



BASIC SITE PLANS
FOR
BRIDGE PARK BLOCKS G & H
MAY 27, 2016
REVISED JUNE 21, 2016

TEAM



INDEX OF SHEETS

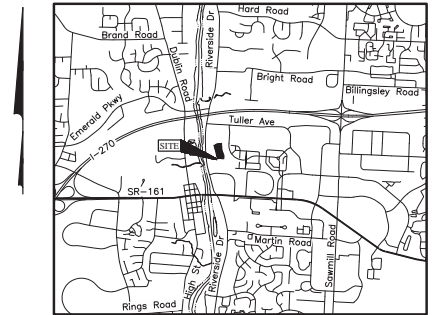
BLOCK G BASIC SITE PLAN

<u>Sheet Number</u>	<u>Sheet Name</u>	<u>Issue Date</u>	<u>Revised Date</u>
Cover Page			
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Building Variety Statement and Waiver Summary (8.5x11 attachment)			
Basic Site Plan			
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BSP 2	Existing Conditions Plan	May 27, 2016	June 21, 2016
BSP 3	Overall Site Plan	May 27, 2016	June 21, 2016
BSP 4	Site Plan	May 27, 2016	June 21, 2016
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Architectural Drawings			
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A007-G1	Roof Plan	May 27, 2016	June 21, 2016
A008-G1	West Elevation	May 27, 2016	June 21, 2016
A009-G1	South Elevation	May 27, 2016	June 21, 2016
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A003-G2/G3	Third Floor Plan	May 27, 2016	June 21, 2016
A004-G2/G3	Fourth Floor Plan	May 27, 2016	June 21, 2016
A005-G2/G3	Fifth Floor Plan	May 27, 2016	June 21, 2016
A006-G2/G3	Roof Plan	May 27, 2016	June 21, 2016
A007-G2/G3	West Elevation	May 27, 2016	June 21, 2016
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Parking Drawings			
ST1	Level 1 Parking Layout	May 27, 2016	June 21, 2016
ST2	Level 2 Parking Layout	May 27, 2016	June 21, 2016
ST3	Level 3 & 4 Parking Layout	May 27, 2016	June 21, 2016
ST4	Level 5 Parking Layout	May 27, 2016	June 21, 2016

BLOCK H BASIC SITE PLAN

<u>Sheet Number</u>	<u>Sheet Name</u>	<u>Issue Date</u>	<u>Revised Date</u>
Cover Page			
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BSP 4	Site Plan	May 27, 2016	June 21, 2016
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L1	Illustrative Site Plan	May 27, 2016	June 21, 2016
L2	Illustrative Site Plan Detail	May 27, 2016	June 21, 2016
Architectural Drawings			
	Cover	May 27, 2016	June 21, 2016
A-1	Architectural Site Plan	May 27, 2016	June 21, 2016
A-2	Building H1 Plan	May 27, 2016	June 21, 2016
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CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BASIC SITE PLAN
FOR
BRIDGE PARK BLOCK H
2016



LOCATION MAP
Not to Scale

SHEET INDEX

Title Sheet	BSP 1
Existing Conditions Plan	BSP 2
Overall Site Plan	BSP 3
Site Plan	BSP 4
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Landscape Tree Survey	BSP 8
Typical Sections	BSP 9-BSP 10

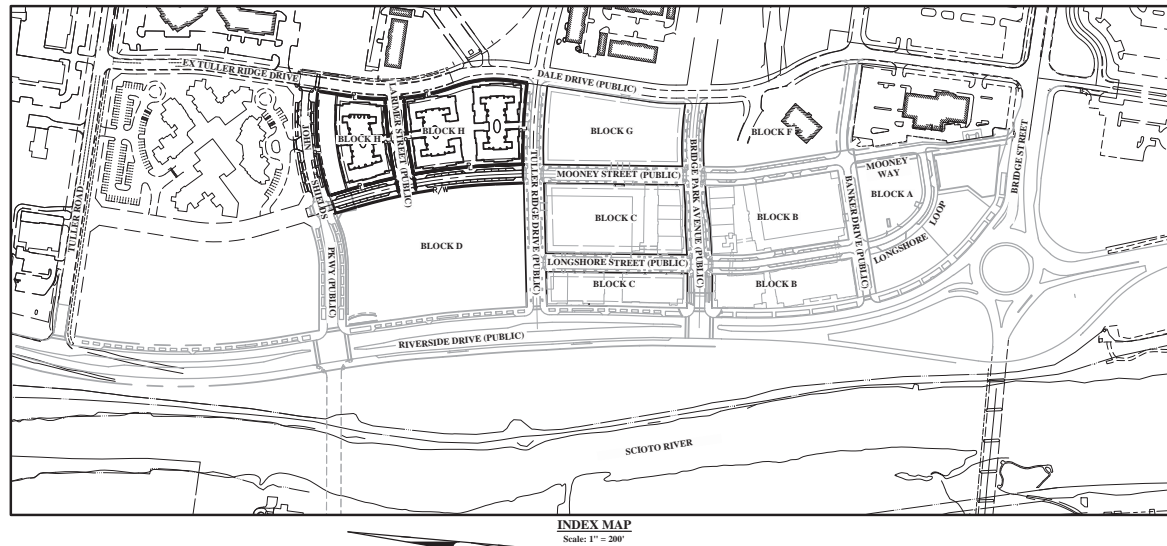
SITE DATA

Zoned BSD Scioto River Neighborhood District
See Sheet BSP 7 for Open Space Calculations
See Parking Calculations provided on Sheet BSP 6
Total Site Area: 5.02 Acres
Lot 10 Area: 5.28 Acres
Lot 11 Area: 1.08 Acres
Lot 12 Area: 85.45 Acres
Public R/W Area: 11.21 Acres

Building Summary

Building	Building Type	3 bed	2 bed	Total
H1	Single Family Attached	14	11	25
H2	Single Family Attached	12	10	22
H3	Single Family Attached	14	12	26

