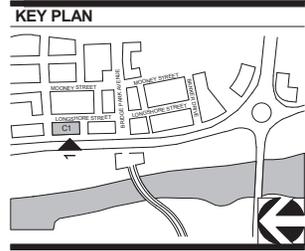


# BUILDING C1

6680 RIVERSIDE DRIVE  
DUBLIN, OHIO 43017

USE	AREA
FOOD / BEVERAGE	15,922 SF.
RESIDENTIAL	50,901SF.
PATIO	5,113 SF.
CIRCULATION	8,768 SF.
SERVICE	3,289 SF
TOTAL	83,993 SF.



## MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

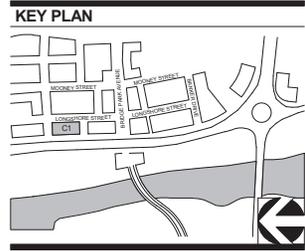
REVISED 04-23-2015 C1 - A000 - COVER



STREET FACADE ENTRANCES REQUIRED  
1 PER 75' OF FACADE (MIN.)

STREET	FACADE LENGTH	# REQ'D	PROVIDED
LONGSHORE ST	182'	3	4
TULLER RIDGE	100'	2	2
RIVERSIDE DR.	182'	3	3

- CIRCULATION - 662 SF
- RETAIL - 15,922 SF
- SERVICE - 1,151 SF



**1 C1 - LEVEL 1 FLOOR PLAN (EL. 810.00')**  
1/16" = 1'-0"

**RIVERSIDE DRIVE**

**MIXED USE BUILDING TYPE**

04-23-2015 C1 - A101 - LEVEL 1

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

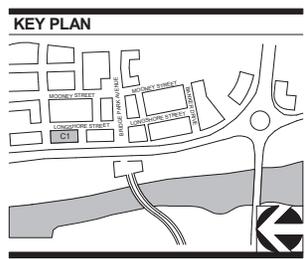


- AMENITY - 661 SF.
- RESIDENTIAL - 12,302 SF.
- CIRCULATION - 2,128 SF.
- SERVICE - 819 SF.
- PATIO - 3,013 SF.

UNIT QUANTITY 2FL	
Name	Quantity

1 BR (HC)	1
2 BR (HC)	1
3 BR (HC)	1
STUDIO (HC)	1
HC RM: 4	
1 BR	4
2 BR	2
3 BR	1

RM: 7  
Grand total: 11



**1 C1 - LEVEL 2 FLOOR PLAN (EL. 830.00')**  
1/16" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A102 - LEVEL 2

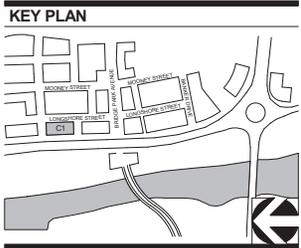




**BRIDGE PARK**  
DUBLIN, OH

CIRCULATION - 2,119 SF.     RESIDENTIAL - 13,051 SF.  
 PATIO - 700 SF.     SERVICE - 734 SF.

UNIT QUANTITY 4FL	
Name	Quantity
1 BR	6
2 BR	4
3 BR	1
Grand total: 11	



**1 C1 - LEVEL 4 FLOOR PLAN (EL. 851.37')**  
1/16" = 1'-0"

MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A104 - LEVEL 4



**BRIDGE PARK**  
DUBLIN, OH

CIRCULATION - 2,119 SF.

RESIDENTIAL - 13,051 SF.

PATIO - 700 SF.

SERVICE - 734 SF.

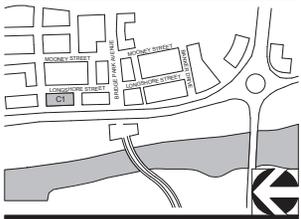
UNIT QUANTITY 5FL	
Name	Quantity

1 BR	6
2 BR	4
3 BR	1
STUDIO	1

Grand total: 12



KEY PLAN



**1 C1 - LEVEL 5 FLOOR PLAN (EL. 862.03')**  
1/16" = 1'-0"

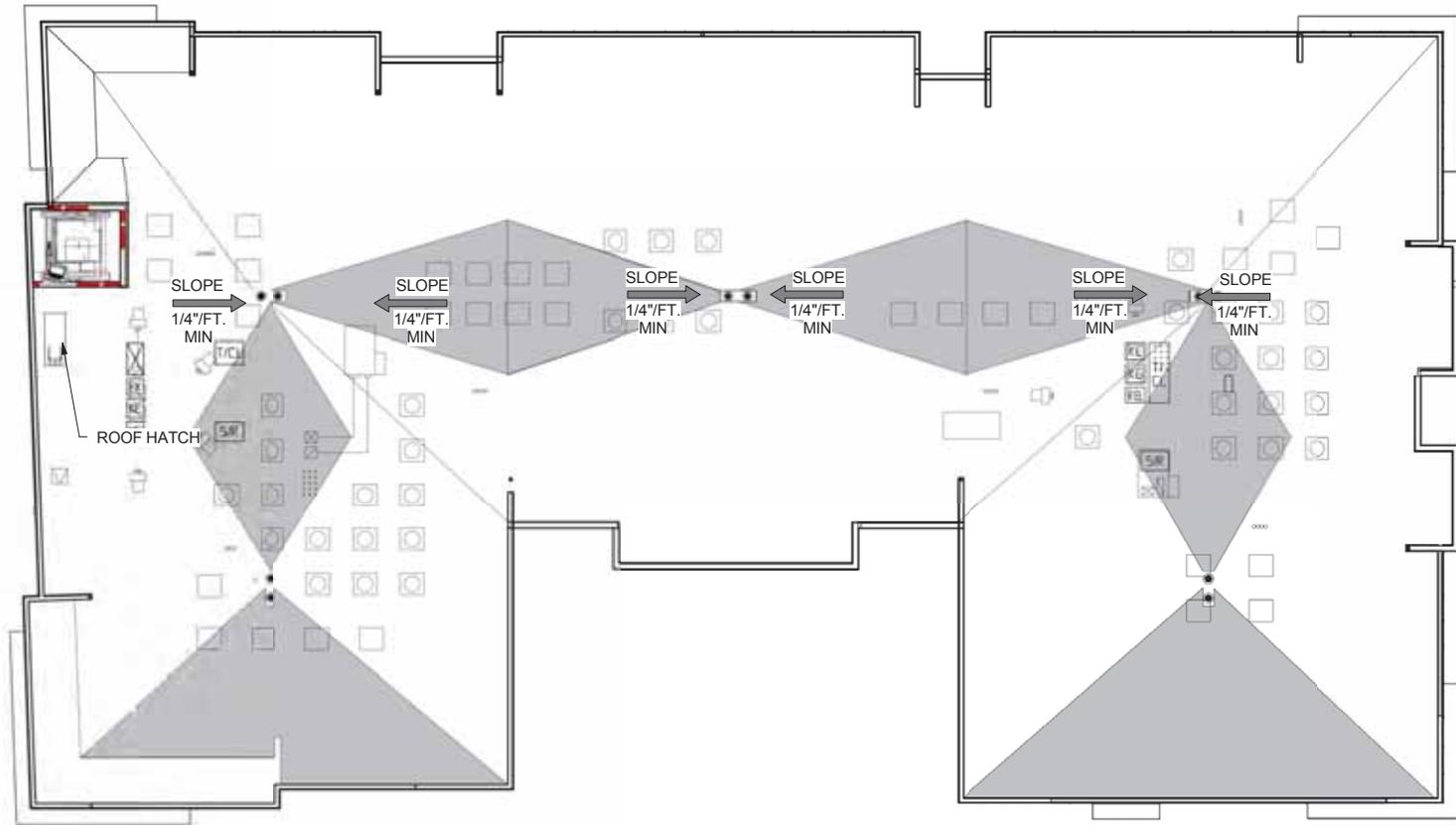
MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

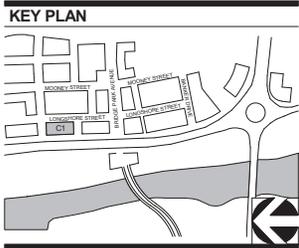
04-23-2015 C1 - A105 - LEVEL 5



**BRIDGE PARK**  
DUBLIN, OH



**1 C1 - ROOF PLAN (EL. 872.63')**  
1/16" = 1'-0"



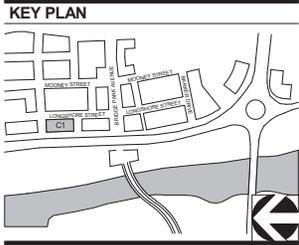
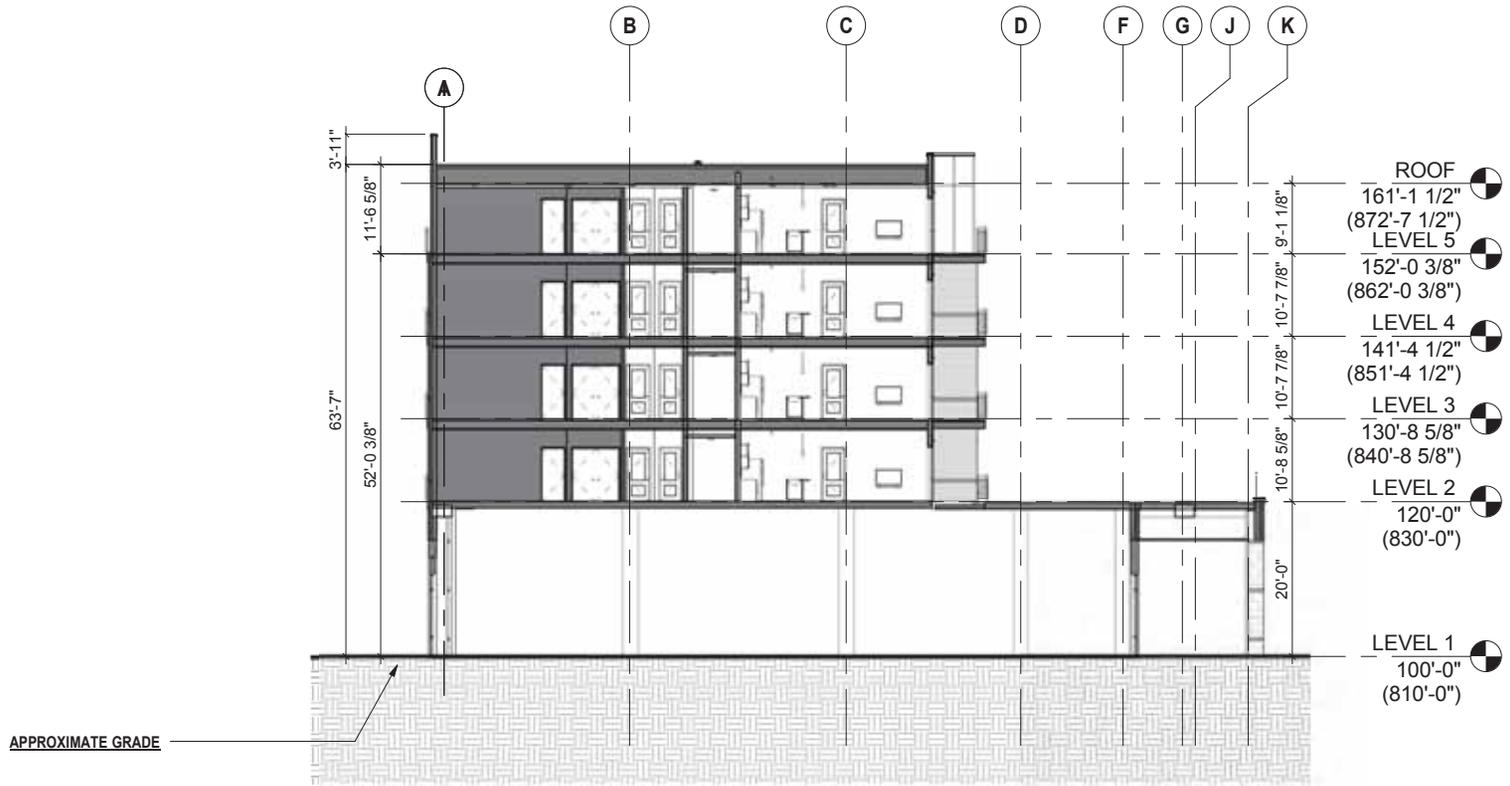
**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A106 - ROOF PLAN



**BRIDGE PARK**  
DUBLIN, OH



**1 C1 - BUILDING SECTION**  
1/16" = 1'-0"

**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A107 - BLDG SECTION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45° OR LESS REQUIRED)



### STREET FACADE TRANSPARENCY

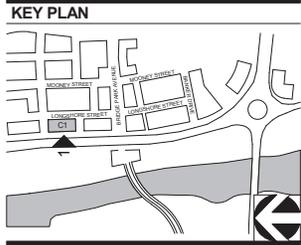
Story	Story Area	Transparency	Required	Provided
5th Story	2,705 sf	820 sf	30%	30%
4th Story	2,515 sf	819 sf	30%	33%
3rd Story	2,515 sf	819 sf	30%	33%
2nd Story	2,532 sf	770 sf	30%	30%
1st Story	1,011 sf	813 sf	65%	80%

### HORIZONTAL FACADE DIVISIONS (Required within 3' of top of ground story on buildings 3 stories and taller)

### FACADE MATERIALS

Overall Area of elevation: 14,509 sf  
 Area of Windows/Doors: - 2,958 sf  
 Net Area of Elevation: 11,551 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	5,707 sf	49%		
Calcium Silicate Masonry Unit (CSMU)	Primary	606 sf	5%		
Glass	Primary	1,221 sf	11%		
		<b>7,534 sf</b>	<b>65%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Trim	2,158 sf	12%		
Fiber Cement	Secondary	1,387 sf	19%		
Misc. Elements		472 sf	4%		
		<b>4,017 sf</b>	<b>35%</b>	<b>&lt;20%</b>	<b>N</b>



## 1 C1- WEST ELEVATION

1/16" = 1'-0"

### MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

REVISED 04-23-2015 C1 - A108 - WEST ELEVATION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)

### STREET FACADE TRANSPARENCY

**5th Story**  
 Story Area: 1,284 sf  
 Transparency: 365 sf  
 Required: 30%  
 Provided: 28%

**4th Story**  
 Story Area: 1,190 sf  
 Transparency: 365 sf  
 Required: 30%  
 Provided: 31%

**3rd Story**  
 Story Area: 1,190 sf  
 Transparency: 365 sf  
 Required: 30%  
 Provided: 31%

**2nd Story**  
 Story Area: 1,197 sf  
 Transparency: 365 sf  
 Required: 30%  
 Provided: 30%

**1st Story**  
 Story Area: 608 sf  
 Transparency: 395 sf  
 Required: 65%  
 Provided: 66%

### Story Height (See Typ. Notes)

ROOF DECK  
163'-7"

LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")

LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")

LEVEL 3  
130'-8 5/8"  
(840'-8 5/8")

LEVEL 2  
120'-0"  
(830'-0")

LEVEL 1  
100'-0"  
(810'-0")



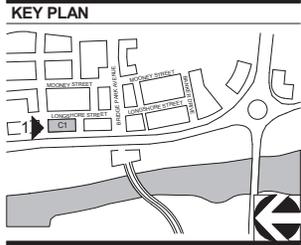
EAST LOBBY  
102'-0"  
(812'-0")

### HORIZONTAL FACADE DIVISIONS (Required within 3' of top of ground story on buildings 3 stories and taller)

### FACADE MATERIALS

Overall Area of elevation: 7,669 sf  
 Area of Windows/Doors: - 1,457 sf  
 Net Area of Elevation: 6,309 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	
Brick Calcium Silicate Masonry Unit (CSMU) Glass	Primary	2,041 sf	32%		
	Primary	1,130 sf	18%		
	Primary	630 sf	10%		
		<b>3,801 sf</b>	<b>60%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP) Fiber Cement Misc. Elements	Trim	359 sf	33%		
	Secondary	2,069 sf	6%		
		80 sf	1%		
		<b>2,508 sf</b>	<b>40%</b>	<b>&lt;20%</b>	<b>N</b>



# 1 C1 - NORTH ELEVATION

1/16" = 1'-0"

## MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

REVISED 04-23-2015

C1 - A109 - NORTH ELEVATION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)

Balcony side walls included in story area for transparency and material calculations

### STREET FACADE TRANSPARENCY

<b>5th Story</b>
Story Area: 2,389 sf
Transparency: 706 sf
Required: 30%
Provided: 30%
<b>4th Story</b>
Story Area: 2,204 sf
Transparency: 682 sf
Required: 30%
Provided: 31%
<b>3rd Story</b>
Story Area: 2,204 sf
Transparency: 668 sf
Required: 30%
Provided: 30%
<b>2nd Story</b>
Story Area: 2,216 sf
Transparency: 693 sf
Required: 30%
Provided: 31%
<b>1st Story</b>
Story Area: 1,168 sf
Transparency: 778 sf
Required: 65%
Provided: 67%



### Story Height (See Typ. Notes)

- ROOF DECK  
163'-7"
- LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")
- LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")
- LEVEL 3  
130'-8 5/8"  
(840'-8 5/8")
- LEVEL 2  
120'-0"  
(830'-0")
- EAST LOBBY  
102'-0"  
(812'-0")
- LEVEL 1  
100'-0"  
(810'-0")

### HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)

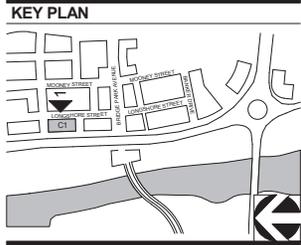
### FACADE MATERIALS

Overall Area of elevation: 13,382 sf  
Area of Windows/Doors: - 2,745 sf  
Net Area of Elevation: 10,637 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	
Brick	Primary	3,542 sf	33%		
	Primary	1,672 sf	16%		
	Primary	1,297 sf	12%		
		<b>6,511 sf</b>	<b>61%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Trim	1,092 sf	27%		
	Secondary	2,869 sf	10%		
	Secondary	165 sf	2%		
		<b>4,126 sf</b>	<b>39%</b>	<b>&lt;20%</b>	<b>N</b>

### PRINCIPAL ENTRANCE LOCATION

(As applicable along any principal frontage street facade of building)



## 1 C1 - EAST ELEVATION

1/16" = 1'-0"

### MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

REVISED 04-23-2015 C1 - A110 - EAST ELEVATION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)

46'-6 1/4"      8'-9 1/4"      18'-2 7/8"      27'-4"

**Story Height**  
(See Typ. Notes)  
ROOF DECK  
163'-7"

LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")

LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")

LEVEL 3  
130'-8 5/8"  
(840'-8 5/8")

LEVEL 2  
120'-0"  
(830'-0")

LEVEL 1  
100'-0"  
(810'-0")

Balcony side walls included in story area for transparency and material calculations

### NON-STREET FACADE TRANSPARENCY

**5th Story**  
Story Area: 1,328 sf  
Transparency: 306 sf  
Required: -15%  
Provided: 23%

**4th Story**  
Story Area: 1,233 sf  
Transparency: 335 sf  
Required: 15%  
Provided: 27%

**3rd Story**  
Story Area: 1,233 sf  
Transparency: 335 sf  
Required: 15%  
Provided: 27%

**2nd Story**  
Story Area: 1,240 sf  
Transparency: 335 sf  
Required: 15%  
Provided: 27%

**1st Story**  
Story Area: 2,111 sf  
Transparency: 493 sf  
Required: 15%  
Provided: 23%

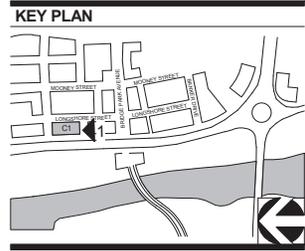
### HORIZONTAL FACADE DIVISIONS (Required within 3' of top of ground story on buildings 3 stories and taller)

- METAL GRILL GATE @ GAS METER ALCOVE
- HOLLOW METAL DOOR @ ELECTRIC ROOM
- STAIR EGRESS DOOR

### FACADE MATERIALS

Overall Area of elevation: 7,498 sf  
Area of Windows/Doors: -1,446 sf  
Net Area of Elevation: 6,052 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	
Brick	Primary	3,567 sf	59%		
Calcium Silicate Masonry Unit (CSMU)	Primary	932 sf	15%		
Glass	Primary	406 sf	7%		
		<b>4,905 sf</b>	<b>81%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Trim	712 sf	5%		
Fiber Cement	Secondary	275 sf	12%		
Misc. Elements		160 sf	2%		
		<b>1,147 sf</b>	<b>19%</b>	<b>&lt;20%</b>	<b>N</b>



# 1 C1 - SOUTH ELEVATION

1/16" = 1'-0"

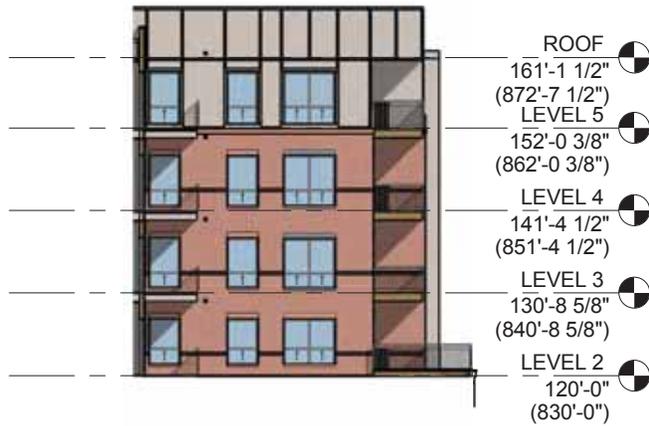
## MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

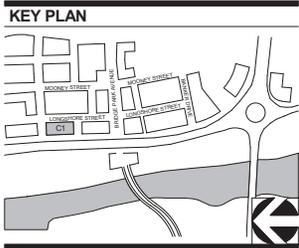
REVISED 04-23-2015 C1 - A111 - SOUTH ELEVATION



**BRIDGE PARK**  
DUBLIN, OH



**1 NORTH @ ROOF GARDEN**  
1/16" = 1'-0" NON-STREET ELEVATION



**2 SOUTH @ ROOF GARDEN**  
1/16" = 1'-0" NON-STREET ELEVATION



**3 WEST @ ROOF GARDEN**  
1/16" = 1'-0" FACADE CALCULATION ON INCLUDED ON THE WEST ELEVATIONS

**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A112 - GARDEN ELEVATIONS



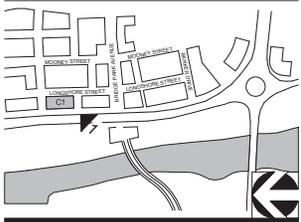
# BRIDGE PARK

DUBLIN, OH



MASSING - VIEW FROM SOUTHWEST CORNER

**KEY PLAN**



## MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

REVISED 04-23-2015 C1 - A113 - 3D VIEW



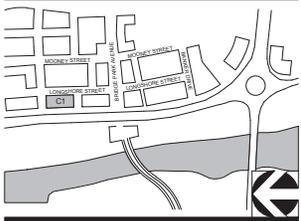
# BRIDGE PARK

DUBLIN, OH



MASSING - VIEW FROM NORTH EAST CORNER

**KEY PLAN**



## MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

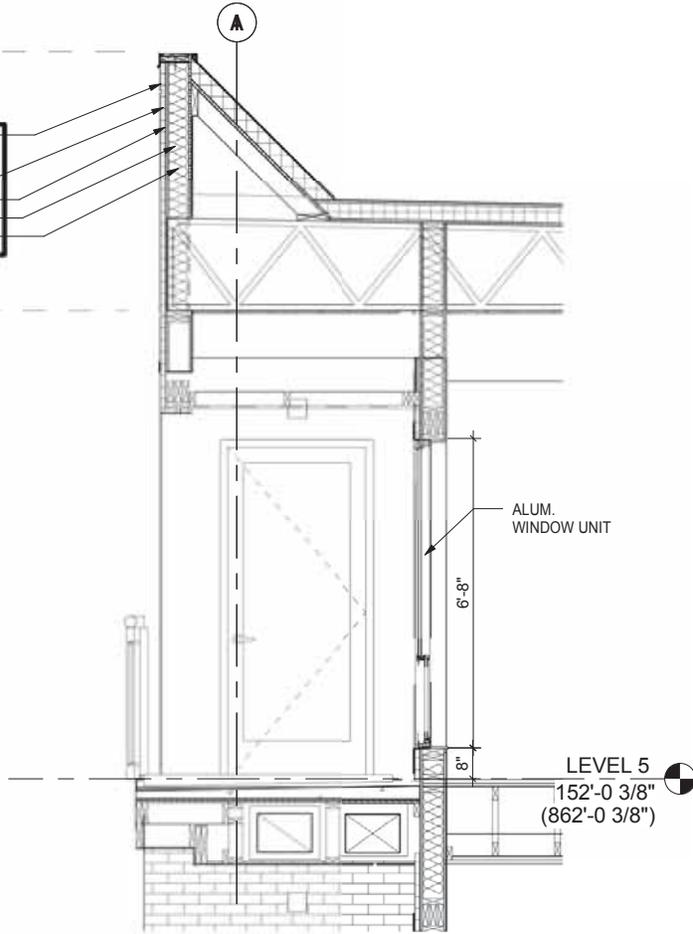
REVISED 04-23-2015 C1 - A114 - 3D VIEW



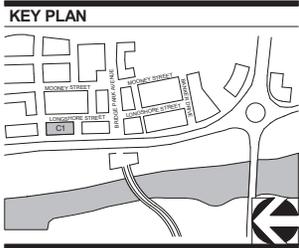
**BRIDGE PARK**  
DUBLIN, OH

- FIBER CEMENT BOARD
- CONTINUOUS AIR BARRIER SHOWN DASHED - SEE GENERAL NOTES
- 5/8" EXTERIOR GRADE WALL BOARD.
- BATT INSULATION
- 2x5 1/2 WOOD STUDS

