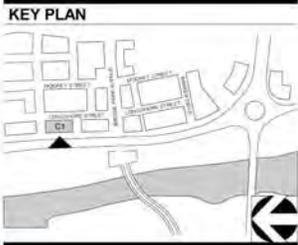


BUILDING C1

6680 RIVERSIDE DRIVE
DUBLIN, OHIO 43017

USE	AREA
FOOD/ BEVERAGE	18,411 SF
RESIDENTIAL	67,834 SF
PATIO	2,313 SF
TOTAL	88,557 SF



MIXED USE BUILDING TYPE

02-26-2015

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

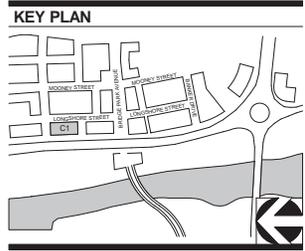
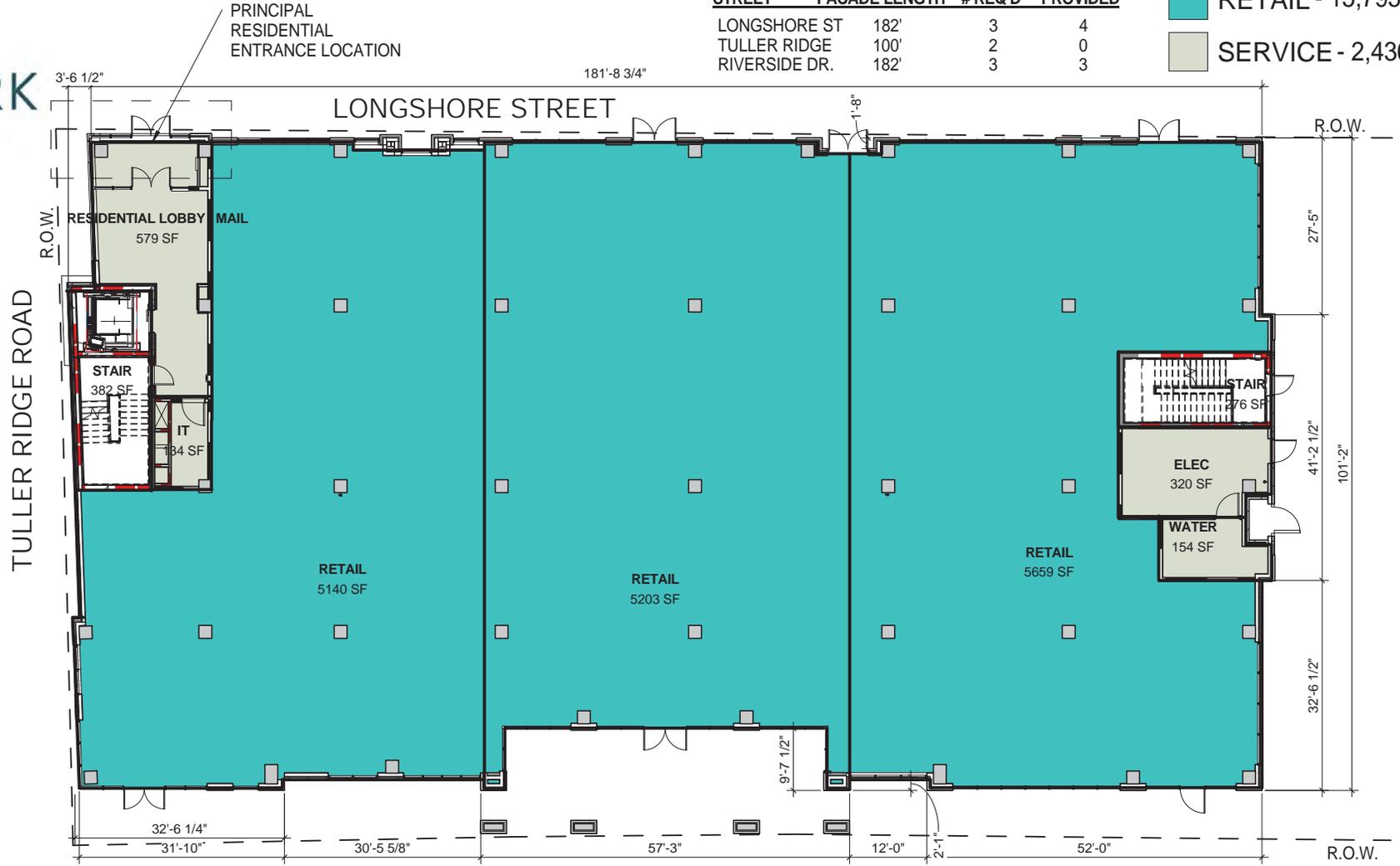


BRIDGE PARK
DUBLIN, OH

STREET FACADE ENTRANCES REQUIRED
1 PER 75' OF FACADE (MIN.)

STREET	FACADE LENGTH	# REQ'D	PROVIDED
LONGSHORE ST	182'	3	4
TULLER RIDGE	100'	2	0
RIVERSIDE DR.	182'	3	3

RETAIL - 15,795 SF
 SERVICE - 2,436 SF



1 C1 - LEVEL 1 FLOOR PLAN (EL. 810.00')
1/16" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

02-26-2015



BRIDGE PARK

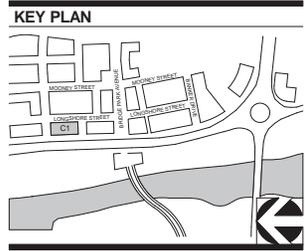
DUBLIN, OH

- AMENITY - 663 SF.
- RESIDENTIAL - 11,848 SF.
- CIRCULATION - 2,194 SF.
- SERVICE - 878 SF.
- PATIO - 3,022 SF.

UNIT QUANTITY 2FL	
Name	Quantity

1 BR (HC)	1
2 BR (HC)	1
3 BR (HC)	1
STUDIO (HC)	1
HC RM: 4	
1 BR	4
2 BR	2
3 BR	1

RM: 7
Grand total: 11



1 C1 - LEVEL 2 FLOOR PLAN (EL. 830.00')
1/16" = 1'-0"

MIXED USE BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

02-26-2015

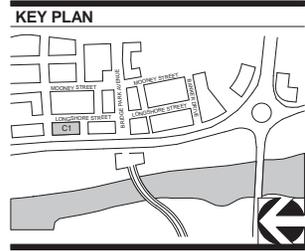
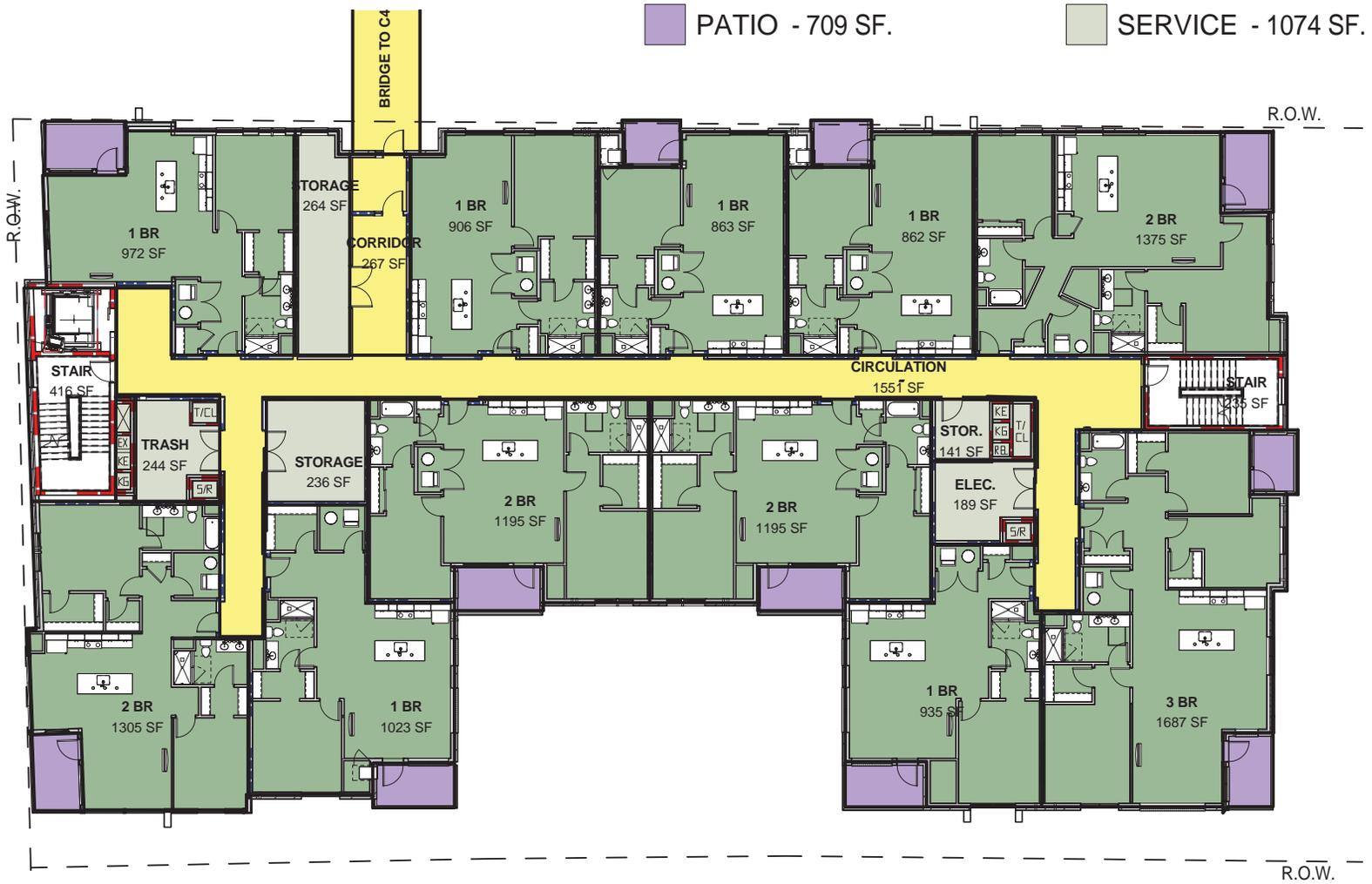


BRIDGE PARK

DUBLIN, OH

UNIT QUANTITY 3FL	
Name	Quantity
1 BR	6
2 BR	4
3 BR	1
CORRIDOR	1
Grand total: 12	

- CIRCULATION - 2,469 SF.
- RESIDENTIAL - 12,892 SF.
- PATIO - 709 SF.
- SERVICE - 1074 SF.



1 C1 - LEVEL 3 FLOOR PLAN (EL. 840.72')

1/16" = 1'-0"

MIXED USE BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

02-26-2015



BRIDGE PARK

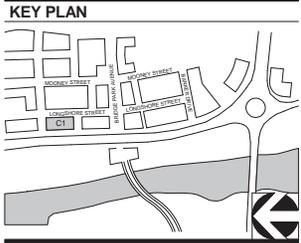
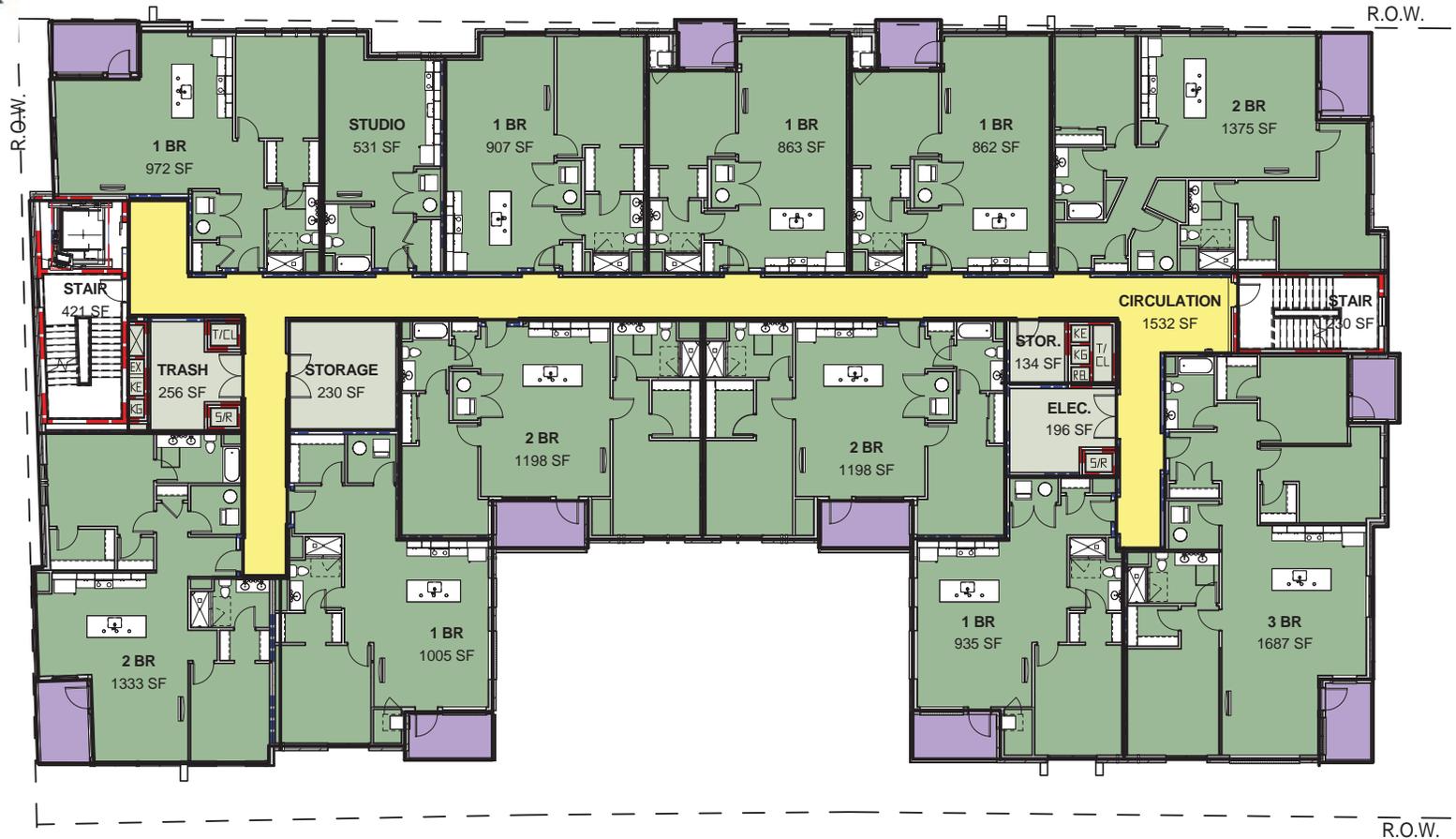
DUBLIN, OH

CIRCULATION - 2,183 SF.
 RESIDENTIAL - 13,436 SF.
 PATIO - 709 SF.
 SERVICE - 816 SF.

UNIT QUANTITY 4FL	
Name	Quantity

1 BR	6
2 BR	4
3 BR	1

Grand total: 11



1 C1 - LEVEL 4 FLOOR PLAN (EL. 851.37')
1/16" = 1'-0"

MIXED USE BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

02-26-2015



BRIDGE PARK

DUBLIN, OH

CIRCULATION - 2,183 SF.

RESIDENTIAL - 13,436 SF.

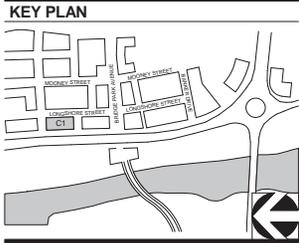
PATIO - 709 SF.

SERVICE - 816 SF.