Front Property Line Coverage	
Lot 10 - Condominiums	80%
Lot 11 - Condominiums	97%



INDEX MAP
Scale: 1" = 200'

DEVELOPER/OWNER

Crawford Hoying
555 Metro Plaza North, Suite 600
Dublin, Ohio 43017
Tel: (614) 335-2020
Fax: (614) 850-9191
Nelson Toller

ENGINEER

DM&T Inc.
5500 New Albany Road
Columbus, Ohio 43054
Tel: (614) 775-4500
Fax: (614) 775-4800
Brian Duckenbush
(Primary Project Contact)

ARCHITECT

DBB Architects
52 East Lynn Street, Third Floor
Columbus, Ohio 43215
Tel: (614) 717-3001
David A. Keyser

ZONING

Zoned BSD Scioto River
Neighborhood District

LANDSCAPE ARCHITECT

MOCK
462 South Ludlow Alley
Columbus, Ohio 43215
Tel: (614) 621-2736
Fax: (614) 621-3604
John Woods

PROJECT DESCRIPTION

This project is a proposal for development on approximately 5.02 acres, for a condominium development located on the east side of Mooney Street, south of John Shields Parkway, west of Dale Drive, and north of Tuller Ridge Drive.

REVISIONS
DATE DESCRIPTION

CRAWFORD HOYING
development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BASIC SITE PLAN
BRIDGE PARK BLOCK H
TITLE SHEET

EMH-T
1000 Westwood Lakeside & 1500 N. Highways
Dublin, Ohio 43015
4600 Westwood Lakeside & 1500 N. Highways
Dublin, Ohio 43015
www.emh-t.com

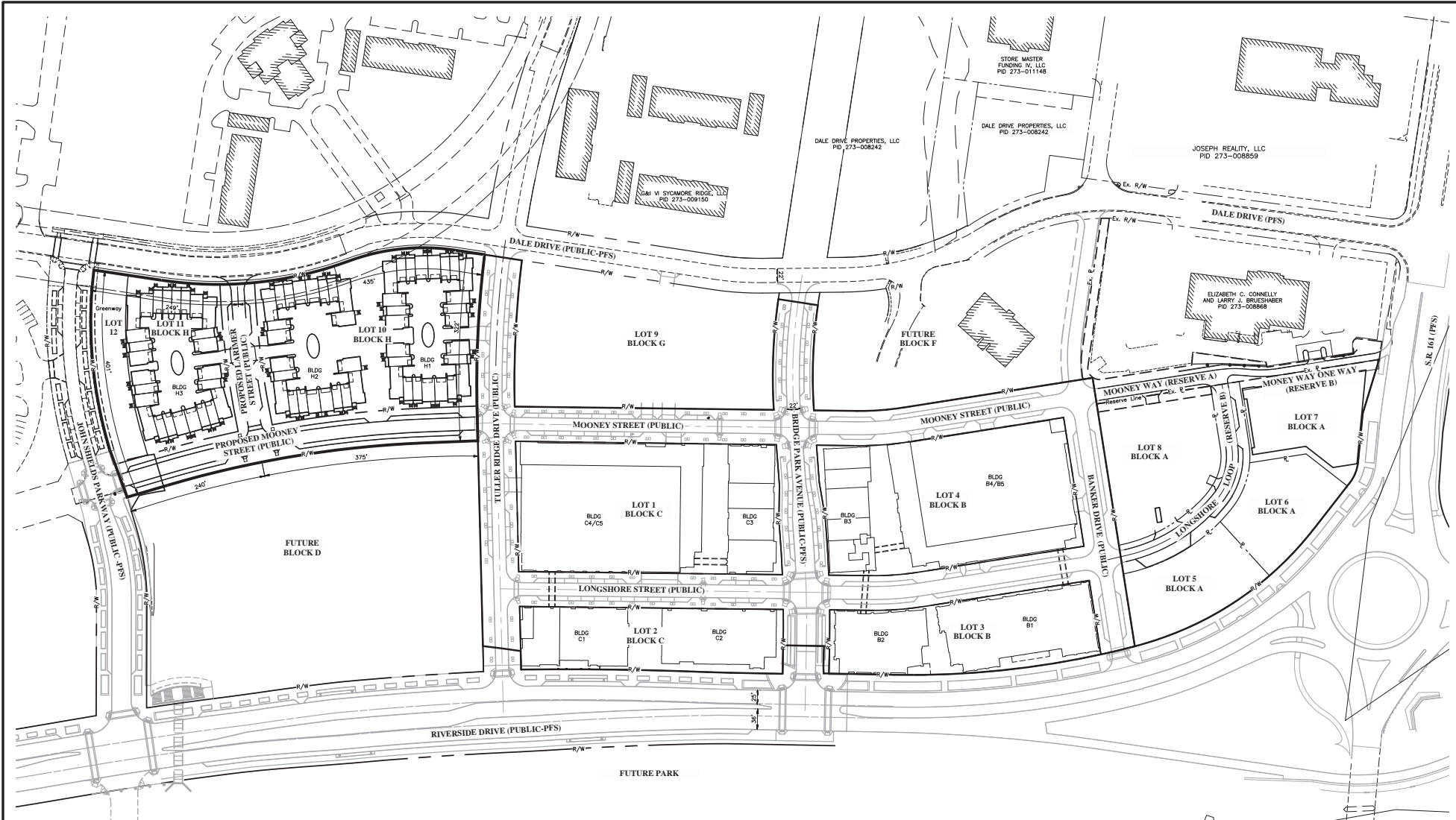
DATE
June 21, 2016

SCALE
As Noted

JOB NO.
2013-1481

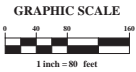
SHEET
BSP 1

20131481\Umg\MSheets\Basic Site Plan\Block A\BSP_11 3 Overall Site Plan.dwg, Last Saved By: Wilson, 6/20/2016 3:38 PM, Last Printed By: Wilson, 6/21/2016 11:51 AM



