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# AVONDALE WOODS

## Dublin, Ohio



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Submittal – May 2016  
Dublin Planning and Zoning Commission

# SECTION I

## **Development Overview**

- Introduction Statement
- Final Development Plan Statement

## I. INTRODUCTION TO AVONDALE WOODS

Avondale Woods is a 120 acre residential development located in the southernmost portion of the City of Dublin. The development's name comes from Avondale, the Irish country estate of Charles Parnell Roberts, often referred to as the father of Irish democracy.

A striking characteristic of the site is the large wooded area at the north end of the project, comprising about 29 acres. A wooded area of this size is unique in northwestern Franklin County, and the development's plans preserve it in its entirety. Two smaller wooded areas are also preserved, a triangular wooded area along the CSX railroad tracks and a smaller wooded lot just under 1 acre in size, north of the NCR project and Avondale Woods Boulevard lot.

The development is unusual in that it is surrounded by the City of Columbus on three sides, with only the northern boundary adjoining the City of Dublin. However, existing features, such as the CSX Railroad on the west and Avery Road on the east limit the site's interaction with the adjoining development. There is only one current access point to the site, Avondale Woods Blvd. located at Avery Road at the southern end of the property. Eventually, there will be a second access, at the Dublin border on the north, once Tuttle Boulevard is extended west of Avery Road. In the interim, emergency access for the northern portion will be available through an adjoining Columbus multifamily site being developed on Avery Road.

As a result of the physical considerations of the site, Avondale Woods will be a largely self-contained community, with shopping, recreation, and governmental services near, but not immediately adjacent to the neighborhood. The Avondale Woods community as a result seeks to provide a mix of housing opportunities to attract a diverse group of residents of varying ages, family makeups and economic levels that live together in a single, cohesive, community. There will be both rental and owner occupied housing, with both single family homes and attached residential rental homes in two, three and four unit buildings. The attached rental units are unusual in that the layouts and architectural styles are modeled after single family homes rather than typical flats or townhouse units. Emphasizing open floor plans, the attached rental homes begin with the assumption that, in the current housing climate, more families will be living in rental homes and for longer periods of time. However, this rental market is increasingly demanding of quality layouts and interior features. The Avondale Woods units measure up to this challenge.

The layout of the development emphasizes a single community composed of both homeowners and rental residents. There are no barriers between the different housing types and the recreation paths link all the open space amenities including the community center and swimming pool which is also a joint resource for all residents. The adjoining 17 acre National Church Residences housing community at the southeast corner of the site will be linked to the Avondale Woods Development via pedestrian paths, providing a further mix of ages and demographics, as well as senior support services. A final point is the two acre central green that



comprises a focal point for the community and provides a desirable open space area and gathering place.

The character of the single family and attached residential homes is comprised of traditional architecture and includes elements that seek to convey a welcoming neighborhood feel of more simple times. Colors, materials and architectural features will subtly link all of the Avondale Woods housing types. Common elements include front porches, walkways from the sidewalk to the front door (except for homes with courtyard garages/drives), and shortened building setbacks to emphasize a pedestrian scale and walkable environment.

In its modern, suburban, phase, Dublin has developed as an archetypal auto oriented suburban community. Now, Dublin is reorienting its focus for a new phase that will respond to the needs of its corporate residents and an aging population. Avondale Woods seeks to be part of that reorientation by responding to the changing housing needs of the community. For young Dublin corporate workers who are making the move from apartments to family friendly rental homes or single family owned units, Avondale Woods provides housing options that will meet their needs and allow them to stay in Dublin. For older Dublin citizens looking to downsize or to transition to rental homes, the development also provides options that will have genuine appeal. For those who want the feel of a neighborhood and a livable interior similar to a single family home, but, must preserve their mobility in the job market, Avondale Woods again responds with desirable options. And of course, for any family just looking for a welcoming neighborhood and either rental or owned housing options, Avondale Woods is on target.

Despite being well sheltered from outside influences, Avondale Woods is accessed by an expanding network of roadways, giving access to shopping and services in Dublin, Hilliard and Columbus as well as access to Interstate 270 and the nearby Tuttle Mall. In addition to this convenient automobile access, mass transit is also currently accessible a short distance to the south on Avery Road, and, a new walkable transit center is planned nearby just to the north of Hayden Run Road.

Avondale Woods is well positioned to respond to the housing needs of both Dublin and its residents in the coming years.

## II. FINAL DEVELOPMENT PLAN STATEMENT

### ***A. Explain the proposed development and how the proposal relates to existing development in the vicinity.***

#### Relationship to Land Uses

The Avondale Woods site is a large peninsula protruding into the City of Columbus representing the southernmost boundary of the City of Dublin. This peninsula is composed of the previously rezoned National Church Residences Site of 17 acres and the lands encompassed by this application, about 120 acres.

*Northern Border:* The peninsula's northern border is in the City of Dublin and abuts tracts that front on Rings Road. With the exception of a large trailer park (non-conforming use), these tracts are generally undeveloped and remain in the Rural zoning category. The terrain in this area is generally open, flat, and unremarkable. Development timing of the land in this adjoining area will depend on extension of the Cramer South trunk sewer line that currently is east of Avery Road at Wilcox Road. The westward extension of Tuttle Boulevard, expected to be aligned along the Avondale Woods northern boundary, will impact development of these lands, generally expected to be residential in nature. The Avondale Woods site will be significantly insulated from this future development, regardless of its land use, by the 29 acre wooded area at the northwest portion of the site, by the wide Tuttle Boulevard, and by additional green space likely to be added by the future development.

*Eastern Border:* Along the eastern boundary, the site is bordered at its northeast corner by a twelve acre site in the City of Columbus. This site was designated as Office in the Columbus Hayden Run Corridor Plan but was rezoned and is not built with multifamily development at 12 units per acre. Moving south, there are nine single family home sites in Washington Township that front on Avery Road. Avondale Woods is insulated from these sites by a park area containing a large storm water management pond. The available depth of these parcels, initially about 500 feet at the northern end of the lots and diminishing to about 200 feet at the southern end, is also a factor that acts as a limit on intensity of development and if combined would result in an irregularly shaped tract. The future of these sites is clouded as they can only be annexed to the City of Columbus and planned widening of Avery Road will challenge residential viability. Columbus designates these sites as Office in the Hayden Run Corridor Plan but if the sites should annex to the City of Columbus and obtain sewer service, land use would be determined by municipal zoning action which could approve a different land use.

South of the last of these homes the Avondale Woods site has approximately a 150' border with Avery Road followed by the 70' right-of-way of Avondale Woods Boulevard, the only current access to the development.

Hayden Run Boulevard currently terminates west of the CSX railroad tracks. It is planned to be a major arterial as it extends eastward, via an overpass to Avery Road and further east past Avery to Wilcox, Riggins and Britton Parkway. This will spur further development along this corridor providing additional commercial and housing.

*Eastern and Southern Border:* The 17 acre National Church Residences site comprises part of both the eastern and southern borders of the site, largely insulating the Avondale Woods development from the future Neighborhood Center development, in Columbus, east of Avery Road. Part of this area was recently rezoned. It includes a large land assemblage at the southeast corner of Avery and the future Riggins Road (Hayden Run extension east of Avery) and was approved for commercial and apartments, providing convenience retail services to the surrounding area.

The remaining portion of Avondale Woods' southern border adjoins more Washington Township land currently used as two single family sites reaching from Avery Road to the railroad tracks. These township lands are also marked for annexation only to the City of Columbus. Moreover, this is the location for the extension of Hayden Run Boulevard. South of these two sites the City of Columbus currently begins, forming a corridor connecting the Columbus lands east of Avery Road to lands west of the railroad tracks out to the Madison County line. The Hayden Run Corridor Plan recommends that the land to the immediate south of the Hayden Run Boulevard roadway to the point that Avery Road crosses the railroad tracks be developed as Transit Oriented Development.

*Western Border:* To the west of the railroad tracks, which comprise the southwestern border of the Avondale Woods site, is a large area of land both developed and planned for additional residential development of various types in the City of Columbus. Densities are much higher than is typical of Dublin development. The effect of this development is muted by the intervening railroad tracks. To the northwest, the Avondale Woods site borders an 18 acre site which is east of the railroad tracks but is in the City of Columbus. This site is essentially an island that can only be accessed using the Avondale Woods roadway system (a road will be stubbed from the Avondale Woods system) or by a future roadway from the north in the City of Dublin. The Columbus Hayden Run Corridor Plan does not indicate a proposed land use for this tract. At the northeast corner of the Avondale Woods site, the 29 acre wooded portion on the site borders another large wooded tract in the City of Dublin that will likely also remain in a wooded state.

To summarize, the Avondale Woods site is largely self contained and isolated, both from interaction and from influence, from the surrounding lands. As a result, Avondale Woods generally neither influences, nor is influenced by, the land use of these neighboring tracts.

## Relationship to the Street System

Avondale Woods will have two access points: To Avery Road via Avondale Woods Boulevard, which has already been partially constructed along the northern boundary of the National Church Residences site, and to Tuttle Crossing Boulevard at the northern end of the site. At the current point in time only the Avery Road access will be available since Tuttle Crossing Boulevard has not been extended west of Avery Road. In the interim, an emergency access easement has been negotiated with the 12 acre multifamily site at the northeast border of the site.

Once the planned roadway network improvements are complete and the second entrance to Tuttle Crossing Boulevard is available, Avondale Woods will have excellent access to nearby services, arterial roadway systems connecting to Dublin and Hilliard, and to regional freeway

access points at the Avery Road interchange at SR 161/US 33 and I-270 at Tuttle Crossing Interchange. In the interim, access via Avery Road provides acceptable and convenient access.

#### Relationship to Community Facilities, Services and Public Improvements

Because the Avondale Woods site represents the southern boundary of the City of Dublin, community facilities are within close proximity. The Daree Fields sports park is about two miles to the northwest. The Ballantrae Community Park, with a municipal swimming pool, is one mile to the north. Coffman Park, which includes the City of Dublin municipal building and Dublin Recreation Center, is two and one half miles to the northeast.

Shopping centers are located close to the site with commercial two miles north on Avery Road. Grocery and community services are located to the west on Hayden Road and Cosgray Road. Additionally, The Mall at Tuttle Crossing is one and one half miles to the east.

The closest fire station is about one and one half miles to the north on Shier Rings Road. Various facilities and services are either available, or will become available, in both the City of Columbus and the City of Hilliard in a sub two mile radius to the south, east and west. Old Dublin, with shopping and the Dublin Library, is about three miles to the northeast.

#### Relationship to the Open Space System

The primary relationship to the open space system in this quadrant will be enhanced by the Avondale Woods development. It will preserve approximately 35 acres of woods, and the largest remaining wood lot in this area. It will also provide 2 large park areas and interconnected pedestrian trails. The Avondale Woods development is located within 3 miles of Homestead Park (Washington Township). The Heritage Trail Metro Park is 2 miles southwest and future bikeway access will provide virtually unlimited access to open space in both the City of Dublin and regionally such as the northwest Battelle Metro Park and the Heritage Rails to Trails bikeway system to the south.

The 2 acre plus central green within the single family portion of the Avondale Woods development will serve as a community gathering place for residents and the Avondale Woods Community Building with its pool will similarly serve all of the residents of the development.

***B. State how the Final Development Plan relates to the Dublin Community Plan and the approved Preliminary Development Plan. If there is a modification from the Preliminary Development Plan, explain the nature and location of the proposed modification.***

#### Relationship to Dublin Community Plan

The proposed development is fully consistent with the 2007 Dublin Community Plan.

The Future Land Use Map shows the site as “Mixed Residential Low Density”, defined as “a mix of housing options and transition from existing single-family neighborhoods at a maximum density of 3.0 du/ac.” At the time of the National Church Residences rezoning, it was clarified that the remaining Avondale Woods land would have the 3.0 du/ac density applied without

subtraction for the units included in the National Church Residences portion. The 120 remaining acres thus yields a potential of 360 residential units as shown in this application.

The Southwest Area plan portion of the 2007 Dublin Community Plan provides for residential land uses roughly similar to what is proposed in this plan—higher density residential in the northern and southern sections (Subareas B and D) and single family residential density in the central section (Subarea C). When overlaid with the overall 3.0 du/ac requirement for the site as a whole this proposal seems to be solidly on target.

The Southwest Area plan portion of the 2007 Dublin Community Plan also emphasized that existing wooded areas should be integrated into the design of open spaces and emphasized connectivity to be provided throughout the area and into adjacent jurisdictions. As noted above, all possible pedestrian and roadway connections have been made at points where the site allows contact with adjacent boundaries and all wooded areas are preserved as open space.

#### Relationship to the approved Preliminary Development plan

The proposed Final Development Plan for Subarea A, Subarea C (Section 1) and a portion of Subarea E for storm water management is consistent with the approved preliminary development plan with units designed to meet the density, materials, and architecture outlined in the development Standards and by providing open space, landscaping and screening.

#### Proposed modifications from the Preliminary Development plan

Proposed minor modifications to the Preliminary Development Plan – Development Standards are outlined in item E below.

#### ***C. Explain how the proposed development meets the review criteria for Final Development Plan approval by the Planning and Zoning Commission [Code Section 153.055(B)]***

- (1) ***The plan conforms in all pertinent respects to the approved Preliminary Development Plan provided, however, that the Planning and Zoning Commission may authorize plans as specified in §153.053(E)(4):*** The proposed Final Development Plan for Subarea A, Subarea C (Section 1) and a portion of Subarea E (storm water management) conforms with all pertinent respects of the approved preliminary development plan including density, open space, materials, architecture, landscaping and screening.
- (2) ***Adequate provision is made for safe and efficient pedestrian and vehicular circulation within the site and to adjacent property:*** Internal road networks are designed to facilitate vehicular access within the subdivision to the existing and future road networks surrounding the site without encouraging cut through traffic. Pedestrian circulation occurs through public sidewalks and pathways interconnected throughout the site.
- (3) ***The development has adequate public services and open spaces:*** The site and proposed FDP sections have adequate public services including the extension of public water, sewer and storm. It is accessible to Dublin emergency vehicles through the extension of Avondale Woods Boulevard and the interconnected streets in Subareas A and C. Adequate open

spaces are provided for public use with the green space in Subarea A, the central green in Subarea C and the passive open space in Subarea E containing the storm water management pond.

- (4) ***The development preserves and is sensitive to the natural characteristics of the site in a manner that complies with the applicable regulations set forth in this Code:*** As approved in the Preliminary Development Plan, the Final Development Plans will preserve and be sensitive to the natural characteristics of the site. The plan preserves major wooded areas including Avondale Woods (almost 30 acres in size) in the north portion of the site, the triangle woods adjacent to the railroad tracks and a small area of trees near the entrance along Avery and Avondale Woods Boulevard.
- (5) ***The development provides adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas without unnecessarily spilling or emitting light onto adjacent properties or the general vicinity:*** Adequate lighting will be provided along public streets per City standards. Additional lighting shall be provided with a post light on each single family lot in Subarea C and with coach lights on each garage along the private drive in Subarea A. All lighting will avoid unnecessary spilling or emitting of light onto adjacent properties.
- (6) ***The proposed signs, as indicated on the submitted sign plan, will be coordinated within the Planned Unit Development and with adjacent development; are of an appropriate size, scale, and design in relationship with the principal building, site, and surroundings; and are located so as to maintain safe and orderly pedestrian and vehicular circulation:*** Proposed signage has been indicated within the Final development Plan for each Subarea. Entry features at each access point into Subarea A include signage. No entry feature or signage is proposed for Subarea C. Street signs will be provided per City Standards on public streets.
- (7) ***The landscape plan will adequately enhance the principal building and site; maintain existing trees to the extent possible; buffer adjacent incompatible uses; break up large expanses of pavement with natural material; and provide appropriate plant materials for the buildings, site, and climate:*** In Subarea A, typical unit plantings have been provided as well as buffer and tree plantings throughout the open space. In Subarea C, each single family home will have building foundation planting per code. In Subarea E, the storm water pond will be extensively landscaped with trees, shrubs and perennials plantings suitable to both dry and wet conditions. Existing trees have been saved as indicated in #4 above.
- (8) ***Adequate provision is made for storm drainage within and through the site which complies with the applicable regulations in this Code and any other design criteria established by the City or any other governmental entity which may have jurisdiction over such matters:*** The proposed Final Development Plan for Subareas A, C and a portion of E provides adequate storm drainage for these areas as well as the balance of the site. Specifically, in Subarea E, proposed modifications to the existing basin meet all engineering requirements for handling of storm water within and through the site.

- (9) ***If the project is to be carried out in progressive stages, each stage shall be so planned that the foregoing conditions are complied with at the completion of each stage;*** The proposed Final Development Plans for Subarea A, Subarea C- Section 1 and a portion of Subarea E are each designed to carry out the conditions set forth and approved in the Preliminary Development Plan. Reasonable development progression can be achieved in each phase with appropriate infrastructure extensions.

***D. For an amended Final Development Plan explain how the proposal is different from the approved Final Development Plan***

Not applicable

***E. Explain how the proposal is consistent or inconsistent with the development text for the Planned District.***

The proposal is consistent with the approved development text for the Planned District with the following proposed minor amendments:

Subarea A:

- Proposed Water Meter building to be setback 10' from south boundary. The meter building is proposed as an extension of the entry feature and has been architecturally been detailed to be compatible with the building architecture.
- Proposed encroachment of 6' into building setback for structures covering stoops, porches and patios. This complements the overall development theme bringing buildings and elements closer to the street creating a welcoming neighborhood feel.

Phasing: Project phasing has been updated with a revised anticipated development schedule for the start of the project.

## SECTION II

### **Development Standards**

- Overall Development Standards
  - Sub Area Standards
    - Project Phasing
    - Diversity Matrix



## I. OVERALL DEVELOPMENT STANDARDS

This development shall be in accordance with Dublin Code at the time of development unless noted otherwise in the overall development standards or subarea standards.

The following standards shall be applicable to subareas as noted.

**A. Density:** Total site density shall not exceed 3 dwelling units per acre based on 120 acres for a total of 360 dwelling units.

**B. Parking:** All parking requirements shall be in accordance with Dublin code at the time of development except parking for the community center and pool in Subarea E will be approved as part of the Final Development Plan and will consider pedestrian access from the adjoining neighborhoods.

### C. Model Homes and Sales Offices

1. Model homes and sales offices shall be permitted within Subareas A, B, C, D & E in accordance with Dublin Code requirements.

### D. Residents Association

1. Applicant will establish multiple forced and funded residents' associations through deed based subdivision covenants and restrictions.
2. An overall Avondale Woods Master Residents Association will be comprised of the subarea residents' associations' members. This master association will be funded by the subarea residents' associations and will be responsible for tasks that affect all residents in the different subareas such as operating and maintaining the community building and pool and maintaining the stormwater facility area.
3. Each of the individual residential subareas, Subarea A, Subarea B, Subarea C and Subarea D will have their own residents' association which will address tasks associated with the respective subareas. If the subarea is owned and operated as a single entity that entity will operate the residents' association. If the subarea is, or becomes, a neighborhood of individually owned parcels then the subarea residents' association will function with the parcel owners as members.

### E. Entry Features

1. Entry features are permitted in each Subarea at major entry points with final design, location and landscape to be submitted for approval at time of Final Development Plan.
2. Entry features may be located within the setbacks in each Subarea but shall not prohibit clear sight distance or cause safety concerns.

3. Entry features may include but not be limited to fences, posts, columns, walls, trellises, gazebos, signs, landscaping, signage, logo etc.

#### **F. Architectural Diversity (Applies to Subarea C Only)**

1. A matrix has been provided to promote architectural diversity for the front building facades for single family homes.
2. Diversity shall be achieved by restricting the same front facades as follows:
  - No home 2 lots to the left or right of the subject lot shall have the same front façade as the subject lot and
  - No home directly across the street and one lot to the left or right of that lot shall have the same front façade as the subject lot. However, this requirement may be adjusted depending on specific site conditions. An example would be a home across the street facing on a different street.

#### **G. Reserve Ownership and Maintenance**

<b>Reserve</b>	<b>Ownership</b>	<b>Maintained By</b>
Reserve "A"	SHOA	SHOA
Reserve "B"	City	City
Reserve "C"	City	City
Reserve "D"	City	City
Reserve "E"	City	MHOA
Reserve "F"	SHOA	SHOA
Reserve "G"	MHOA	MHOA
Reserve "H"	SHOA	MHOA
Reserve "I"	SHOA	SHOA
Reserve "J"	City	MHOA
Reserve "K"	City	City
Reserves "L, M, N"	City	MHOA

SHOA = Subarea Homeowner Association/Subarea Resident Association

MHOA = Master Homeowner Association

The applicant agrees the MHOA will maintain the entire Reserve J islands, including the portion of the island within the public right of way extending east to Channel Lane, outside of the rezoning boundary.

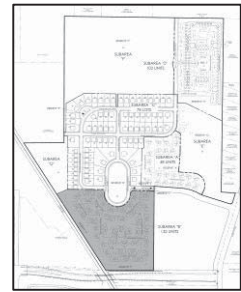
Reserve Ownership and Maintenance is indicated on multiple drawings within the Preliminary Development Plan and specifically on the Open Space and Connectivity Plan - Sheet 6/26 and the Overall Preliminary Plat - Sheet 21/26

**H. Infrastructure Agreement:**

An infrastructure agreement shall be executed between the City and the Developer prior to submittal of a Final Development Plan.