TRUSS BEARING  
162'-1 1/2"

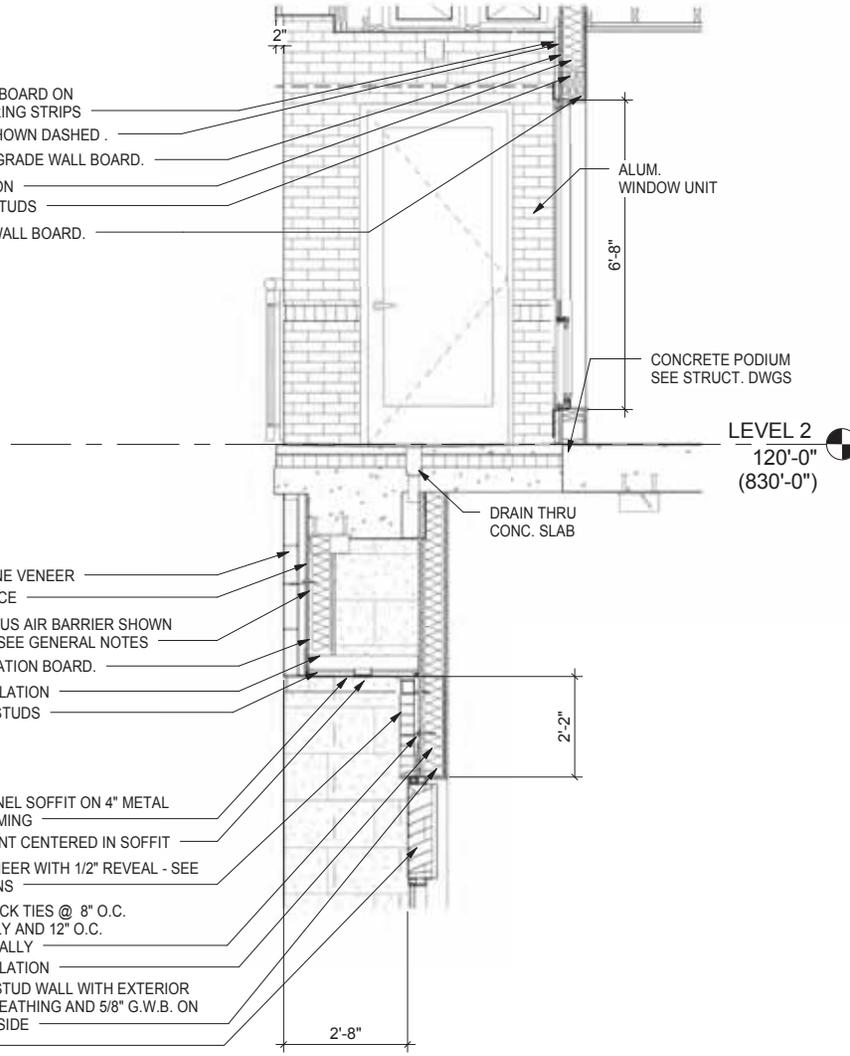


**1 TOP @ EAST BALCONY**  
3/8" = 1'-0"



- FIBER CEMENT BOARD ON VERTICAL FURRING STRIPS
- AIR BARRIER SHOWN DASHED .
- 5/8" EXTERIOR GRADE WALL BOARD.
- BATT INSULATION
- 2x5 1/2 WOOD STUDS
- 5/8" INTERIOR WALL BOARD.

- MFG. STONE VENEER
- 2" AIR SPACE
- CONTINUOUS AIR BARRIER SHOWN DASHED - SEE GENERAL NOTES
- 3/4" INSULATION BOARD.
- BATT INSULATION
- 6" METAL STUDS
- METAL PANEL SOFFIT ON 4" METAL STUD FRAMING
- SOFFIT VENT CENTERED IN SOFFIT
- BRICK VENEER WITH 1/2" REVEAL - SEE ELEVATIONS
- METAL BRICK TIES @ 8" O.C. VERTICALLY AND 12" O.C. HORIZONTALLY
- BATT INSULATION
- 6" METAL STUD WALL WITH EXTERIOR GRADE SHEATHING AND 5/8" G.W.B. ON INTERIOR SIDE
- LOUVER



**2 LEVEL 2 @ EAST BALCONY**  
3/8" = 1'-0"

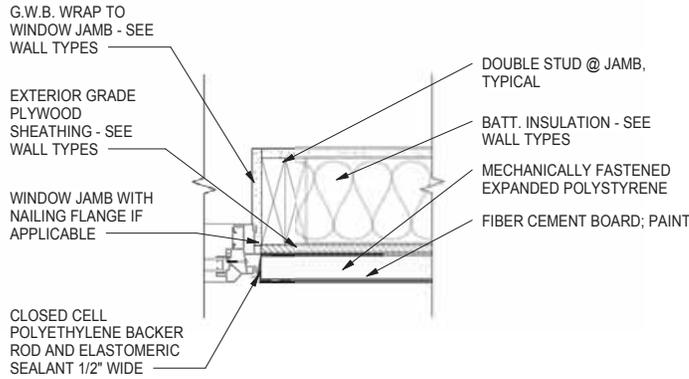
**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A115 - BALCONY DETAILS

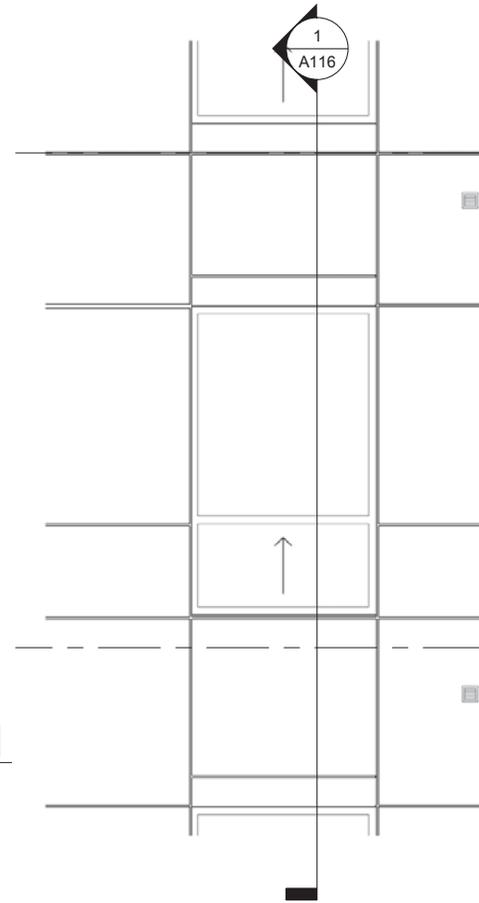
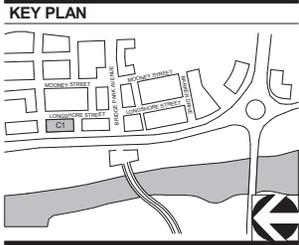


**BRIDGE PARK**  
DUBLIN, OH



METAL PANEL SIMILAR

**3 WINDOW DTL AW JAMB / HEAD SIM**  
1 1/2" = 1'-0"

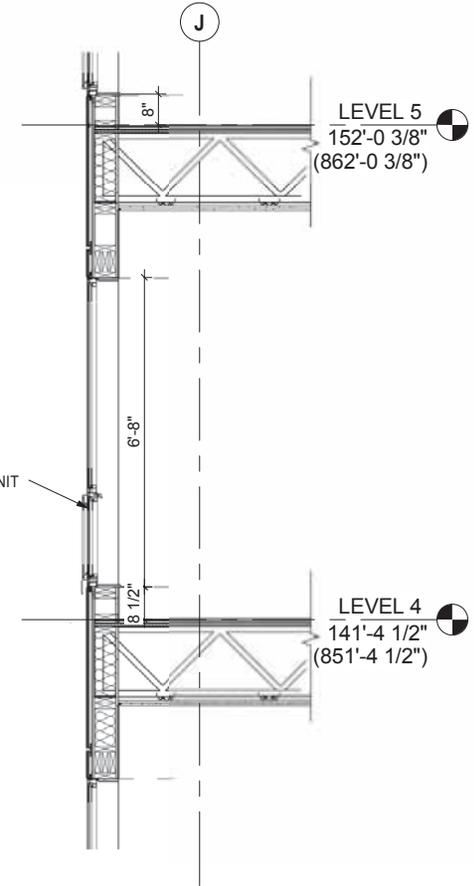


**2 AW1 - ALUM WINDOW**  
3/8" = 1'-0"

LEVEL 5  
152'-0 3/8"  
(862'-0 3/8")

ALUMINUM WINDOW UNIT

LEVEL 4  
141'-4 1/2"  
(851'-4 1/2")



**1 WEST WINDOW WALL**  
3/8" = 1'-0"

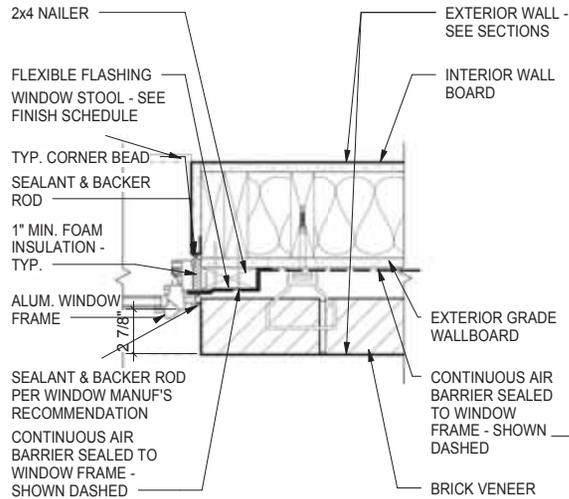
MIXED USE BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

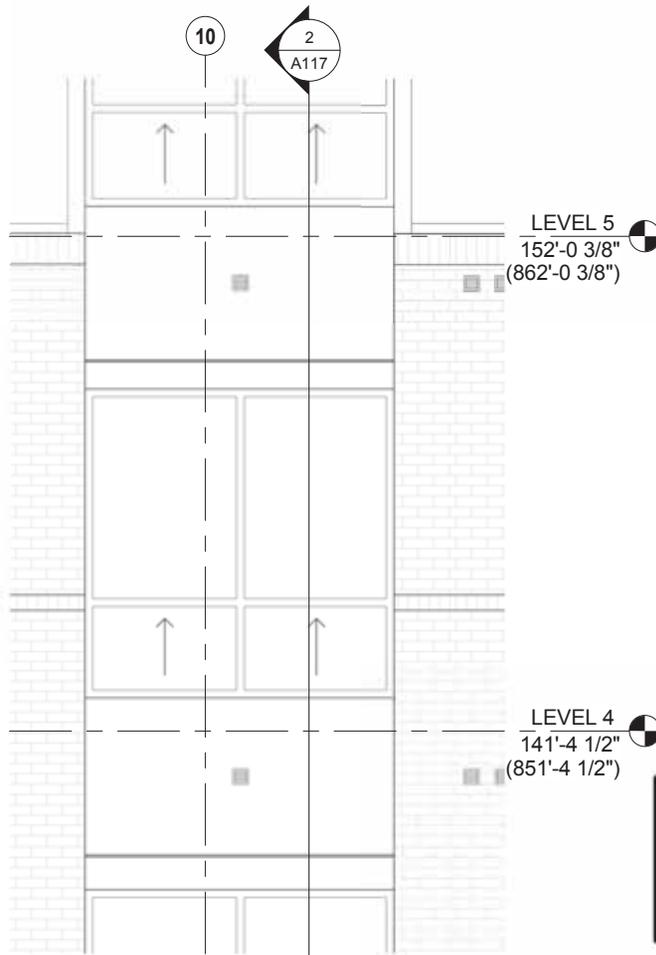
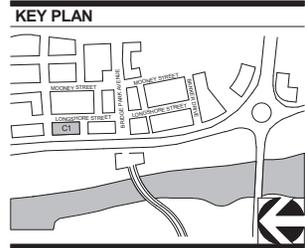
04-23-2015 C1 - A116 - WINDOW DETAILS



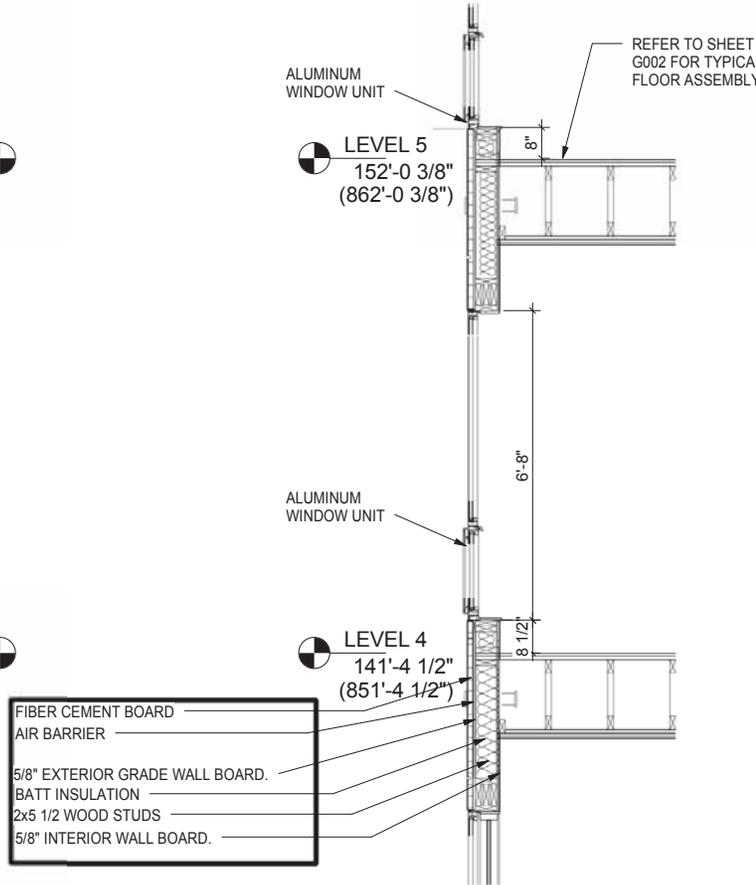
**BRIDGE PARK**  
DUBLIN, OH



**3** **DETAIL** DETAIL AW JAMB @ BRICK  
1 1/2" = 1'-0"



**1** **ELEVATION** BRICK & FIBER CEMENT WINDOW  
3/8" = 1'-0"



**2** **SECTION** BRICK & FIBER CEMENT WINDOWS  
3/8" = 1'-0"

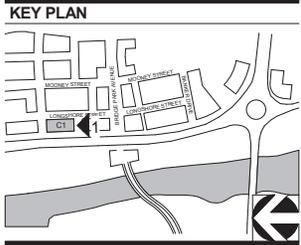
**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A117 - WINDOW DETAILS



**BRIDGE PARK**  
DUBLIN, OH



**1 LANDSCAPE COORDINATION SOUTH ELEVATION**  
1/16" = 1'-0"

**MIXED USE BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 C1 - A118 - LANDSCAPE ELEVATION

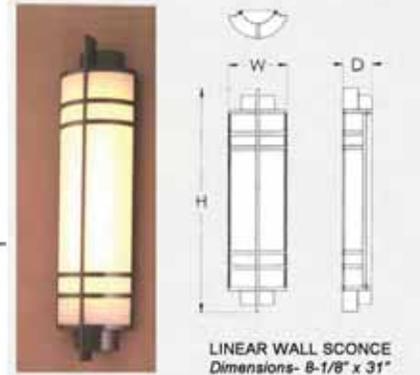


# BRIDGE PARK

DUBLIN, OH

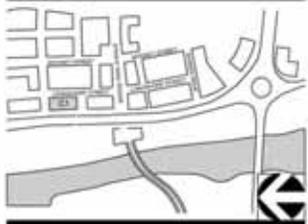


UP-DOWN WALL SCONCE



LINEAR WALL SCONCE  
Dimensions- 6-1/8" x 31"

KEY PLAN



## 1 C1 - LIGHT FIXTURE DETAILS

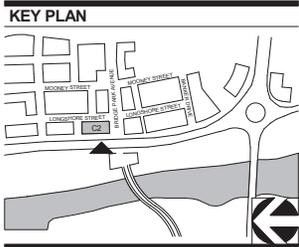
MIXED USE BUILDING TYPE

NO SCALE

# BUILDING C2

6640 RIVERSIDE DRIVE  
DUBLIN, OHIO 43017

USE	AREA
FOOD/ BEVERAGE	16,233 SF
OFFICE / PATIO	65,362 SF
CIRCULATION	6,588 SF
SERVICE	6,217 SF
TOTAL	94,440 SF



## CORRIDOR BUILDING TYPE

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"

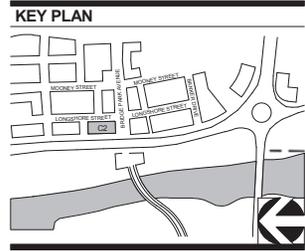
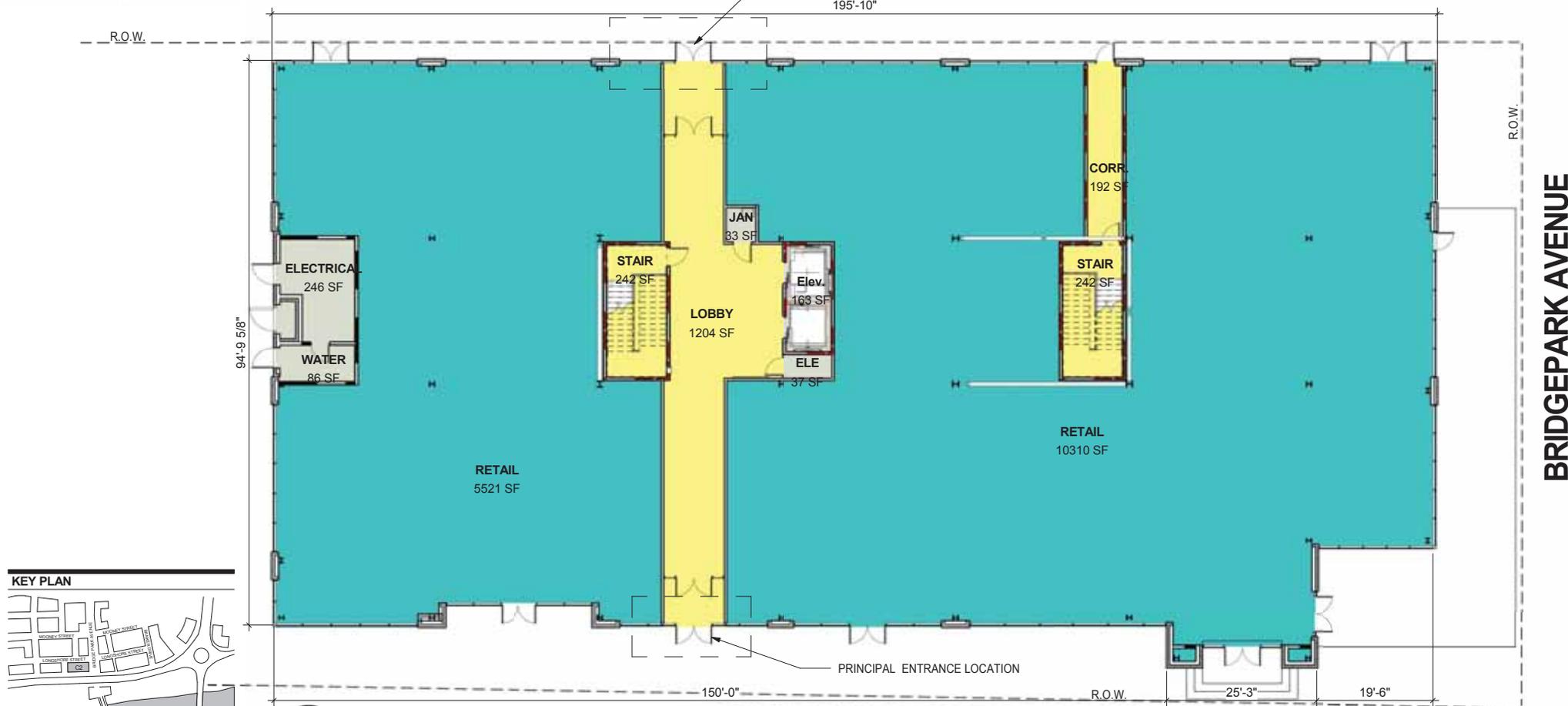
04-23-2015 A000 - C2 - COVER



STREET FACADE ENTRANCES REQUIRED  
1 PER 75' OF FACADE (MIN.)

STREET	FACADE LENGTH	# REQ'D	PROVIDED
LONGSHORE ST	196'	3	3
BRIDGEPARK AVENUE	195'	2	2
RIVERSIDE DR.	196'	3	4

- CIRCULATION -2,043 SF
- RETAIL -16,233 SF
- SERVICE -402 SF



**1 C2 - LEVEL 1 FLOOR PLAN (EL. 809.00')**  
1/16" = 1'-0"

CORRIDOR BUILDING TYPE

RIVERSIDE DRIVE

04-23-2015 A101 - C2 - LEVEL 1

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"



**CIRCULATION** -1,133 SF

**PATIO** -370 SF

**OFFICE** -16,004 SF

**SERVICE** -1,368 SF

**LONGSHORE STREET**

CANOPY ENCROACHMENT OVER R.O.W.

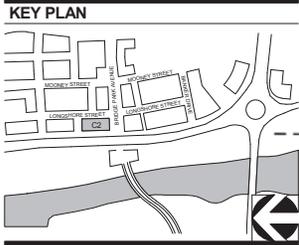
R.O.W.



R.O.W.

**BRIDGE PARK AVENUE**

R.O.W.



