

the grand salon | *Charles Penzone*
dublin, ohio | **march 7, 2015**

meyers+associates
ARCHITECTURE

chute
GERDEMAN

ADVANCED
CIVIL DESIGN

POD design



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OBC 2011 Code Analysis

PART I. Project Parameters and Assumptions

Single story salon facility (New Construction):

Building Area: (sf)	
First Floor	12,000 sf
Building Height:	1 Story w/ Mechanical Mezzanine Maximum height per zoning code = 64'-0" (4.5 Stories)
Parking:	On Site Parking (Refer to Zoning Analysis)

PART II. Code Analysis

Chapter 3 - Use and Occupancy Classification

Primary Use Group: B (Business)

The proposed building will be primarily used as a Salon with possible accessory uses such as Retail and Storage.

Definition B (Business): Business Group B occupancy includes, among others, the use of a building or structure, or a portion thereof, for office, professional or service-type transactions, including storage of records and accounts.

Definition M (Mercantile): Mercantile Group M occupancy includes, among others, the use of a building or structure or a portion thereof, for the display and sale of merchandise and involves stocks of goods, wares or merchandise incidental to such purposes and accessible to the public.

Definition S (Storage): Storage Group S occupancy includes, among others, the use of a building or structure, or a portion thereof, for storage that is not classified as a hazardous occupancy.

Chapter 5 - General Building Heights and Areas

	OBC 2011 allowable VB - Business	OBC 2011 allowable VA - Business	OBC 2011 allowable IBB - Business
Table 503 Data			
area	9,000 sf	18,000 sf	23,000 sf
height	40'	50'	55'
number of stories	2	3	3
area modifications			
frontage increase (/f)	+ 6,750 sf	+13,500 sf	+17,250 sf
sprinkler increase (/s)	+200%	+200%	+200%

Table 601 Fire Resistance Rating			
structural frame	0 hr	1 hr	0 hr
bearing walls			
exterior	0 hr	1 hr	0 hr
interior	0 hr	1 hr	0 hr
non bearing walls and partitions			
exterior (table 602 separation>30')	0 hr	0 hr	0 hr
interior	0 hr	0 hr	0 hr
floor construction	0 hr	1 hr	0 hr
roof construction	0 hr	1 hr	0 hr

Types of Construction:

Type V: Type V construction is that type of construction in which the structural elements, exterior walls and interior walls are of any materials permitted by this code. See table above.

Type 2 Non-Combustible: Type II construction is that type of construction in which the building elements are of noncombustible materials. See table above

Chapter 9 - Fire Protection Systems

Section 903 Automatic Sprinkler Systems: The proposed building will have an automatic sprinkler system.

Chapter 10 - Means of Egress

Calculated Occupant Load
First Floor "B" 12,000 sf / 100 sf/occupant = 120 Occupants

OBC Table 1021.1 - Exits and Exit Access Doorways: The minimum number of exits/floor required for an occupancy load up to 500 is 2.

OBC 1015.2 - Separation of exits shall not be less than 1/3 of the maximum overall diagonal distance of the area served.

OBC Table 1015.2 - Exit Access Travel Distance for a B Use group (sprinklered): 300'-0"

OBC 1014.3 - Common Path of Egress Travel: Exception allowed for Business and Storage occupancies (sprinklered): 100'-0".

OBC 1018.1 - Corridor Fire Resistance Rating: 0 hr with sprinkler.

Chapter 29 - Plumbing Systems

The following plumbing fixtures are required for the occupant load calculated above.

Minimum Toilet Fixtures Required (Table 2902.1)

For Group B Occupancy (120 Occupants):

	Required
1 Water Closets/50 persons	3
1 Lavatory/ 80 persons	2
1 Drinking Fountain 100	2
Service sink	1

City of Dublin - Bridge Street District - Sawmill Ctr. Neighborhood Zoning Analysis

PART I. BUILDING TYPE

The site is located within the City of Dublin's Bridge Street District. Specifically the site falls within the "Sawmill Center Neighborhood" subsection of said District. The appropriate permitted building types within this neighborhood are Loft, Corridor, Mixed Use, Commercial Center, and Large Format Commercial Building. The most appropriate type is the Loft Building type:

Loft Building - 2 stories minimum | 4.5 stories maximum. For a full list of requirements, see attached page 44 of the Bridge Street District Development Code.

PART II. PARKING REQUIREMENTS

12,000 s.f. New Building as Retail:
Minimum: 3 per 1000 s.f. = 36 spaces
Maximum: 125% of Minimum = 45 spaces

development team and consultants

owner:

Charles Penzone Salons

1480 Manning Parkway
Powell, Ohio 43065
Contact - Matt Dunlap
614.418.5350
<http://www.charlespenzone.com>

concept design team:

Chute Gerdeman

455 South Ludlow Street
Columbus, OH 43215
Contact - Bonnie Kyle
614.469.1001
<http://www.chutegerdeman.com>

architect of record:

Meyers+Associates Architecture

232 N. Third St., Suite 300
Columbus, Ohio 43215
Contact - Chris Meyers
614.221.9433
<http://www.meyersarchitects.com>

civil engineer:

Advanced Civil Design

422 Beecher Road
Gahanna, Ohio 43230
Contact - Tom Warner
614.428.7750
<http://www.advancedcivildesign.com>

landscape design:

POD Design

100 Northwoods Blvd., Suite A
Columbus, Ohio 43235
Contact - Steve Kolwicz
614.255.3399
<http://www.poddesign.net>



GENERAL NOTES

1. City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions and any supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items unless otherwise noted. If a conflict between the specifications is found, the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of Columbus Manual unless otherwise noted.

2. The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for follow by the Contractor to perform work according to contract documents.

3. The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Ohio EPA Permits to Install (PTI) and Notices of Intent (NOI), Bailing Permits, etc.

4. The Contractor shall notify the City of Dublin Division of Engineering in writing at least 3 working days prior to beginning construction. The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons (including employees) and property. The Contractor shall be responsible for the maintenance of the site, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.

5. Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the Division of Engineering that documents "as-built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who sealed the construction drawings.

7. The Contractor shall restrict construction activity to public right-of-way and areas defined as permanent and/or temporary construction assemblies, unless otherwise authorized by the City Engineer.

8. The Contractor shall carefully preserve landmarks, property corners, reference points, stakes and other survey reference measurements or markers. In cases of utility relocation, the Contractor shall be responsible for replacements. Reestablishing of markers shall be performed by an Ohio Professional Surveyor as required by the City Engineer.

9. Non-rubbed tinted windows shall not be moved on or across public streets or highways without the written permission of the City Engineer.

10. The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or watercourses that are disturbed by construction shall be restored to original cross-sections that existed before construction.

11. Trading or spilling mud, oil or debris upon streets, residential or commercial areas, sidewalks or public infrastructure shall be prohibited. Section 97.38 of the Dublin Code of Ordinances. Any such occurrence shall be deemed as immediately by the Contractor. The cost to the City if the Contractor fails to remove said mud, dirt, debris, or spillage, the City reserves the right to remove these materials and clean affected areas, the cost of which shall be the responsibility of the Contractor.

12. Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) is not permitted.

13. All signs, landscaping, structures or other appearances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.

14. All field lines or excavated areas during construction shall be replaced or repaired and connected to the public storm sewer system as required by the City Engineer. The cost of this work shall be the responsibility of the Contractor.

15. All precast concrete products shall be inspected at the location of manufacture. Approved precast concrete products will be stamped or have such identification marking that inspection has been conducted by the City of Columbus. Precast concrete products without proof of inspection shall not be approved for installation.

16. Backfill within a 1' Influence line of existing structures (houses, garages, etc.) or public infrastructure (government, courts, schools, bike paths, etc.) shall be compacted granular backfill according to item #12 of the Standard Specifications or Flexible COT, Type II according to item #36, Item #11 of the Standard Specifications shall be used elsewhere.