**I. Private Drive Maintenance:**

Private drives shall be defined as drives accessing apartment units and potential condominium units. The property owner or any potential new developer or condominium owner shall be responsible for the maintenance of all private drives and the City of Dublin shall not be responsible for maintenance of any of these private drive improvements.



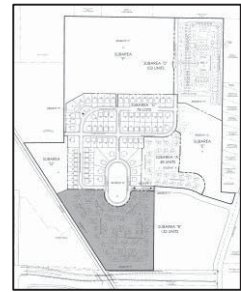
## AVONDALE WOODS - SUBAREA A

### II. SUBAREA STANDARDS

#### Subarea A

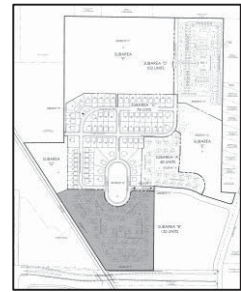
Subarea A is comprised of approximately 8 acres of attached residential housing located north of Avondale Woods Boulevard and the NCR site.

Permitted Uses	Residential housing composed of attached and/or detached units
Density	Maximum of 48 residential units
Building setbacks	<p>25' south boundary (Avondale Woods Blvd)-  <b>not including the water meter building which shall be setback a minimum of 10' from the south boundary.</b></p> <p>20' west boundary  20' north boundary  5' east boundary</p> <p>A minimum distance of 12' shall be maintained between buildings.</p> <p><b>Structures covering stoops, porches or patios may extend a maximum of 6' into any building setback.</b></p>
Pavement setbacks	<p>25' south boundary (Avondale Woods Blvd)*  20' west boundary  20' north boundary  0' east boundary</p> <p>*except entry drives to access the units <b>and patios</b></p>
Open Space	<p>Open space shall be provided via a central green of approximately 1 acre in size surrounded by a walking path connecting to each unit. This area is intended for use by the residents of this Subarea and shall include benches and landscaping. Other passive and active elements may be included and shall be determined at time of Final Development Plan. A portion of the storm water management area may extend into this subarea. This open space shall be owned and maintained by the Subarea A Resident Association.</p>
Materials	<p>Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with examples of successful, high quality installations used with appropriate architectural detailing.</p> <p>Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and</p>



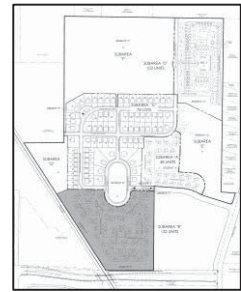
## AVONDALE WOODS - SUBAREA A

Materials, Cont.	<p>decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used.</p> <p>Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations.</p>
Architectural Requirements	<p>General:</p> <ul style="list-style-type: none"> <li>▪ Details for outside amenities such as decks, patios, and/or fences shall be provided at Final Development Plan.</li> <li>▪ The City of Dublin Residential Appearance Code shall not be applicable to units within this Subarea. All elevations shall be reviewed and approved at time of Final Development Plan by Planning Commission.</li> <li>▪ The architectural theme shall have a Craftsman influence as reflected in the Examples of Architectural Design Elements: Exhibits A and B.</li> <li>▪ In order to carry the neighborhood theme through all subareas, all units will have porches and a sidewalk extending from the front door connecting to the public sidewalk or connecting to a private walk.</li> <li>▪ Privacy between units may be accomplished with building elements and/or privacy fencing. Privacy fencing is not intended to entirely enclose a patio area but is intended for privacy between unit patios.</li> <li>▪ Any fencing used shall be limited to 6' in height and shall be submitted for approval with the Final Development Plan.</li> <li>▪ Colors will be from a historic palette of a major paint manufacturer and will be a subset of the palette permitted for the single family area.</li> <li>▪ Main doors and garage door colors will be varied dark accent colors with a single color per building.</li> </ul>



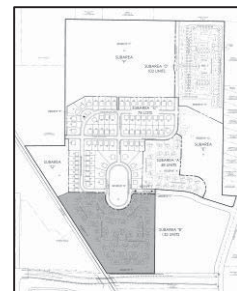
## AVONDALE WOODS - SUBAREA A

<p>Architectural Requirements, Cont.</p>	<ul style="list-style-type: none"> <li>▪ Where a unit is "double fronted" - fronting a public street or green and backing to the front of units on an internal street – the unit face on the public street or green shall be considered the dominant elevation and be treated accordingly from an architectural perspective. The "back of the unit" shall also be given a similar level of architectural detail and consideration as the front.</li> </ul> <p>Garages and Parking:</p> <ul style="list-style-type: none"> <li>▪ Garage doors shall be treated as decorative elements and shall have various carriage door styles</li> <li>▪ Coach lights shall be required on the garage</li> <li>▪ All units will have two car attached garages.</li> <li>▪ The driveway shall be a minimum length of 19 feet exclusive of sidewalks.</li> <li>▪ Shared driveways shall be utilized where possible.</li> <li>▪ Additional parking spaces for visitors shall be indicated on the Final Development Plan.</li> </ul> <p>Roofs:</p> <ul style="list-style-type: none"> <li>▪ Roof slopes to be min. 6/12 except porch roofs which may be less.</li> <li>▪ Gable vents shall be addressed with architectural detail.</li> <li>▪ Rakes and frieze boards will be used on roofs.</li> <li>▪ Rakes shall be extended to min. 12" overhang on main gables with decorative bracketed supports.</li> </ul> <p>Front Porches:</p> <ul style="list-style-type: none"> <li>▪ Porches shall be required on all units whether facing a street or open space.</li> <li>▪ Columns shall be primary accent pieces and may be used on optional masonry bases.</li> <li>▪ Porch Roofs to be metal when isolated</li> <li>▪ Porches shall have accent railings.</li> </ul>
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## AVONDALE WOODS - SUBAREA A

	<p>Windows:</p> <ul style="list-style-type: none"> <li>▪ Windows without shutters shall be wrapped with trim.</li> <li>▪ Windows to be simulated divided light with grid patterns used on all four sides of the building.</li> </ul> <p>Shutters:</p> <ul style="list-style-type: none"> <li>▪ Shutters shall be used judiciously but shall not be required on every window or on every elevation.</li> <li>▪ Shutters shall be equal to the size of full window and have shutter hardware.</li> </ul>
Landscaping and Screening	<p>A minimum 25' wide buffer shall be installed along the western property line of Subarea A, where adjacent to the rear of lots in Subarea C. The intent of this buffer is to provide screening between the alley in Subarea A and the rear of lots in Subarea C. The buffer shall be a minimum of 5' in height with 75% year round opacity. This buffer may not include fencing. A landscape plan for this buffer shall be submitted for approval with the Final Development plan.</p> <p>The maintenance for this buffer shall be the responsibility of the Subarea A Residents Association.</p>



## AVONDALE WOODS - SUBAREA B

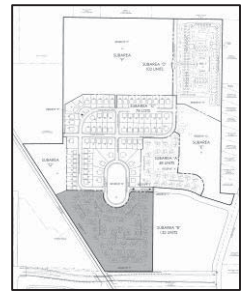
### Subarea B

Subarea B is comprised of approximately 19.1 acres of attached residential housing located south of central park and Avondale Woods Boulevard.

Permitted uses	Residential housing composed of attached and/or detached units
Density	Maximum of 132 residential units
Building setbacks	The front setback of the units located along Avondale Woods Blvd shall be located 15' from edge of right-of-way. Staggering of units/buildings shall not be required. 100' west boundary 100' south boundary 50' east boundary A minimum distance of 12' shall be maintained between buildings.
Pavement setbacks	20' on north boundary along Avondale Woods Blvd. and Central Green Rd.* ** 100' west boundary** 100' south boundary ** 50' east boundary ** * except entry drives to access units ** except bike/pedestrian paths
Open Space	Open space shall be provided via green spaces located in the rear of most units (except those facing the central green). Additional green space is located within the large buffer areas along the west, and south property lines indicated as Reserve F and in the Landscape Buffer along the east property line as indicated on the Open Space Plan. The open space along the property lines is intended for passive recreation for the residents of Subarea B. It shall incorporate landscaping, benches and a path either through it or along the perimeter. This open space shall be owned and maintained by the Subarea B Resident Association.
Materials	Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with examples of successful, high quality installations used with appropriate architectural detailing.

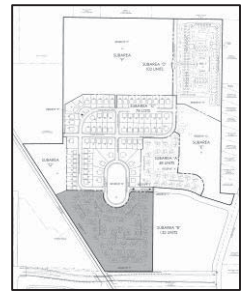


## AVONDALE WOODS - SUBAREA B



Materials, Cont.	<p>Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used.</p> <p>Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations.</p>
Architectural Requirements	<p>General:</p> <ul style="list-style-type: none"> <li>▪ Details for outside amenities such as decks, patios, and/or fences shall be provided at Final Development Plan.</li> <li>▪ The City of Dublin Residential Appearance Code shall not be applicable to units within this Subarea. All elevations shall be reviewed and approved at time of Final Development Plan by Planning Commission.</li> <li>▪ The architectural theme shall have a Craftsman influence as reflected in the Examples of Architectural Design Elements: Exhibits A and B.</li> <li>▪ Units fronting the public street facing the central green in Subarea C will have porches and a sidewalk extending from the front door connecting to the public sidewalk.</li> <li>▪ In order to carry the neighborhood theme through all subareas, units fronting an internal private street or green space will have porches and a sidewalk extending from the front door to the driveway or private walk.</li> <li>▪ Privacy between units may be accomplished with building elements and/or privacy fencing. Privacy fencing is not intended to entirely enclose a patio area but is intended for privacy between unit patios.</li> </ul>

## AVONDALE WOODS - SUBAREA B



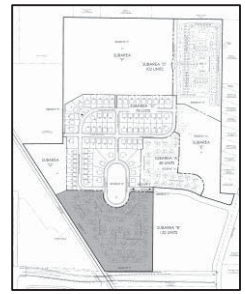
### Architectural Requirements, Cont.

- Any patio, porch, deck and associated fencing shall not extend into any perimeter setback.
- Any fencing used shall be limited to 6' in height and shall be submitted for approval with the Final Development Plan.
- Colors will be from a historic palette of a major paint manufacturer and will be a subset of the palette permitted for the single family area.
- Main doors and garage door colors will be varied dark accent colors with a single color per building.
- Double fronted units are located facing both Avondale Woods Boulevard and O'Shea Lane (refer to the Preliminary Plat for location.) Both elevations shall be considered the dominant elevation and shall be treated with the same level of architectural detail. "Double fronted" shall be defined as units fronting both a public street or green and an internal street.
- On building facades immediately adjacent to the railroad tracks, sound insulation techniques shall be utilized with specific methods presented for review and approval by the Planning Commission at time of Final Development Plan.

### Garages and Parking:

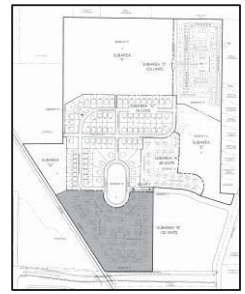
- Garage doors shall be treated as decorative elements and shall have various carriage door styles
- Coach lights shall be required on the garage
- All units will have attached garages. Three bedroom units will have two car garages.
- No more than two 16' garages will be on the front elevation.
- The driveway shall be a minimum length of 19 feet exclusive of sidewalks.
- Shared driveways shall be utilized where possible.
- Additional off-street parking spaces for visitors with locations provided shall be shown on the Final Development Plan.

## AVONDALE WOODS - SUBAREA B

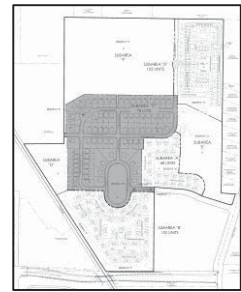


<p>Architectural Requirements, Cont.</p>	<p>Roofs:</p> <ul style="list-style-type: none"> <li>▪ Roof slopes to be min. 6/12 except porch roofs which may be less.</li> <li>▪ Gable vents shall be addressed with architectural detail.</li> <li>▪ Rakes and frieze boards will be used on roofs.</li> <li>▪ Rakes shall be extended to min. 12" overhang on main gables with decorative bracketed supports.</li> </ul> <p>Front porch:</p> <ul style="list-style-type: none"> <li>▪ Porches shall be required on all units whether facing a street or open space.</li> <li>▪ Columns shall be primary accent pieces and may be used on optional masonry bases.</li> <li>▪ Porch Roofs to be metal when isolated</li> <li>▪ Porches shall have accent railings.</li> </ul> <p>Windows:</p> <ul style="list-style-type: none"> <li>▪ Windows without shutters shall be wrapped with trim.</li> <li>▪ Windows to be simulated divided light with grid patterns used on all four sides of the building.</li> </ul> <p>Shutters:</p> <ul style="list-style-type: none"> <li>▪ Shutters shall be used judiciously but shall not be required on every window or on every elevation.</li> <li>▪ Shutters shall be equal to the size of full window and have shutter hardware.</li> </ul>
<p>Landscaping and Screening</p>	<p>Landscaping and screening, including tree preservation, shall be in accordance with Dublin Code except as noted below.</p> <p>Within the 100' building setback along the west property line, a buffer shall be required to provide both a physical and visual barrier to the CSX railroad track. This buffering shall be a minimum of 10' in height. The first 6' in height shall have 100% opacity from proposed grade at install and then a minimum of 75%</p>

## AVONDALE WOODS - SUBAREA B



<p>Landscaping and Screening, Cont.</p>	<p>opacity at 6'-10' within 4 years of installation. A landscape plan for this buffer including any proposed fencing shall be submitted for approval with the Final Development Plan. Any fencing shall be limited to 6' in height.</p> <p>The intent of the buffer along the south property line is to provide an additional layer of screening between units and the proposed Hayden Crossing Boulevard. The minimum buffer width shall be 100' and shall contain screening to a minimum height of 6' at installation and 75% opacity within 4 years of installation. Buffering may be achieved by using any of the following: landscaping, mounding, fencing or walls. A detailed planting plan shall be provided at time of Final Development Plan.</p> <p>A bike/pedestrian path will be located within both the west and south property line building setbacks to connect with proposed/existing paths in other subareas or adjacent development.</p> <p>Buffering shall be provided along the east property line to provide screening between the NCR development and the proposed units in Subarea B. Buffer shall be a minimum width of 50' and planted with native plant materials at a minimum height of 6' at installation and reach 50% opacity within 4 years of installation. A detailed planting plan shall be provided at time of Final Development Plan.</p> <p>Subarea B Residents Association shall maintain buffers and landscape.</p>
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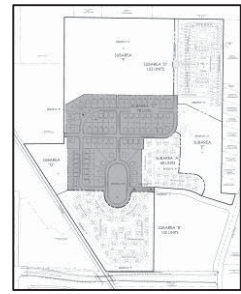
## AVONDALE WOODS - SUBAREA C

### Subarea C

Subarea C is comprised of approximately 30.6 acres of single family homes located south of the main woods area.

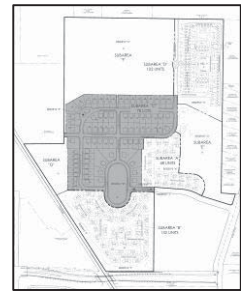
Permitted Uses	Single Family Residential, one principle structure per lot
Density	A maximum of 77 residential units
Front Yard Building Setback	The front yard building setback shall be 15' from the right of way. Corner lots shall have a 15' front yard building setback from both rights of way. However, lots with existing utility easements in front yards (lots 24 through 36, 41 & 42) will have the front setback 5' off the edge of the easement area and the front setback for Lots 37 through 40 shall be as shown on the Plat, Sheet 21A. Front setbacks do not need to be staggered on any lot.
Side Yard Building Setback	6'
Side Yard Pavement Setback	3' <i>per code however no pavement setback shall be required where two properties share a common driveway.</i>
Rear Yard Setback	25'- A 5' encroachment shall be permitted in the rear yard setback for patios and decks.
Lot Width	55' minimum at the building line, generally arranged in areas composed of similar lot widths without intermixing of different lot widths.
Lot Depth	Each lot will provide a minimum of 65' buildable depth.
Open Space	<p>Open space provided in the eyebrow off Avondale Woods Boulevard will be landscaped, owned by the city and maintained by the Subarea C Residents Association.</p> <p>Where Subarea C abuts Subareas F &amp; G, a delineation between public/private ownership will be installed at the time of development in coordination with parks department.</p> <p>A central green of approximately 2 acres will be owned and maintained by the City of Dublin.</p>
Materials	Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with

## AVONDALE WOODS - SUBAREA C



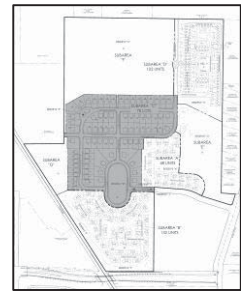
<p>Materials, Cont.</p>	<p>examples of successful, high quality installations used with appropriate architectural detailing.</p> <p>Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used.</p> <p>Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations.</p>
<p>Architectural Requirements</p>	<p>General:</p> <ul style="list-style-type: none"> <li>▪ The architectural theme shall have a Craftsman influence as reflected in the Examples of Architectural Design Elements: Exhibits A and B.</li> <li>▪ In order to carry the neighborhood theme through all Subareas, all homes will have porches and a sidewalk extending from the front door connecting to the public sidewalk, except those homes with courtyard garages/drives which will have porches and a sidewalk extending from the front door to the driveway.</li> <li>▪ Homes fronting the central green (lots 1-8) shall be required to have side load garages.</li> <li>▪ All homes will have a post lamp of a single design and color.</li> <li>▪ All homes will have mailboxes of a single design and color.</li> <li>▪ Colors will be from a historic palette of a major paint manufacturer and will be a subset of the palette permitted for the single family area.</li> <li>▪ Main doors and garage door colors will be varied with a single color per building.</li> <li>▪ Dublin Residential Appearance code applies unless in conflict with specific standards herein.</li> </ul>

## AVONDALE WOODS - SUBAREA C



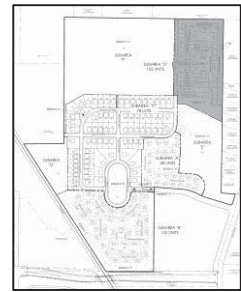
<p>Architectural Requirements, Cont.</p>	<p><b>Garages and Parking:</b></p> <ul style="list-style-type: none"> <li>▪ Garage doors shall be treated as decorative elements and shall have various carriage door styles</li> <li>▪ Coach lights shall be required on the garage</li> <li>▪ All homes will have a minimum two car garage.</li> <li>▪ A front load garage shall have a minimum driveway length of 19 feet exclusive of sidewalks.</li> <li>▪ On 55' wide lots, the percentage of garage door to the overall front façade may be greater than 35% but may not exceed 40%. This requirement only applies to garages facing a public street.</li> <li>▪ Front loaded garages shall be located behind the front façade of the home.</li> </ul> <p><b>Roofs:</b></p> <ul style="list-style-type: none"> <li>▪ Roof slopes to be min. 6/12 except porch roofs which may be less.</li> <li>▪ Gable vents shall be addressed with architectural detail.</li> <li>▪ Rakes and frieze boards will be used on roofs.</li> <li>▪ Rakes shall be extended to min. 12" overhang on main gables with decorative bracketed supports.</li> </ul> <p><b>Front Porches:</b></p> <ul style="list-style-type: none"> <li>▪ Front porches shall be required on all units.</li> <li>▪ Columns shall be primary accent pieces and may be used on optional masonry bases.</li> <li>▪ Porch Roofs to be metal when isolated</li> <li>▪ Porches shall have accent railings.</li> </ul> <p><b>Windows:</b></p> <ul style="list-style-type: none"> <li>▪ Windows without shutters shall be wrapped with trim</li> <li>▪ Windows to be simulated divided light with grid patterns used on all four sides of the building</li> </ul> <p><b>Shutters:</b></p> <ul style="list-style-type: none"> <li>▪ Shutters shall be used judiciously but shall not be required on every window or on every elevation.</li> </ul>
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## AVONDALE WOODS - SUBAREA C



	<ul style="list-style-type: none"> <li>Shutters shall be equal to the size of full window and have shutter hardware.</li> </ul>
Landscaping and Tree Preservation Landscaping and Screening, Cont.	<p>Tree Preservation</p> <ul style="list-style-type: none"> <li>A 20' tree preservation zone shall be required along the rear of lots 29-41 as indicated on the Preliminary Plat (Sheet 21.) Within the tree preservation zone, selective clearing may occur to remove dead, dying or noxious species of trees. Utilities shall not be located within the tree preservation zone unless approved by the City Engineer or City Forester. No structures (including play structures, decks, storage buildings, etc.) may be permitted in the tree preservation zone.</li> </ul>
Miscellaneous	<p>The right of way surrounding the central green shall be 50 feet. The pavements width shall be 28 feet.</p> <p>Lot 42 shall have the home fronting Avondale Woods Boulevard with a side load garage fronting on Scarlett Lane.</p> <p>In order to avoid direct sight lines from inside the rear living area of a home that directly "backs" to another lot (lots 14-23 and 43-54 on the Preliminary Plat), the developer will program the homes to allow for reversing the footprints to minimize direct sight lines.</p> <p>A sidewalk easement shall be provided on each lot as necessary and shall be indicated on the final plat.</p>





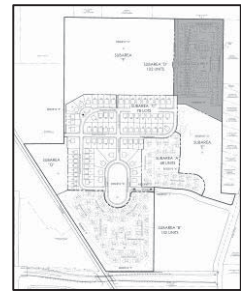
## AVONDALE WOODS - SUBAREA D

### Subarea D

Subarea D is comprised of approximately 15.4 acres of attached residential housing located at the northeast corner of the site, east of the main woods.

