

MECHANICAL, ELECTRICAL, &  
PLUMBING ENGINEER



6130 Wilcox Road  
Dublin, OH 43016  
(614) 766-4896

STRUCTURAL ENGINEER



937 West 3rd Avenue  
Columbus, OH 43212  
(614) 428-4400

ARCHITECT



300 Spruce Street  
Suite 300  
Columbus, OH 43215  
(614) 461-4664

CIVIL ENGINEER



5500 New Albany Road  
Columbus, OH 43054  
(614) 775-4500

LANDSCAPE ARCHITECT



5737 Lake Forest Way  
Westerville, OH 43082  
(614) 895-5699

LANDSCAPE ARCHITECT

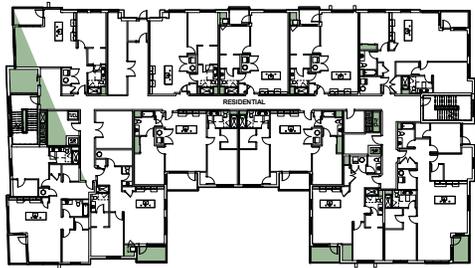


462 S. Ludlow Alley  
Columbus, OH 43215  
(614) 621-2796

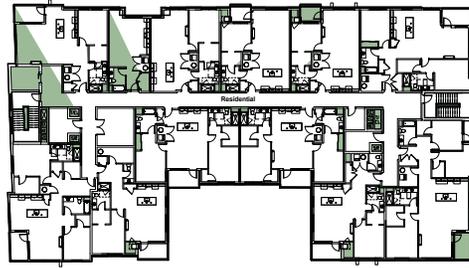
# CD PERMIT / GMP SET 02.05.2015



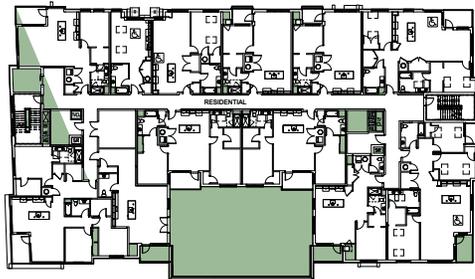
CRAWFORD HOYING, LLC #1906  
EXP. DATE: 12/31/2015



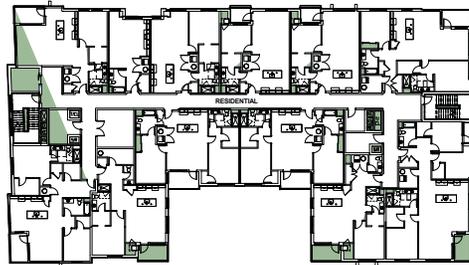
**3 LEVEL C1-3**  
1" = 20'-0"



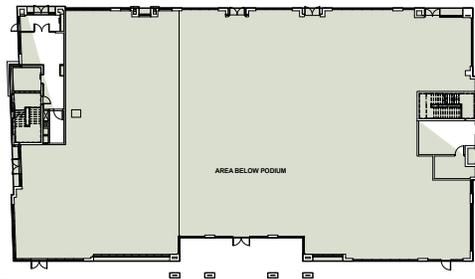
**5 LEVEL C1-5**  
1" = 20'-0"



**2 LEVEL C1-2**  
1" = 20'-0"



**4 LEVEL C1-4**  
1" = 20'-0"

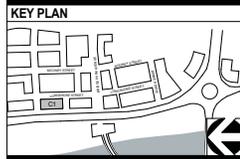


**1 LEVEL C1-1**  
1" = 20'-0"

CITY OF DUBLIN APPROVAL

AREA BELOW PODIUM  
 RESIDENTIAL

Area Schedule (Department Cross)		
Level	Department	Area
LEVEL 1	AREA BELOW PODIUM	18234 SF
LEVEL 2	RESIDENTIAL	19083 SF
LEVEL 3	RESIDENTIAL	18978 SF
LEVEL 4	RESIDENTIAL	18978 SF
LEVEL 5	RESIDENTIAL	17000 SF
Grand total:		5



