



 BRIDGE PARK
DUBLIN, OH

Master Sign Plan – West

Guidelines and Examples

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 City of Dublin

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MASTER SIGN PLAN: BRIDGE PARK WEST
TENANT SIGNAGE

General Design Criteria

Bridge Park West is located in Historic Dublin, where sign design and lighting support the early- to mid-19th-century heritage of the district. The objective of the sign design criteria is to provide basic standards and specifications that assure consistent quality, while also giving tenants the freedom to create attractive and unique signage to draw visitors.

For comprehensive regulations regarding business signage in Historic Dublin, please consult the following document:

City of Dublin, Ohio Code of Ordinances, Section 153.065(H)

<http://www.amlegal.com/library/oh/dublin.shtml>

See Title XV: Land Usage, Chapter 153: Zoning Regulations, Section 153.065 Site development standards

Overall Design of Signs

The sign shall be in proportion to the space it will occupy.

Elements of the sign should create an overall cohesive design, reflect simplicity, avoid visual clutter and ensure legibility.

Tenant signage should:

- Provide the public with a safe and effective means of locating businesses from a pedestrian or from a vehicle perspective.
- Be scaled appropriately to the pedestrian realm and enhance the pedestrian experience.
- Be consolidated into a minimum number of elements.
- Have simple shape and appropriate contrast.
- Be constructed with a minimum number of materials.
- Be designed with harmonious use of colors.
- Be easy to read from the intended vantage point.
- Be constructed & erected to compliment the overall appearance of the building.
- Be fabricated on and of materials that are of permanent quality, good durability and are complementary to the building.
- Be constructed of materials that weather well and reduce maintenance.
- Utilize an external light source (excluding Parking Signage).

Prohibited Sign Types and Conditions

- Unadorned rectangular cabinet signs with translucent or opaque faces. See p. 20 for examples.
- Internal or halo illumination (excluding Parking Garage Signage).
- Temporary wall signs, pennants, banners, or inflatable displays, unless specifically approved by the Landlord; and if so, for no more than 30 days.
- No box signs hanging in window displays.
- No exposed junction boxes, wires, transformers, lamps, tubing, conduit, raceways or neon crossovers of any type.
- No pre-manufactured signs, such as franchise signs, that have not been modified to meet the specific criteria for this project.
- No paper, cardboard or Styrofoam signs, or stickers hung around or behind storefronts.
- No exposed fasteners, unless decorative fasteners are essential to the sign design concept.
- No flashing, oscillating, animated lights or other moving sign components.

Computation of Sign Size

Determining Sign Area or Dimension

- In the case of two-sided freestanding or projecting signs, the sign area consists of the entire surface area of the sign on which copy could be placed. For projecting signs, this is the area of one face of the sign.
- For a sign comprised of individual letters, or elements on a wall, the area of the sign shall encompass a regular, or a combination of regular geometric shapes which form or approximate the perimeter of all the elements in the display.

Determining Sign Mounting Height

- Sign mounting height shall be measured from the finished grade at the building base to the lowest element of the sign.

Determining Building Frontage and Building Unit

- The building wall that faces the principal street or the building wall that contains the main entrance to the uses therein shall be considered the building frontage.
- In the case of an irregular wall surface, a straight line extending along such wall surface shall be used to measure the length.

Definitions and General Guidelines

Fascia/Wall Sign

Also known as a storefront sign or business identification sign. Mounted parallel to the plane of the building.

All Fascia/Wall Signs shall:

- use sign design appropriate to Bridge Park and Historic Dublin
- have a three-dimensional or layered construction
- respect the architecture and scale of the building
- support the concept, design and location of the store

Fascia/Wall signs may be applied to buildings in a variety of ways, including:

- painted wood or metal panels with painted, carved, or applied letters
- individual cut metal letters applied directly to the building

Projecting Sign

A sign which is suspended from, attached to, or supported by a building, mounted perpendicular to the plane of the building. Projecting signs offer the opportunity for a more decorative and playful sign, and contribute to a pedestrian-friendly atmosphere.

All Projecting Signs shall:

- have support structures consistent with the aesthetics of the storefront
- be hung well out of reach of pedestrians, minimum 8' from finished grade and maximum 6' perpendicular projection from the building

Placemaking Art Sign

A larger projecting sign that offers the tenant more freedom with design and materiality to create a highly unique presence for their location. In turn, the design contributes to a diverse visual culture in Bridge Park. These signs may also be used to identify parking garage entrances. This sign type is permitted at one designated location in Bridge Park West as marked in building elevations (see pps. 21–22).

All Placemaking Art Signs shall:

- be constructed utilizing layers, dimension, and possibly light (at the discretion of the Landlord)
- be located at the second story level and higher, above all other signage for the tenant

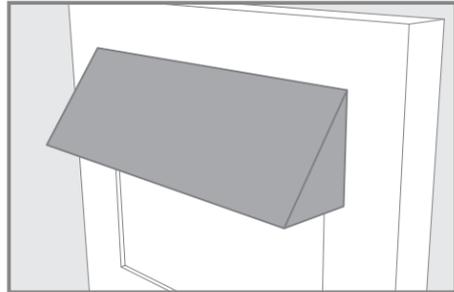
Sandwich Board Sign

These signs are reminiscent of a “Main Street” shopping experience and provide additional recognition for the retailer. Typical construction consists of two hinged boards resting on the ground level, outdoors.