**1 C2 - LEVEL 2 FLOOR PLAN (EL. 825.00')**  
1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

**RIVERSIDE DRIVE**

04-23-2015 A102 - C2 - LEVEL 2

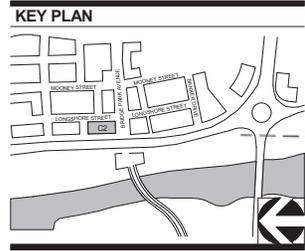
11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

- CIRCULATION -1134 SF
- OFFICE -15,825 SF
- PATIO -370 SF
- SERVICE -1,472 SF

**LONGSHORE STREET**



**BRIDGEPARK AVENUE**



**1 C2 - LEVEL 3 FLOOR PLAN (EL. 838.33')**  
 1/16" = 1'-0"

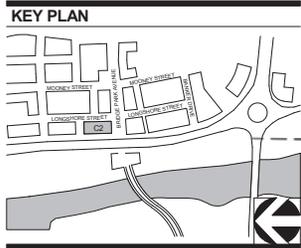
**CORRIDOR BUILDING TYPE**

**RIVERSIDE DRIVE**

04-23-2015 A103 - C2 - LEVEL 3

- CIRCULATION -1134 SF
- OFFICE -15,850 SF
- PATIO -370 SF
- SERVICE -1,496 SF

**LONGSHORE STREET**



**1 C2 - LEVEL 4 FLOOR PLAN (EL. 851.67')**  
 1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

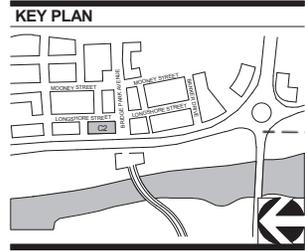
**RIVERSIDE DRIVE**

04-23-2015 A104 - C2 - LEVEL 4

11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

- CIRCULATION -1,141 SF
- PATIO -1,726SF
- OFFICE -14,847 SF
- SERVICE -1,479F

## LONGSHORE STREET



**1 C2 - LEVEL 5 FLOOR PLAN (EL. 866.33')**  
 1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

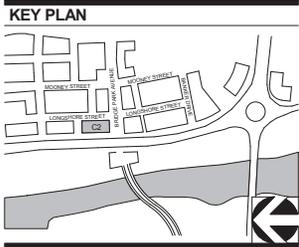
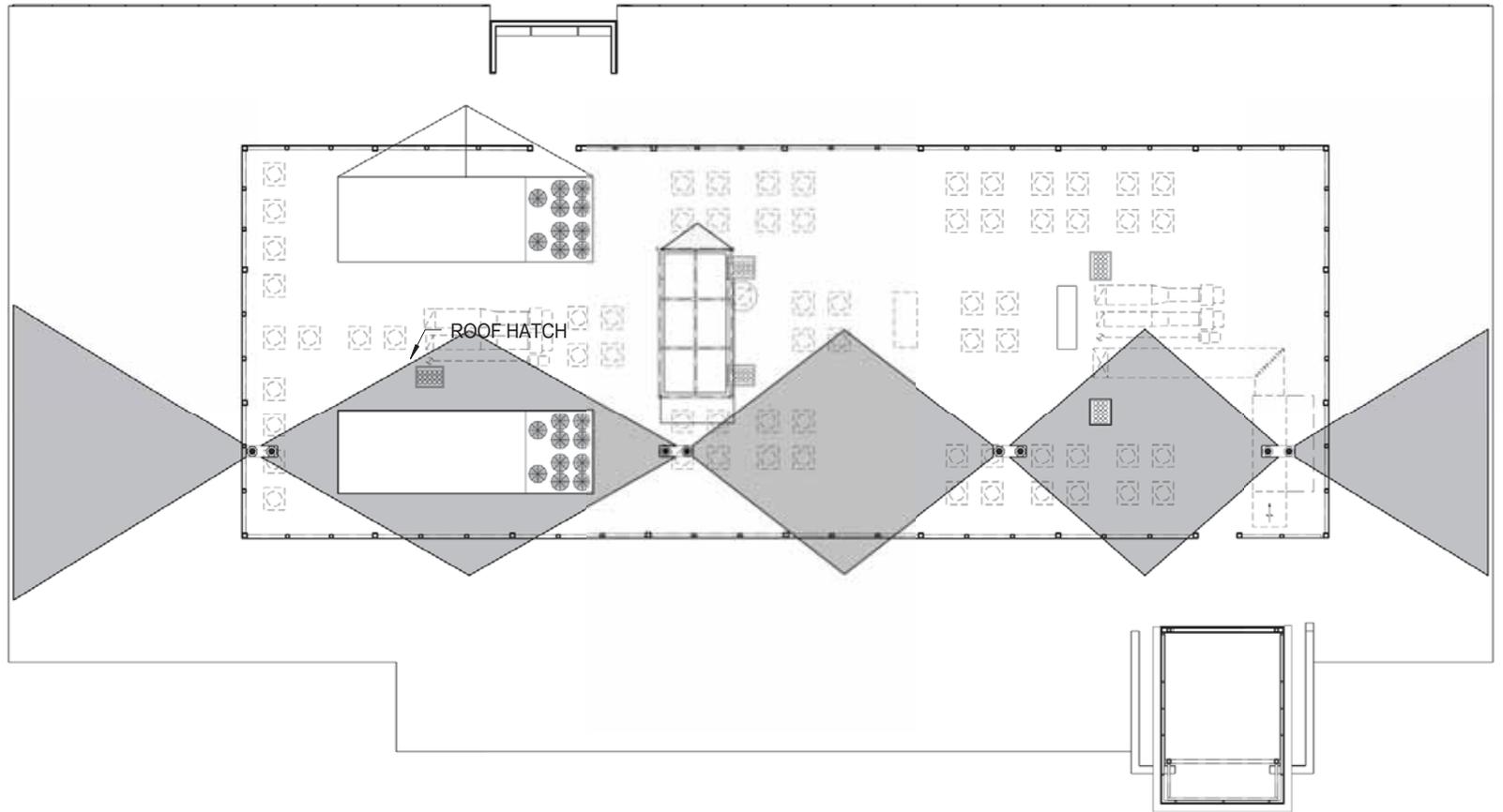
**RIVERSIDE DRIVE**

04-23-2015 A105 - C2 - LEVEL 5

11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"



**BRIDGE PARK**  
DUBLIN, OH



**1**

**C2 - ROOF PLAN (EL. 880.33')**

1/16" = 1'-0"

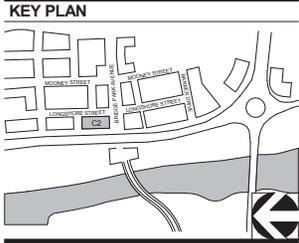
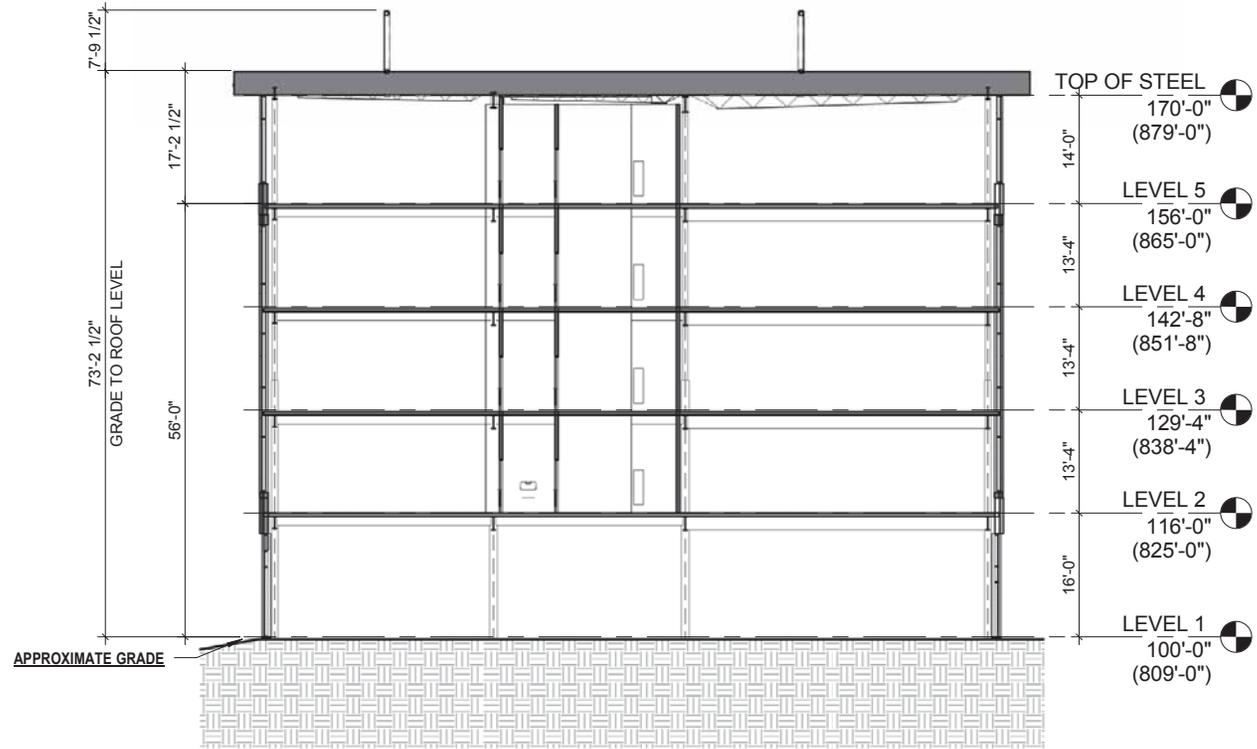
**CORRIDOR BUILDING TYPE**

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"

04-23-2015 A106 - C2 - ROOF PLAN



**BRIDGE PARK**  
DUBLIN, OH



**1 C2 - BUILDING SECTION**  
1/16" = 1'-0"

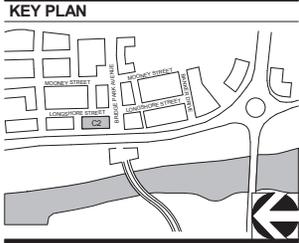
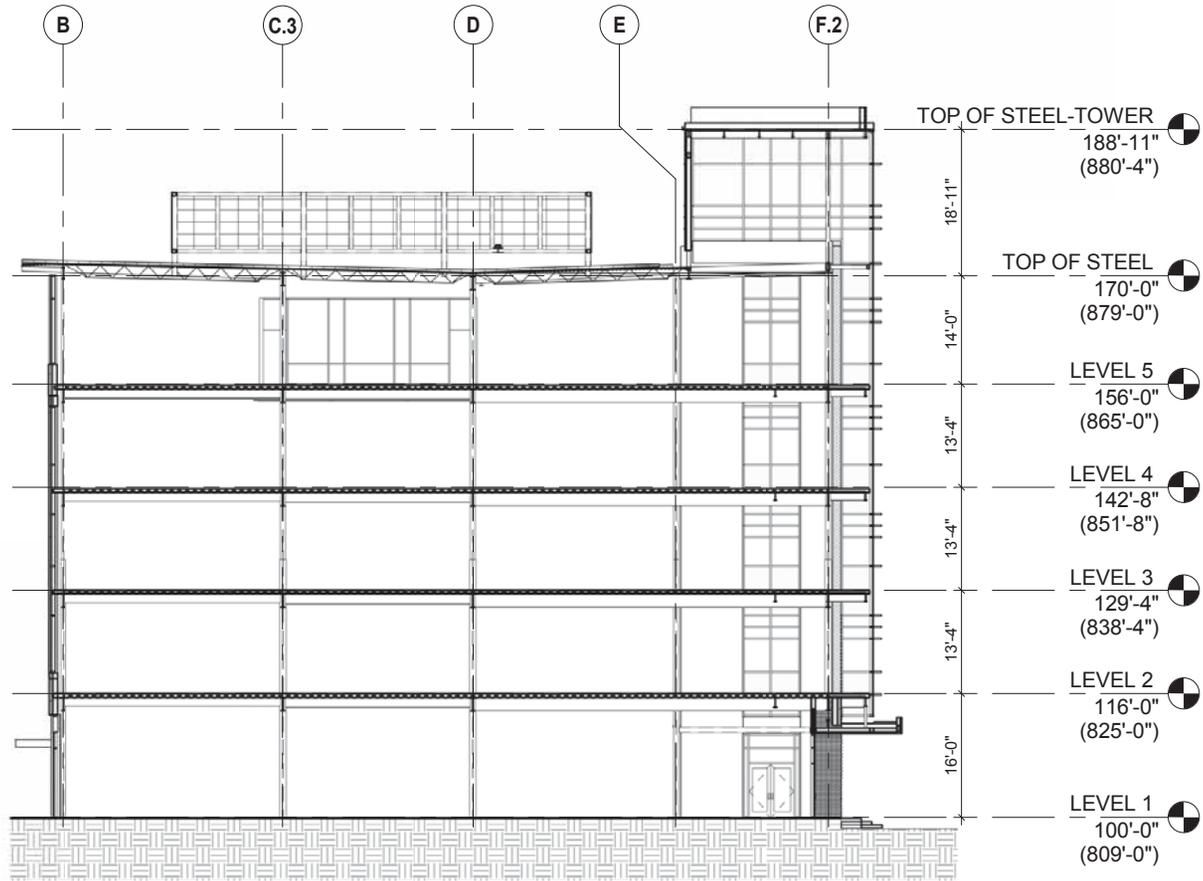
**CORRIDOR BUILDING TYPE**

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"

04-23-2015 A107 - C2 - BLDG SECTION



**BRIDGE PARK**  
DUBLIN, OH



**1 SECTION THRU TOWER**  
1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"

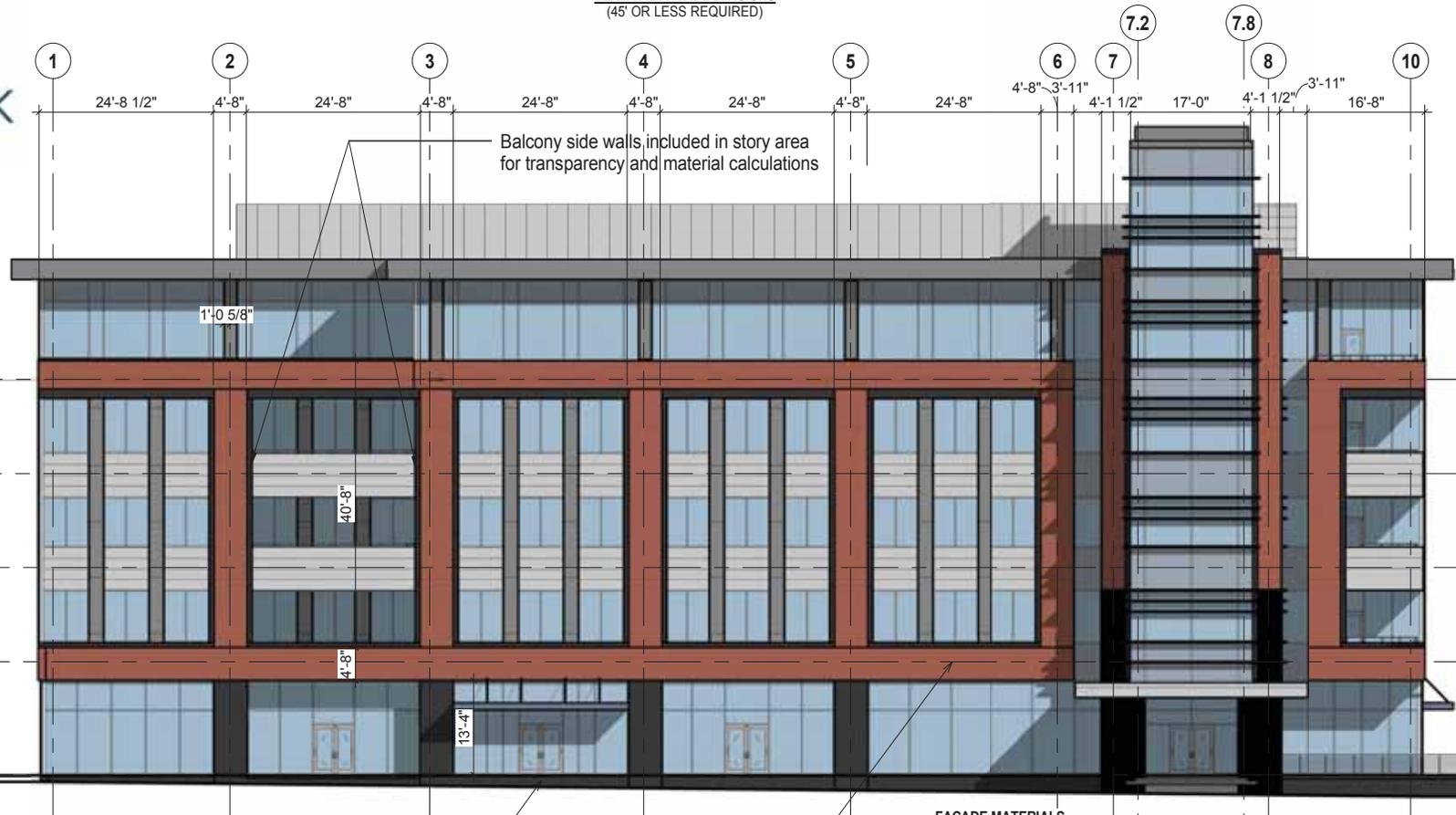
04-23-2015 A107A - C2 - BLDG SECTION

**VERTICAL FACADE DIVISIONS**  
(45' OR LESS REQUIRED)

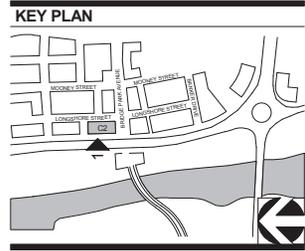
**GROUND STORY STREET FACADE TRANSPARENCY: 83%**  
**UPPER STORY STREET FACADE TRANSPARENCY: 52%**

**STREET FACADE TRANSPARENCY**

- 5th Story**  
Story Area: 2,711 sf  
Transparency: 2,117 sf  
Required: 30%  
Provided: 78%
- 4th Story**  
Story Area: 2,711 sf  
Transparency: 1,298 sf  
Required: 30%  
Provided: 48%
- 3rd Story**  
Story Area: 2,711 sf  
Transparency: 1,298 sf  
Required: 30%  
Provided: 48%
- 2nd Story**  
Story Area: 2,711 sf  
Transparency: 1,298 sf  
Required: 30%  
Provided: 48%
- 1st Story**  
Story Area: 1,175 sf  
Transparency: 981 sf  
Required: 60%  
Provided: 83%



- LEVEL 5**  
156'-0"  
(865'-0")
- LEVEL 4**  
142'-8"  
(851'-8")
- LEVEL 3**  
129'-4"  
(838'-4")
- LEVEL 2**  
116'-0"  
(825'-0")
- LEVEL 1**  
100'-0"  
(809'-0")



**PRINCIPAL ENTRANCE LOCATION**  
(As applicable along any principal frontage street facade of building)

**HORIZONTAL FACADE DIVISIONS**  
(Required within 3' of top of ground story on buildings 3 stories and taller)

**1 C2 - WEST ELEVATION**  
1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

**FACADE MATERIALS**

Overall Area of elevation: 17,596 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	4,171 sf	24%		
Glass	Primary	9,334 sf	53%		
		<b>13,505 sf</b>	<b>77%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Secondary	1,576 sf	9%		
Fiber Cement	Secondary	2,417 sf	13%		
Misc. Elements		98 sf	1%		
		<b>4,091 sf</b>	<b>23%</b>	<b>&lt;20%</b>	<b>N</b>

**WAIVER NEEDED: SECONDARY MATERIALS = 23%**

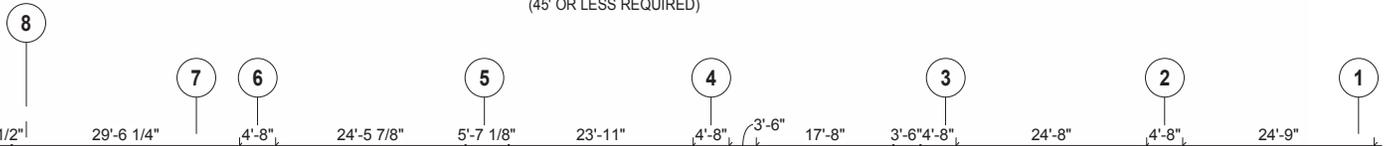
04-23-2015 A108 - C2 - WEST ELEVATION

11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"



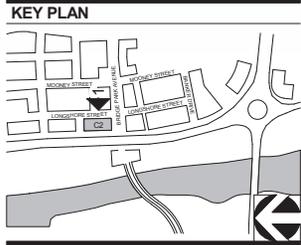
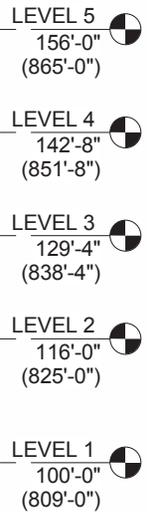
**BRIDGE PARK**  
DUBLIN, OH

**VERTICAL FACADE DIVISIONS**  
(45' OR LESS REQUIRED)



**STREET FACADE TRANSPARENCY**

<b>5th Story</b>
Story Area: 2,649 sf
Transparency: 1,661 sf
Required: 30%
Provided: 63%
<b>4th Story</b>
Story Area: 2,619 sf
Transparency: 986 sf
Required: 30%
Provided: 37%
<b>3rd Story</b>
Story Area: 2,619 sf
Transparency: 986 sf
Required: 30%
Provided: 37%
<b>2nd Story</b>
Story Area: 2,619 sf
Transparency: 986 sf
Required: 30%
Provided: 37%
<b>1st Story</b>
Story Area: 1,175 sf
Transparency: 1,000 sf
Required: 60%
Provided: 85%



**HORIZONTAL FACADE DIVISIONS**

(Required within 3' of top of ground story on buildings 3 stories and taller)

**PRINCIPAL ENTRANCE LOCATION**

(As applicable along any principal frontage street facade of building)

**FACADE MATERIALS**

Overall Area of elevation: 16,065 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	3,968 sf	25%		
Glass	Primary	7,609 sf	47%		
		<b>11,577 sf</b>	<b>72%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Secondary	1,662 sf	10%		
Fiber Cement	Secondary	2,527 sf	16%		
Misc. Elements		299 sf	2%		
		<b>4,488 sf</b>	<b>28%</b>	<b>&lt;20%</b>	<b>N</b>

**1 C2 - EAST ELEVATION**  
1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 A109 - C2 - EAST ELEVATION

**VERTICAL FACADE DIVISIONS**  
(45' OR LESS REQUIRED)



**NON-STREET FACADE TRANSPARENCY**

<b>5th Story</b>
Story Area: 1,441 sf
Transparency: 1,025 sf
Required: 15%
Provided: 71%
<b>4th Story</b>
Story Area: 1,441 sf
Transparency: 516 sf
Required: 15%
Provided: 36%
<b>3rd Story</b>
Story Area: 1,441 sf
Transparency: 516 sf
Required: 15%
Provided: 36%
<b>2nd Story</b>
Story Area: 1,441 sf
Transparency: 516 sf
Required: 15%
Provided: 36%
<b>1st Story</b>
Story Area: 577 sf
Transparency: 397 sf
Required: 15%
Provided: 69%

<b>LEVEL 5</b>	156'-0" (865'-0")
<b>LEVEL 4</b>	142'-8" (851'-8")
<b>LEVEL 3</b>	129'-4" (838'-4")
<b>LEVEL 2</b>	116'-0" (825'-0")
<b>LEVEL 1</b>	100'-0" (809'-0")

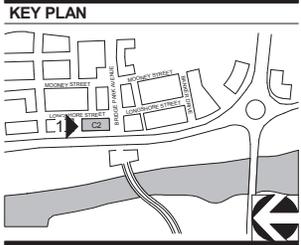
**HORIZONTAL FACADE DIVISIONS**

(Required within 3' of top of ground story on buildings 3 stories and taller)

**FACADE MATERIALS**

Overall Area of elevation: 8,781 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,502 sf	28%		
Glass	Primary	3,865 sf	44%		
Composite Metal Panel (CMP)	Secondary	823 sf	9%		
Fiber Cement	Secondary	1,337 sf	15%		
Misc. Elements	Secondary	254 sf	4%		
		<b>2,414 sf</b>	<b>28%</b>	<b>&lt;20%</b>	<b>N</b>



**1 C2 - NORTH ELEVATION**  
1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"

04-23-2015 A110 - C2 - NORTH ELEVATION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45' OR LESS REQUIRED)



### STREET FACADE TRANSPARENCY

Story	Story Area	Transparency	Required	Provided
5th Story	1,900 sf	1,452 sf	30%	76%
4th Story	1,440 sf	550 sf	30%	38%
3rd Story	1,440 sf	550 sf	30%	38%
2nd Story	1,440 sf	550 sf	30%	38%
1st Story	614 sf	476 sf	60%	74%