17. The Contractor shall submit a copy of the approved construction drawings and a list of approved precast concrete product manufacturers to the City of Columbus, Construction Inspection Division before beginning construction.

Send the information to the following address:

Construction Inspection Division
City of Columbus
160 East 17th Avenue
Columbus, Ohio 43219

Send a copy of the transmittal letter to the following address:

Division of Engineering
City of Dublin
2600 Deer Run Road
Dublin, Ohio 43016

18. All trenches within public right-of-way shall be backfilled according to the approved construction drawings or poured in place during nonworking hours. Trenches outside these areas shall be backfilled or shall be protected by approved temporary lighting or barricades during nonworking hours. Clean up shall follow closely behind the trenching operation.

19. All trees within the construction area not specifically designated for removal shall be preserved, whether shown or not shown on the approved construction drawings. Trees to be preserved shall be protected with high visibility fencing placed a minimum 15 feet from the tree trunk. Trees 6 inches or greater at DBH (Diameter Breast Height) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater. Trees not indicated on the approved construction drawings for removal may not be removed without prior approval of the Division of Engineering.

20. Delete

21. Delete

22. Delete

23. Tree trimming within the construction zone is to be completed by a certified Arborist. At the completion of the project, the Arborist is to return and trim any broken branches as needed.

24. Any modification to the work shown on drawings must have prior written approval by the City Engineer, City of Dublin.

25. All inlets shall be channeled.

26. Park areas shall be fine-graded and seeded with the following mixture:

Improved Kentucky Bluegrass: 40% of weight (2 varieties in equal parts) Improved Perennial Ryegrass: 60% of weight (2 varieties in equal parts) Germination Rate: 85% application Rate: 7 lbs per 1000 sq ft or directed by the Division of Parks and Recreation, City of Dublin, Ohio.

27. Traffic control and other regulatory signs shall be Type S with a square post and/or base installation and meet the requirements of DOT TC-41.20 and applicable City of Dublin specifications.

28. Street signs shall meet all City of Dublin specifications with lettering colored in white displayed over a brown background. Sign tubing shall be brown. Front and control signs shall be marked with reflective sheeting. The City Engineer shall be responsible for the placement of the signs. The City Engineer shall be responsible for the placement of the signs. The City Engineer shall be responsible for the placement of the signs.

UTILITIES

1. The following utilities are known to be located within the limits of this project:

GAS
COLUMBIA GAS OF OHIO, INC.
1600 DUBLIN ROAD
COLUMBUS, OHIO 43215
(614) 481-1000

ELECTRIC
AMERICAN ELECTRIC POWER
850 TECH CENTER DRIVE
GAMMA, OHIO 43230
(614) 883-6811

COMMUNICATION
THE WARNER CABLE
1286 DUBLIN ROAD
COLUMBUS, OHIO 43215
(614) 481-5000

FRONTIER COMMUNICATIONS
(800) 982-8772

AT&T
111 N. 4TH STREET
COLUMBUS, OHIO 43215
(614) 223-5780

DUBLIN
CITY OF DUBLIN
1000 DUBLIN ROAD
DUBLIN, OHIO 43016
(614) 410-4750

CITY OF COLUMBUS
CITY OF COLUMBUS
1250 PARKWOOD AVENUE
DUBLIN, OHIO 43016
(614) 410-4750

CITY OF COLUMBUS
DIVISION OF POWER AND WATER
3168 INDIANOLA AVENUE
COLUMBUS, OHIO 43214
(614) 442-7366

CITY OF COLUMBUS
DIVISION OF SEWERS AND DRAINS
1250 PARKWOOD AVENUE
DUBLIN, OHIO 43016
(614) 442-7100

2. The Contractor shall give notice of intent to construct to Ohio Utilities Protection Service (telephone number 800-362-2746).

3. The Contractor shall be responsible for the location of the underground utility. The City of Dublin and the City Engineer reserves the right to inspect the location of the underground utility. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility.

4. Location, support, protection and restoration of all existing utilities and appearances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.

5. When shown or accurately located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.

6. Public street lighting may be in the vicinity of this project. Contact the City of Dublin, Division of Engineering at 410-4637, two days prior to beginning work.

TRAFFIC CONTROL

1. Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Ohio Manual of Uniform Traffic Control Devices (MUTCD), current edition.

2. All traffic lanes of public roadways shall be fully open to traffic from 10:00 AM to 6:00 PM, 7 days a week. At all other hours the Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility.

3. If the City Engineer determines that the Contractor is not providing proper provisions for traffic control, the City Engineer shall assign unaffiliated, off-duty police officers to the project at no cost to the City.

4. Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.

5. Access from public roadways to all adjoining properties for existing residential or businesses shall be maintained throughout the duration of the project. All public water and sanitary sewer service, and emergency vehicles, the Contractor will provide a traffic control plan detailing the proposed duration of traffic disruption. The traffic control plan must incorporate any traffic control details contained herein. The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.

EROSION AND SEDIMENT CONTROL

1. The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Ohio EPA. The NOI must be submitted to EPA 45 days prior to the start of construction. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility.

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6. The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.

7. Disturbed areas that will remain unworked for 30 days or more shall be seeded or protected within seven calendar days of the disturbance. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility.

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30 or equal as approved by the City Engineer.

B. Rubber gasket compression.
1) Press Wedge II as manufactured by Press-Seal Gasket Corporation.
2) Press Wedge II as manufactured by Dura Tech, Inc.
3) Link-Seal as manufactured by Thunderbolt Corporation.

The cost for this work along with a new channelized base for the manhole shall be included in the unit bid price for the related items of approval of the construction drawings.

WATER LINE

1. All water line materials shall be provided and installed according to current specifications of the City of Columbus Division of Water.

2. All public water pipe with a diameter 3 inches to 8 inches shall be Ductile Iron, Class 53. Public water pipe 12 inches in diameter or larger shall be Ductile Iron, Class 54. Public water pipe 20 inches in diameter or larger may be prestressed concrete pipe. Private water pipe shall meet the approval of the City of Columbus Division of Water prior to approval of the construction drawings.

3. Only fire hydrants conforming to City of Columbus standards will be approved for use.

4. Public water lines shall be disinfected by the City of Columbus Division of Water. Requests for water line disinfection shall be made through the City of Dublin Division of Engineering. The cost for disinfection shall be paid for by the Contractor.

5. All water lines shall be disinfected according to item 801.13 of the Standard Specifications. Special attention is directed to appropriate sections of American Water Works Association specification C-601, particularly for flushing (Section 5) and for disinfecting valves and fittings (Section 7). Pressure testing shall be performed in accordance with Section 801.12 of the City of Columbus Division and Material Specifications. When water lines are ready for disinfection, the City of Dublin shall submit two (2) sets of "as-built" plans, and a letter stating that the water lines have been pressure tested and need to be disinfected, to the City of Columbus Division of Water. The Contractor shall be responsible for all costs associated with the use of all water line construction per this plan. Pressure testing shall be performed in accordance with Section 801.12 of the City of Columbus Division and Material Specifications.

6. The Contractor shall submit all the hydrants according to City of Dublin standards. The cost of placing fire hydrants shall be included in the contract unit price for the fire hydrants.

7. No water taps or service connections (e.g., curb stop or meter pits) may be issued until adjacent public water lines serving the project are installed. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility.

8. The Contractor shall notify the City of Columbus Division of Water at 645-7788 and the City of Dublin Division of Engineering at least 24 hours before tapping into existing water lines.

9. All water main stationing shall be based on street centerline stationing.

10. All joints, joint deflections and fittings shall be backed with concrete per City of Columbus standards.

11. The Contractor shall give written notice to all affected property owners at least 1 working day but not more than 3 working days prior to any temporary interruption of water service. Interruption of water service shall be minimized and must be approved by the City Engineer.