All Sandwich Board Signs shall:

- be professionally designed and constructed, receiving Landlord approval
- be placed within six feet of a ground floor entrance so as not to disrupt pedestrian traffic
- be taken indoors each night

Definitions and General Guidelines

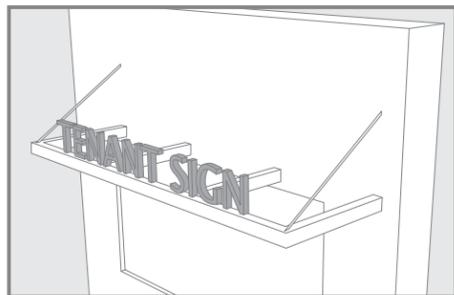


Awning

Tenants may select a solid awning color, and additionally, may print a design on 20% of the area of each awning. Printed designs may be in up to 2 colors that must be harmonious with the background color.

All Awnings shall:

- have a traditional straight “hood” structure (see drawing above), with no vertical front overhang. The ends may be open or closed
- feature Landlord-approved designs only



Canopy Edge Sign

Located on the street-facing edge of an architectural canopy structure. May be a tenant name, building address, or parking garage name.

All Canopy Edge Signs shall:

- consist of dimensional letters or numbers.

Window Sign

Window signs contribute to an inviting and distinctive street-level character. Content may include a logo or other graphic element; the tenant’s name is not required.

All Window Signs shall:

- be applied directly to the interior surface of the glass. Methods include metal leaf, vinyl, painted, etched cut, and sandblasted lettering.

General Regulations Matrix

Signs Allowed by Frontage

Tenants with corner frontage = 3 building mounted signs¹, one of which must be a Projecting Sign.
 Tenants with inline frontage = 2 building mounted signs¹, one of which must be a Projecting Sign.

| Sign Type | | Allowable Area | | Other Regulations |
|-------------------------------|---|---|--|--|
| Building Mounted | Building ID Sign | Level 1 / Ground | Level 2 | |
| | Building Address ID | ≤5 sq ft | NP | Standard plaque (near entrance) or pin-mounted characters (on canopy edge over lobby entrance). |
| | Tenant ID Sign | | | |
| | Tenant Address ID | ≤5 sq ft | NP | Standard plaque (near entrance) |
| | Fascia/Wall Sign ^{2,3} | ≤12 sq ft ⁶ | NP | |
| | Fascia/Wall Sign for Parking ⁵ | ≤40 sq ft ⁶ | NP | Pin-mounted letters with brushed aluminum finish and illuminated circle-P icon. |
| | Projecting Sign ² | ≤8 sq ft | ≤8 sq ft | On Level 1, mounting height to bottom of sign must be ≥8 ft. and height to top must be ≤12 ft. |
| | Placemaking Art Sign ⁵ | NP | ≤80 sq ft ⁵ | Mounting height to bottom of sign must be ≥12 ft. and height to top must be ≤24 ft. |
| | Window Sign ^{2,7} | ≤40% per window pane ⁶ | NP | Window graphics to be applied to the inside surface of the window as metal leaf, vinyl, or paint. Usually done in light colors to achieve contrast against the glass. |
| | Awning ² | ≤20% of awning surface (printed design) | NP | Awning structure must be traditional straight “hood” style, and may be closed- or open-ended. Tenant may dictate awning color and a two color printed design, subject to discretion of Landlord. |
| Canopy Edge Sign ⁵ | ≤8 sq ft ⁵ | NP | Individual channel or pin-mounted characters are required. | |
| Temporary | Incidental/Temporary | | | |
| | Window Display ² | n/a | n/a | Tenant may dictate design, subject to discretion of Landlord. |
| | Sandwich Board ⁴ | ≤6 sq ft per side, 3 ft height, qty. 1 per tenant | n/a | May include whiteboard and chalkboard elements. Must be well constructed using framing with neutral colors (black, brown, dark wood). Place within 6 ft of primary ground floor entrance. |
| Streetscape | Streetscape Elements | Level 0 / Streetscape | | |
| | Freestanding Lobby ID Kiosk ⁵ | ≤8 1/2 sq ft ⁵ | | Double-sided metal structure directing pedestrians to south Lobby entrance. |
| | Freestanding Pedestrian Kiosk w/Parking ID ⁵ | ≤21 sq ft ⁵ | | Double-sided metal structure with pedestrian map of Bridge Park and illuminated circle-P icon to direct motorists to Parking entrance. |
| | Tables and Chairs | | | Must be of sturdy, high quality construction and placed out of the established right-of-way. |
| | Stanchions and Fences | | | Must be of sturdy, high quality construction and placed out of the established right-of-way. |
| | Plantings | | | Must be contained in movable pots/urns that do not interfere with right-of-way or streetscape plantings. |

NP Not Permitted
 n/a Not Applicable
 1. Signs must be of at least 2 different types
 2. Refer to Table 153.065-I of Dublin, Ohio Code of Ordinances
 3. Refer to Table 153.065-J
 4. Refer to Table 153.065-K
 5. New sign type
 6. Suggested variance from Code of Ordinances
 7. Does not apply towards Tenant’s allowed amount of building mounted signs