Street Families		
Riverside Drive (Public-PFS)	Corridor Connector Street	Varies 114 ft-138 ft Right of Way
S.R. 163 (Public-PFS)	Corridor Connector Street	
John Shields Parkway (Public-PFS)	District Connector Street	Varies 76 ft-87 ft Right of Way
Dale Drive (Public-PFS)	District Connector Street	Varies 60 ft-65 ft Right of Way
Bridge Park Avenue (Public-PFS)	District Connector Street	Varies 69 ft-80 ft Right of Way
Tuller Ridge Drive (Public)	Neighborhood Street	65 ft Right of Way
Mooney Street (Public)	Neighborhood Street	60 ft Right of Way
Banker Drive (Public)	Neighborhood Street	60 ft Right of Way
Longshore Street (Public)	Neighborhood Street	160 ft Right of Way

Block Dimensions					
Side Length (ft.)					
North	South	East	West	Allowable Length (ft.)	Perimeter (ft.)
401	322	435	375	500	1533



REVISIONS

NO.	DATE	DESCRIPTION

CRAWFORD HOYING
development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BASIC SITE PLAN
BRIDGE PARK BLOCK H
OVERALL SITE PLAN

EMHT

10000 Independence Avenue, Suite 100, Dublin, OH 43017
614.881.1111
www.emht.com

DATE
June 21, 2016

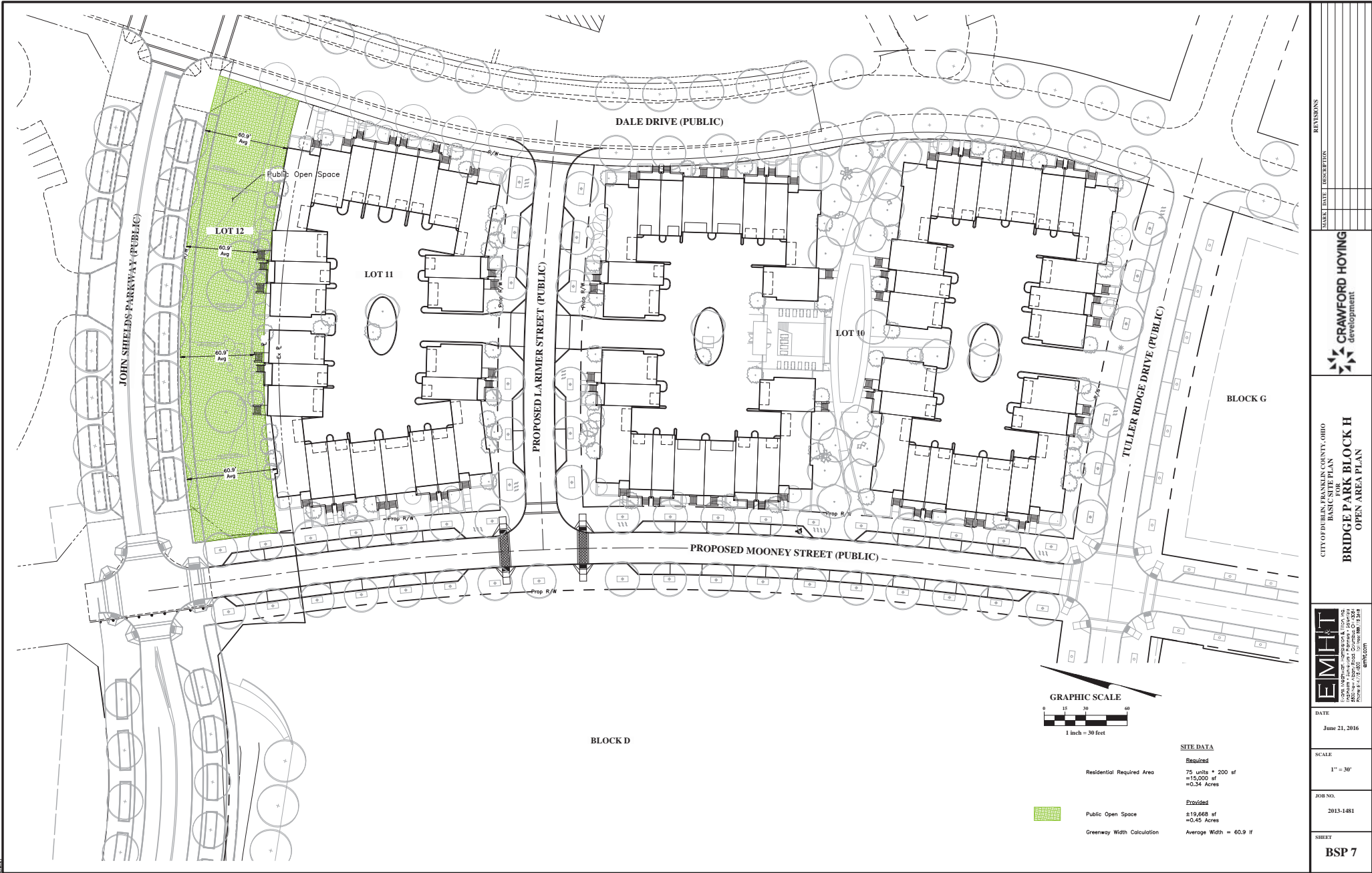
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JOB NO.
2013-1481

SHEET
BSP 3



\\20131481\Users\MSherwood\BSP-17-Open Area Planning-Last Saved By: wilton, 6/21/2016 11:11 AM Last Printed By: wilton, 6/21/2016 11:13 AM



