

ART ANALYSIS & DETERMINATIONS – SITE PLAN – LOTS/BLOCKS 4 & 5

Applicable Site Plan Review Criteria

Includes 153.059 - Uses, 153.062 – Building Types, 153.064 – Open Space Types, and 153.065 – Site Development Standards (Parking, Stormwater Management, Landscaping and Tree Preservation, Fencing Walls and Screening, Exterior Lighting, Utility Undergrounding, Signs, and Walkability Standards).

This analysis applies only to Lots 4 and 5 (Buildings C1 - C4/C5).

153.059 – Uses

| Code Section | Requirement | Met/Notes | |
|-----------------|--------------------------------|---|---|
| Table 153.059-A | Permitted and Conditional Uses | Met. All proposed Principal and Accessory Uses are permitted. The proposed Principal Uses are: Dwelling, Multiple-Family (153 units); Parks and Open Space; Commercial (Retail, General; Personal Services; and Eating and Drinking (max. 47,400 sq. ft.); and Office, General (81,700 sq. ft.). | |
| | Accessory Uses | Met. Parking Structures and Outdoor Dining and Seating are proposed as Accessory Uses to the proposed Principal Uses, which are permitted. | |
| (C) | Use Specific Standards | Parking Structures | Conditional Use Review. Parking structures visible along public and private street frontages require conditional use review. |
| | | Outdoor Dining and Seating | Met with Condition. Patio and outdoor dining details will be confirmed once the applicant has committed tenants with known operational details. Any site and building modifications will require future Minor Project Review prior to installation to ensure all other BSD zoning regulations are met. |

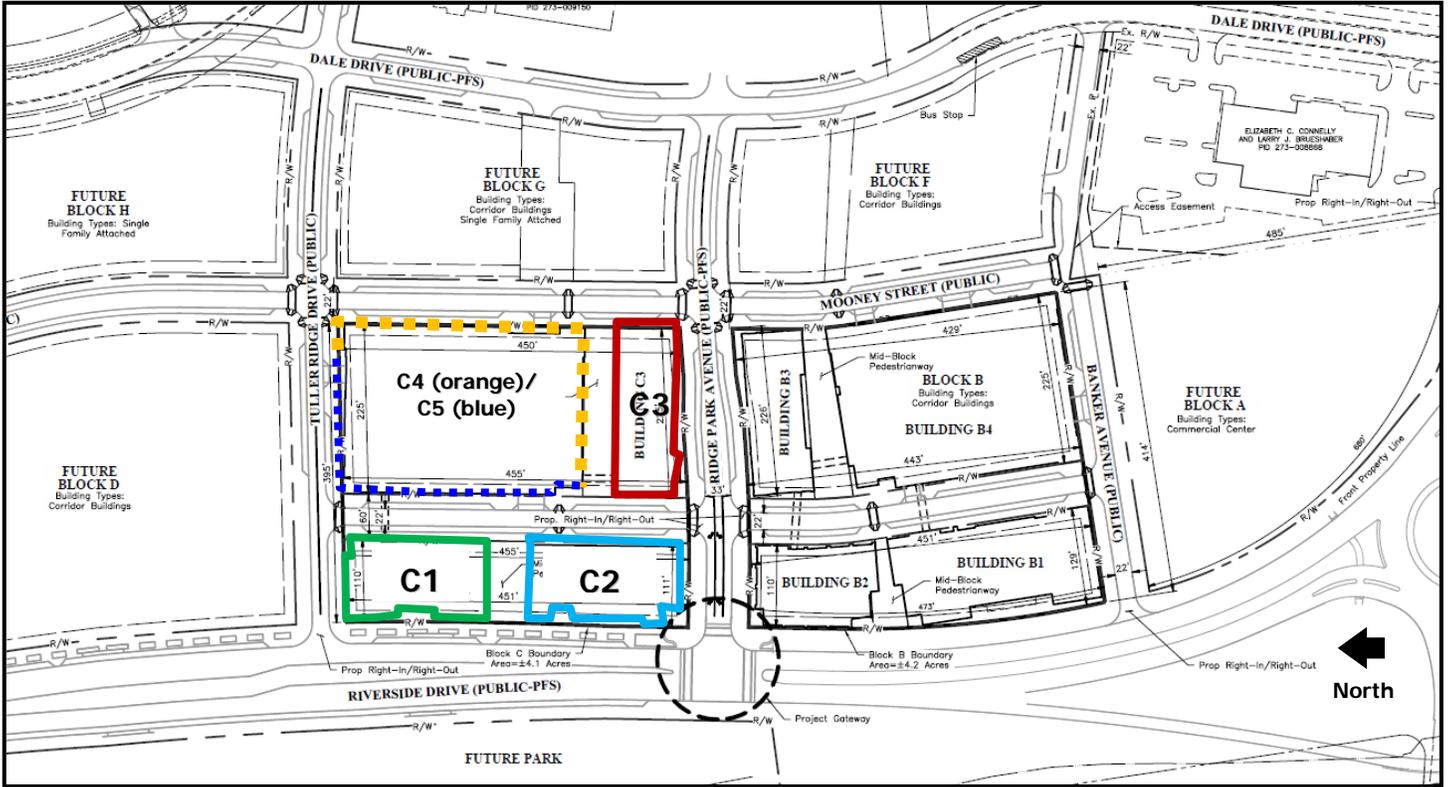
153.062 – Building Types

| Code Section | Requirement | | Met/Notes |
|--------------|----------------------|--|--|
| (A) | Intent | | Met. The proposed building types provide a range of high quality residential, commercial, and mixed-use buildings to reinforce the intended character of the first phase of development of the BSD Scioto River Neighborhood District. |
| (B)(3) | General Requirements | | Met. Zoning Districts: Corridor Building and Mixed-Use Building types and Parking Structures are permitted in the BSD Scioto River Neighborhood District. |
| | | | Met with Conditional Use Approval. Uses: Proposed uses are permitted in the district and in the building types. The BSD Scioto River Neighborhood Standards permit Residential, Office and all support spaces including lobbies, common areas, mechanical and service uses on the ground floor. Mechanical rooms, service uses, and other related areas are not permitted to have frontage on a shopping corridor (in all permitted building types). Parking structures visible from the street require conditional use review. |
| | | | Met. No Other Building Types: Proposed buildings are consistent with the Corridor and Mixed-Use Building types and Parking Structures, all of which are |