Code Variances

| Sign Type | Existing Code | Proposed Addition/Modification |
|------------------|---|---|
| Fascia/Wall Sign | Table 153.065-1 Size: Maximum 8 sq ft | Maximum 12 sq ft, with the exception of one location where a 20 sq ft sign is allowed for proportional relationship to architecture (see building elevations, pps. 21-22). Fascia/Wall Sign for Parking is located in a setback and may be up to 40 sq ft to maintain visibility to motorists on High St. |
| Window Sign | Table 153.065-1 Size: 20% of cumulative surface area of the window to which it is attached, not to exceed 8 sq ft. | 40% of cumulative surface area of the window to which it is attached, not to exceed 8 sq ft. |

New Sign Types

| Sign Type | Description |
|---|---|
| Placemaking Art Sign ¹ | This sign permitted at one specified location. Maximum size 80 sq. ft. |
| Canopy Edge Sign ² | Maximum size 8 sq. ft. Located at the front (street-facing) edge of an architectural canopy over the primary entrance. Must be comprised of individual pin-mounted characters. |
| Freestanding Lobby Kiosk ³ | 1'-0" w x 8'-4"h kiosk with map to direct pedestrians to the elevator lobby at the south end of Bridge Park West. |
| Freestanding Pedestrian Kiosk w/Parking ID ³ | 1'-10 1/2" w x 10'-6"h kiosk with map and illuminated "P" icon to direct motorists to parking garage entrance, and aid pedestrians in locating businesses and other features of Bridge Park West. |

1. Refer to pps. 08 and 14.
 2. Refer to pps. 09 and 15.
 3. Refer to pps. 24–26.

Fascia/Wall Sign



Projecting Sign



Placemaking Art Sign



Awning



Canopy Edge Sign



Building Address Plaque



Window Sign



Sandwich Board



Examples of Prohibited Designs

Fascia/Wall Sign



- Rectangular cabinet sign with opaque face
- No dimensional design elements
- Exposed wiring and mounting brackets

Awning



- Roll-up design
- Printing on more than 20% of awning surface (stripes)
- Frilled edge

Sandwich Board

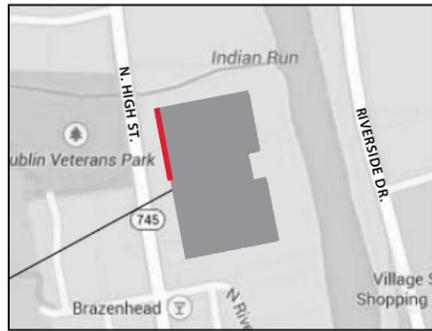


- Insufficient construction quality
- Replaceable letter face
- Non-neutral frame color

Window Sign

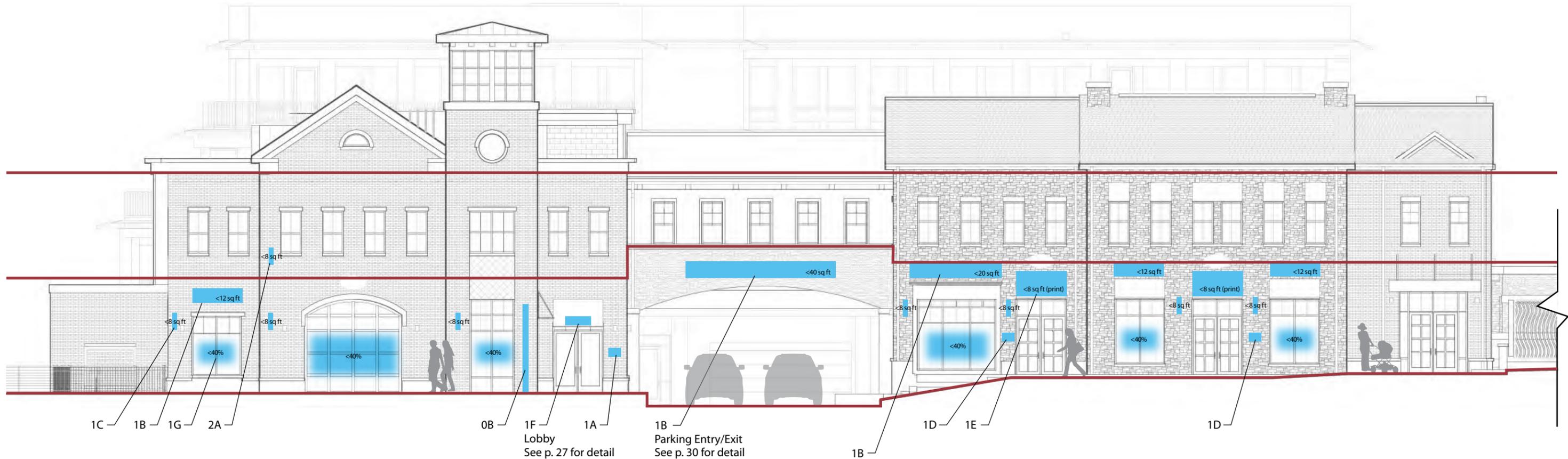


- Design covers more than 40% of window



Bridge Park West: Tenant Signage Level Diagram West Elevation, North End (N. High St.)

NOTE: These elevations are intended to show all possible sign locations by type. Refer to pps. 04-11 for specific allowances and restrictions.

