



 BRIDGE PARK
DUBLIN, OH

Master Sign Plan – West

Revision 11.30.2015

 CRAWFORD HOYING
development

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 City of Dublin

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MASTER SIGN PLAN: BRIDGE PARK WEST
TENANT SIGNAGE

General Design Criteria

Bridge Park West is located in Historic Dublin, where sign design and lighting support the early- to mid-19th-century heritage of the district. The objective of the sign design criteria is to provide basic standards and specifications that assure consistent quality, while also giving tenants the freedom to create attractive and unique signage to draw visitors.

For comprehensive regulations regarding business signage in Historic Dublin, please consult the following document:

City of Dublin, Ohio Code of Ordinances

<http://www.amlegal.com/library/oh/dublin.shtml>

This plan introduces new sign types and variances for existing sign types. Any aspect of sign design and placement not specifically addressed in this document defaults to the Code cited above.

Overall Design of Signs

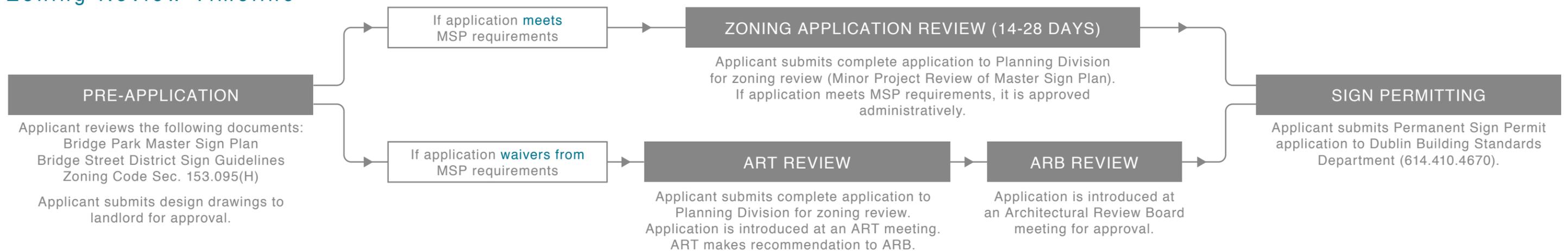
The sign shall be in proportion to the space it will occupy.

Elements of the sign should create an overall cohesive design, reflect simplicity, avoid visual clutter and ensure legibility.

Tenant signage should:

- Provide the public with a safe and effective means of locating businesses from a pedestrian or from a vehicle perspective.
- Be scaled appropriately to the pedestrian realm and enhance the pedestrian experience.
- Be consolidated into a minimum number of elements.
- Have simple shape and appropriate contrast.
- Be constructed with a minimum number of materials.
- Be designed with harmonious use of colors.
- Be easy to read from the intended vantage point.
- Be constructed & erected to complement the overall appearance of the building.
- Be fabricated on and of materials that are of permanent quality, good durability and are complementary to the building.
- Be constructed of materials that weather well and reduce maintenance.

Zoning Review Timeline

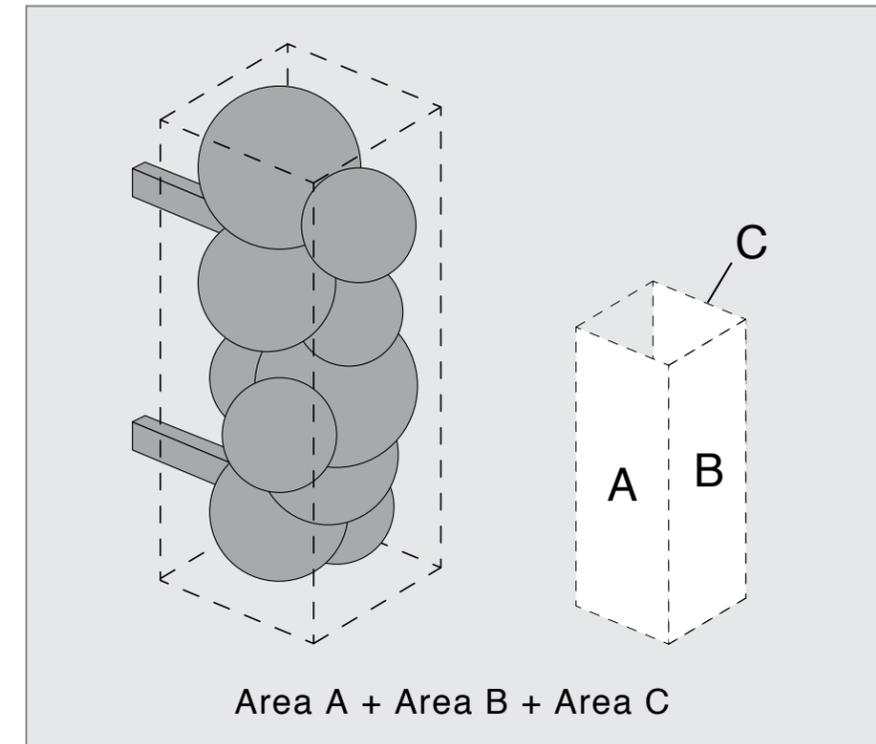


Computation of Sign Size

Determining Sign Area or Dimension

- Sign area shall include the face of the entire display area not including the bracing, framing and structural supports of the sign, unless such support members are made part of the message or face of the sign. When a sign has two or more display faces, the area of all faces of the sign shall be included in determining the area of the sign, unless the two faces are joined back to back, are parallel to each other and not more than 24 inches apart. The area of a sign consisting of individual letters or symbols, either freestanding or attached to or painted on a surface, building, wall, or window, shall be considered to be that of the smallest single rectangle which encompasses all the letters and symbols.
- In the case of two-sided freestanding or projecting signs, the sign area consists of the entire surface area of the sign on which copy could be placed. For freestanding and projecting signs, this is the area of one face of the sign.
- For placemaking art signs, which may have multiple dimensional features, area shall be determined by drawing a box around the entire sign, and computing the area of the three outside faces (see Fig. 1).