| 153.062 – Building Types | | | |
|--------------------------|--|--|---|
| Code Section | Requirement | | Met/Notes |
| | | | permitted in the BSD Scioto River Neighborhood District. |
| | | | Met. Permanent Structures: The proposed buildings are permanent structures. |
| | | | Met. Accessory Structures Resident/Pedestrian Bridges: The resident/pedestrian bridges are considered accessory structures for the purposes of this analysis. As described in the ART Report, the Administrative Review Team had raised concerns with the design of the proposed bridges, from both functional and aesthetic standpoints. Since the bridges will be crossing public street right-of-way and publicly accessible open spaces, the bridges must be designed to limit the potential for climbing, jumping, and throwing objects out of the structures. Aesthetically, while the bridges are designed to be visually unobtrusive, they <i>are</i> visible and have to potential to provide more (yet still subtle) architectural interest through unique lighting or cladding. |
| | | | At the PZC meeting on May 7 th , the Commission expressed their general support for the design of the proposed pedestrian bridges, so the applicant has not made any changes. |
| (C) | General Building Type Layout and Relationships | | Met. Incompatible Building Types: There are no building type incompatibilities. |
| | | | Met. Shopping Corridors: At least one street or street segment is required to be designated as a shopping corridor in the BSD Scioto River Neighborhood district. The plans show the full 1,200-foot required shopping corridor provided along principal frontage streets (Bridge Park Ave. and Riverside Dr.) and lined by Corridor and Mixed Use building types, with the initial phase of the shopping corridor provided along the site's Bridge Park Ave. and Riverside Dr. frontages. |
| (D)(1) | Parapet Roof Type Requirements | | Waiver Required (Building Type Waiver 1). Parapet Height: The height of parapets drops below the minimum height of 2 ft. in numerous locations on buildings C1 and C3 as the roofline jogs in height across the elevations. The parapet exceeds the maximum height of 6 ft. on building C1 (approx. 8.5 ft.) |
| | | | Waiver Required (Building Type Waiver 1). Parapet Wraps all Facades: Parapets are present on portions of the front and side facades of all buildings, but they are not continuous on buildings C1 and C3. As the roofline jogs up and down along the elevation, the parapet is not present on the lower portions of the roofline. Refer to comment above. |
| | | | N/A. Horizontal Shadow Lines: Encouraged to distinguish parapets from upper stories and to define the top of the parapet. Horizontal shadow lines have been incorporated to define the tops of parapets, but not between the upper story and the bottom of the parapet, which is consistent with the contemporary architectural character of the buildings. |
| | | | Met. Occupied Space: None of the buildings with a parapet roof type incorporate occupied space or a half story within the roof. |
| (D)(3) | Flat Roof Type Requirements <i>Applies to building C2</i> | | Met. Eaves: Building C2 has a flat roof with eaves ±3 ft. thick and projecting ±4 ft. in depth. |
| | | | N/A. Interrupting Vertical Walls: No interrupting vertical walls are proposed. |

| 153.062 – Building Types | | | |
|--------------------------|---|--|--|
| Code Section | Requirement | | Met/Notes |
| (D)(4) | Towers | | Refer to Individual Building Type Requirements Tables |
| (E)(1) | Façade Materials | | Met. The applicant has submitted a list of materials to be used, including brick and glass as primary materials, and fiber cement panel siding and composite metal panels as secondary materials. |
| (E)(2) | Façade Material Transitions | | Met with Condition. Building C2—Balconies (stories 2, 3, 4) at southwest corner of the building do not transition from brick to fiber cement panels at an inside corner. The plans should be modified to correct this detail. |
| (E)(3) | Roof Materials | | Met. Parapet Roofs and Flat Roofs may use any roof materials appropriate to maintain proper drainage. |
| (E)(4) | Color | | Met. The color palette consists of a range of earth tones and neutral colors. |
| (F)(1) | Entrances & Pedestrianways – Quantities and Locations | | See Building Type Requirements Tables for each Building |
| (F)(2) | Recessed Entrances | | Met. All entrance doors are recessed the required minimum of 3 ft. from the property line. |
| (F)(3) | Entrance Design | | Met. All principal entrances are at a pedestrian scale and effectively address the street and include design elements to achieve prominent entrances along the façade. |
| (G) | Articulation of Stories on Street Façades | | Met. All building façades have been effectively articulated to follow the stories of the buildings. |
| (H)(1) | Windows | | <p>Met with Condition. Aluminum frame windows are proposed. Windows installed in masonry walls are required to have architecturally appropriate lintels and projecting sills, and windows in siding clad walls are required to have a projecting sill to serve as the base for either a minimum 1 x 4 trim or brick mould casing.</p> <p>While full trim, sills, and lintels are not appropriate for modern architectural styles where panels (metal or fiber cement) are used, the windows installed within panels should be detailed with projecting sills to provide additional articulation along these portions of the building façades.</p> |
| (H)(3) | Awnings and Canopies | | Met with Condition. Additional details are needed for the canopies at the building entrances—material, illumination, mounting. This information should be provided and reviewed with the building permit and Master Sign Plan. |
| (I) | Balconies, Porches, Stoops, and Chimneys | | Met with Condition/Administrative Departure. Several balconies for buildings C2, C3 and C4 do not meet the minimum required depth of 6 ft. as measured from the façade to the inside of the railing or wall (ranging in depth from 4.5 ft. on building C3 to 5.67 ft. on buildings C2 and C3), although the minimum 30 sq. ft. is maintained for all balconies. The balconies should be modified to provide a minimum depth of 5 ft. as measured from the façade to the inside of the railing. |

| 153.062 – Building Types | | | | | | | |
|--------------------------|--|--|-------------------|--------------------------|---------------------------|-------------|------------------|
| Code Section | Requirement | Met/Notes | | | | | |
| (J) | Treatments at Terminal Vistas | <p>Met. From the vantage point of the pedestrian bridge over the Scioto River, a terminal vista is present at the intersection of Bridge Park Ave. and Riverside Dr. (the eastern terminus of the pedestrian bridge). A tower has been incorporated in building C2 at this intersection and a similar distinct vertical element is proposed on building B2 (not part of this application).</p> | | | | | |
| (K) | Building Variety | <p>Met. Building designs must vary from adjacent buildings by the type of dominant material (or color, scale or orientation of that material). Building designs must also vary through at least 2 of the following:</p> <ul style="list-style-type: none"> (1) The proportion of recesses and projections (2) A change in the location of the entrance and window placement (3) Changes to the roof design, including roof type, plane, or material (4) Pronounced changes in building height | | | | | |
| | | Adjacent Buildings | Dominant Material | Recesses and Projections | Entrance/Window Placement | Roof Design | Change in Height |
| | | | Required | 2 of 4 Required | | | |
| | | C1 & C2 | Y | Y | | Y | |
| | | C2 & C3 | Y | Y | | Y | |
| | | C3 & C4/C5 | Y | Y | Y | | |
| | | C4/C5 & C1 | Y | Y | Y | | |
| (M) | Signs | <p>Met with Condition. A Master Sign Plan is required by the Neighborhood Standards for designated shopping corridors and will be required prior to occupancy of the buildings (C1 – C4/C5).</p> | | | | | |
| (N)(4)(a)5 | Vents, air conditioners and other utility elements | <p>Waiver Required (Building Type Waiver 2). These elements are not permitted to be part of any street-facing façade, unless permitted for individual building types. Dryer vents, range vents and fresh air intake vents are located on street facing facades of buildings C1, C3, and C4/C5. Buildings C1 and C4/C5 have PTAC architectural grilles on the side wall of balconies on street facing façades.</p> | | | | | |
| (N) & (O) | Individual Building Type Requirements | <p><i>Refer to following section for detailed analysis of each building.</i></p> | | | | | |



Building Number Diagram

| 153.062(O)(6) – Building C1 – Mixed Use Building Requirements | | | |
|---|---|--|------------------------------------|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| Number of Principal Buildings Permitted (per Lot) | Multiple Permitted | Multiple | Met |
| Front Property Line Coverage (%) | Min. 95% | Riverside Dr.: 63% w/ Building C2 | Met through Approved Waiver |
| Occupation of Corner Required (Yes/No) | Yes | Riverside Dr. =Yes Tuller Ridge Dr. and Longshore St. =Yes | Met |
| Front Required Building Zone Required (range, ft.) | 0-10 ft. w/ up to 25% of front façade permitted b/n 10-20 ft. | Min. 6 ft. / Max. 16 ft. | Met |
| Corner Side RBZ Required (range, ft.) | 0-10 ft. | Min. 0 ft. / Max. 5 ft. | Met |
| Right-of-Way Encroachment | Projecting signs, eaves, awnings, patios & canopies | 1. Canopies at NW and NE corners (1 st sty.) of building (permitted) 2. Overhead Pedestrian bridge | Waiver (BT #3) |