12. Water meters shall be installed inside proposed structures unless a meter pit installation is approved by the City of Columbus Division of Water. Meter pits must conform to standard drawings 1-7103, A&B for 5/8" through 1" meters or L-6317, A, B, C&D for 1-1/2" or larger meters.

13. Water lines to be installed in embankment areas shall be placed in trenches. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility.

14. Curb stop boxes shall be located at least 1 foot inside the right-of-way and set at finished grade.

15. If the top of the operating nut of any valve is greater than 36 inches below finished grade, an extension stem shall be furnished to bring the top of the operating nut to within 24 inches of finished grade elevation.

16. All water lines shall be placed at a minimum depth of 4 feet unless otherwise noted. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility.

17. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility.

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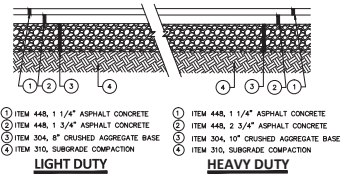
22. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible for the location of the underground utility.

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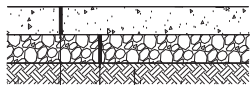
26. The Contractor shall be responsible for the location of the underground utility. The Contractor shall be responsible



NOTES: ALL PAVEMENT MATERIALS SHALL CONFORM TO THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT.

TYPICAL PAVEMENT SECTIONS

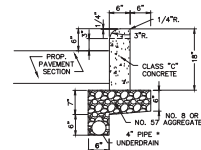
(NO SCALE)



NOTE: CONCRETE PAVING, CMSC ITEM 452 SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 1. 4000 PSI COMPRESSIVE STRENGTH, 600 PSI FLEXURAL STRENGTH.
 2. 5-7% ENTRAINED AIR WITH APPROVED WATER-REDUCING AND RETARDING ADMIXTURES.
 3. CONSTRUCTION JOINTS SHALL BE SPECIFIED BY CONTRACTOR AS A PART OF THE CONTRACT BID.
 4. CONCRETE PAVING SHALL HAVE A LIGHT BROOM FINISH.
 5. CURING COMPOUND SHALL BE APPLIED AS PER CMSC ITEM 451.10.

CONCRETE PAVEMENT SECTION & DETAILS

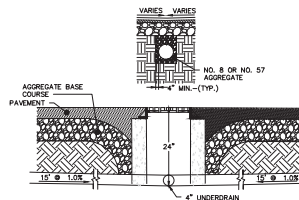
(NO SCALE)



* CONTRACTOR SHALL VERIFY REQUIREMENTS FOR CURB UNDERDRAIN WITH THE OWNER. ANY UNDERDRAIN PLACED SHALL BE PROVIDED AN OUTLET TO THE PROPOSED STORM SYSTEM. POSITIVE DRAINAGE SHALL BE MAINTAINED.

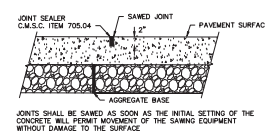
STRAIGHT 18" CONCRETE CURB

(NO SCALE)



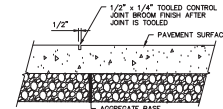
* 4" PERFORATED UNDERDRAIN - SEE STORM SEWER PLAN FOR LOCATIONS. THE PERFORATED PIPE SHALL BE PROTECTED FROM HEAVY TRAFFIC AFTER INSTALLATION PRIOR TO PLACEMENT OF PROPOSED PAVING.

TYPICAL 4" UNDERDRAIN DETAIL



SAWED CONTROL JOINT DETAIL*

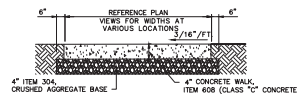
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TOOLED CONTROL JOINT DETAIL*

(NO SCALE)

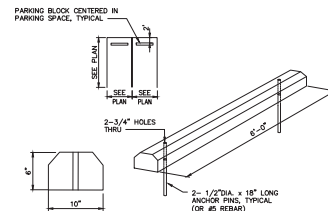
* : CONSTRUCTION JOINTS MAY BE SAWED OR TOOLED AS DIRECTED BY THE CONSTRUCTION MANAGER.



SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

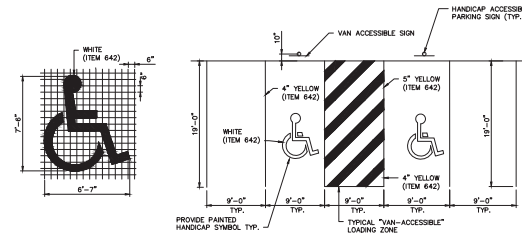
SIDEWALK SECTION

(NO SCALE)



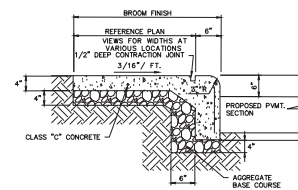
CONCRETE WHEEL STOP DETAIL

(NO SCALE)



TYPICAL PARKING AND HANDICAP SPACE

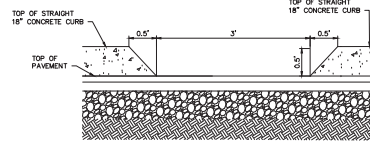
(NO SCALE)



NOTE: SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

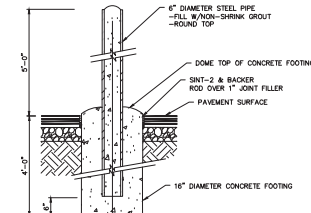
STANDARD COMBINED CURB AND WALK

(NO SCALE)



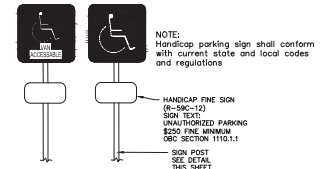
CURB OPENING DETAIL

(NO SCALE)



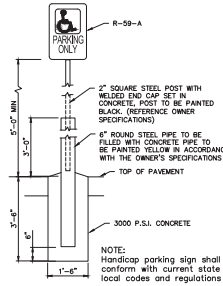
EXTERIOR BOLLARD DETAIL

(NO SCALE)



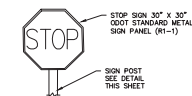
HANDICAP PARKING & VAN ACCESSIBLE SIGN DETAIL

(NO SCALE)