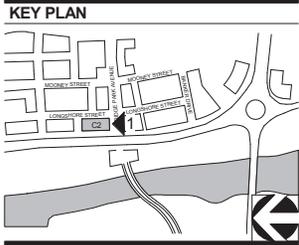
### FACADE MATERIALS

Overall Area of elevation: 9,231 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,097 sf	23%		
Glass	Primary	4,659 sf	50%		
		<b>6,756 sf</b>	<b>73%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Secondary	784 sf	8%		
Fiber Cement	Secondary	1,437 sf	16%		
Misc. Elements		254 sf	3%		
		<b>2,475 sf</b>	<b>27%</b>	<b>&lt;20%</b>	<b>N</b>

### HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)



# 1 C2 - SOUTH ELEVATION

1/16" = 1'-0"

## CORRIDOR BUILDING TYPE

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"

04-23-2015 A111 - C2 - SOUTH ELEVATION

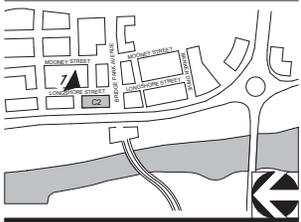


BRIDGE PARK  
DUBLIN, OH



MASSING VIEW FROM NORTHEAST CORNER

KEY PLAN



**CORRIDOR BUILDING TYPE**

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"

04-23-2015 A112 - C2 - 3D VIEW

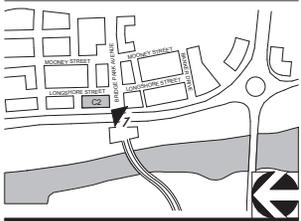


BRIDGE PARK  
DUBLIN, OH



MASSING VIEW FROM NORTHEAST CORNER

KEY PLAN



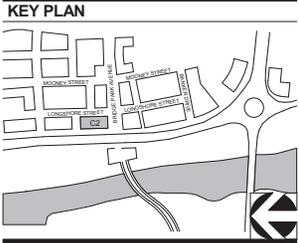
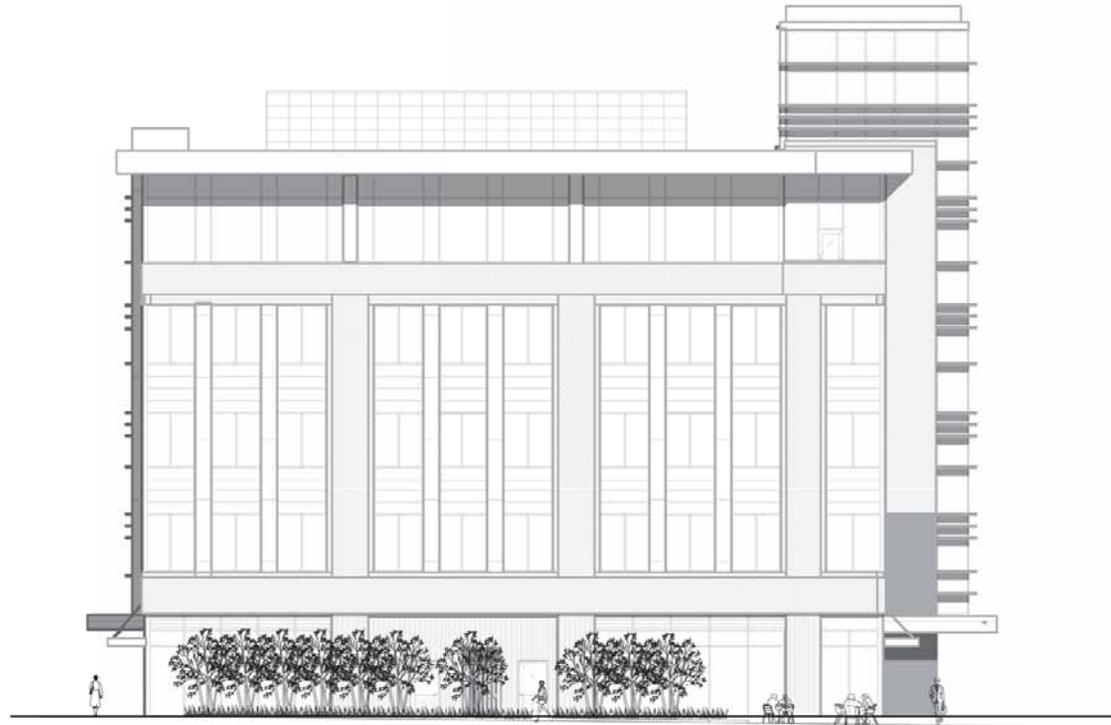
## CORRIDOR BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

04-23-2015 A113 - C2 - 3D VIEW



**BRIDGE PARK**  
DUBLIN, OH



**1 LANDSCAPE COORDINATION - NORTH ELEVATION**  
1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"

04-23-2015 A114 - C2 - LANDSCAPE ELEVATION



# BRIDGE PARK

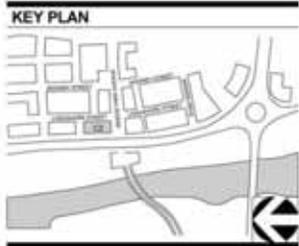
DUBLIN, OH



UP-DOWN WALL SCONCE



LINEAR WALL SCONCE  
Dimensions - 8-1/2" x 20"



## 1 C2 - LIGHT FIXTURE DETAILS

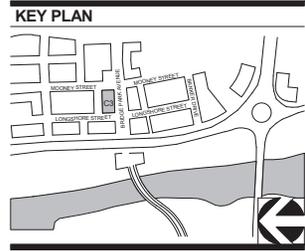
CORRIDOR BUILDING TYPE

NO SCALE

# BUILDING C3

4550 BRIDGEPARK AVENUE  
DUBLIN, OHIO 43017

USE	AREA
FOOD/ BEVERAGE	15,300 SF
OFFICE	16,413 SF
RESIDENTIAL	43,311 SF
ROOF TERRACE	1,918SF
CIRCULATION	8,236 SF
SERVICE	1,739 SF
TOTAL	86,917 SF



**CORRIDOR BUILDING TYPE**

**REVISED** 04-23-2015 A000 - C3 - COVER

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

**STREET FACADE ENTRANCES REQUIRED**  
(1 PER 75' OF FACADE MIN.)

STREET	FACADE LENGTH	#REQ'D	#PROVIDED
BRIDGEPARK AVE.	223'	3	4
LONGSHORE ST.	81'	2	2
MOONEY ST.	81'	2	2

REFER TO ELEVATION FOR ALL LOCATIONS

CIRC. - 1,370 SF  
 RETAIL - 15,300 SF  
 SERVICE - 679 SF

CANOPY ENCROACHMENT INTO R.O.W.

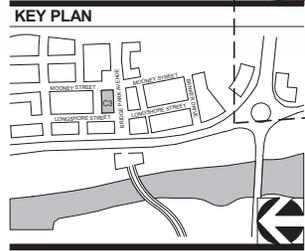
PRINCIPAL ENTRANCE LOCATION



LONGSHORE ST.

MOONEY STREET

**BRIDGEPARK AVE.**



**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 A101 - C3 - LEVEL 1

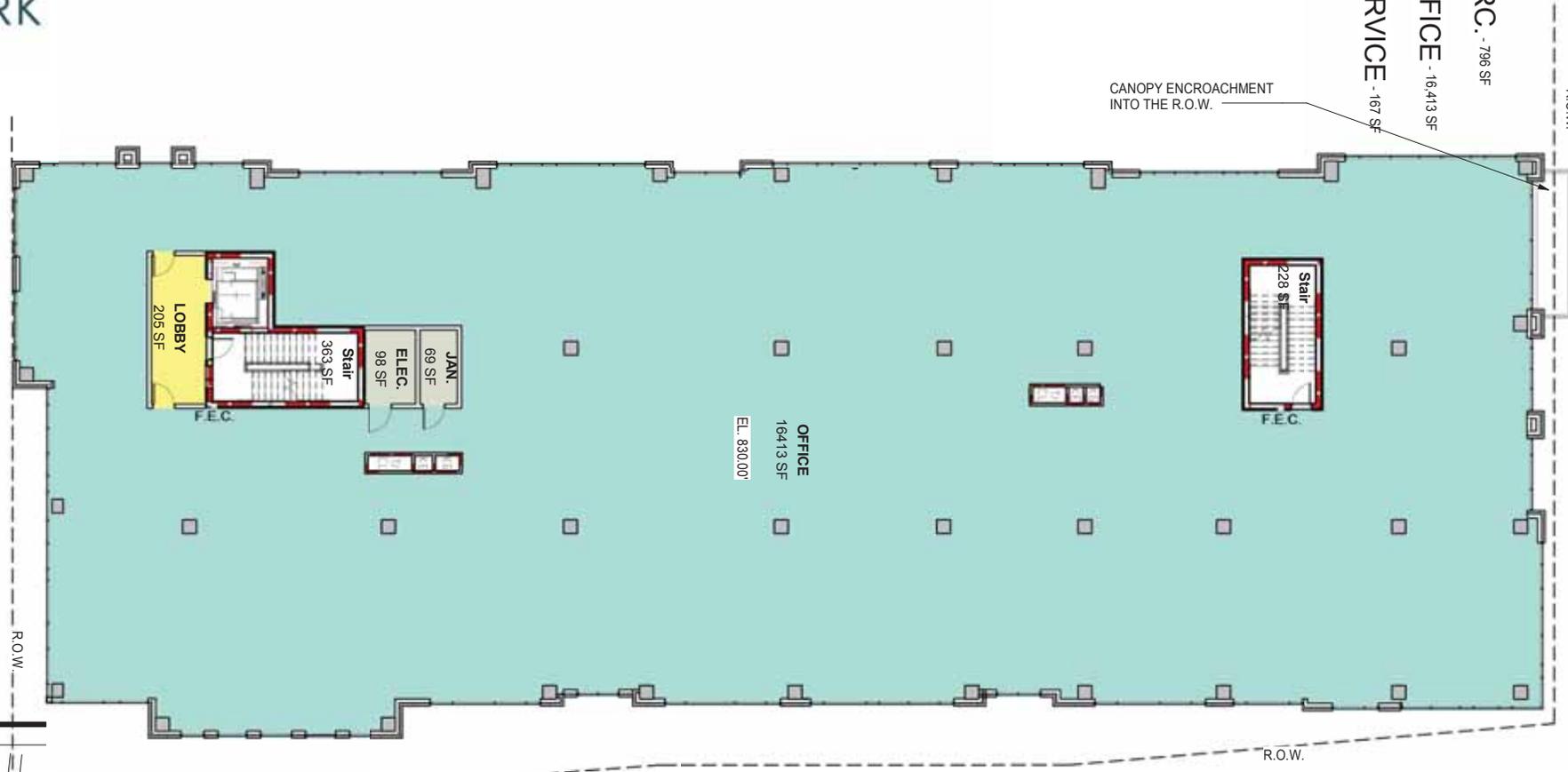
- CIRC. - 796 SF
- OFFICE - 16,413 SF
- SERVICE - 1,677 SF

**1**  
C3 - LEVEL 2 FLOOR PLAN  
1/16" = 1'-0"  
(EL. 830.00')

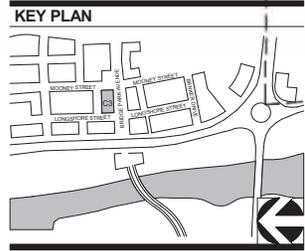
**LONGSHORE ST.**

**MOONEY STREET**

**BRIDGEPARK AVE.**



CANOPY ENCROACHMENT INTO THE R.O.W.



**CORRIDOR BUILDING TYPE**

04-23-2015 A102 - C3 - LEVEL 2

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

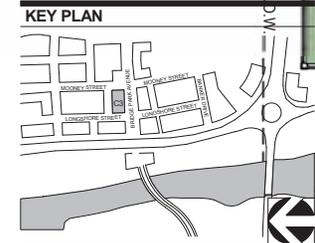


UNIT QUANTITY 4FL	
Name	Quantity

STUDIO (SI)	1
HC SI RM:	1
1 BR	5
2 BR	7
RM:	12
Grand total:	13

	AMENITY	- 599 SF
	CIRCULATION	- 2,333 SF
	PATIO	- 558 SF
	RESIDENTIAL	- 13,987 SF
	SERVICE	- 360 SF

**1**  
1/16" = 1'-0"  
**C3 - LEVEL 4 FLOOR PLAN**  
(EL. 854.01')



**BALCONY DIMENSIONS REQUIRED**  
5' MIN. WIDTH X 6' MIN DEPTH

**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

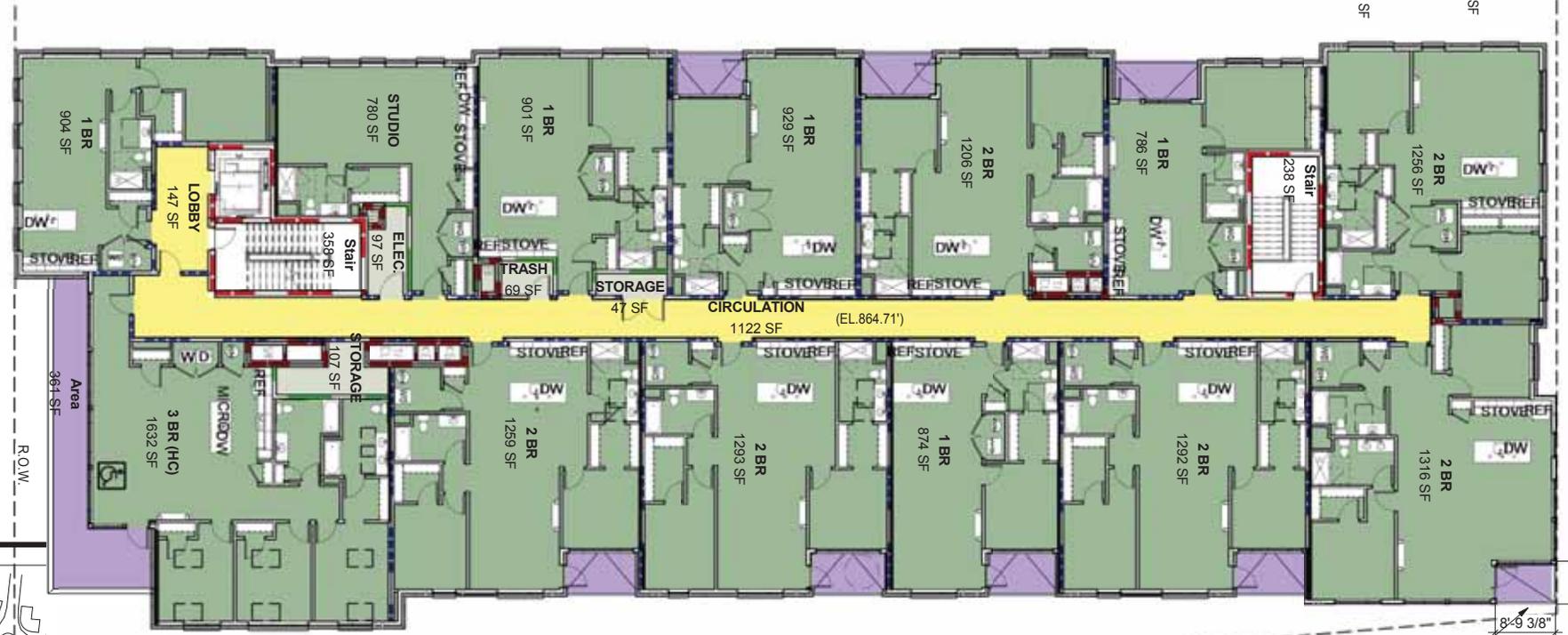
UNIT QUANTITY 5FL	
Name	Quantity

3 BR (HC)	1
HC RM: 1	
1 BR	4
2 BR	6
STUDIO	1
RM: 11	
Grand total:	12

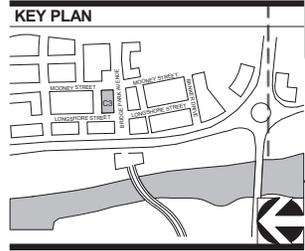
- CIRCULATION - 1,865 SF
- PATIO - 802 SF
- RESIDENTIAL - 14,428 SF
- SERVICE - 320 SF

**1**  
1/16" = 1'-0"  
**C3 - LEVEL 5 FLOOR PLAN**  
(EL. 864.71')

**LONGSHORE ST.**



**MOONEY STREET**



**BRIDGEPARK AVE.**

**BALCONY DIMENSIONS REQUIRED**  
5' MIN. WIDTH X 6' MIN DEPTH

**CORRIDOR BUILDING TYPE**

04-23-2015 A105 - C3 - LEVEL 5

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

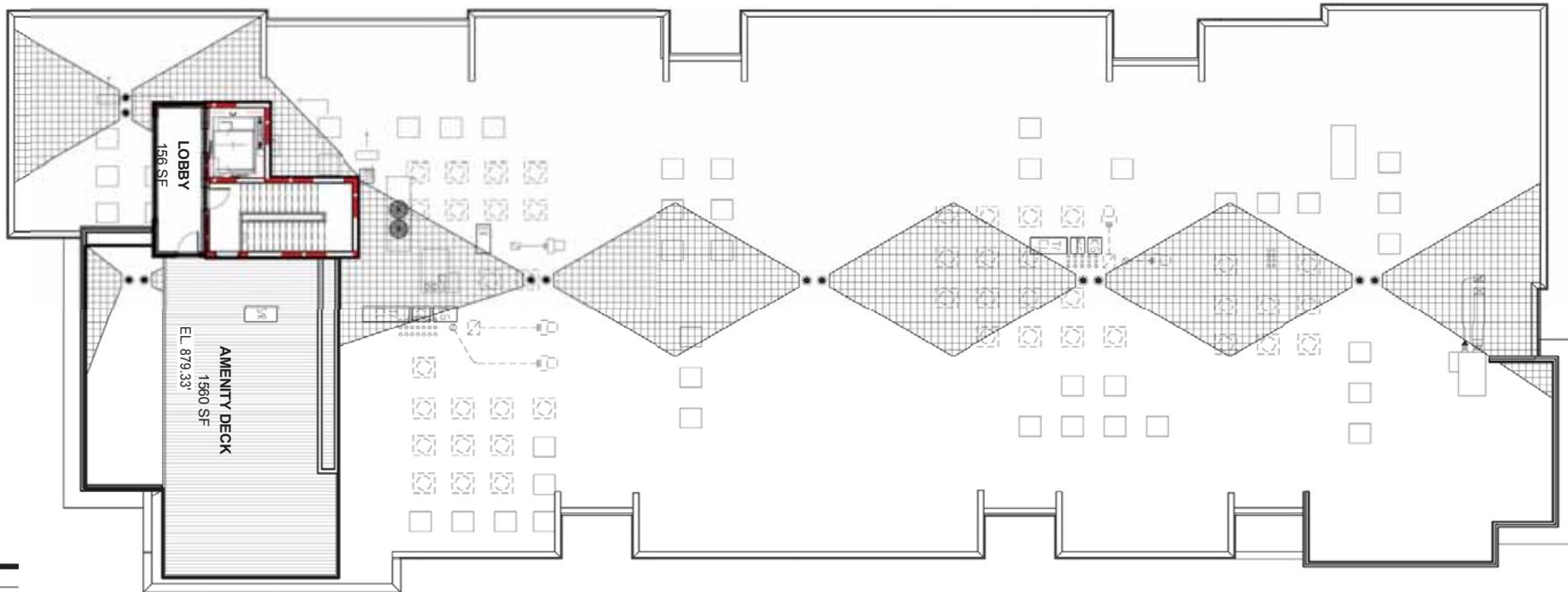


BRIDGE PARK  
DUBLIN, OH

2

LEVEL 6 ROOF PLAN  
1/16" = 1'-0"

(EL. 876.30')

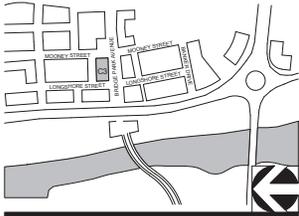


LOBBY  
156 SF

AMENITY DECK  
1580 SF  
EL. 879.33'



KEY PLAN



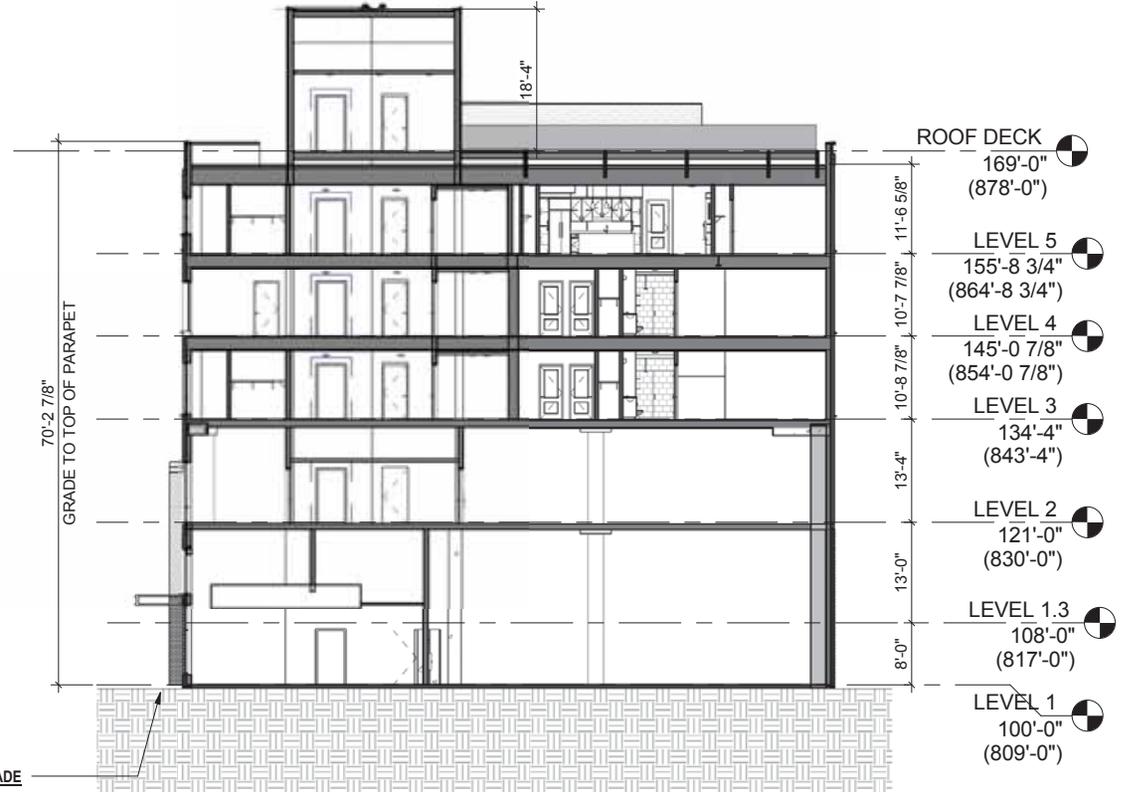
CORRIDOR BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