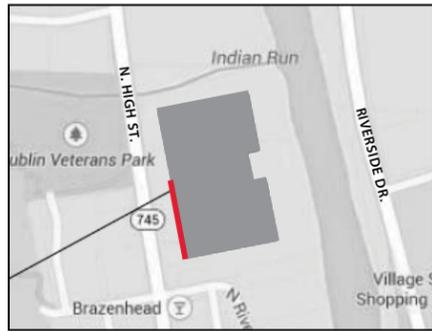


| Level 1 | |
|------------------------|---------------------|
| BUILDING ID SIGN | |
| 1A | Building Address ID |
| TENANT ID SIGN | |
| 1B | Fascia/Wall Sign |
| 1C | Projecting Sign |
| 1D | Tenant Address ID |
| 1E | Awning |
| 1F | Canopy Edge Sign |
| 1G | Window Sign* |
| INCIDENTAL & TEMPORARY | |
| 1H | Sandwich Board* |
| 1J | Window Display* |

| Level 2 | |
|----------------|----------------------|
| TENANT ID SIGN | |
| 2A | Projecting Sign |
| 2B | Placemaking Art Sign |

| Streetscape | |
|-------------|--------------------------------------|
| WAYFINDING | |
| 0A | Freestanding Lobby ID Kiosk |
| 0B | Freestanding Ped. Kiosk w/Parking ID |

*It is recommended that these sign types do not count against a tenant's total allowed.