153.062(O)(6) – Building C1 – Mixed Use Building Requirements

| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
|---|--|---|------------------------------------|
| | Permitted | over Longshore Street ROW 3. Composite Metal Panel 'projecting box' around upper story windows at East Elevation and northwest corner of building. | |
| Side Yard Setback Required (ft.) | 0 ft. | N/A | N/A |
| Rear Yard Setback Required (ft.) | 5 ft. | N/A | N/A |
| Minimum Lot Width Required (ft.) | 50 ft. | 451 ft. | Met |
| Maximum Lot Width Required (ft.) | None | N/A | N/A |
| Maximum Impervious Lot Coverage (%) | 85% | Building C1 + Building C2 + Open Space=96% | Waiver (BT #4) |
| Max. Semi-Pervious Lot Coverage (%) | 10% | N/A | N/A |
| Loading Facility Permitted (location relative to principal structure) | Rear Façades | Rear | Met |
| Entry for Parking within Building (relative to principal structure) | Rear, Side or Corner Façade on non-PFS | N/A | N/A |
| Minimum Building Height Permitted (ft.) | 2 stories | 5 stories | Met |
| Maximum Building Height Permitted (ft.) | 5 stories | 5 stories | Met |
| Ground Story Height | 16 ft. Minimum 24 ft. Maximum | 20 ft. | Met |
| Upper Story Height | 10 ft. Minimum 14 ft. Maximum | 10.66 ft. Min. 12.55 ft. Max. | Met |
| Ground Story Use Requirements | Residential, Office and all related support uses permitted per Neighborhood Stds. | Retail | Met |
| Minimum Occupied Space Required (ft.) | Mechanical Rooms, service rooms, and other related areas shall not front a shopping corridor | None proposed along Riverside Dr. (shopping corridor) | Met |
| Parking within Building | Permitted in rear of all floors and fully in any basement | None Proposed | Met |
| Ground Story Street Facing Transparency (%) | Storefront with Minimum 70% Transparency, | West Elevation 80% (1 st Story) North Elevation | Adm. Dep. |

153.062(O)(6) – Building C1 – Mixed Use Building Requirements

| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
|--|--|--|------------------------------------|
| | Otherwise 65% | 66% (1 st Story) East Elevation 67% (1 st Story) | |
| Upper Story Street Facing Transparency (%) | Minimum 30% Transparency | West Elevation 30% (2 nd Story) 33% (3 rd Story) 33% (4 th Story) 30% (5 th Story) North Elevation 30% (2 nd Story) 31% (3 rd Story) 31% (4 th Story) 28% (5 th Story) East Elevation 31% (2 nd Story) 30% (3 rd Story) 31% (4 th Story) 30% (5 th Story) | Adm. Dep. |
| Non-Street Façade Transparency (%) | Minimum 15% Transparency | South Elevation 23% (1 st Story) 27% (2 nd Story) 27% (3 rd Story) 27% (4 th Story) 23% (5 th Story) | Met |
| Blank Wall Limitations (Yes/No) | Yes | No Blank Walls | Met |
| Principal Entrance Location Required (relative to principal structure) | Principal Frontage Street Façade of Building | 1 Provided at Longshore St. (not a PFS) | Waiver (BT #6) |
| Number of Street Façade Entrances Required (per ft of facade) | 1 per 75 ft. of façade, minimum | West Elevation 3 Required, 3 Provided North Elevation 2 Required, 2 Provided East Elevations 3 Required, 4 Provided | Met |
| Number of Parking Lot Façade Entrances Required | Not Required | N/A | N/A |
| Mid-Building Pedestrianways Required (# per ft. of facade) | 1 required for buildings longer than 250 ft. in length | N/A | N/A |
| Vertical Increments Required (location on principal structure) | No greater than every 40 ft. | 55.39 ft. at East Elevation 51.27 at North Elevation | Waiver (BT #7) |

153.062(O)(6) – Building C1 – Mixed Use Building Requirements

| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
|---|---|---|------------------------------------|
| Horizontal Facade Divisions Required (per ft of facade) | On buildings 3 stories or taller; or where the maximum ground floor height is used within 3 ft. of the top of the ground story. | Yes | Met |
| Required Change in Roof Plane or Type | No greater than every 80 ft. | 55.06 ft. max. | Met |
| Permitted Primary Materials (types) | Stone, Brick, Glass | Brick, Glass | Met |
| Minimum Primary Façade Materials | 80% | West Elevation—65% North Elevations—60% East Elevation—61% South Elevation—81% | Waiver (BT #8) |
| Roof Type(s) Permitted (types) | Parapet, Pitched, Flat | Parapet | Met |
| Tower(s) Permitted (Yes/No) | Yes | None Proposed | N/A |

153.062(O)(5) – Building C2 – Corridor Building Requirements

| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
|--|--|--|------------------------------------|
| Number of Principal Buildings Permitted (per Lot) | Multiple Permitted | Multiple | Met |
| Front Property Line Coverage (%) | Min. 75% | Riverside Dr.: 63% w/ Building C1 Bridge Park Ave.: 75% | Met through Approved Waiver |
| Occupation of Corner Required (Yes/No) | Yes | Riverside Dr. and Bridge Park Ave.=Yes Bridge Park Ave. and Longshore St.=Yes | Met |
| Front Required Building Zone Required (range, ft.) | 0-15 ft. | West—Min. 4 ft./Max. 22 ft. South—14 ft. | Met |
| Corner Side RBZ Required (range, ft.) | 0-15 ft. | Min. 3 ft. / Max. 3 ft. | Met |
| Right-of-Way Encroachment | Awnings, canopies, eaves, patios & projecting eaves permitted. | Canopy at East Elevation Encroaches (permitted) | Met |
| Side Yard Setback Required (ft.) | 5 ft. | N/A | N/A |
| Rear Yard Setback Required (ft.) | 5 ft. | N/A | N/A |

153.062(O)(5) – Building C2 – Corridor Building Requirements

| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
|---|--|---|------------------------------------|
| Minimum Lot Width Required (ft.) | 50 ft. | Min. 451 ft. | Met |
| Maximum Lot Width Required (ft.) | None | N/A | N/A |
| Maximum Impervious Lot Coverage (%) | 80% | Building C2 + Building C1 + Open Space= 96% | Waiver (BT #4) |
| Max. Semi-Pervious Lot Coverage (%) | 10% | N/A | N/A |
| Loading Facility Permitted (location relative to principal structure) | Rear & Side Façades | Rear | Met |
| Entry for Parking within Building (relative to principal structure) | Rear & Side Façade, Corner side Façade on non-PFS | N/A | N/A |
| Minimum Building Height Permitted (ft.) | 3 stories | 5 stories | Met |
| Maximum Building Height Permitted (ft.) | 6 stories | 5 stories | Met |
| Ground Story Height | 12 ft. Minimum 16 ft. Maximum | 16 ft. | Met |
| Upper Story Height | 10 ft. Minimum 14 ft. Maximum | Min. 13.33 ft. Max. 17.21 ft. (5th Story) | Waiver (BT #9) |
| Ground Story Use Requirements | Residential, Office and all related support uses permitted per Neighborhood Stds | Retail, Eating and Drinking | Met |
| Minimum Occupied Space Required (ft.) | Mechanical Rooms, service rooms, and other related areas shall not front a shopping corridor | None proposed along Riverside Dr. or Bridge Park Ave. | Met |
| Parking within Building | Permitted in rear of first 3 floors and fully in basement(s) | N/A | N/A |
| Ground Story Street Facing Transparency (%) | Minimum 60% Transparency | West Elevation 83% (1 st Story) South Elevation 74% (1 st Story) East Elevation 85% (1 st Story) | Met |
| Upper Story Street Facing Transparency (%) | Minimum 30% Transparency | West Elevation 40% (2 nd Story) 40% (3 rd Story) 40% (4 th Story) 44% (5 th Story) | Met |