UNIT QUANTITY 5FL	
Name	Quantity

1 BR	6
2 BR	4
3 BR	1
STUDIO	1

Grand total: 12



1 C1 - LEVEL 5 FLOOR PLAN (EL. 862.03')
1/16" = 1'-0"

MIXED USE BUILDING TYPE

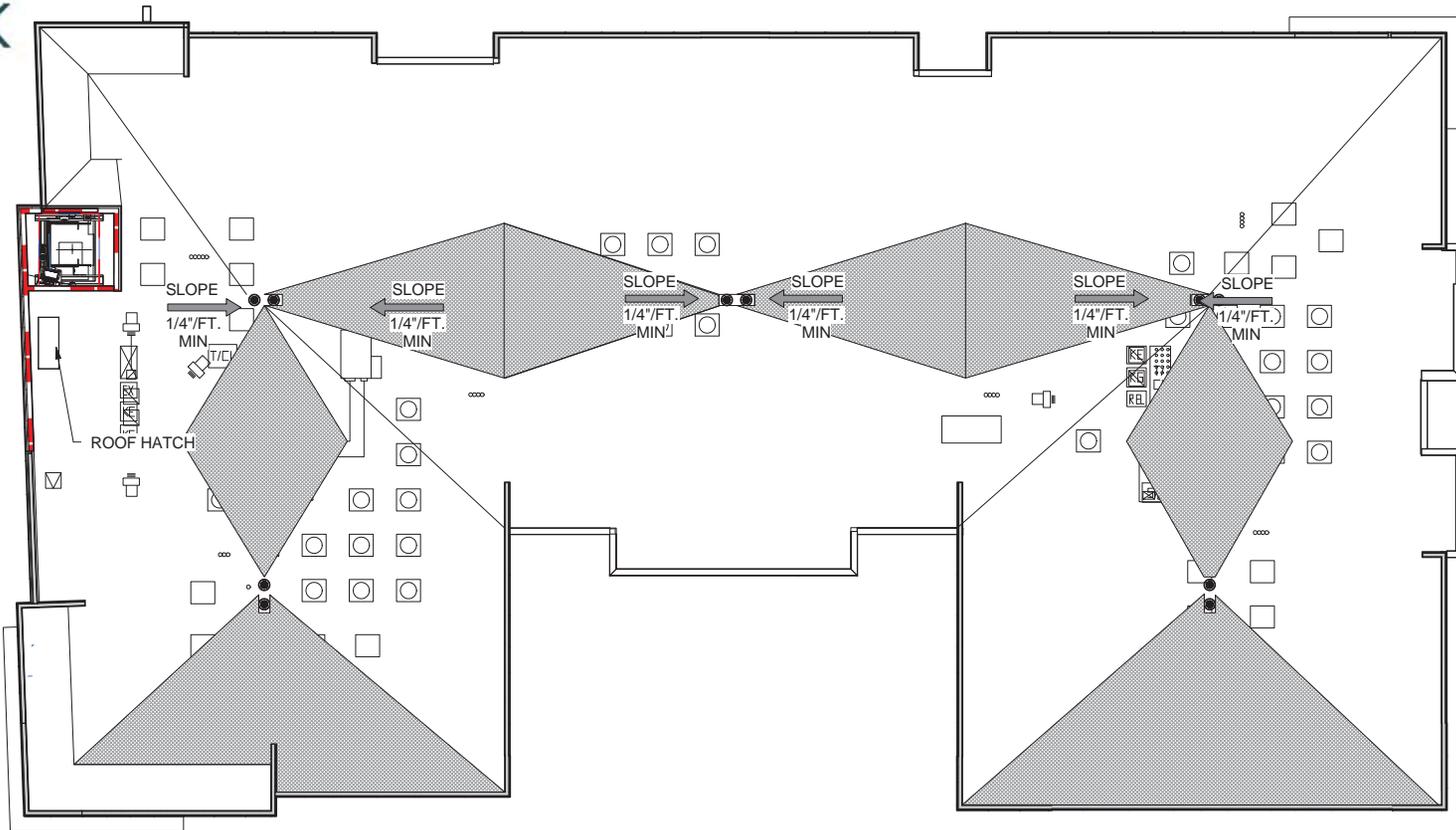
11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

02-26-2015

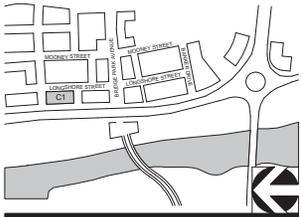


BRIDGE PARK

DUBLIN, OH



KEY PLAN



1 C1 - ROOF PLAN (EL. 872.63')

1/16" = 1'-0"

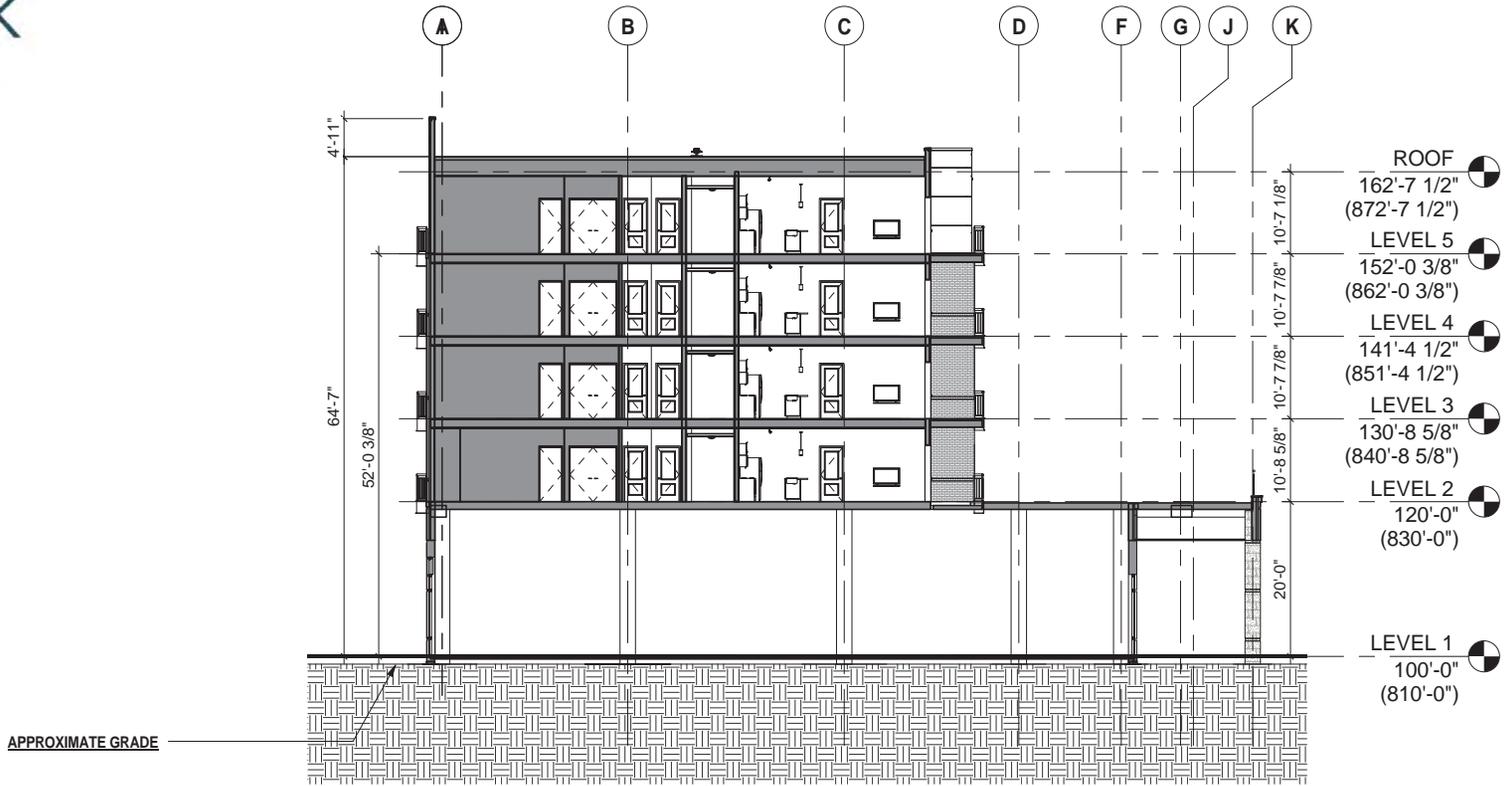
MIXED USE BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

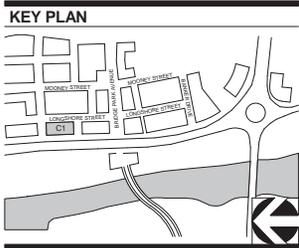
02-26-2015



BRIDGE PARK
DUBLIN, OH



1 C1 - BUILDING SECTION
1/16" = 1'-0"



MIXED USE BUILDING TYPE

02-26-2015

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"



BRIDGE PARK

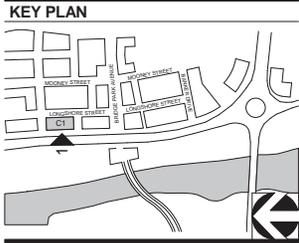
DUBLIN, OH

VERTICAL FACADE DIVISIONS
(45' OR LESS REQUIRED)

Balcony side walls included in story area for transparency and material calculations

STREET FACADE TRANSPARENCY

- 5th Story**
Story Area: 2,835 sf
Transparency: 722 sf
Required: 30%
Provided: 20%
- 4th Story**
Story Area: 2,847 sf
Transparency: 722 sf
Required: 30%
Provided: 25%
- 3rd Story**
Story Area: 2,847 sf
Transparency: 722 sf
Required: 30%
Provided: 25%
- 2nd Story**
Story Area: 2,859 sf
Transparency: 682 sf
Required: 30%
Provided: 24%
- 1st Story**
Story Area: 1,270 sf
Transparency: 893 sf
Required: 60%
Provided: 70%



PRINCIPAL ENTRANCE LOCATION
(As applicable along primary street facade of building)

HORIZONTAL FACADE DIVISIONS
(Required within 3' of top of ground story on buildings 3 stories and taller)

FACADE MATERIALS

Overall area of Elevation : 12,127 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	3,308 sf	27%		
Calcium Silicate Masonry Unit (CSMU)	Primary	1,253 sf	10%		
Glass	Primary	3,536 sf	29%		
		8,097 sf	66%	80%	N
Composite Metal Panel (CMP)	Secondary	2,810 sf	23%		
Exterior Insulated Finishing System (EIFS)	Permitted As Trim	172 sf	2%		
Misc. Elements		1,048 sf	9%		
		4,030 sf	34%	<20%	N

1 C1- WEST ELEVATION

1/16" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

02-26-2015



BRIDGE PARK

DUBLIN, OH

VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)

51'-6 1/8" 27'-7 1/2" 3'-10 1/2"

STREET FACADE TRANSPARENCY

5th Story
 Story Area: 1,092 sf
 Transparency: 230 sf
 Required: 30%
 Provided: 21%

4th Story
 Story Area: 1,098 sf
 Transparency: 230 sf
 Required: 30%
 Provided: 21%

3rd Story
 Story Area: 1,098 sf
 Transparency: 230 sf
 Required: 30%
 Provided: 21%

2nd Story
 Story Area: 1,098 sf
 Transparency: 230 sf
 Required: 30%
 Provided: 21%

1st Story
 Story Area: 608sf
 Transparency: 223 sf
 Required: 60%
 Provided: 37%

Story Height

(See Typ. Notes)

ROOF
 162'-7 1/2"
 (872'-7 1/2")

LEVEL 5
 152'-0 3/8"
 (862'-0 3/8")

LEVEL 4
 141'-4 1/2"
 (851'-4 1/2")

LEVEL 3
 130'-8 5/8"
 (840'-8 5/8")

LEVEL 2
 120'-0"
 (830'-0")

LEVEL 1
 100'-0"
 (810'-0")

EAST LOBBY
 102'-0"
 (812'-0")

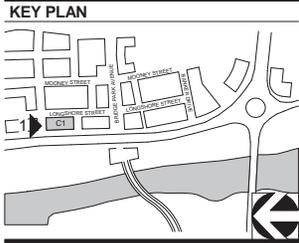
HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)

FACADE MATERIALS

Overall area of Elevation : 7,402 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,393 sf	32%		
Calcium Silicate Masonry Unit (CSMU)	Primary	387 sf	5%		
Glass	Primary	1,299 sf	18%		
		4,079 sf	55%	80%	N
Composite Metal Panel (CMP)	Secondary	2,041 sf	40%		
Exterior Insulated Finishing System (EIFS)	Permitted As Trim	0 sf	0%		
Misc. Elements		382 sf	5%		
		3,323 sf	45%	<20%	N



1 C1 - NORTH ELEVATION

1/16" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

02-26-2015



BRIDGE PARK

DUBLIN, OH

VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)

Balcony side walls included in story area for transparency and material calculations

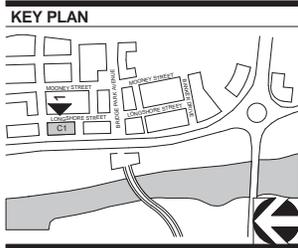
STREET FACADE TRANSPARENCY

Story	Story Area	Transparency	Required	Provided
5th Story	2,271 sf	461 sf	30%	20%
4th Story	2,283 sf	454 sf	30%	20%
3rd Story	2,283 sf	438 sf	30%	19%
2nd Story	2,296 sf	461 sf	30%	20%
1st Story	1,168 sf	727 sf	70%	62%



Story Height (See Typ. Notes)

ROOF	162'-7 1/2"	(872'-7 1/2")
LEVEL 5	152'-0 3/8"	(862'-0 3/8")
LEVEL 4	141'-4 1/2"	(851'-4 1/2")
LEVEL 3	130'-8 5/8"	(840'-8 5/8")
LEVEL 2	120'-0"	(830'-0")
EAST LOBBY	102'-0"	(812'-0")
LEVEL 1	100'-0"	(810'-0")



HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)

FACADE MATERIALS

Overall area of Elevation : 13,612 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	5,056 sf	37%		
Calcium Silicate Masonry Unit (CSMU)	Primary	1,454 sf	11%		
Glass	Primary	3,021 sf	22%		
		9,531 sf	70%	80%	N
Composite Metal Panel (CMP)	Secondary	2,858 sf	21%		
Exterior Insulated Finishing System (EIFS)	Permitted As Trim	392 sf	3%		
Misc. Elements		832 sf	6%		
		4,082 sf	30%	<20%	N

PRINCIPAL ENTRANCE LOCATION

(As applicable along primary street facade of building)

1 C1 - EAST ELEVATION

1/16" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

02-26-2015



BRIDGE PARK

DUBLIN, OH

VERTICAL FACADE DIVISIONS
(45° OR LESS REQUIRED)

Balcony side walls included in story area for transparency and material calculations

Story Height
(See Typ. Notes)

- ROOF
162'-7 1/2"
(872'-7 1/2")
- LEVEL 5
152'-0 3/8"
(862'-0 3/8")
- LEVEL 4
141'-4 1/2"
(851'-4 1/2")
- LEVEL 3
130'-8 5/8"
(840'-8 5/8")
- LEVEL 2
120'-0"
(830'-0")
- LEVEL 1
100'-0"
(810'-0")



NON-STREET FACADE TRANSPARENCY

- 5th Story**
Story Area: 1,207 sf
Transparency: 211 sf
Required: 15%
Provided: 17%
- 4th Story**
Story Area: 1,213 sf
Transparency: 228 sf
Required: 15%
Provided: 19%
- 3rd Story**
Story Area: 1,213 sf
Transparency: 228 sf
Required: 15%
Provided: 19%
- 2nd Story**
Story Area: 1,220 sf
Transparency: 228 sf
Required: 15%
Provided: 19%
- 1st Story**
Story Area: 634sf
Transparency: 211 sf
Required: 15%
Provided: 33%

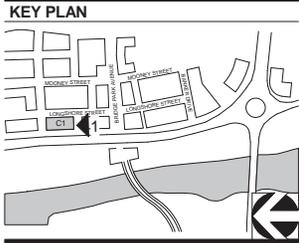
HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)

FACADE MATERIALS

Overall area of Elevation : 6,702 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,437 sf	36%		
Calcium Silicate Masonry Unit (CSMU)	Primary	1,016 sf	15%		
Glass	Primary	1,281 sf	19%		
		4,734 sf	70%	80%	N
Composite Metal Panel (CMP)	Secondary	1,197 sf	18%		
Exterior Insulated Finishing System (EIFS)	Permitted As Trm	159 sf	2%		
Misc. Elements		612 sf	9%		
		1,968 sf	29%	<20%	N



1 C1 - SOUTH ELEVATION

1/16" = 1'-0"

MIXED USE BUILDING TYPE

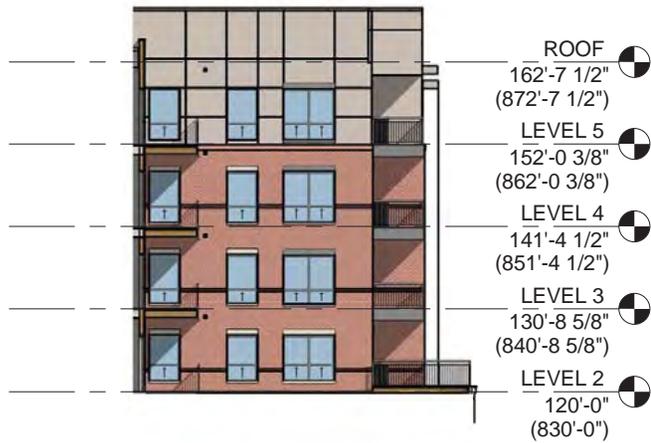
11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

02-26-2015



BRIDGE PARK

DUBLIN, OH



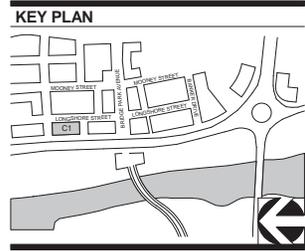
1 NORTH @ ROOF GARDEN
1/16" = 1'-0" NON-STREET ELEVATION



2 SOUTH @ ROOF GARDEN
1/16" = 1'-0" NON-STREET ELEVATION



3 WEST @ ROOF GARDEN
1/16" = 1'-0" FACADE CALCULATION ON INCLUDED ON THE WEST ELEVATIONS



MIXED USE BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

02-26-2015

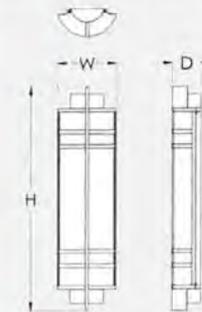


BRIDGE PARK

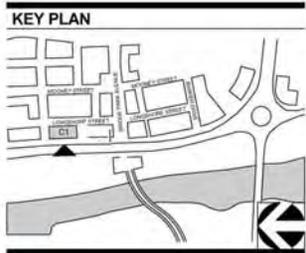
DUBLIN, OH



UP-DOWN WALL SCONCE



LINEAR WALL SCONCE
Dimensions- 8-1/8" x 31"



1 C1 - LIGHT FIXTURE DETAILS

MIXED USE BUILDING TYPE

NO SCALE

02-26-2015



BRIDGE PARK

DUBLIN, OH

-Ground Story Street Façade Transparency Required: 62% does not meet requirement. Maximum transparency is provided adequate to the design and programmatic functions at this level.