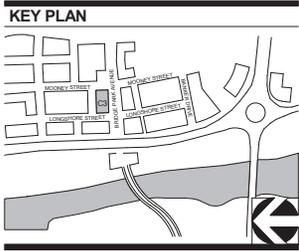
04-23-2015 A106 - C3 - ROOF PLAN



**BRIDGE PARK**  
DUBLIN, OH



**1 BUILDING SECTION**  
1/16" = 1'-0"



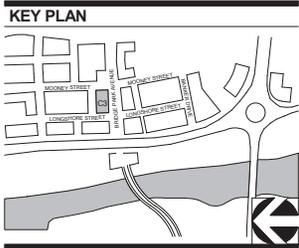
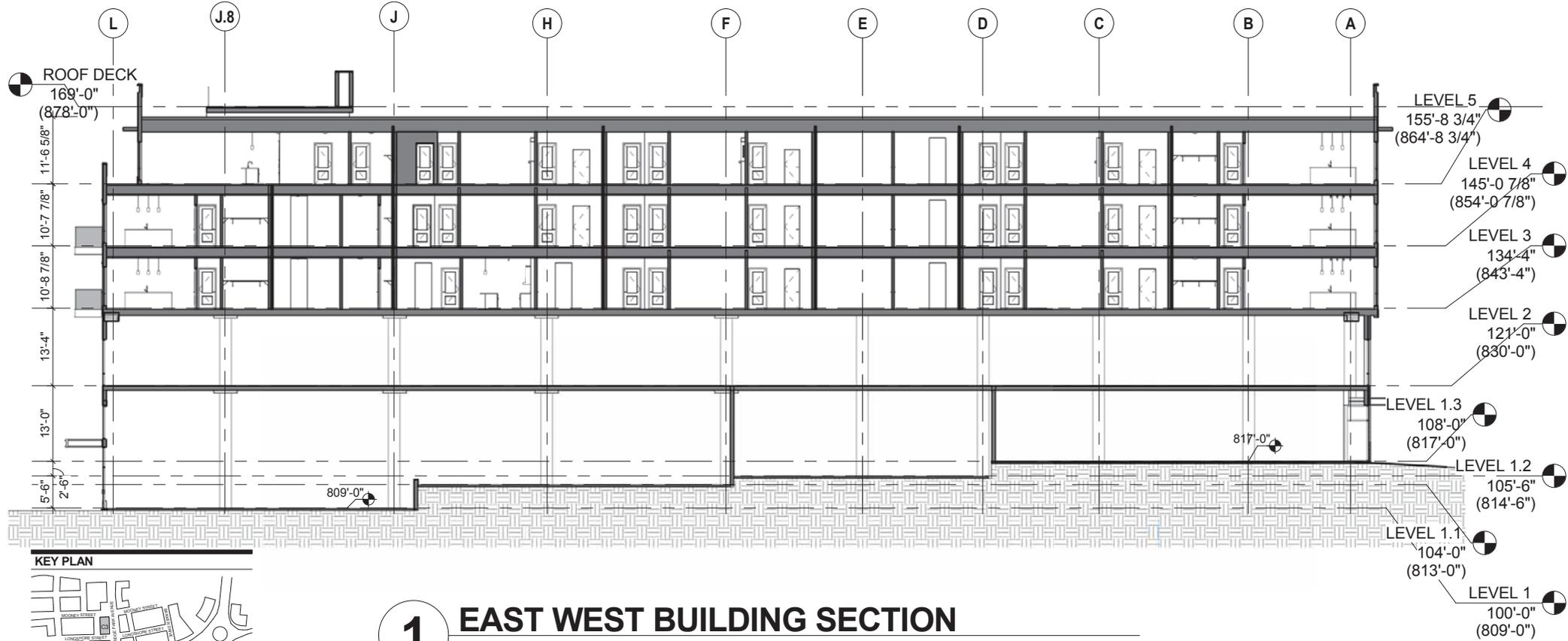
**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 A107 - C3 - BLDG SECTION



**BRIDGE PARK**  
DUBLIN, OH



**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 A107A - C3 - BLDG SECTION



**BRIDGE PARK**  
DUBLIN, OH

**STREET FACADE  
TRANSPARENCY**

1st Story	2nd Story	3rd Story	4th Story	5th Story
Story Area: 1,446 sf	Story Area: 3,191 sf	Story Area: 2,869 sf	Story Area: 2,869 sf	Story Area: 2,869 sf
Transparency: 942 sf	Transparency: 1,222 sf	Transparency: 995 sf	Transparency: 995 sf	Transparency: 918 sf
Required: 60%	Required: 30%	Required: 30%	Required: 30%	Required: 30%
Provided: 65%	Provided: 38%	Provided: 35%	Provided: 35%	Provided: 32%

**VERTICAL FACADE DIVISIONS**  
(45' OR LESS REQUIRED)

Balcony side walls included in story area for transparency and material calculations



**HORIZONTAL FACADE DIVISIONS**  
(Required within 3' of top of ground story on buildings 3 stories and taller)

**FACADE MATERIALS**

Overall Area of elevation: 17,196 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	8,375 sf	49%		
Glass	Primary	5,421 sf	32%	80%	Y
Composite Metal Panel (CMP)	Trim	489 sf	4%		
Fiber Cement	Secondary	2,776 sf	14%		
Misc. Elements		135 sf	1%		
		<b>3,400 sf</b>	<b>19%</b>	<b>&lt;20%</b>	<b>Y</b>

**1 C3 - SOUTH ELEVATION**

1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

**REVISED**

04-23-2015 A108 - C3 - SOUTH ELEVATION



**BRIDGE PARK**  
DUBLIN, OH

**STREET FACADE  
TRANSPARENCY**

<b>5th Story</b>	Story Area: 1,224 sf
	Transparency: 205 sf
	Required: 30%
	Provided: 17%
<b>4th Story</b>	Story Area: 954 sf
	Transparency: 304 sf
	Required: 30%
	Provided: 32%
<b>3rd Story</b>	Story Area: 954 sf
	Transparency: 304 sf
	Required: 30%
	Provided: 32%
<b>2nd Story</b>	Story Area: 1,211 sf
	Transparency: 521 sf
	Required: 30%
	Provided: 43%
<b>1st Story</b>	Story Area: 569 sf
	Transparency: 390 sf
	Required: 60%
	Provided: 66%

**VERTICAL FACADE DIVISIONS**  
(45' OR LESS REQUIRED)



**Story Height**  
(See Typ. Notes)

ROOF DECK	875'-8 1/2"
LEVEL 5	155'-8 3/4" (864'-8 3/4")
LEVEL 4	145'-0 7/8" (854'-0 7/8")
LEVEL 3	134'-4" (843'-4")
LEVEL 2	121'-0" (830'-0")
LEVEL 1	100'-0" (809'-0")

**FACADE MATERIALS**

Overall Area of elevation: 6,835 sf

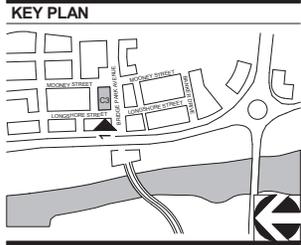
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,348 sf	34%		
Glass	Primary	2,344 sf	34%		
		<b>4,692 sf</b>	<b>68%</b>	<b>80%</b>	<b>N</b>
Composite Metal Panel (CMP)	Trim	247 sf	3%		
Fiber Cement	Secondary	1,819 sf	27%		
Misc. Elements		77 sf	1%		
		<b>2,143 sf</b>	<b>31%</b>	<b>&lt;20%</b>	<b>N</b>

**PRINCIPAL ENTRANCE LOCATION**

(As applicable along primary street facade of building)

**HORIZONTAL FACADE DIVISIONS**

(Required within 3' of top of ground story on buildings 3 stories and taller)



**1 C3 - WEST ELEVATION**

1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

**REVISED** 04-23-2015 A109 - C3 - WEST ELEVATION



# BRIDGE PARK

DUBLIN, OH

### VERTICAL FACADE DIVISIONS (45° OR LESS REQUIRED)

### STREET FACADE TRANSPARENCY

<b>5th Story</b>
Story Area: 761 sf
Transparency: 280 sf
Required: 30%
Provided: 37%
<b>4th Story</b>
Story Area: 904 sf
Transparency: 280 sf
Required: 30%
Provided: 33%
<b>3rd Story</b>
Story Area: 904 sf
Transparency: 294 sf
Required: 30%
Provided: 33%
<b>2nd Story</b>
Story Area: 1,100 sf
Transparency: 509 sf
Required: 30%
Provided: 46%
<b>1st Story</b>
Story Area: 795 sf
Transparency: 360 sf
Required: 60%
Provided: 72%



### Story Height (See Typ. Notes)

LEVEL 6 (ROOF BEARING)	164'-8 3/4"
	(873'-8 3/4")
LEVEL 5	155'-8 3/4"
	(864'-8 3/4")
LEVEL 4	145'-0 7/8"
	(854'-0 7/8")
LEVEL 3	134'-4"
	(843'-4")
LEVEL 2	121'-0"
	(830'-0")
LEVEL 1.3	108'-0"
	(817'-0")

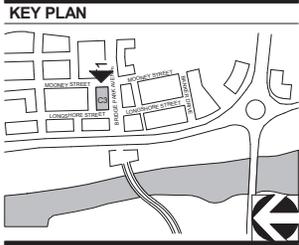
### FACADE MATERIALS

Overall Area of elevation: 5,451 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,474 sf	45%		
Glass	Primary	1,955 sf	36%		
		<b>4,429 sf</b>	<b>81%</b>	<b>80%</b>	<b>Y</b>
Composite Metal Panel (CMP)	Trim	116 sf	3%		
Fiber Cement	Secondary	836 sf	15%		
Misc. Elements		70 sf	1%		
		<b>1,022 sf</b>	<b>19%</b>	<b>&lt;20%</b>	<b>Y</b>

### HORIZONTAL FACADE DIVISIONS

(Required within 3' of top of ground story on buildings 3 stories and taller)



1

## C3 - EAST ELEVATION

1/16" = 1'-0"

### CORRIDOR BUILDING TYPE

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 A110 - C3 - EAST ELEVATION



**BRIDGE PARK**  
DUBLIN, OH

**NON-STREET FACADE  
TRANSPARENCY**

1st Story	2nd Story	3rd Story	4th Story	5th Story
Story Area: 1,402 sf	Story Area: 3,208 sf	Story Area: 2,790 sf	Story Area: 2,790 sf	Story Area: 2,790 sf
Transparency: 848 sf	Transparency: 1,291 sf	Transparency: 893 sf	Transparency: 893 sf	Transparency: 875 sf
Required: 30%	Required: 15%	Required: 15%	Required: 15%	Required: 15%
Provided: 60%	Provided: 40%	Provided: 32%	Provided: 32%	Provided: 32%

**GROUND STORY NON-STREET FACADE TRANSPARENCY: 60%**  
**UPPER STORY NON-STREET FACADE TRANSPARENCY: 31%**

**VERTICAL FACADE DIVISIONS**  
(45' OR LESS REQUIRED)

32'-1 9/16"    18'-6 1/2"    12'-6 1/2"    53'-5 9/16"    10'-6 1/2"    28'-5 1/16"    29'-6 1/2"    37'-1 9/16"

WAIVER NEEDED FOR PARAPET ABOVE LEVEL 5 WINDOWS

26'-1 9/16"

Balcony side walls included in story area for transparency and material calculations

**Story Height**  
(See Typ. Notes)

ROOF DECK	169'-0" (878'-0")
LEVEL 5	155'-8 3/4" (864'-8 3/4")
LEVEL 4	145'-0 7/8" (854'-0 7/8")
LEVEL 3	134'-4" (843'-4")
LEVEL 2	121'-0" (830'-0")
LEVEL 1.2	105'-6" (814'-6")
LEVEL 1.1	104'-0" (813'-0")
LEVEL 1	100'-0" (809'-0")

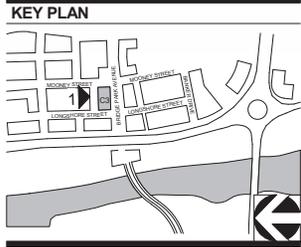
LEVEL 1.3  
108'-0"  
(817'-0")

**HORIZONTAL FACADE DIVISIONS**  
(Required within 3' of top of ground story on buildings 3 stories and taller)

**FACADE MATERIALS**

Overall Area of elevation: 16,303 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	9,671 sf	59%		
	Primary	5,345 sf	33%		
Glass		<b>15,016 sf</b>	<b>92%</b>	<b>80%</b>	<b>Y</b>
	Trim	250 sf	2%		
	Secondary	774 sf	3%		
Composite Metal Panel (CMP)		263 sf	3%		
Fiber Cement					
Misc. Elements					
		<b>1,287 sf</b>	<b>8%</b>	<b>&lt;20%</b>	<b>Y</b>



**1 C3 - NORTH ELEVATION**  
1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 A111 - C3 - NORTH ELEVATION

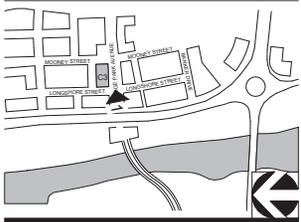


**BRIDGE PARK**  
DUBLIN, OH



MASSING VIEW FROM SOUTHWEST CORNER

**KEY PLAN**



**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

**REVISED** 04-23-2015 A112 - C3 - 3D

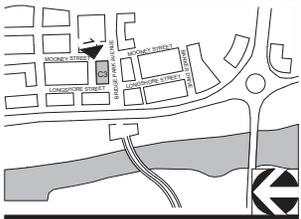


**BRIDGE PARK**  
DUBLIN, OH



MASSING VIEW FROM SOUTHWEST CORNER

**KEY PLAN**



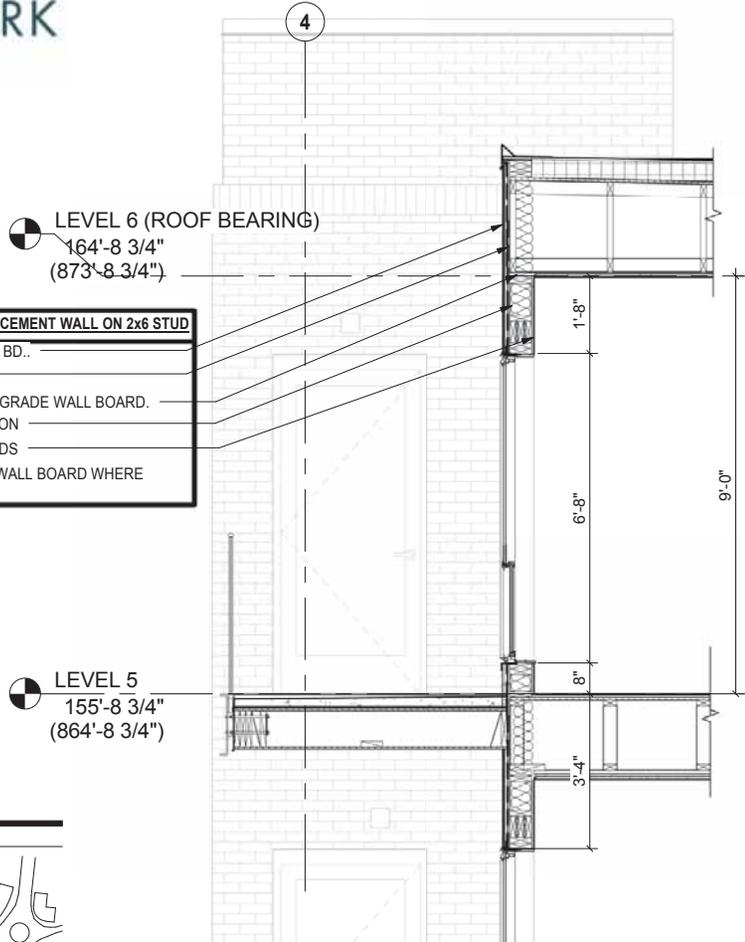
**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

**REVISED** 04-23-2015 A113 - C3 - 3D



**BRIDGE PARK**  
DUBLIN, OH

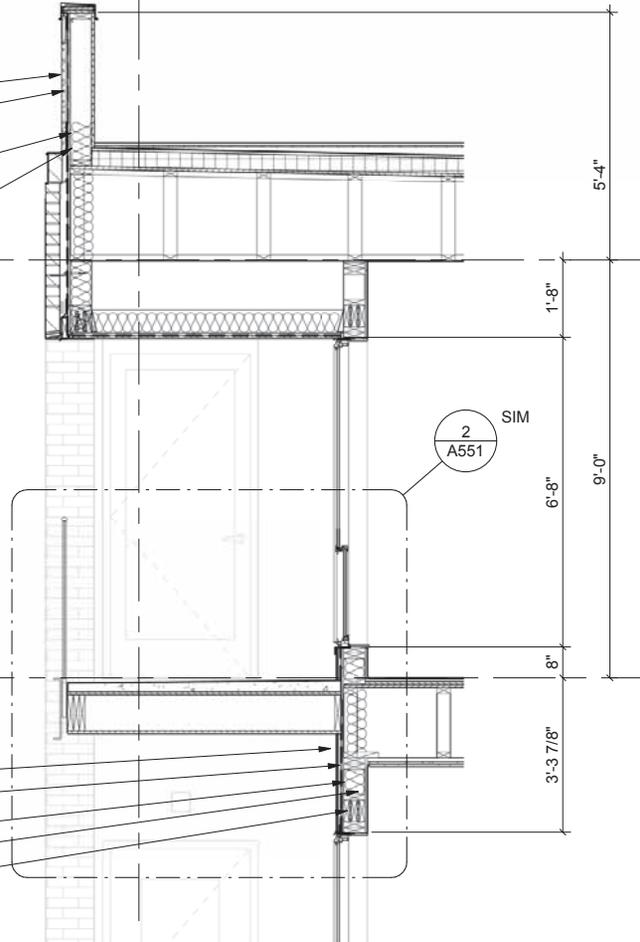


**TYPICAL FIBER CEMENT WALL ON 2x6 STUD**

- FIBER CEMENT BD.
- AIR BARRIER
- 5/8" EXTERIOR GRADE WALL BOARD.
- BATT INSULATION
- 2x6 WOOD STUDS
- 5/8" INTERIOR WALL BOARD WHERE SHOWN.

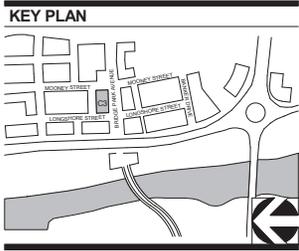
**TYPICAL BRICK VENEER WALL ON 2x6 STUD**

- BRICK VENEER
- 2" AIR SPACE
- CONTINUOUS AIR BARRIER (WHERE INDICATED WITH A DASHED LINE)
- 5/8" EXTERIOR GRADE WALL BOARD.
- BATT INSULATION (WHERE INDICATED)
- 2x6 WOOD STUDS
- 5/8" INTERIOR WALL BOARD (WHERE SHOWN)



**TYPICAL FIBER CEMENT WALL ON 2x6 STUD**

- FIBER CEMENT BD.
- AIR BARRIER
- 5/8" EXTERIOR GRADE WALL BOARD.
- BATT INSULATION
- 2x6 WOOD STUDS
- 5/8" INTERIOR WALL BOARD WHERE SHOWN.



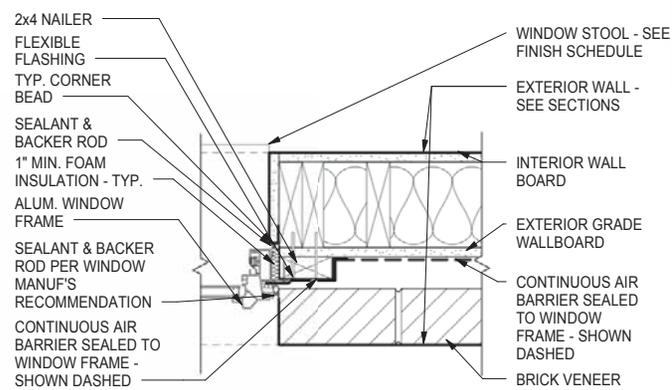
**2 SECTION** BALCONY W/ OPEN TOP.  
3/8" = 1'-0"

**1 SECTION** BALCONY W/ CLOSED TOP.  
3/8" = 1'-0"

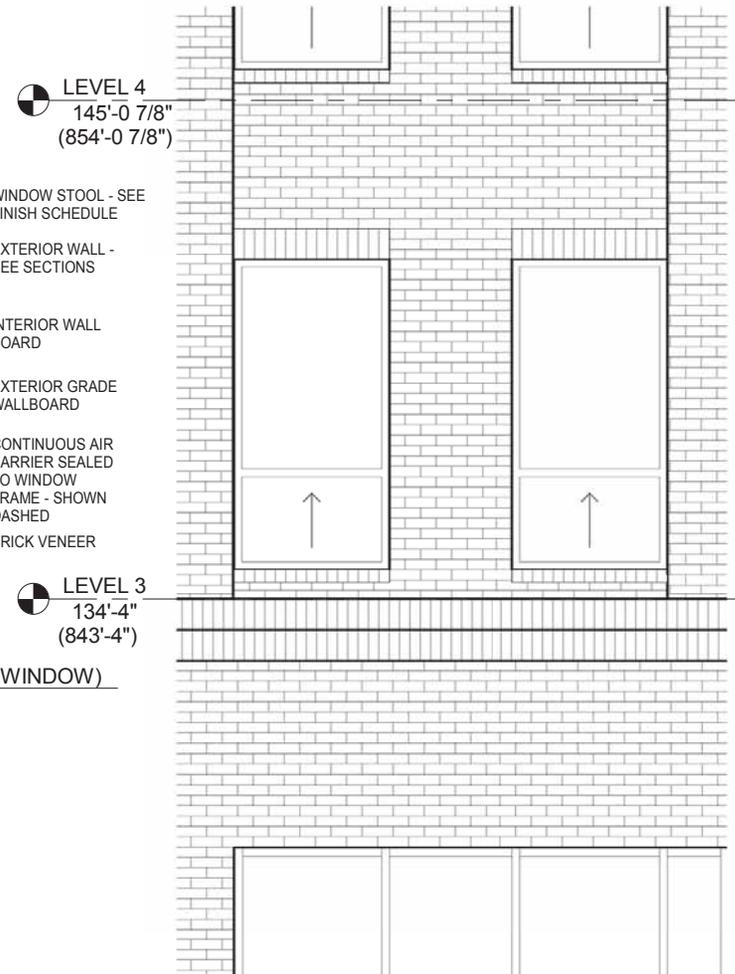
**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

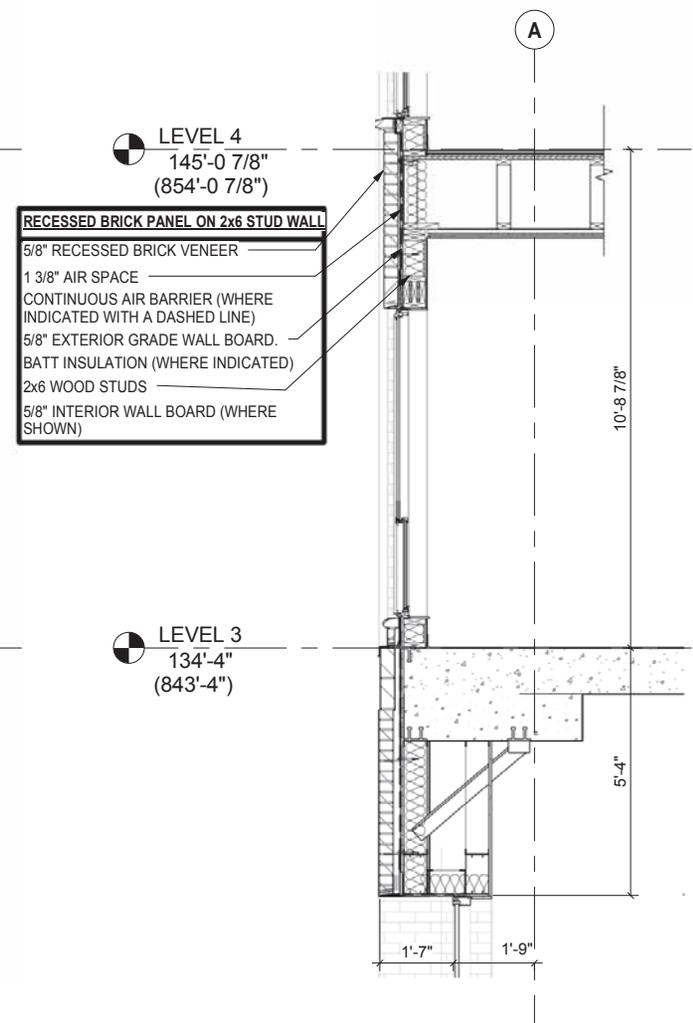
04-23-2015 A114 - C3 - DETAILS



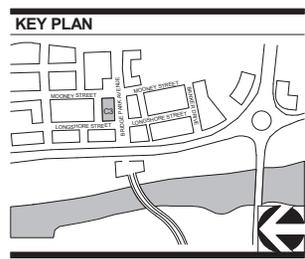
**3** **DETAIL** JAMB @ BRICK (ALUM. WINDOW)  
1 1/2" = 1'-0"