153.062(O)(5) – Building C2 – Corridor Building Requirements

| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
|--|---|---|------------------------------------|
| | | South Elevation 35% (2 nd Story) 35% (3 rd Story) 35% (4 th Story) 43% (5 th Story) East Elevation 37% (2 nd Story) 37% (3 rd Story) 37% (4 th Story) 47% (5 th Story) | |
| Non-Street Façade Transparency (%) | Minimum 15% Transparency | North Elevation 38% (1 st Story) 35% (2 nd Story) 35% (3 rd Story) 35% (4 th Story) 45% (5 th Story) | Met |
| Blank Wall Limitations (Yes/No) | Yes | No Blank Walls | Met |
| Principal Entrance Location Required (relative to principal structure) | Primary Street Façade of Building | 1 Provided at Riverside Dr. | Met |
| Number of Street Façade Entrances Required (per ft of façade) | 1 per 75 ft. of façade, minimum | West Elevation 3 Required, 4 Provided South Elevation 2 Required, 2 Provided East Elevation 3 Required, 3 Provided | Met |
| Number of Parking Lot Façade Entrances Required | Not Required | N/A | N/A |
| Mid-Building Pedestrianways Required (# per ft. of façade) | 1 required for buildings longer than 250 ft. in length | N/A | N/A |
| Vertical Increments Required (location on principal structure) | No greater than every 40 ft. | 24.67 ft. Maximum | Met |
| Horizontal Façade Divisions Required (per ft of façade) | On buildings 3 stories or taller; within 3 ft. of the top of the ground story. Required at any building step-back | Yes | Met |
| Required Change in Roof Plane or Type | Not required | None | N/A |
| Permitted Primary Materials (types) | Stone, brick, glass | Brick & Glass | Met |
| Minimum Primary Façade Materials | 80% | West Elevation—77% | Adm. Dep. |

| 153.062(O)(5) – Building C2 – Corridor Building Requirements | | | |
|---|---|--|------------------------------------|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| | | North Elevations—72% East Elevation—72% South Elevation—73% | |
| Roof Type(s) Permitted (types) | Parapet, Pitched, Flat | Flat | Met |
| Tower(s) Permitted (Yes/No) | Yes | Proposed at southwest corner. | Met |
| Tower Height | Max. height may not exceed the height of one additional upper story—14 ft. for Corridor Buildings | Tower height is 15.71 ft. | Adm. Dep. |

| 153.062(O)(5) – Building C3 – Corridor Building Requirements | | | |
|---|--|---|------------------------------------|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| Number of Principal Buildings Permitted (per Lot) | Multiple Permitted | Multiple | Met |
| Front Property Line Coverage (%) | Min. 75% | Bridge Park Dr.: 91% | Met |
| Occupation of Corner Required (Yes/No) | Yes | Mooney St. and Bridge Park Ave.=Yes Bridge Park Ave. and Longshore St.=Yes | Met |
| Front Required Building Zone Required (range, ft.) | 0-15 ft. | Min. 2 ft. / Max. 16 ft. | Met |
| Corner Side RBZ Required (range, ft.) | 0-15 ft. | West-Min. 2 ft. / Max. 2 ft. East-Min 0 ft. / Max. 5 ft. | Met |
| Right-of-Way Encroachment | Awnings, canopies, eaves, patios & projecting eaves permitted. | The canopies at the northwest and northeast corners of the building encroaches the R.O.W. (permitted) | Met |
| Side Yard Setback Required (ft.) | 5 ft. | N/A | N/A |
| Rear Yard Setback Required (ft.) | 5 ft. | N/A | N/A |
| Minimum Lot Width Required (ft.) | 50 ft. | 225 ft. | Met |
| Maximum Lot Width Required (ft.) | None | N/A | N/A |
| Maximum Impervious Lot Coverage (%) | 80% | Building C3 + Building C4 + Open Space=96% | Waiver (BT #4) |
| Max. Semi-Pervious Lot Coverage (%) | 10% | N/A | N/A |

| 153.062(O)(5) – Building C3 – Corridor Building Requirements | | | |
|---|--|---|---|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| Loading Facility Permitted (location relative to principal structure) | Rear & Side Façades | Rear | Met |
| Entry for Parking within Building (relative to principal structure) | Rear & Side Façade, Corner side Façade on non-PFS | N/A | N/A |
| Minimum Building Height Permitted (ft.) | 3 stories | 5 stories | Met |
| Maximum Building Height Permitted (ft.) | 6 stories | 5 stories | Met |
| Ground Story Height | 12 ft. min. 16 ft. max. | 13 ft. min. 21 ft. max. | Met with Approved Waiver |
| Upper Story Height | 10 ft. min. 14 ft. max. | 10.66 ft. min. 13.33 ft. max. | Met |
| Ground Story Use Requirements | Residential, Office and all related support uses permitted per Neighborhood Stds | Retail, Eating and Drinking | Met |
| Minimum Occupied Space Required (ft.) | Mechanical Rooms, service rooms, and other related areas shall not front a shopping corridor | None proposed along Bridge Park Ave. | Met |
| Parking within Building | Permitted in rear of first 3 floors and fully in basement(s) | N/A | N/A |
| Ground Story Street Facing Transparency (%) | Min. 60% Transparency | West Elevation 68% (1 st Story) South Elevation 65% (1 st Story) East Elevation 72% (1 st Story) | Met |
| Upper Story Street Facing Transparency (%) | Min. 30% Transparency | West Elevation 43% (2 nd Story) 32% (3 rd Story) 32% (4 th Story) 17% (5 th Story) South Elevation 38% (2 nd Story) 35% (3 rd Story) 35% (4 th Story) 29% (5 th Story) | Waiver/ Adm. Dep. (BT #5) |

153.062(O)(5) – Building C3 – Corridor Building Requirements

| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
|--|---|---|------------------------------------|
| | | East Elevation 46% (2 nd Story) 33% (3 rd Story) 33% (4 th Story) 30% (5 th Story) | |
| Non-Street Façade Transparency (%) | Min. 15% Transparency | North Elevation 38% (1 st Story) 40% (2 nd Story) 32% (3 rd Story) 32% (4 th Story) 29% (5 th Story) | Met |
| Blank Wall Limitations (Yes/No) | Yes | No Blank Walls | Met |
| Principal Entrance Location Required (relative to principal structure) | Primary Street Façade of Building | 1 Provided at Longshore Street (not PFS) | Waiver (BT #6) |
| Number of Street Façade Entrances Required (per ft of façade) | 1 per 75 ft. of façade, min. | West Elevation (81 ft.) 2 Required, 2 Provided South Elevation (223 ft.) 3 Required, 4 Provided East Elevations (81 ft.) 2 Required, 2 Provided | Met |
| Number of Parking Lot Façade Entrances Required | Not Required | N/A | N/A |
| Mid-Building Pedestrianways Required (# per ft. of façade) | 1 required for buildings longer than 250 ft. in length | N/A | N/A |
| Vertical Increments Required (location on principal structure) | No greater than every 40 ft. | 51.45 ft. max. at South Elevation, 53.46 ft. max. at North Elevation | Waiver (BT #7) |
| Horizontal Façade Divisions Required (per ft of façade) | On buildings 3 stories or taller; within 3 ft. of the top of the ground story. Required at any building step-back | Façade divisions step down as grade changes and varies between the top of the first story and top of second story. | Met with Approved Waiver |
| Required Change in Roof Plane or Type | No greater than every 80 ft. | 35.83 ft. max. | Met |
| Permitted Primary Materials (types) | Stone, brick, glass | Brick & Glass | Met |
| Minimum Primary Façade Materials | 80% | West Elevation—64% North Elevations—89% East Elevation—78% South Elevation—77% | Waiver (BT #8) / Adm. Dep. |
| Roof Type(s) Permitted (types) | Parapet, Pitched, Flat | Parapet | Met |

| 153.062(O)(5) – Building C3 – Corridor Building Requirements | | | |
|---|------------------|---------------|------------------------------------|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| Tower(s) Permitted (Yes/No) | Yes | None Proposed | N/A |