REVISIONS

DATE DESCRIPTION



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BASIC SITE PLAN
BRIDGE PARK BLOCK H
OPEN AREA PLAN



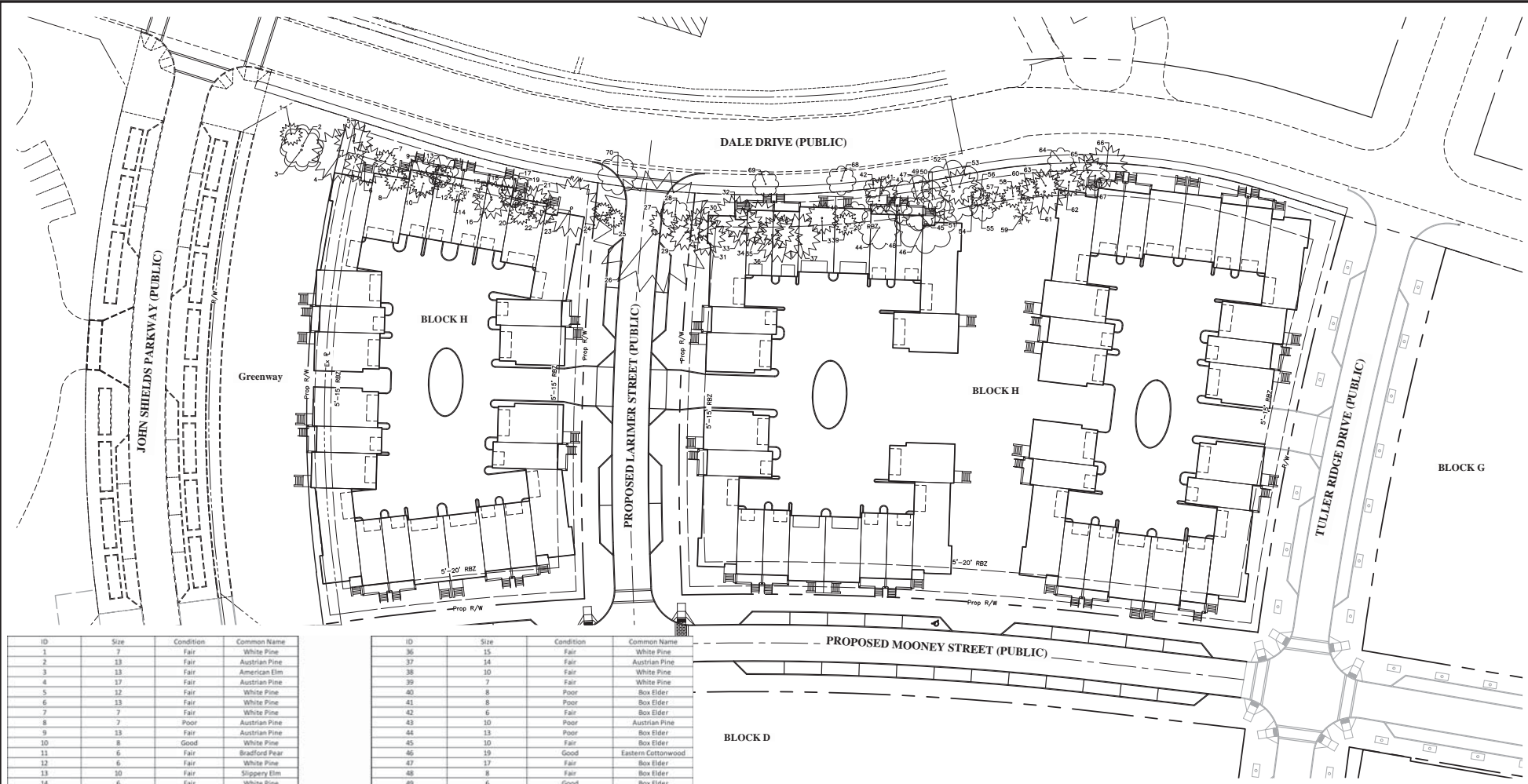
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June 21, 2016

SCALE
1" = 30'

JOB NO.
2013-1481

SHEET
BSP 7

\\c015148\Users\jwagner\BSP\BSP.dwg: 8 Landscape Tree Survey.dwg, Last Saved By: jwagner, 6/21/2016 11:12 AM, Last Printed By: jwagner, 6/21/2016 11:13 AM



ID	Size	Condition	Common Name
1	7	Fair	White Pine
2	13	Fair	Austrian Pine
3	13	Fair	American Elm
4	17	Fair	Austrian Pine
5	12	Fair	White Pine
6	13	Fair	White Pine
7	7	Fair	White Pine
8	7	Poor	Austrian Pine
9	13	Fair	Austrian Pine
10	8	Good	White Pine
11	6	Fair	Bradford Pear
12	6	Fair	White Pine
13	10	Fair	Slippery Elm
14	6	Fair	White Pine
15	9	Fair	Box Elder
16	12	Fair	Austrian Pine
17	10	Poor	Slippery Elm
18	7	Fair	White Pine
19	7	Fair	American Elm
20	7	Fair	White Pine
21	10	Good	White Pine
22	8	Fair	White Pine
23	18	Fair	Austrian Pine
24	6	Good	White Pine
25	6	Fair	White Pine
26	38	Poor	Austrian Pine
27	9	Fair	White Pine
28	9	Good	Box Elder
29	11	Good	White Pine
30	10	Fair	White Pine
31	12	Fair	White Pine
32	13	Fair	Austrian Pine
33	12	Good	White Pine
34	14	Fair	White Pine
35	10	Fair	White Pine

ID	Size	Condition	Common Name
36	15	Fair	White Pine
37	14	Fair	Austrian Pine
38	10	Fair	White Pine
39	7	Fair	White Pine
40	8	Poor	Box Elder
41	8	Poor	Box Elder
42	6	Fair	Box Elder
43	10	Poor	Austrian Pine
44	13	Poor	Box Elder
45	10	Fair	Box Elder
46	19	Good	Eastern Cottonwood
47	17	Fair	Box Elder
48	8	Fair	Box Elder
49	6	Good	Box Elder
50	7	Good	Hackberry
51	6	Good	Box Elder
52	19	Fair	Box Elder
53	11	Poor	Austrian Pine
54	7	Fair	Box Elder
55	8	Fair	Box Elder
56	6	Poor	White Pine
57	6	Poor	White Pine
58	7	Fair	White Pine
59	6	Dead	American Elm
60	7	Fair	White Pine
61	14	Fair	Austrian Pine
62	9	Good	White Pine
63	8	Fair	White Pine
64	8	Good	Eastern Cottonwood
65	11	Good	White Pine
66	13	Fair	White Pine
67	9	Good	Box Elder
68	9	Good	Sycamore
69	8	Good	Sycamore
70	12	Good	Sycamore