Fig. 1 Area of Placemaking Art Sign



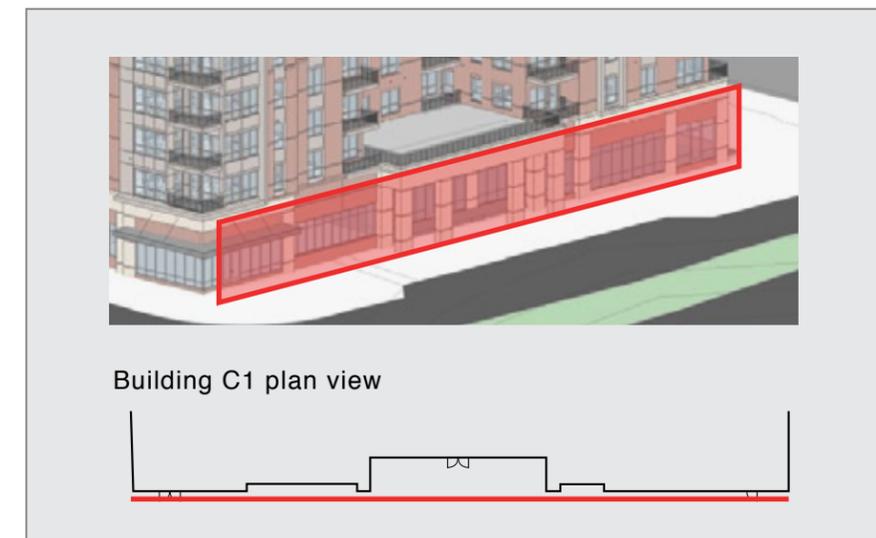
Determining Sign Mounting Height

- Sign mounting height shall be measured from the finished grade at the building base to the highest element of the sign. Minimum clearances to the bottom of the sign apply as noted.

Determining Building Frontage and Building Unit

- The building wall that faces the principal street or the building wall that contains the main entrance to the uses therein shall be considered the building frontage.
- In the case of an irregular wall surface, a straight line extending along such wall surface shall be used to measure the length (see Fig. 2).

Fig. 2 Length of Irregular Wall Surface



Definitions and General Guidelines

Fascia/Wall Sign

Also known as a storefront sign or business identification sign. Mounted parallel to the plane of the building.

All Fascia/Wall Signs shall:

- use sign design appropriate to Historic Dublin
- have a three-dimensional or layered construction, which may include paint and textures applied directly to the façade
- respect the architecture and scale of the building
- support the concept, design and location of the store

Fascia/Wall signs may be applied to buildings in a variety of ways, including:

- painted wood or metal panels with painted, carved, or applied letters



Definitions and General Guidelines

Projecting Sign

A sign which is suspended from, attached to, or supported by a building, mounted perpendicular to the plane of the building. Projecting signs offer the opportunity for a more decorative and playful sign, and contribute to a pedestrian-friendly atmosphere.

All Projecting Signs shall:

- have support structures consistent with the aesthetics of the storefront
- be hung well out of reach of pedestrians, minimum 8' from finished grade and maximum 6' perpendicular projection from the building



Definitions and General Guidelines

Placemaking Art Sign

A larger projecting sign that offers the tenant more freedom with design and materiality to create a highly unique presence for their location. In turn, the design contributes to a diverse visual culture in Bridge Park. These signs may also be used to identify parking garage entrances. This sign type is permitted at designated locations in Bridge Park West as marked in building elevations (see pps. 19–20).

All Placemaking Art Signs shall:

- be constructed utilizing layers, dimension, and possibly light (at the discretion of the Landlord)



Definitions and General Guidelines

Sandwich Board Sign

These signs are reminiscent of a “Main Street” shopping experience and provide additional recognition for the retailer. Typical construction consists of two hinged boards resting on the ground level, outdoors.

All Sandwich Board Signs shall:

- be professionally designed and constructed, receiving Landlord approval
- be placed within six feet of a ground floor entrance so as not to disrupt pedestrian traffic
- be taken indoors each night



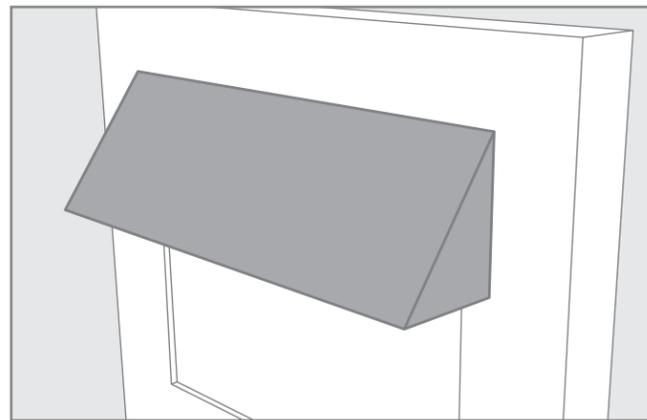
Definitions and General Guidelines

Awning

Tenants may select a solid awning color, and additionally, may print a design on 20% of the total area of each awning, including enclosed ends if applicable. Printed designs may be in up to 2 colors that must be harmonious with the background color. Awnings must be of a high quality, durable, and fade-resistant material.

All Awnings shall:

- have a traditional straight “hood” structure (see drawing below), with no vertical front overhang. The ends may be open or closed
- feature Landlord-approved designs only



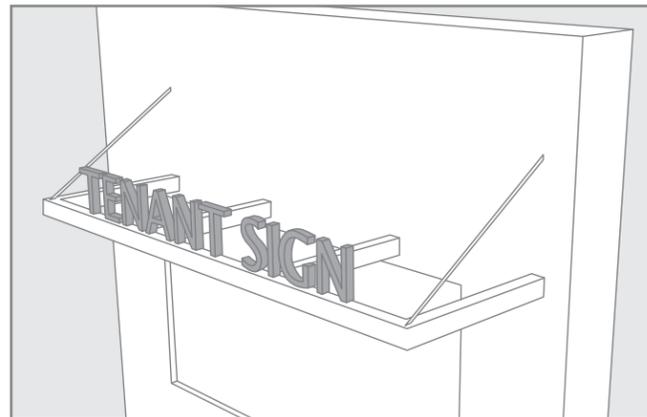
Definitions and General Guidelines

Canopy Edge Sign

Located on the street-facing edge of an architectural canopy structure. May be a tenant name, building address, or parking garage name.