#	DATE	CHANGE DESCRIPTION

**BRIDGE PARK BUILDING C1**  
 1465 HUNTSIDE DR, DUBLIN, OH 43017

for  
**CRAWFORD HOYING development**

**MOODY-NOLAN**  
 RESPONSIVE ARCHITECTURE

300 Spice Street Phone: (614) 461-4864  
 Suite 300 Fax: (614) 285-8881  
 Columbus, Ohio 43215 www.moodynolan.com

CURTIS J. MOODY, LIC #766  
 EXP. DATE: 12/31/2015

Proj. Coord.: Author Tech. Coord.: Checker 14145

**GROSS AREA SUMMARY**  
**G004**

CD PERMIT / GMP SET 02.05.2015



**2 LEVEL C1-3**  
1/16" = 1'-0"



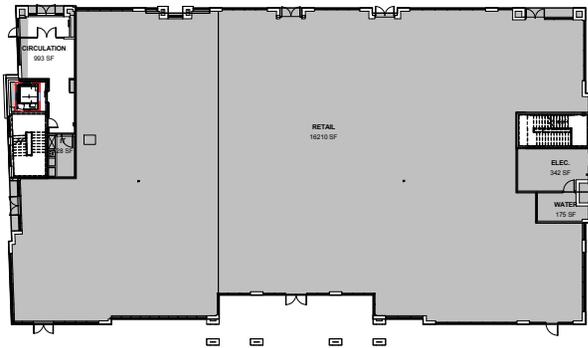
**4 LEVEL C1-5**  
1/16" = 1'-0"



**1 LEVEL C1-2**  
1/16" = 1'-0"



**3 LEVEL C1-4**  
1/16" = 1'-0"



**5 LEVEL C1-1**  
1/16" = 1'-0"

CITY OF DUBLIN APPROVAL

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- PATIO
- RESIDENTIAL N.L.
- STUDIO

Area Schedule (Building Net)