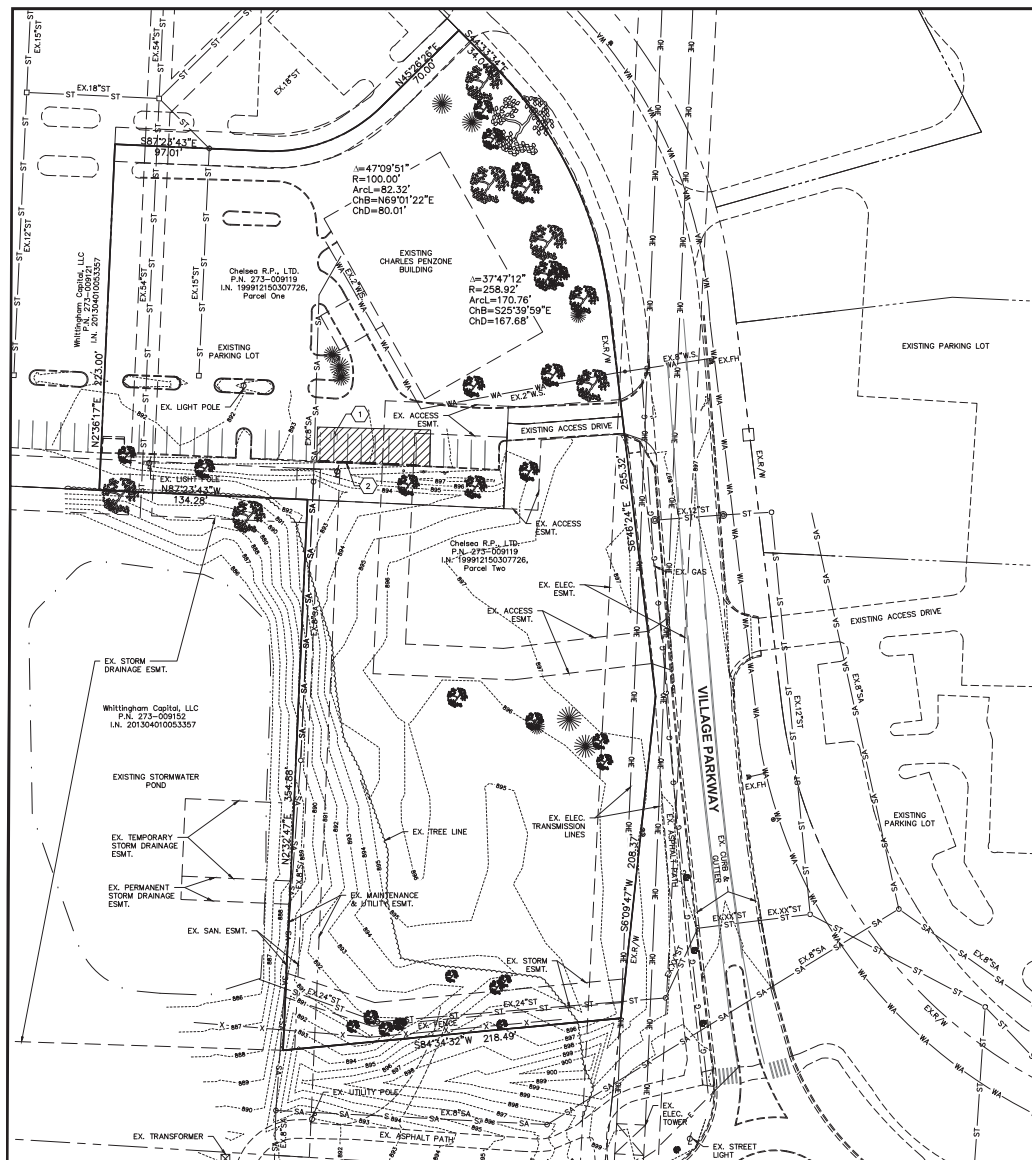
HANDICAP PARKING SIGN DETAIL

(NO SCALE)



STOP SIGN

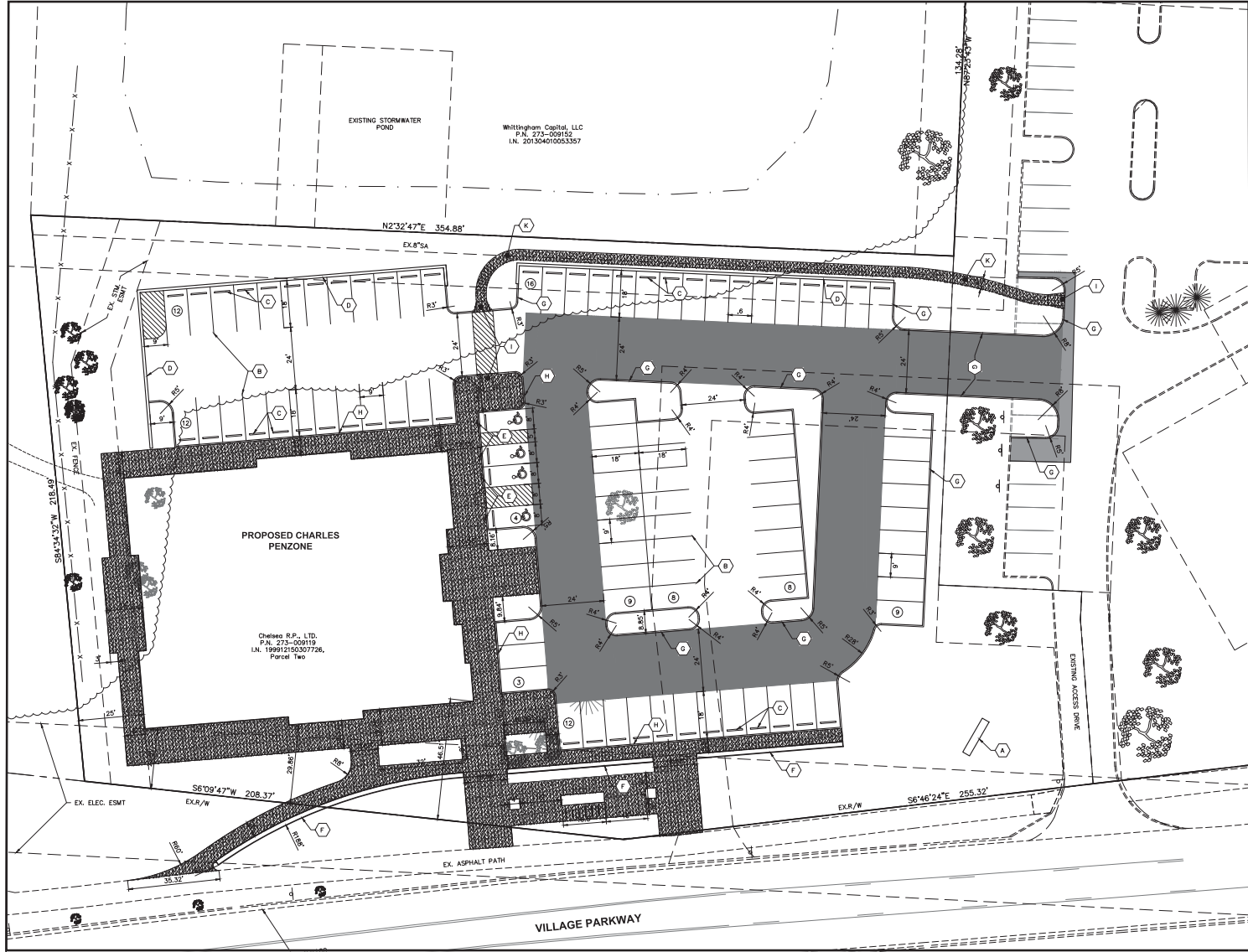
(NO SCALE)



CODED NOTES

- ① REMOVE ASPHALT PAVEMENT
- ② REMOVE CONCRETE CURB

LEGEND	
SA — SA — SA	MANHOLE
ST — ST — ST	MANHOLE
WA — WA — WA	HYDRANT
— T —	UNDERGROUND TELEPHONE
— G — G — G	GAS MAIN
— E — E — E	UNDERGROUND ELECTRIC
— UE — UE — UE	STREET LIGHT CONDUIT
— OHE — OHE —	OVERHEAD ELECTRIC
⊕	STREET LIGHT / LIGHT POLE
⊕	TRANSFORMER
⊕	UTILITY POLE
⊕	TREES
⊕	SIGN POST
— X — X — X — X —	FENCE



CODED NOTES

- (A) DEVELOPMENT SIGN
- (B) 4" PARKING SPACE LINES
- (C) PARKING BLOCKS
- (D) RETAINING WALL
- (E) HANDICAP PARKING SIGN
- (F) LANDSCAPE WALL
- (G) STRAIGHT 18" CURB
- (H) COMBINED CURB AND WALK
- (I) HANDICAP ACCESSIBLE RAMP
- (J) BIKE RACKS
- (K) CONCRETE SIDEWALK

LEGEND

- STANDARD DUTY PAVEMENT SECTION
- HEAVY DUTY PAVEMENT SECTION
- CONCRETE SIDEWALK/PAVEMENT SECTION
- (12) PARKING COUNT SYMBOL (TYP.)