Bridge Park West: Tenant Signage Level Diagram West Elevation, South End (N. High St.)

NOTE: These elevations are intended to show all possible sign locations by type.
Refer to pps. 04-11 for specific allowances and restrictions.



| Level 1 | |
|------------------------|---------------------|
| BUILDING ID SIGN | |
| 1A | Building Address ID |
| TENANT ID SIGN | |
| 1B | Fascia/Wall Sign |
| 1C | Projecting Sign |
| 1D | Tenant Address ID |
| 1E | Awning |
| 1F | Canopy Edge Sign |
| 1G | Window Sign* |
| INCIDENTAL & TEMPORARY | |
| 1H | Sandwich Board* |
| 1J | Window Display* |

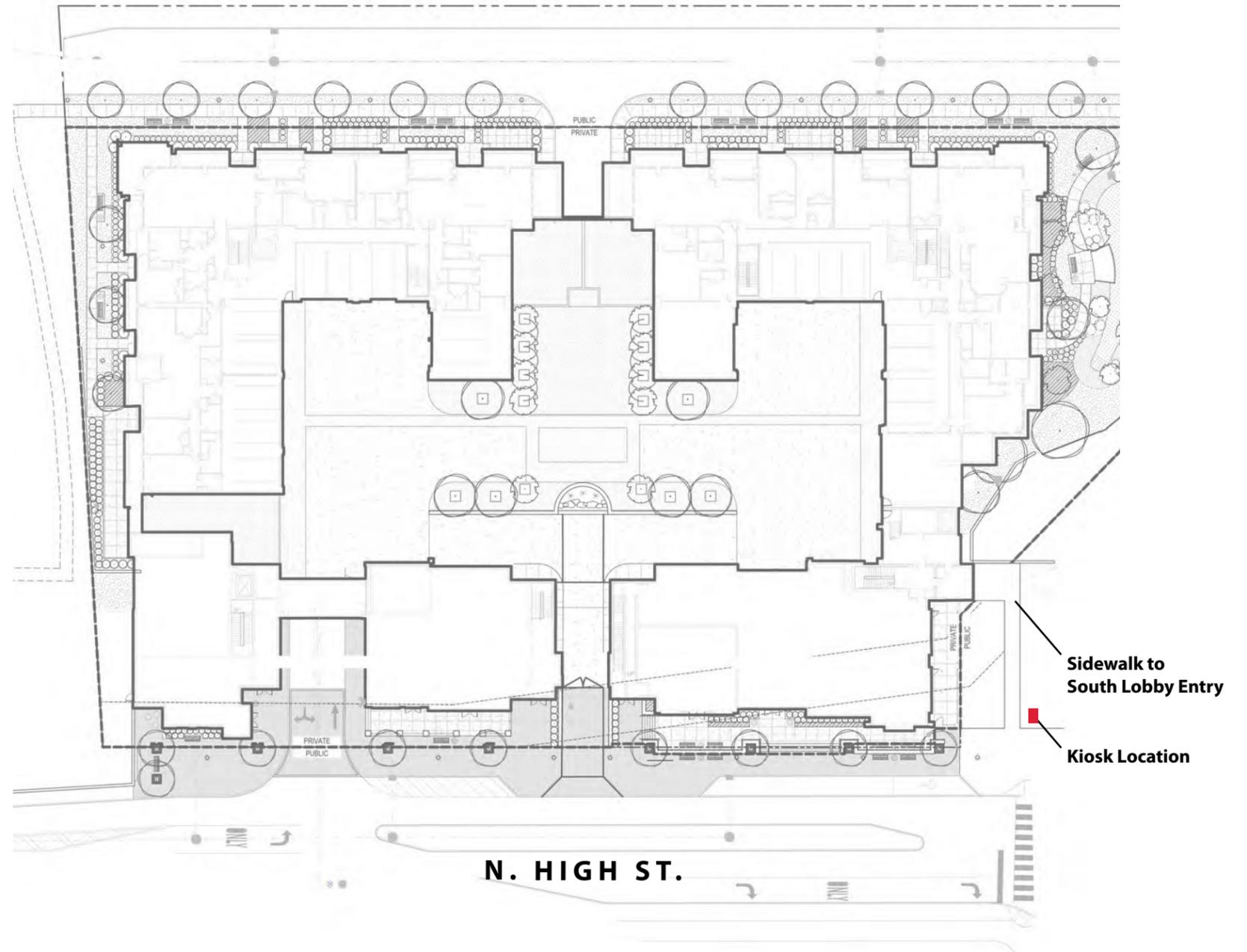
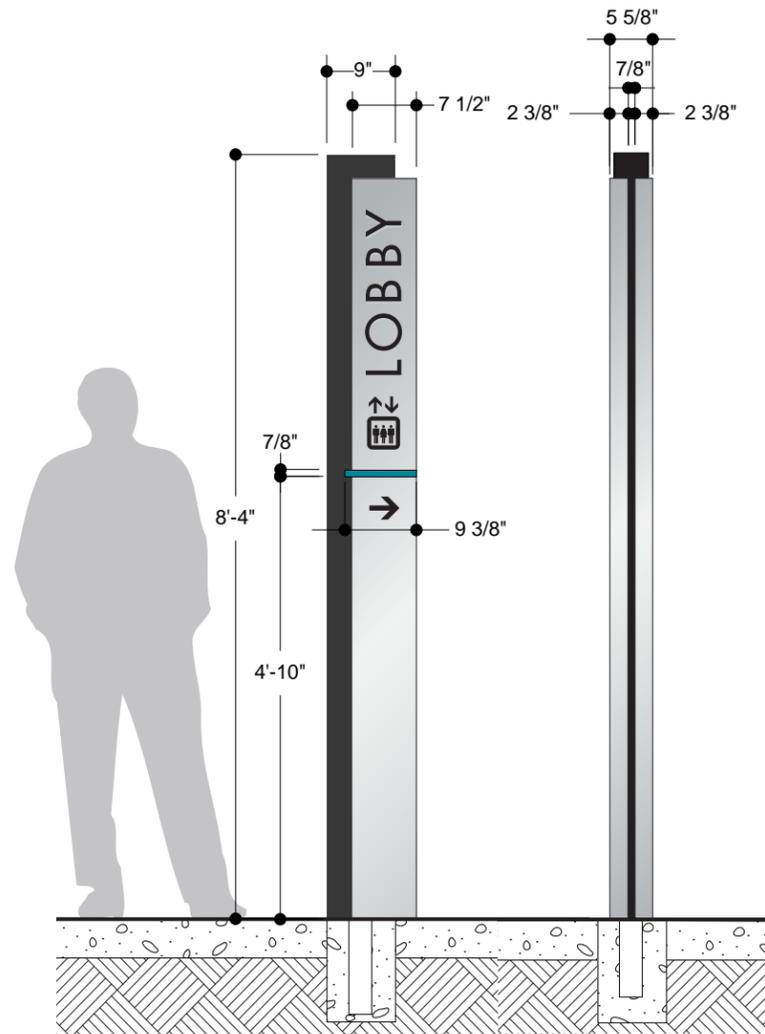
| Level 2 | |
|----------------|----------------------|
| TENANT ID SIGN | |
| 2A | Projecting Sign |
| 2B | Placemaking Art Sign |