**2** **ELEVATION** RECESSED BRICK PANEL ELEVATION  
3/8" = 1'-0"



**1** **SECTION** RECESSED BRICK PANEL  
3/8" = 1'-0"

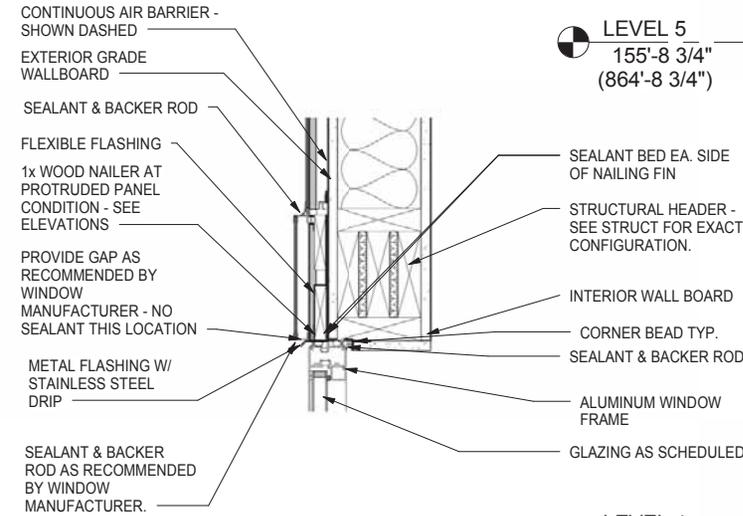


**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

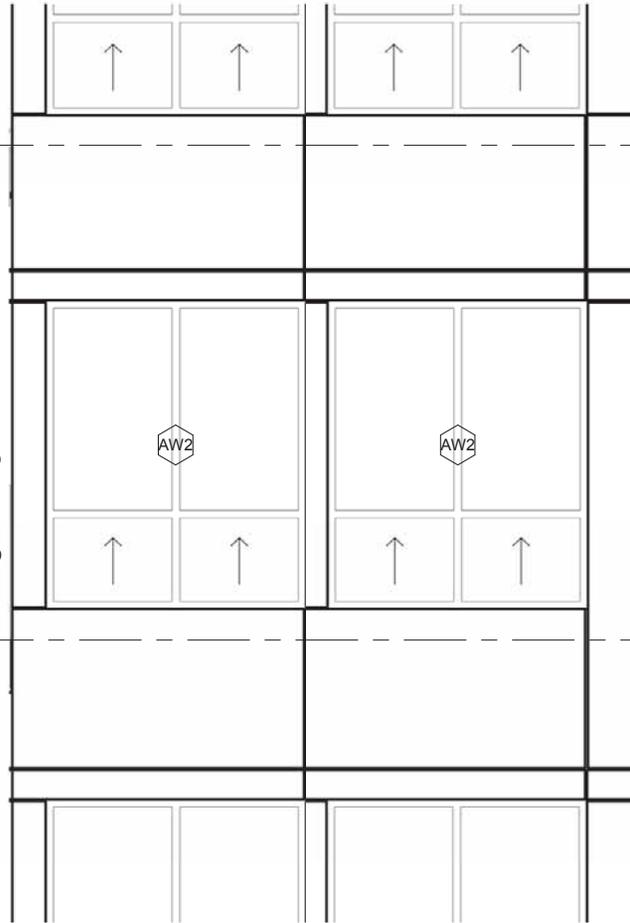


**BRIDGE PARK**  
DUBLIN, OH

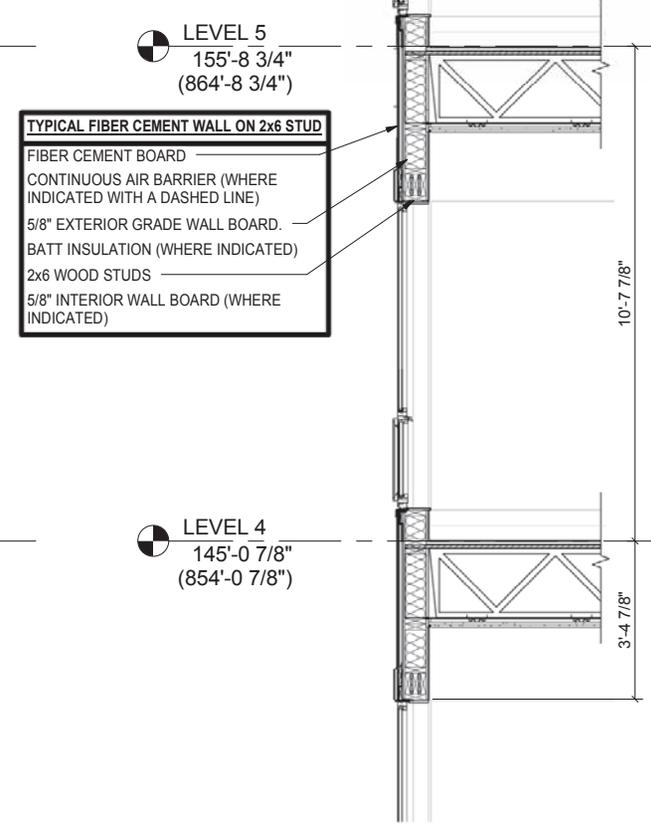


LEVEL 5  
155'-8 3/4"  
(864'-8 3/4")

LEVEL 4  
145'-0 7/8"  
(854'-0 7/8")



**2 ELEVATION** WINDOW AT FIBER CEMENT  
3/8" = 1'-0"

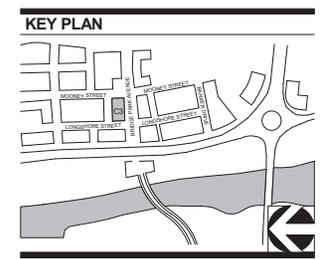


LEVEL 5  
155'-8 3/4"  
(864'-8 3/4")

LEVEL 4  
145'-0 7/8"  
(854'-0 7/8")

**1 SECTION** WINDOW @ FIBER CEMENT  
3/8" = 1'-0"

**3 DETAIL** HEAD @ FIBER CEMENT (ALUM. WINDOW)  
1 1/2" = 1'-0"



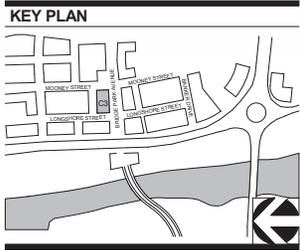
**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 A116 - C3 - DETAILS



**BRIDGE PARK**  
DUBLIN, OH



**1 LANDSCAPE COORDINATION C3 - NORTH ELEVATION**  
1/16" = 1'-0"

**CORRIDOR BUILDING TYPE**

11" X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

04-23-2015 A117 - C3 - LANDSCAPE ELEVATION



# BRIDGE PARK

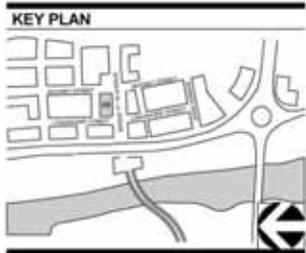
DUBLIN, OH



UP-DOWN WALL SCONCE



LINEAR WALL SCONCE  
Dimensions- 6-1/8" x 37"



## 1 C3 - LIGHT FIXTURE DETAILS

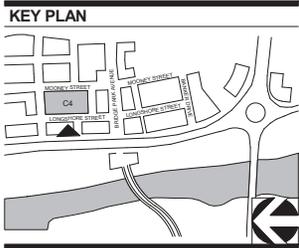
MIXED USE BUILDING TYPE

NO SCALE

# BUILDING C4/C5

6640 MOONEY ST / 6640 LONGSHORE ST  
DUBLIN, OHIO 43017

USE	AREA
GARAGE	295,206 SF
RESIDENTIAL	66,170 SF
SERVICE	13,576 SF
CIRCULATION	19,133 SF
<b>TOTAL</b>	<b>394,085 SF</b>



### PARKING SCHEDULE

LEVEL	TYPE	TOTAL
LEVEL 1	ADA 9'X18' W/ SIGN	14
LEVEL 1	ADA VAN 9'X18' W/ SIGN	4
LEVEL 1-6	NON-STD	11
LEVEL 1-6	STD 9'-A8'	840
<b>TOTAL</b>		<b>869</b>

## CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

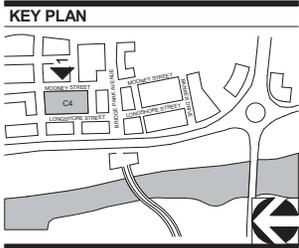
REVISED 04-23-2015 A000-C4/C5 - COVER

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"



# BRIDGE PARK

DUBLIN, OH



## CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

04-23-2015 A000A - C4/C5 - COVER

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"

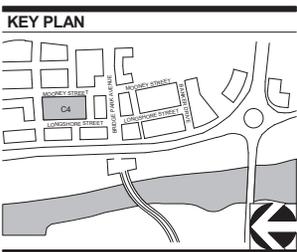
STREET FACADE ENTRANCES REQUIRED  
(1 PER 75' OF FACADE MIN.)

STREET	FACADE LENGTH	#REQ'D	PROPOSED
LONGSHORE	317'	5	2
TULLER RIDGE	224'	2	2
MOONEY	317'	5	1

REFER TO ELEVATIONS FOR ALL LOCATIONS

PARKING SCHEDULE		
LEVEL	TYPE	TOTAL
LEVEL 1	NON STD 8'X15'	2
LEVEL 1	ADA 9'X18' W/ SIGN	14
LEVEL 1	STD 9'X18'	112
LEVEL 1	ADA VAN 9'X18' W/ SIGN	4
TOTAL		132

- CIRCULATION - 653 SF
- GARAGE - 48,768 SF
- SERVICE - 6,655 SF



**1 C4 - LEVEL 1 FLOOR PLAN (EL. 810.00')**  
1/32" = 1'-0"  
**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

04-23-2015 A101-C4/C5 - LEVEL 1

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"

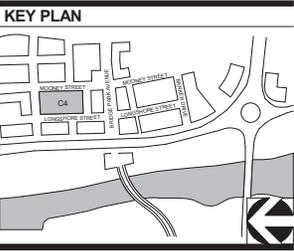


UNIT QUANTITY 2FL	
Name	Quantity
1 BR	6
2 BR	5
STUDIO	2
Grand total: 13	

LEVEL	TYPE	TOTAL
LEVEL 2	STD 9'-18"	140
LEVEL 2	NON-STD 8'X16'	2
TOTAL		142

PARKING SCHEDULE		
LEVEL	TYPE	TOTAL
LEVEL 2	STD 9'-18"	140
LEVEL 2	NON-STD 8'X16'	2
TOTAL		142

- CIRCULATION - 3,544 SF
- GARAGE - 50,907 SF
- PATIO - 686 SF
- RESIDENTIAL - 13,850 SF
- SERVICE - 1,400 SF



**1 C4 - LEVEL 2 FLOOR PLAN (EL. 822.00')**  
 1/32" = 1'-0"  
**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

04-23-2015 A102-C4/C5 - LEVEL 2

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"





**BRIDGE PARK**  
DUBLIN, OH

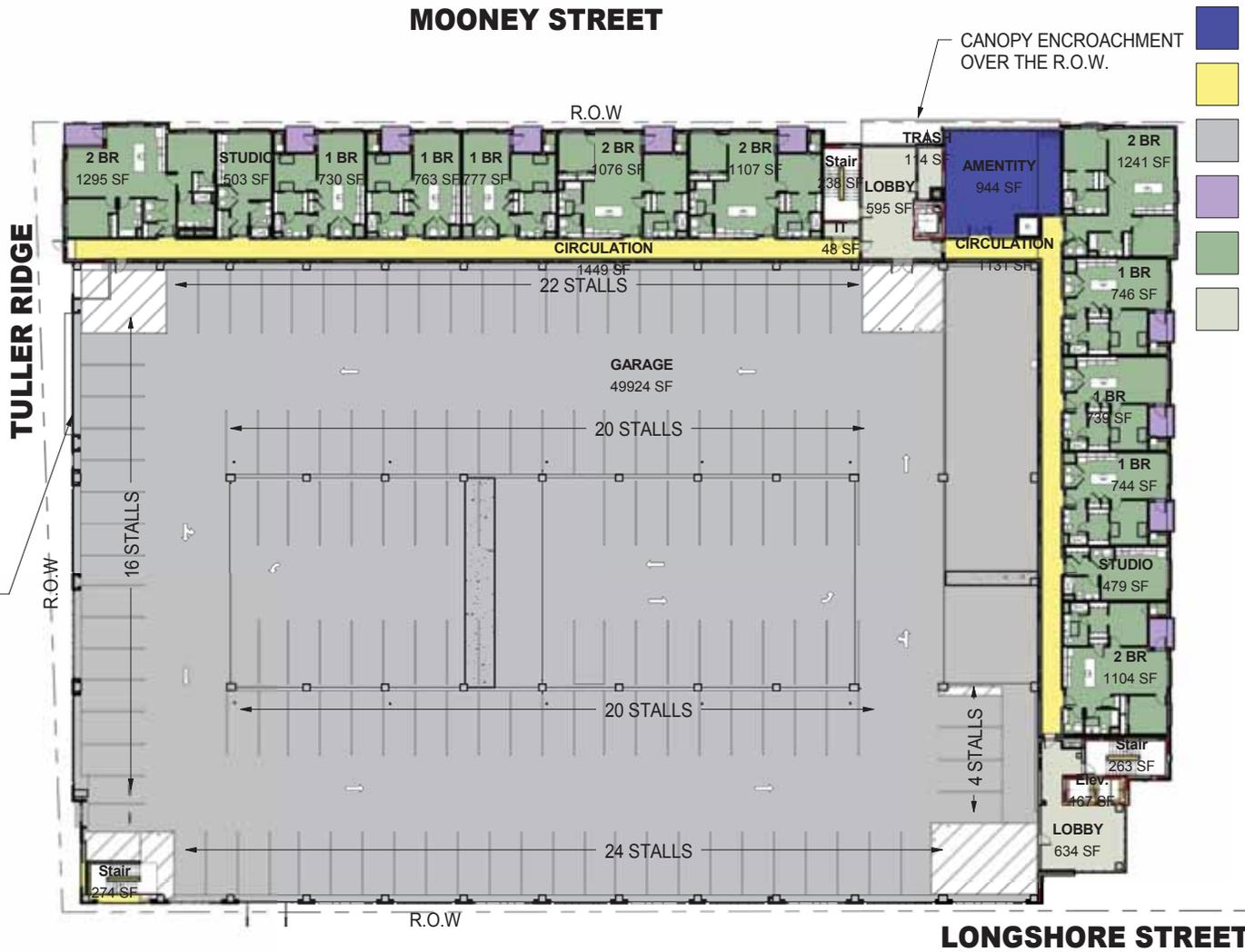
UNIT QUANTITY 3FL	
Name	Quantity

1 BR	6
2 BR	5
STUDIO	2

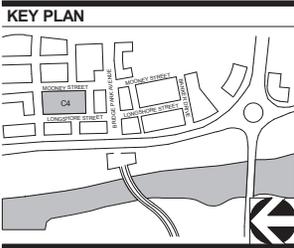
Grand total: 13

PARKING SCHEDULE		
LEVEL	TYPE	TOTAL
LEVEL 3	STD 9'-18'	144
LEVEL 3	NON-STD 8'X16'	2
TOTAL		146

CANOPY ENCROACHMENT OVER THE R.O.W.



- AMENITY - 944 SF
- CIRCULATION - 3,617 SF
- GARAGE - 49,924 SF
- PATIO - 686 SF
- RESIDENTIAL - 11,304 SF
- SERVICE - 1,391 SF



**1 C4 - LEVEL 3 FLOOR PLAN (EL. 830.65')**  
1/32" = 1'-0"

**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"

04-23-2015 A103-C4/C5 - LEVEL 3



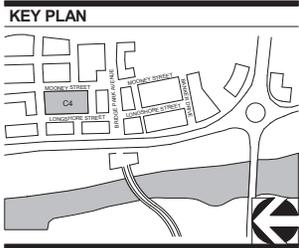
**BRIDGE PARK**  
DUBLIN, OH

UNIT QUANTITY 4FL	
Name	Quantity

1 BR	7
2 BR	5
STUDIO	2
Grand total: 14	

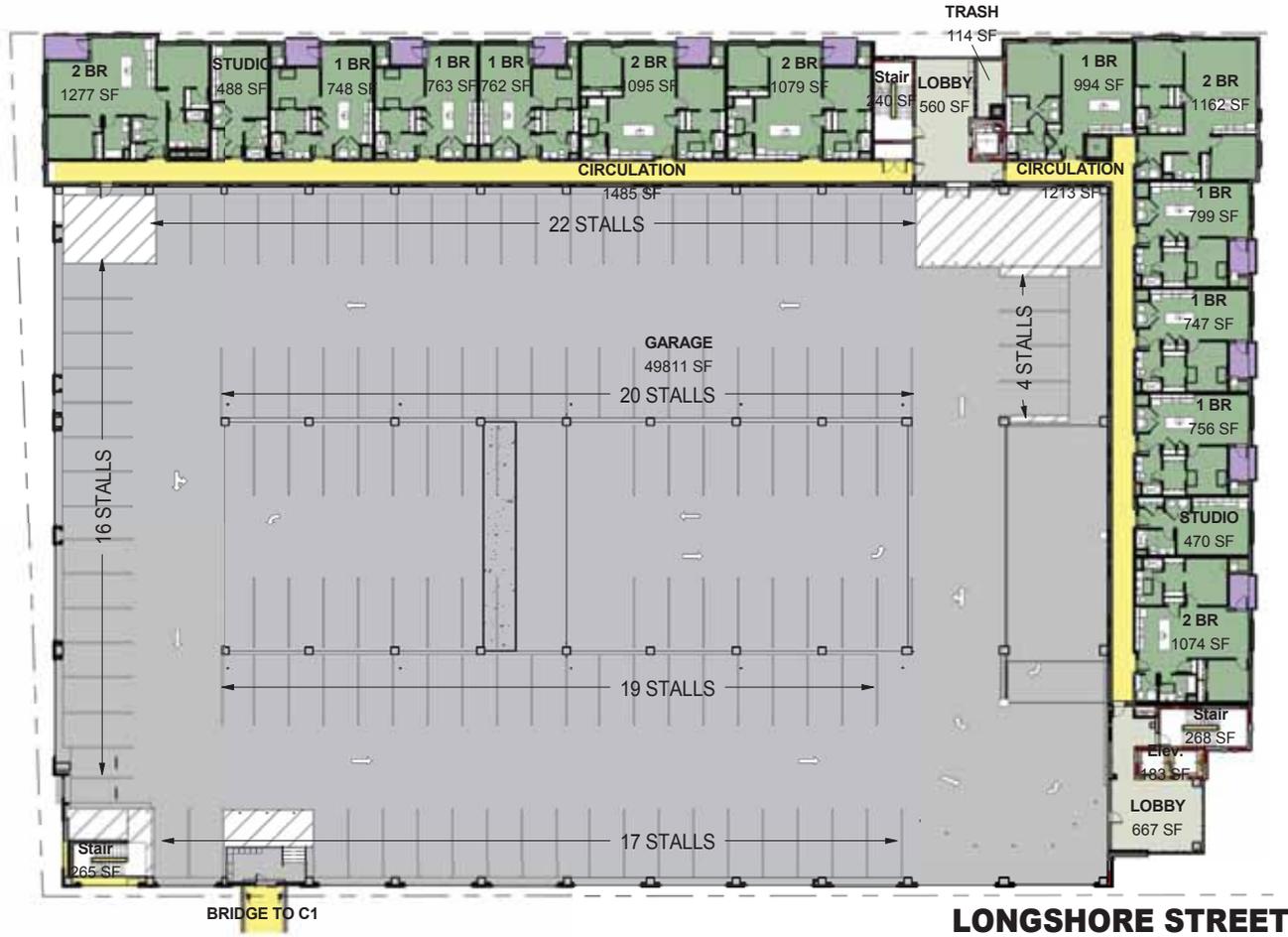
PARKING SCHEDULE		
LEVEL	TYPE	TOTAL
LEVEL 4	STD. 9'-18"	138
LEVEL 4	NON-STD. 8'X16'	2
TOTAL		140

- CIRCULATION - 3,749 SF
- GARAGE - 49,811 SF
- PATIO - 686 SF
- RESIDENTIAL - 12,214 SF
- SERVICE - 1,302 SF



**MOONEY STREET**

**TULLER RIDGE**



**LONGSHORE STREET**

**1**

**C4 - LEVEL 4 FLOOR PLAN (EL. 841.31')**

1/32" = 1'-0"

**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

04-23-2015 A104-C4/C5 - LEVEL 4

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"



**BRIDGE PARK**  
DUBLIN, OH

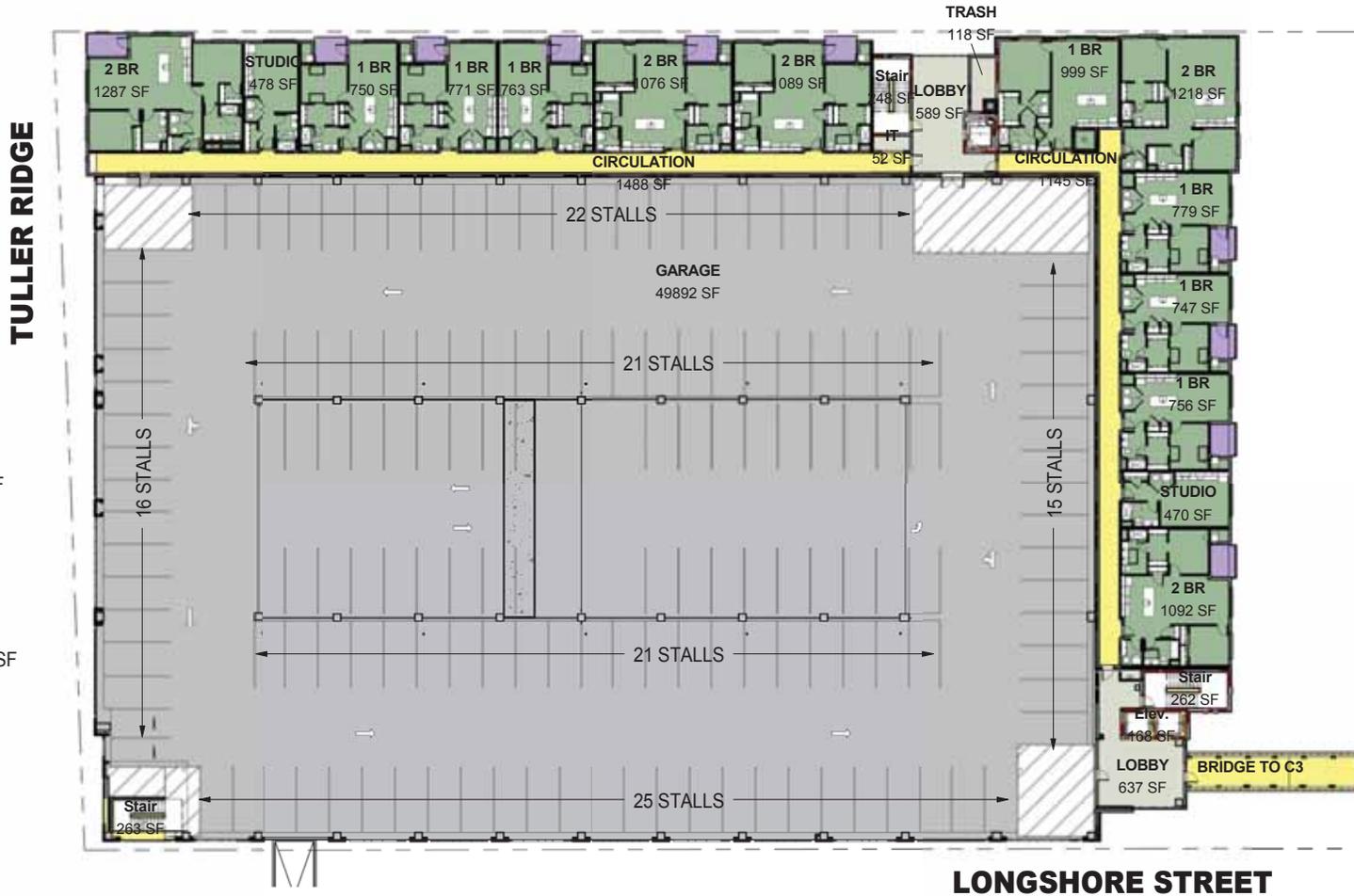
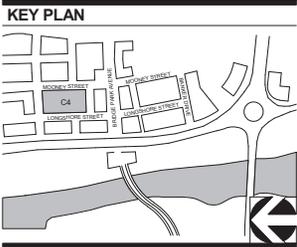
**MOONEY STREET**