REVISIONS

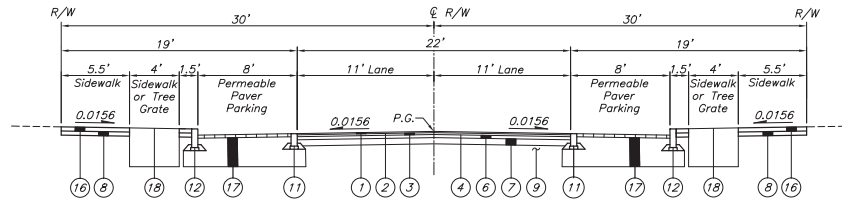
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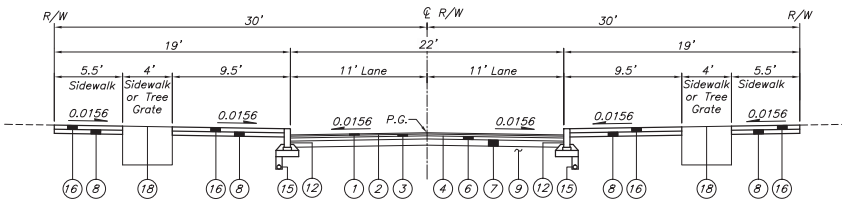
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BASIC SITE PLAN
BRIDGE PARK BLOCK H
LANDSCAPE TREE SURVEY



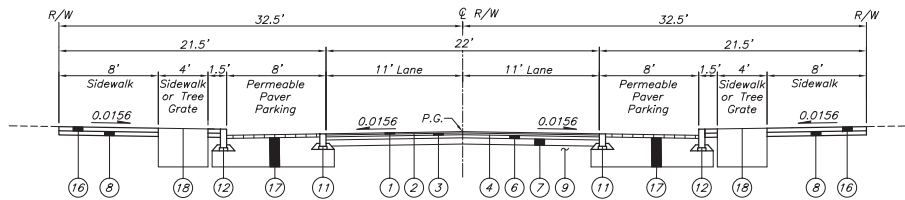
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JOB NO.	2013-1481
SHEET	BSP 8



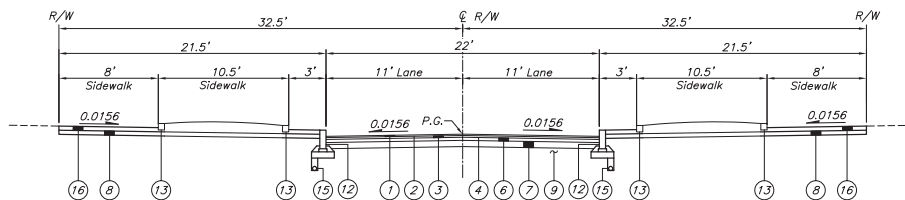
Mooney Street and Larimer Street with parking (60' R/W)
Not to Scale



Mooney Street and Larimer Street without parking (60' R/W)
Not to Scale



Tuller Ridge Drive with parking (65' R/W) (For Reference Only)
Not to Scale



Tuller Ridge Drive without parking (65' R/W) (For Reference Only)
Not to Scale

LEGEND

- ① Item 448 - 1.25" Asphalt Concrete Surface Course (Medium Traffic), PG64-22
- ② Item 407 - NTSS-IHM Trackless Tack Coat for Intermediate Course (0.06 Gal/Sq. Yd.)
- ③ Item 448 - 1.75" Asphalt Concrete Intermediate Course (Medium Traffic), PG64-22
- ④ Item 407 - NTSS-IHM Trackless Tack Coat (0.08 Gal/Sq. Yd.)
- ⑤ Item 301 - 9" Asphalt Concrete Base, PG64-22
- ⑥ Item 301 - 6" Asphalt Concrete Base, PG64-22
- ⑦ Item 304 - 6" Aggregate Base
- ⑧ Item 304 - 4" Aggregate Base
- ⑨ Item 204 - Subgrade Compaction and Proof Rolling
- ⑩ Item SPEC - Brick Paver Walk
- ⑪ Item 609 - Concrete Band (12" x 6")
- ⑫ Item 609 - Granite Curb (18" x 6")
- ⑬ Item SPEC - Granite Planter Curb
- ⑭ Item 609 - Straight 18" Curb
- ⑮ Item 605 - 4" Pipe Underdrain
- ⑯ Item 608 - 4" Concrete Walk
- ⑰ Item 608 - 4" Architectural Concrete Pavement Walk
- ⑱ Item SPEC - Permeable Paver Roadway
- ⑲ Item SPEC - Tree Grate
- ⑳ Item 659 - Topsoil (T=6")
- ㉑ Item 659 - Seeding & Mulching, As Per Plan
- ㉒ Permeable Clay Pavers (T=2 5/8") (Included for Payment with Permeable Paver Roadway)
- ㉓ No. 8 Stone (T=1 1/2") (Included for Payment with Permeable Paver Roadway)
- ㉔ Item SPEC - Aggregate Base (No. 57 Stone) (8" Constructed Thickness, Compacted/Vibrated)
- ㉕ Item SPEC - Aggregate Base (No. 2 Stone) (T=12" Min.)
- ㉖ Item SPEC - Geogrid (Place Under No. 2 Stone and above Geotextile Fabric on bottom only)
- ㉗ Item 204 - Geotextile Fabric, Type D

PHASING NOTE:

All streetscape finishes adjacent to Block H will be constructed to coincide with the completion of the Buildings H1, H2, and H3 and will be coordinated with the Block C Street Corridor.