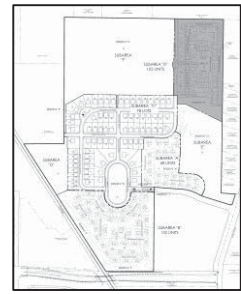
Permitted Uses	Residential housing composed of attached and/or detached units.
Density	Maximum of 103 residential units
Building and Pavement Setbacks	50' from north property line 30' from east property line 25' from west property line (Scarlett Lane right of way) 0' from south property line A minimum distance of 12' shall be maintained between buildings.
Open Space	Open space of 1 acre minimum shall be located on the southern property line of Subarea D and may be utilized for storm water management as necessary. It shall be owned and maintained by the Subarea D Resident Association. However, if it is used for stormwater management, it shall be maintained by the Avondale Woods Master Resident Association. A minimum of 0.3 acres of additional open space will be provided in this subarea and shall be owned and maintained by the Subarea Resident Association. This open space is intended for passive recreation for the residents of Subarea D. It shall incorporate landscaping, benches and a path either through it or along the perimeter.
Materials	Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with examples of successful, high quality installations used with appropriate architectural detailing. Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used.

## AVONDALE WOODS - SUBAREA D

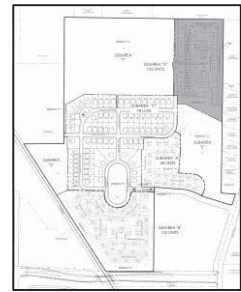


Materials, Cont.	Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations.
Architectural Requirements	<p>General:</p> <ul style="list-style-type: none"> <li>▪ Details for outside amenities such as decks, patios, and/or fences shall be provided at Final Development Plan.</li> <li>▪ The City of Dublin Residential Appearance Code shall not be applicable to units within this Subarea. All elevations shall be reviewed and approved at time of Final Development Plan by Planning Commission.</li> <li>▪ The architectural theme shall have a Craftsman influence as reflected in the Examples of Architectural Design Elements: Exhibits A and B.</li> <li>▪ Colors will be from a historic palette of a major paint manufacturer. Main doors and garage door colors will be varied with a single color per building.</li> <li>▪ In order to carry the neighborhood theme through all Subareas, units fronting an internal private street or green space will have porches and a sidewalk extending from the front door to the driveway or private walk.</li> <li>▪ Privacy between units may be accomplished with building elements and/or privacy fencing. Privacy fencing is not intended to entirely enclose a patio area but is intended for privacy between unit patios.</li> <li>▪ Any patio, porch, deck and associated fencing shall not extend into any perimeter setback.</li> <li>▪ Any fencing used shall be limited to 6' in height and shall be submitted for approval with the Final Development Plan.</li> <li>▪ Main doors and garage door colors will be varied dark accent colors with a single color per building.</li> </ul>

## AVONDALE WOODS - SUBAREA D

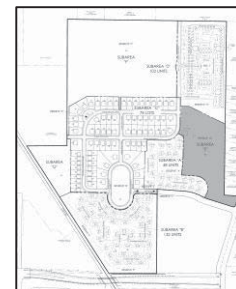


<p>Architectural Requirements, Cont.</p>	<p><b>Garages and Parking:</b></p> <ul style="list-style-type: none"> <li>Garage doors shall be treated as decorative elements and shall have various carriage door styles</li> <li>Coach lights shall be required on the garage</li> <li>All units will have attached garages.</li> <li>The driveway shall be a minimum length of 19 feet exclusive of sidewalks.</li> <li>Additional off-street parking spaces for visitors with locations provided shall be shown on the Final Development Plan.</li> </ul> <p><b>Roofs:</b></p> <ul style="list-style-type: none"> <li>Roof slopes to be min. 6/12 except porch roofs which may be less.</li> <li>Gable vents shall be addressed with architectural detail.</li> <li>Rakes and frieze boards will be used on roofs.</li> <li>Rakes shall be extended to min. 12" overhang on main gables with decorative bracketed supports.</li> </ul> <p><b>Windows:</b></p> <ul style="list-style-type: none"> <li>Windows without shutters shall be wrapped with trim.</li> <li>Windows to be simulated divided light with grid patterns used on all four sides of the building.</li> </ul> <p><b>Shutters:</b></p> <ul style="list-style-type: none"> <li>Shutters shall be used judiciously but shall not be required on every window or on every elevation.</li> <li>Shutters shall be equal to the size of full window and have shutter hardware.</li> </ul>
<p>Landscaping</p>	<p>Existing healthy trees shall be maintained in the tree rows along the north and east property lines. A buffer consistent with the building setback on the north and east property lines shall be provided and contain screening at a minimum height of 6' at install and 75% opacity within 4 years of installation. Selective clearing by the developer may occur to remove dead, damaged or obnoxious tree species and understory. A landscaping plan including any proposed fencing shall</p>



## AVONDALE WOODS - SUBAREA D

	be submitted for approval with the Final Development Plan. Any fencing used shall be limited to 6' in height.
Miscellaneous Miscellaneous, Cont.	<ul style="list-style-type: none"> <li>▪ Applicant will work with the City to provide a midblock, safe crossing of Scarlett Lane for pedestrians from Subarea D to Avondale Woods Boulevard at time of Final Development Plan.</li> <li>▪ A roundabout is shown on the PDP as a possible solution for traffic calming along Scarlett Lane. The applicant will work with Engineering on the roundabout design details prior to submittal for a Final Development Plan.</li> <li>▪ An access agreement with the adjacent owner of Parcel 010-279301 is in place for emergency access. Design standards for this emergency access shall be subject to approval by the Washington Township Fire Department. This emergency access provision is only envisioned prior to connection of Scarlett Lane to Tuttle Crossing Boulevard.</li> </ul>

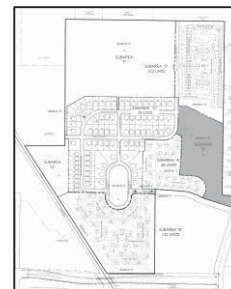


## AVONDALE WOODS - SUBAREA E

### Subarea E

Subarea E is comprised of approximately 11.3 acres of park area containing storm water management, woods, clubhouse, pool and pedestrian trails.

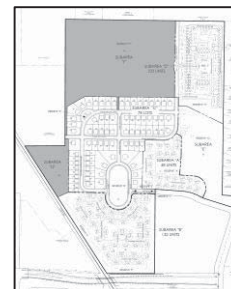
Permitted Uses	Storm water retention and recreation purposes for the benefit of Avondale Woods' residents, to include a community clubhouse, swimming pool, associated parking, pedestrian paths and other appropriate recreational uses.
Density	Max 15,000 sf for clubhouse structure No size is specified for swimming pool Accessory structures, if any, must comply with building setbacks
Building setback	20' all boundaries
Pavement setback	20' all boundaries* * except bike/pedestrian paths
Ownership	Avondale Woods Master Residents Association
Maintenance	The landscape, pavement and buildings will be maintained by the Avondale Woods Master Residents Association. The City of Dublin will maintain pond and utility infrastructure.
Architectural Requirements	<ul style="list-style-type: none"> <li>i) Craftsman influenced architecture</li> <li>ii) Large, bracketed overhangs</li> <li>iii) Metal roof accents on projecting elements as common tie to single family area</li> <li>iv) Colors will be from a historic palette of a major paint manufacturer and will be a subset of the palette permitting for the single family area.</li> <li>v) Roof pitches will be at least 6/12 on main roof. Porches and one story shed elements will be a minimum of 4/12 pitch.</li> <li>vi) Main entry facing the street will be required and shall have porch or stoop with walk from stoop connecting to public sidewalk and parking lot.</li> </ul>
Materials	Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with examples of successful, high quality
Materials, Cont.	



## AVONDALE WOODS - SUBAREA E

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	<p>installations used with appropriate architectural detailing.</p> <p>Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used.</p> <p>Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations.</p> <p>Architectural style will be compatible with other Subareas.</p>
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## AVONDALE WOODS - SUBAREAS F & G

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### Subarea F

Subarea F is comprised of approximately 29.5 acres of wooded preserve area generally referred to as Avondale Woods and is located at the northern end of the site, west of the north/south entrance road.

A 20 foot strip of land shall be provided as shown on the Preliminary Development Plan to include a pedestrian path to provide access to Avondale Woods. A delineation shall be provided along the edge of this 20 foot strip of land and the lots abutting either side in Subarea C. A delineation shall also be provided along the edge of lots 39-42, located in Subarea C, which abut the extension of Subarea F south to Scarlett Lane. The means of delineation including any fencing (limited to 6' in height) shall be submitted for approval with the Final Development Plan.

Transfer of this ground is anticipated to occur after approval of Final Development Plan.

Permitted uses	Recreational uses as determined by City of Dublin Parks Department policy
Building setbacks	50' from any boundary adjoining residential structures
Ownership	City of Dublin, Ohio
Maintenance	City of Dublin, Ohio

### Subarea G

Subarea G is comprised of approximately 5.3 acres of wooded area generally referred to as the Triangle Woods and Lot 58. It is located southwest of the single family in Subarea C and adjacent to the railroad tracks. A delineation shall be provided along the edge of lots 58-67, located in Subarea C, which abut the extension of Subarea G north to Scarlett Lane. The means of delineation including any fencing (limited to 6' in height) shall be submitted for approval with the Final Development Plan.

Transfer of this ground is anticipated to occur after approval of Final Development Plan.

Permitted uses	Recreational uses as determined by City of Dublin Parks Department policy
Building setbacks	50' from any boundary adjoining residential structures
Pavement setbacks	25' from any boundary adjoining residential structures* * Except pedestrian/bike paths
Ownership	City of Dublin, Ohio
Maintenance	City of Dublin, Ohio

## Development Standards

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### III. PROJECT PHASING

It is anticipated that Phase I of the project will begin with the multifamily in Subarea A commencing spring of 2017. Depending on market conditions, the developer anticipates Phase 2 would begin with the single family lots in Subarea C. This construction is anticipated to occur **concurrently or immediately following** Phase I, in early Summer of 2017 or sooner, and include the extension of Avondale Woods Boulevard, the central green road and the 8 single family lots surrounding the green. The developer anticipates developing the balance of the single family lots in 3 additional phases of 20-25 lots each. The multifamily in Subarea B is anticipated to be developed in 2 phases. The timing of these phases is unknown at this time due to secondary site access being required. Subarea D is anticipated to be the last phase of the development. However, Washington Township Fire Department has agreed to allow 126 units and clubhouse (Subareas A, C and E) to be built before a second access point would be required or an agreement is reached with terms acceptable to Washington Township's Fire Department and Dublin Traffic Engineering. The developer has an access agreement in place from Subarea D with the adjacent owner of Parcel 010-279301 for access to Avery Road.

The ultimate timing and number of lots/units developed per phase may be subject to change and will be determined at time of Final Development Plan.

The developer will pay for the installation of a traffic signal at Avondale Woods Boulevard and Avery Road at such time as permitted or required by the City of Columbus.



AVONDALE WOODS  
Diversity Matrix

SUBAREA C: PHASE 1

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Subject (Single Family) Lot	Influenced Lot
1	2, 3, 7, 8
2	1, 3, 4, 6, 7, 8
3	1, 2, 4, 5, 7, 8
4	2, 3, 5, 6
5	3, 4, 6, 7
6	2, 3, 4, 5, 7, 8
7	1, 2, 5, 6, 8
8	1, 2, 6, 7
9	10, 11, 17, 18, 19
10	9, 11, 12, 16, 17, 18
11	9, 10, 12, 13, 15, 16, 17
12	10, 11, 13, 14, 15, 16
13	11, 12, 14, 15
14	12, 13, 15, 16
15	11, 12, 13, 14, 16, 17
16	10, 11, 12, 14, 15, 17, 18
17	9, 10, 11, 15, 16, 18, 19
18	9, 10, 16, 17, 19, 20
19	9, 17, 18, 20, 21
20	18, 19, 21, 22
21	19, 20, 22
22	20, 21, 23
23	22, 24
24	23

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## SECTION III

### **FDP Exhibits**

- Context and Landscape Documents
  - Master Subarea and Reserve Plan
- Subarea A: Private Site Improvement Plan
  - Subarea C- Phase 1: Public Street, Storm and Water Improvements
- Subarea C- Phase 1: Public Sanitary Sewer Improvements
  - Final Plats

# AVONDALE WOODS

CITY OF DUBLIN, OHIO

## FINAL DEVELOPMENT PLAN



**LOCATION MAP**  
Not to Scale

PREPARED FOR:  
HOMewood CORPORATION  
2700 E DUBLIN-GRANVILLE RD  
SUITE 300  
COLUMBUS, OHIO 43231  
P: (614) 898-7200  
CONTACT: JIM LIPNOS

## INDEX OF DRAWINGS

1. REGIONAL CONTEXT MAP
2. VICINITY MAP
3. EXISTING CONDITIONS MAP
4. TREE SURVEY
5. TREE SURVEY NOTES
6. STREET TREE PLAN
7. ENTRY ENLARGEMENTS
8. LANDSCAPE ENLARGEMENTS
9. CONDOMINIUM UNIT ENLARGEMENTS
10. TYPICAL DETAILS
11. LANDSCAPE DETAILS

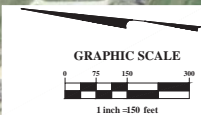
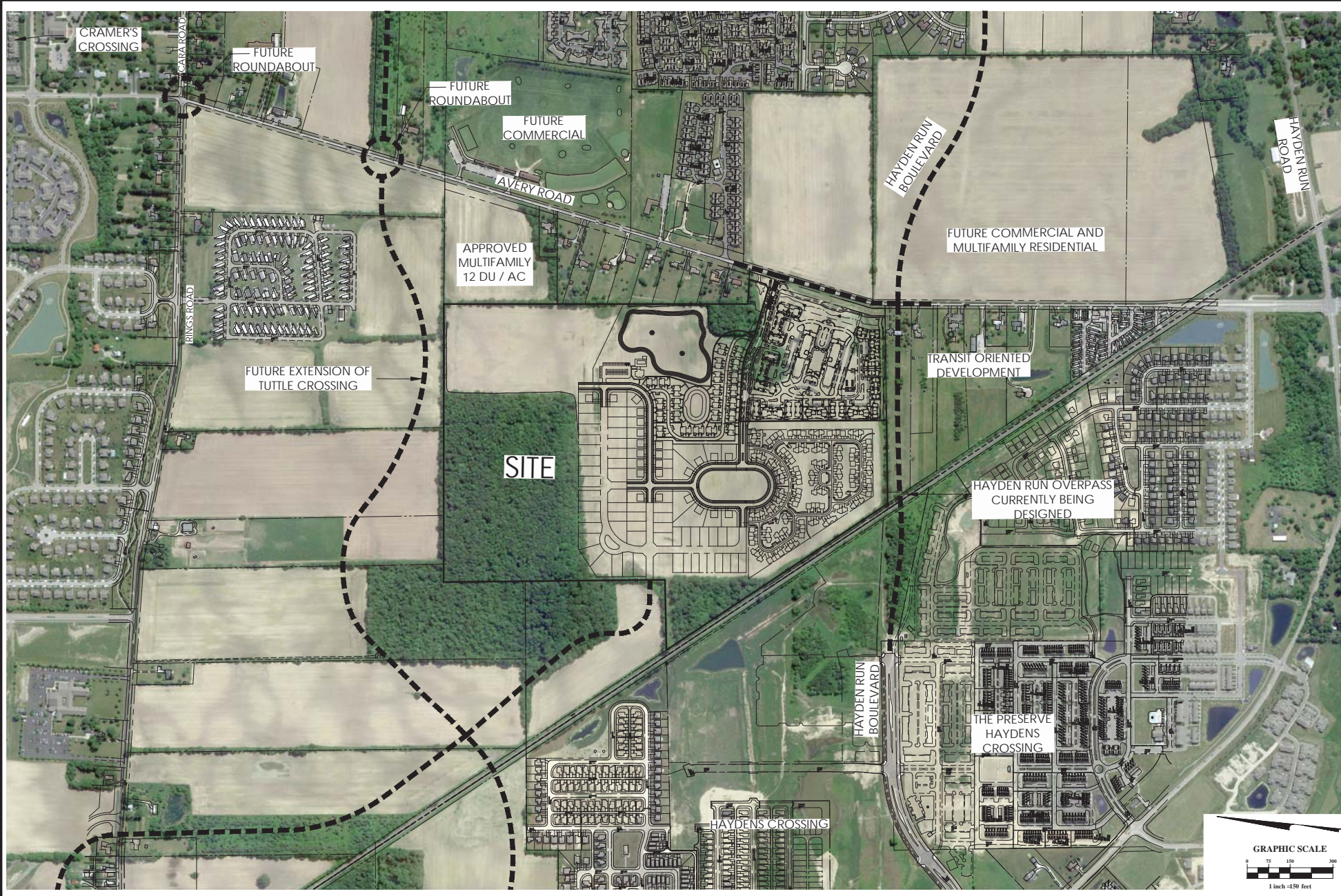
SUBMITTAL:  
MAY 2016

CIVIL ENGINEER &  
LANDSCAPE ARCHITECT





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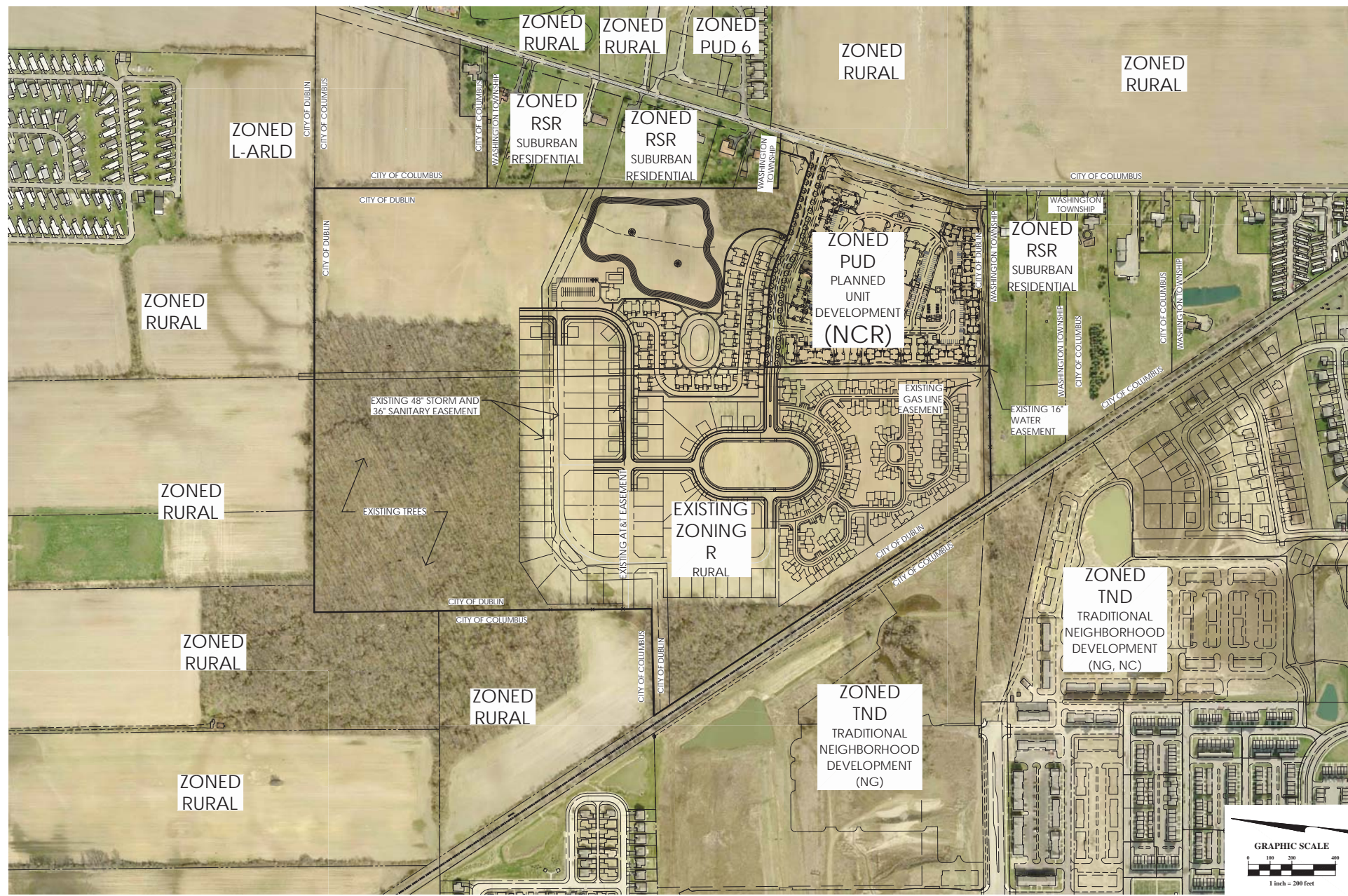
780 NORTHEAST DRIVE, COLUMBUS, OH 43214  
FINAL DEVELOPMENT PLAN  
**AVONDALE WOODS**  
REGIONAL CONTEXT MAP



DATE	MAY 2016
SCALE	As Noted
JOB NO.	20141890
SHEET	1/11



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DATE	REVISIONS



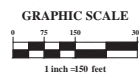
780 NORTHEAST DRIVE, COLUMBUS, OH 43214  
FINAL DEVELOPMENT PLAN  
AVONDALE WOODS  
VICINITY MAP