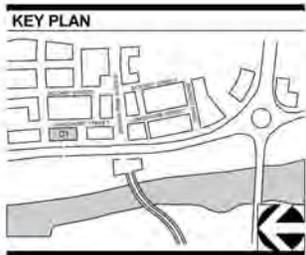
-Upper Story Street Façade Transparency Required: 24% does not meet requirement. Maximum transparency is provided, while maintaining residential privacy and following good sustainable practices.

-Blank Wall Limitations: North elevation does not meet requirement. An egress stair is located behind this wall, and the area is intended to be a location for super graphics.

- Number of Street Façade Entrances Required: North façade does not meet requirement. Main building entrances are located on East and West facades. Number of entrances and their locations could change based on future tenant requirements.

-Vertical Increments Required: Requirement exceeded where indicated on elevation sheets. This area is intended to be a location for super graphics.

-Permitted Primary Materials: Secondary materials exceed requirement (34%). Composite metal panels and EIFS are used along with brick, stone and glass, to add visual interest and material contrast to the building. They are also used to incorporate a "lighter" top to the building, to emphasize the visual proportions of base, middle and top, as well as to provide a comfortable street scale.



1 C1 - WAIVER SUMMARY

MIXED USE BUILDING TYPE

02-26-2015



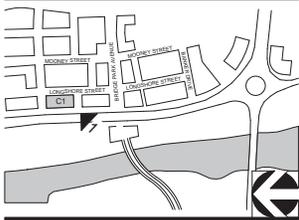
BRIDGE PARK

DUBLIN, OH



MASSING - VIEW FROM SOUTHWEST CORNER

KEY PLAN



MIXED USE BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

02-26-2015



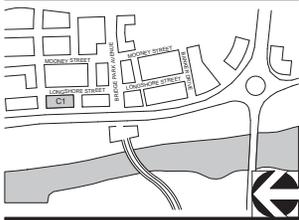
BRIDGE PARK

DUBLIN, OH



MASSING - VIEW FROM NORTH EAST CORNER

KEY PLAN



MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

02-26-2015



BRIDGE PARK

DUBLIN, OH

BUILDING C1

6680 RIVERSIDE DR. DUBLIN, OH 43017

PREPARED FOR:



PREPARED BY:

MECHANICAL, ELECTRICAL, &
PLUMBING ENGINEER



6130 Wilcox Road
Dublin, OH 43016
(614) 766-4896

STRUCTURAL ENGINEER



937 West 3rd Avenue
Columbus, OH 43212
(614) 428-4400

ARCHITECT



300 Spruce Street
Suite 300
Columbus, OH 43215
(614) 461-4664

CIVIL ENGINEER



5500 New Albany Road
Columbus, OH 43054
(614) 775-4500

LANDSCAPE ARCHITECT



5737 Lake Forest Way
Westerville, OH 43082
(614) 895-5699

LANDSCAPE ARCHITECT



462 S. Ludlow Alley
Columbus, OH 43215
(614) 621-2796

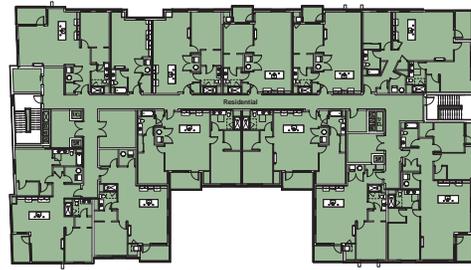
CD PERMIT / GMP SET 02.05.2015



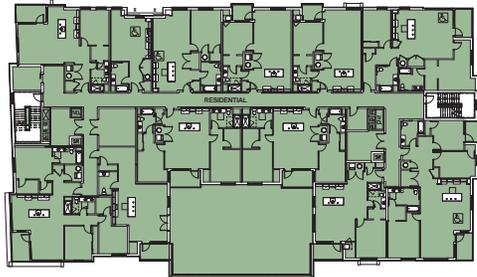
CARTER MOODY, LLC #1936
EXP. DATE: 12/31/2015



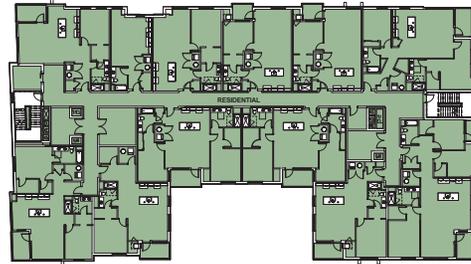
3 LEVEL C1-3
1" = 20'-0"



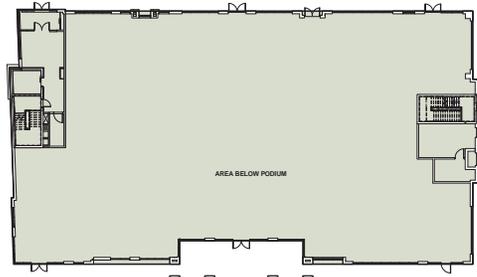
5 LEVEL C1-5
1" = 20'-0"



2 LEVEL C1-2
1" = 20'-0"



4 LEVEL C1-4
1" = 20'-0"

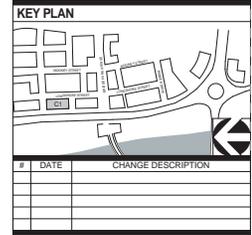


1 LEVEL C1-1
1" = 20'-0"

CITY OF DUBLIN APPROVAL

- AREA BELOW PODIUM
- RESIDENTIAL

Area Schedule (Department Gross)		
Level	Department	Area
LEVEL 1	AREA BELOW PODIUM	18234 SF
LEVEL 2	RESIDENTIAL	19083 SF
LEVEL 3	RESIDENTIAL	16278 SF
LEVEL 4	RESIDENTIAL	16978 SF
LEVEL 5	RESIDENTIAL	17000 SF
Grand total:		5



#	DATE	CHANGE DESCRIPTION

BRIDGE PARK BUILDING C1
1600 RIVERSIDE DR, DUBLIN, OH 43017

for **CRAWFORD HOYING development**

MOODY•NOLAN
RESPONSIVE ARCHITECTURE

300 Spruce Street Suite 300 Columbus, Ohio 43215 Phone: (614) 461-4861 Fax: (614) 285-8881 www.moodynolan.com

CITY OF DUBLIN
COURT REPORTER
COURT REPORTER
COURT REPORTER
COURT REPORTER

CD#15-1-00007, LIC #706
EXP. DATE: 02/05/2015

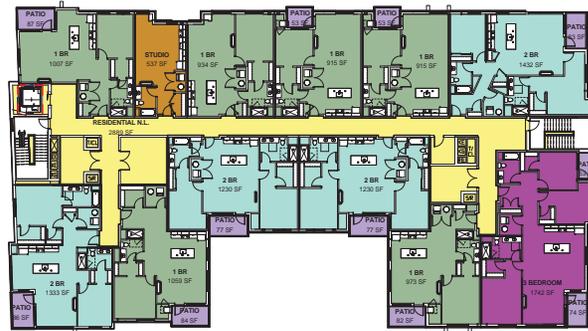
Proj. Coord.: Author Tech. Coord.: Checker 14145

GROSS AREA SUMMARY
CD PERMIT / GMP SET

G004
02.05.2015



2 LEVEL C-3
1/16" = 1'-0"



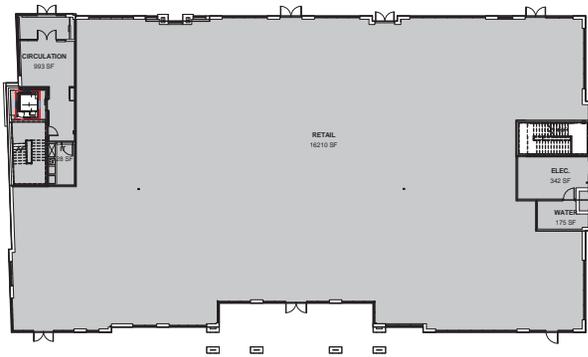
4 LEVEL C1-5
1/16" = 1'-0"



1 LEVEL C1-2
1/16" = 1'-0"



3 LEVEL C1-4
1/16" = 1'-0"



5 LEVEL C1-1
1/16" = 1'-0"

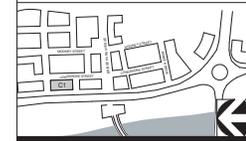
CITY OF DUBLIN APPROVAL

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- PATIO
- RESIDENTIAL N.L.
- STUDIO

Area Schedule (Building Net)

Level	Department	Area
LEVEL 2	1 BEDROOM	913 SF
LEVEL 2	1 BEDROOM	913 SF
LEVEL 2	1 BEDROOM	931 SF
LEVEL 2	1 BEDROOM	969 SF
LEVEL 2	1 BEDROOM	1005 SF
LEVEL 3	1 BEDROOM	913 SF
LEVEL 3	1 BEDROOM	913 SF
LEVEL 3	1 BEDROOM	944 SF
LEVEL 3	1 BEDROOM	969 SF
LEVEL 3	1 BEDROOM	1008 SF
LEVEL 3	1 BEDROOM	1060 SF
LEVEL 4	1 BEDROOM	913 SF
LEVEL 4	1 BEDROOM	913 SF
LEVEL 4	1 BEDROOM	931 SF
LEVEL 4	1 BEDROOM	969 SF
LEVEL 4	1 BEDROOM	1005 SF
LEVEL 4	1 BEDROOM	1060 SF
LEVEL 5	1 BEDROOM	915 SF
LEVEL 5	1 BEDROOM	915 SF
LEVEL 5	1 BEDROOM	934 SF
LEVEL 5	1 BEDROOM	973 SF
LEVEL 5	1 BEDROOM	1007 SF
LEVEL 5	1 BEDROOM	1059 SF
LEVEL 2	2 BEDROOM	1226 SF
LEVEL 2	2 BEDROOM	1226 SF
LEVEL 2	2 BEDROOM	1429 SF
LEVEL 3	2 BEDROOM	1226 SF
LEVEL 3	2 BEDROOM	1226 SF
LEVEL 3	2 BEDROOM	1336 SF
LEVEL 3	2 BEDROOM	1429 SF
LEVEL 4	2 BEDROOM	1226 SF
LEVEL 4	2 BEDROOM	1226 SF
LEVEL 4	2 BEDROOM	1336 SF
LEVEL 4	2 BEDROOM	1429 SF
LEVEL 5	2 BEDROOM	1230 SF
LEVEL 5	2 BEDROOM	1230 SF
LEVEL 5	2 BEDROOM	1333 SF
LEVEL 5	2 BEDROOM	1432 SF
LEVEL 2	3 BEDROOM	1598 SF
LEVEL 2	3 BEDROOM	1735 SF
LEVEL 3	3 BEDROOM	1735 SF
LEVEL 4	3 BEDROOM	1735 SF
LEVEL 5	3 BEDROOM	1742 SF
LEVEL 1	CIRCULATION	993 SF
LEVEL 2	PATIO	53 SF
LEVEL 2	PATIO	53 SF
LEVEL 2	PATIO	55 SF
LEVEL 2	PATIO	73 SF
LEVEL 2	PATIO	76 SF
LEVEL 2	PATIO	78 SF
LEVEL 2	PATIO	78 SF
LEVEL 2	PATIO	80 SF
LEVEL 2	PATIO	82 SF
LEVEL 2	PATIO	86 SF
LEVEL 2	PATIO	87 SF
LEVEL 2	PATIO	2109 SF
LEVEL 3	PATIO	53 SF
LEVEL 3	PATIO	53 SF
LEVEL 3	PATIO	73 SF
LEVEL 3	PATIO	78 SF
LEVEL 3	PATIO	78 SF
LEVEL 3	PATIO	79 SF
LEVEL 3	PATIO	80 SF
LEVEL 3	PATIO	82 SF
LEVEL 3	PATIO	86 SF
LEVEL 3	PATIO	87 SF
LEVEL 4	PATIO	53 SF
LEVEL 4	PATIO	55 SF
LEVEL 4	PATIO	73 SF
LEVEL 4	PATIO	78 SF
LEVEL 4	PATIO	78 SF
LEVEL 4	PATIO	80 SF
LEVEL 4	PATIO	82 SF
LEVEL 4	PATIO	86 SF
LEVEL 4	PATIO	87 SF
LEVEL 5	PATIO	53 SF
LEVEL 5	PATIO	53 SF
LEVEL 5	PATIO	74 SF
LEVEL 5	PATIO	77 SF
LEVEL 5	PATIO	77 SF
LEVEL 5	PATIO	77 SF
LEVEL 5	PATIO	82 SF
LEVEL 5	PATIO	83 SF
LEVEL 5	PATIO	84 SF
LEVEL 5	PATIO	86 SF
LEVEL 5	PATIO	87 SF
LEVEL 2	RESIDENTIAL N.L.	3695 SF
LEVEL 4	RESIDENTIAL N.L.	3415 SF
LEVEL 5	RESIDENTIAL N.L.	2898 SF
LEVEL 1	RETAIL	16210 SF
LEVEL 1	SERVICE	128 SF
LEVEL 1	SERVICE	175 SF
LEVEL 1	SERVICE	342 SF
LEVEL 2	STUDIO	534 SF
LEVEL 4	STUDIO	534 SF
LEVEL 5	STUDIO	537 SF
		87899 SF

KEY PLAN



#	DATE	CHANGE DESCRIPTION

BRIDGE PARK BUILDING C1

1445 HAYESVILLE DR., DUBLIN, OH 43017
 for CRAWFORD HOYING development

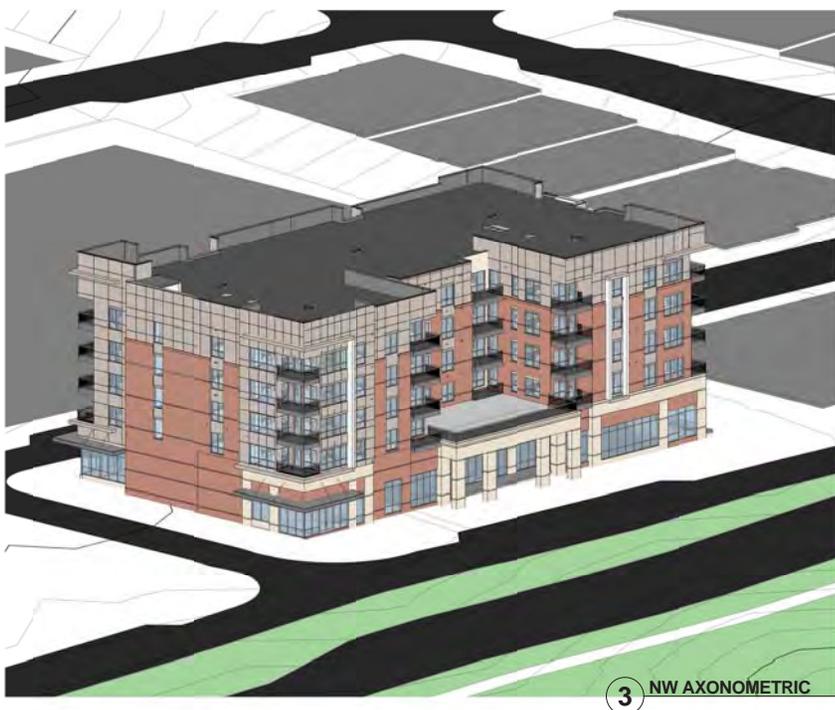
MOODY-NOLAN
 RESPONSIVE ARCHITECTURE

300 Spruce Street Suite 300 Columbus, Ohio 43215
 Phone: (614) 461-4864 Fax: (614) 288-8881
 www.moodynolan.com



Desig. Const. Author Test Const. Designer 14145

RESIDENTIAL AREA PLANS
 CD PERMIT / GMP SET
 G005
 02.05.2015



KEY PLAN

#	DATE	CHANGE DESCRIPTION

BRIDGE PARK BUILDING C1
1400 RIVERSIDE DR, DUBLIN, OH 43017

for **CRAWFORD HOYING development**

MOODY-NOLAN
RESPONSIVE ARCHITECTURE

300 Spruce Street Phone: (614) 461-4861
Suite 300 Fax: (614) 280-8881
Columbus, Ohio 43215 www.moodynolan.com

DESIGNED BY: CURTIS J. MOODY, LIC #7062
DATE: 02/20/2015

Proj. Coord.: Author Tech. Coord.: Checker 14145

PERSPECTIVES **A000**
CD PERMIT / GMP SET 02.05.2015

CITY OF DUBLIN APPROVAL

FLOOR PLAN LEGEND

- INDICATES PARTITION WITH SOUND ATTENUATION INSULATION. REFER TO THE WALL PARTITION SCHEDULE
- 1 HR RATED WALL
- 2 HR RATED WALL
- 10 HR RATED WALL
- 10' SHIRT WALL. SEE DETAIL. SEE 1 BR 200 FOR WALL TYPE. CONSTRUCTION: 10' SHIRT WALL WITH 2" MINIMUM INSULATION. SEE 1 BR 200 FOR WALL TYPE. CONSTRUCTION: 10' SHIRT WALL WITH 2" MINIMUM INSULATION. SEE 1 BR 200 FOR WALL TYPE. CONSTRUCTION: 10' SHIRT WALL WITH 2" MINIMUM INSULATION.
- PLAN ELEVATION
- MAIL BOX
- KEYHOLE ORIENTATION OF KEYHOLE FOR FIRE AND COMPLIANCE
- 50#A RECESSED FIRE EXTINGUISHER CABINET. INSTALL FIRE EXTINGUISHER SO THAT THE INTEGRITY OF RATED WALL IS MAINTAINED. CONTINUE TYPE 1 GYPSUM BOARD ASSEMBLY BEHIND FIRE EXTINGUISHER CABINET. UNIT SHALL NOT ENCRUSCH MORE THAN 4" INTO THE PATH OF EGRESS.
- F.E.C.
- PORTABLE FIRE EXTINGUISHER
- HEARING IMPAIRED UNIT. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS. SEE CODE FLOOR PLANS FOR LOCATIONS
- TYPE A FULLY ACCESSIBLE UNIT. SEE CODE FLOOR PLANS FOR LOCATIONS
- REQUIRED 30" MIN WHEELCHAIR CLEARANCE. 40" SHALL BE CENTERED AT SHIRT AND KEYHOLE RANGE
- 2" OF MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATHROOM SINK. RIM. TYP. AT PUBLIC AREAS & TYPE A UNITS
- ELECTRIC FIRE PLACE AND GYPSUM BOARD SURROUND. TYP. AT ALL PENTHOUSE UNITS AND TOWNHOMES.
- BALCONY
- VTAC FLOOR PLAN DIAGRAM
- UNIT INTERIOR MECHANICAL LOWER PANEL TO MATCH EXT. FINISH
- TYPICAL ACCESS PANEL LOCATION FOR MECHANICAL UNIT. ACCESS PANEL TO BE PAINTED.