REVISIONS

DATE DESCRIPTION

CRAWFORD HOVING
development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BRIDGE PARK BLOCK H
TYPICAL SECTIONS

EMH
Engineering & Management
10000 Highway 100, Suite 100
Dublin, OH 43017
614.233.1100
emh.com

DATE

June 21, 2016

SCALE

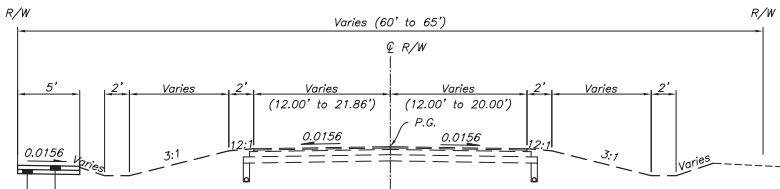
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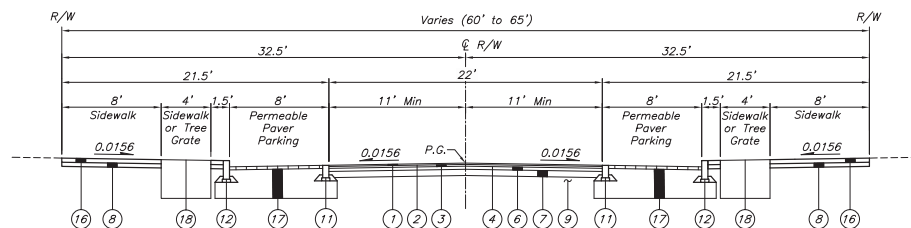
2013-1481

SHEET

BSP 9



TEMPORARY DALE-TULLER CONNECTOR ROAD (PUBLIC STREET) - EXISTING CONDITION



DALE-TULLER CONNECTOR ROAD (PUBLIC STREET) - FUTURE CONDITION BY CITY AS SEPARATE PROJECT (FOR REFERENCE ONLY)

Not to Scale

LEGEND

- 1 Item 448 - 1.25" Asphalt Concrete Surface Course (Medium Traffic), PG64-22
- 2 Item 407 - NTSS-1HM Trackless Tack Coat for Intermediate Course (0.06 Gal/Sq. Yd.)
- 3 Item 448 - 1.75" Asphalt Concrete Intermediate Course (Medium Traffic), PG64-22
- 4 Item 407 - NTSS-1HM Trackless Tack Coat (0.08 Gal/Sq. Yd.)
- 5 Item 301 - 9" Asphalt Concrete Base, PG64-22
- 6 Item 301 - 6" Asphalt Concrete Base, PG64-22
- 7 Item 304 - 6" Aggregate Base
- 8 Item 304 - 4" Aggregate Base
- 9 Item 204 - Subgrade Compaction and Proof Rolling
- 10 Item SPEC - Brick Paver Walk
- 11 Item 609 - Concrete Band (12" x 6")
- 12 Item 609 - Granite Curb (18" x 6")
- 13 Item SPEC - Granite Planter Curb
- 14 Item 609 - Straight 18" Curb
- 15 Item 605 - 4" Pipe Underdrain
- 16 Item 608 - 4" Concrete Walk
- 16a Item 608 - 4" Architectural Concrete Pavement Walk
- 17 Item SPEC - Permeable Paver Roadway
- 18 Item SPEC - Tree Grate
- 19 Item 659 - Topsoil (T=6")
- 20 Item 659 - Seeding & Mulching, As Per Plan
- 21 Permeable Clay Pavers (T=2 5/8") (Included for Payment with Permeable Paver Roadway)
- 22 No. 8 Stone (T=1 1/2") (Included for Payment with Permeable Paver Roadway)
- 23 Item SPEC - Aggregate Base (No. 57 Stone) (8" Constructed Thickness, Compacted/Vibrated)
- 24 Item SPEC - Aggregate Base (No. 2 Stone) (T=12" Min.)
- 25 Item SPEC - Geogrid (Place Under No. 2 Stone and above Geotextile Fabric on bottom only)
- 26 Item 204 - Geotextile Fabric, Type D

REVISIONS

DATE DESCRIPTION

CRAWFORD HOVING
development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BASIC SITE PLAN
BRIDGE PARK BLOCK H
TYPICAL SECTIONS

EMH
Engineering & Management, Inc.
1400 North High Street, Suite 200
Columbus, OH 43260
(614) 441-1111
emh.com

DATE

June 21, 2016

SCALE

None

JOB NO.

2013-1481

SHEET

BSP 10



MATERIALS LEGEND

- A Brick Veneer Wall
- B Concrete Paving
- C Pervious Paver Auto Court
- D Ornamental Understory Plantings
- E Shade Tree
- F Ornamental Tree
- G Pool
- H Private Gardens
- I John Shields Greenway



MATERIALS LEGEND

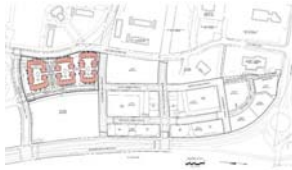
- A Brick Veneer Wall
- B Perforated Brick Wall
- C Architectural Concrete Paving
- D Pervious Paver Auto Court
- E Specialty Paving
- F Turf and Shade Trees with Casual Seating
- G Ornamental Understory Plantings
- H Shade Tree
- I Ornamental Tree
- J Pool, Restrooms and Mechanical
- K Private Gardens