DATE	MAY 2016
SCALE	As Noted
JOB NO.	20141890
SHEET	2/11



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REVISIONS	
DATE	DESCRIPTION



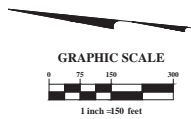
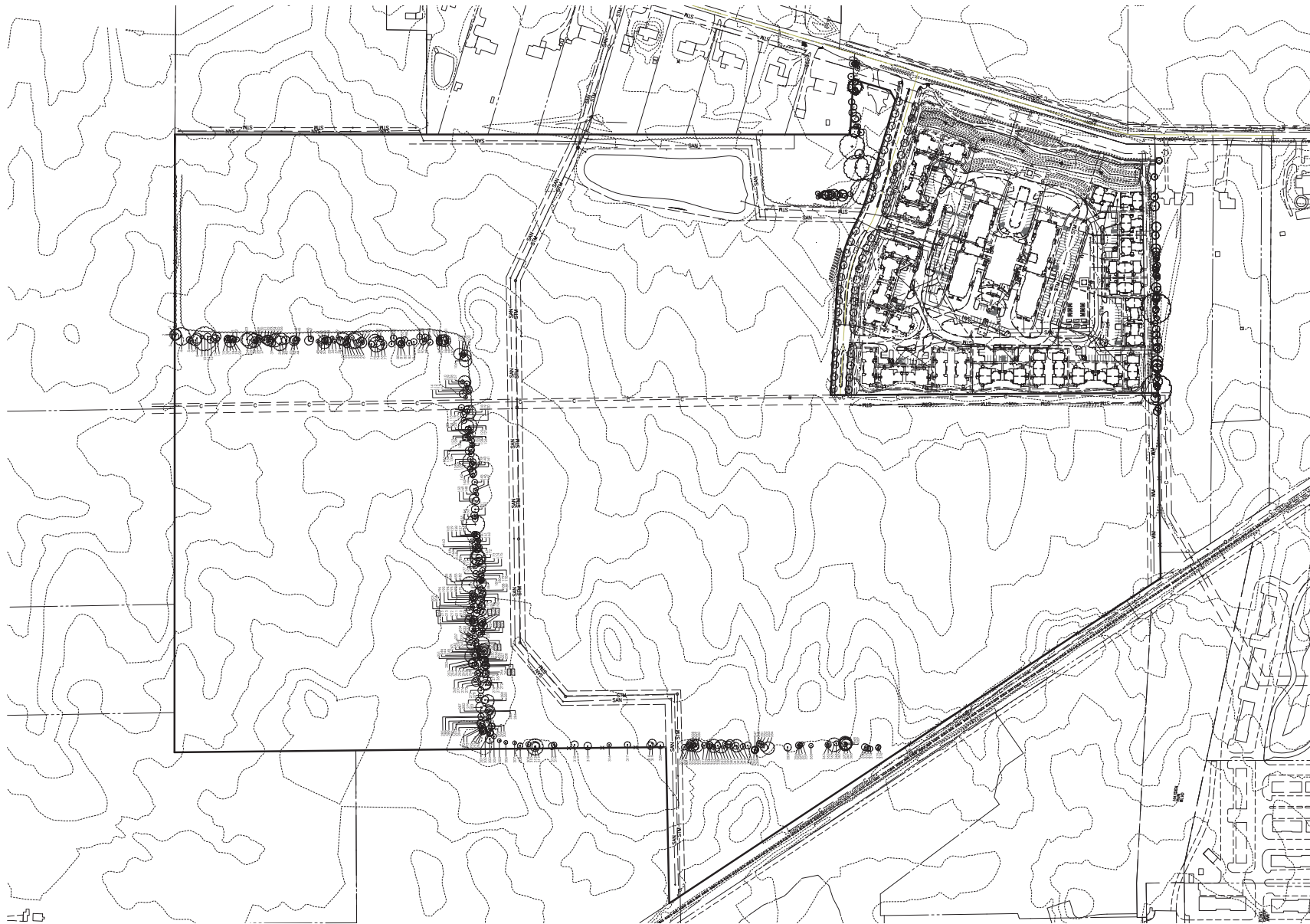
788 NORTH LANE DRIVE, COLUMBUS, OH 43214  
**AVONDALE WOODS**  
EXISTING CONDITIONS



DATE: MAY 2016  
SCALE: As Noted  
JOB NO.: 20141890  
SHEET: 3/11



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EMHT Engineering & Mapping, Inc. 1000 North High Street, Columbus, OH 43214 (614) 462-1000 www.emht.com		780 NORTH HAVEN DRIVE, COLUMBUS, OH 43214 FINAL DEVELOPMENT PLAN AVONDALE WOODS TREE SURVEY		REVISIONS	
DATE	MAY 2016	SCALE	As Noted	JOB NO.	20141890
SHEET	4/11				
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				DESCRIPTION	



\\northwood\l\woodcraft\2014\2014-Tree-Survey-and-Monitoring-Log-Saved-By-Date-4/27/2016-2:42:24 PM Date Printed By: Nick, Andrew, 5/27/2016 5:01 PM

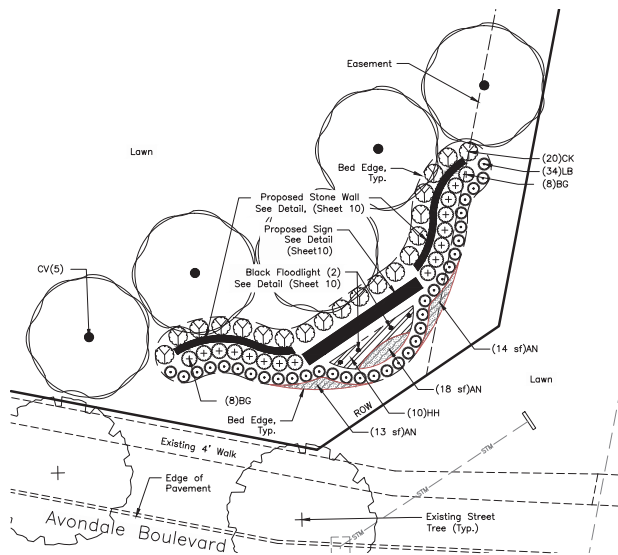
Tree Survey				Observer: Sarah Adams			
Site and Project #	Avondale 2012-0826	Date: 05/23/2012	Latin Name	Common Name	Health (Good, Fair, Poor, Dead)	DBH (inches)	Tree No.
1	16.5	white ash	Fraxinus americana	fair			
2	18	white ash	Fraxinus americana	fair			
3	12	white maple	Fraxinus americana	dead			
4	28	silver maple	Acer saccharinum	good			
5	10.5	shagbark hickory	Carya ovata	good			
6	9	silver maple	Acer saccharinum	good			
7	18	white ash	Fraxinus americana	dead			
8	16.5	American elm	Ulmus americana	good			
9	6	pin oak	Quercus palustris	good			
10	38	silver maple	Acer saccharinum	good			
11	11	pin oak	Quercus palustris	good			
12	11	shagbark hickory	Carya ovata	good			
13	14	boxelder	Acer negundo	good			
14	13	white ash	Fraxinus americana	dead			
15	10.5	white ash	Fraxinus americana	dead			
16	9	white ash	Fraxinus americana	poor			
17	6	shagbark hickory	Carya ovata	good			
18	18	shagbark hickory	Carya ovata	good			
19	12	white ash	Fraxinus americana	poor			
20	11	shagbark hickory	Carya ovata	good			
21	8	white ash	Fraxinus americana	fair			
22	8	white ash	Fraxinus americana	good			
23	20	American elm	Ulmus americana	good			
24	26	red oak	Quercus rubra	good			
25	22	white ash	Fraxinus americana	fair			
26	10	shagbark hickory	Carya ovata	good			
27	7	shagbark hickory	Carya ovata	good			
28	6	silver maple	Acer saccharinum	good			
29	10	white ash	Fraxinus americana	poor			
30	11	white ash	Fraxinus americana	poor			
31	11	black walnut	Juglans nigra	good			
32	16	white ash	Fraxinus americana	poor			
33	8	shagbark hickory	Carya ovata	good			
34	16	white ash	Fraxinus americana	dead			
35	8	white ash	Fraxinus americana	dead			
36	21	white ash	Fraxinus americana	poor			
37	12	silver maple	Acer saccharinum	fair			
38	19	silver maple	Acer saccharinum	fair			
39	23	silver maple	Acer saccharinum	good			
40	13	shagbark hickory	Carya ovata	good			
41	16	shagbark hickory	Carya ovata	good			
42	13	shagbark hickory	Carya ovata	good			
43	6.5	shagbark hickory	Carya ovata	good			
44	10	shagbark hickory	Carya ovata	good			
45	6	American elm	Ulmus americana	good			
46	14	shagbark hickory	Carya ovata	good			
47	9	black cherry	Prunus serotina	fair			
48	6	hawthorn species	Crataegus spp.	good			
49	6.5	hawthorn species	Crataegus spp.	fair			
50	21	red oak	Quercus rubra	good			
51	7	red oak	Quercus rubra	good			
52	9	black cherry	Prunus serotina	dead			
53	11	shagbark hickory	Carya ovata	good			
54	10.5	shagbark hickory	Carya ovata	good			
55	12	white ash	Fraxinus americana	poor			
56	6	crabapple species	Malus spp.	poor			
57	6	hawthorn species	Crataegus spp.	fair			
58	12	white ash	Fraxinus americana	poor			
59	6	crabapple species	Malus spp.	good			
60	21	shagbark hickory	Carya ovata	good			
61	7	white ash	Fraxinus americana	fair			
62	9	American elm	Ulmus americana	good			
63	7	black cherry	Prunus serotina	good			
64	11	white ash	Fraxinus americana	fair			
65	6	boxelder	Acer negundo	fair			
66	25	shagbark hickory	Carya ovata	good			
67	26	white ash	Fraxinus americana	poor			
68	6	shagbark hickory	Carya ovata	good			
69	17	black walnut	Juglans nigra	good			
70	6	shagbark hickory	Carya ovata	good			
71	10	hawthorn species	Crataegus spp.	good			
72	21	white ash	Fraxinus americana	dead			
73	24	silver maple	Acer saccharinum	good			
74	7	black cherry	Prunus serotina	fair			
75	9	black cherry	Prunus serotina	poor			
76	17	red oak	Quercus rubra	poor			
77	6.5	American elm	Ulmus americana	fair			
78	9	crabapple species	Malus spp.	poor			
79	10	black walnut	Juglans nigra	good			
80	12	osage-orange	Maclura pomifera	good			
81	14	white ash	Fraxinus americana	poor			
82	8	black cherry	Prunus serotina	poor			
83	12	white ash	Fraxinus americana	poor			
84	10	hawthorn species	Crataegus spp.	good			
85	9	black cherry	Prunus serotina	fair			
86	10	hawthorn species	Crataegus spp.	good			
87	10.5	black cherry	Prunus serotina	poor			
88	9	black cherry	Prunus serotina	poor			
89	6	black walnut	Juglans nigra	good			
90	12	white mulberry	Morus alba	fair			
91	7	black cherry	Prunus serotina	poor			
92	9	black cherry	Prunus serotina	fair			
93	8	hackberry	Celtis occidentalis	poor			
94	6	American elm	Ulmus americana	good			
95	10	American elm	Ulmus americana	good			
96	9	hackberry	Celtis occidentalis	dead			

97	18	black walnut	Juglans nigra	good			
98	12	osage-orange	Maclura pomifera	fair			
99	19	black walnut	Juglans nigra	good			
100	1	American elm	Ulmus americana	fair			
101	9	hackberry	Celtis occidentalis	good			
102	18	black walnut	Juglans nigra	good			
103	7	osage-orange	Maclura pomifera	fair			
104	6	hackberry	Celtis occidentalis	good			
105	18	osage-orange	Maclura pomifera	good			
106	20	black walnut	Juglans nigra	good			
107	6	hackberry	Celtis occidentalis	good			
108	20	black walnut	Juglans nigra	good			
109	9	hawthorn species	Crataegus spp.	fair			
110	6	boxelder	Acer negundo	good			
111	15	black walnut	Juglans nigra	good			
112	6	American elm	Ulmus americana	fair			
113	12	black walnut	Juglans nigra	good			
114	6	red oak	Quercus rubra	good			
115	10	black walnut	Juglans nigra	good			
116	11	hawthorn species	Crataegus spp.	fair			
117	8	hackberry	Celtis occidentalis	fair			
118	22	black walnut	Juglans nigra	good			
119	10	boxelder	Acer negundo	good			
120	9	hackberry	Celtis occidentalis	good			
121	25	hackberry	Celtis occidentalis	good			
122	25	black walnut	Juglans nigra	good			
123	19	hackberry	Celtis occidentalis	good			
124	6.5	hawthorn species	Crataegus spp.	fair			
125	6	black cherry	Prunus serotina	good			
126	11	black walnut	Juglans nigra	good			
127	7	hackberry	Celtis occidentalis	good			
128	12	hackberry	Celtis occidentalis	good			
129	11	hackberry	Celtis occidentalis	good			
130	9	black cherry	Prunus serotina	dead			
131	7	black cherry	Prunus serotina	poor			
132	8	black cherry	Prunus serotina	poor			
133	10	American elm	Ulmus americana	good			
134	13	white ash	Fraxinus americana	dead			
135	9	boxelder	Acer negundo	good			
136	9	white ash	Fraxinus americana	fair			
137	9	hackberry	Celtis occidentalis	good			
138	27	black walnut	Juglans nigra	good			
139	8	American elm	Ulmus americana	good			
140	11	hackberry	Celtis occidentalis	good			
141	11	white ash	Fraxinus americana	dead			
142	9	white ash	Fraxinus americana	poor			
143	12	black walnut	Juglans nigra	good			
144	7	white ash	Fraxinus americana	fair			
145	9	white ash	Fraxinus americana	fair			
146	14	black walnut	Juglans nigra	good			
147	6.5	white ash	Fraxinus americana	fair			
148	6	white ash	Fraxinus americana	fair			
149	15	American elm	Ulmus americana	poor			
150	12	boxelder	Acer negundo	good			
151	12	shagbark hickory	Carya ovata	good			
152	11	black cherry	Prunus serotina	poor			
153	6	boxelder	Acer negundo	good			
154	9	black walnut	Juglans nigra	good			
155	30	white ash	Fraxinus americana	fair			
156	9	black walnut	Juglans nigra	good			
157	11	black walnut	Juglans nigra	good			
158	12	black walnut	Juglans nigra	good			
159	8	American elm	Ulmus americana	fair			
160	8	white ash	Fraxinus americana	poor			
161	9.5	white ash	Fraxinus americana	poor			
162	13	black walnut	Juglans nigra	good			
163	8	white ash	Fraxinus americana	fair			
164	10	white ash	Fraxinus americana	fair			
165	7	hawthorn species	Crataegus spp.	fair			
166	6	hackberry	Celtis occidentalis	good			
167	14	black walnut	Juglans nigra	good			
168	8	hackberry	Celtis occidentalis	good			
169	19	black walnut	Juglans nigra	good			
170	24	white ash	Fraxinus americana	dead			
171	24	white ash	Fraxinus americana	dead			
172	10	hackberry	Celtis occidentalis	good			
173	10	American elm	Ulmus americana	good			
174	25.5	white ash	Fraxinus americana	dead			
175	6	boxelder	Acer negundo	good			
176	7	boxelder	Acer negundo	good			
177	10	boxelder	Acer negundo	fair			
178	9	boxelder	Acer negundo	fair			
179	10	hackberry	Celtis occidentalis	good			
180	7.5	hackberry	Celtis occidentalis	good			
181	7	boxelder	Acer negundo	fair			
182	7.5	boxelder	Acer negundo	fair			
183	7.5	boxelder	Acer negundo	fair			
184	7	boxelder	Acer negundo	fair			
185	25	osage-orange	Maclura pomifera	good			
186	20	white ash	Fraxinus americana	poor			
187	9	hawthorn species	Crataegus spp.	good			
188	10	shagbark hickory	Carya ovata	good			
189	17	boxelder	Acer negundo	poor			
190	11	shagbark hickory	Carya ovata	good			
191	9	osage-orange	Maclura pomifera	fair			
192	6	shagbark hickory	Carya ovata	good			
193	10.5	black walnut	Juglans nigra	good			
194	14	black walnut	Juglans nigra	good			
195	8	boxelder	Acer negundo	good			

196	10	black walnut	Juglans nigra	fair
197	13	black walnut	Juglans nigra	good
198	7	boxelder	Acer negundo	fair
199	14	black walnut	Juglans nigra	good
200	10	boxelder	Acer negundo	poor
201	7	shagbark hickory	Carya ovata	good
202	11	black walnut	Juglans nigra	good
203	12.5	black walnut	Juglans nigra	good
204	6	American elm	Ulmus americana	good
205	11	black walnut	Juglans nigra	good
206	10	black walnut	Juglans nigra	good
207	11	black walnut	Juglans nigra	poor
208	11	boxelder	Acer negundo	good
209	11	black walnut	Juglans nigra	good
210	10	American elm	Ulmus americana	fair
211	10	black walnut	Juglans nigra	poor
212	12	black walnut	Juglans nigra	good
213	16	black walnut	Juglans nigra	good
214	7	American basswood	Tilia americana	good
215	10	black walnut	Juglans nigra	good
216	12	osage-orange	Maclura pomifera	good
217	14	black walnut	Juglans nigra	good
218	12	shagbark hickory	Carya ovata	good
219	9	black walnut	Juglans nigra	good
220	7.5	American elm	Ulmus americana	poor
221	10	boxelder	Acer negundo	poor
222	15	hackberry	Celtis occidentalis	good
223	11	black walnut	Juglans nigra	fair
224	9.5	white ash	Fraxinus americana	fair
225	10	white ash	Fraxinus americana	fair
226	6	American elm	Ulmus americana	good
227	6	American elm	Ulmus americana	fair
228	8	shellbark hickory	Carya laciniosa	good
229	8	black walnut	Juglans nigra	good
230	6	shellbark hickory	Carya laciniosa	good
231	8	hawthorn species	Crataegus spp.	fair
232	8	white ash	Fraxinus americana	fair
233	6	American elm	Ulmus americana	fair
234	7	white ash	Fraxinus americana	fair
235	12	black walnut	Juglans nigra	good
236	7	hawthorn species	Crataegus spp.	good
237	10	black walnut	Juglans nigra	good
238	24	black walnut	Juglans nigra	good
239	6	hawthorn species	Crataegus spp.	fair
240	10	black walnut	Juglans nigra	good
241	14	white ash	Fraxinus americana	good
242	11	black walnut	Juglans nigra	good
243	7.5	black walnut	Juglans nigra	good
244	9.5	American elm	Ulmus americana	good
245	7	boxelder	Acer negundo	good
246	23	white ash	Fraxinus americana	poor
247	11	American elm	Ulmus americana	good
248	6.5	American elm	Ulmus americana	good
249	17	white ash	Fraxinus americana	fair
250	6.5	black walnut	Juglans nigra	good
251	7.5	black walnut	Juglans nigra	good
252	6.5	shellbark hickory	Carya laciniosa	good
253	8	black walnut	Juglans nigra	good
254	14	black walnut	Juglans nigra	good
255	10	hawthorn species	Crataegus spp.	fair
256	8	hawthorn species	Crataegus spp.	fair
257	14	white ash	Fraxinus americana	dead
258	13	white ash	Fraxinus americana	dead
259	12	American elm	Ulmus americana	good
260	12	black walnut	Juglans nigra	good
261	12	black walnut	Juglans nigra	good
262	6	hawthorn species	Crataegus spp.	fair
263	11	black walnut	Juglans nigra	good
264	13	black walnut	Juglans nigra	good
265	9	shellbark hickory	Carya laciniosa	good
266	6	hackberry	Celtis occidentalis	good
267	11	black walnut	Juglans nigra	fair
268	11	osage-orange	Maclura pomifera	good
269	10	black walnut	Juglans nigra	good
270	7	hawthorn species	Crataegus spp.	good
271	15	osage-orange	Maclura pomifera	good
272	22	black walnut	Juglans nigra	good
273	8	black walnut	Juglans nigra	good
274	14	black walnut	Juglans nigra	good
275	7	hackberry	Celtis occidentalis	good
276	17	shagbark hickory	Carya ovata	good
277	10	osage-orange	Maclura pomifera	poor
278	8	hawthorn species	Crataegus spp.	poor
279	8	American elm	Ulmus americana	fair
280	12	white ash	Fraxinus americana	dead
281	20	shellbark hickory	Carya laciniosa	good
282	6	American elm	Ulmus americana	good
283	17	white ash	Fraxinus americana	fair
284	14	black walnut	Juglans nigra	good
285	10	black walnut	Juglans nigra	good
286	9	hackberry	Celtis occidentalis	good
287	24	black walnut	Juglans nigra	good
288	7	American elm	Ulmus americana	fair
289	8	American elm	Ulmus americana	good
290	11	white ash	Fraxinus americana	fair
291	13	white ash	Fraxinus americana	fair
292	6.5	white ash	Fraxinus americana	fair
293	21	white ash	Fraxinus americana	poor
294	12	black walnut	Juglans nigra	good







**Avery Road Entry A**  
Scale: 1" = 10'

Note: Proposed signs located outside of sight triangles and are setback 8' from ROW per Dublin Code.