All Canopy Edge Signs shall:

- consist of dimensional letters or numbers



Definitions and General Guidelines

Building Address Plaque

Tenant and lobby entrances will have a standardized address plaque (see p. 25 for design). The photos at right are examples of the durable materiality and design influences for the final plaque.



Definitions and General Guidelines

Window Sign

Window signs contribute to an inviting and distinctive street-level character. Content may include a logo or other graphic element; the tenant’s name is not required.

All Window Signs shall:

- be applied directly to the interior surface of the glass. Methods include metal leaf, vinyl, painted, etched cut, and sandblasted lettering.



Lighting

Sign illumination adds considerable character and visual excitement to the Bridge Park district. Where visible, lighting hardware should complement the architecture of the building.

External Illumination

External fixtures attached to the building façade in the vicinity of the sign are permitted.

Internal Illumination

Channel letters or other dimensional sign elements may use internal illumination. Surfaces must be evenly lit, with careful color selection for maximum legibility: for example, darker blue and purple hues are not as visible in nighttime conditions.

Indirect Illumination

Indirect lighting includes “halo” lighting around characters or shapes, back lighting, concealed uplighting, and accent lighting courses.

A combination of illumination methods is permissible, provided the goal is legibility and the overall brightness of the sign is not a distraction. Placemaking art signs in particular have the potential to creatively utilize different types of lighting.

Awnings and freestanding streetscape signage (umbrellas, sandwich board signs) may not be illuminated, except for wayfinding kiosks.

External illumination



Internal illumination



Indirect illumination



Internal and indirect



Refer to Sections 153.065(F) and 153.065(H)(4) of Dublin, Ohio Code of Ordinances for additional guidance on exterior lighting.

Prohibited Sign Types and Conditions

- Unadorned rectangular cabinet signs with translucent or opaque faces.
- Temporary wall signs, pennants, or banners, unless specifically approved by the Landlord; and if so, for no more than 14 days.
- No box signs.
- No exposed junction boxes, wires, transformers, lamps, tubing, conduit, or raceways.
- No pre-manufactured signs, such as franchise signs, that have not been modified to meet the specific criteria for this project.
- No paper, cardboard or Styrofoam signs.
- No exposed fasteners, unless decorative fasteners are essential to the sign design concept.
- No flashing, oscillating, animated lights or other moving sign components.
- No inflatable displays.

Fascia/Wall Sign



- Rectangular cabinet sign with opaque face
- No dimensional design elements
- Exposed wiring and mounting brackets

Sandwich Board



- Insufficient construction quality
- Replaceable letter face
- Non-neutral frame color

Awning



- Roll-up design
- Printing on more than 20% of awning surface (stripes)
- Vertical front with frilled edge

Window Sign



- Design covers more than 30% of window

General Regulations Matrix

Signs Allowed by Frontage

Tenants with corner frontage = 3 building mounted signs¹, one of which must be a Projecting Sign.
 Tenants with inline frontage = 2 building mounted signs¹, one of which must be a Projecting Sign.

Sign Type	Allowable Area		Other Regulations
	Level 1 / Ground	Level 2	
Building Mounted			
Building ID Sign	Level 1 / Ground	Level 2	
Building Address ID	≤5 sq ft	NP	Standard plaque (near entrance) or pin-mounted characters (on canopy edge over lobby entrance).
Tenant ID Sign			
Tenant Address ID ⁷	≤5 sq ft	NP	Standard plaque (near entrance)
Building Directory	≤6 sq ft	n/a	Exterior wall-mounted directory to be located at lobby entrances.
Fascia/Wall Sign ^{2,3}	≤12 sq ft ⁶	NP	
Fascia/Wall Sign for Parking ⁵	≤40 sq ft ⁶	NP	Pin-mounted letters with brushed aluminum finish and illuminated circle-P icon.
Projecting Sign ²	≤8 sq ft	≤8 sq ft	On Level 1, mounting height to bottom of sign must be ≥8 ft. and height to top must be ≤12 ft.
Placemaking Art Sign ⁵	NP	≤80 sq ft ⁵	Mounting height to bottom of sign must be ≥12 ft. and height to top must be ≤24 ft.
Window Sign ^{2,7}	≤30% per window pane ⁶	NP	Window graphics to be applied to the inside surface of the window as metal leaf, vinyl, or paint. Usually done in light colors to achieve contrast against the glass.
Awning ²	≤20% of awning surface (printed design)	NP	Awning structure must be traditional straight “hood” style, and may be closed- or open-ended. Tenant may dictate awning color and a two color printed design, subject to discretion of Landlord.
Canopy Edge Sign ⁵	≤8 sq ft ⁵	NP	Individual channel or pin-mounted characters are required.
Temporary			
Incidental/Temporary			
Window Display ²	n/a	n/a	Tenant may dictate design, subject to discretion of Landlord.
Sandwich Board ⁴	≤6 sq ft per side, 3 ft height, qty. 1 per tenant	n/a	May include whiteboard and chalkboard elements. Must be well constructed using framing with neutral colors (black, brown, dark wood). Place within 6 ft of primary ground floor entrance.
Streetscape			
Streetscape Elements	Level 0 / Streetscape		
Freestanding Lobby ID Kiosk ⁵	≤8 1/2 sq ft ⁵		Double-sided metal structure directing pedestrians to south Lobby entrance.
Freestanding Pedestrian Kiosk w/Parking ID ⁵	≤21 sq ft ⁵		Double-sided metal structure with pedestrian map of Bridge Park and illuminated circle-P icon to direct motorists to Parking entrance.