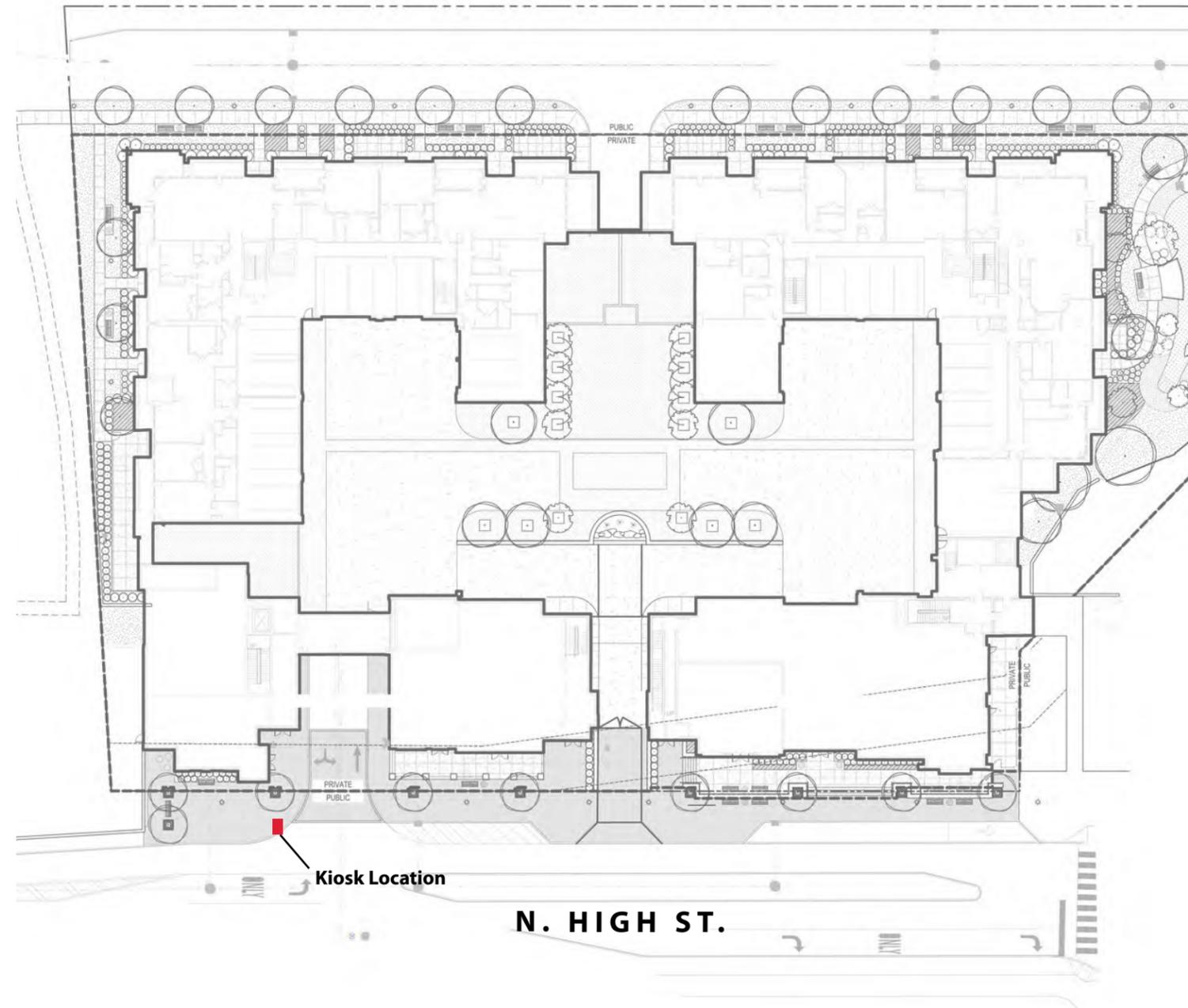
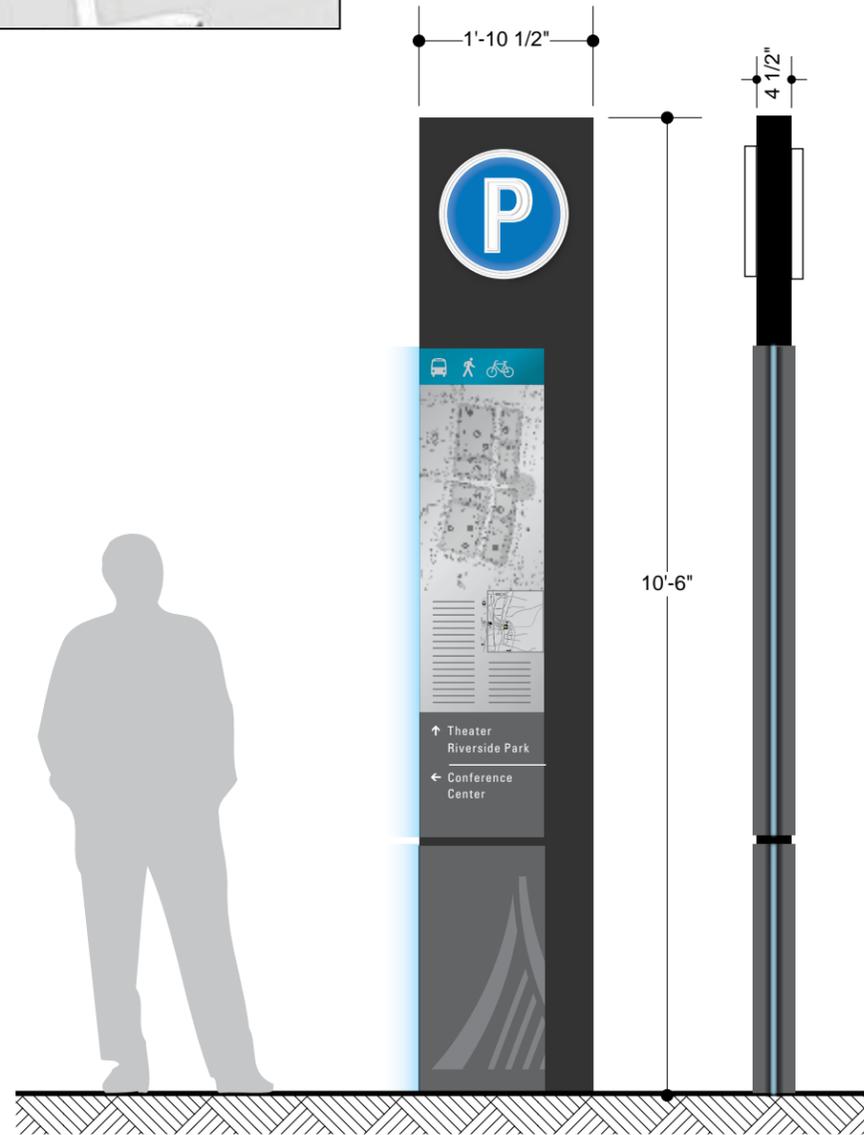
| Streetscape | |
|-------------|-----------------------------------|
| WAYFINDING | |
| 0A | Freestanding Lobby ID Kiosk |
| 0B | Freestanding Ped. Kiosk w/Parking |