**PLANT SCHEDULE AVERY ROAD ENTRY A**

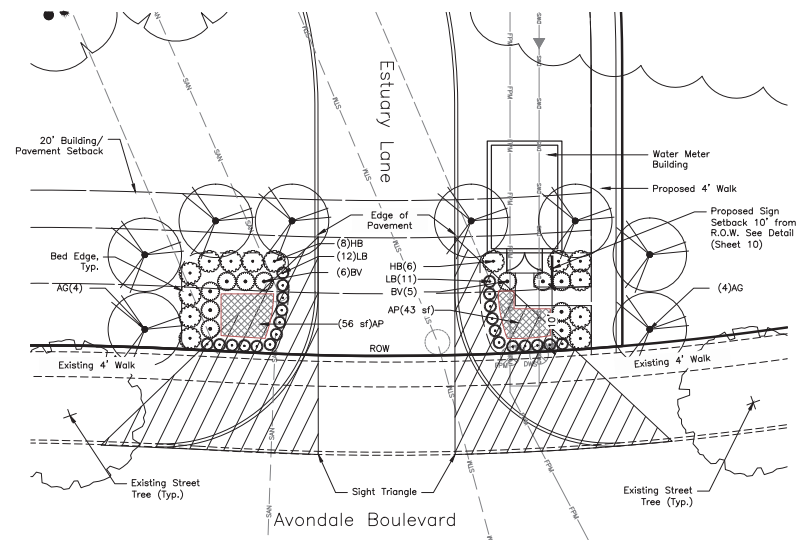
ORNAMENTAL TREES		QTY	BOTANICAL NAME	SIZE	CONDITION
CV	5		Crataegus viridis 'Winter King'	2.5' Cal.	B&B
			'Winter King' Hawthorn		
SHRUBS		QTY	BOTANICAL NAME	SIZE	CONDITION
BK	16		Buxus x 'Green Gem'	24" Ht.	Cont.
CG	20		Green Gem Boxwood		
			Calamagrostis x acutiflora 'Karl Foerster'	36" Ht.	B&B or Cont.
			Feather Reed Grass		
LB	34		Liriope muscari 'Big Blue'	#1	Cont.
			Big Blue Liriope		
PERENNIALS		QTY	BOTANICAL NAME	SIZE	CONDITION
HH	10		Hemerocallis x 'Happy Returns'	#1	Cont.
			Happy Returns Daylily		24" o.c.
GROUND COVERS		QTY	BOTANICAL NAME		
AN	45 sf		Annuals Area		
			Seasonal by Owner		

**PLANT SCHEDULE ENTRY B**

ORNAMENTAL TREES		BOTANICAL NAME		SIZE	CONDITION
AG	QTY	Amelanchier x grandiflora 'Autumn Brilliance'		6" Ht.	Multi Stemmed
		'Autumn Brilliance' Serviceberry			
SHRUBS		BOTANICAL NAME		SIZE	CONDITION
BV	QTY	Buxus x 'Green Velvet'		24" Ht.	Cont.
HB	11	Green Velvet Boxwood			
		Hydrangea macrophylla 'Blushing Bride'		24" Ht.	Cont.
LB	23	Blushing Bride Hydrangea			
		Liriope muscari 'Big Blue'		#1	Cont.
		Big Blue Liriope			
GROUND COVERS		BOTANICAL NAME			
AP	99 sf	Annuals / Perennials			
		Seasonal by Owner			

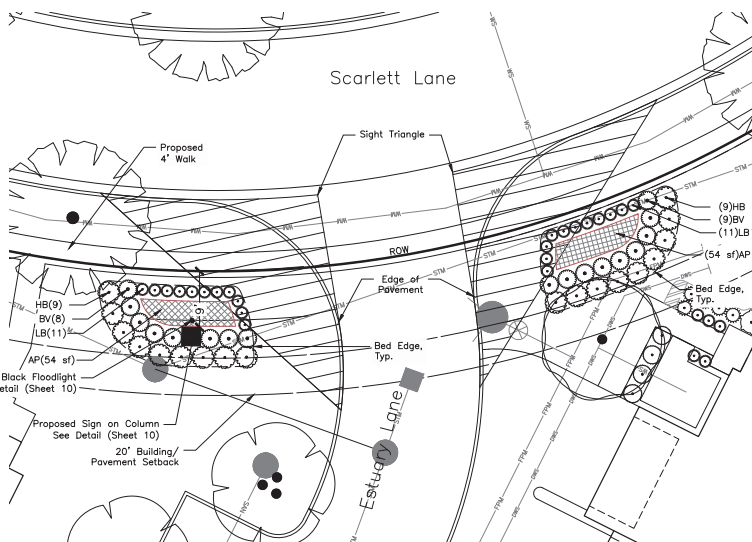
**PLANT SCHEDULE ENTRY C**

SHRUBS		BOTANICAL NAME		SIZE	CONDITION
HB	17	Buxus s. 'Green Velvet'	Green Velvet Boxwood	24" Ht.	Cont.
	18	Hydrangea macrophylla	'Blushing Bride'	24" Ht.	Cont.
LB	22	Liriope muscari	'Big Blue'	#1	Cont.
			Big Blue Liriope		
GROUND COVERS		BOTANICAL NAME			
AP	107 sf	Annuals /	Perennials		
		Seasonal by Owner			



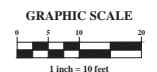
**Entry B**  
Scale: 1" = 10'

Note: Proposed signs located outside of sight triangles and are setback 8' from ROW per Dublin Code.



**Entry C**  
Scale: 1" = 10'

Note: Proposed Sign on Column located outside of sight triangles and is setback 8' from ROW per Dublin Code.



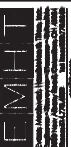
REVISIONS

DATE DESCRIPTION



788 NORTHEAST DRIVE, COLUMBUS, OH 43214

**AVONDALE WOODS**  
ENTRY ENLARGEMENTS



DATE

MAY 2016

SCALE

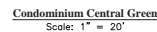
As Noted

JOB NO.

20141890

SHEET

7/11

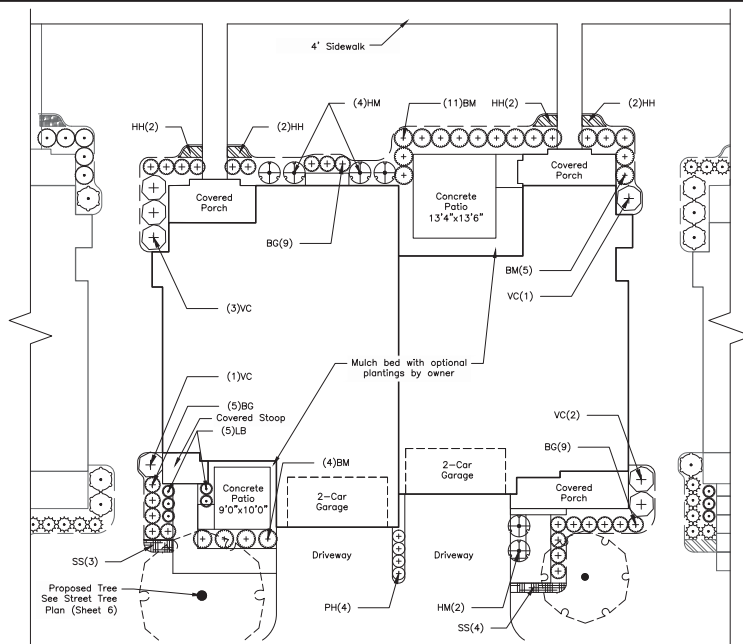


<u>ORNAMENTAL TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>
CA	9	Malus x 'Spring Snow'	Spring Snow Crab Apple	5' Ht.	B&B











DECIDUOUS TREES		BOTANICAL NAME		COMMON NAME		SIZE	CONDITION	
BD	7	<i>Betula nigra</i>	"Durham"	Durham River Birch	10'	Ht.	B&B	
LS	13	<i>Liquidambar styraciflua</i>		American Sweet Gum	25.5'	Col.	B&B	
OB	12	<i>Quercus bicolor</i>		Swamp White Oak	2.5'	Ht.	B&B	
QS	6	<i>Quercus shumardii</i>		Shumard Red Oak	2.5'	Col.	B&B	
EVERGREEN TREES		BOTANICAL NAME		COMMON NAME		SIZE	CONDITION	
PA	9	<i>Picea abies</i>		Norway Spruce	5'	Ht.	B&B	
PC	7	<i>Picea pungens</i>		Colorado Spruce	5'	Ht.	B&B	
ORNAMENTAL TREES		BOTANICAL NAME		COMMON NAME		SIZE	CONDITION	
AG	7	<i>Amelanchier x grandiflora</i>	"Autumn Brilliance"	"Autumn Brilliance"	5'	Ht.	Multi Stemmed	
MS	21	<i>Magnolia x soulangiana</i>		Saucer Magnolia	5'	Ht.	B&B	
SHRUBS		BOTANICAL NAME		COMMON NAME		SIZE	CONDITION	
CK	21	<i>Calamagrostis x acutiflora</i>	"Karl Foerster"	Feather Reed Grass	36"	Ht.	B&B or Cont.	
CS	17	<i>Cornus alba "Sibirica"</i>		Redtwig Dogwood	36"	Ht.	B&B	
VD	22	<i>Viburnum dentatum</i>		Aronwood Viburnum	36"	Ht.	B&B or Cont.	
SHRUB AREAS		BOTANICAL NAME		COMMON NAME		SIZE	CONDITION	SPACING
NW	91	<i>Nepeta x fossenii</i>	"Walkers Low"	Walkers Low Catmint	24"	Ht.	#2 Cont.	24" o.c.
RG	64	<i>Rubusculia fulgens</i>	"Sulivanti" "Goldsturm"	Black-eyed Susan	24"	Ht.	#2 Cont.	24" o.c.
PERENNIALS		BOTANICAL NAME		COMMON NAME		SIZE	CONDITION	SPACING
SS	64	<i>Sedum spectabile</i>	"Autumn Joy"	"Autumn Joy Sedum"	12"	Cont.	Cont.	24" o.c.

\\mch\mch\A\1\project\20141890\Draw\20141890-Landscape-Enlargements.dwg, Last Saved By: Phil Anderson, 5/11/2016 3:30 PM, Last Printed By: Phil Anderson, 5/11/2016 3:30 PM (No Xref)



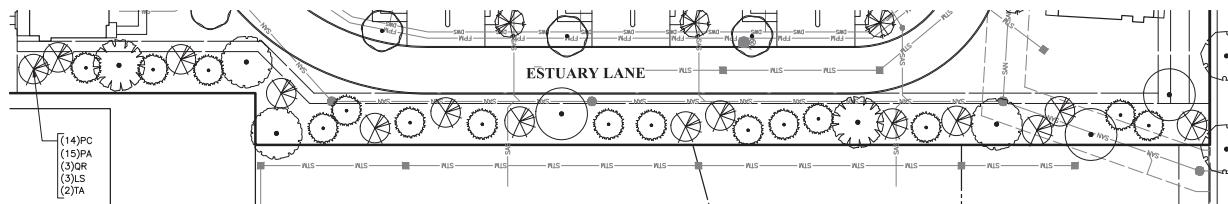
Note: Option 2 Landscape Plan to be used on Units (Alternate by Building)  
**Condominium Unit Landscape (Option 1)**  
Scale: 1" = 10'

**TYPICAL UNIT LANDSCAPE (OPTION 1)**

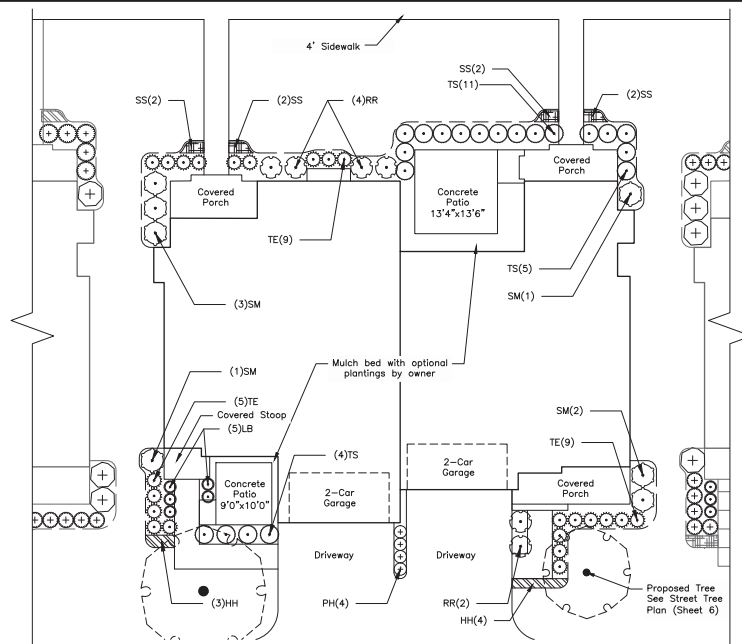
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	
	BG	23	Buxus x 'Green Gem'	Green Gem Boxwood	24" Ht.	Cont.	
	BM	20	Buxus x 'Green Mountain'	Green Mountain Boxwood	30" Ht.	B&B	
	HM	6	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	24" Ht.	B&B	
	LB	5	Liriope muscari 'Big Blue'	Big Blue Liriope	#1	Cont.	
	PH	4	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	#2	Cont.	
	VC	7	Viburnum carlesii 'Cayuga'	Cayuga Viburnum	24" Ht.	B&B	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	HH	8	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	#1	Cont.	24" o.c.
	SS	7	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	#2	Cont.	24" o.c.

**SUBAREA A BUFFER**

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
LS	3	Liquidambar styraciflua	American Sweet Gum	2.5" Cal.	B&B
QR	3	Quercus rubra	Red Oak	2.5" Cal.	B&B
TA	2	Tilia americana	American Linden	2.5" Cal.	B&B
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
PA	15	Picea abies	Norway Spruce	5' HT.	B&B
PC	14	Picea pungens	Colorado Spruce	5' HT.	B&B



Note: See Grading Plan for mounding along buffer  
**Subarea A Buffer**  
Scale: 1" = 30'



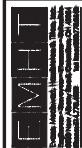
Note: Option 2 Landscape Plan to be used on Units (Alternate by Building)  
**Condominium Unit Landscape (Option 2)**  
Scale: 1" = 10'

**TYPICAL UNIT LANDSCAPE (OPTION 2)**

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	
	LB	5	Liriope muscari 'Big Blue'	Big Blue Liriope	#1	Cont.	
	PH	4	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	#2	Cont.	
	RR	6	Rosa x 'Knockout'	Knockout Rose	#3	Cont.	
	SM	7	Syringa patula 'Miss Kim'	Miss Kim Lilac	24" Ht.	B&B or Cont.	
	TE	23	Toxus x media 'Everlow'	Everlow Yew	18" Ht.	B&B	
	TS	20	Toxus x media 'Sebion'	Sebion Yew	30" Ht.	B&B	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	HH	7	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	#1	Cont.	24" o.c.
	SS	8	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	#2	Cont.	24" o.c.

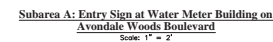
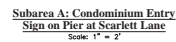
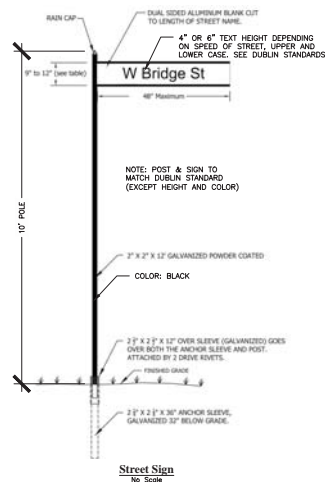
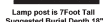
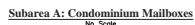
788 NORTHEAST DRIVE, COLUMBUS, OH 43214

**AVONDALE WOODS**  
UNIT ENLARGEMENTS



DATE  
MAY 2016  
SCALE  
As Noted  
JOB NO.  
20141890  
SHEET  
9/11



[illegible]

750 NORTH LAWN DRIVE, COLUMBUS, OH 43214

FOR  
AVONDALE WOODS  
TYPICAL DETAILS



DATE \_\_\_\_\_

MAY 2016

SCALE

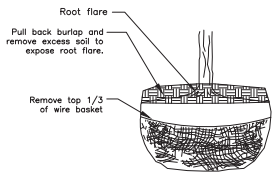
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JOB NO.

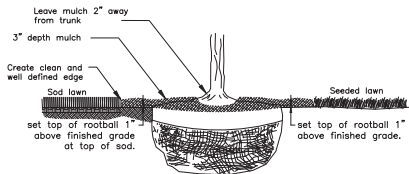
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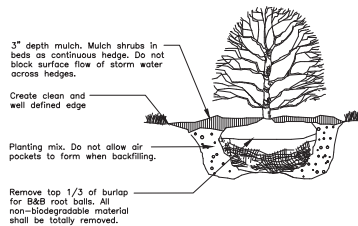
10/11



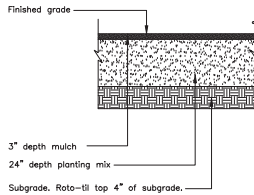
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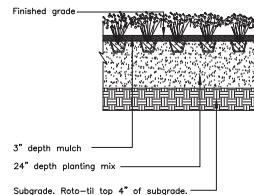
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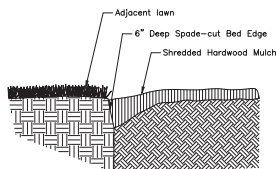
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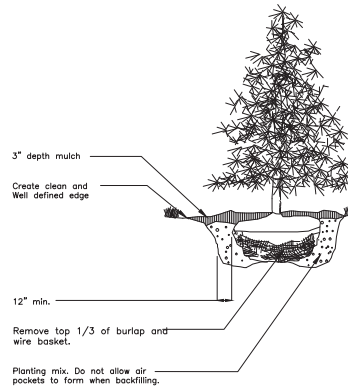
**Planting Area Establishment**  
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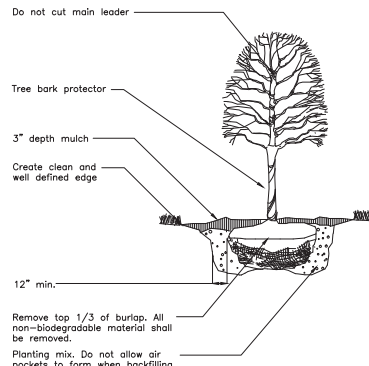
**Perennial & Groundcover Planting**  
No Scale



**Planting Bed Edge**  
No Scale



**Evergreen Tree Planting**  
No Scale



**Deciduous Tree Planting**  
No Scale

**GENERAL NOTES**

1. Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
2. All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, current edition. All plants shall equal or exceed the measurements and sizes specified in the schedule.
3. Substitutions shall be permitted based on plant availability; substitutes shall be provided in writing to the Landscape Architect and coordinated with the City for approval. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
4. Confirm location of all utilities and subsurface drain lines prior to plant installation.
5. A pre-installation conference shall be conducted prior to planting operations with Owner, Contractor, and Landscape Architect present.
6. Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
7. Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
8. Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
9. Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
10. Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
11. Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
12. Bed edge shall be smooth, consistent, hand trenched 6" deep and "Y" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
13. All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
14. Install all plants in accordance with planting details and specifications.
15. Parking lot and street trees shall have a clear canopy height of 6' min.
16. Trees shall be placed a minimum of 3' from sidewalks and curbs.
17. Planting Mix shall be blended, manufactured soil consisting of three (3) parts topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D5255, pH range of 5.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA rated Class IV compost facility or Com-Til compost from City of Columbus Department of Public Utilities. Sand shall be per item ASTM C33. Proprietary manufactured Planting Mix such as Kurtz Bros. Professional Blend or Jones SuperSol may be used. Submit product data for review by Owner. Place Planting Mix in settled 6 inch lifts.
18. Mix Mycorrhizal Fungi Into Planting Mix during placement of Planting Mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal Fungi shall be a dry, granular inoculant containing at least 5300 spores per lb (0.45 kg) of vesicular-arbuscular mycorrhizal fungi and 95 million spores per lb (0.45 kg) of ectomycorrhizal fungi, 33 percent hydrogel, and a maximum of 5.5 percent inert material.
19. Roto-Til subgrade below Planting Mix to a depth of 4 inches, unless otherwise indicated, prior to placement of Planting Mix.
20. Raised beds, including mulch, shall be no higher than 6 inches above adjacent grade.
21. Lawn areas to be backfilled with topsoil to a minimum settled thickness of 6 inches.
22. All trees, shrubs, groundcover, and lawns to be fertilized with a commercial grade fertilizer consisting of fast and slow release nitrogen.
23. Composition and application rate of fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit test results and amendment recommendations to Landscape Architect. Fertilizer shall be in a dry granular form for lawns and granular or tablet form for plants.
24. Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
25. Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
26. Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
27. All annuals to be provided by Owner.
28. Lawn seed mix shall be proportioned by weight as follows: 10 percent NuBlue or Blue Chip Kentucky Bluegrass; 10 percent Coddieshack or Cookekeeper Perennial Ryegrass; 80 percent Quest, Inferno, Arid 3 and/or Pixie Tall Fescue (select 2). Sodded lawns shall match seeded lawns.
29. Lawn seed shall not have less than 95 percent germination, not less than 85 percent pure seed, and not more than 0.5 percent weed seed.
30. Tree Locations shall be adjusted to avoid final utility placement.