GENERAL NOTES - FLOOR PLAN

1. ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE.
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING WALL & FLOOR CONCRETE.
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION/CONTRACT JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON ARCH. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON 2" MINIMUM SPACING. FINISH IS TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK IS TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PAID 4" BR. 4" THICK W/ 1/2" REINFORCING.
5. SEE G SERIES SHEETS FOR WALL TYPE CONSTRUCTION. PROVIDE AN 8" X 8" FIRE RATED ACCESS PANEL TO FACE THE PUBLIC CORRIDOR SIDE. COORDINATE MOUNTING HEIGHT WITH ARCHITECT IN THE FIELD. PROVIDE AN 8" X 8" REINFORCING AND SHIRT ASSEMBLY. SHIRT ASSEMBLY TO REMAIN FOR THE SOLE PURPOSE OF THE MECHANICAL WORK (NOT OTHERWISE).
6. DO NOT RUN PIPES OR CONDUITS OVER ANY OVERHEAD RIGS OR SHIRT ASSEMBLY. SHIRT ASSEMBLY TO REMAIN FOR THE SOLE PURPOSE OF THE MECHANICAL WORK (NOT OTHERWISE).
7. ELEVATION FINISH EQUALS 10'-0".
8. INSTALL FIRE EXTINGUISHER BEHIND THE RATED WALL IS MAINTAINED. CONTINUE THE TYPE 1 GYPSUM BOARD ASSEMBLY BEHIND THE FIRE EXTINGUISHER CABINET (NOT OTHERWISE).
9. SEE ARCH SERIES SHEETS FOR UNIT LAYOUT INFORMATION.
10. ALL WOOD FLOOR FINISH SHALL BE TO FINISH LEVEL TO BE INDICATED ON ARCH SERIES SHEETS.
11. EXTERIOR BRANDING WALLS TO BE 1 HOUR RATED. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.
12. COORDINATE SHIRT WALL ALIGNMENT WITH ARCHITECT TO MAINTAIN REQUIRED RATING IN ADJACENT WALLS.

KEY PLAN



#	DATE	CHANGE DESCRIPTION
1	02-17-15	Addendum 1

BRIDGE PARK BUILDING C1
 1650 WILSONS DR. DUBLIN, OH 43017

for
CRAWFORD HOYING development

MOODY-NOLAN
 RESPONSIVE ARCHITECTURE

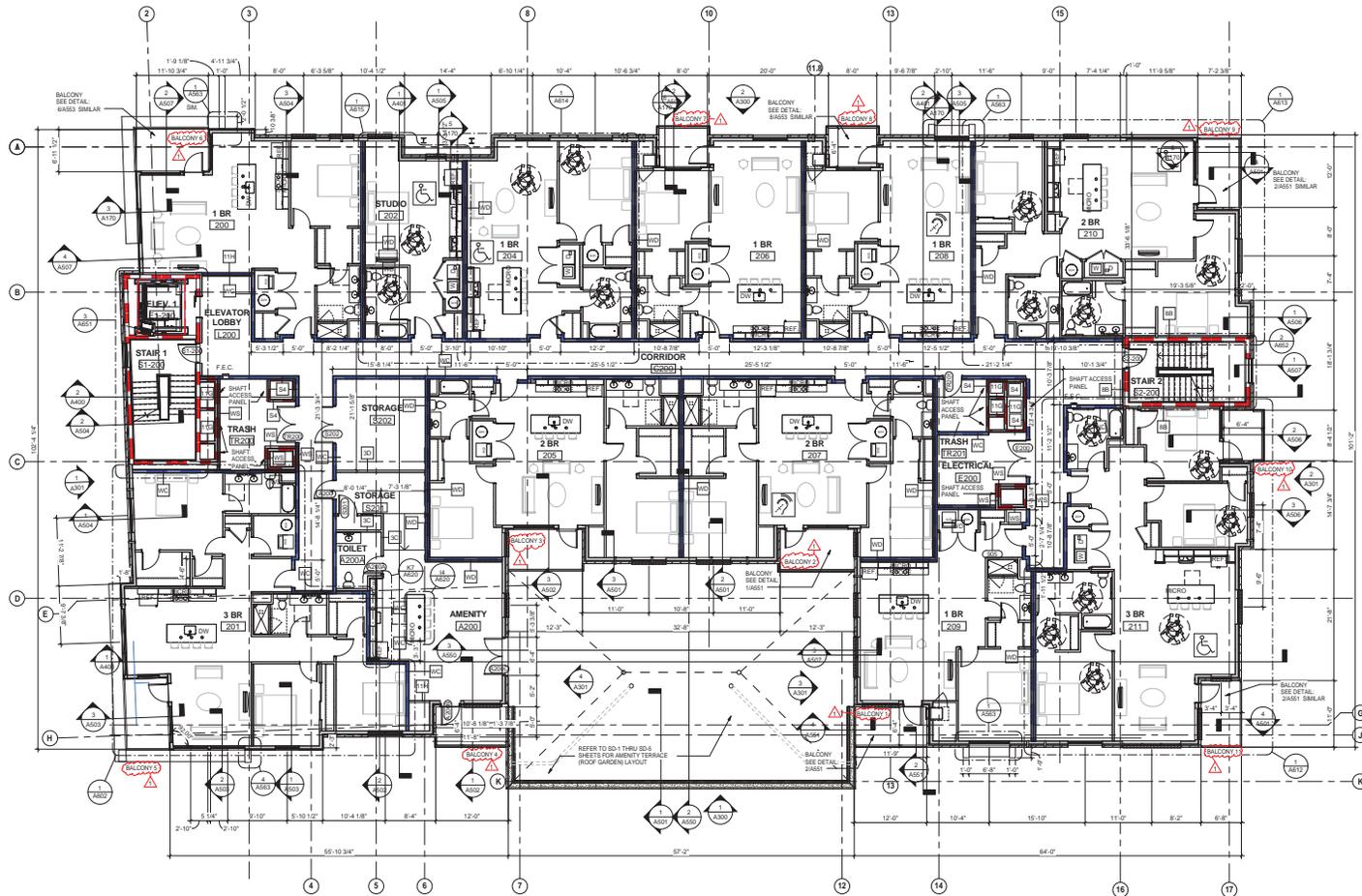
300 Spruce Street Phone: (614) 461-4864
 Suite 300 Fax: (614) 286-8881
 Columbus, Ohio 43215 www.moody-nolan.com

CD# 1 MOODY, LIC #096
 5/8 DATE: 02/20/2015

Drawn: J. Author Tech. Const.: Checker 14145

LEVEL 2 FLOOR PLAN **A120**

CD PERMIT / GMP SET 02.05.2015



1 PLAN LEVEL 2 - OVERALL FLOOR PLAN
 1/8" = 1'-0"



CITY OF DUBLIN APPROVAL

FLOOR PLAN LEGEND

- INDICATES PARTITION WITH BOARD ATTENUATION INSULATION. REFER TO THE WALL PARTITION SCHEDULE
- 1 HR RATED WALL
- 2 HR RATED WALL
- 10 HR RATED WALL

- MAIL BOX
- PLAN ELEVATION
- LINE INDICATES ORIENTATION OF KITCHEN FOR FAIS COMPLIANCE
- BEAM RECESSED FIRE EXTINGUISHER CABINET. INSTALL FIRE EXTINGUISHER SO THAT THE TOP EDGE OF RATED WALL IS MAINTAINED. CONTINUE TYPE 1 TOP BOARD ASSEMBLY BEHIND FIRE EXTINGUISHER CABINET. UNIT SHALL NOT ENDOUGH MORE THAN 4" INTO THE PATH OF EGRESS.
- PORTABLE FIRE EXTINGUISHER
- HEARING IMPAIRED UNIT. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS. SEE CODE FLOOR PLANS FOR LOCATIONS
- TYPE A FULLY ACCESSIBLE UNIT. SEE CODE FLOOR PLANS FOR LOCATIONS
- REQUIRED 30"x48" UNED CHAIR CLEARANCE. 48" SHALL BE CENTERED AT DINING AND KITCHEN WINGS
- 2" OF MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATHROOM SINK RIM. TYP. AT PUBLIC AREAS TYPE A AND UNIT
- ELECTRIC FIRE PLACE AND OYSPID SMOKE SURROUND TYP. AT ALL FIFTH FLOOR UNITS AND TOWNHOMES
- BALCONY
- MECHANICAL FOR MECHANICAL ACCESS PANEL TO MATCH RFT FINISH
- VTC FLOOR PLAN DIAGRAM
- TYPICAL ACCESS PANEL LOCATION FOR MECHANICAL ACCESS PANEL TO BE PAINTED

GENERAL NOTES - FLOOR PLAN

1. ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH ALL WALL BRACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL BUILDING CODES. SEE DETAIL 34851
5. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSING/SHIELDING. COORDINATE WITH THE TRADE CONTRACTOR. COORDINATE THROUGH THE GENERAL TRADES CONTRACTOR. PAISE 4" MIN. AT THEIR WORK AREAS TO BE OBSERVED.
6. SEE 0 SERIES SHEETS FOR WALL TYPE CONSTRUCTION. PROVIDE AN 8" OF FIRE RATED ACCESS PANELS PER FLOOR FOR ALL KITCHEN GREASE SHAFT LOCATIONS AND EVERY OTHER FLOOR FOR ALL OTHER GREASE SHAFT LOCATIONS. ACCESS PANELS TO BE INSTALLED BY THE TRADE CONTRACTOR. COORDINATE WITH ARCHITECT IN THE FIELD.
7. DO NOT REMOVE THE CONCRETE OR ANY DEVICES INTO THE SHAFT ASSEMBLIES. SHAFT ASSEMBLIES TO REMAIN FOR THE SOLE PURPOSE OF THE TECHNICAL SHEETS.
8. ELEVATION R/FLO EQUALS 100'-0"
9. INSTALL FIRE EXTINGUISHER TO THE INTEGRITY OF THE RATED WALL IS MAINTAINED. CONTINUE THE TYPE 1 TOP BOARD ASSEMBLY BEHIND THE FIRE EXTINGUISHER CABINET.
10. SEE ADD SERIES SHEETS FOR UNIT LAYOUT INFORMATION
11. ALL WOOD BALUSTRADE WALLS AT FLOOR LEVEL TO BE MAINTAINED. CONTINUE THE TYPE 1 TOP BOARD ASSEMBLY BEHIND THE FIRE EXTINGUISHER CABINET.
12. EXTERIOR BEARING WALLS TO BE 1 HOUR RATED. REFER TO STRUCTURAL SHEETS FOR BEARING WALL CONDITIONS
13. COORDINATE SHAFT WALL ALIGNMENT WITH ARCHITECT TO MAINTAIN REQUIRED FINISH IN ADJACENT WALLS.

KEY PLAN



#	DATE	CHANGE DESCRIPTION
1	02-17-15	Addendum 1

BRIDGE PARK BUILDING C1
 1800 WILSON DR. DUBLIN, OH 43017

for
CRAWFORD HOYING
 development

MOODY-NOLAN
 RESPONSIVE ARCHITECTURE

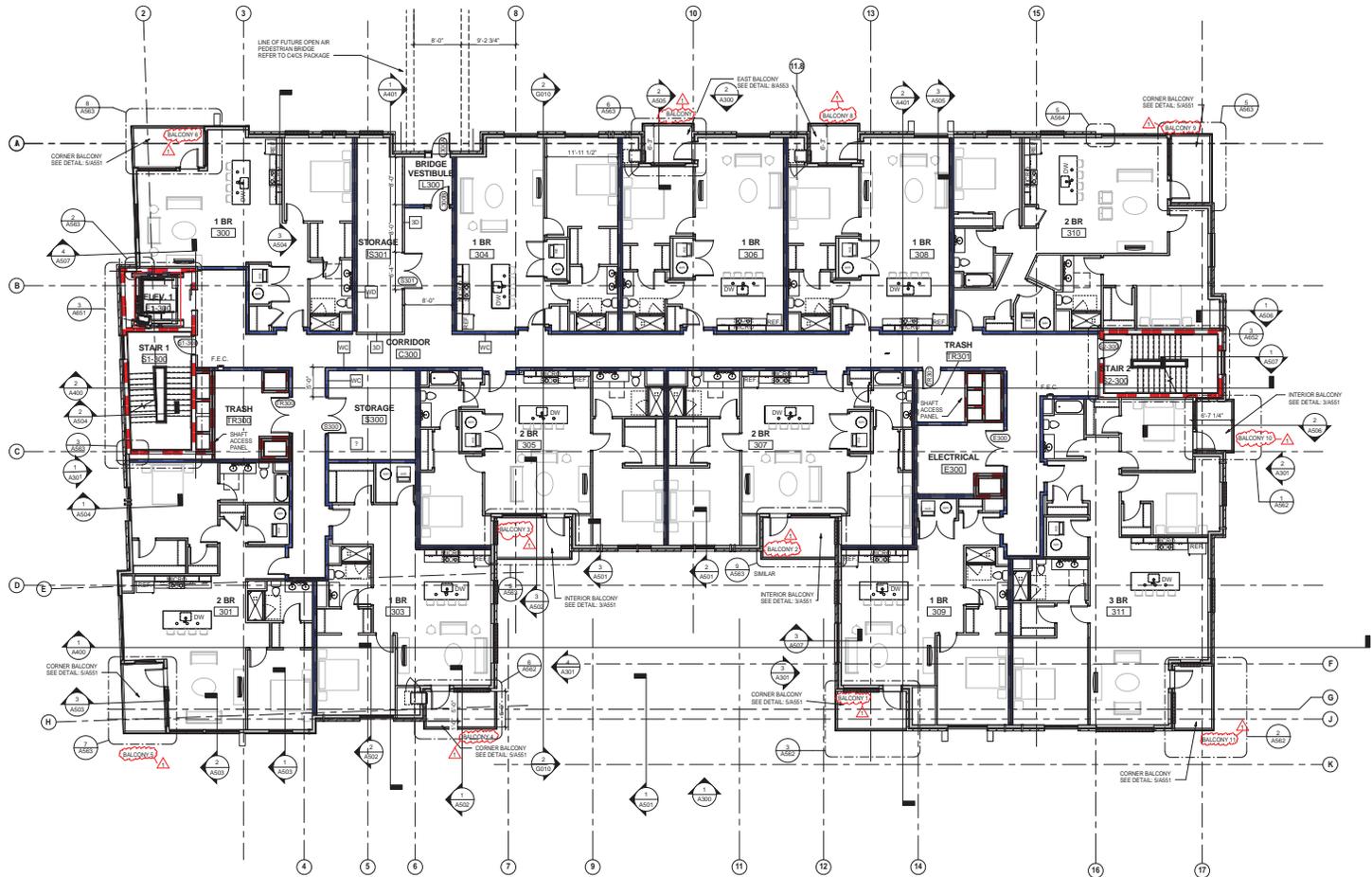
300 Spruce Street Phone: (614) 461-4864
 Suite 300 Fax: (614) 282-8881
 Columbus, Ohio 43215 www.moodynolan.com