NP Not Permitted
 n/a Not Applicable
 1. Signs must be of at least 2 different types
 2. Refer to Table 153.065-I of Dublin, Ohio Code of Ordinances
 3. Refer to Table 153.065-J
 4. Refer to Table 153.065-K
 5. New sign type
 6. Suggested variance from Code of Ordinances
 7. Does not apply towards Tenant’s allowed amount of building mounted signs

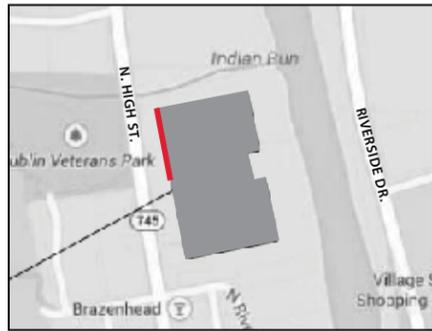
Code Variances

Sign Type	Existing Code	Proposed Addition/Modification
Fascia/Wall Sign	<i>Table 153.065-1</i> Size: Maximum 8 sq ft	Maximum 12 sq ft, with the exception of one location where a 20 sq ft sign is allowed for proportional relationship to architecture (see building elevations, pps. 21-22). Fascia/Wall Sign for Parking is located in a setback and may be up to 40 sq ft to maintain visibility to motorists on High St.
Window Sign	<i>Table 153.065-1</i> Size: 20% of cumulative surface area of the window to which it is attached, not to exceed 8 sq ft.	30% of cumulative surface area of the window to which it is attached, not to exceed 8 sq ft.

New Sign Types

Sign Type	Description
Placemaking Art Sign ¹	This sign permitted at specified locations only. Maximum size 80 sq. ft.
Canopy Edge Sign ²	Maximum size 8 sq. ft. Located at the front (street-facing) edge of an architectural canopy over the primary entrance. Must be comprised of individual pin-mounted characters.
Freestanding Lobby Kiosk ³	1'-0" w x 8'-4"h kiosk with map to direct pedestrians to the elevator lobby at the south end of Bridge Park West.
Freestanding Pedestrian Kiosk w/Parking ID ³	1'-10 1/2" w x 10'-6"h kiosk with map and illuminated "P" icon to direct motorists to parking garage entrance, and aid pedestrians in locating businesses and other features of Bridge Park West.

1. Refer to p. 10.
 2. Refer to p. 13.
 3. Refer to pps. 21–24.



Bridge Park West: Tenant Signage Level Diagram West Elevation, North End (N. High St.)

NOTE: These elevations are intended to show all possible sign locations by type. Refer to pps. 04-18 for specific allowances and restrictions.

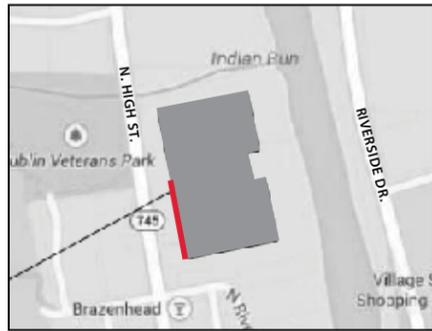


Level 1	
BUILDING ID SIGN	
1A	Building Address ID
TENANT ID SIGN	
1B	Fascia/Wall Sign
1C	Projecting Sign
1D	Tenant Address ID*
INCIDENTAL & TEMPORARY	
1H	Sandwich Board*
1J	Window Display*

Level 2	
TENANT ID SIGN	
2A	Projecting Sign
2B	Placemaking Art Sign

Streetscape	
WAYFINDING	
0A	Freestanding Lobby ID Kiosk
0B	Freestanding Ped. Kiosk w/Parking ID

*These sign types shall not count against a tenant's total allowed.



Bridge Park West: Tenant Signage Level Diagram West Elevation, South End (N. High St.)

NOTE: These elevations are intended to show all possible sign locations by type.
Refer to pps. 04-18 for specific allowances and restrictions.

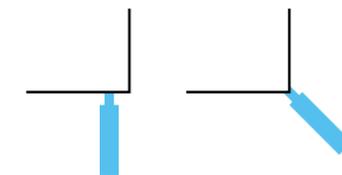


Level 1	
BUILDING ID SIGN	
1A	Building Address ID
TENANT ID SIGN	
1B	Fascia/Wall Sign
1C	Projecting Sign
1D	Tenant Address ID*
1E	Awning
1F	Canopy Edge Sign
1G	Window Sign*
INCIDENTAL & TEMPORARY	
1H	Sandwich Board*
1J	Window Display*