UNIT QUANTITY 5FL	
Name	Quantity

1 BR	7
2 BR	5
STUDIO	2
Grand total: 14	

PARKING SCHEDULE		
LEVEL	TYPE	TOTAL
LEVEL 5	STD 9'-18"	160
LEVEL 5	NON-STD 8'X16'	2
TOTAL		162

- CIRCULATION - 3,669 SF
- GARAGE - 49,892 SF
- PATIO - 686 SF
- RESIDENTIAL - 12,214 SF
- SERVICE - 1,301 SF



**1 C4 - LEVEL 5 FLOOR PLAN (EL. 851.97')**

1/32" = 1'-0"

**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"

04-23-2015 A105 - C4/C5 - LEVEL 5



**BRIDGE PARK**  
DUBLIN, OH

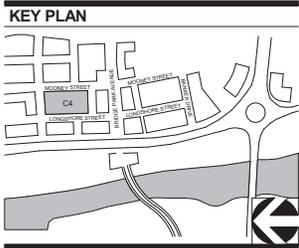
UNIT QUANTITY 6FL	
Name	Quantity

1 BR	7
2 BR	5
STUDIO	2

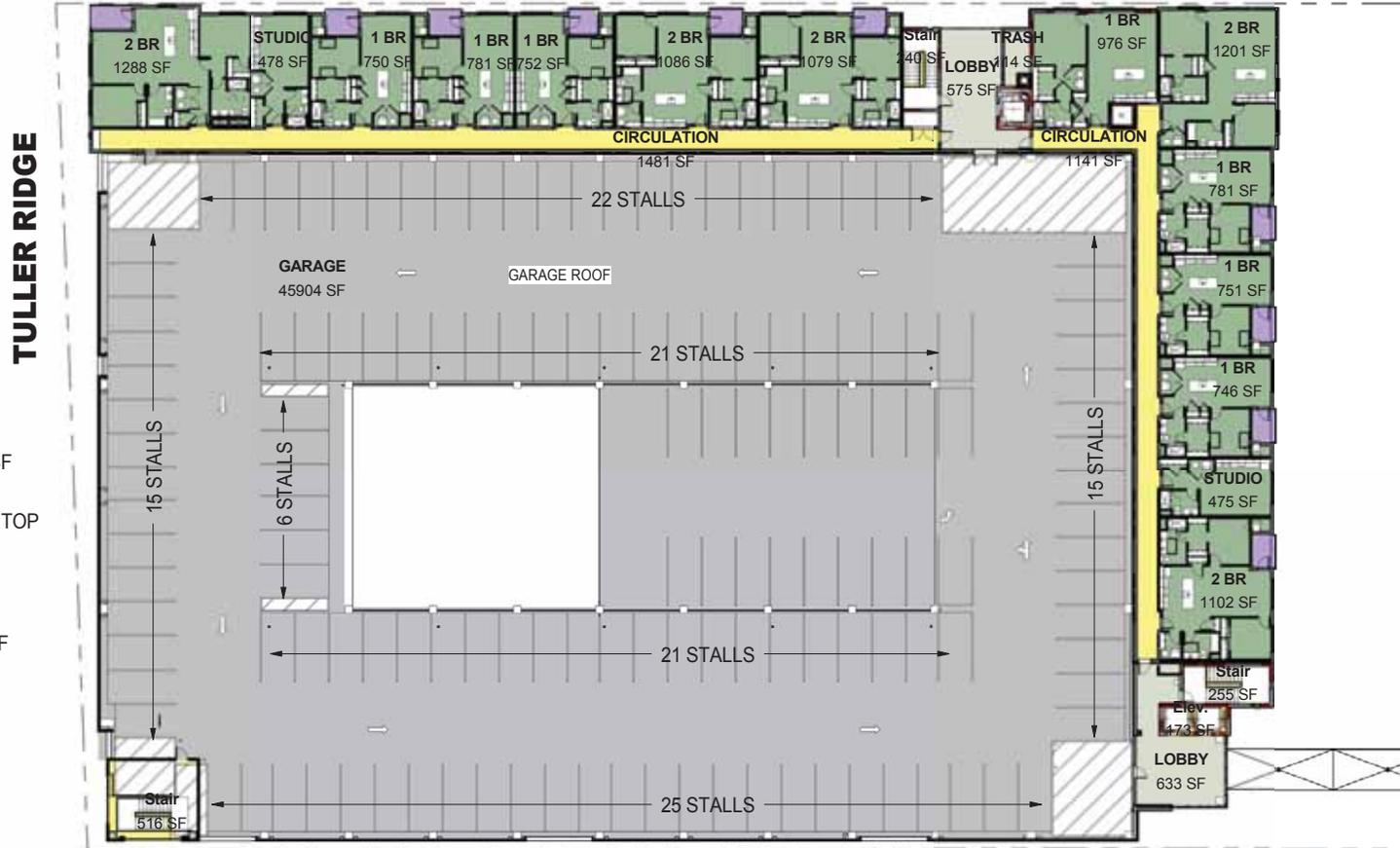
Grand total: 14

PARKING SCHEDULE		
LEVEL	TYPE	TOTAL
LEVEL 6	STD 9'-18"	143
LEVEL 6	NON-STD 8'X16'	1
TOTAL		147

- CIRCULATION - 3,901 SF
- GARAGE - 45,904 SF ROOF TOP
- PATIO - 686 SF
- RESIDENTIAL - 12,214 SF
- SERVICE - 1,527 SF



**MOONEY STREET**



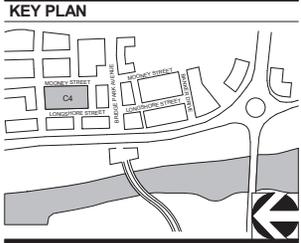
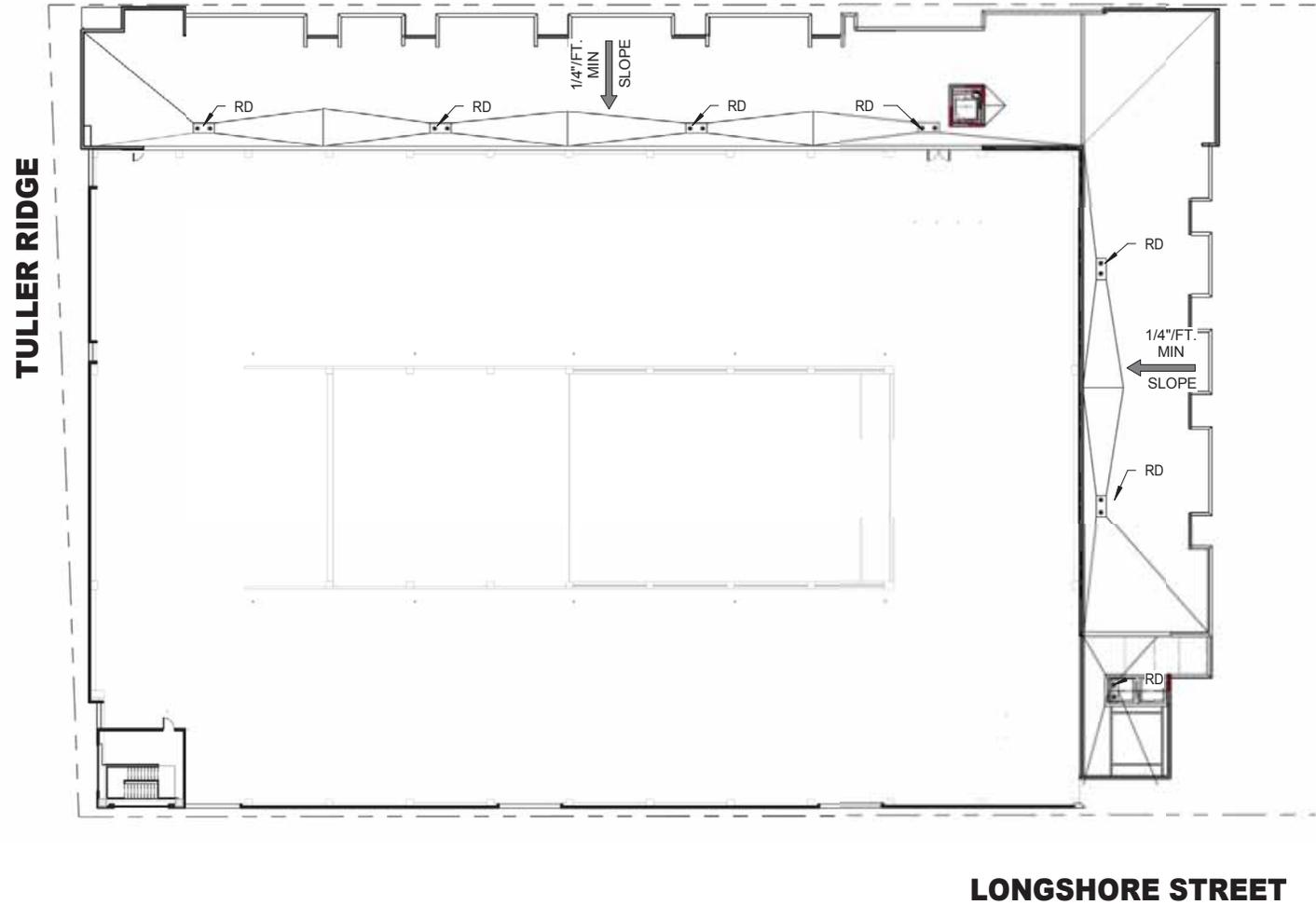
**1 C4 - LEVEL 6 FLOOR PLAN (EL. 861.97')** LONGSHORE STREET  
1/32" = 1'-0"

**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

04-23-2015 A106 - C4/C5 - LEVEL 6

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"

**MOONEY STREET**



**1 C4 - ROOF PLAN (EL. 871.97')**  
1/32" = 1'-0"

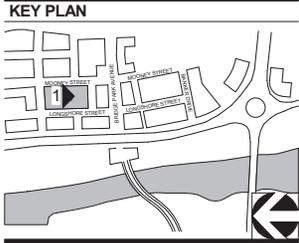
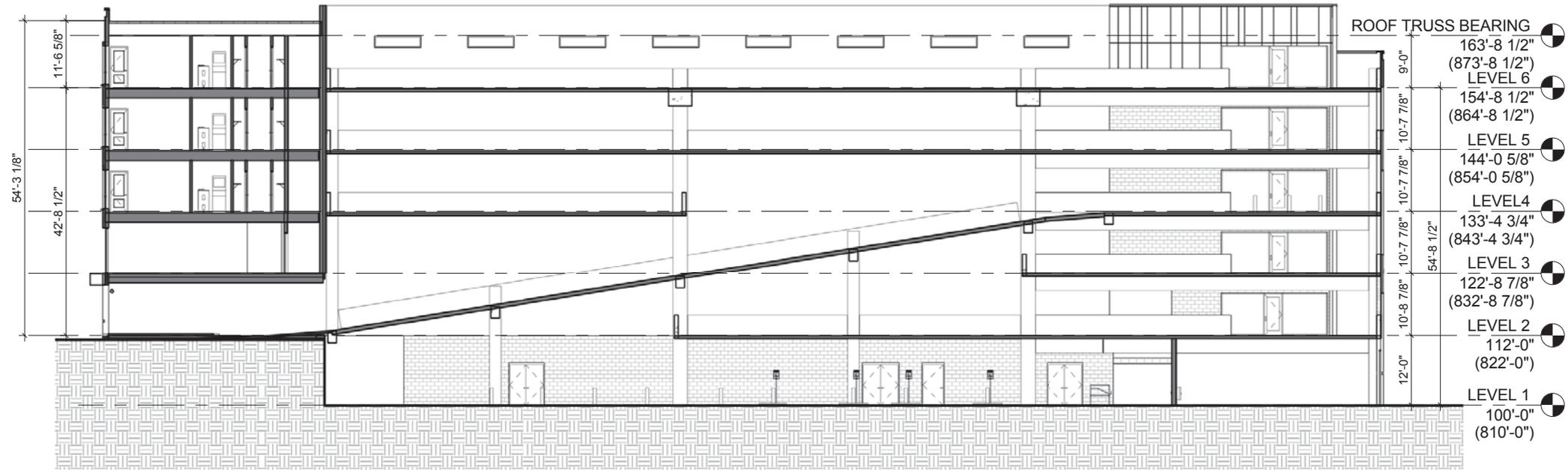
**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"

04-23-2015 A107 - C4/C5 - ROOF PLAN



**BRIDGE PARK**  
DUBLIN, OH



**1 C4 - BUILDING SECTION**  
1/16" = 1'-0"

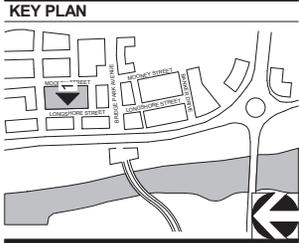
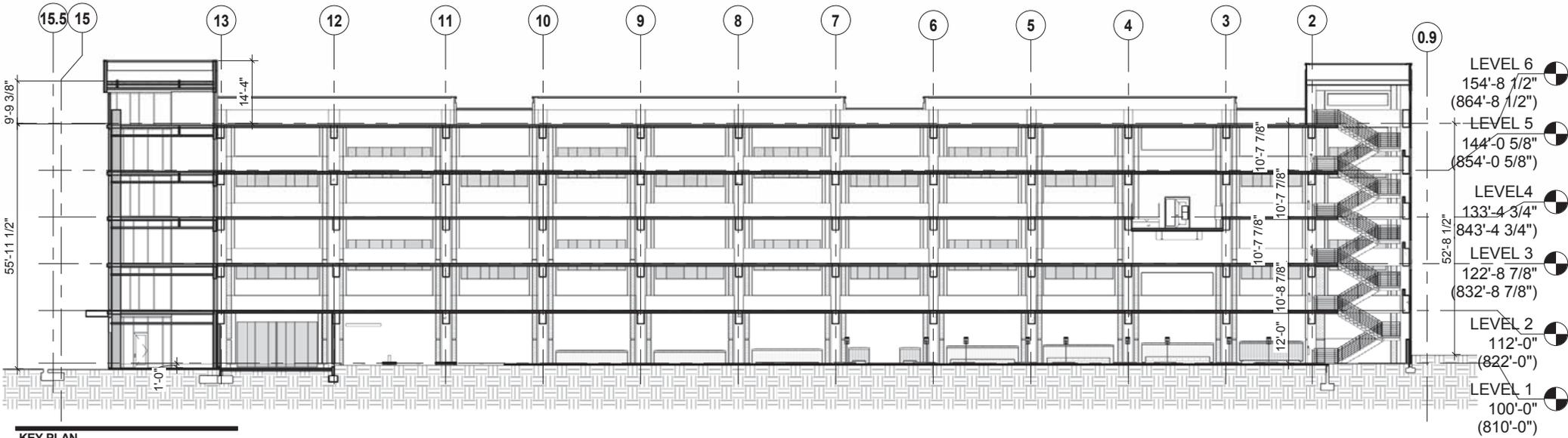
**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"

04-23-2015 A108 - C4/C5 - BLDG. SECTION 1



**BRIDGE PARK**  
DUBLIN, OH



**1 BLDG SECTION LOOKING WEST**  
3/64" = 1'-0"

**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"

04-23-2015 A108A - C4/C5 - BLDG SECTION 2

**STREET FACADE  
TRANSPARENCY**

1st Story	2nd Story	3rd Story	4th Story	5th Story
Story Area: 1,887 sf	Story Area: 4,086 sf	Story Area: 4,086 sf	Story Area: 4,086 sf	Story Area: 4,086 sf
Transparency: 865 sf	Transparency: 1,423 sf	Transparency: 1,259 sf	Transparency: 1,259 sf	Transparency: 1,259 sf
Required: 60%	Required: 30%	Required: 30%	Required: 30%	Required: 30%
Provided: 46%	Provided: 35%	Provided: 31%	Provided: 31%	Provided: 31%

**GROUND STORY STREET FACADE TRANSPARENCY: 48% WAIVER NEEDED**  
**UPPER STORY STREET FACADE TRANSPARENCY: 39%**

**VERTICAL FACADE DIVISIONS**  
(45' OR LESS REQUIRED)

Balcony side walls included in story area for transparency and material calculations



**PRINCIPAL ENTRANCE LOCATION**  
(As applicable along any principal frontage street facade of building)

**HORIZONTAL FACADE DIVISIONS**  
(Required within 3' of top of ground story on buildings 3 stories and taller)

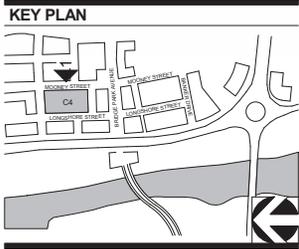
**FACADE MATERIALS**

Overall Area of elevation: 20,444

Material	Primary/Secondary	Area (SF)	Percentage	Required	
Brick	Primary	11,289 sf	55%		
	Primary	5,505 sf	27%		
Glass	Secondary	16,794 sf	82%	80%	Y
	Secondary	887 sf	4%		
Fiber Cement	Secondary	2,651 sf	13%		
Misc. Elements (Metal Canopies, Trim)	Trim	112 sf	1%		
		3,650 sf	18%	<20%	N

**WAIVER NEEDED:**  
Number of street facade entrances required: 1/75ft not met

**WAIVER NEEDED: SECONDARY MATERIALS = 28%**



**1 C4/C5 EAST ELEVATION**  
3/64" = 1'-0"

**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"

04-23-2015 A109 - C4/C5 - EAST ELEVATION

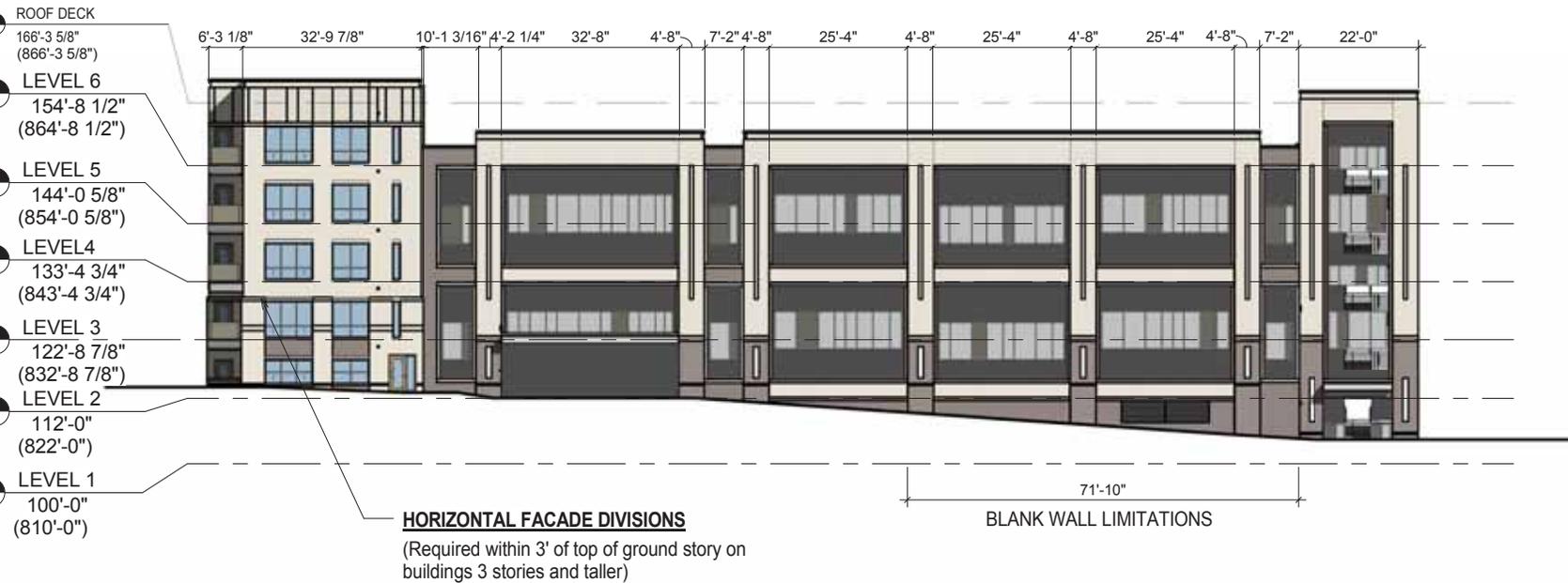


# RIDGE PARK

DUBLIN, OH

**Story Height**  
(See Typ. Notes)

## VERTICAL FACADE DIVISIONS - PARKING STRUCTURE (30' OR LESS REQUIRED)



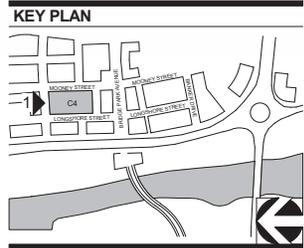
## STREET FACADE TRANSPARENCY

Story	Story Area	Transparency	Required	Provided
5th Story	2,387 sf	899 sf	30% / N.A.	37%
4th Story	2,387 sf	1,156 sf	30% / N.A.	48%
3rd Story	2,387 sf	955 sf	30% / N.A.	42%
2nd Story	2,387 sf	1,126 sf	30% / N.A.	47%
1st Story	1,348 sf	542 sf	60% / 65%	40%

## FACADE MATERIALS

Overall Area of elevation: 12,128 sf - 3,076 sf (open air) = 9,052 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	6,053 sf	67%		
Glass	Primary	526 sf	6%		
		<b>6,579 sf</b>	<b>73%</b>	<b>80%</b>	<b>N</b>
Perforated Aluminum Panels	Secondary	1,763 sf	19%		
Fiber Cement	Secondary	582 sf	7%		
Misc. Elements (Metal Canopies, Trim)	Trim	128 sf	1%		
		<b>2,473 sf</b>	<b>27%</b>	<b>&lt;20%</b>	<b>N</b>



# 1 C4/C5 NORTH ELEVATION

3/64" = 1'-0"

## CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

REVISED 04-23-2015 A110 - C4/C5 - NORTH ELEVATION

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"

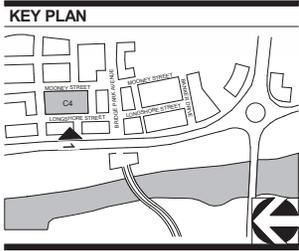


**BRIDGE PARK**  
DUBLIN, OH

**STREET FACADE  
TRANSPARENCY**

	1st Story	2nd Story	3rd Story	4th Story	5th Story
Story Area:	1,779 sf	3,160 sf	3,136 sf	3,136 sf	3,136 sf
Transparency:	1,176 sf	1,277 sf	1,600 sf	1,179 sf	1,465 sf
Required:	65%	N.A.	N.A.	N.A.	N.A.
Provided:	66%	40%	51%	38%	47%

**VERTICAL FACADE DIVISIONS - PARKING STRUCTURE  
(30' OR LESS REQUIRED)**



**1 C4/C5 WEST ELEVATION**

3/64" = 1'-0"

**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

**FACADE MATERIALS**

Overall Area of elevation: 12,489 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	
Brick	Primary	7,833 sf	62%		
Glass	Primary	834 sf	7%		
		<b>8,667 sf</b>	<b>69%</b>	<b>80%</b>	<b>N</b>
Perforated Aluminum Panels	Secondary	2,589 sf	21%		
Fiber Cement	Secondary	1,087 sf	9%		
Misc. Elements (Metal Canopies, Trim)	Trim	146 sf	1%		
		<b>3,822 sf</b>	<b>31%</b>	<b>&lt;20%</b>	<b>N</b>

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"