PARKING CALCULATIONS

BUILDING REQUIRED:	12,000 SQ. FT.
PARKING PROVIDED:	2.5 SPACES PER 1000 S.F.
	= 30 SPACES
	83 SPACES
HANDICAP PARKING REQUIRED:	4 SPACES
HANDICAP PARKING PROVIDED:	4 SPACES
BICYCLE PARKING REQUIRED:	1 SPACES FOR EVERY 10
BICYCLE PARKING PROVIDED:	VEHICULAR SPACES = 10
	12

OPEN SPACE CALCULATIONS

REQUIRED OPEN SPACE:	1 SQ. FT. / 50 SQ. FT. OF COMMERCIAL AREA
COMMERCIAL AREA:	= 12,000 SQ. FT.
REQUIRED OPEN SPACE:	= 240 SQ. FT.
PROVIDED OPEN SPACE:	= 2503 SQ. FT.
OPEN SPACE TYPE:	= POCKET PLAZA

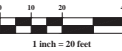
SITE ZONING INFORMATION

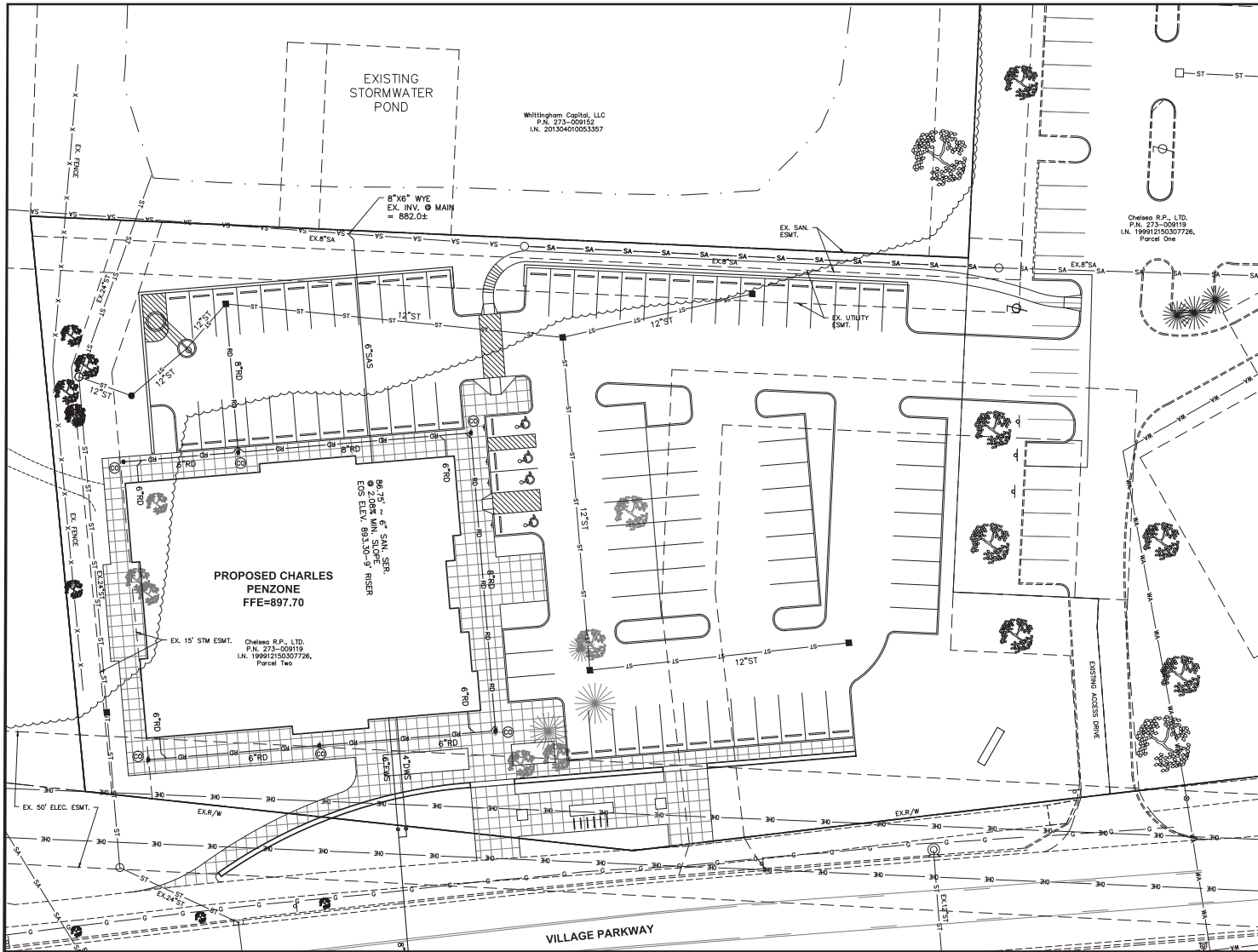
ZONING DISTRICT	= COMMUNITY COMMERCIAL
PROPOSED USE	= OFFICE, GENERAL
PROPOSED BUILDING TYPE	= LOT BUILDING
OWNER	= CHELSEA R.P., LTD.
TAX DISTRICT	= CITY OF DUBLIN-WASH TWP
PARCEL NUMBER	= 273-009119

LOT BUILDING REQUIREMENTS	= MIN 75%
FRONT PROPERTY LINE COVERAGE	= 0-15 FEET
FRONT REQUIRED BUILDING ZONE REQUIRED	= 5 FEET
MINIMUM SIDE YARD SETBACK	= 5 FEET
MINIMUM REAR YARD SETBACK	= 5 FEET
MINIMUM LOT WIDTH	= 50 FEET
MAXIMUM LOT WIDTH	= NONE
MAXIMUM IMPERVIOUS COVERAGE	= 80%
MAXIMUM PARKING PERMITTED	= 125% OF MIN.