| 153.062(O)(5) – Building C4 – (Residential) Corridor Building Requirements | | | |
|---|--|--|------------------------------------|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| Number of Principal Buildings Permitted (per Lot) | Multiple Permitted | Multiple | Met |
| Front Property Line Coverage (%) | Min. 75% | N/A | N/A |
| Occupation of Corner Required (Yes/No) | Yes | Bridge Park Ave. and Mooney St.=Yes Tuller Ridge Rd. and Mooney St.=Yes | Met |
| Front Required Building Zone Required (range, ft.) | 0-15 ft. | N/A | N/A |
| Corner Side RBZ Required (range, ft.) | 0-15 ft. | East--Min. 0 ft. / Max. 2 ft. West—Min. 1 ft. / Max. 8 ft. | Met |
| Right-of-Way Encroachment | Awnings, canopies, eaves, patios & projecting eaves permitted. | Canopy encroaches at east elevation (permitted) | Met |
| Side Yard Setback Required (ft.) | 5 ft. | N/A | N/A |
| Rear Yard Setback Required (ft.) | 5 ft. | N/A | N/A |
| Minimum Lot Width Required (ft.) | 50 ft. | 225 ft. | Met |
| Maximum Lot Width Required (ft.) | None | N/A | N/A |
| Maximum Impervious Lot Coverage (%) | 80% | Building C4 + Building C3 + Open Space= 96% | Waiver (BT #4) |
| Max. Semi-Pervious Lot Coverage (%) | 10% | N/A | N/A |
| Loading Facility Permitted (location relative to principal structure) | Rear & Side Façades | Rear | Met |
| Entry for Parking within Building (relative to principal structure) | Rear & Side Façade, Corner side Façade on non-PFS | Corner Side Façade (East Elevation) | Met |
| Minimum Building Height Permitted (ft.) | 3 stories | 5 stories | Met |
| Maximum Building Height Permitted (ft.) | 6 stories | 6 stories | Met |
| Ground Story Height | 12 ft. min. 16 ft. max. | 10.74 ft. min. 12 ft. max. | Waiver (BT #10) |

| 153.062(O)(5) – Building C4 – (Residential) Corridor Building Requirements | | | |
|---|--|---|---|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| Upper Story Height | 10 ft. min. 14 ft. max. | 10.66 ft. min. 10.78 ft. max. | Met |
| Ground Story Use Requirements | Residential, Office and all related support uses permitted per Neighborhood Stds | Multi-Family Residential | Met |
| Minimum Occupied Space Required (ft.) | Mechanical Rooms, service rooms, and other related areas shall not front a shopping corridor | N/A | N/A |
| Parking within Building | Permitted in rear of first 3 floors and fully in basement(s) | N/A, Parking Provided in attached Parking Structure | N/A |
| Ground Story Street Facing Transparency (%) | Min. 60% Transparency | East Elevation 25% (1 st Story) North Elevation 26% (1 st Story) West Elevation 33% (1 st Story) | Waiver (BT #5) |
| Upper Story Street Facing Transparency (%) | Min. 30% Transparency | East Elevation 35% (2 nd Story) 31% (3 rd Story) 31% (4 th Story) 28% (5 th Story) North Elevation 31% (2 nd Story) 31% (3 rd Story) 31% (4 th Story) 29% (5 th Story) West Elevation 32% (2 nd Story) 32% (3 rd Story) 32% (4 th Story) 32% (5 th Story) 23% (6 th Story) | Waiver/ Adm. Dep. (BT #5) |
| Non-Street Façade Transparency (%) | Min. 15% Transparency | South Elevation 14% (1 st Story) 26% (2 nd Story) 26% (3 rd Story) 26% (4 th Story) | Met/ Adm. Dep. |

| 153.062(O)(5) – Building C4 – (Residential) Corridor Building Requirements | | | |
|---|--|---|--|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| | | 22% (5 th Story) 26% (6 th Story) | |
| Blank Wall Limitations (Yes/No) | Yes | Blank Wall at South Elevation | Waiver (BT #11) |
| Principal Entrance Location Required (relative to principal structure) | Primary Street Façade of Building | 1 Provided at Mooney St. | Met |
| Number of Street Façade Entrances Required (per ft of façade) | 1 per 75 ft. of façade, min. | East Elevation (316.89 ft.) 5 Required, 2 Provided North Elevation 1 Required, 1 Provided West Elevation 1 Required, 2 Provided | Waiver (BT #12) |
| Number of Parking Lot Façade Entrances Required | Not Required | N/A | N/A |
| Mid-Building Pedestrianways Required (# per ft. of façade) | 1 required for buildings longer than 250 ft. in length | N/A | N/A |
| Vertical Increments Required (location on principal structure) | No greater than every 40 ft. | 34.57 ft. max. | Met |
| Horizontal Façade Divisions Required (per ft of façade) | On buildings 3 stories or taller; within 3 ft. of the top of the ground story. Required at any building step-back | South elevation has no apparent continuous horizontal façade division defining the ground story. | Waiver (BT #13) |
| Required Change in Roof Plane or Type | No greater than every 80 ft. | 34.57 ft. max. | Met |
| Permitted Primary Materials (types) | Stone, brick, glass | Brick & Glass | Met |
| Minimum Primary Façade Materials | 80% | West Elevation — 59% North Elevations — 75% East Elevation — 77% South Elevation — 62% | Waiver/ Adm. Dep. (BT #8) |
| Required Materials on Facades not Visible from Street or Adjacent Property | These facades shall use a combination of permitted primary and secondary materials as determined by the required reviewing body. Use of a secondary material | The façades of the residential units facing the uppermost story of the parking structure (north elevation and west elevations) are clad entirely with fiber cement reveal panels. | Condition |

| 153.062(O)(5) – Building C4 – (Residential) Corridor Building Requirements | | | |
|---|--|---------------|------------------------------------|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| | for an entire façade is not permitted. | | |
| Roof Type(s) Permitted (types) | Parapet, Pitched, Flat | Parapet | Met |
| Tower(s) Permitted (Yes/No) | Yes | None proposed | N/A |

| 153.062(O)(12) – Building C5 – Parking Structure Requirements (West & North Elevations) | | | |
|--|---|--|------------------------------------|
| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
| Number of Principal Buildings Permitted (per Lot) | Not Permitted | 1 Parking Structure | Met |
| Front Property Line Coverage (%) | Min. 90% | N/A | N/A |
| Occupation of Corner Required (Yes/No) | Yes | Tuller Ridge Rd. and Longshore St.: Yes | Met |
| Front Required Building Zone Required (range, ft.) | 5-25 ft. | N/A | N/A |
| Corner Side RBZ Required (range, ft.) | 5-25 ft. | Met on Tuller Ridge Dr.; Min. 0 ft. / Max. 1 ft. on Longshore St. | Waiver (BT #14) |
| Right-of-Way Encroachments | None Permitted | Overhead Pedestrian bridge over Longshore Street ROW | Waiver (BT #3) |
| Side Yard Setback Required (ft.) | 5 ft. | N/A | N/A |
| Rear Yard Setback Required (ft.) | 5 ft. | N/A | Met |
| Minimum Lot Width Required (ft.) | 50 ft. | 225 ft. | Met |
| Maximum Lot Width Required (ft.) | None | N/A | N/A |
| Maximum Building Length | 300 ft. | Max length 278.89 ft. | Met |
| Maximum Impervious Lot Coverage (%) | 80% | Building C4 + Building C3 + Open Space= 96% | Waiver (BT #4) |
| Max. Semi-Pervious Lot Coverage (%) | 10% | N/A | N/A |
| Entry for Parking within Building | Rear, Side, Corner Side Façades on non-PFS. | Rear and Corner Side Façades on non-PFS. | Met |
| Minimum Building Height Permitted (ft.) | 2 stories | 5 stories | Met |
| Maximum Building Height Permitted (ft.) | 5 stories | 5 stories | Met |
| Ground Story Height | 8 ft. Min. / 12 ft. Min. w/ Street Frontage | 12 ft. | Met |