Proj. Const. / Author: _____
 Tech. Const. / Checker: _____

LEVEL 3
FLOOR PLAN
 CD PERMIT / GMP SET

14145
A130
 02.05.2015

REFER TO SHEET A100 FOR DIMENSIONS AND WALL TYPES UNLESS NOTED ON PLAN



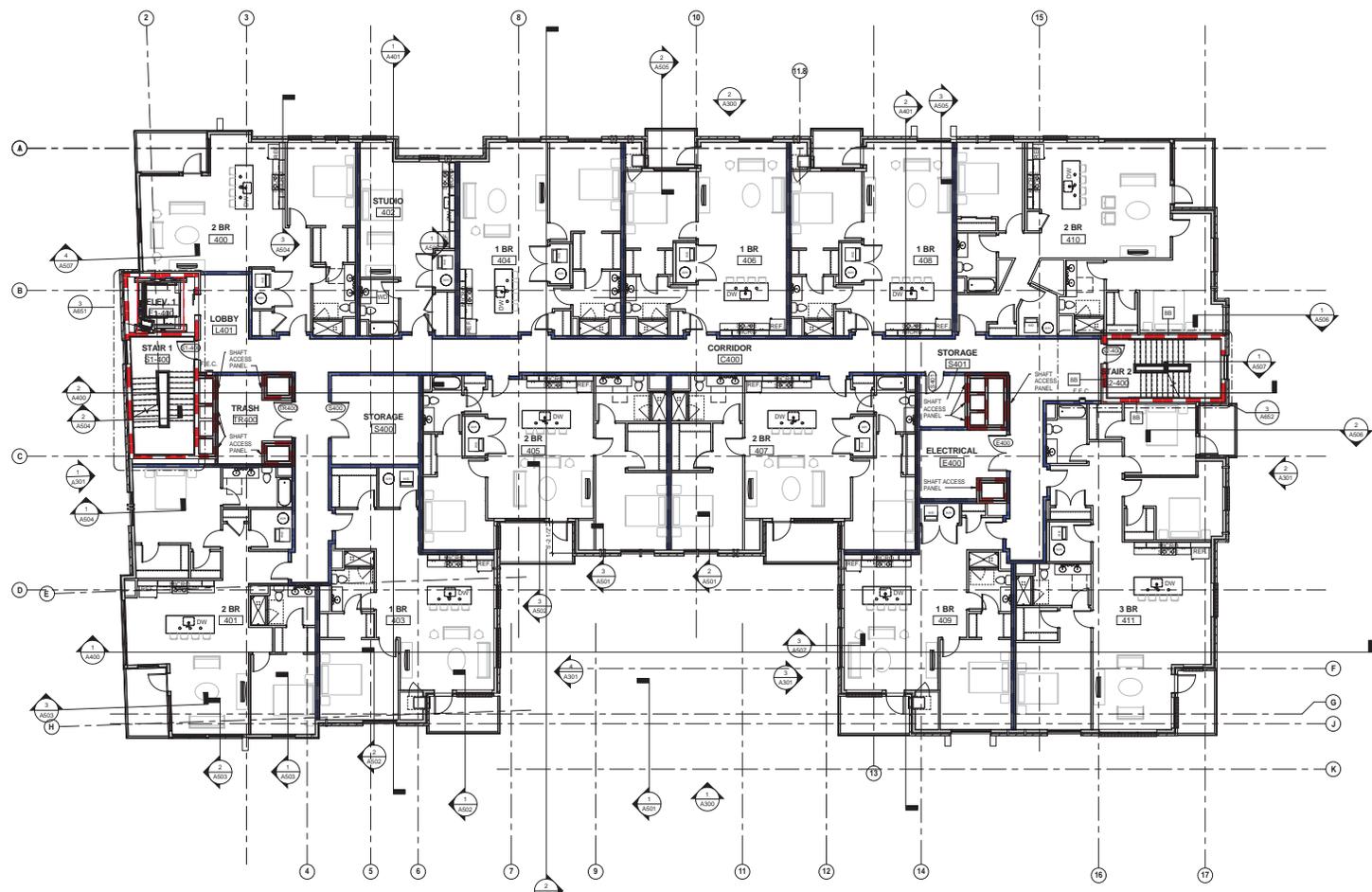
1 PLAN LEVEL 3 - OVERALL FLOOR PLAN
 1/8" = 1'-0"



FLOOR PLAN LEGEND

- INDICATES PARTITION WITH SOUND ATTENUATION INSULATION. REFER TO THE WALL PARTITION SCHEDULE
- 1 HR RATED WALL
- 2 HR RATED WALL
- 12 HR RATED WALL
- 1 IN SHIRT WALL ASSEMBLY WITH Gypsum BOARD AND 2x4 STUDS. SEE SECTION FOR WALL TYPE. SEE ARCHITECTURAL SPECIFICATIONS FOR WALL TYPE. SEE SECTION FOR WALL TYPE. SEE ARCHITECTURAL SPECIFICATIONS FOR WALL TYPE.
- PLAN ELEVATION
- MAIL BOX
- LINE INDICATES ORIENTATION OF KEYHOLE. FOR FIRE AND COMPLIANCE
- BEAM-RESISTED FIRE EXTINGUISHER CABINET. INSTALL FIRE EXTINGUISHER SO THAT THE INTEGRITY OF RATED WALL IS MAINTAINED. CONTINUE THE TYPE X ASSEMBLY BEHIND FIRE EXTINGUISHER CABINET. UNIT SHALL NOT ENDOURCH MORE THAN 4" INTO THE PATH OF EGRESS.
- F.E.C.
- PORTABLE FIRE EXTINGUISHER
- HEARING IMPAIRED UNIT. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS. SEE CODE FLOOR PLANS FOR LOCATIONS
- TYPE A FULLY ACCESSIBLE UNIT. SEE CODE FLOOR PLANS FOR LOCATIONS
- REQUIRED 36"X48" WHEELCHAIR CLEARANCE. 48" SHALL BE CENTERED AT SINKS AND KITCHEN RANGES
- 2" OF MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATHROOM SINK. TYP. AT PUBLIC AREAS & TYPE A AND UNIT
- ELECTRIC FIRE PLACE AND GYPSUM BOARD SURROUND TYP. AT ALL PENTHOUSE UNITS AND TOWNHOMES.
- VITAC FLOOR PLAN DIAGRAM
- TYPICAL ACCESS PANEL LOCATION FOR MECHANICAL UNIT. ACCESS PANEL TO BE PAINTED.

REFER TO SHEET A130 FOR DIMENSIONS AND WALL TYPES UNLESS NOTED ON PLAN



GENERAL NOTES - FLOOR PLAN

1. ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE.
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS FOR MASONRY.
5. NATIONAL MASONRY INSTITUTE. SEE DETAILS FOR MASONRY.
6. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. THICK W/ 1/2" REINFORCING.
7. SEE 0 SERIES SHEETS FOR WALL TYPE CONSTRUCTION.
8. PROVIDE AN 1/2" BEAM-RESISTED ACCESS PANELS FOR FLOOR FOR ALL KITCHEN GREASE SHAFTS LOCATIONS AND EVERY OTHER FLOOR FOR ALL SHAFTS. SHAFTS LOCATIONS, ACCESS PANELS TO BE PROVIDED BY ARCHITECT IN THE FIELD.
9. PUBLIC CORRIDOR FIRE EXTINGUISHERS OR ANY DEVICES INTO THE SHAFTS ASSEMBLY. SHAFTS ASSEMBLY TO REMAIN FOR THE SOLE PURPOSE OF THE MECHANICAL SYSTEMS.
10. ELEVATION FLOOR EQUALS 10'-0".
11. INSTALL FIRE EXTINGUISHER TO THE INTEGRITY OF THE RATED WALL IS MAINTAINED. CONTINUE THE TYPE X GYPSUM BOARD ASSEMBLY BEHIND THE FIRE EXTINGUISHER CABINET.
12. SEE ADD 3 SERIES SHEETS FOR UNIT LAYOUT INFORMATION.
13. ALL ROOMS SHALL BE PLASTER WALLS AT 12'0" MINIMUM TO BE.
14. EXTERIOR BEARING WALLS TO BE 1 HOUR RATED. REFER TO STRUCTURAL SHEETS FOR WALL ALIGNMENT WITH ARCHITECT TO MAINTAIN REQUIRED RATING IN ADJACENT WALLS.

KEY PLAN



#	DATE	CHANGE DESCRIPTION

BRIDGE PARK BUILDING C1
1665 UNIVERSITY DR. DUBLIN, OH 43017

for
CRAWFORD HOYING development

MOODY-NOLAN
RESPONSIVE ARCHITECTURE

300 Spruce Street Phone: (614) 461-4864
Suite 300 Fax: (614) 288-8881
Columbus, Ohio 43215 www.moody-nolan.com

CURTIS J. MOODY, LIC #1062
DATE: 02/05/15

Desg. Const. / Author Tech. Const. / Checker 14145

LEVEL 4 FLOOR PLAN **A140**

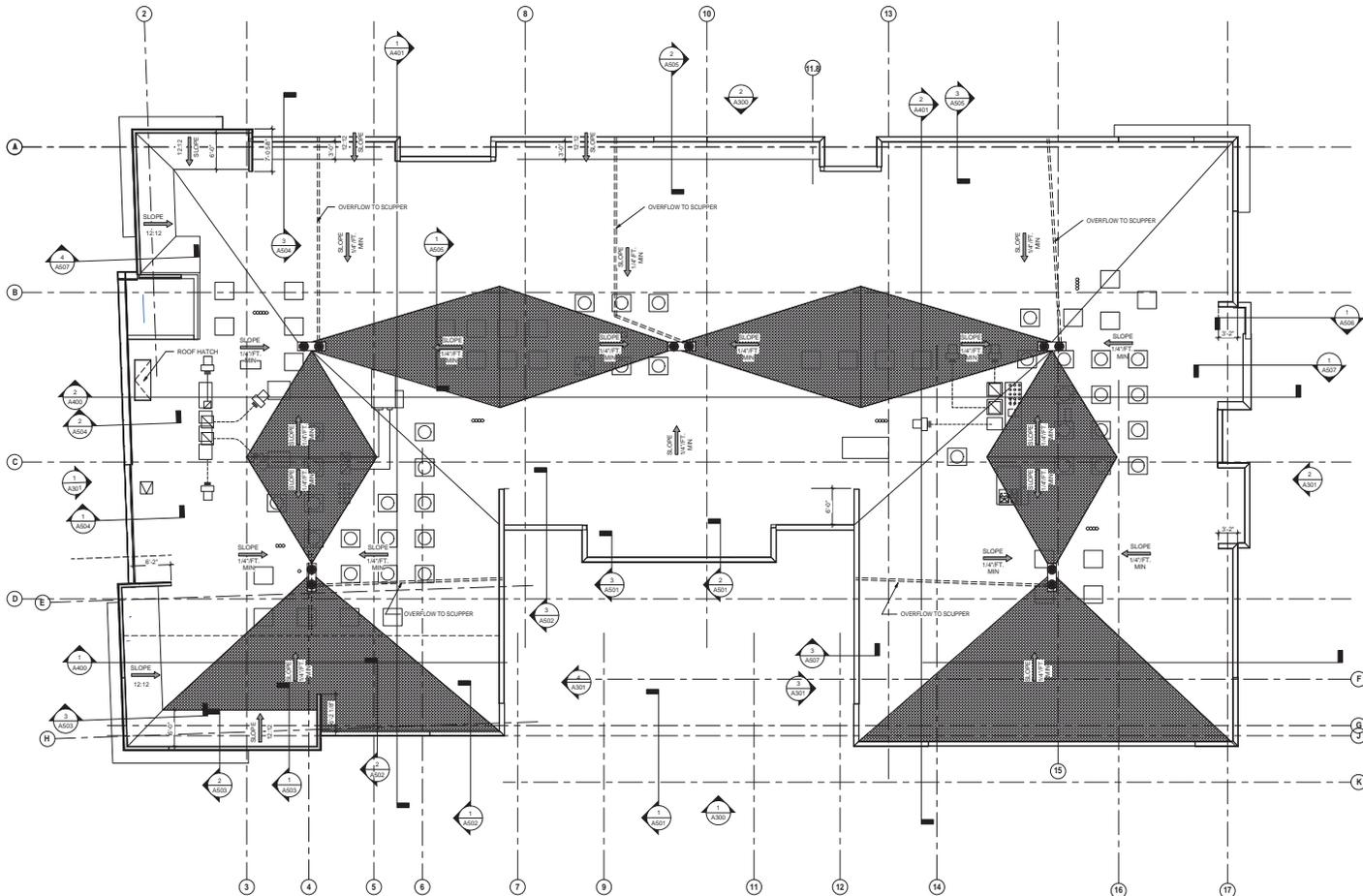
CD PERMIT / GMP SET 02.05.2015

1 PLAN LEVEL 4 - OVERALL FLOOR PLAN
1/8" = 1'-0"



CITY OF DUBLIN APPROVAL

- GENERAL NOTES - ROOF PLAN**
- SEE STRUCTURAL DRAWINGS FOR TOP OF STEEL (T.O.S.) AT ALL PROPOSED ROOFS.
 - REFER TO MECHANICAL DRAWINGS FOR PIPE PENETRATION DETAIL AT ROOF.
 - REFER TO PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR INFORMATION REGARDING ROOF MOUNTED EQUIPMENT AND ALL REQUIRED ROOF PENETRATIONS.
 - INSTALL ROOF SADDLE OR CRICKET AT LOCATIONS ON ROOF WHERE EQUIPMENT ROOF PENETRATIONS BLOCK DOWN FLOW OF WATER TO DRAINS.
 - LOCATION OF ROOF DRAINS TO BE FIELD COORDINATED.
 - TEMPORARY FALL PROTECTION IS NOT SHOWN AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - GRAPHIC REPRESENTATION OF TAPPED INSULATION IS SIMPLIFIED AND SHALL SERVE FOR REFERENCE ONLY. IT IS CONTRACTOR RESPONSIBILITY TO PROVIDE ROOF DRAINS TO ROOF OR DRAIN DRAINS AT SLOPE 1/4" PER FOOT MINIMUM ON THE ENTIRE ROOF.
 - PROVIDE ROOF MEMBRANE WALKWAY PROTECTION (AS OUTLINED, REFER TO MECHANICAL DRAWINGS FOR EXACT LAYOUT OF MECHANICAL EQUIPMENT. ALL MWP EQUIPMENT TO BE CONNECTED WITH THE MEMBRANE WALKWAY LAYOUT FOR MAINTENANCE ACCESS.
 - ROOFING ASSEMBLY TO PROVIDE AN AVERAGE INSULATION VALUE OF R-20.



1 PLAN LEVEL 6 - OVERALL FLOOR PLAN
 1/8" = 1'-0"

KEY PLAN

#	DATE	CHANGE DESCRIPTION

BRIDGE PARK BUILDING C1
 1600 HAYESIDE DR., DUBLIN, OH 43017

for **CRAWFORD HOYING development**

MOODY-NOLAN
 RESPONSIVE ARCHITECTURE

300 Spruce Street Phone: (614) 461-4864
 Suite 300 Fax: (614) 282-8851
 Columbus, Ohio 43215 www.moody-nolan.com

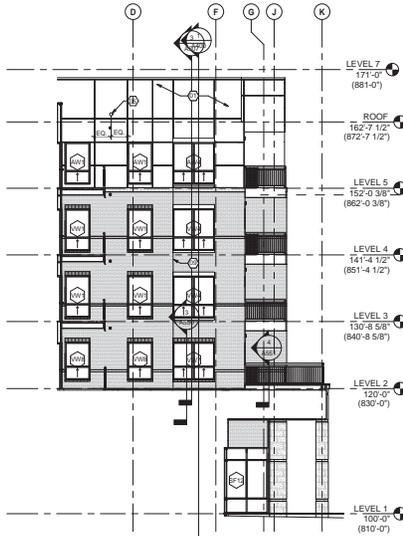
CURTIS J. MOODY, LIC #706
 EIR DATE: 02/20/15

Reg. Const.: Author Tech. Const.: Checker 14145

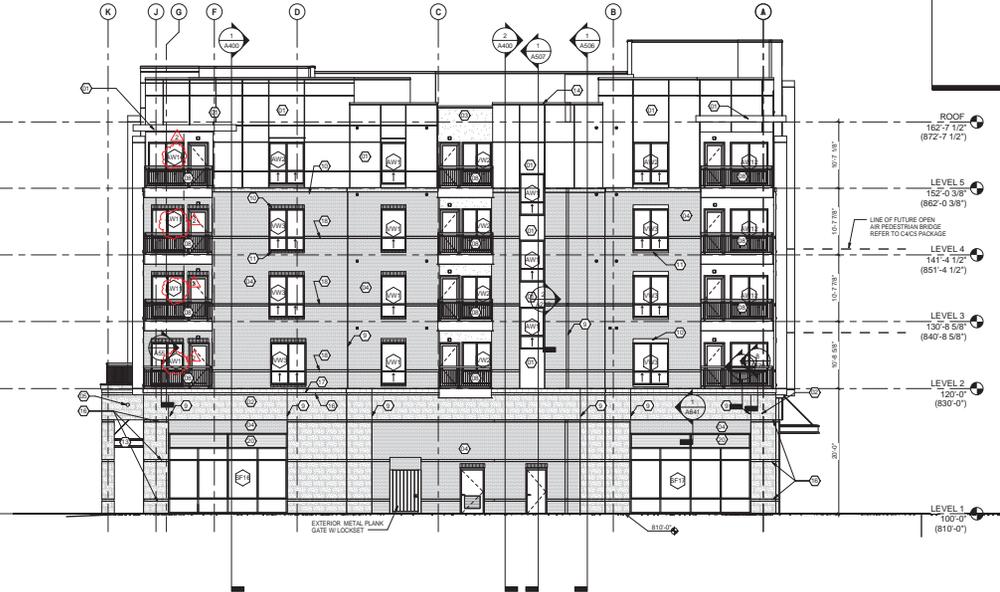
ROOF PLAN
 CD PERMIT / GMP SET

A160
 02.05.2015

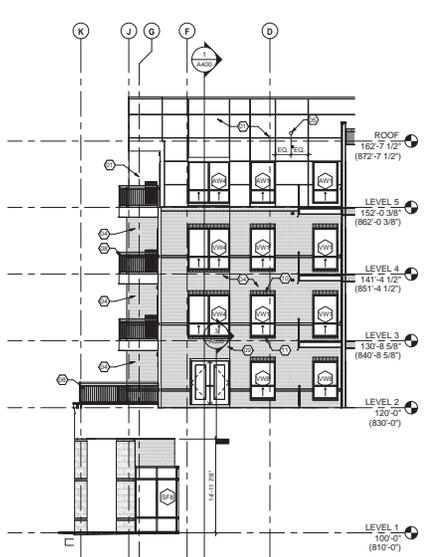
CITY OF DUBLIN APPROVAL



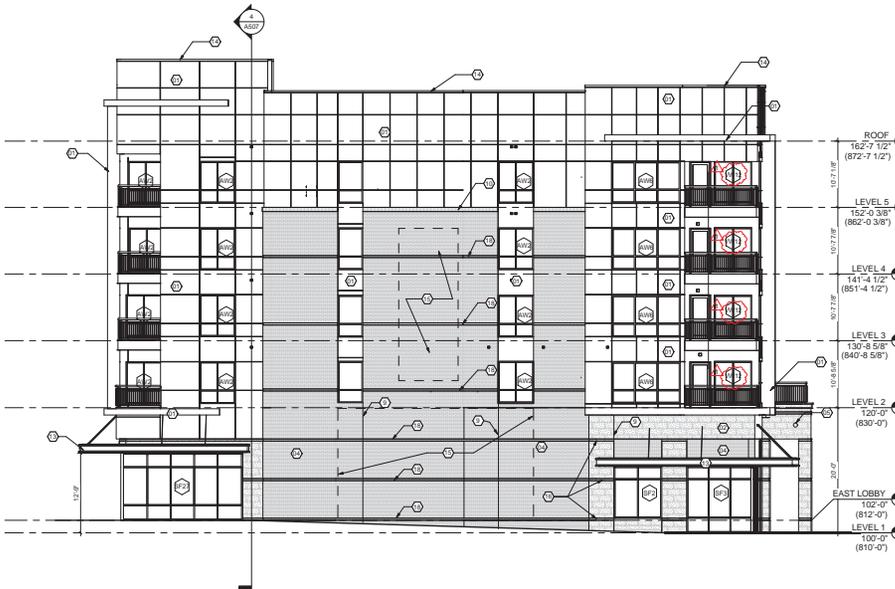
3 ELEVATION NORTH PODIUM ELEVATION
 1/8" = 1'-0"