REVISED 04-23-2015 A111 - C4/C5 - WEST ELEVATION



# BRIDGE PARK DUBLIN, OH

GROUND STORY NON-STREET FACADE TRANSPARENCY: 31%

UPPER STORY NON-STREET FACADE TRANSPARENCY: 31%

## NON-STREET FACADE TRANSPARENCY

Story	Story Area	Transparency	Required	Provided
6th Story	2,907 sf	748 sf	15%	26%
5th Story	2,907 sf	742 sf	15%	26%
4th Story	2,907 sf	898 sf	15%	31%
3rd Story	2,907 sf	934 sf	15%	32%
2nd Story	2,922 sf	907 sf	15%	31%
1st Story	1,404 sf	460 sf	15%	33%

BRIDGE C1  
130'-9 3/8"  
840'-9 3/8")



**Story Height**  
(See Typ. Notes)

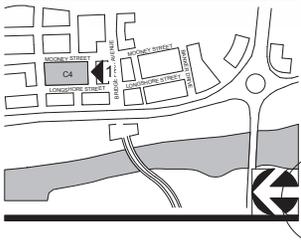
**HORIZONTAL FACADE DIVISIONS**  
(Required within 3' of top of ground story on buildings 3 stories and taller)

### FACADE MATERIALS

Overall Area of elevation: 15,997 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	
Brick Glass	Primary	7,348 sf	46%	80%	N
	Primary	3,933 sf	25%		
Perforated Aluminum Panels Fiber Cement Misc. Elements (Metal Canopies, Trim)	Secondary	819 sf	5%	<20%	N
	Secondary	3,606 sf	23%		
	Trim	291 sf	1%		
		<b>4,716 sf</b>	<b>29%</b>		

### KEY PLAN



## C4/C5 SOUTH ELEVATION

3/64" = 1'-0"

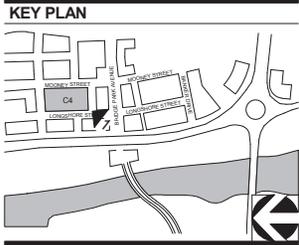
**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

04-23-2015 A112 - C4/C5 - SOUTH ELEVATION

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" - 1'-0"



BRIDGE PARK  
DUBLIN, OH



MASSING VIEW FROM THE SOUTHWEST CORNER

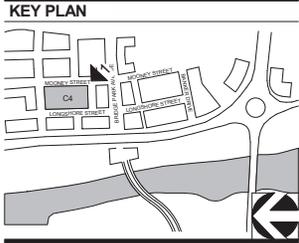
**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"

04-23-2015 A113 - C4/C5 - SW  
VIEW



BRIDGE PARK  
DUBLIN, OH



MASSING VIEW FROM THE SOUTHEAST CORNER

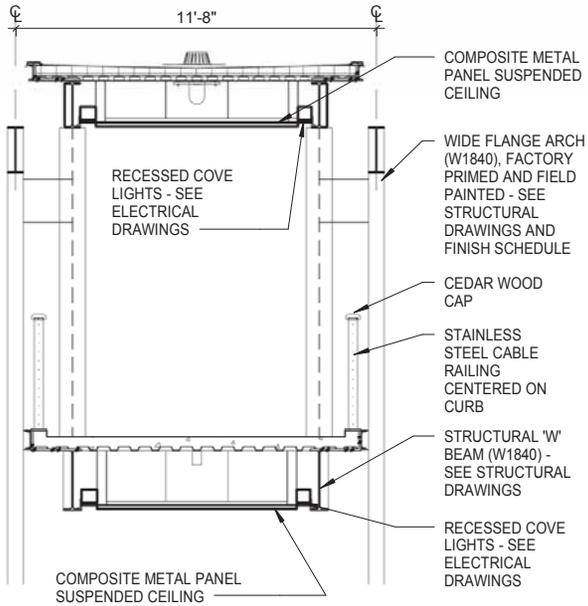
**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"

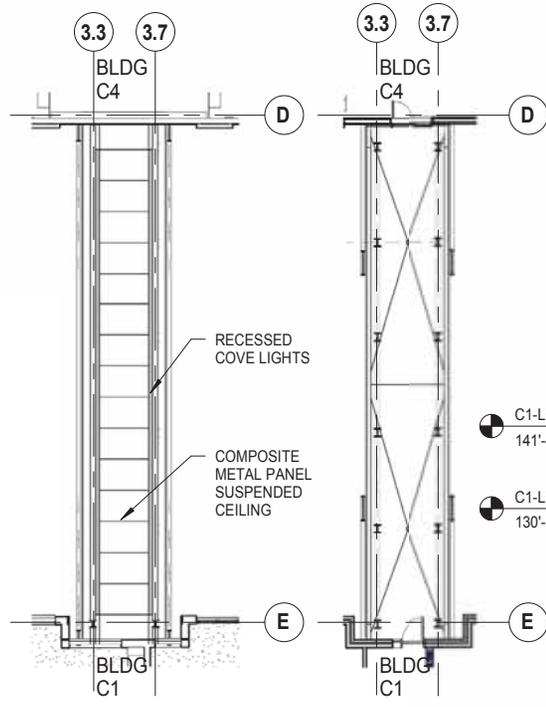
04-23-2015 A114 - C4/C5 - SE VIEW



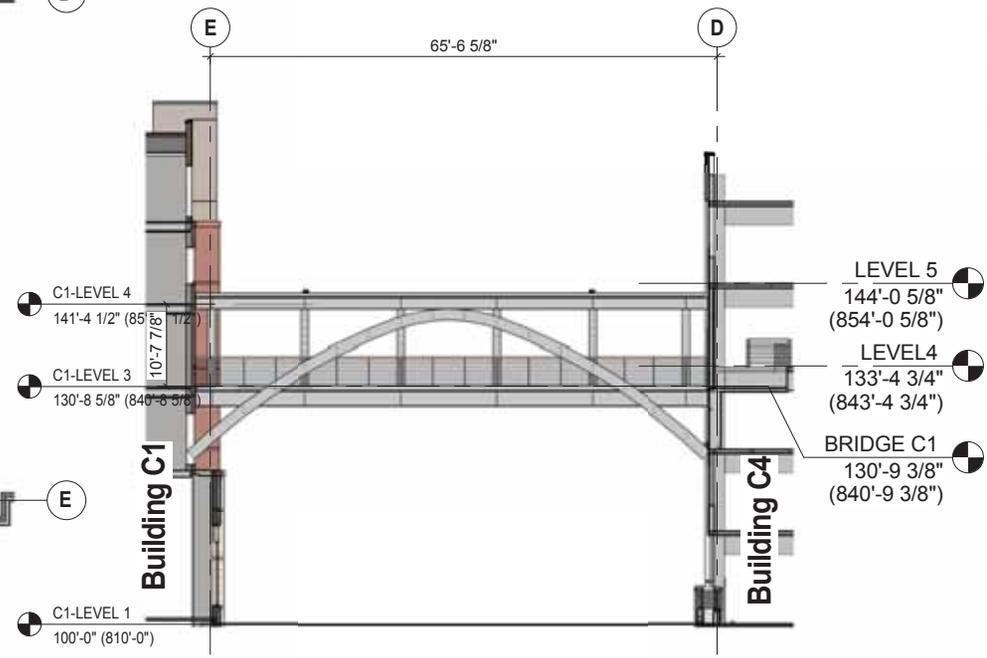
**BRIDGE PARK**  
DUBLIN, OH



**4** **DETAIL** C1 - BRIDGE DETAIL  
1/4" = 1'-0"

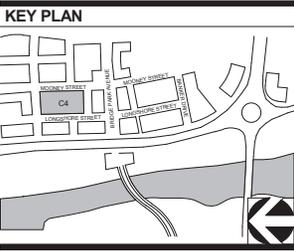


**3** **PLAN** BRIDGE C1 STREET VIEW RCP  
1/16" = 1'-0"



**2** **PLAN** BRIDGE C1 FLOOR PLAN  
1/16" = 1'-0"

**1** **ELEVATION** BRIDGE C1  
1/16" = 1'-0"



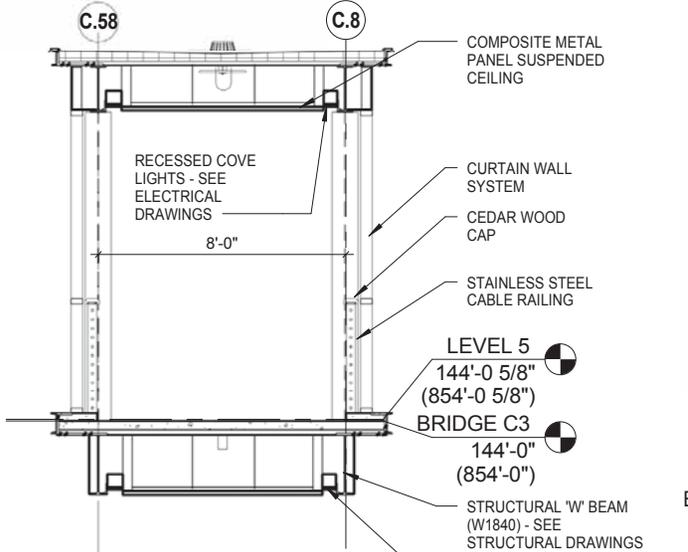
**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"

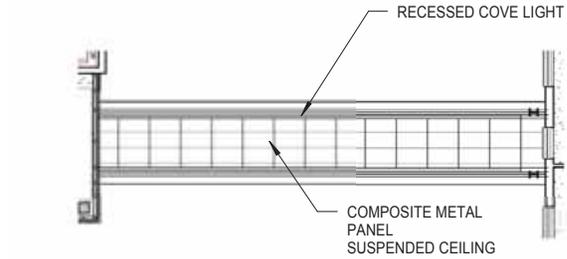
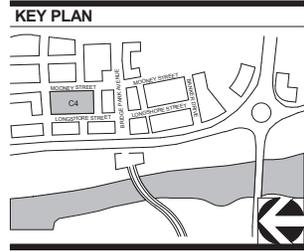
04-23-2015 A115 - C4/C5 - BRIDGE C1



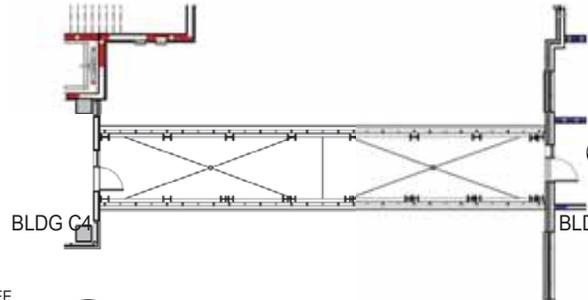
# BRIDGE PARK DUBLIN, OH



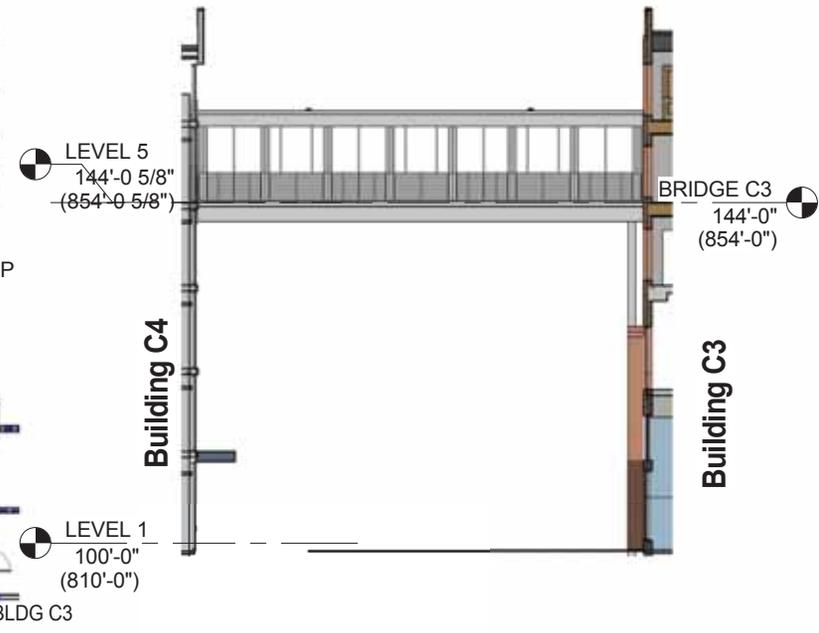
**3 DETAIL C3 - BRIDGE DETAIL**  
1/4" = 1'-0"



**4 PLAN UNDERNEATH BRIDGE C3 RCP**  
1/16" = 1'-0"



**2 PLAN BRIDGE C3 FLOOR PLAN**  
1/16" = 1'-0"



**1 ELEVATION BRIDGE - C3**  
1/16" = 1'-0"

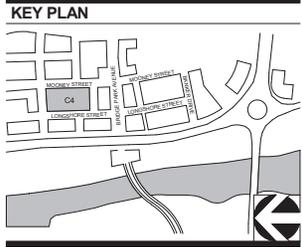
## CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"

04-23-2015 A115 - C4/C5 - BRIDGE C3



**BRIDGE PARK**  
DUBLIN, OH



**1**

## **C4/C5 SOUTH ELEVATION - LANDSCAPE COORDINATION**

3/64" = 1'-0"

**CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE**

11" X 17" = 3/64" = 1'-0", 22" X 34" = 3/32" = 1'-0"

04-23-2015 A117 - C4/C5 -  
LANDSCAPE ELEVATION



# BRIDGE PARK

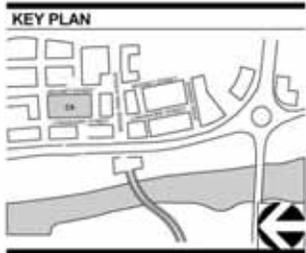
DUBLIN, OH



UP-DOWN WALL SCONCE



LINEAR WALL SCONCE  
Dimensions- 6-1/8" x 37"



## 1 C4- LIGHT FIXTURE DETAILS

CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

NO SCALE



# BRIDGE PARK

DUBLIN, OH

## FIBER CEMENT PANEL CHARACTERISTICS:

- 7/16" commercial grade panels
- Panelized reveal system or battens for distinct look on each building.
- Engineered for superior durability in all climate conditions.
- Ventilated rain screen assembly for moisture management.

### Technical Attributes HardiePanel™ Vertical Siding

James Hardie Building Products, Inc.  
HardiePanel™ Vertical Siding has been comprehensively tested and displays the following typical physical properties:

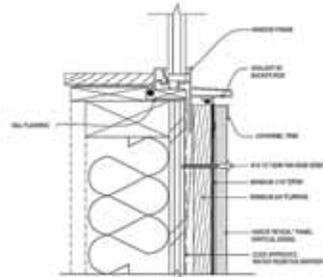
General Property	Test Method	Unit or Characteristics	Requirement	Result	
PHYSICAL ATTRIBUTES	Dimensional Tolerances				
	Length	ASTM C1185	± 0.3%	Pass	
	Width	ASTM C1185	± 0.3%	Pass	
	Thickness	ASTM C1185	± 0.04 in.	Pass	
	Squareness	ASTM C1185	± 1/32 in./ft. of length	Pass	
Edge Straightness	ASTM C1185	± 1/32 in./ft. of length	Pass		
Density, lb/ft <sup>3</sup>	ASTM C1185	As reported	± 83	Pass	
Water Absorption, % by mass	ASTM C1185	As reported	± 36	Pass	
Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass	
Moisture Content, %	ASTM C1185	As reported	± 8	Pass	
Moisture Movement, % Linear Change	ASTM C1185	30 – 90% Relative Humidity	As reported	± 0.05	
Flexural Strength	ASTM C1185	Wet conditioned, psi	± 2213 psi	Pass	
	ASTM C1185	Equilibrium conditioned, psi	± 2430 psi	Pass	
Thermal Conductivity	ASTM C375	$k_{avg}$ @ 75°F @ 1" #	As reported	0.07	
Actual Thermal Conductivity	ASTM C375	( $k_{act}$ )	As reported	0.02	
Thermal Resistance	ASTM C375	R-Value	As reported	0.14	
Actual Thermal Resistance	ASTM C375	(R <sub>a</sub> )	As reported	0.23	
WEATHERABILITY	Warm Water Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
		ASTM C1185	Warm Water, % wet retention	± 85%	Pass
	Heat/Rain Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
	Freeze/Thaw Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
		ASTM C1185	Freeze/Thaw, % wet retention	± 3.0	Pass
	ASTM C1185	Freeze/Thaw, % wet retention	± 80%	Pass	
UV Accelerated Weathering Test	ASTM G23	Physical Observations	No cracking, checking, or staining	Pass	
FIRE CHARACTERISTICS	Surface Burning Characteristics	ASTM E84	Flames Spread Index (FSI)	0	Pass
		ASTM E84	Smoke Developed Index (SDI)	0.5	Pass
		ASTM E84	Fuel Contributed	0	Pass
			MFR Class	As reported	A
			Uniform Building Code™ Class	As reported	1
		International Building Code™ Class	As reported	A	
Noncombustibility	ASTM E136	Noncombustible	Pass/Fail	Pass	
Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating	1 hour	Pass	

Note 1: Listed on Warnock Hensley and ICC-ES ESR-1045

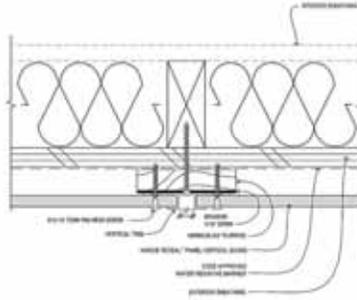
NOTE: In addition to the above product properties, building assemblies incorporating its product have been tested for fire and impact performance.

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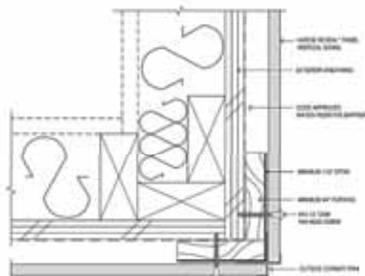
Additional installation information, warranties, and drawings are available at [www.jamhardie.com](http://www.jamhardie.com)



WINDOW SILL



VERTICAL REVEAL JOINT



CORNER TRIM



Lennox Apartments



Board and Batten



Cement Fiber Board Reveal System



C1-C2-C3-C4

## FIBER CEMENT BOARD DETAILS

MOODY•NOLAN  
RESPONSIVE ARCHITECTURE

02-26-2015



# BRIDGE PARK

DUBLIN, OH

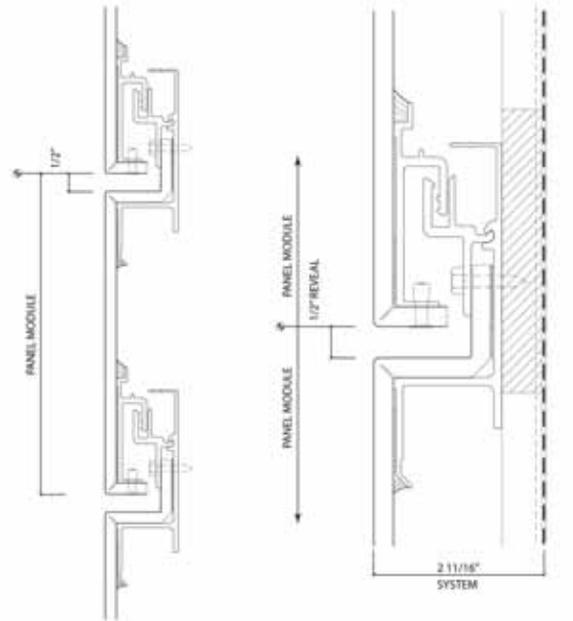
**CENTRIA FORMABOND used at building C2 only**

## Description

FormaBond MCS Panels create a dry seal exterior wall system through the use of a unique joinery system. With continuous venting along the length of each joint, the panel system is a high performance Pressure Equalized Rainscreen System even with an imperfect air barrier. Panels are available in a 2 11/16" thickness and offer various reveal widths up to 6". FormaBond thickness offers enhanced structural and surface impact strength and is the ideal choice for high human interaction zones on buildings.

## General Design Options

PLANK DEPTH	3/8"
SYSTEM DEPTH	2 11/16"
MAXIMUM MODULE	5' 8"
MINIMUM MODULE	6 1/2"
MAXIMUM HORIZONTAL PANEL SIZE	15' x 5'
MAXIMUM VERTICAL PANEL SIZE	5' x 15'
STANDARD PLANK SKIN THICKNESS	.030"
OPTIONAL PLANK SKIN THICKNESS	.032"
HORIZONTAL STANDARD REVEAL	1/2"
HORIZONTAL OPTIONAL REVEAL	1" - 6"
VERTICAL STANDARD REVEAL	1/2"
VERTICAL OPTIONAL REVEAL	5/8" - 6"
PANEL LENGTH MAX	15'
PANEL SYSTEM WEIGHT	+2 lbs. per sq. ft.
STANDARD VERTICAL JOINT MATERIAL	Galvalume
OPTIONAL VERTICAL JOINT MATERIAL	Copper
STANDARD TEXTURE	Smooth
OPTIONAL TEXTURE	Embossed
CURVED APPLICATIONS	Contact CENTRIA
FINISHES	See CENTRIA Color Chart



02-26-2015

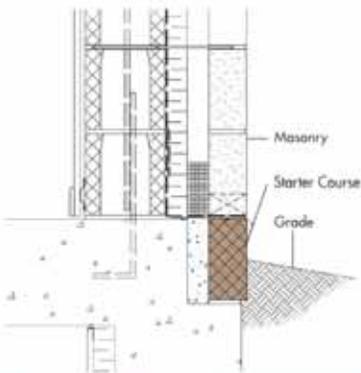


# BRIDGE PARK

DUBLIN, OH

Incorporate an **Adair® Limestone Starter Course**

Installing a starter course of Adair® dolomite will maintain the aesthetic integrity of the masonry. Its greater density and lower absorption is ideally suited to resist the conditions at grade.



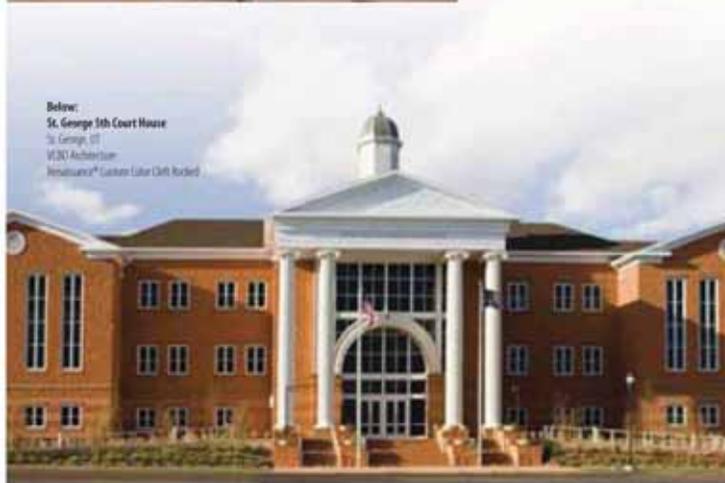
Adair® Limestone starter course



**Top Left:**  
4501 North Fairfax Office Complex  
Fairfax, VA  
WGS Architects  
Renaissance® White Sandblasted

**Top Right:**  
Providence  
Palatine, IL  
Troglia Architects  
Renaissance® White Sandblasted

**Left:**  
Saint Nektarios Southeast  
Greek Orthodox Parish, Inc.,  
Charlotte, NC  
Over on One Design  
Renaissance® Custom Color Smooth and Flashed



**Below:**  
St. George 15th Court House  
St. George, VT  
VSD Architecture  
Renaissance® Custom Color Dark Flashed

**ARRISCRAFT STONE is used at buildings C1 & C4/ C5**



### THE ARRISCRAFT ADVANTAGE:

- High strength, high density, and natural absorption translate into superior durability;
- Exceptionally tight dimensional tolerances;
- No cement or chemical additives; Renaissance® is not subject to the degree of shrinkage associated with cement-based products;
- Consistent color throughout the entire stone; Renaissance® can be cut, chiseled and dressed in the field while maintaining its color and texture.
- Arriscraft products can contribute to LEED® points and to sustainability in the LEED categories of Energy and Atmosphere, Materials and Resources, and Innovation in Design.
- Arriscraft offers an industry-unique Lifetime Product Warranty.

02-26-2015

## STONE DETAILS