H-BLOCK CONDOMINIUMS



BRIDGE PARK - DUBLIN, OHIO

21 June 16



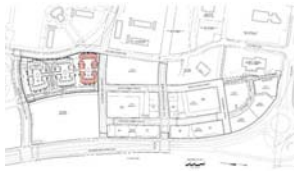
KEY PLAN



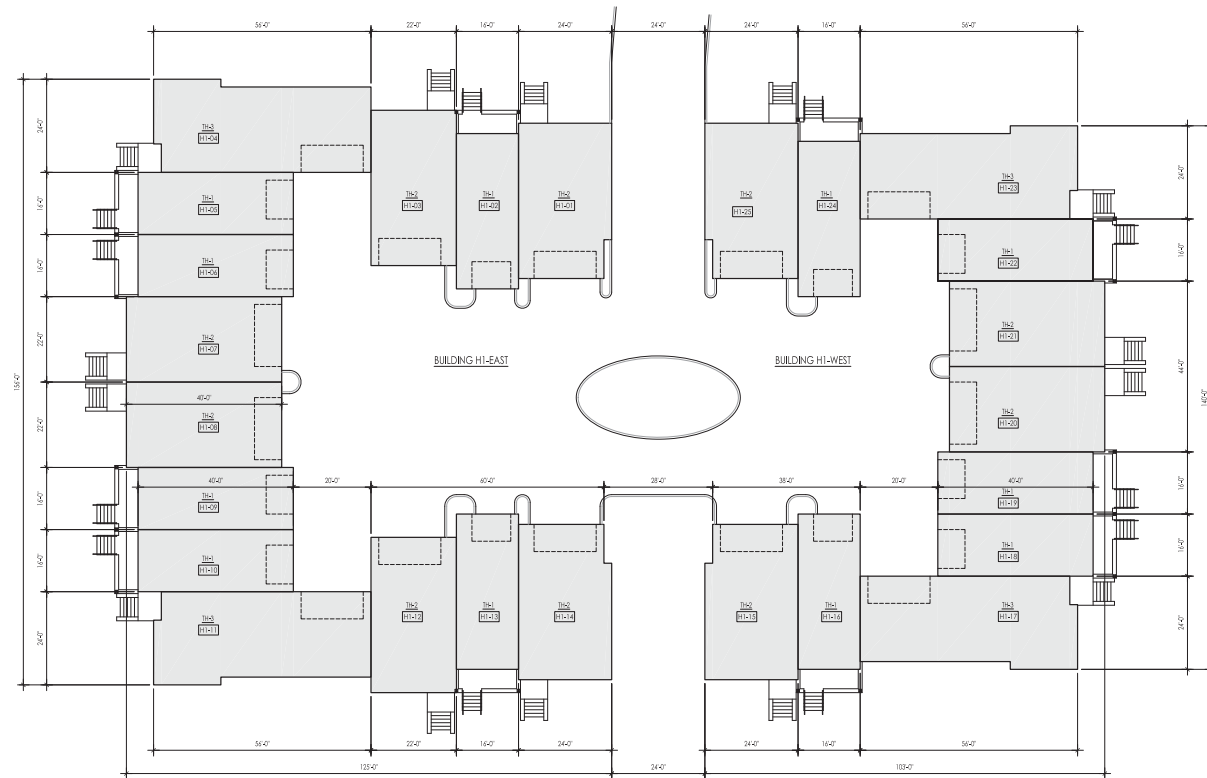
ARCHITECTURAL SITE PLAN



21 June 16



KEY PLAN



BUILDING H1 PLAN

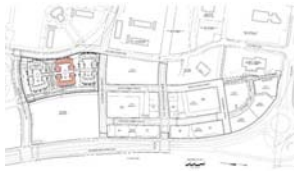
Building H1-East	Units	Units	Units	Total
	5	5	2	12