Level 2	
TENANT ID SIGN	
2A	Projecting Sign
2B	Placemaking Art Sign

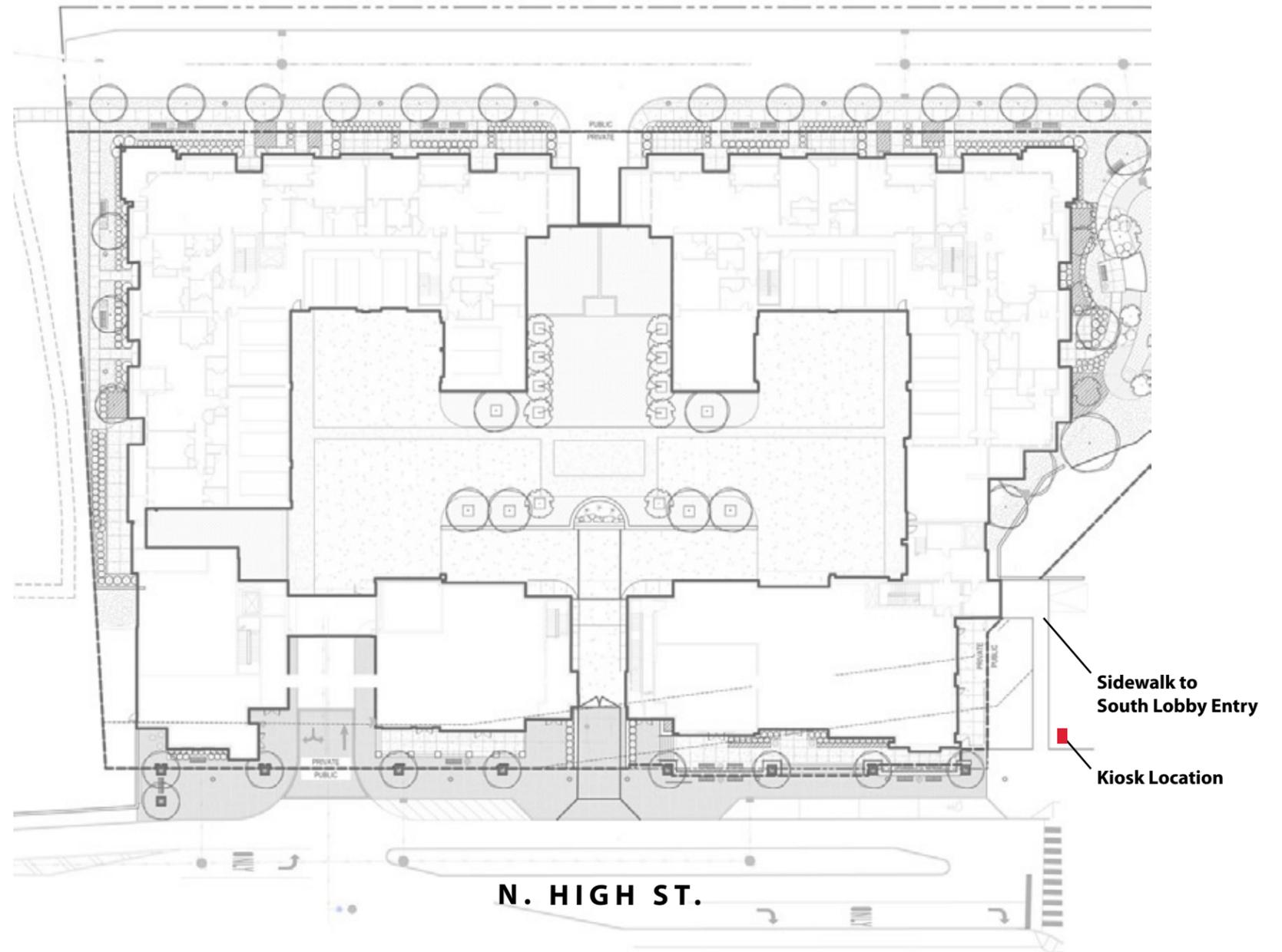
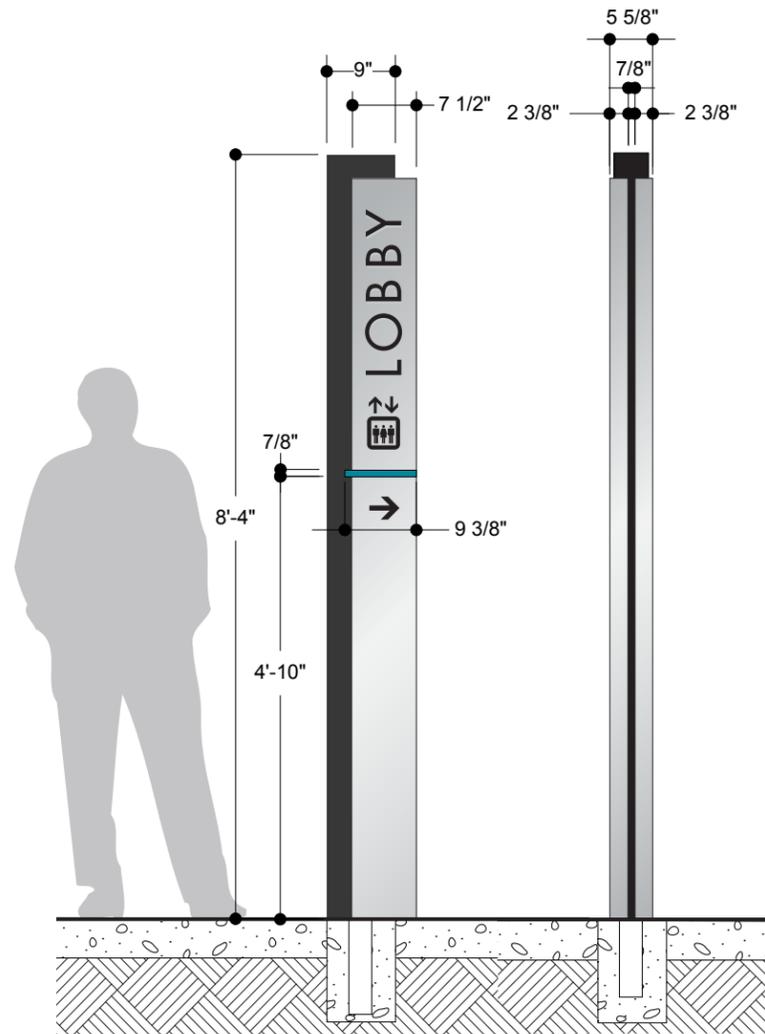
Streetscape	
WAYFINDING	
0A	Freestanding Lobby ID Kiosk
0B	Freestanding Ped. Kiosk w/Parking