REVISIONS

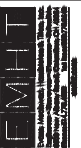


798 NORTHEAST DRIVE, COLUMBUS, OH 43214

FINAL DEVELOPMENT PLAN

AVONDALE WOODS

LANDSCAPE NOTES AND DETAILS



DATE

MAY 2016

SCALE

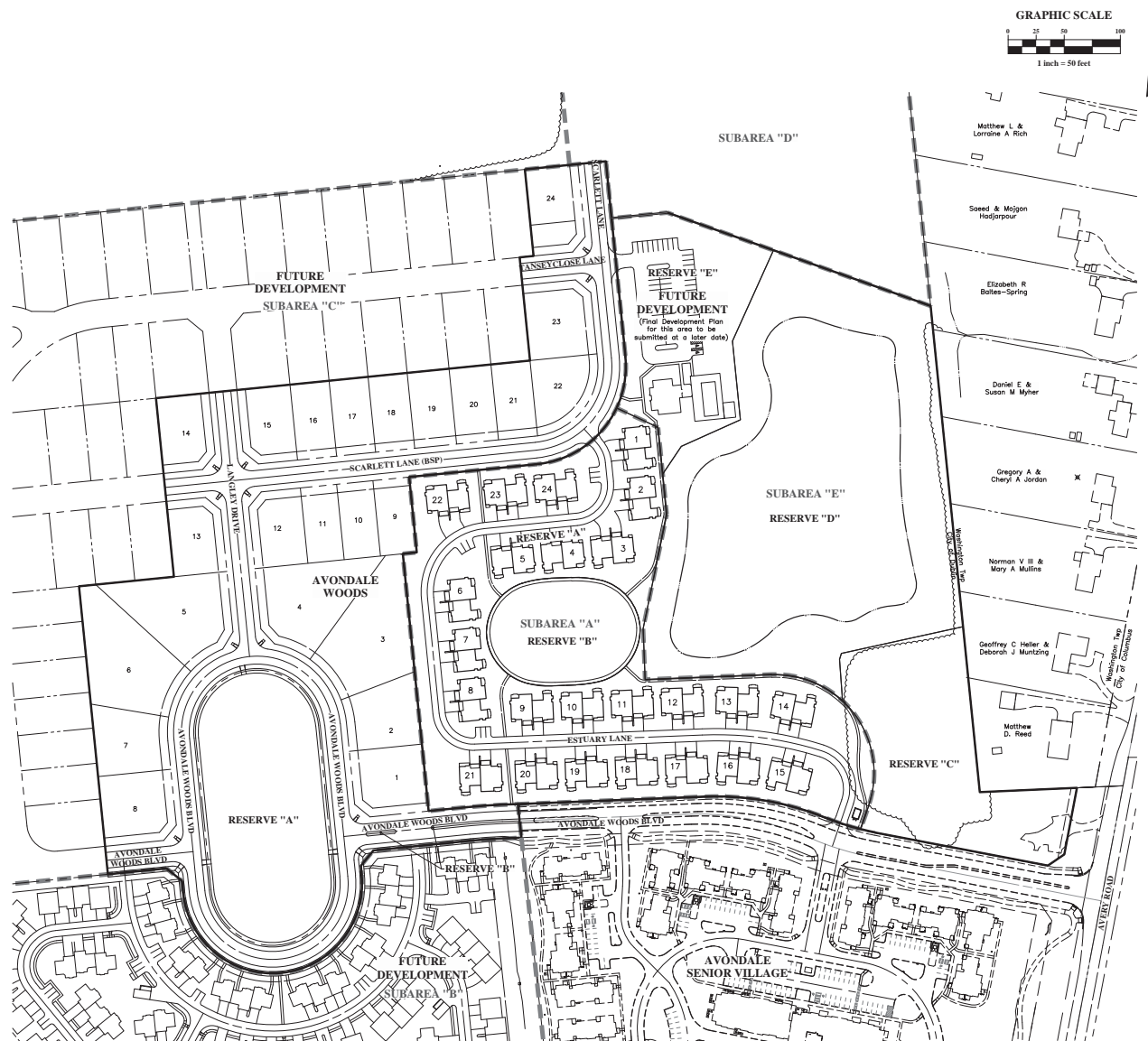
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JOB NO.

20141890

SHEET

11/11



<b><u>SITE DATA</u></b>	
<b>SUBAREA A - The Landings at Avondale Woods</b>	
Site Area	8.0± Ac
Units	48 DU
Open Space (Reserve B)	1.0 Ac
<b>SUBAREA C - Avondale Woods Section 1</b>	
Site Area	14.7± Ac
Lots	24
Open Space (Reserve A)	2.1± Ac
<b>SUBAREA E - Open Space: Park, Stormwater Management Area, Woods, Clubhouse, Paths &amp; Recreational Uses</b>	
Site Area	11.3± Ac
Reserve C (Open Space, Woods & Entry Features)	2.2± Ac
Reserve D (Open Space - Stormwater Management)	7.2± Ac
Reserve E (Open Space, Future Clubhouse & Parking)	1.9± Ac

<u>LANDINGS AT AVONDALE WOODS (SUBAREA A &amp; E)</u>			
<u>RESERVE OWNERSHIP &amp; MAINTENANCE</u>			
RESERVE	OWNERSHIP	MAINTAINED BY	PREVIOUS AREA PER FDP
A/B	SHOA	SHOA	Reserve A
C	MHOA	MHOA	Reserve G
D	MHOA	City of Dublin	Reserve G
E	MHOA	MHOA	Reserve G

<b>AVONDALE WOODS (SUBAREA C)</b>			
<b><u>RESERVE OWNERSHIP &amp; MAINTENANCE</u></b>			
<b>RESERVE</b>	<b>OWNERSHIP</b>	<b>MAINTAINED BY</b>	<b>PREVIOUS AREA PER PDP</b>
Reserve A	City of Dublin	City of Dublin	Reserve B
Reserve B	City of Dublin	MHOA	Reserve J

SHOA = Subarea Homeowners Association / Subarea Resident Association  
MHOA = Master Homeowners Association

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
PRIVATE SITE IMPROVEMENTS PLAN  
FOR  
**LANDINGS AT  
AVONDALE WOODS**  
2016



**SHEET INDEX**

Title Sheet	1
General Notes	2
Typical Sections & Details	3
Existing Conditions	4
Staking Plan	5
Private Utility Plan	6
Water Notes & Details	7
Grading Plan	8-9
Entrance Details	10



**BENCH MARKS**  
(NAVD 1988)

Source BM  
FCGS 8847

Aluminum cap in concrete monument, at the centerline intersection of Avery Road North, Kings Road West and Canal Road East, across through F.C. Road monuments box. Monument replaces a found 2" hollow iron pin 10 inches deep.

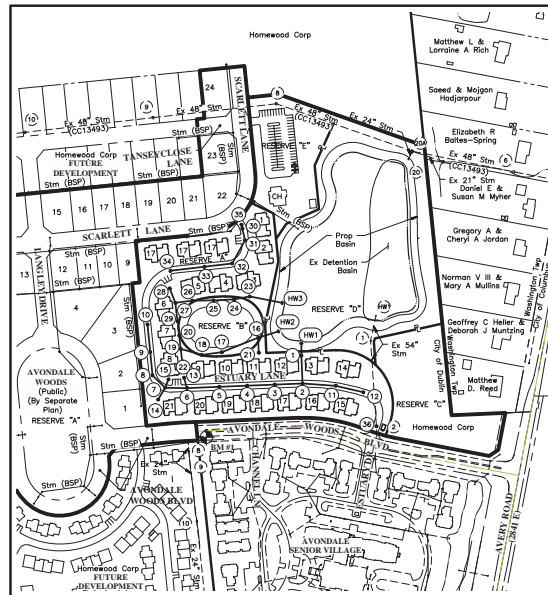
Elev = 923.09

BM#1 Chiseled "X" on the north flange bolt of the first fire hydrant west of the intersection of Avondale Woods Boulevard and Channel Lane, being on the south side of Avondale Woods Boulevard.

Elev = 932.79

BM#2 Chiseled "X" on the north flange bolt of the first fire hydrant east of the intersection of Avondale Woods Boulevard and Channel Lane, being on the south side of Avondale Woods Boulevard.

Elev = 932.13



**INDEX MAP**  
Scale: 1" = 200'

**DEVELOPER/OWNER**

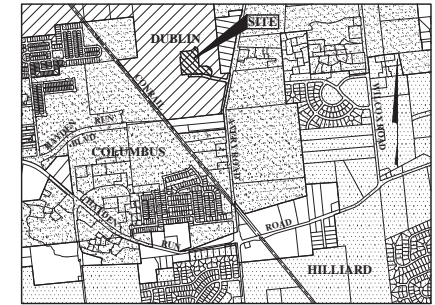
HOMWOOD CORPORATION  
Jim Lipson  
2700 E. Dublin-Granville Road  
Suite 300  
Columbus, Ohio 43231  
Tel: (614) 898-7200  
Fax: (614) 451-1197



**STANDARD CONSTRUCTION DRAWINGS**

The Standard Construction Drawings listed on these plans are to be considered a part thereof.

City of Columbus				City of Dublin			
AA-S100	AA-S141	L-6306	L-6637	PD-02	ST-01		
AA-S106	AA-S145	L-6309	L-6640	PD-03	ST-02		
AA-S107	AA-S149	L-6310	L-7001	PD-04	ST-03		
AA-S112	AA-S150	L-6311	1441	RD-05	ST-05		
AA-S117	AA-S151	L-6312	2000	RD-06	WA-01		
AA-S119	AA-S168	L-6316	2175	RD-10			
AA-S133	AA-S169	L-6317C	2190	SA-01			
AA-S139		L-6324	2318	SA-02			
			2190	SA-03			



**LOCATION MAP**  
Not to Scale

**CITY OF DUBLIN APPROVAL**

The signatures below signify only concurrence with the purpose and general location of the project. All technical details remain the responsibility of the Engineer preparing the plans.

City Engineer, City of Dublin, Ohio \_\_\_\_\_ Date \_\_\_\_\_

Director of Land Use & Long Range Planning, City of Dublin, Ohio \_\_\_\_\_ Date \_\_\_\_\_

**PREPARED BY:**

**EMHT**  
Civil Engineers • Surveyors • Planners • Geologists  
2800 New Albany Road, Columbus, OH 43260  
Phone: (614) 718-1850 Fax: (614) 718-1850  
emht.com

**PRELIMINARY**  
NOT TO BE USED FOR  
CONSTRUCTION

PLAN SET DATE  
May 12, 2016

Registered Engineer No. \_\_\_\_\_ Date \_\_\_\_\_

REVISIONS  
DATE DESCRIPTION



FINAL SITE COMPLIANCE  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
PRIVATE SITE IMPROVEMENTS PLAN  
FOR  
**LANDINGS AT AVONDALE WOODS**  
TITLE SHEET



DATE  
May 12, 2016

SCALE  
As Noted

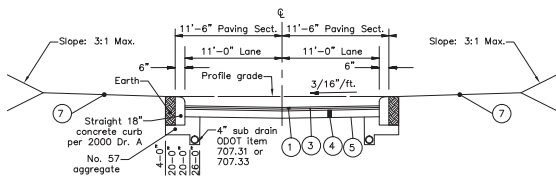
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2014-1890

SHEET  
1/10

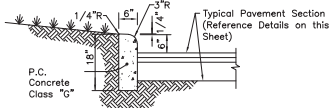
XX-002-COM



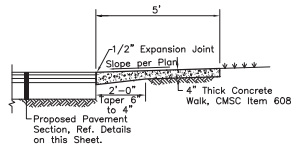




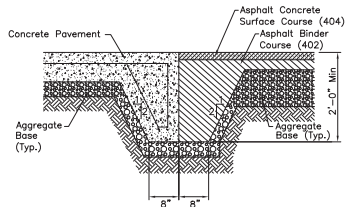
**TYPICAL 23' B/B PRIVATE STREET SECTION**  
ESTUARY LANE  
Not To Scale



**STRAIGHT 18" CONCRETE CURB DETAIL**  
Not To Scale

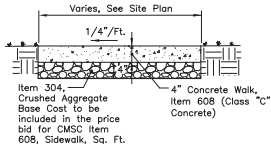


**CONCRETE WALK/EDGE OF PAVEMENT DETAIL**  
Not To Scale



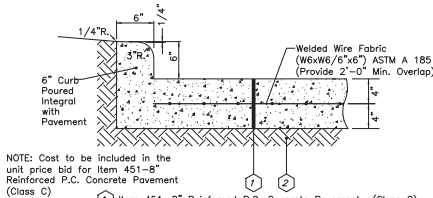
**CONCRETE/ASPHALT TURNDOWN DETAIL**  
Not To Scale

NOTE: Contractor shall provide turndown at X1 and X2 where asphalt and concrete or concrete base pavement meet.



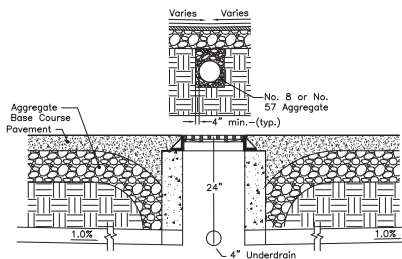
Sidewalk Joints (Price Shall Be Included w/item 608) Shall Be In Accordance With CMSC Item 608.03 Unless Otherwise Detailed as a Part of the Architectural Plans.

**TYPICAL SIDEWALK SECTION**  
Not To Scale



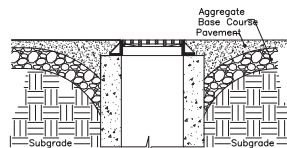
- NOTE: Cost to be included in the unit price bid for Item 451-8" Reinforced P.C. Concrete Pavement (Class C)
- 1 Item 451, 8" Reinforced P.C. Concrete Pavement (Class C)
  - 2 Item 204, Subgrade Compaction, Reference Soils Report

**STANDARD ENTRANCE APPROACH PAVEMENT SECTION**  
Not To Scale



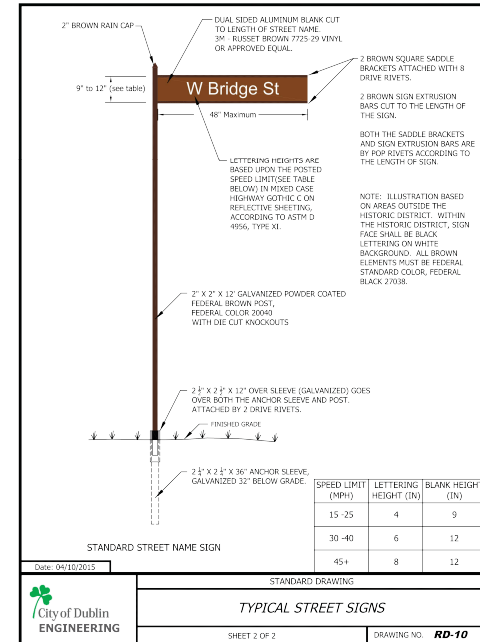
The Perforated Pipe shall be protected from heavy traffic after installation prior to placement of proposed pavement.

**TYPICAL 4" UNDERDRAIN DETAIL**  
Not To Scale



The contractor shall initially set the top of casting for an inlet structure within the paved areas to the elevation of the intermediate pavement course, Item 402. Prior to final paving of surface course, Item 404, the contractor shall adjust the top of casting to finish pavement grade. Cost of the above shall be included in the price bid for the various related paving items.

**TYPICAL SECTION FOR STRUCTURES WITHIN PAVEMENT**  
Not To Scale



STANDARD DRAWING

TYPICAL STREET SIGNS

SHEET 2 OF 2

DRAWING NO. RD-10

REVISIONS

DATE DESCRIPTION



FINAL SITE COMPLIANCE

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
PRIVATE SITE IMPROVEMENTS PLAN

LANDINGS AT AVONDALE WOODS

TYPICAL SECTIONS & DETAILS



DATE

May 12, 2016

SCALE

As Noted

JOB NO.

2014-1890

SHEET

3/10

5/12/2016 2:50 PM  
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Last Saved By: Matt, 5/12/2016 2:50 PM  
Last Printed By: Matt, 5/12/2016 2:50 PM



REVISIONS	DATE	DESCRIPTION



**EMHT**  
Engineering & Mapping, Inc.  
10000 W. 12th Ave., Suite 100  
Denver, CO 80202  
Phone: 303.755.1234  
Fax: 303.755.1235  
www.emht.com

**FINAL SITE COMPLIANCE**  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
FOR  
**PRIVATE SITE IMPROVEMENTS PLAN**  
**LANDINGS AT AVONDALE WOODS**  
EXISTING CONDITIONS

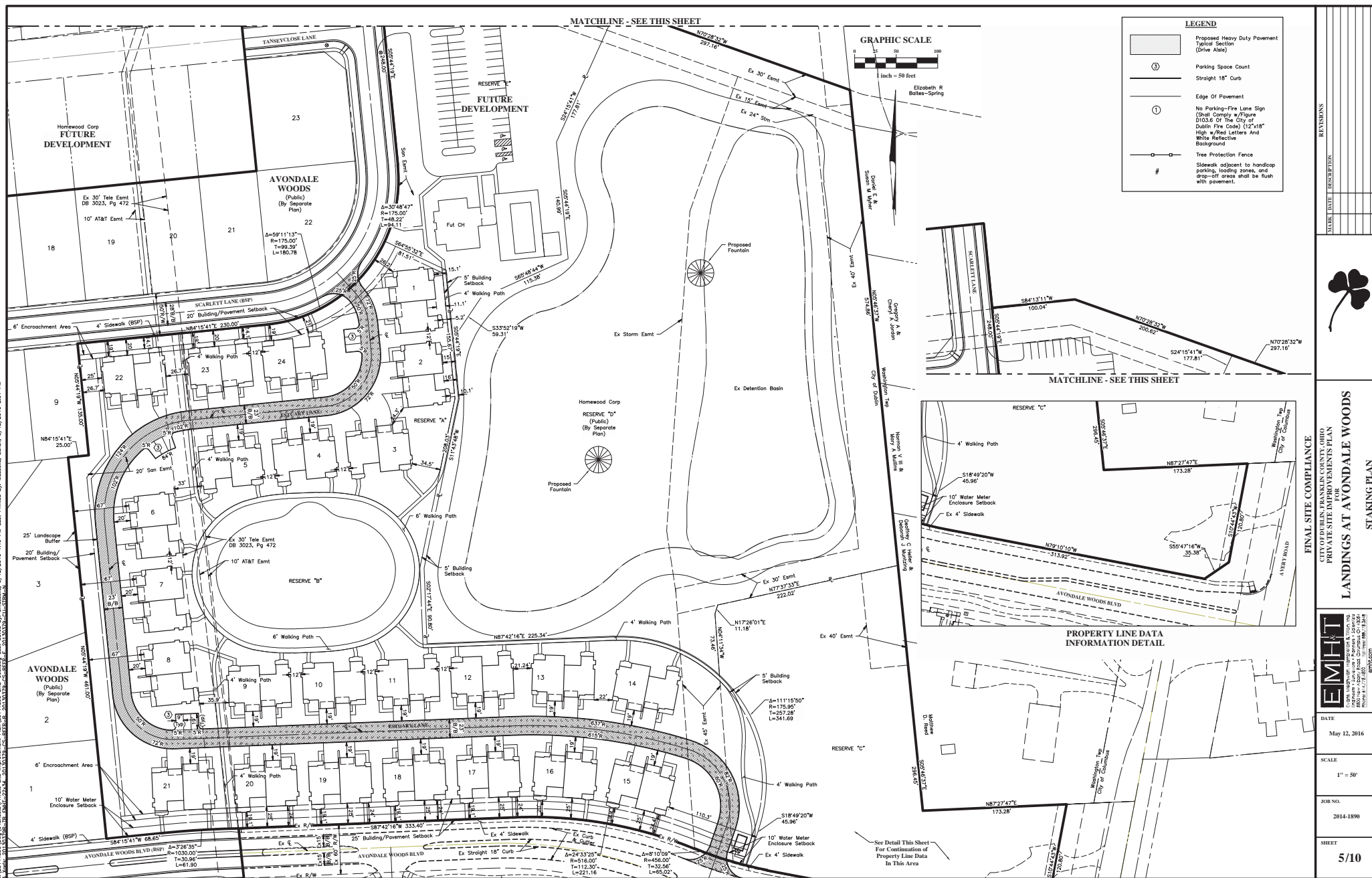
DATE: May 12, 2016

SCALE: 1" = 50'

JOB NO.: 2014-1890

SHEET: 4/10







<b><u>EXISTING</u></b>		<b><u>LEGEND</u></b>	
— 24"ST —		Storm	
— 8" San —		Sanitary	
— W —		Water	
○		Storm Manhole	
□		Catch Basin	
○		Sanitary Manhole	
 <b><u>PROPOSED LAYOUT</u></b>			
— 24"ST —		Storm	
—		Sanitary	
—		Sanitary Service	
—		Private Fire Protection Service	
—		Private Domestic Water Service	
—		Yard Drains	
—		Roof Drains	
+			
●		Storm Manhole	
■		Curb & Gutter Inlet	
●		Catch Basin	
●		Sanitary Manhole	
●		Water Valve	
⦿		Fire Hydrant	