2 ELEVATION SOUTH
 1/8" = 1'-0"



4 ELEVATION SOUTH PODIUM ELEVATION
 1/8" = 1'-0"



1 ELEVATION NORTH
 1/8" = 1'-0"

WINDOW LEGEND

A. REFER TO A70 SERIES SHEETS FOR WINDOW ELEVATIONS
 FINISH - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT

(AW) VINYL WINDOW FRAME COLOR TO MATCH STOREFRONT SYSTEM
 FINISH - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT

(AW) ALUMINUM WINDOW UNIT FRAME FINISH TO MATCH STOREFRONT SYSTEM FINISH - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT

(AW) ALUMINUM STOREFRONT SYSTEM (SLUCATE MASONRY UNITS - CLASS 1 ANODIZED FINISH, DARK RANGE)

- ELEVATION GENERAL NOTES**
- REFER TO A70 SERIES FOR WINDOW AND DOOR SCHEDULES AND DETAILS
 - REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION
 - SEE ELEVATION AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE GRAFT (COATING UP TO 1 FEET HIGH CRACK)
 - STRUCTURAL STEEL RELATED TO THE EXTERIOR CANOPY SHALL BE GALVANIZED AND PAINTED WITH A SPECIAL COATING (THERMIC COATING OR LISTED EQUAL)
 - COORDINATE THE BRICK COURSES WITH VERTICAL MILLIONS OF STOREFRONT SYSTEM
 - INSTALL THERMIC GLAZING AT ALL LOCATIONS REQUIRED BY CODE. ALL GLAZING IS IG-1 UNLESS NOTED OTHERWISE.

- ELEVATION CODED NOTES**
- COMPOSITE METAL PANEL (CENTRIA W/IG LIGHT SEA SOULT)
 - CALCIUM SILICATE MASONRY UNITS (ARRISGRAFT CHAMPAGNE)
 - EFS (SHERWIN WILLIAMS SW 700 ACRYL GLEASS GRAY)
 - GLE (GLEEN GERY MARION BLEND M00)
 - DRAIN SCUPPER
 - REVEAL
 - NOT USED
 - ALUMINUM POCKET FINISH (FINISH TO MATCH STOREFRONT GLAZING SYSTEM - POWDER COAT FINISH - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT)
 - CONTROL JOINT
 - SOLDER COURSE - SEE WALL SECTIONS
 - SPECIAL SHARP BRICK GILL
 - NOT USED
 - PRE-FABRICATED ALUMINUM CANOPY (COLOR TO MATCH COMPOSITE METAL PANEL - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT)
 - PRE-FINISHED METAL COPING (COLOR TO MATCH COMPOSITE METAL PANEL - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT)
 - FUTURE SUPER GRAPHIC LOCATION BY OTHERS
 - RECESSED CALCIUM SILICATE MASONRY UNITS - SEE WALL SECTIONS
 - PROJECTING CALCIUM SILICATE MASONRY UNIT CAP - SEE WALL SECTIONS
 - RECESSED ROWLOCK BRICK COURSE - SEE WALL SECTIONS AND DETAIL
 - ROOF DOWNSPOUT NOZZLE
 - ALUMINUM ARCHITECTURAL LOUVER FINISH TO MATCH STOREFRONT SYSTEM - SUBMIT SAMPLES FOR SELECTION BY ARCHITECT
 - PROFILE OF FUTURE BRIDGE CONNECTION - CONSTRUCTION DETAIL IN A FUTURE PHASE
 - DIVER VENT PRIME AND PAINT TO MATCH BRICK ALONG VERTICALLY FROM LEVEL 2 TO LEVEL 5.

Window Schedule

Type Mark	Count	Rough Width	Rough Height
AW1	21	4'-0"	6'-8"
AW2	52	5'-8"	6'-8"
AW3	5	6'-8"	6'-8"
AW5	1	9'-8"	6'-8"
AW6	8	11'-0"	6'-8"
AW7	5	3'-4"	6'-8"
AW9	2	6'-8"	6'-8"
AW10	4	6'-4"	6'-8"
AW11	3	5'-2"	6'-8"
AW12	6	6'-0"	6'-8"
AW14	11	6'-8"	6'-8"
VW1	26	4'-0"	6'-8"
VW2	4	4'-8"	6'-8"
VW3	14	5'-8"	6'-8"
VW4	11	6'-8"	6'-8"
VW5	3	9'-8"	6'-8"



CHANGE LOG

#	DATE	CHANGE DESCRIPTION
1	02-17-15	Addendum 1
2	02-24-15	Addendum 2

BRIDGE PARK BUILDING C1
 165 WOODSIDE DR. DUBLIN, OH 43017

for **CRAWFORD HOYING development**

MOODY-NOLAN
 RESPONSIVE ARCHITECTURE

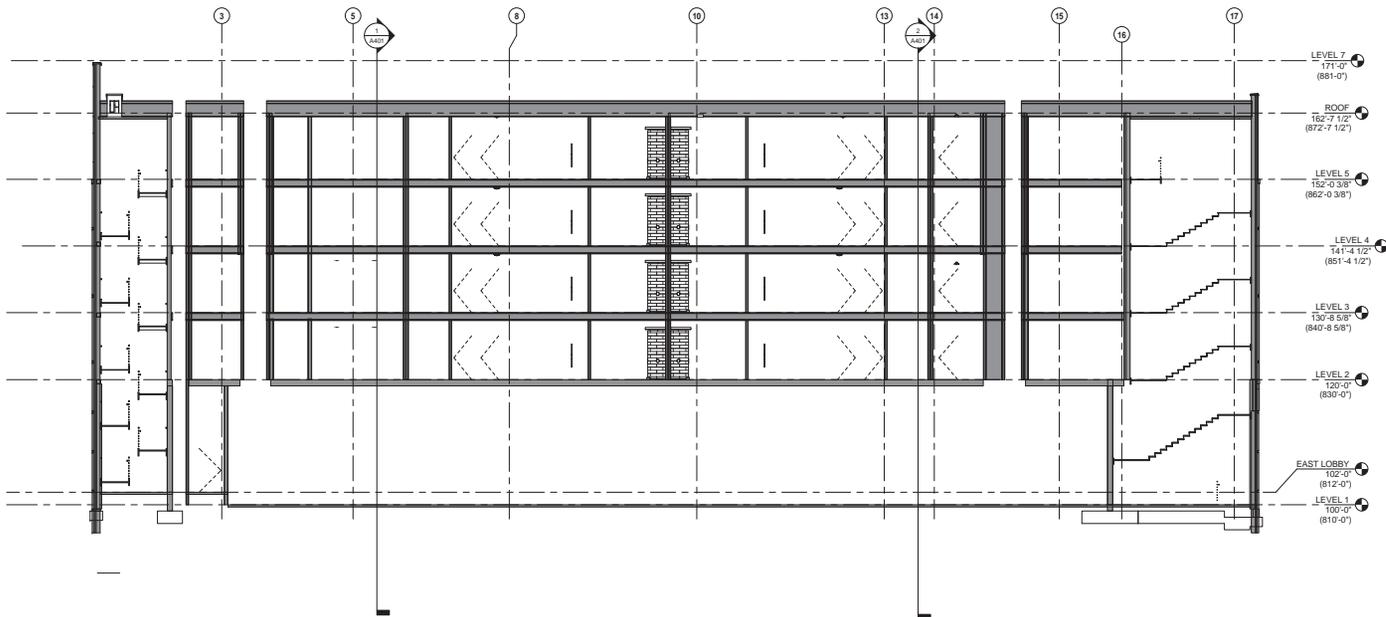
300 Spruce Street Phone: (614) 461-4864
 Suite 300 Fax: (614) 285-8881
 Columbus, Ohio 43215 www.moodynolan.com

CD PERMIT / GMP SET

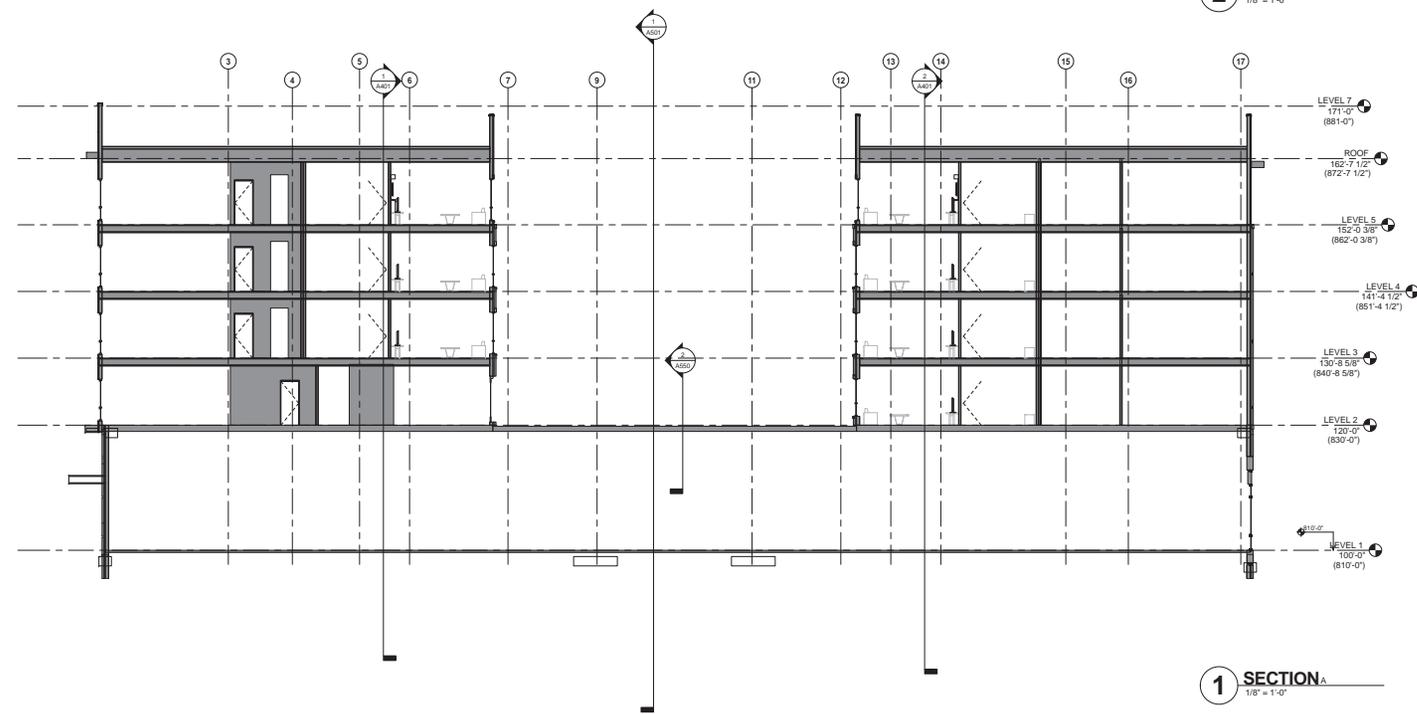
DATE: 02/05/2015

14145

A301



2 SECTION B
 1/8" = 1'-0"



1 SECTION A
 1/8" = 1'-0"

CITY OF DUBLIN APPROVAL

KEY PLAN

#	DATE	CHANGE DESCRIPTION

BRIDGE PARK BUILDING C1
 1400 RIVERSIDE DR., DUBLIN, OH 43017

for
CRAWFORD HOYING development

MOODY•NOLAN
 RESPONSIVE ARCHITECTURE

300 Spruce Street Suite 300 Columbus, Ohio 43215 Phone: (614) 461-4864 Fax: (614) 285-8881 www.moodynolan.com

CD PERMIT / GMP SET

CD PERM DATE: 02/20/2015

CD PERM: 14145

A400

02.05.2015

DOOR SCHEDULE - UNIT 201													
NUMBER	ROOM NAME	DOOR		HEIGHT	MATERIAL	ELEV.	FRAME		FINISH RATING	HOW SET	DETAILS - SHEET AS SHOWN		REMARKS
		WIDTH	DEPTH				MATERIAL	ELEV.			TYPE	NAME	
201	1 BR	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD	20 MIN				
201A	BEDROOM 1	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201B	CL 1	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201C	BATH 1	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201D	WD-WH	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201E	BEDROOM 2	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201F	CL 2	2'-10"	7'-2"	7'-2"	MDF	B	WD	WD					
201G	BEDROOM 3	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201H	CL 3	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201I	BATH 2	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201K	CL 4	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201L	CL 5	2'-10"	7'-2"	7'-2"	MDF	AP	WD	WD					
201M	1 BR	2'-2"	7'-2"	7'-2"	AL	C	AL	AL					

ROOM FINISH SCHEDULE - UNIT 201																
ROOM NUMBER	SPACE	ROOM NAME	FLOOR	BASE		DOOR/FRAME FINISH		NORTH		SOUTH		EAST		WEST		REMARKS
				MAT	COL.	PAINT	PAINT	MAT	COL.	MAT	COL.	MAT	COL.	MAT	COL.	
201	1 BR	LV	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	1, 2, 5
201A	BEDROOM 1	CR	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201B	CL 1	LV	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201C	BATH 1	LV	2	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201D	WD-WH	LV	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201E	BEDROOM 2	CR	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201F	CL 2	CR	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201G	BEDROOM 3	CR	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201H	CL 3	CR	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201I	BATH 2	LV	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201K	CL 4	LV	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	
201L	CL 5	CR	1	WD	PF-2	PT	1	PT	1	PT	1	PT	1	PT	1	

CODED REMARKS - FINISH

1. REFER TO UNIT DESIGN FOR LEVELS 2 AND 4
2. REFER TO UNIT DESIGN FOR METAL DIRECTION OF FLOORING L1 (LV)
3. METAL CT L-LOBBY TILE IN L1 (D) OF SET PATTERNS
4. REFER TO SHEETS LMG-1 AND LMG-2 FOR LOBBY FINISH DETAILS
5. REFER TO SHEETS ADD-1 AND ADD-2 FOR UNIT FINISH DETAILS
6. UPGRADE TO FRENCH DOOR AND METAL FINISHES TO INCLUDE CROWN MOLDING, SPRINGED DECORATIVE LEADING, 8 BEAD AND VANITY AND TILE BACKPLASH IN KITCHEN. REFER TO SHEETS ADD-1 AND ADD-2
7. METAL STAR COMPONENTS TO BE PAINTED PF-5 UNGL

FINISH LEGEND

NOTE: FINISHES OF UNITS SHOWN ARE BASED ON NORTH ARROW SHOWN IN KEY PLAN. ORIENTATION OF ACTUAL UNITS VARIES WITH BUILDING. SEE GENERAL NOTES - FINISH - SHEET ADD-1

FLOORS

Layer 01A
 CR-1: UNIT A - MOHAWK BRIST TOP CARD - 7/8" OAT STRAW (BROADCLOM) BRONZOLAM
 CR-2: UNIT A - MOHAWK BRIST TOP CARD - 7/8" OAT STRAW (BROADCLOM) BRONZOLAM
 CR-3: UNIT A - WAINWALST - URSAL EDCAP 4005X 1/4" X 3/4" PLANK CR-4: ALCAN PURE & SIMPLE - 8/8" EMPHOSER VOLUSEP (BROADCLOM) CR-5: CARPET TILE AREA RUG - FLOOR LANDING GRATES - TEAL/BLUE CR-6: CARPET TILE AREA RUG - FLOOR - INTERLOCK - AWW CR-7: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT GREY