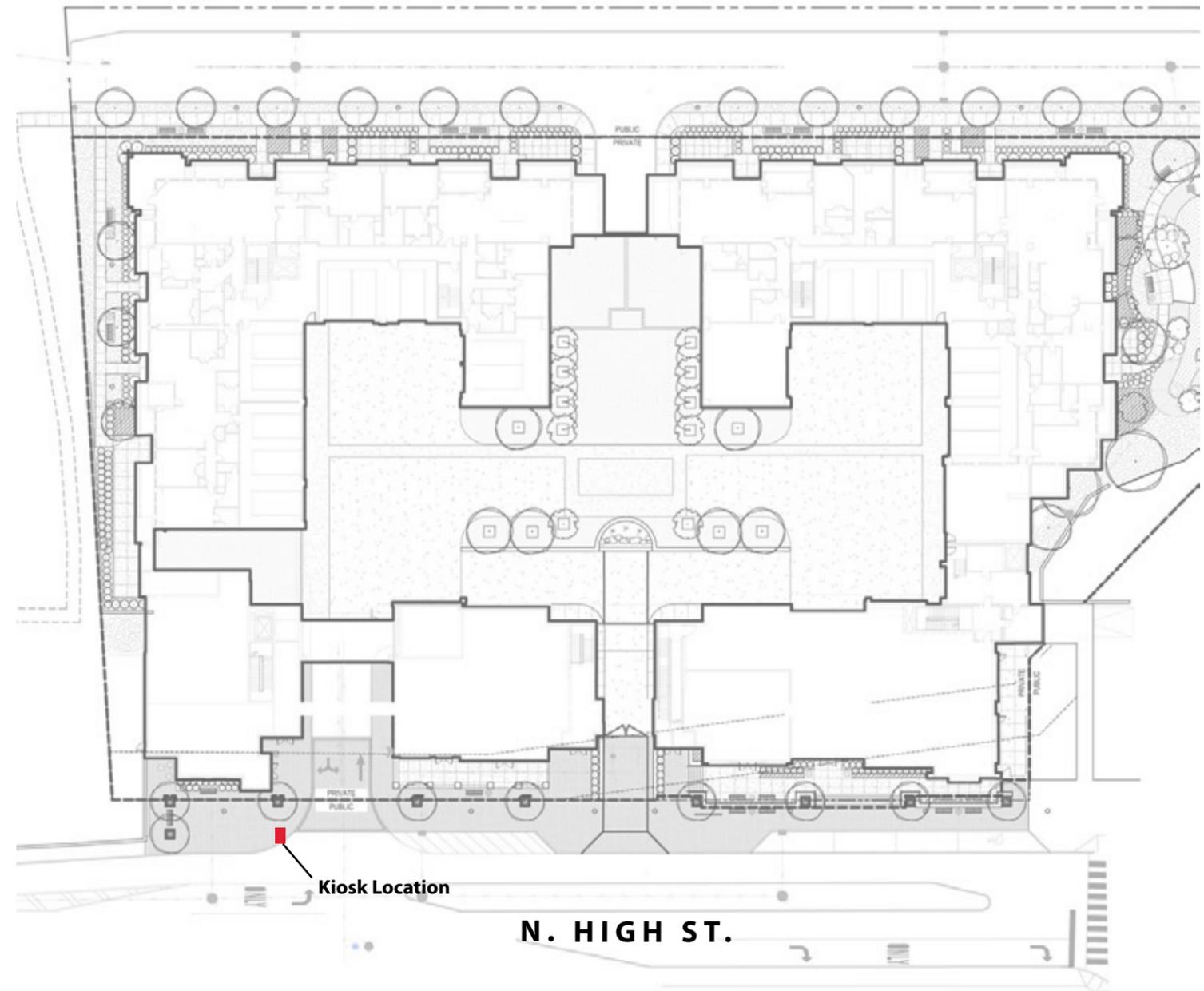
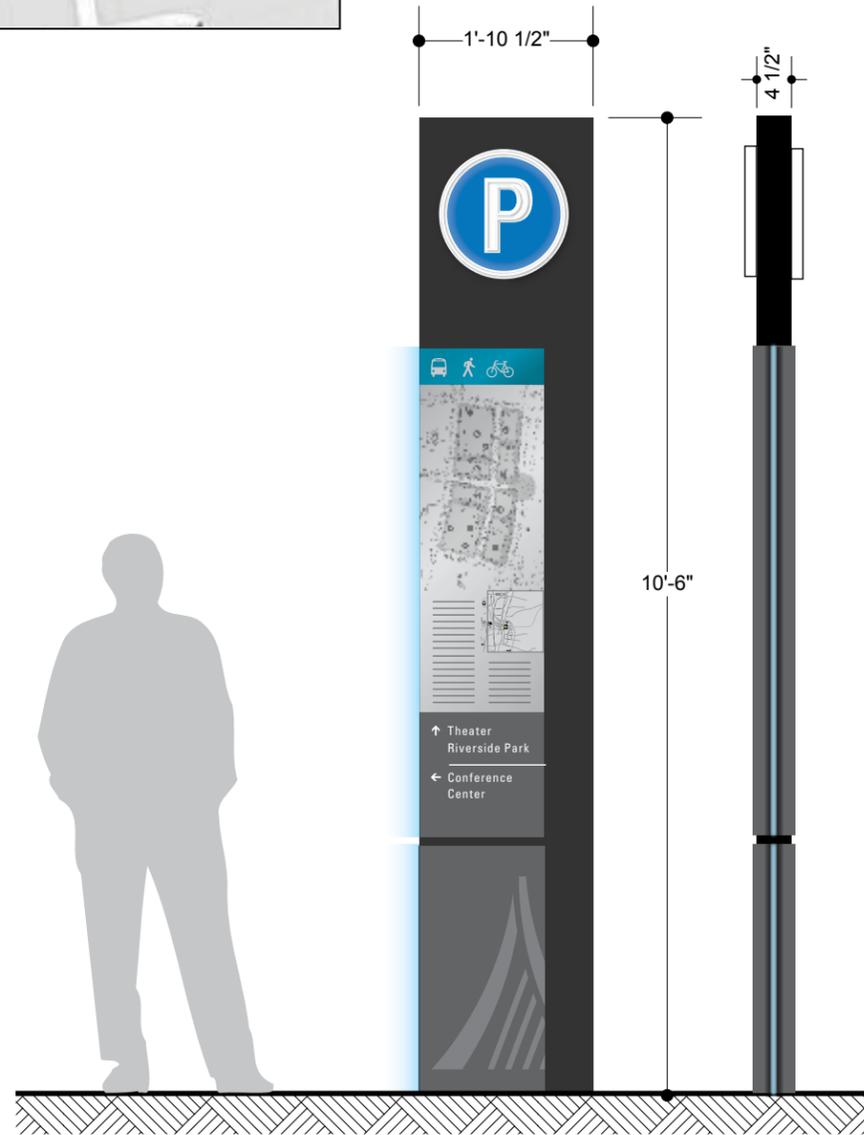
*These sign types shall not count against a tenant's total allowed.