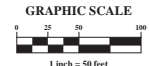
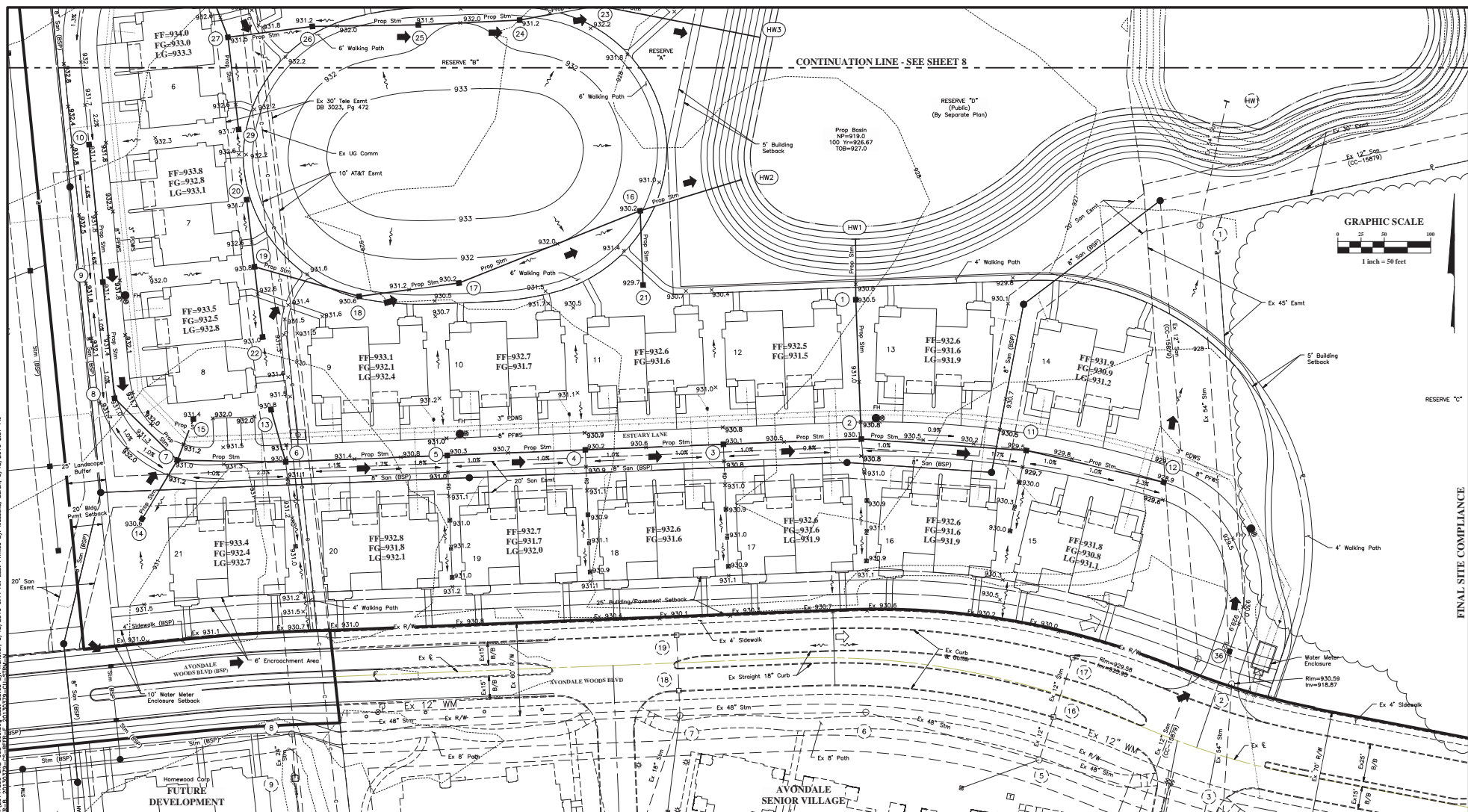








5/12/2016 2:27 PM  
C:\Users\jmc\OneDrive\Documents\Projects\Avondale Woods\Grading\Grading Plan\Grading Plan.dwg  
Plot Date: 5/12/2016 2:27 PM  
Plot By: jmc  
Plot Title: Grading Plan  
Plot Scale: 1/8" = 1'-0"



EXISTING CONDITIONS		PROPOSED LAYOUT	
-----925-----	Major Contour	-----925-----	Major Contour
-----926-----	Minor Contour	-----926-----	Minor Contour
(4) HW2	Structure Number	x 000.00	Spot Elevation (Pvmt/Grade)
		x 000.00	Spot Elevation (Top of Curb)
	Yard Drain (N/A) (See Sheet XX for Elevations)	→	Flood Routing
		→	Existing Flood Routing
		→	Flow Arrow
		(16) HW7	Structure Number

REVISIONS

NO.	DATE	DESCRIPTION

EMHT

FINAL SITE COMPLIANCE  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
PRIVATE SITE IMPROVEMENTS PLAN  
FOR  
LANDINGS AT AVONDALE WOODS  
GRADING PLAN

DATE  
May 12, 2016

SCALE  
1/8" XREF

JOB NO.  
2014-1890

SHEET  
9/10





CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
PUBLIC STREET, STORM & WATER IMPROVEMENTS  
FOR  
**AVONDALE WOODS**  
**SECTION 1**  
2016



**SHEET INDEX**

Title Sheet	1
General Notes	2
Quantities & Typical Sections	3
Water Coordinate Tables & MOT Notes	4
Intersection & Curb Ramp Details	5
Plan & Profile	6-9
Master Grading & Erosion Control Plan	10-11
Detention Basin & Details	12

**PROJECT SUMMARY**

Project Area	14.36 Ac
Right-of-way Area	2.63 Ac
Number of Lots	24

**STANDARD DRAWINGS**

CITY OF DUBLIN	CITY OF COLUMBUS	ODOT
RD-01	ST-01 AA-S102 AA-S142 L-6306	BP-3.1
RD-02	ST-03 AA-S106 AA-S149 L-6309	
RD-03	ST-04 AA-S107 AA-S150 L-6310	
RD-05	ST-05 AA-S112 AA-S151 L-6311	
RD-06	ST-06 AA-S117 AA-S168 L-6312	
RD-07	WA-01 AA-S119 AA-S169 L-6316A	
RD-10	AA-S121 L-6409A	
PD-01	AA-S125A L-6640	
PD-02	AA-S125B L-7001	
PD-03	AA-S128 L-9901	
PD-04	AA-S133A	
PD-06	AA-S133B	
PD-08	AA-S139	

**BENCH MARKS**  
(NAD 1983)

Source BM  
FCDS 8947

Aluminum cap in concrete monument, at the centerline intersection of Avery Road North, Ring Road West and Cora Road East, access through F.C. Road monument box. Monument replaces a found 2" hollow iron pin 10 inches deep.

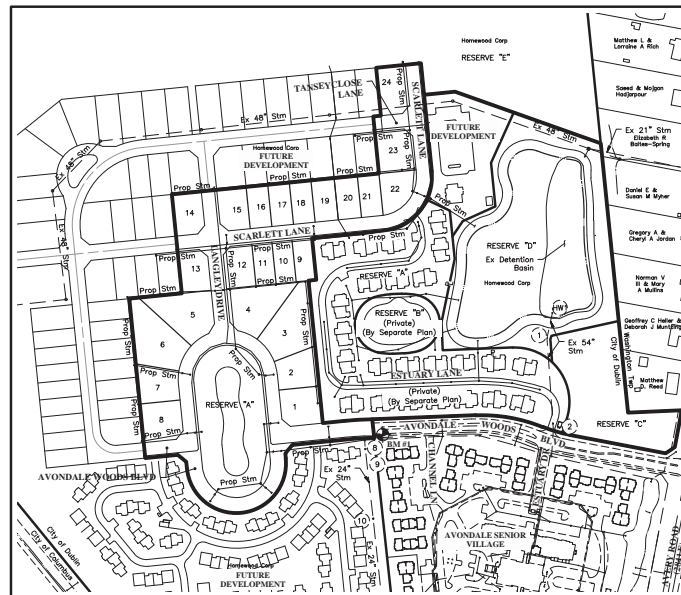
Elev = 923.09

BM#1 Chiseled "X" on the north flange bolt of the first fire hydrant west of the intersection of Avondale Woods Boulevard and Channel Lane, being on the south side of Avondale Woods Boulevard.

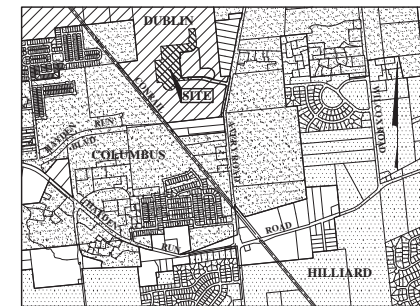
Elev = 932.79

BM#2 Chiseled "X" on the north flange bolt of the first fire hydrant east of the intersection of Avondale Woods Boulevard and Channel Lane, being on the south side of Avondale Woods Boulevard.

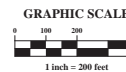
Elev = 932.13



**INDEX MAP**  
Scale: 1" = 200'



**LOCATION MAP**  
Not to Scale



1 inch = 200 feet

**DEVELOPER/OWNER**

Homewood Corporation  
Jim Lirona  
2700 E. Dublin-Granville Road  
Suite 300  
Columbus, Ohio 43231  
Tel: (614) 698-7200  
Fax: (614) 451-1197

**PREPARED BY:**

**EMHT**  
Eugene M. Hightower, P.E., F.A.S.T.E., F.A.S.T.C.E.  
Engineer-in-Charge  
6800 New Albany Road, Columbus, OH 43260  
Phone: (614) 775-4500 | Fax: (614) 775-4500  
emht.com  
Fax: (614) 775-4805

Registered Engineer No. \_\_\_\_\_

Date \_\_\_\_\_

**APPROVED:**

**CITY OF DUBLIN:**  
Signatures below signify only concurrence with the general purposes and general location of the project and does not constitute assurance to operate as intended. All technical details remain the responsibility of the Engineer preparing the plans.

CITY ENGINEER, CITY OF DUBLIN, OHIO

DATE

May 12, 2016

**CITY OF COLUMBUS:**

APPROVAL ON THE PART OF CITY OF COLUMBUS IS GIVEN PURSUANT TO THE PROVISIONS OF THE WATER SERVICE AGREEMENT BETWEEN CITY OF DUBLIN, OHIO AND CITY OF COLUMBUS, OHIO, ON APRIL 13, 1993 AND ALL SUBSEQUENT AMENDMENTS THEREOF.

ADMINISTRATOR, DIVISION OF WATER  
CITY OF COLUMBUS, OHIO

DATE

DIRECTOR OF PUBLIC UTILITIES  
CITY OF COLUMBUS, OHIO

DATE

DOW No: XX-XXX RES

FINAL SITE COMPLIANCE

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

PUBLIC STREET, STORM & WATER IMPROVEMENTS

FOR

AVONDALE WOODS

SECTION 1

TITLE SHEET



DATE

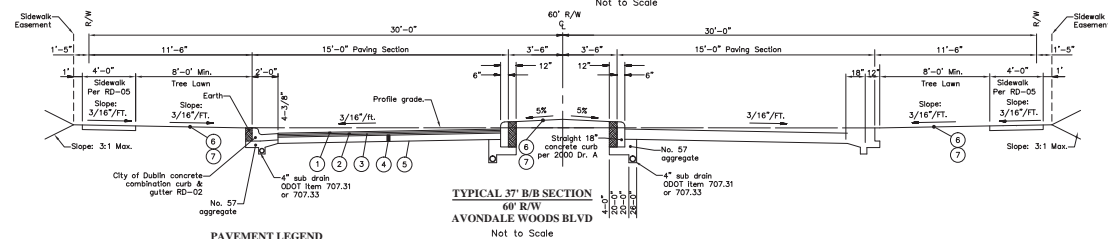
SCALE

JOB NO.

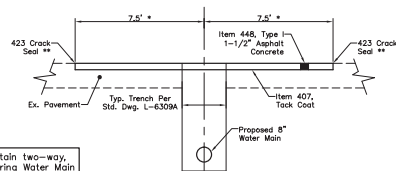
SHEET

1/12





- ① Item 448, 1.25" Asphalt Concrete, Surface Course, Type 1, Pg. 22, Medium Traffic.
- ② Item 448, 1.75" Asphalt Concrete, Intermediate Course, Type 2, Pg. 64—22, Medium Traffic.
- ③ Item 301, 3" Bituminous Aggregate Base Course
- ④ Item 304, 6" Aggregate Base
- ⑤ Item 204, Subgrade Compaction
- ⑥ Item 653 — 3" Topsoil Furnished And Placed
- ⑦ Item 659, Seeding And Mulching



Not to Scale

\* Mill (Item 254) Existing Pavement to a depth of 1-1/2".

\*\* The area to be heat welded is to include the cut and extend for 6" beyond each side of the cut for a nominal depth of 2". (Cost to be included in various bid items)

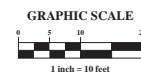
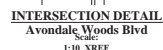
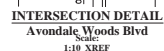
**PRELIMINARY**  
.....  
**NOT TO BE USED FOR**  
**CONSTRUCTION**

PLAN SET DATE  
May 12, 2016







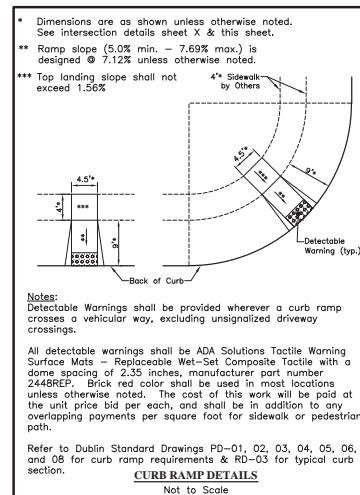


**PRELIMINARY**  
.....  
**NOT TO BE USED FOR**  
**CONSTRUCTION**

**PLAN SET DATE**  
May 12, 2016



Note:  
All elevations are top of curb  
unless otherwise noted.



## FINAL SITE COMPLIANCE

**FRANKLIN COUNTY, OHIO**  
**FRANKLIN COUNTY COMMISSION**

FOR  
A VONDALE WOODS

**AVONDALE WOODS**  
**SECTION 1**  
**INTERSECTION & CURB RAMP DETAILS**

## REVISIONS

DA

May 12, 2016

SC

As Noted

JOB NO.

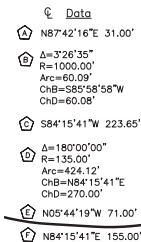
2014-1890

SHEET

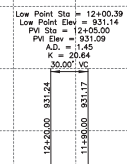
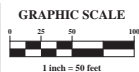
5/12

RES

5/12



<b>NOTE:</b>	
For Intersection Details, See Sheet 5	
For Storm Sewer Profiles, See Sheets 10	
#	Provide 18" Minimum Clearance at Utility Crossings.



PLAN SET DATE  
May 12, 2016

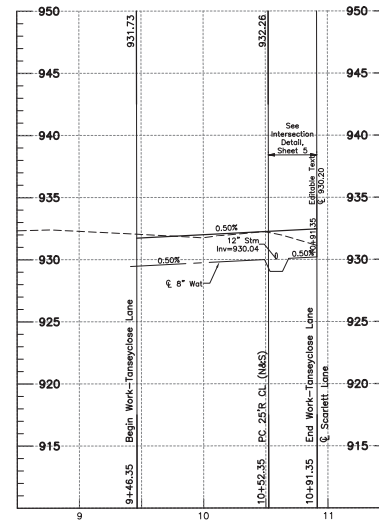
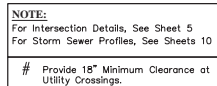
DATE	May 12, 2016
SCALE	Horiz: 1" = 50' Vert: 1" = 10'
JOB NO.	2014-1890
SHEET	6/12

REVISIONS		
MARK	DATE	DESCRIPTION









PLAN SET DATE  
May 12, 2016

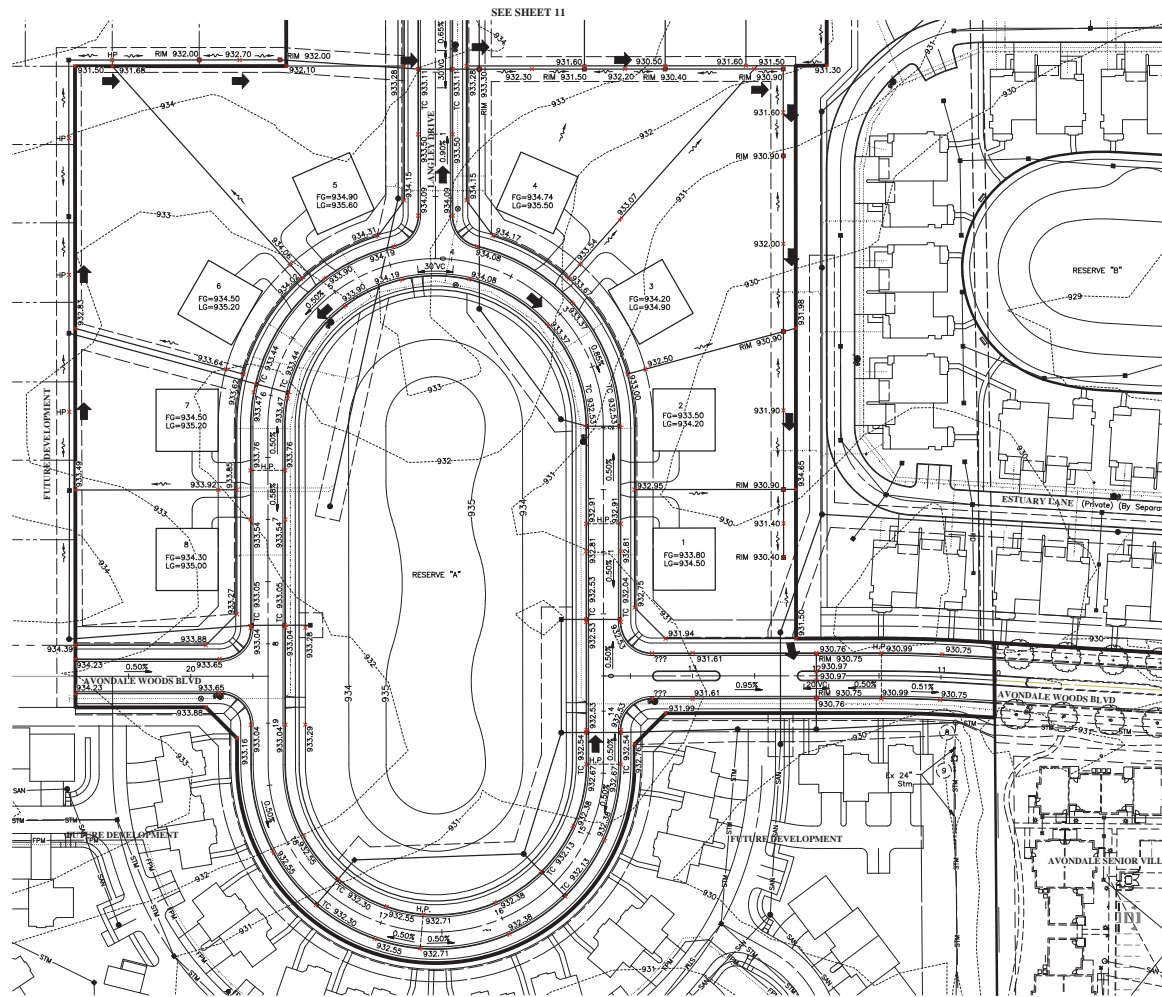


**NOTE:**  
For Intersection Details, See Sheet 5  
For Storm Sewer Profiles, See Sheets 10

# Provide 18" Minimum Clearance at Utility Crossings.



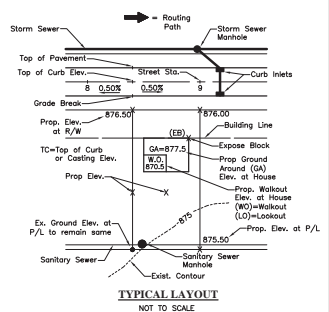
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# LEGEND

## EXISTING

- Site Boundary
- Right of Way
- Property Line
- Easement
- C Communications/Cable
- STU Storm Sewer
- SAN Sanitary Sewer
- Water Main
- Domestic Water Service
- Fire Protection Main
- Pond/Swale, or Ditch
- Tree Line
- Light Pole



# GRADING LEGEND

- Prop Contours
- Ex Contours
- Prop Pmnt Elev
- Flood Route
- Flow Direction Arrow
- Grade Break

# EROSION & SEDIMENTATION CONTROL FEATURE LEGEND

- Inlet Protection
  - Tree Protection Fence (4' High Visibility, Medium Weight Barrier Fence)
  - Stabilized Construction Entrance
  - Sediment Fence
  - Major Flood Route
  - Overflow Flow
- See Erosion & Sedimentation Control Details, Sheet 13

FINAL SITE COMPLIANCE  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
FOR  
PUBLIC STREET STORM & WATER IMPROVEMENTS  
AVONDALE WOODS  
SECTION 1  
MASTER GRADING & EROSION CONTROL PLAN



DATE	May 12, 2016
SCALE	As Noted
JOB NO.	2014-1890
SHEET	10/12

PRELIMINARY  
NOT TO BE USED FOR  
CONSTRUCTION

PLAN SET DATE  
May 12, 2016  
RES









## GENERAL NOTES

- City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items unless otherwise noted. If a conflict between specifications is found, the more strict specification will apply as decided by the City Engineer, Item Numbers listed refer to City of Columbus Item Numbers unless otherwise noted.
- The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for failure by the Contractor to perform work according to the specifications.
- The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Ohio EPA Permits to Install (PTI) and Notices of Intent (NOI), Building Permits, etc.
- The Contractor shall notify the City of Dublin Division of Engineering in writing at least 3 working days prior to beginning construction.
- The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution allowances for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
- Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the Division of Engineering that documents "as-built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who sealed the construction drawings.
- The Contractor shall restrict construction activity to public right-of-way and areas defined as permanent and/or temporary construction easements, unless otherwise authorized by the City Engineer.
- The Contractor shall carefully preserve bench marks, property corners, reference points, stakes and other survey reference monuments or markers. In cases of willful or careless destruction, the Contractor shall be responsible for restoration. Resetting of markers shall be performed by an Ohio Professional Surveyor as approved by the City Engineer.
- Non-rubber tired vehicles shall not be moved on or across public streets or highways without the written permission of the City Engineer.
- The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or water courses that are disturbed by construction shall be restored to the grades and cross-sections that existed before construction.
- Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited according to Section 97.38 of the Dublin Code of Ordinances. Any such occurrence shall be cleaned up immediately by the Contractor at no cost to the City. If the Contractor fails to remove said mud, dirt, debris, or spillage, the City reserves the right to remove these materials and clean affected areas, the cost of which shall be the responsibility of the Contractor.
- Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) is not permitted.
- All signs, landing structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All field the broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All precast concrete products shall be inspected at the location of manufacture. Approved precast concrete products will be stamped or have such identification noting that inspection has been conducted by the City of Columbus. Precast concrete products without proof of inspection shall not be approved for installation.
- Backfill within a 1:1 Influence Line of existing structures (houses, garages, etc.) or public infrastructure (pavement, curbs, sidewalks, bike paths, etc.) shall be compacted granular backfill according to Item 912 of the Standard Specifications or Flowable DCF, Type III according to Item 613. Item 911 of the Standard Specifications may be used elsewhere.
- The Contractor shall submit a copy of the approved construction drawings and a list of proposed precast concrete product manufacturers to the City of Columbus Construction Inspection Division before commencing construction.  
Send the information to the following address:  
Construction Inspection Division  
City of Columbus  
1600 East 17th Avenue  
Columbus, Ohio 43219  
Send a copy of the transmittal letter to the following address:  
Division of Engineering  
City of Dublin  
5800 Shier Rings Road  
Dublin, Ohio 43016
- All trenches within public right-of-way shall be backfilled according to the approved construction drawings or accurately placed during nonworking hours. Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during nonworking hours. Clean-up shall follow closely behind the excavation operation.
- All trees within the construction area not specifically designated for removal shall be preserved, whether shown or not shown on the approved construction drawings. Trees to be preserved shall be protected with high visibility fencing placed a minimum 15 feet from the tree trunk. Trees 6" (DBH (Diameter Breast Height)) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater. Trees not indicated on the approved construction drawings for removal may not be removed without approval of the Division of Engineering.
- Conduit must be directionally bored across streets instead of open cut, unless specifically permitted by the City Engineer. Use of pneumatic air ram devices is not permitted. Permits to construct in the right-of-way of existing streets must be obtained from the City of Dublin Division of Engineering before commencing construction. Shovel open cutting of existing pavement is permitted. Controlled Density Backfill (Type III) shall be used in place of compacted granular backfill, according to Item 613 of the Standard Specifications.
- The Contractor shall be responsible for the condition of trenches within the right-of-way and public easements for a period of one year from the final acceptance of the work, and shall make any necessary repairs at no cost to the City.
- Pavements shall be cut in neat, straight lines the full depth of the existing pavement, or as required by the City Engineer. Pavement replacement shall be conducted according to City of Columbus Standard Drawing 1441 and applicable City of Dublin standard drawings. The replacement of driveways, handicapped ramps, sidewalks, bike paths, parking lot pavement, etc., shall be provided according to the approved construction drawings and City of Dublin standard construction drawings.