Layer 01B (1)
 CR-1: ATLAS MARK - TOBACCO - MATTE (12" X 24")
 CR-2: ATLAS MARK - TOBACCO - MATTE (12" X 24")
 CR-3: ATLAS MARK - TOBACCO - MATTE (12" X 24")
 CR-4: ATLAS MARK - TOBACCO - MATTE (12" X 24")
 CR-5: ATLAS MARK - TOBACCO - MATTE (12" X 24")
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 CR-100: ATLAS MARK - TOBACCO - MATTE (12" X 24")

CITY OF DUBLIN APPROVAL

1. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
 2. SEE E SERIES SHEETS FOR UNIT TYPE CONSTRUCTION AND PARTITION DETAILING.
 3. EXTERIOR WALL CONDITIONS VARY. REFER TO BUILDING PLAN SHEETS AND EXTERIOR WALL DOOR, WINDOW AND BALCONY DETAILING.
 4. COLUMN LOCATIONS AND COMPLETES VARY. REFER TO STRUCTURAL DRAWINGS.
 5. TYPE B RAKETS AND TYPE B AND TYPE C GEMTES AND TYPE A, B, METAL ACOUSTIC BATT INSULATION AT PARTITIONS WITH FINISHING STOPS.
 6. METAL ACOUSTIC BATT INSULATION AT MECHANICAL CEILING PARTITIONS AND HORIZONTAL OPENINGS IN PLUMBING DRAIN PIPES. PROVIDE ACOUSTIC TILE INSULATION PER PLUMBING DRAWINGS.
 7. COORDINATE FINISH LAYOUT AND DESIGN WITH MECHANICAL, ELECTRICAL AND PLUMBING LAYOUT FROM ARCHITECT. PROVIDE SHOP DRAWINGS SHALL INDICATE PLUMBING LINES AND HVAC DUCTS. SEE THE TRUSS LAYOUT ON THIS SHEET.
 8. PROVIDE WOOD BLOCKING ON ALL RESIDENTIAL TYPE A AND TYPE B UNITS. EXTERIOR WALLS AS INDICATED ON UNIT TALE'S SHEET. SEE A100 SERIES AND B SERIES CODE SHEETS FOR TYPE A & B UNIT LOCATIONS AND HEIGHTS.
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 17. F.E. CABINETS REFER TO FINISHED END OR BACK PANEL.
 18. PROVIDE WOOD FINISHED HANGERS ABOVE VANITY UNITS. SEE SHEET ADD-1 FOR ELEVATIONS.
 19. SEE SHEET ADD-1 FOR MOUNTING HEIGHT AND OTHER REQUIRED DIMENSIONS REQUIRED FOR PLUMBING AND OTHER FIXTURES.
 20. UNIT FINISHES NOT IN CONTACT.
 21. CONDOUR FLOOR, CEILING, WALL AND ALL CELLINGS IN RESIDENTIAL BUILDINGS CONSTRUCTED OF WOOD. SHALL BE 1/8" RATED REFER TO LOCAL CODES.
 22. COORDINATE TYPICAL MOUNTING HEIGHTS AND THROUGH-WALL EXTENSION BELIEVES WITH ARCHITECT.

FLOOR PLAN LEGEND

- INDICATES PARTITION WITH SOUND ATTENUATION. REFER TO THE WALL PARTITION SCHEDULE.
- 1 1/2" RATED WALL
- 2" RATED WALL
- 10 1/2" RATED WALL

- MAIL BOX
- PARCEL BOX
- LINE INDICATES ORIENTATION OF KEYHOLE FOR FOR AIB COMPLIANCE
- BEAM RECESSED FIRE EXTINGUISHER CABINET. INSTALL FIRE EXTINGUISHER SO THAT THE INTEGRITY OF RATED WALL IS MAINTAINED. CONTRAST TYPE 2 COPR BRAND ASSEMBLY BEHIND FIRE EXTINGUISHER CABINET. UNIT SHALL NOT ENDOURAGE MORE THAN 4" INTO THE FACE OF EGRESS.
- PORTABLE FIRE EXTINGUISHER
- HEARING IMPAIRED UNIT. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS. SEE CODE FLOOR PLANS FOR LOCATIONS.
- TYPE A FULLY ACCESSIBLE UNIT. SEE CODE FLOOR PLANS FOR LOCATIONS.
- REQUIRED 90°MM WHEELCHAIR CLEARANCE. 48" SHALL BE ENTERED AT BRAG AND KITCHEN RANGE
- 2'-0" MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATHROOM SINK RM. TYP. AT PUBLIC AREAS & TYPE A AND UNIT LOCATIONS.
- ELECTRIC FIRE PLACE AND GYPSUM BOARD SURROUND TOP AT ALL FINISH UNITS AND TOWNHOMES.
- EXT. WALL
- BALCONY
- UNIT INTERIOR MECHANICAL
- TYPICAL ACCESS PANEL LOCATION FOR MECHANICAL UNIT. ACCESS PANEL TO BE PAINTED.

REFLECTED CEILING PLAN LEGEND

1. ACOUSTIC CEILING TYPE 1 - 24" LAY IN CEILING
 2. ACOUSTIC CEILING TYPE 2 - 24" LAY IN CEILING
 3. ACOUSTIC CEILING TYPE 3 - 24" LAY IN CEILING
 4. GYPSUM BOARD CEILING OR SOFFIT
 5. SPECIFY CEILING TYPE 1 - WOOD MILLWORK
- 24" FLUORESCENT LIGHT FIXTURE
 - 14" FLUORESCENT LIGHT FIXTURE
 - 4" LINEAR FLUSH FIXTURE
 - 30" FLUORESCENT LIGHT FIXTURE
 - RECESSED CAN LIGHT
 - SURFACE MOUNTED LIGHT
 - 3 LIGHT ISLAND FIXTURE
 - TRACK LIGHTING
 - WALL MOUNTED VANITY FIXTURES
 - EXT. LIGHT WITH DIRECTIONAL ARROW
 - EXT. LIGHT
 - RETURN AIR GRILLE
 - SUPPLY DIFFUSER
 - LINEAR DIFFUSER
 - 24" LAY-IN ACOUSTICAL CEILING
 - 30" LAY-IN ACOUSTICAL CEILING
 - GYPSUM BOARD CEILING OR SOFFIT
 - CEMENTITIOUS FIBER BOARD W/COND. VENT

REFLECTED CLNG. PLAN CODED NOTES

1. ALIGN FEATURES
2. OPEN TO ABOVE
3. WALL GRAZER FIXTURE
4. RECURVING PENDANT CLUSTER

REFLECTED CLNG. PLAN GEN. NOTES

1. FACE OF BALUNGRS SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BALUNGRS ARE PARALLEL, UNL.D. OR DIMENSIONED
2. CEILING SPANS ARE DIMENSIONED IN ROOM UNL.D. OR DIMENSIONED
3. WHERE EXT. SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.

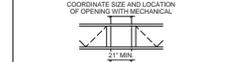
GENERAL NOTES - UNIT PLAN

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21. CONDOUR FLOOR, CEILING, WALL AND ALL CELLINGS IN RESIDENTIAL BUILDINGS CONSTRUCTED OF WOOD. SHALL BE 1/8" RATED REFER TO LOCAL CODES.
22. COORDINATE TYPICAL MOUNTING HEIGHTS AND THROUGH-WALL EXTENSION BELIEVES WITH ARCHITECT.

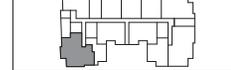
CODED NOTES - UNIT PLAN

1. WIRE SHELVING AND ROD - CLOSET TYPE A
2. WIRE SHELVING AND ROD - CLOSET TYPE B
3. WIRE SHELVING AND ROD - PANTRY TYPE C

TRUSS OP'NG DIAGRAM AT UNITS



UNIT KEY PLAN



KEY PLAN



REVISIONS

#	DATE	CHANGE DESCRIPTION
1	02-17-15	Addendum 1

BRIDGE PARK BUILDING C1

for CRAWFORD HOYNG development

MOODY-NOLAN
 RESPONSIVE ARCHITECTURE

300 Spruce Street
 Suite 300
 Columbus, Ohio 43215

Phone: (614) 461-4864
 Fax: (614) 286-9881
 www.moody-nolan.com

DATE: 10/01/15
 SHEET: 1 MOODY_LIC_8706
 3/8" DATE: 10/01/15

Desig. Coor. Author Text Coor. Checker 14145

3 BEDROOM UNIT
 CD PERMIT / GMP SET

A602
 02.05.2015

2 PLAN
 RCP - 3 BEDROOM APARTMENT # 201
 1/4" = 1'-0"

1 PLAN
 ENLARGED PLAN - 3 BEDROOM APARTMENT # 201
 1/4" = 1'-0"

DOOR SCHEDULE - UNIT 507. Table with columns: NUMBER, ROOM NAME, DOOR, HEIGHT, MATERIAL, ELEV, FRAME, ELEV, FIRE RATING, HOW SET, HEAD, JAMB, SILL, DETAILS - SHEET AX-XX, REMARKS.

ROOM FINISH SCHEDULE - UNIT 507. Table with columns: ROOM NUMBER, ROOM NAME, SPACE, FLOOR, BASE, DOOR/FRAME FINISH, NORTH WALLS, EAST WALLS, WEST WALLS, REMARKS.

CODED REMARKS - FINISH

- 1. REFER TO UNIT DESIGN A FOR LEVELS 2 AND 4. REFER TO UNIT DESIGN B FOR LEVELS 3 AND 5.

FINISH LEGEND

- NOTE: FINISHES OF UNITS SHOWN ARE BASED ON NORTH ARROW SHOWN IN UNIT PLAN. ORIENTATION OF ACTUAL UNITS VARIES WITHIN BUILDING.

CITY OF DUBLIN APPROVAL

GENERAL NOTES - UNIT PLAN

FLOOR PLAN LEGEND

- INDICATES PARTITION WITH SOUND ATTENUATION. REFER TO THE WALL PARTITION SCHEDULE.

Legend for symbols: MAIL BOX, PARCEL BOX, PLAN ELEVATION, F.E.C., PORTABLE FIRE EXTINGUISHER, TYPE 1 FULLY ACCESSIBLE UNIT, REQUIRED 30" MIN WHEELCHAIR CLEARANCE, 2'-0" MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATHROOM SINK RAMP, BALCONY, UNIT INTERIOR MECHANICAL, UNIT ACCESS PANEL LOCATION, REFLECTED CEILING PLAN LEGEND, REFLECTED CLNG. PLAN CODED NOTES, REFLECTED CLNG. PLAN GEN. NOTES.

CODED NOTES - UNIT PLAN

- 1. WIRE SHELVING AND ROD - CLOSET TYPE A

TRUSS OP'NG DIAGRAM AT UNITS



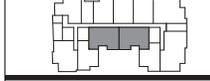
UNIT KEY PLAN



KEY PLAN



BRIDGE PARK BUILDING C1



KEY PLAN



REFLECTED CEILING PLAN LEGEND

- 1. ACOUSTIC CEILING TYPE 1: 2x2 LAY IN CEILING

REFLECTED CLNG. PLAN CODED NOTES

- 1. ALON FEATURES

REFLECTED CLNG. PLAN GEN. NOTES

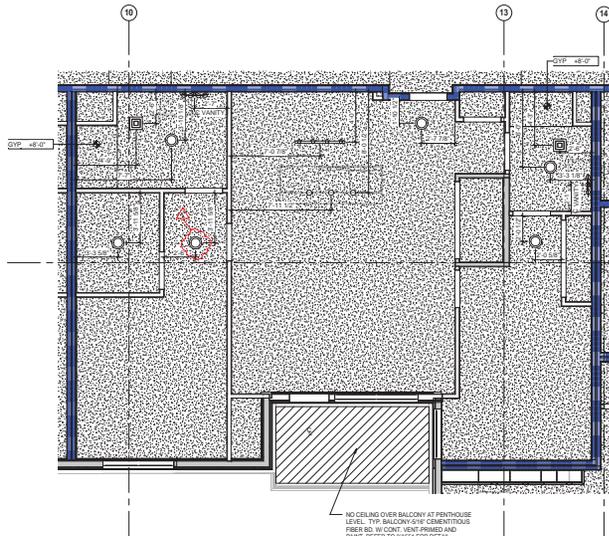
- 1. FACE OF BALCONY SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BALCONY IS PARALLEL, UNL.D. OR DIMENSIONED.

REFLECTED CEILING PLAN LEGEND

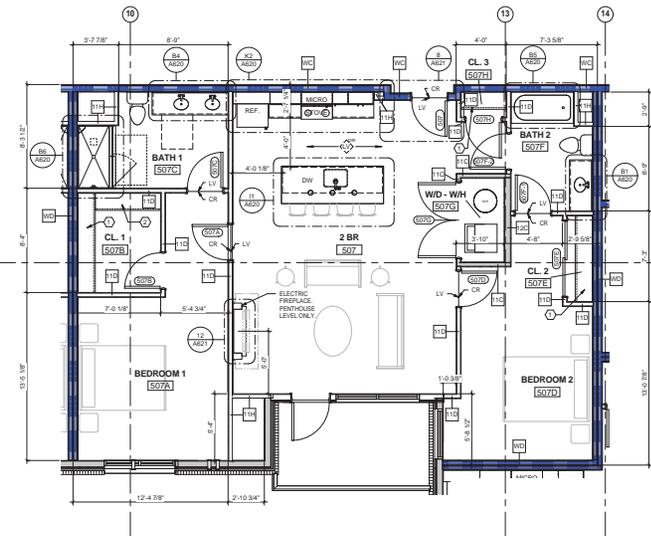
- 1. ACOUSTIC CEILING TYPE 1: 2x2 LAY IN CEILING

REFLECTED CLNG. PLAN GEN. NOTES

- 1. FACE OF BALCONY SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BALCONY IS PARALLEL, UNL.D. OR DIMENSIONED.



2 PLAN RCP - 2 BEDROOM APARTMENT # 507. 1/4" = 1'-0"



1 PLAN ENLARGED PLAN - 2 BEDROOM APARTMENT # 507. 1/4" = 1'-0"

MOODY-NOLAN RESPONSIVE ARCHITECTURE logo and contact information.

BRIDGE PARK BUILDING C1 logo and contact information.

DOOR SCHEDULE - UNIT 510. Table with columns: NUMBER, ROOM NAME, DOOR, WIDTH, HEIGHT, MATERIAL, ELEV, FRAME, ELEV, FIBRE FINISH, HOW SET, HEAD, JAMB, SILL, REMARKS.

ROOM FINISH SCHEDULE - UNIT 510. Table with columns: ROOM NUMBER, SPACE, ROOM NAME, FLOOR, BASE, DOORFRAME FINISH, WALLS, WEST, EAST, SOUTH, NORTH, REMARKS.

CODED REMARKS - FINISH

- 1. REFER TO UNIT DESIGN A FOR LEVELS 2 AND 3
2. REFER TO FINISH PLAN FOR METAL DIRECTION OF FLOORING LV1 (DR)
3. INSTALL CT LAMINATE TILE IN VOID OFFSET PATTERNS
4. REFER TO SHEETS A601 - A604 FOR LOBBY FINISH DETAILS
5. REFER TO SHEETS A605 - A608 FOR UNIT FINISH DETAILS
6. UPGRADE TO PENHOUSE AND AMENITY FINISHES TO INCLUDE CROWN MOLDING, LININGS, DECORATIVE LATHING & BRAND AND VANITY AND TILE BACKPLASH IN KITCHEN. REFER TO SHEETS A601 - A602.
7. METAL STAR COMPONENTS TO BE PAINTED PF 4 UNDO