Level	Department	Area
LEVEL 2	1 BEDROOM	909 SF
LEVEL 2	1 BEDROOM	909 SF
LEVEL 2	1 BEDROOM	942 SF
LEVEL 2	1 BEDROOM	1005 SF
LEVEL 2	1 BEDROOM	1025 SF
LEVEL 3	1 BEDROOM	909 SF
LEVEL 3	1 BEDROOM	909 SF
LEVEL 3	1 BEDROOM	942 SF
LEVEL 3	1 BEDROOM	1005 SF
LEVEL 3	1 BEDROOM	1025 SF
LEVEL 3	1 BEDROOM	1062 SF
LEVEL 4	1 BEDROOM	909 SF
LEVEL 4	1 BEDROOM	909 SF
LEVEL 4	1 BEDROOM	942 SF
LEVEL 4	1 BEDROOM	1005 SF
LEVEL 4	1 BEDROOM	1025 SF
LEVEL 4	1 BEDROOM	1062 SF
LEVEL 5	1 BEDROOM	909 SF
LEVEL 5	1 BEDROOM	909 SF
LEVEL 5	1 BEDROOM	942 SF
LEVEL 5	1 BEDROOM	1005 SF
LEVEL 5	1 BEDROOM	1025 SF
LEVEL 5	1 BEDROOM	1062 SF
LEVEL 2	2 BEDROOM	1222 SF
LEVEL 2	2 BEDROOM	1222 SF
LEVEL 2	2 BEDROOM	1431 SF
LEVEL 3	2 BEDROOM	1222 SF
LEVEL 3	2 BEDROOM	1222 SF
LEVEL 3	2 BEDROOM	1410 SF
LEVEL 3	2 BEDROOM	1431 SF
LEVEL 4	2 BEDROOM	1222 SF
LEVEL 4	2 BEDROOM	1222 SF
LEVEL 4	2 BEDROOM	1222 SF
LEVEL 4	2 BEDROOM	1410 SF
LEVEL 4	2 BEDROOM	1431 SF
LEVEL 5	2 BEDROOM	1222 SF
LEVEL 5	2 BEDROOM	1222 SF
LEVEL 5	2 BEDROOM	1410 SF
LEVEL 5	2 BEDROOM	1431 SF
LEVEL 2	3 BEDROOM	1678 SF
LEVEL 2	3 BEDROOM	1735 SF
LEVEL 3	3 BEDROOM	1735 SF
LEVEL 4	3 BEDROOM	1735 SF
LEVEL 5	3 BEDROOM	1735 SF
LEVEL 1	CIRCULATION	993 SF
LEVEL 2	PATIO	55 SF
LEVEL 2	PATIO	57 SF
LEVEL 2	PATIO	57 SF
LEVEL 2	PATIO	73 SF
LEVEL 2	PATIO	76 SF
LEVEL 2	PATIO	79 SF
LEVEL 2	PATIO	80 SF
LEVEL 2	PATIO	83 SF
LEVEL 2	PATIO	83 SF
LEVEL 2	PATIO	86 SF
LEVEL 2	PATIO	87 SF
LEVEL 2	PATIO	2109 SF
LEVEL 3	PATIO	55 SF
LEVEL 3	PATIO	57 SF
LEVEL 3	PATIO	57 SF
LEVEL 3	PATIO	73 SF
LEVEL 3	PATIO	79 SF
LEVEL 3	PATIO	79 SF
LEVEL 3	PATIO	80 SF
LEVEL 3	PATIO	83 SF
LEVEL 3	PATIO	83 SF
LEVEL 3	PATIO	86 SF
LEVEL 3	PATIO	87 SF
LEVEL 4	PATIO	55 SF
LEVEL 4	PATIO	57 SF
LEVEL 4	PATIO	57 SF
LEVEL 4	PATIO	73 SF
LEVEL 4	PATIO	79 SF
LEVEL 4	PATIO	79 SF
LEVEL 4	PATIO	80 SF
LEVEL 4	PATIO	83 SF
LEVEL 4	PATIO	83 SF
LEVEL 4	PATIO	86 SF
LEVEL 4	PATIO	87 SF
LEVEL 5	PATIO	55 SF
LEVEL 5	PATIO	57 SF
LEVEL 5	PATIO	57 SF
LEVEL 5	PATIO	73 SF
LEVEL 5	PATIO	79 SF
LEVEL 5	PATIO	79 SF
LEVEL 5	PATIO	80 SF
LEVEL 5	PATIO	83 SF
LEVEL 5	PATIO	83 SF
LEVEL 5	PATIO	86 SF
LEVEL 5	PATIO	87 SF
LEVEL 2	RESIDENTIAL N.L.	3560 SF
LEVEL 3	RESIDENTIAL N.L.	3307 SF
LEVEL 4	RESIDENTIAL N.L.	2766 SF
LEVEL 5	RESIDENTIAL N.L.	2766 SF
LEVEL 1	RETAL	16210 SF
LEVEL 1	SERVICE	128 SF
LEVEL 1	SERVICE	175 SF
LEVEL 1	SERVICE	342 SF
LEVEL 2	STUDIO	541 SF
LEVEL 4	STUDIO	541 SF
LEVEL 5	STUDIO	541 SF
		87943 SF

KEY PLAN



#	DATE	CHANGE DESCRIPTION

BRIDGE PARK BUILDING C1

1885 HYVOCOSSE DR. DUBLIN, OH 43017

by CRAWFORD HOYING development

MOODY-NOLAN RESPONSIVE ARCHITECTURE

300 Spinoe Street Suite 300 Columbus, Ohio 43215 Phone: (614) 461-4864 Fax: (614) 266-8881 www.moodynolan.com



Desig. Coord.: Author Tech. Coord.: Checker 14145

RESIDENTIAL AREA PLANS G005 CD PERMIT / GMP SET 02.05.2015