153.062(O)(12) – Building C5 – Parking Structure Requirements (West & North Elevations)

| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
|---|--|--|------------------------------------|
| | 18 ft. max. | | |
| Upper Story Height | 8.5 ft. min. 12 ft. max. | 10.66 ft. min. 10.74 ft. max. | Met |
| Minimum Occupied Space Required (ft.) | 20 ft. req. where ground story fronts PFS, shopping corridor or greenway | N/A | Met |
| Parking within Building | Rear of ground story with frontage on PFS, shopping corridor, or greenway; all upper floors. | Building does not front PFS, shopping corridor or greenway. | Met |
| Ground Story Street Facing Transparency (%) | Storefront w/ Min. 65% on PFS, shopping corridors, or greenways; otherwise refer to Blank Wall limitations | N/A, refer to Street Façade Blank Wall limitations | N/A |
| Street Façade Blank Wall Limitations | No open area >30% of a story's façade, as measured from floor to floor, shall be windowless on the ground story and solid on the upper stories | <p>West Elevation: Ground story--There are no open areas greater than 30% of the façade. Upper stories--There are no solid areas greater than 30% of the facades.</p> <p>North Elevation: Ground story--There are no open areas greater than 30% of the façade. Upper stories--There are no solid areas greater than 30% of the facades.</p> | Met |
| Non-Street Façade Blank Wall Limitations | No rectangular area >30% of a story's façade, as measured from floor to floor shall be solid. | N/A, All Parking Structure facades have street frontage. | N/A |
| Garage Openings | Parked cars shall be screened from the street | Parked cars are screened from the street (portions below grade at Tuller Ridge Dr. and behind a 3 ft. planter elsewhere) | Met |

153.062(O)(12) – Building C5 – Parking Structure Requirements (West & North Elevations)

| Building Type Requirements | Code Requirement | Provided | Met, N/A, Adm. Dep., Waiver, Other |
|--|--|--|--|
| Principal Pedestrian Entrance Location | All Street Façades of Building | 2 Required, 3 Provided (West Elevation entrance and additional East Elevation entrances are within attached Corridor Building) | Met |
| Number of Street Façade Entrances Required (per ft of façade) | 1 per 75 ft. of façade, min. | West Elevation (278.89 ft.) 4 Required, 1 Provided North Elevation (183.75 ft.) 3 Required, 1 Provided | Waiver (BT #12) |
| Number of Parking Lot Façade Entrances Required | N/A | N/A | N/A |
| Mid-Building Pedestrianways Required (# per ft. of façade) | Not required | N/A | N/A |
| Vertical Increments Required (location on principal structure) | No greater than every 30 ft. | North Elevation has 41.53 ft. and 94.67 ft. divisions and West Elevation has two 71.43 ft. divisions and a 56.01 ft. division. | Waiver (BT #7) |
| Horizontal Façade Divisions Required (per ft of façade) | Within 3 ft. of the top of the ground story. | Provided at 3 rd floor. | Waiver (BT #15) |
| Required Change in Roof Plane or Type | None | N/A | N/A |
| Permitted Primary Materials (types) | Brick, Stone, glass | Brick, Glass | Met |
| Minimum Primary Façade Materials | 80% | North Elevation—70% West Elevation—66% | Waiver (BT #8) |
| Roof Type(s) Permitted (types) | Parapet, Pitched, Flat | Parapet | Met |
| Tower(s) Permitted (Yes/No) | Permitted on facades only at terminal vistas, corners at two PFS, and/or adjacent to an open space type. | Tower Proposed at northwest corner at intersection of Tuller Ridge Dr. and Longshore St. Not a permitted location. | Met with Required Reviewing Body Det. |
| Tower Height | Max. height may not exceed the height of one additional upper story—12 ft. for Parking Structures Buildings, and the width of a tower shall not exceed its height. | Tower height is 14.59 ft. , and is 24.17 ft. wide at north elevation, and 24.55 ft. wide at the west elevation. | Met with Required Reviewing Body Det. |

| 153.064 – Open Space Types | | |
|----------------------------|----------------------------|---|
| Code Section | Requirement | Met/Notes |
| (A) | Intent and Purpose | Met. The proposed open spaces will ensure that a variety of functional, well-designed open spaces are carefully distributed throughout the site and are located and planned to enhance the quality of life for residents, businesses, and visitors. |
| (B) | Applicability | Met. The proposed open spaces generally conform to at least one of the permitted open space types in terms of intended use and design. |
| (C) | Provision of Open Space | <p>Met with Open Space Fee-in-Lieu Determination. 200 sq. ft. of publicly accessible open space is required for each dwelling unit, and 1 sq. ft. of publicly accessible open space per 50 sq. ft. of commercial space is required, located within 660 feet of the main entrances of dwelling units or commercial space. Where three or more open spaces are proposed, at least two different types must be provided.</p> <p>With 153 dwelling units and 141,813 square feet of commercial space proposed as part of this initial phase, 0.77-acre of publicly accessible open space is required. The applicant is proposing 0.38-acres of open space in 7 distinct open spaces on Lots 4-5 and is proposing to count a portion of the future riverside park acreage as open space to serve the development. The proposed open spaces include two Pocket Parks, five Pocket Plazas, and (neighborhood) park. All open spaces are sited within 660 feet of the main entrance to the proposed buildings.</p> |
| (D) | Suitability of Open Spaces | <p>Met with Conditions and Waivers (refer to 153.064(F)-(G), below). The two larger open spaces, “The Mews” and “The Pavilion,” provide opportunities for these spaces to be used in a variety of ways, including programmed activities, passive use, and gathering.</p> <p>The Pocket Plazas provided along Bridge Park Avenue, Riverside Drive, and Tuller Ridge Drive are intended to allow for smaller, impromptu gatherings and places to rest along the streetscape. The pocket plaza at the southwest corner of building C2 should be modified to ensure ADA accessibility to the building entrance is maintained, and the pocket plaza at the principal entrance to building C2 on Riverside Drive should be modified to ensure it does not encroach the 12-foot clear sidewalk width and allow greater seating flexibility by better integrating the seating with the planting (such as large, movable planters in lieu of a fixed, in-ground planter).</p> |
| (E) | Fee-in-Lieu of Open Space | <p>Met with Open Space Fee-in-Lieu Determination. Existing open spaces may be used to meet the area requirements for open space for an individual development, provided the applicant adds to the existing open space, creates a new open space, or pays a fee in lieu of providing the open space.</p> <p>The applicant is proposing to count 0.39-acre of frontage along the future riverfront park to count toward meeting the open space requirement for this phase of the development. Approval of a fee-in-lieu of open space dedication will need to be approved to count this acreage toward meeting the minimum</p> |

| 153.064 – Open Space Types | | |
|----------------------------|---|---|
| Code Section | Requirement | Met/Notes |
| | | requirement. |
| (F), (G) | Open Space Types & General Requirements | Met with Condition. The proposed open spaces meet the requirements for Pocket Parks. The future riverfront park may count toward the requirement following approval of the Open Space Fee-in-Lieu determination. The plans and Final Plat should include notes stating that the Pocket Parks and Pocket Plazas will be owned and maintained by the property owner, with a public access easement allowing the spaces to be publicly accessible. |
| | | Pocket Park – “The Pavilion” – 5,090 sq. ft. (0.12-acre); mid-block pedestrianway between buildings C1 and C2. Met. |
| | | Pocket Park – “The Mews” – 9,386 sq. ft. (0.21-acre); mid-block pedestrianway between buildings C3 and C4. Met. |
| | | 1 Pocket Plaza – 850 sq. ft. (0.02-acre); southwest corner of building C2. Also serves to meet the corner occupancy requirement for building C2. Includes seating areas and space for a future public art installation. Met. |
| | | 2 Pocket Plaza – 350 sq. ft. (0.01-acre); west elevation of building C2 on Riverside Drive at the entrance to the building. Includes seating and planter areas. Met with condition. |
| | | 3 Pocket Plaza – 115 sq. ft.; northeast corner of building C1 at the intersection of Longshore Street and Tuller Ridge Drive. Includes a seating area and salvaged boulder. Waiver. (Site Development Waiver 16) |
| | | 4 Pocket Plaza – 340 sq. ft.; southwest corner of building C3. Also serves to meet the corner occupancy requirement for building C3. Includes seating and planter areas. Met. |
| | | 5 Pocket Plaza – 270 sq. ft.; south side of building C3. Includes salvaged boulders and seating areas. Waiver. (Site Development Waiver 16) |
| | | Park – Approx. 12 acres. The area shown on the plans is simply a diagram for calculation purposes and is not proposed to be a designated, delineated space within the park. The park will be improved as part of the City’s riverfront park project. |