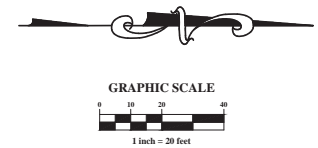


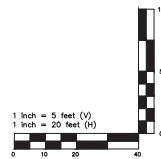
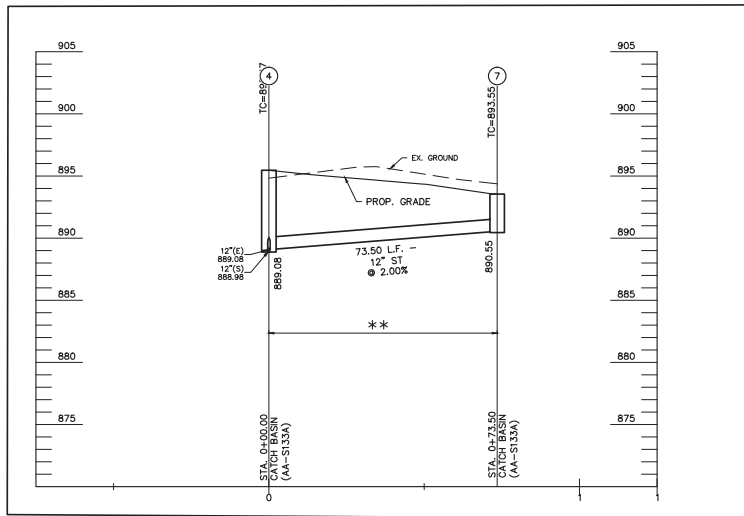
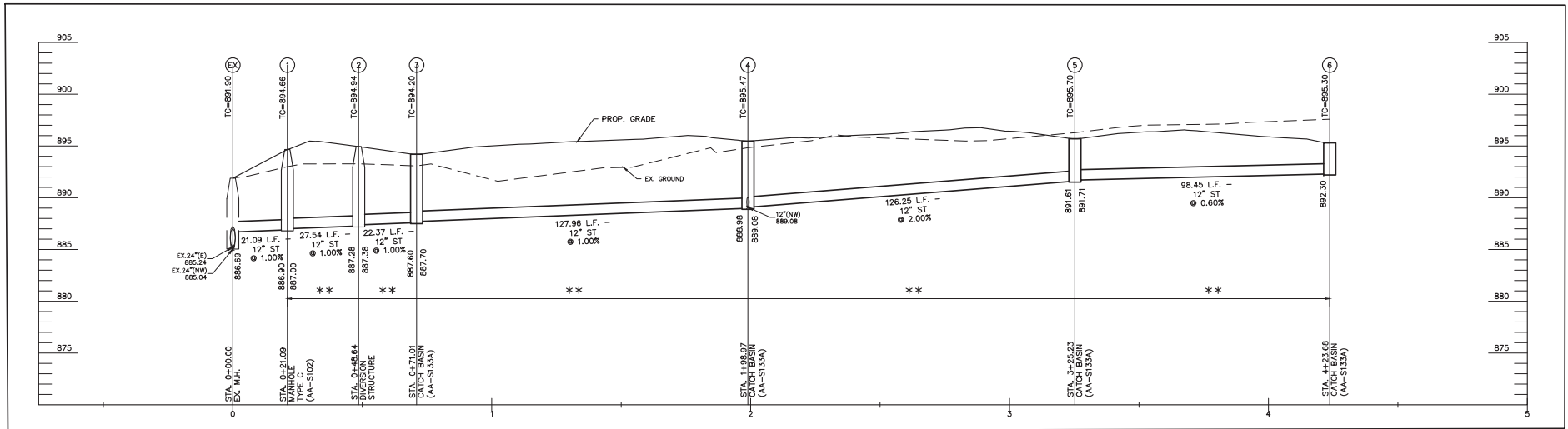
GRAPHIC SCALE





LEGEND	
SA	SANITARY SEWER
ST	STORM SEWER
WA	WATER
G	GAS MAIN
OHE	OVERHEAD ELECTRIC
ST/LP	STREET LIGHT / LIGHT POLE
UTL	UTILITY POLE
T	TREES
SP	SIGN POST
F	FENCE
MANHOLE	PROPOSED STORM SEWER
CATCH BASIN	PROPOSED ROOF DRAIN
CLEANOUT	PROPOSED SANITARY SERVICE
	PROPOSED WATER SERVICE





ALL TRENCH BACKFILL SHALL BE COMPACTED BACKFILL TO 95% OF MAXIMUM DRY WEIGHT AT OPTIMUM MOISTURE CONTENT ($\pm 2\%$) UNLESS NOTED AS:

** COMPACTED BACKFILL, ITEM 911

DENOTES AREA TO BE FILLED PRIOR TO INSTALLATION OF STORM SEWER PER ITEM 203 CONG.

NOTE: PER CHSS ITEM 911, WHERE NATURAL MATERIAL DOES NOT MEET THE REQUIREMENTS OF ITEM 911, THEN COMPACTED BACKFILL, ITEM 912, SHALL BE USED.



Plant List

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	COMMENTS
DECIDUOUS TREES						
	AC AB	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Red Maple	2.5" cal.	B&B	
	AM AR	Amelanchier arborea	Serviceberry	6' hgt.	B&B	Clump Form
	GI BI	Ginkgo biloba 'Prince Sentry'	Prince Sentry Ginkgo	2.5" cal.	B&B	
	GL TR	Gleditsia triacanthos var. inermis	Skyline Honeylocust	2.0" cal.	B&B	
	PL AC	Platanoides x acerifolia	Bloodgold London Planetree	2.5" cal.	B&B	
	SY IS	Syringa r. 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6' hgt.	B&B	Clump Form
	TI CO	Tilia c. 'Greenspire'	Greenspire Linden	2.5" cal.	B&B	
	UL PA	Ulmus parviflora	Lacebark Elm	2.5" cal.	B&B	Match Form
EVERGREEN TREES						
	PI AI	Picea abies	Norway Spruce	2.5" cal.	B&B	
	PI OM	Picea omorika	Serbian Spruce	2.5" cal.	B&B	
SHRUBS						
	CH GM	Chamaecyparis pisifera 'Golden Mop'	Golden Mop Falsecypress	2 gal.	B&B	
	CO IS	Cornus ser 'Isanti'	Isanti Red-Osier Dogwood	5' ht.	B&B	
	JU VI	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	3' ht.	No. 3 Cont.	
	RH GL	Rhus a. 'Gro-Low'	Gro-Low Fragrant Sumac	30" ht.	No. 3 Cont.	
	TA EV	Taxus x media 'Everlow'	Everlow Taxus	2 gal.	No. 3 Cont.	
PERENNIALS & ORNAMENTAL GRASSES						
	HE HR	Hemerocallis 'Happy Returns'	Happy Return Daylilies	1 gal.	Cont.	18" O.C.
	LI BB	Liriope 'Big Blue'	Big Blue Lilyturf	1 gal.	Cont.	12" O.C.
	MI SG	Miscanthus sinensis 'Gracillimus'	Maiden Grass	1 gal.	Cont.	18" O.C.
	PA VS	Panicum virgatum 'Shenandoah'	Shenandoah Grass	1 gal.	Cont.	18" O.C.
	SA DI	Salvia divinorum	Salvia	1 gal.	Cont.	18" O.C.
	SE AJ	Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gal.	Cont.	18" O.C.





SHEET NOTES

GENERAL FLOOR PLAN NOTES

- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE FROM FINISH TO FINISH UNLESS SHOWN OR NOTED OTHERWISE.
- REFER TO FINISH SCHEDULE FOR DETAILS SPECIFICATIONS AND CONTACT INFORMATION, A-600.
- REFER TO ARCHITECTURAL CONSTRUCTION DOCUMENTS PRIOR TO FINAL ENGINEERING AND FABRICATION.