*It is recommended that these sign types do not count against a tenant's total allowed.



MASTER SIGN PLAN: BRIDGE PARK WEST
WAYFINDING



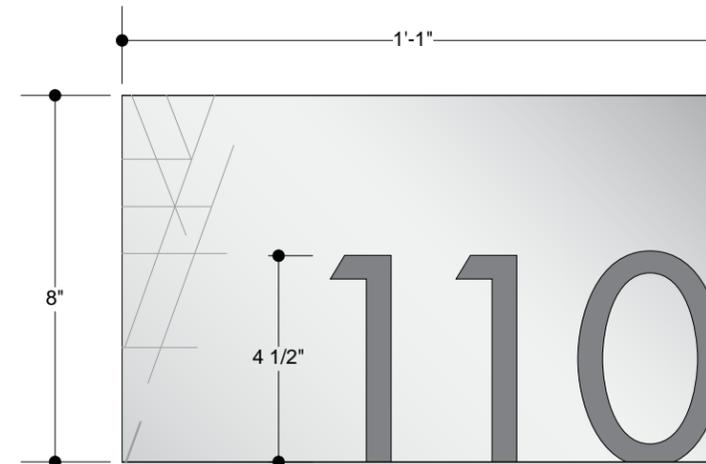




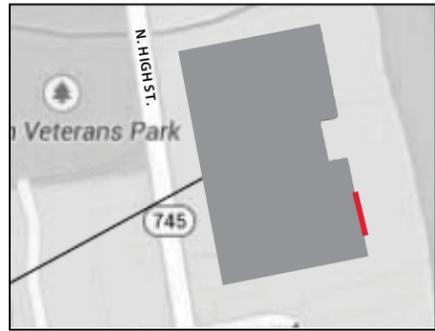
Southbound Vehicular Approach (High Street Entrance)



High St. – North Lobby Entrance



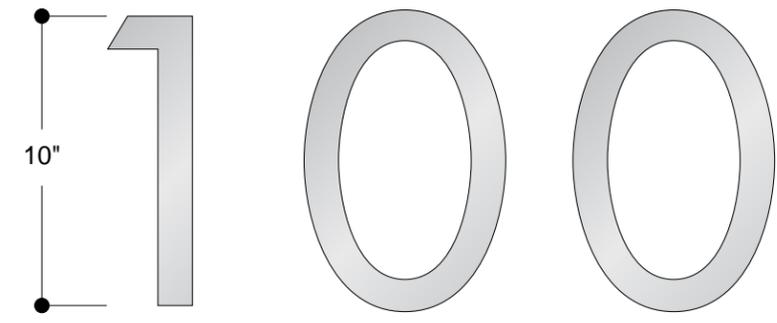
Typical Building/Tenant Address Plaque



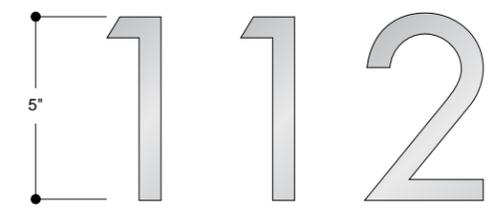
Riverview St. Residential Lobby Entrance



Riverview St. Private Residence Entrance



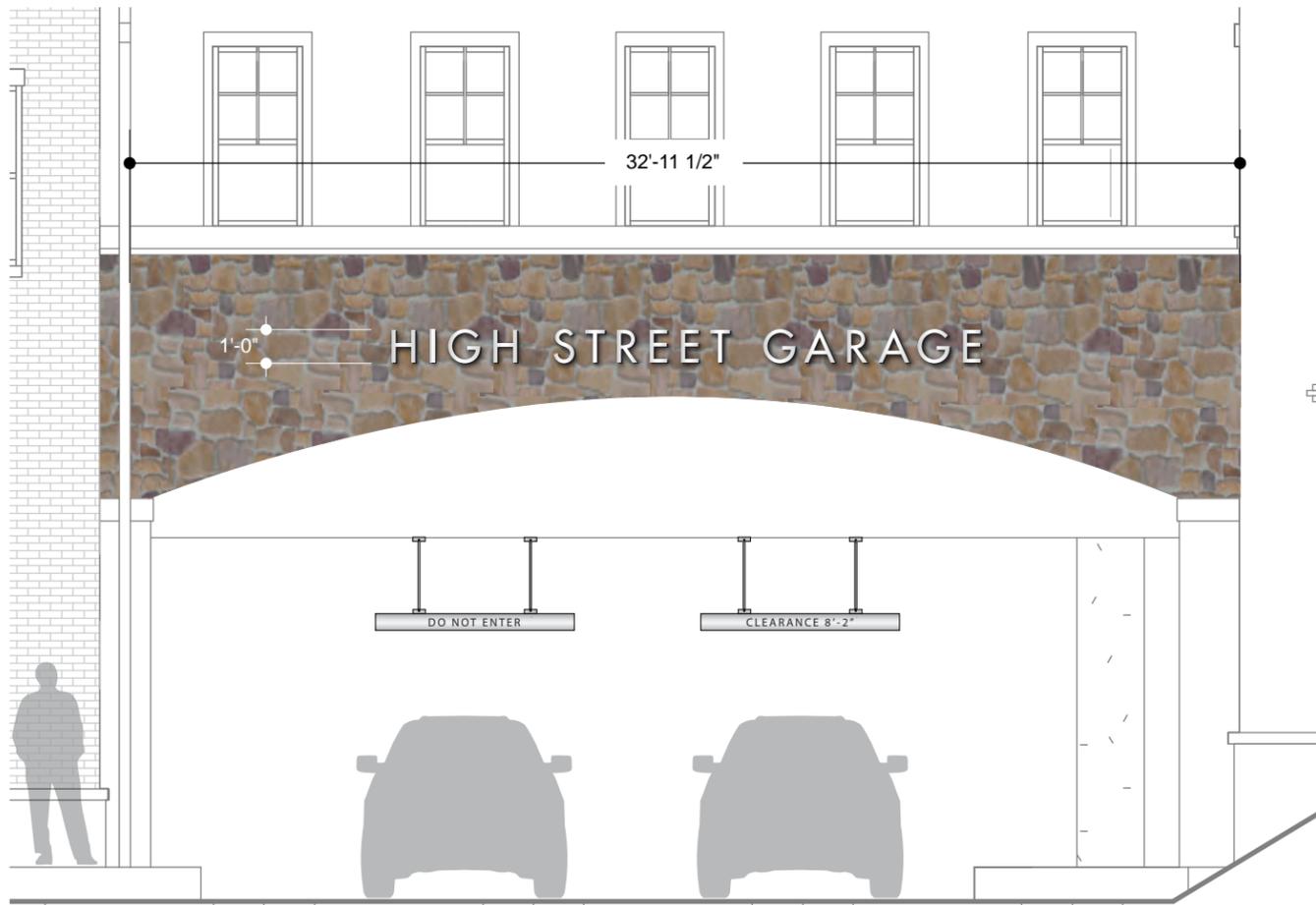
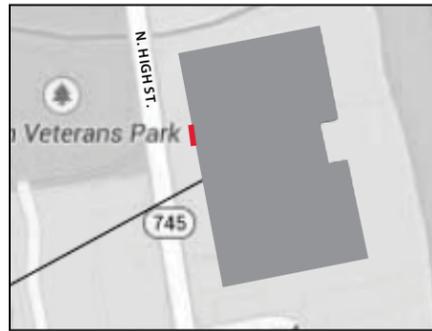
Typical Lobby Address Numerals