| 153.065(B) – Site Development Standards – Parking and Loading | | |
|---|------------------|--|
| Code Section | Requirement | Met/Notes |
| (1)(b) | Parking Location | Met. Provided on-site within a parking structure and on-street. |

153.065(B) – Site Development Standards – Parking and Loading

| Code Section | Requirement | Met/Notes | |
|--------------|---|---|--|
| (2) | Required Vehicle Parking | <p>Met with Condition/Parking Plan Approval. Based on the proposed mix of principal uses, a minimum of 964 parking spaces are required for this phase of development (up to a maximum of 1,275 spaces). A total of 927 parking spaces are provided (37 parking spaces short of the required minimum).</p> <p>The on-street parking is evenly distributed throughout the site area and the parking structure is conveniently sited near the shopping corridor.</p> | |
| | | Dwelling, Multiple-Family | 153 dwelling units (87 studio and one bedroom units, 60 two bedroom units, and 6 three bedroom units) requiring a min. 189 parking spaces and a max. 306 parking spaces. |
| | | Office | 91,913 square feet GFA requiring a min. 276 parking spaces and a max. 345 parking spaces (at 3 parking spaces per 1,000 sq. ft.) |
| | | Eating & Drinking | (Up to a maximum of) 49,900 square feet GFA requiring a min. 499 parking spaces and a max. 624 parking spaces (at 10 parking spaces per 1,000 sq. ft.). |
| (2)(b)6 | Adjustments to Required Vehicle Parking: Demonstration of Parking Need | <p>Met with condition. The required reviewing body is permitted to approve a parking plan for fewer than the minimum required parking spaces or more than the maximum based on a demonstration of parking need by the applicant.</p> <p>The applicant has provided a parking demand analysis based on the proposed mix of uses, <i>Urban Land Institute Shared Parking, Second Edition</i>, for weekend and weekday demand. The applicant’s analysis indicates that peak parking demand during the week is for 914 parking spaces (2:00 PM), and peak parking demand on weekends is for 746 parking spaces (7:00 PM). This analysis shows that sufficient parking (927 spaces) is available to serve peak demand.</p> <p>Further, the applicant has indicated that they do not anticipate all 49,900 square feet of designated eating and drinking facilities actually being restaurant uses; however, for the purposes of the required parking calculations, they have identified the “worst case scenario” in which all ground floor commercial spaces are restaurant, with no retail, personal service uses, etc.</p> <p>The applicant should, however, provide information about how the parking spaces within the garage are to be controlled and/or designated for resident use, valet use, etc. at building permitting.</p> | |
| (3) | Required Bicycle Parking | <p>Met with Condition. A total of 77 bicycle parking spaces are required for the residential uses (one space for every 2 dwelling units), and based on the commercial parking spaces provided, 78 bicycle parking spaces are required (one space for every 10 required vehicular spaces for commercial uses), for a total bicycle parking space requirement of 155 spaces. The plans show that 155 bicycle parking spaces are provided throughout the site, including spaces in the parking garage and along the streetscape within the planting and furnishing zones. The applicant should provide the cut sheets for bicycle parking facilities</p> | |

153.065(B) – Site Development Standards – Parking and Loading

| Code Section | Requirement | Met/Notes |
|--------------|---|---|
| | | (on-street and in the garages) to verify that they meet the Code requirements at building permitting, subject to Planning approval. |
| (4) | Off-Street Parking Space and Aisle Dimensions | Met. The proposed off-street parking spaces and aisles within the parking structures meet the requirements of Figure 153.065-A and Table 153.065-B. |
| (5) | Parking Structure Design | <p>Met. <i>Overall Number of Entrance/Exit Lanes:</i> The parking structure contains a total of 869 Spaces, and provides 3 Entrance Lanes (1:300 spaces required) and 5 Exit Lanes (1:200 spaces required).</p> <p>Met with Condition. <i>Entrance/Exit Lane Width:</i> The width of the Entrance/Exits at the Tuller Ridge Road elevation exceed the 24 foot maximum width. The parking structure design and interior circulation should be modified to meet this requirement.</p> <p>Met. <i>No Entrance/Exit Lanes on PFS:</i> None proposed.</p> <p>Met. <i>Number of Entrances along Frontage:</i> One entrance is permitted for each 200 feet of frontage. Each elevation has no more than one entrance.</p> <p>Met with Condition. <i>Stacking Spaces:</i> Two, 20-foot long stacking spaces are required to be provided between the entry gate and the street, and may not encroach sidewalk or public ROW. The interior circulation plans should be revised at building permitting to allow for adequate stacking space at each entry to the garage.</p> <p>Met. <i>Interior Circulation, Aisle Length:</i> Maximum parking structure aisle lengths are met (none exceed 400 feet).</p> <p>Administrative Departure. <i>Interior Circulation, Ceiling Clearance:</i> A minimum ceiling clearance of 12 ft. is required where the garage has street frontage, and the parking structure shall be designed and constructed to allow potential occupancy of the first 20 feet of building depth. The ceiling clearance provided at Longshore Street is 11.5 ft.</p> <p>Design of all other parking structures and upper levels shall include a minimum ceiling clearance of 8.5 ft. The minimum ceiling clearance provided on the upper stories is 10.16 ft.</p> <p>Met. <i>Pedestrian Safety, Stairwell Visibility:</i> Stairwells located at the perimeter of the structures shall be visible from the outside of the structure. Stairwells are visible from the outside of the structure, however the stairwell at the northwest corner cannot be access from the exterior.</p> <p>Met. <i>Pedestrian Safety, Pedestrian Circulation:</i> The maximum distance between parking spaces and the nearest exist stairwell is less than the 200-ft. max.</p> <p>Met with Waiver (Site Development Waiver 17). <i>Pedestrian Safety, Pedestrian Circulation/Elevator Access:</i> At least one elevator shall be provided to serve a parking structure. The maximum distance between any space and an elevator shall be 350 ft. The maximum distance from a parking space in the northeast corner of Level 1 of the parking structure to an elevator is 407 feet. The maximum distance from a parking space in the center of the northernmost row of Levels 2 through 7 (rooftop) to the elevator is 328 feet. Refer to the</p> |

153.065(B) – Site Development Standards – Parking and Loading

| Code Section | Requirement | Met/Notes |
|--------------|--|---|
| | | Waiver analysis for this requirement. Met with Condition. <i>Pedestrian Safety, Surveillance:</i> Pedestrian flow has been channeled through openings to permit surveillance, but the applicant should verify whether cameras will monitor pedestrian activity from a remote location, or if other security measures will be taken, at building permitting. |
| (6) | Surface Parking Lot and Loading Area Design and Construction | N/A. No surface parking areas. |
| (7) | Required Loading Spaces | Met with Condition. Loading spaces meeting the requirements of this section should be identified on the plans at building permitting. |