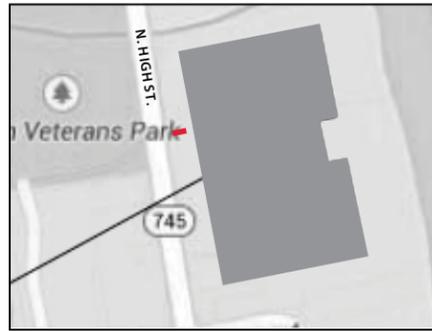


MASTER SIGN PLAN: BRIDGE PARK WEST
WAYFINDING





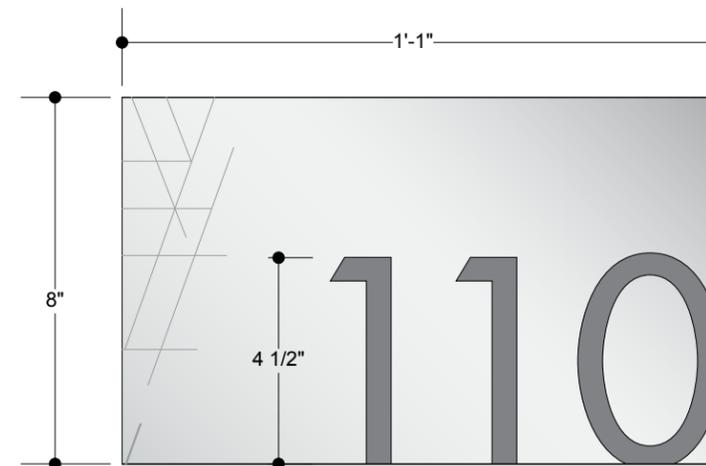
This kiosk serves the dual purpose of a pedestrian direction/information point and a wayfinding sign to direct vehicles to the parking garage. It is located within the right-of-way to preserve maximum visibility. Locations behind right-of-way do not offer sufficient visibility to N. High St. per USSC Sign Legibility guidelines.



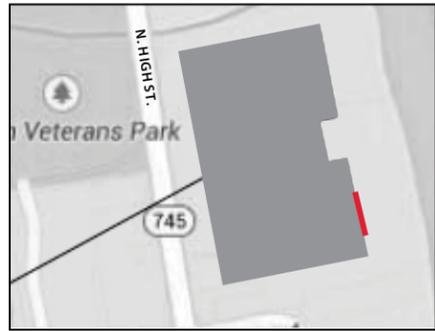
Southbound Vehicular Approach (High Street Entrance)



High St. – North Lobby Entrance



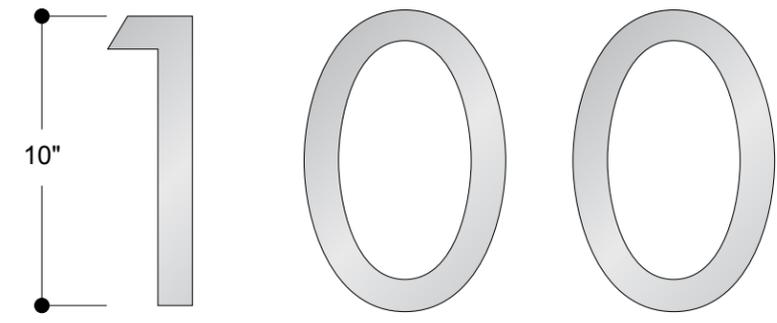
Typical Building/Tenant Address Plaque



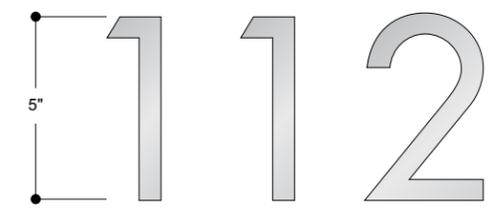
Riverview St. Residential Lobby Entrance