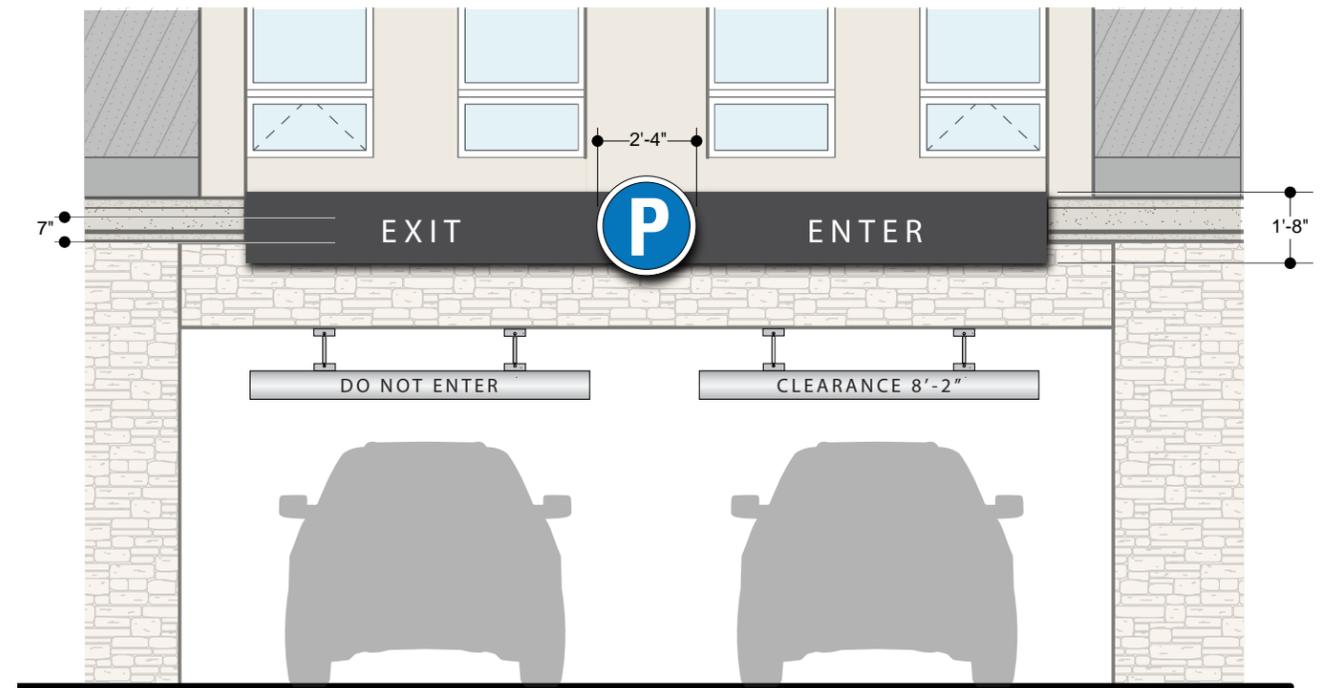
Typical Private Residence Address Numerals



MASTER SIGN PLAN: BRIDGE PARK WEST
PARKING GARAGE
EXTERIOR SIGNAGE



West Elevation – Entrance from Tuller Ridge Rd.



East Elevation – Entrance from Riverview St.