153.065(C) – Site Development Standards – Stormwater Management

| Code Section | Requirement | Met/Notes |
|--------------|-----------------------|---|
| 153.065(C) | Stormwater Management | Met with Condition. Stormwater management is integrated on-site through bioretention planters within the open spaces (with portions of the building roof drains releasing into the bioretention areas), supplemented by underground storage facilities under the paved areas in the open spaces. The plans will be required to demonstrate compliance with the City of Dublin Stormwater Management Design Manual at building permitting, subject to approval by the City Engineer. |

153.065(D) – Site Development Standards – Landscaping & Tree Preservation

| Code Section | Requirement | Met/Notes |
|--------------|--|--|
| (2) | General Landscaping and Tree Preservation Req. | Met. <i>Landscape Beds:</i> The plans include diversity of tree selection, given the specific conditions (in open spaces between buildings, in urban conditions and within bioretention planters). Landscape beds within the open spaces serving as bioretention planters are exempt from the requirement that the beds be predominantly covered by living materials. |
| | | Met. <i>Irrigation systems, Site Visibility Triangles, Use of a Landscape Architect to Prepare Plans:</i> There are no conflicts with site visibility triangles, and the plans were prepared by a landscape architect. |
| (3) | Street Trees | Met. <i>Spacing and Location:</i> Street trees are spaced to meet the requirements of the Code. |
| | | Met. <i>Planting Details:</i> Planting details specified on the plans meet the requirements of the Code. |
| (4) | Perimeter Landscape Buffering | N/A. |

153.065(D) – Site Development Standards – Landscaping & Tree Preservation

| Code Section | Requirement | Met/Notes |
|--------------|--|---|
| (5) | Surface Parking and Circulation Area Landscaping | N/A. |
| (6) | Required Building Zone (RBZ) Treatment | Met. Cross-referenced with 153.065(I), Walkability Standards, below. |
| (7) | Foundation Planting | Met. Foundation planting is required along the building elevations framing the open spaces, and are provided to meet the Code requirement where the plantings are not serving as bioretention planters. |
| (8)-(11) | Tree Preservation and Replacement | Met. The tree survey includes a table listing all trees to be removed and their conditions. Code Section 153.065(D)(9)(b) provides for exemptions to tree replacements requirements when trees were required as part of a previously approved development plan, where structures are located where required by the Zoning Code and for the provision of streets and utilities. A total of 12 trees are required to be removed that are not exempted, equating to 60 inches of replacement. The applicant is proposing to plant/replace 168 inches of trees within the two primary open spaces, meeting the replacement requirement for this phase. |

153.065(E) – Site Development Standards – Fencing, Walls, and Screening

| Code Section | Requirement | Met/Notes |
|--------------|--------------------------|---|
| (1) | Fence and Wall Standards | Met. All trash and waste enclosures will be sited inside facilities within the footprint of the parking garage. Electrical transformers are located within the two larger open spaces (the “Pavilion” and the “Mews”), and both sets of transformers are screened by architectural metal panels that serve as vertical focal points and amenities within the open spaces. No other fences or walls are proposed at this time; however, once the applicant has specific tenants that intend to install outdoor seating areas, the fencing will be required to meet the provisions of this Code Section and receive approval of Minor Project Reviews for site modifications. |
| (3) | Screening | <p>Met with Condition. All waste containers are proposed to be centralized and maintained in storage areas internal to the parking structures.</p> <p>All roof mounted mechanical systems are required to be screened. The proposed 5-ton mechanical unit is 41 inches to the top of the unit, and the proposed kitchen exhaust is 40 inches minimum in height from the roof deck. These appear to be the main units that need to be screened either by the parapet or by an approved screen material.</p> <p>The parking garage has side mounted exhaust fans. The screen material needs to be consistent with the architecture of the parking garage, subject to ART approval.</p> |

| 153.065(F) – Site Development Standards – Exterior Lighting | | |
|--|--|--|
| Code Section | Requirement | Met/Notes |
| (3) | Exemptions | Met. Street and pedestrian lighting are exempt from the requirements of this section. |
| (4) | Fixture Power and Efficiency | Met with Condition. The applicant provided a lighting plan, however the fixture power and efficiency information (lumens per square foot) was not provided. Fixture power and efficiency information should be provided at building permitting, subject to Planning approval, to verify that this requirement is met. |
| (5)-(8) | Shielding, Lighting Uniformity/ Trespass, Light Poles | Met. The lighting plan is uniform, with lighting ranging less than 1 to 3 footcandles across the site. |
| (9)-(10) | Wall & Canopy Lighting | Met with Condition. Decorative wall light fixtures are specified as having 70 Watts and 14 Watts, but the measure of brightness (lumens) are not provided. The applicant should verify that the decorative wall light fixtures meet the requirements of this Code Section, subject to Planning approval. |

| 153.065(G) – Site Development Standards – Utility Underground | | |
|--|------------------------|---|
| Code Section | Requirement | Met/Notes |
| (G) | Utility Undergrounding | Met. All proposed utilities will be installed underground. |

| 153.065(H) – Site Development Standards – Signs | | |
|--|-------------|---|
| Code Section | Requirement | Met/Notes |
| (H) | Signs | Met with Condition/ Submission of a Master Sign Plan. No sign information has been provided at this time, except for conceptual sign locations on some of the elevations. A Master Sign Plan approved by the Planning and Zoning Commission is required prior to occupancy of the buildings (C1 – C4). |

| 153.065(I) – Site Development Standards – Walkability Standards | | |
|--|--|---|
| Code Section | Requirement | Met/Notes |
| (1) | Intent & Purpose | Met with Conditions. The first phase of the proposed Bridge Park mixed-use development will promote the Principles of Walkable Urbanism and provide for pedestrian connectivity, safety, and comfortable walking and sitting environments through the modifications and conditions noted below and throughout the rest of this report. |
| (2)(a) | Connectivity: Mid-Block Pedestrianways | Waiver Required (Site Development Waiver 18). Mid-block pedestrianways are required on all blocks exceeding 400 feet in length. Both of the blocks/lots included with the Site Plan exceed 400 feet and provide mid-block |

| | | |
|--------|---|--|
| | | pedestrianways that terminate at public rights-of-way and each meet the minimum width requirements; however for Lot 5, the mid-block pedestrianway is not located in the middle third of the block. Refer to the Waiver analysis for this requirement. |
| (2)(b) | Connectivity: Mid-Building Pedestrianways | N/A. Not required based on the lengths of each of the proposed buildings. |
| (3)(a) | Safety: Crosswalks | Met. The plans show crosswalks at each of the main intersections and generally aligned with the mid-block pedestrianways. |
| (3)(b) | Safety: Pedestrian Circulation Plans | N/A. Not required – no surface parking areas. |
| (4)(a) | Comfort & Convenience: RBZ Treatment | Met. Streetscape and patio RBZ treatment is proposed for all building RBZs, including the designated shopping corridor |
| (4)(b) | Comfort & Convenience: Building Entrances | Met/Met with Waivers (Building Type Waivers 6 and 12). The building entrance requirements are met for all building types, except as noted in Building Type Waivers 6 and 12 – refer to the Waiver Analysis for more information. |
| (4)(c) | Comfort & Convenience: Seating Areas | Met. Seating areas are proposed in both Pocket Parks and in all five Pocket Plazas, with a combination of built-in and interesting, movable furnishings to allow for a variety of uses and users. One linear foot of seating is required for every two linear feet of public or private street frontage. For the “Mews” Pocket Park, with 85 feet of frontage, 43 linear feet of seating is required with approximately 37 feet of built-in seatwall in addition to movable furnishings. The “Pavilion” Pocket Park requires for 59 linear feet of seating for its 117 feet of frontage, with 95 feet of built-in seatwall in addition to movable chairs and fixtures. The requirement is met for all of the Pocket Plazas. |