Riverview St. Private Residence Entrance



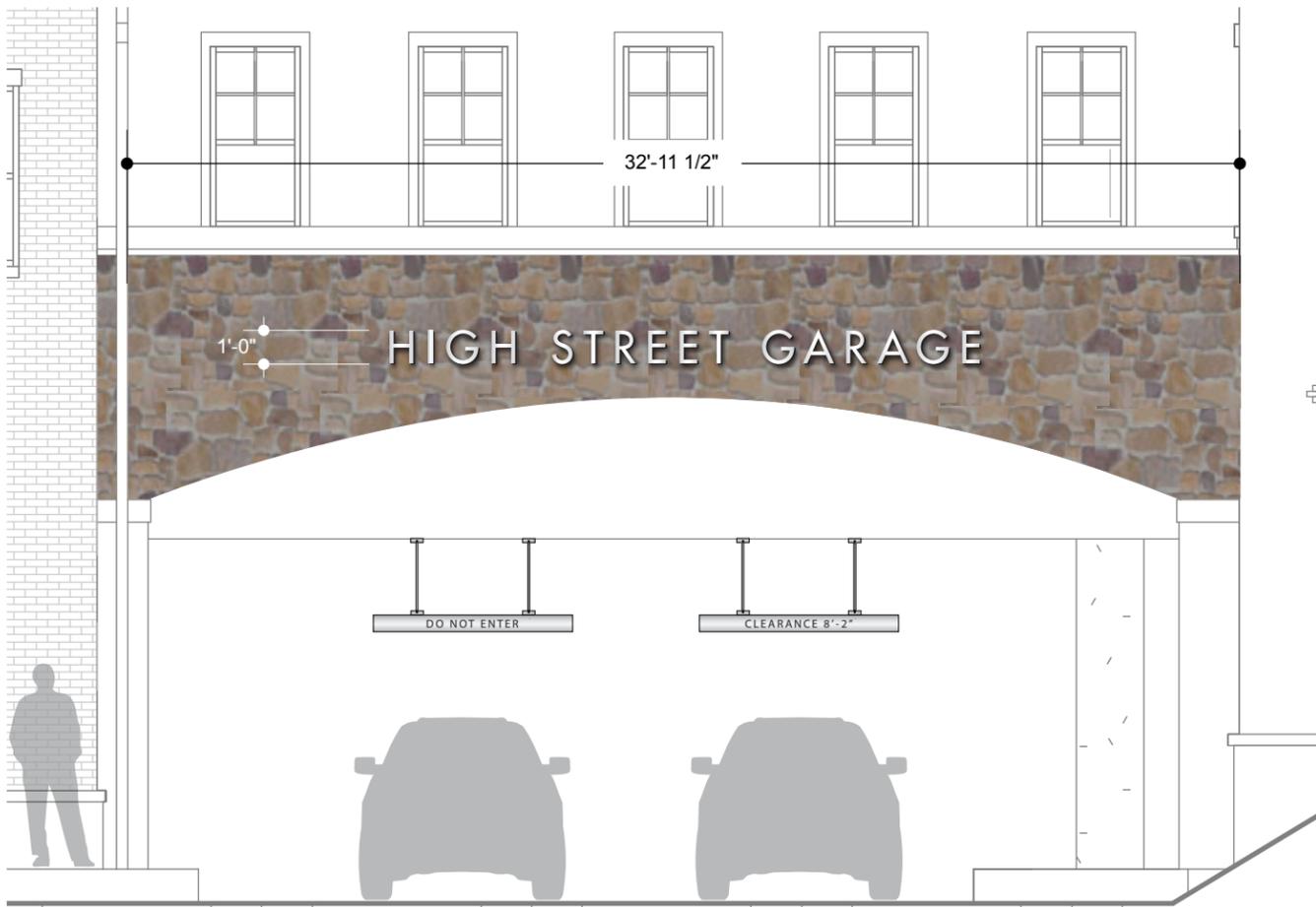
Typical Lobby Address Numerals



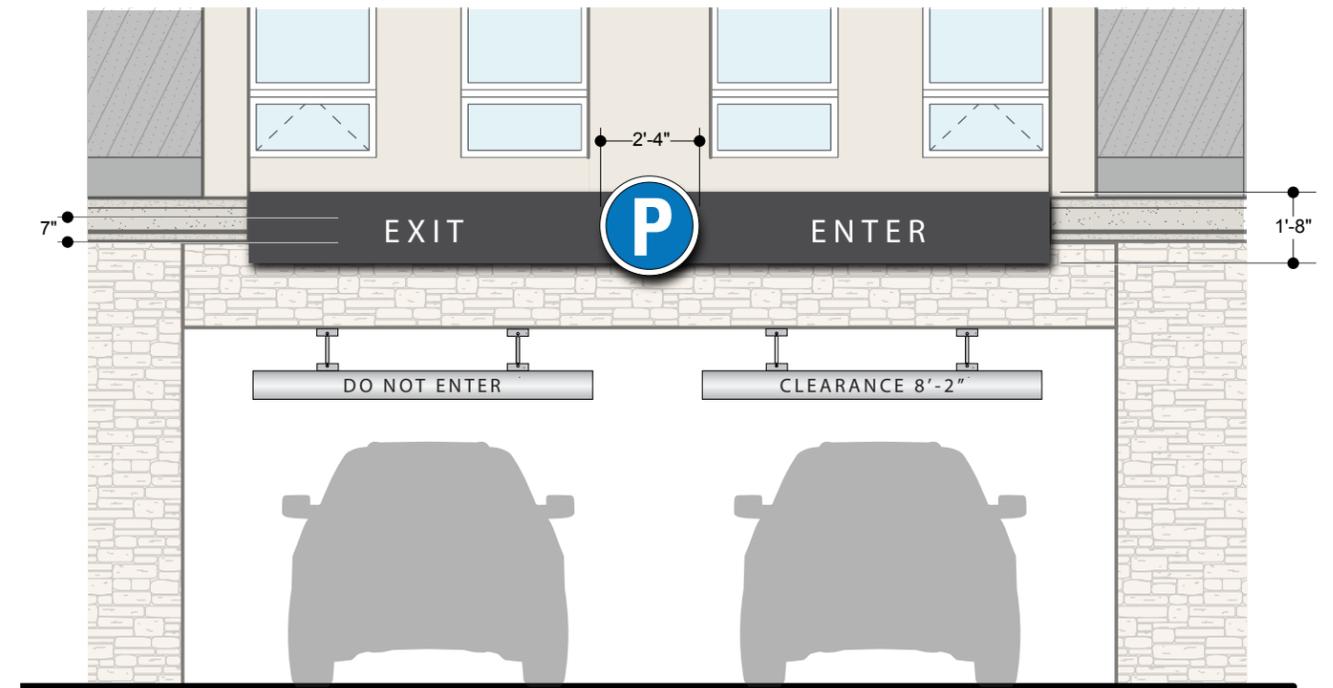
Typical Private Residence Address Numerals



MASTER SIGN PLAN: BRIDGE PARK WEST
PARKING GARAGE
EXTERIOR SIGNAGE



West Elevation – Entrance from Tuller Ridge Rd.



East Elevation – Entrance from Riverview St.