1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

meyers+associates
ARCHITECTURE

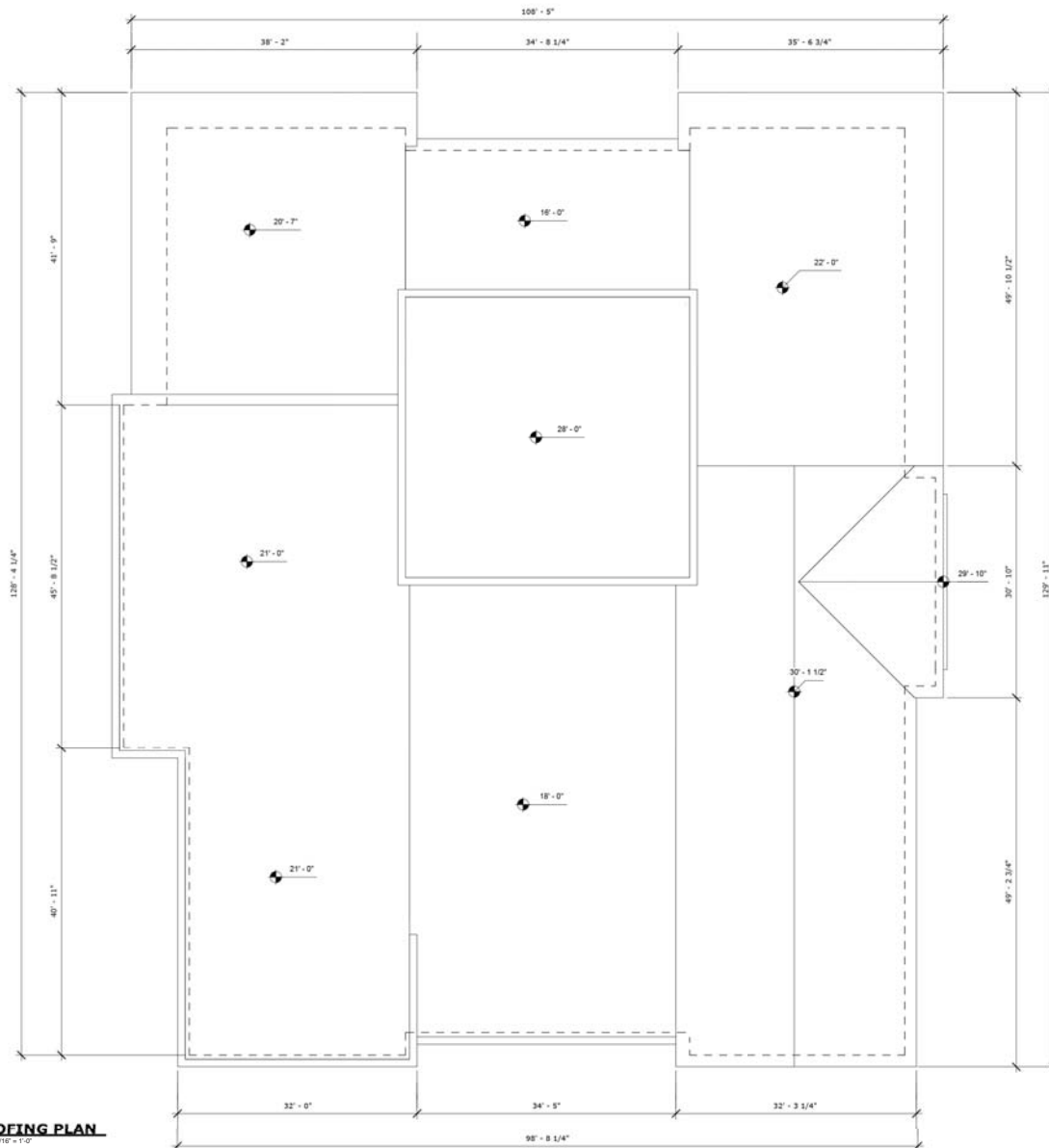
chute
GERDEMAN

ADVANCED
CIVIL DESIGN

POD design

architectural floor plan | the grand salon, dublin ohio

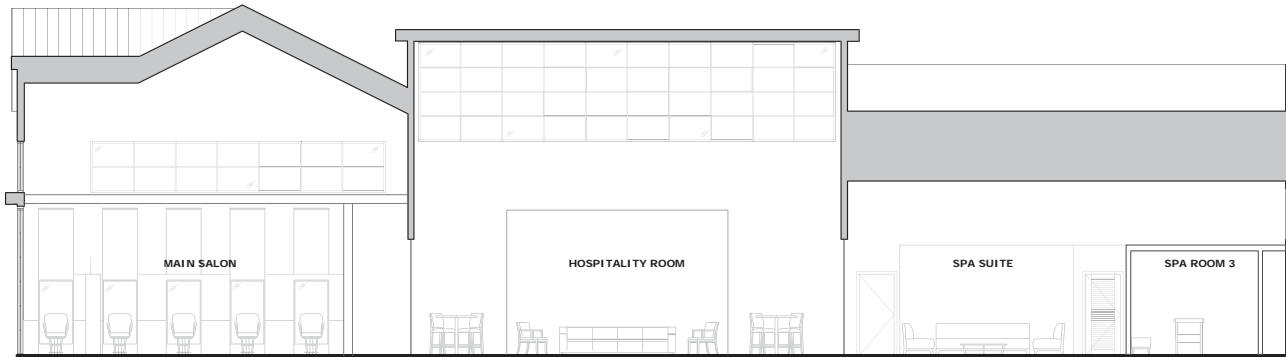
14



SHEET NOTES

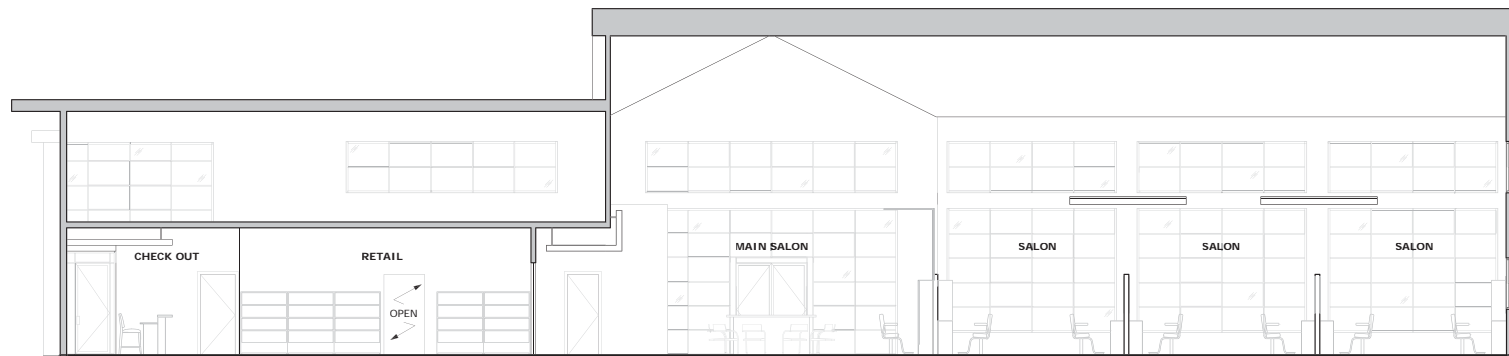
GENERAL NOTES

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- B. ALL DIMENSIONS ARE FROM FINISH TO FINISH UNLESS SHOWN OR NOTED OTHERWISE.
- C. REFER TO FINISH SCHEDULE FOR DETAILS.
- D. SPECIFICATIONS AND CONTACT INFORMATION: A-600.
- E. REFER TO ARCHITECTURAL CONSTRUCTION DOCUMENTS PRIOR TO FINAL ENGINEERING AND FABRICATION.



1 EAST / WEST SECTION

SCALE: 3/16" = 1'-0"

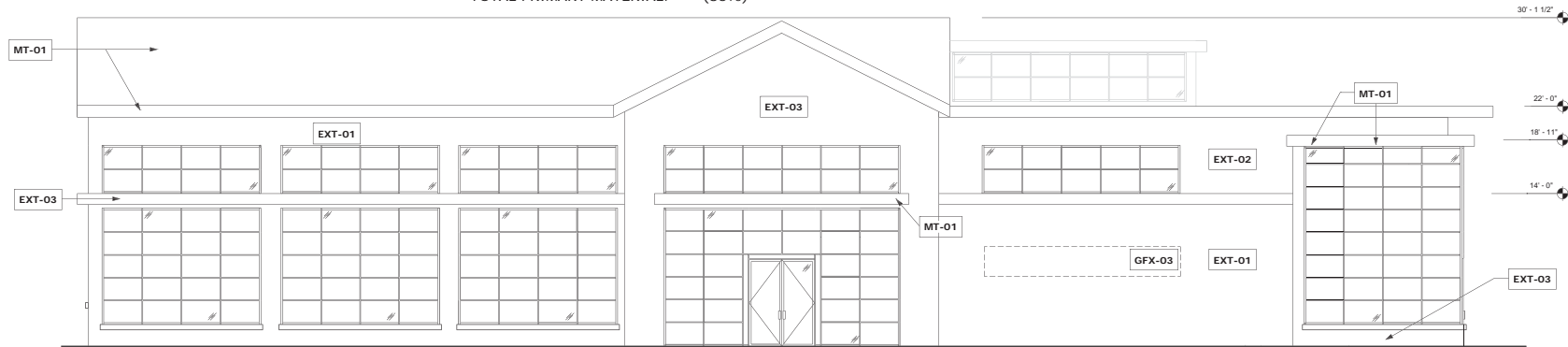


2 NORTH / SOUTH SECTION

SCALE: 3/16" = 1'-0"