FINISH LEGEND

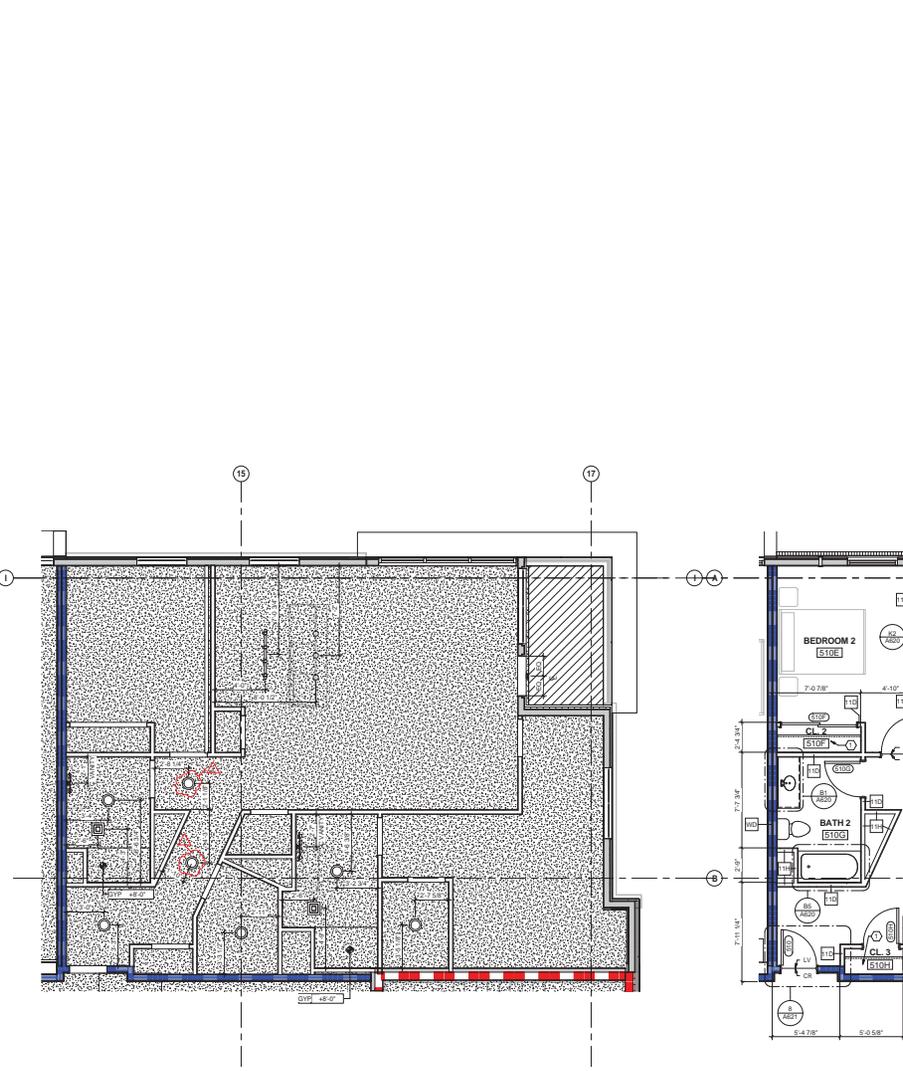
- NOTE: FINISHES OF ACTUAL UNITS VARY WITH BUILDING
KEY PLAN: ORIENTATION OF ACTUAL UNITS VARYS WITH BUILDING
NOTE: SEE GENERAL NOTES FINISH (SHEET A601)
FLOORS
Lobby (CR)
UNIT 1: MOHAWK SPWPT TOP CARD - 7/8" OAT STRAW BR/AC/D/COOM
UNIT 2: MOHAWK SPWPT TOP CARD - 7/8" WOOD SMOKE BR/AC/D/COOM
UNIT 3: ALADDIN PURE & SIMPLE - 8/8 EMPLOYER YOURSELF BR/AC/D/COOM
UNIT 4: WILDCAT - MANHATTAN RUSTY (TAN TONES) BR/AC/D/COOM
UNIT 5: BRISLEY WINDMILL - URSULA ESCAPE 403208 (1/2" X 3/4" PLANK) BR/AC/D/COOM
UNIT 6: ALADDIN PURE & SIMPLE - 8/8 EMPLOYER YOURSELF BR/AC/D/COOM
UNIT 7: WILDCAT - MANHATTAN RUSTY (TAN TONES) BR/AC/D/COOM
UNIT 8: CARPET TILE AREA RUG - FLOOR - LASTING GRATESS - TEAL/ROSE BR/AC/D/COOM
UNIT 9: CARPET TILE AREA RUG - FLOOR - INDISTINCT - WINE BR/AC/D/COOM
UNIT 10: CARPET TILE AREA RUG - FLOOR - SOMETHING CONCRETE - LIGHT TAUPE BR/AC/D/COOM
UNIT 11: ATLAS MARK - TOBACCO - MATTE (1/2" X 24") BR/AC/D/COOM
UNIT 12: ATLAS MARK - CHROME - MATTE (1/2" X 24") BR/AC/D/COOM
UNIT 13: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 14: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 15: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 16: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 17: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 18: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 19: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 20: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 21: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 22: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 23: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 24: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 25: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 26: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 27: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
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UNIT 31: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 32: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
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UNIT 67: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
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UNIT 69: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 70: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 71: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
UNIT 72: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
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UNIT 74: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
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UNIT 81: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM
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UNIT 100: MOHAWK SPWPT CROSSBRODGE 70105 BROWN BR/AC/D/COOM

CITY OF DUBLIN APPROVAL

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
2. SEE GENERAL NOTES FOR WALL TYPE CONSTRUCTION AND PARTITION STOCK
3. EXTERIOR WALL CONDITIONS VARY - REFER TO BUILDING PLAN SHEETS
4. DIMENSIONS FOR EXTERIOR WALLS, DOOR, WINDOW AND BALCONY
5. REFER TO SHEETS A601 - A608 FOR UNIT FINISH DETAILS
6. UPGRADE TO PENHOUSE AND AMENITY FINISHES TO INCLUDE CROWN MOLDING, LININGS, DECORATIVE LATHING & BRAND AND VANITY AND TILE BACKPLASH IN KITCHEN. REFER TO SHEETS A601 - A602.
7. METAL STAR COMPONENTS TO BE PAINTED PF 4 UNDO

GENERAL NOTES - UNIT PLAN

- 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
2. SEE GENERAL NOTES FOR WALL TYPE CONSTRUCTION AND PARTITION STOCK
3. EXTERIOR WALL CONDITIONS VARY - REFER TO BUILDING PLAN SHEETS
4. DIMENSIONS FOR EXTERIOR WALLS, DOOR, WINDOW AND BALCONY
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7. METAL STAR COMPONENTS TO BE PAINTED PF 4 UNDO



- 1. REFER TO UNIT DESIGN A FOR LEVELS 2 AND 3
2. REFER TO FINISH PLAN FOR METAL DIRECTION OF FLOORING LV1 (DR)
3. INSTALL CT LAMINATE TILE IN VOID OFFSET PATTERNS
4. REFER TO SHEETS A601 - A604 FOR LOBBY FINISH DETAILS
5. REFER TO SHEETS A605 - A608 FOR UNIT FINISH DETAILS
6. UPGRADE TO PENHOUSE AND AMENITY FINISHES TO INCLUDE CROWN MOLDING, LININGS, DECORATIVE LATHING & BRAND AND VANITY AND TILE BACKPLASH IN KITCHEN. REFER TO SHEETS A601 - A602.
7. METAL STAR COMPONENTS TO BE PAINTED PF 4 UNDO

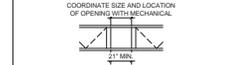
FLOOR PLAN LEGEND

- INDICATES PARTITION WITH SOUND ATTENUATION. REFER TO THE WALL PARTITION SCHEDULE
1 HR RATED WALL
2 HR RATED WALL
1 1/2 HR RATED WALL
10 HR RATED WALL
PLAN ELEVATION
MAIL BOX
PARCEL BOX
LINE INDICATES ORIENTATION OF KEYHOLE FOR FOR ANSI COMPLIANCE
RECESSED FIRE EXTINGUISHER CABINET - INSTALL FIRE EXTINGUISHER SO THAT THE INTEGRITY OF RATED WALL IS MAINTAINED. CONTRAST TYPE 2 OR BOARD ASSEMBLY BEHIND FIRE EXTINGUISHER CABINET. UNIT SHALL NOT EXCEED MORE THAN 4" INTO THE PATH OF EGRESS.
PORTABLE FIRE EXTINGUISHER
HEARING IMPAIRED UNIT: SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS. SEE CODE FLOOR PLANS FOR LOCATIONS.
TYPE 1 FULLY ACCESSIBLE UNIT. SEE CODE FLOOR PLANS FOR LOCATIONS.
REQUIRED 30" MIN WHEELCHAIR CLEARANCE. 48" SHALL BE CENTERED AT DRAG AND KICK RANGE.
2'-10" MAXIMUM HEIGHT TO THE TOP OF THE KITCHEN OR BATHROOM SINK RUN. TYP. AT PUBLIC AREAS & TYPE A AND UNIT.
ELECTRIC FIRE PLACE AND GYPSUM BOARD SURROUND TOP AT ALL FINISH UNITS AND TOPWALLS.
TYPICAL ACCESS PANEL LOCATION FOR MECHANICAL UNIT. ACCESS PANEL TO BE PAINTED.
REFLECTED CEILING PLAN LEGEND
1. ACOUSTIC CEILING TYPE 1 - 2x2 LAY IN CEILING
2. ACOUSTIC CEILING TYPE 2 - 4x4 LAY IN CEILING
3. ACOUSTIC CEILING TYPE 3 - 2x2 LAY IN CEILING
4. GYPSUM BOARD CEILING OR SOFFIT
5. SPREADLY CEILING TYPE 1 - WOOD MILLWORK
2x4 FLUORESCENT LIGHT FIXTURE
1x4 FLUORESCENT LIGHT FIXTURE
1x4 LINEAR FLUSH FIXTURE
3x3 FLUORESCENT LIGHT FIXTURE
RECESSED CAN LIGHT
SURFACE MOUNTED LIGHT
3 LIGHT ISLAND FIXTURE
TRACK LIGHTING
WALL MOUNTED VANITY FIXTURES
EXT LIGHT WITH DIRECTIONAL ARROW
EXT LIGHT
RETURN AIR GRILLE
SUPPLY DIFFUSER
LINEAR DIFFUSER
2x4 LAY-IN ACOUSTICAL CEILING
3x3 LAY-IN ACOUSTICAL CEILING
GYPSUM BOARD CEILING OR SOFFIT
CEMENTITIOUS FIBER BOARD W/COAT VENT
REFLECTED CLNG. PLAN CODED NOTES
1. ALUM FEATURES
2. OPEN TO ABOVE
3. WALL GRAZER FIXTURE
4. RECREATIVE PENDANT CLUSTER
REFLECTED CLNG. PLAN GEN. NOTES
1. FACE OF BALUNES SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BALUNES ARE PARALLEL, UNDO, OR DIMENSIONED.
2. CEILING GRIDS ARE DIMENSIONED ON ROOM UNDO OR DIMENSIONED.
3. WHERE EXT SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.

CODED NOTES - UNIT PLAN

- 1. WIRE SHELVING AND ROD - CLOSET TYPE A
2. WIRE SHELVING AND ROD - CLOSET TYPE B
3. WIRE SHELVING AND ROD - PANTRY TYPE C

TRUSS OPNG DIAGRAM AT UNITS



2 PLAN RCP - 2 BEDROOM APARTMENT # 510
1/4" = 1'-0"
TYPICAL PLAN FOR UNITS # 510, # 410 AND # 510

1 PLAN ENLARGED PLAN - 2 BEDROOM APARTMENT # 510
1/4" = 1'-0"
TYPICAL PLAN FOR UNITS # 510, # 410 AND # 510

BRIDGE PARK BUILDING C1
FOR CRAWFORD HOYNG development
MOODY-NOLAN RESPONSIVE ARCHITECTURE
330 Spruce Street, Suite 300, Columbus, Ohio 43215
Phone: (614) 461-4864, Fax: (614) 260-8881, www.moodynolan.com
CITY OF MOODY, LIC #006
3/8" DATE: 02/05/2016
2 BEDROOM UNIT A605
CD PERMIT / GMP SET 02.05.2015

DOOR SCHEDULE - UNIT 210. Table with columns: NUMBER, ROOM NAME, DOOR, HEIGHT, MATERIAL, ELEV, FRAME, MATERIAL, ELEV, FIRE RATING, HOB SET, HEAD, JAMB, SILL, REMARKS.

ROOM FINISH SCHEDULE - UNIT 210. Table with columns: ROOM NUMBER, SPACE, FLOOR, BASE, DOOR/FRAME FINISH, WALLS, EAST, WEST, REMARKS.

CODED REMARKS - FINISH

- 1. REFER TO UNIT DESIGN & FOR LEVELS 1 AND 4
2. REFER TO UNIT DESIGN & FOR LEVELS 1 AND 4
3. REFER TO FINISH PLAN FOR METAL FINISHES OF FLOORING (LV-1) (DR)

FINISH LEGEND

NOTE: FINISHES OF UNITS SHOWN ARE BASED ON NORTH ARROW SHOWN IN KEY PLAN. ORIENTATION OF ACTUAL UNITS VARIES WITHIN BUILDING.
NOTE: SEE GENERAL NOTES - FINISH SHEET A61.

- FLOORS
CFL-1: UNIT 1 - MCKINAW BRISTOL TOP CARD - 75/24T STRAW (BROADLOOM)
CFL-2: UNIT 1 - MCKINAW BRISTOL TOP CARD - 75/24T STRAW (BROADLOOM)

CITY OF DUBLIN APPROVAL

1. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
2. SEE B SERIES SHEETS FOR FACE OF FINISH CONSTRUCTION AND PARTITION PROFILES.

FLOOR PLAN LEGEND

- INDICATES PARTITION WITH SOUND ATTENUATION. REFER TO THE WALL PARTITION SCHEDULE.
1 HR RATED WALL
2 HR RATED WALL
10 HR RATED WALL

REFLECTED CEILING PLAN LEGEND. Includes symbols for 24" FLUORESCENT LIGHT FIXTURE, 14" FLUORESCENT LIGHT FIXTURE, 4" LINEAR FLUSH FIXTURE, 30" FLUORESCENT LIGHT FIXTURE, RECESSED CAN LIGHT, SURFACE MOUNTED LIGHT, 3 LIGHT ISLAND FIXTURE, TRACK LIGHTING, WALL MOUNTED VANITY FIXTURES, EXT LIGHT WITH DIRECTIONAL ARROW, EXT LIGHT, RETURN AIR GRILLE, SUPPLY DIFFUSER, LINEAR DIFFUSER, 24" LAY-IN ACOUSTICAL CEILING, 30" LAY-IN ACOUSTICAL CEILING, GYPSUM BOARD CEILING OR SOFFIT, CEMENTITIOUS FIBER BOARD W/COND. VENT.

REFLECTED CLNG. PLAN CODED NOTES. 1. ALIGN FEATURES, 2. OPEN TO ABOVE, 3. SMALL GRAZER FIXTURE, 4. DECORATIVE PENDANT CLUSTER.

REFLECTED CLNG. PLAN GEN. NOTES. 1. FACE OF FINISHES SHALL ALIGN WITH FACE OF ADJACENT WALL TO WHICH BULBS ARE PARALLEL, UNLESS OTHERWISE NOTED.

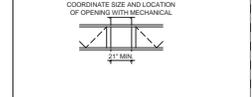
GENERAL NOTES - UNIT PLAN

- 1. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
2. SEE B SERIES SHEETS FOR FACE OF FINISH CONSTRUCTION AND PARTITION PROFILES.
3. EXTERIOR WALL CONDITIONS VARY. REFER TO BUILDING BLUEPRINTS.

CODED NOTES - UNIT PLAN

- 1. WIRE SHELVING AND ROD - PORTY TYPE A
2. WIRE SHELVING AND ROD - PORTY TYPE B
3. WIRE SHELVING AND ROD - PORTY TYPE C

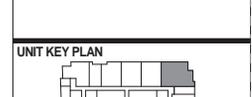
TRUSS OP'NG DIAGRAM AT UNITS



UNIT KEY PLAN



KEY PLAN



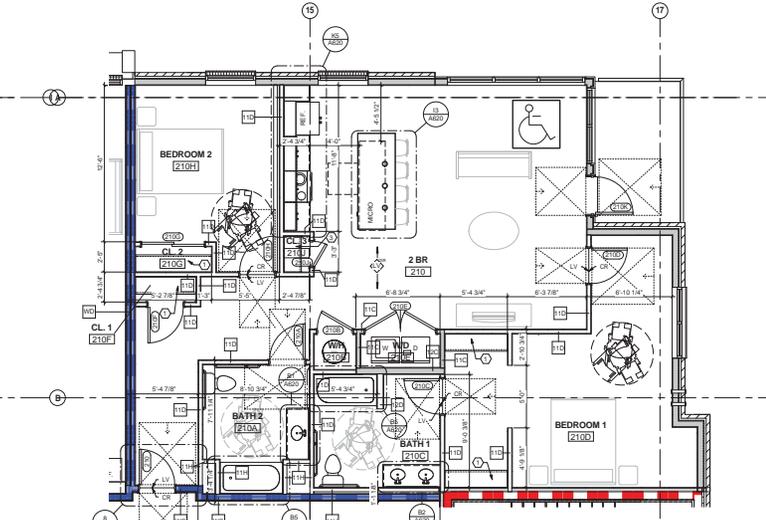
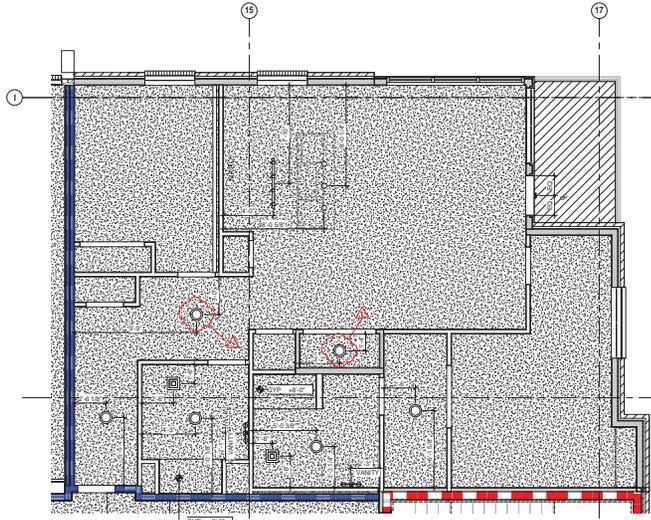
BRIDGE PARK BUILDING C1

BRIDGE PARK BUILDING C1. Includes logo for Crawford Hoying development and Moody-Nolan logo.

Change Log Table with columns: #, DATE, CHANGE DESCRIPTION. Row 1: 02-17-15, Addendum 1.

MOODY-NOLAN RESPONSIVE ARCHITECTURE. 390 Spruce Street, Columbus, Ohio 43215. Phone: (614) 461-4864. Fax: (614) 286-8881. www.moodynolan.com

ANSI UNIT - 2 BEDROOM UNIT A613. CD PERMIT / GMP SET 02.05.2015.



2 PLAN RCP - ANSI UNIT - 2 BEDROOM APARTMENT # 210 1/4\"/>

1 PLAN ENLARGED PLAN - ANSI UNIT - 2 BEDROOM APARTMENT # 210 1/4\"/>