Building H1-West	Units	Units	Units	Total
	5	5	2	12

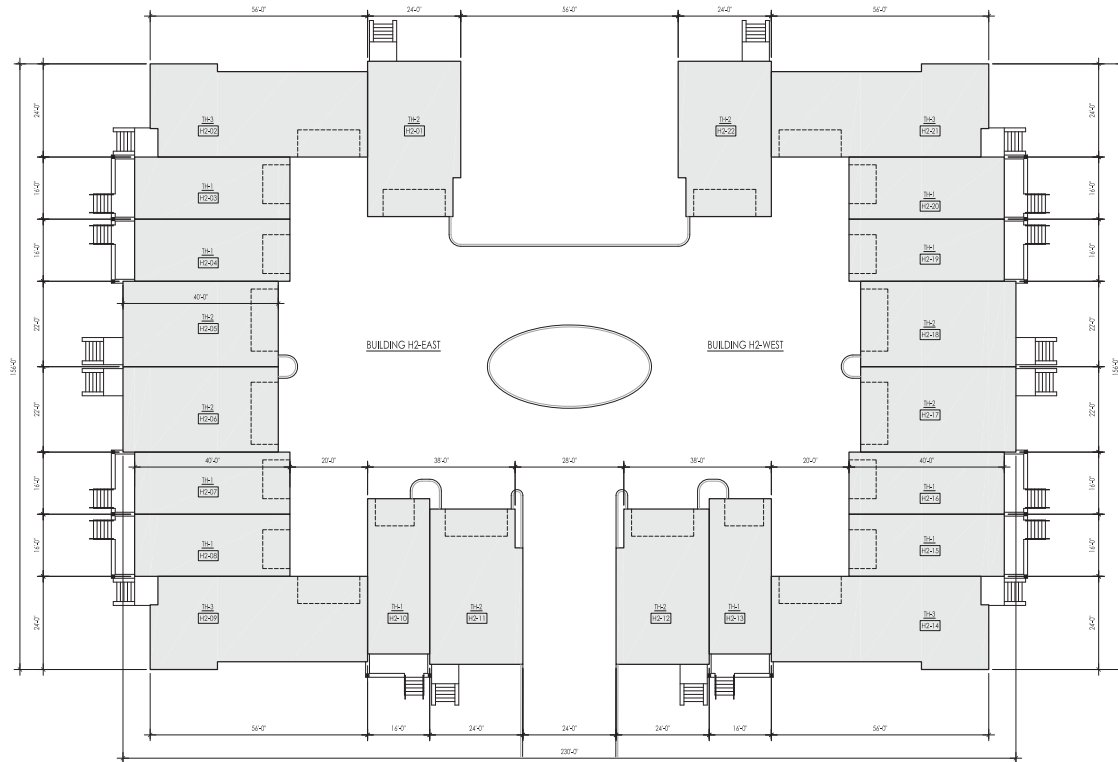
0 8 16 ft



21 June 16



KEY PLAN



0 8 16 ft

BUILDING H2 PLAN

Building H2-East	H2-1	H2-2	H2-3	Total
	5	4	2	11

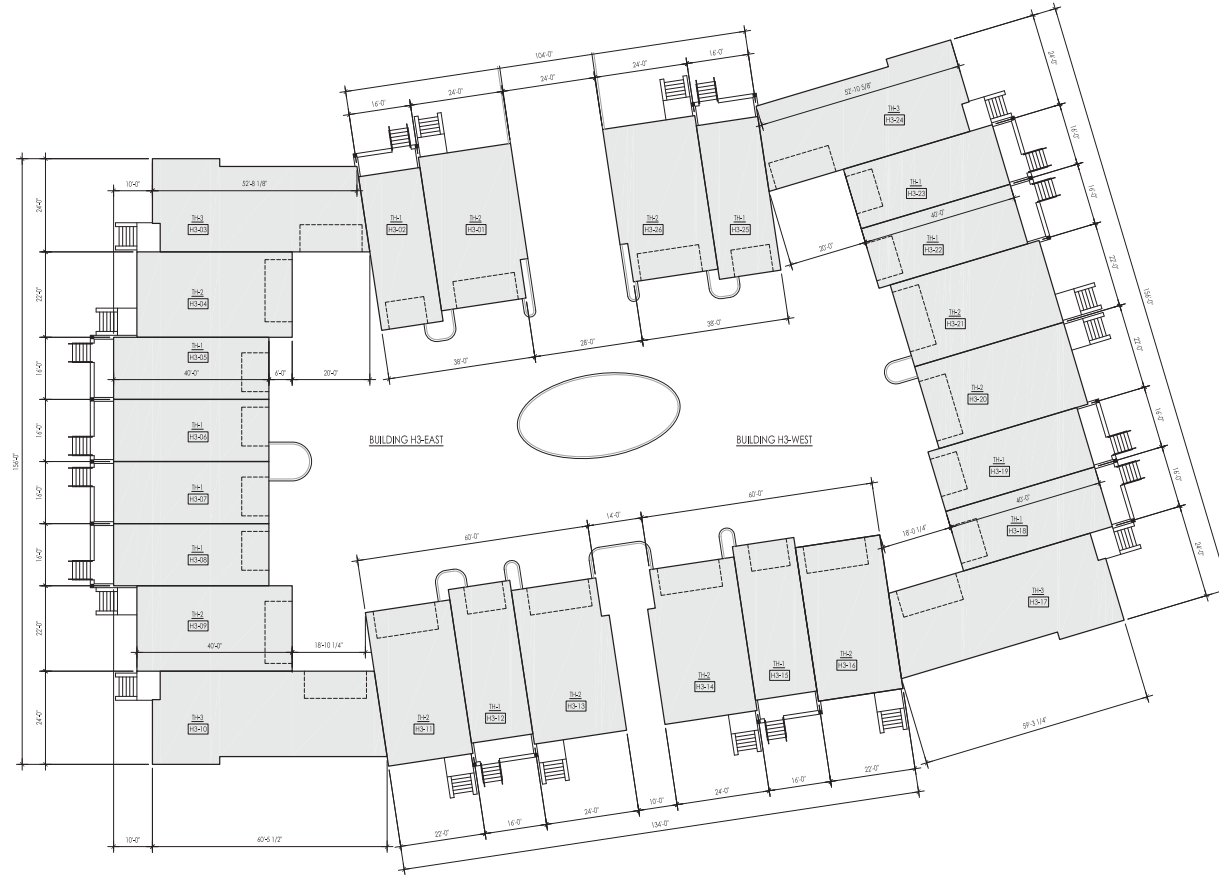
Building H2-West	H2-1	H2-2	H2-3	Total
	5	4	2	11



21 June 16



KEY PLAN



0 8 16 ft

BUILDING H3 PLAN

Building H3-East	TH-1	TH-2	TH-3	Total
	6	5	3	14

Building H3-West	TH-4	TH-5	TH-6	Total
	6	5	3	14



21 June 16



0 8 16 ft

21 June 16



0 8 16 ft

21 June 16



0 8 16 ft

21 June 16

Building Variety Statement

RE: Bridge Park - H Block Condominiums

Bridge Park H Block Condominiums are bound by Dale Drive and Mooney Street to the East and West and John Shields Parkway and Tuller Ridge Drive to the North and South with a mid-block division in Larimer Street running East / West. The project consists of 6 buildings of a Single-Family Attached use. The buildings are paired and configured in a crescent shape, in order to create a public facing facade for the Street Frontage and a private Motor Court for garage access. Each pair of buildings are split in the North/South direction to provide private access drives to the Motor Courts. Buildings H1 and H2 are separated by a private open “green space” that provides pedestrian access to the units fronting that green. Building H3 fronts the public Greenway along John Shields Parkway to the North.

The project is designed to meet the Vision Principals of the Bridge Street District Zoning Code and the principals of Walkable and New Urbanism. Each of the buildings are configured to meet the requirements for Street Frontage, Front Property Line Coverage, Occupation of Corner, and RBZ Treatment with Landscape walls, Porches, and Stoops falling with-in the RBZ zone.

Facade Diversity is addressed in several ways. Each of the buildings has a unique character which is expressed through a variety of material finishes and details. Permitted Primary Materials will consist of two colors of brick veneer used in a way to break down the massing of the facades into a pedestrian scale. Transitions of Primary Materials will be consistent with the code and will be accompanied by a string course and/or accent coursing for horizontal facade divisions or at inside corners for vertical facade divisions. Secondary Materials will be used to crate building variety diversity. Building Variety will also be achieved by: (1) The proportion of recesses and projections. (2) A change in the location of the entrance and window placements. (3) Changes to the roof design, including material and parapet heights. (4) Pronounced changes in building height.

The Design Intent of this project is to provide an interesting walkable setting for an Urban lifestyle that places value on the human scale and diversity of experience.