TRANSPARENCY CALCULATION
 TOTAL TRANSPARENCY ZONE: 1514
 60% OF ZONE: 908
 CURRENT TRANSPARENCY: 916 (60.5%)

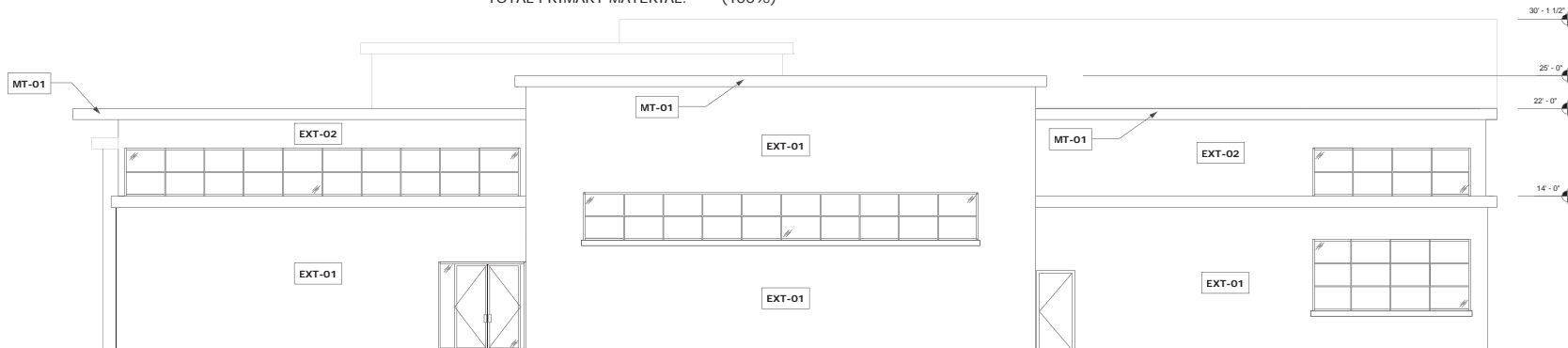
MATERIAL CALCULATION
 TOTAL FACADE: 2738 SF
 STONE MATERIAL: 1000 SF (37%)
 WOOD MATERIAL: 402 SF (14%)
 GLAZING: 1336 SF (49%)
 TOTAL PRIMARY MATERIAL: (86%)



1 EAST EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0"

TRANSPARENCY CALCULATION
 TOTAL TRANSPARENCY ZONE: 1497
 20% OF ZONE: 299
 CURRENT TRANSPARENCY: 334 (22%)

MATERIAL CALCULATION
 TOTAL FACADE: 2759 SF
 STONE MATERIAL: 2287 SF (83%)
 GLAZING: 472 SF (17%)
 TOTAL PRIMARY MATERIAL: (100%)



2 WEST EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0"

TRANSPARENCY CALCULATION

TOTAL TRANSPARENCY ZONE: 1160

20% OF ZONE: 696

CURRENT TRANSPARENCY: 667 (58%)

MATERIAL CALCULATION

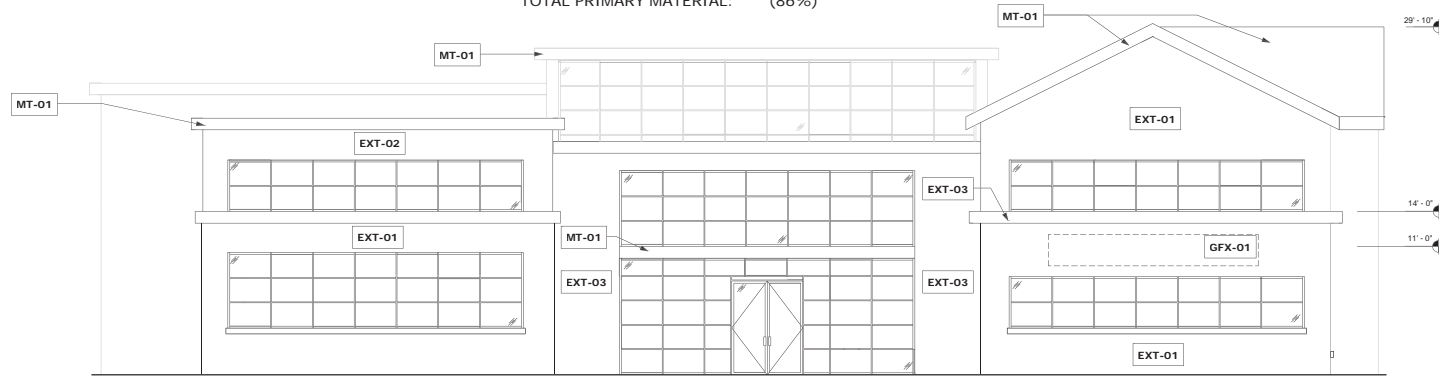
TOTAL FACADE: 2085 SF

STONE MATERIAL: 886 SF (42%)

WOOD MATERIAL: 280 SF (14%)

GLAZING: 919 SF (44%)

TOTAL PRIMARY MATERIAL: (86%)

**1 SOUTH EXTERIOR ELEVATION**

SCALE: 3/16" = 1'-0"

TRANSPARENCY CALCULATION

TOTAL FACADE: 1196 SF

20% OF FACADE: 239 SF

CURRENT TRANSPARENCY: 317 SF (26.5%)

MATERIAL CALCULATION

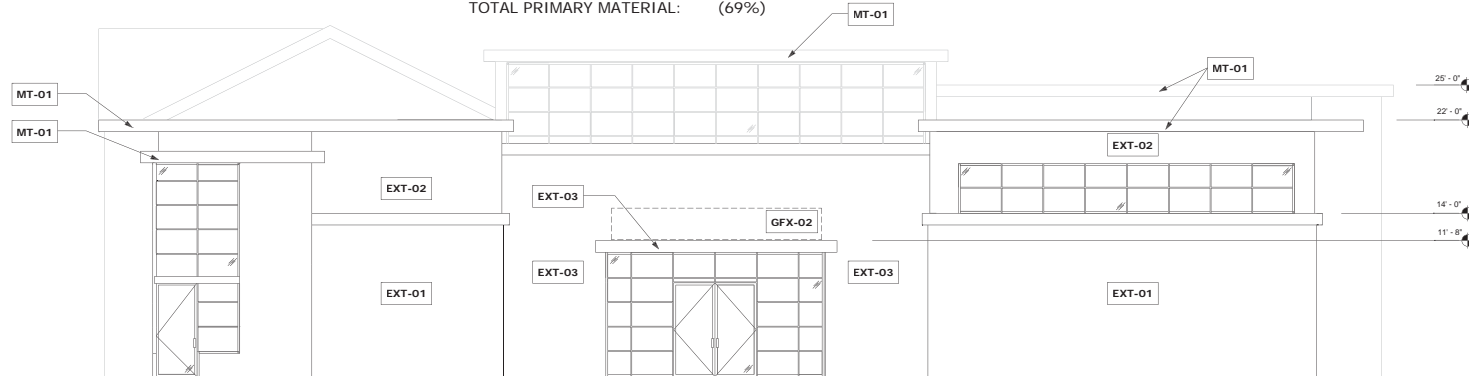
TOTAL FACADE: 2028 SF

STONE MATERIAL: 940 SF (46%)

WOOD MATERIAL: 620 SF (31%)

GLAZING: 468 SF (23%)

TOTAL PRIMARY MATERIAL: (69%)

**2 NORTH EXTERIOR ELEVATION**

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NORTH EXTERIOR ELEVATION



NORTHEAST CORNER





SOUTHEAST CORNER