- Tree trimming within the construction zone is to be completed by a certified Arborist. At the completion of the project the Arborist is to return and trim any broken branches as needed.
- Any modification to the work shown on drawings must have prior written approval by the City Engineer, City of Dublin.
- All inlets shall be channelized.
- Park areas shall be fine-graded and seeded with the following mixture:  
Improved Kentucky Bluegrass: 40% by weight (2 varieties in equal parts)  
Improved Perennial Ryegrass: 60% by weight (2 varieties in equal parts)  
Germination Rate: 85%  
Application Rate: 7 lbs per 1000 sq ft or as directed by the Division of Parks & Recreation, City of Dublin, Ohio.
- Traffic control and other regulatory signs shall be Type S with a square post anchor base installation and meet all requirements of ODOT TC-41.20 and applicable City of Dublin specifications.
- Street signs shall meet all City of Dublin specifications with lettering colored in white displayed over a brown background. Sign tubing shall be brown in color and conform with the Type S, square post anchor base installation requirements of ODOT TC-41.20.

## UTILITIES

- The following utilities are known to be located within the limits of this project:  
Columbia Gas of Ohio  
Attn: Tammy Schmidt  
200 Civic Center Dr., 4th Floor  
Columbus, Ohio 43215  
1-800-440-6111  
American Electric Power  
Robin Hand  
Engineering Liaison Coordinator  
850 Tech Center Drive  
Gahanna, Ohio 43230-8605  
(614) 583-6829  
City of Dublin  
Division of Engineering  
5800 Shier Rings Road  
Dublin, Ohio 43016  
(614) 410-4600  
Time Warner Cable  
Kevin Rich  
1268 Dublin Road  
Columbus, Ohio 43215  
(614) 481-5263  
City of Columbus  
Division of Power and Water  
910 Dublin Road, 2nd Floor  
Columbus, Ohio 43215  
(614) 645-7788  
Gary Edlin  
1040 South Prospect Street  
Marion, Ohio 43302  
(740) 382-7104  
Verizon  
Bill Muehrer / Randy Brooks  
550 Leoder Street  
Marion, Ohio 43302  
(740) 383-0527  
Wide Open West  
Ken Holderfield  
Engineering Manager  
3675 Corporate Drive  
Columbus, Ohio 43231  
(614) 236-3922
- The Contractor shall give notice of intent to construct to Ohio Utilities Protection Service (telephone number 800-362-2784), Producer's Underground Protection Service (telephone number 614-587-0486), and to owners of underground utilities that are not members of a registration and protection service. Notice shall be given at least 2 working days before start of construction.
- The identity and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the owner of the underground utility. The City of Dublin and the City Engineer assumes no responsibility for the accuracy or depths of underground facilities shown on the approved construction drawings. If damage is caused, the Contractor shall be responsible for repair of the same and for any resulting contingent damage.
- Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.
- When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.
- Public street lighting may be in the vicinity of this project. Contact the City of Dublin, Division of Engineering at 410-4637, two days prior to beginning work.

## TRAFFIC CONTROL

- Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Ohio Manual of Uniform Traffic Control Devices (OMUTCD), current edition.
- All traffic lanes of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the City Engineer. At all other hours the Contractor shall maintain minimum one-lane two-way traffic. Uniformed, off-duty police officers shall replace flagmen designated by the OMUTCD, and shall be present whenever one-lane, two-way traffic control is in effect. Police cruisers may be required as directed by the City Engineer.
- If the City Engineer determines proper provisions for traffic control are not being provided by the Contractor, the City Engineer shall assign uniformed, off-duty police officers to the project at no cost to the City.
- Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
- Access from public roadways to all adjoining properties for existing residents or businesses shall be maintained throughout the duration of the project for mail, public utility, emergency service, and emergency vehicles. The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details shown herein. The Contractor shall be responsible for the maintenance of the project by the City Engineer prior to construction.
- EROSION AND SEDIMENT CONTROL**  
Please reference Erosion and Sediment Control Plan contained in Links at Ballantrea Street, Storm and Water Plan.
  - The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Ohio EPA. The NOI must be submitted to OEPA 45 days prior to the start of construction and may entitle coverage under the Ohio EPA General Permit for Stormwater Discharges associated with construction activity. A project location map must be submitted with the NOI. A sediment and erosion control plan must be submitted to the City Engineer for approval if a sediment and erosion control plan has not already been included with the approved construction drawings. This plan must be made available at the project site at all times. The design of erosion control structures shall follow the requirements of Ohio EPA, Item 207 of Ohio Department of Transportation Standard Specifications, and the City Engineer. An individual NPDES Stormwater Discharge Permit may be required. The Contractor shall be considered the permittee.
  - The Contractor shall provide sediment control at all points where storm water runoff leaves the project, including waterways, overland sheet flow, and storm sewers as shown on Links at Ballantrea street plans.
  - Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt filter fence, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.
  - The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.

- Disturbed areas that will remain unworked for 30 days or more shall be seeded or protected within seven calendar days of the disturbance. Other sediment controls shall be installed and maintained until vegetative growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before growth of permanent ground cover.
- BLASTING**
  - The Contractor must obtain a blasting permit from Washington Township Fire Department prior to blasting for rock excavation. The Contractor shall submit blasting reports upon completion of blasting to the City Engineer, the Owner, and the Owner's engineer. Top of rock elevations shall be shown on "as-built" construction drawings.
- SANITARY SEWERS**
  - Connections to the sanitary sewer will be permitted upon receiving an OEPA Permit to Install (PTI), and upon receiving a satisfactory letter from the design engineer stating that the project has been constructed as per the plans, and all of the conditions of the PTI have been met. The developer is responsible for obtaining all required Ohio EPA approvals and paying review fees.
  - Sanitary sewage collection systems shall be constructed in accordance with the rules, regulations, standards and specifications of the City of Dublin, Ohio EPA, Ohio Department of Health and the current edition of Ten States - Recommended Standards for Sewage Works.
  - The minimum requirements for sanitary sewer pipes with diameters 15 inch and smaller shall be reinforced concrete pipe ASTM C76 Class 3, or PVC sewer pipe ASTM D3034, SDR 35. Pipe for 6 inch diameter house service lines shall be PVC pipe ASTM D3034, SDR 35. PVC pipe shall not be used at depths greater than 28 feet. Pipe materials and related structures shall be shop tested in accordance with City of Columbus Construction Inspection Division quality control requirements. Provide pipe joints conforming to the requirements of ASTM D 3212 for PVC pipe material.
  - The minimum requirements for sanitary sewer pipes with diameters greater than 15 inch shall be reinforced concrete pipe ASTM C76 with Class designation specified in the manufacturer's recommendations. Provide pipe joints conforming to the requirements of ASTM D 3212 for PVC pipe material.
  - All in-line wye and tee connections in concrete sewers, 18 inch diameter and larger, shall be either Kor-N-Tee or Kor-N-Seal connections conforming to the manufacturer's recommendations.
  - Granular backfill shall be compacted granular material according to Item 912 of the Standard Specifications or Controlled Density Backfill according to Item 613, Type III of the Standard Specifications as directed by the City Engineer.
  - All manhole lids shall be provided with continuous self-sealing gaskets. The approved construction drawings shall show where ball-down lids are required. Sanitary sewer manholes shall be precast concrete or as approved by the City Engineer and conform to the City of Dublin sanitary manhole standard drawing. Manhole lids shall include City of Dublin logo.
  - All PVC sewer pipes shall be deflection tested no less than 60 days after completion of backfilling operations. All other requirements shall be according to Item 901.21 of the Standard Specifications.
  - Temporary bulkheads shall be placed in pipes at locations shown on the approved construction drawings and shall remain in place until the Permit to Install (PTI) has been issued by the OEPA and the sewers have been approved for use by the City Engineer. The cost for furnishing, installing, maintaining, and removing bulkheads shall be included in the contract unit bid price for the various sanitary sewer items.
  - All sanitary sewers including sanitary sewer service lines shall be subjected to and pass infiltration or exfiltration tests according to Item 901 of the Standard Specifications and must be approved for use by the City Engineer before any service connections are tapped into sewers.
  - For sanitary sewer infiltration, leakage through joints shall not exceed 100 gallons per inch of tributary sewer diameter per 24 hours per mile of length or the computed equivalent. All sanitary sewers shall be tested.
  - At the determination of the City Engineer, the Contractor may be required to perform a TV inspection of the sanitary sewer system prior to final acceptance by the City. This work shall be completed by the Contractor at his expense.
  - Visible leaks or other defects observed or discovered during TV inspection shall be repaired to the satisfaction of the Engineer.
  - Roof drains, foundation drains, field tile or other clean water connections to the sanitary sewer system are strictly prohibited according to Section 51.23 of the Dublin Code of Ordinances.
  - All water lines shall be located at least 10 feet horizontally and 18 inches vertically, from sanitary sewers and storm sewers to the greatest extent practicable. Where sanitary sewers cross water mains or other sewers or other utilities, trench backfill shall be placed between the pipes crossing and shall be compacted granular material according to Item 912 of the Standard Specifications. In the event that a water line must cross within 18 inches of a sanitary sewer, the sanitary sewer shall be concrete encased or consist of ductile iron pipe material.
  - Service risers shall be installed where the depth from riser to proposed ground elevation exceeds 10 feet unless otherwise noted. Tops of risers shall be no less than 9 feet below proposed ground elevation if basement service is intended.
  - Where service risers are not installed, a minimum 5-foot length of sanitary sewer service pipe of the same size as the wye opening shall be installed.
  - The Contractor shall furnish and place, as directed, approved wye poles made of 2 inches x 2 inches lumber at all locations, ends of extended services, or at the end of each riser where risers are required. Wye poles shall be visible before acceptance by the City. The cost of these poles shall be included in the contract unit price for the various sewer items.
  - Existing sanitary sewer flows shall be maintained at all times. Costs for pumping and bypassing shall be included in the Contractor's unit price bid for the related items.
  - The Contractor shall furnish all material, equipment, and labor to make connections to existing manholes. The sewer pipe to manhole connections for all sanitary sewers shall be flexible and watertight. All holes shall be neatly cored. The sewer pipe barrel shall be springline true and extend more than 1 inch beyond the inside face of the manhole. To maintain flexibility in the connection, a 1-inch space shall be left between the end of the pipe inside the manhole and the concrete channel; this space shall be filled with water-tight flexible pipe. Any metal that is used shall be Type 300 Series Stainless Steel. The connection may be any of the following types:
    - Any flange with stainless steel banding.
    - Kor-N-Seal as manufactured by National Pollution Control Systems, Inc.
    - Joint Link Flexible Manhole Sleeve as manufactured by Interpace Corporation.
    - Or equal as approved by the City Engineer.
  - Rubber gasket compression.
    - Press Wedge II as manufactured by Press-Seal Gasket Corporation.
    - Dura-Seal III as manufactured by Dura Tech, Inc.
    - Link-Seal as manufactured by ThunderFire Corporation.
    - Or equal as approved by the City Engineer.The cost for this work along with a new channelized base for the manhole shall be included in the unit bid price for the related items of work.

## WATER LINE NOTES 1-17 DELETED

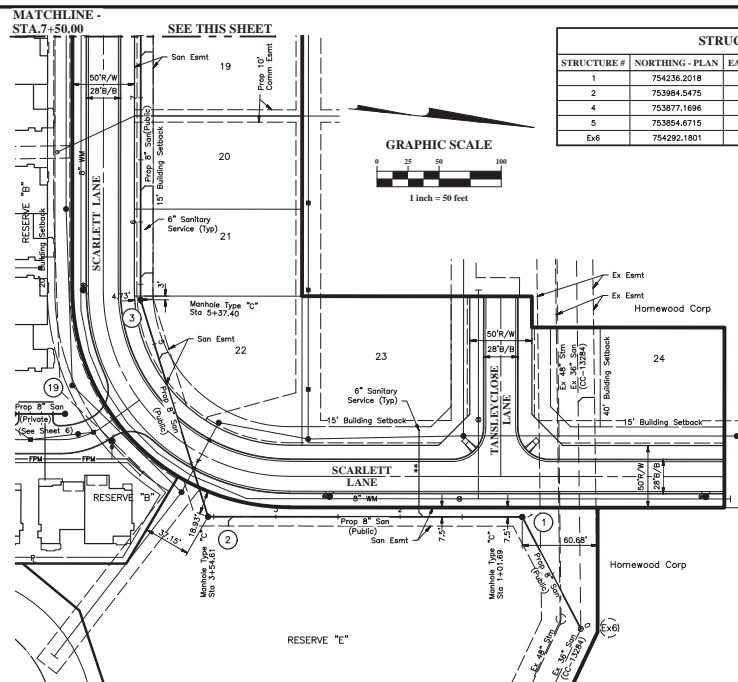
## STORM SEWERS NOTES 1-7 DELETED

## MAIL DELIVERY

- The Contractor shall be responsible to ensure that U.S. Mail delivery within the project limits is not disrupted by construction operations. This responsibility is limited to relocation of mailboxes to a temporary location that will allow the completion of the work and shall include the restoration of mailboxes to their original location or approved new location. Any relocation of mailbox services must be first coordinated with the US Postal Service and the homeowner.
- Before relocating any mailboxes, the Contractor shall contact the U.S. Postal Service and relocate mailboxes according to the requirements of the Postal Service.

## USE OF FIRE HYDRANTS NOTES 1-2 DELETED

Flexible Sewer Pipe			Rigid Sewer Pipe		
* Inches			* Inches		
D	W <sub>n</sub>	D	W <sub>n</sub>	D	W <sub>n</sub>
6	30	24	48	6	24
8	30	27	52	8	27
10	30	30	56	10	30
12	32	36	64	12	32
15	36	42	72	15	36
18	40	48	80	18	40
21	44			21	44
				24	48
				27	52




SERVICE NOTES:  
Sewer services to be sloped minimum 2.08%  
Length of service represents horizontal distance between end of service & mainline.

<b>LINE</b>	<b>BEARING</b>	<b>LENGTH</b>	<b>SIZE</b>
Ex-6-1	S56°35'59"W	101.69'	8"
1-2	S05°44'19"E	252.92'	8"
2-3	S66°56'42"W	182.78'	8"
3-4	S84°15'41"W	358.00'	8"
4-5	S84°15'41"W	225.00'	8"
5-6	S05°44'19"E	296.48'	8"

**NOTES:**

- All elevations on this plan are based on NAVD 1988 datum, unless otherwise noted.
- All street crossings shown in profiles are public streets.
- All backfill shall be compacted to the density of the existing ground unless otherwise noted:
- \* Compacted Backfill, Per Item 911
- \*\* Compacted Granular Backfill, Per Item 912
- All fills are to be placed a minimum of 2.5' above the proposed sanitary sewer prior to the start of sewer construction per Item 203 of CMSC.

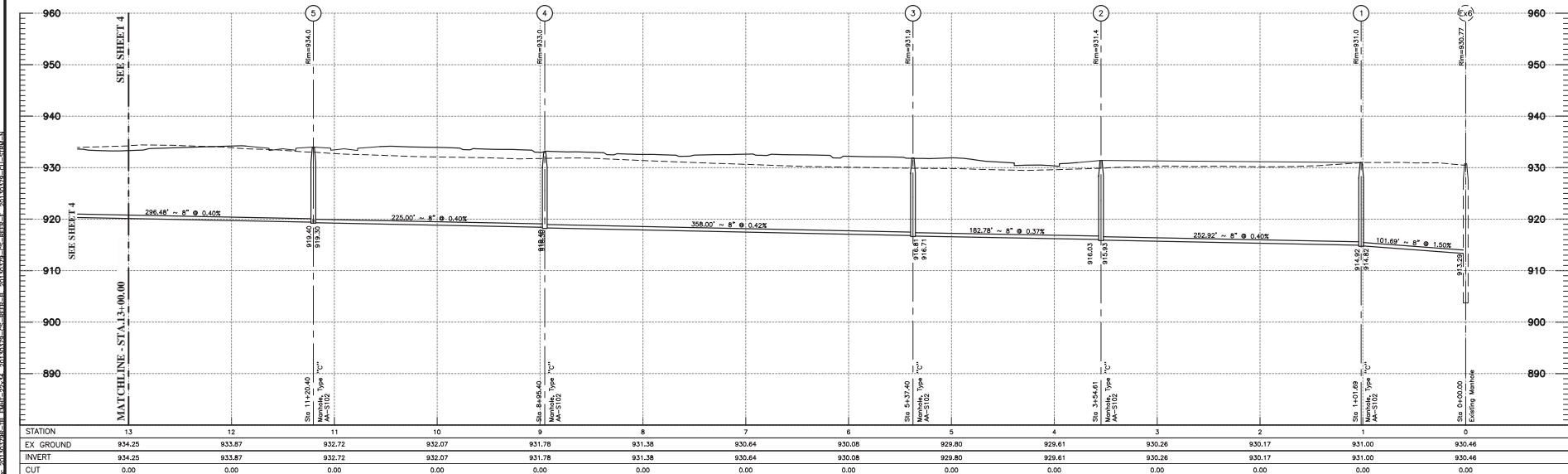
Denoted thus: 

# See Anti-Infiltration and Inflow Barrier Detail, sheet 2.

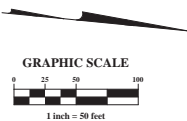
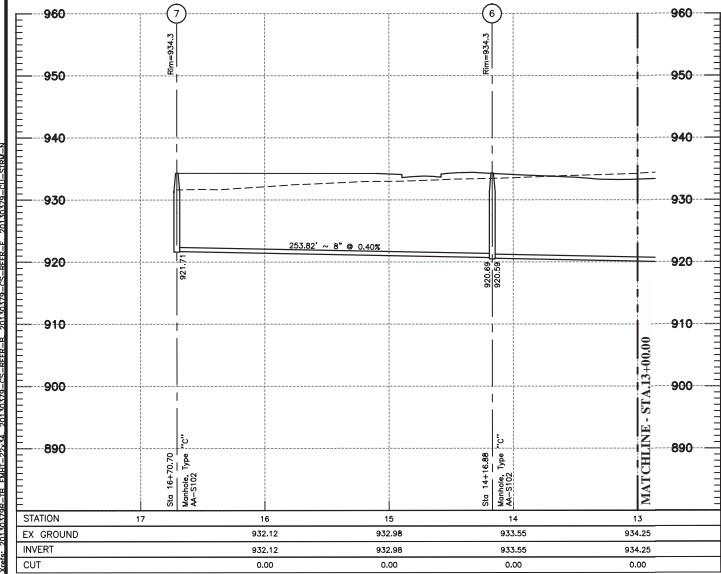
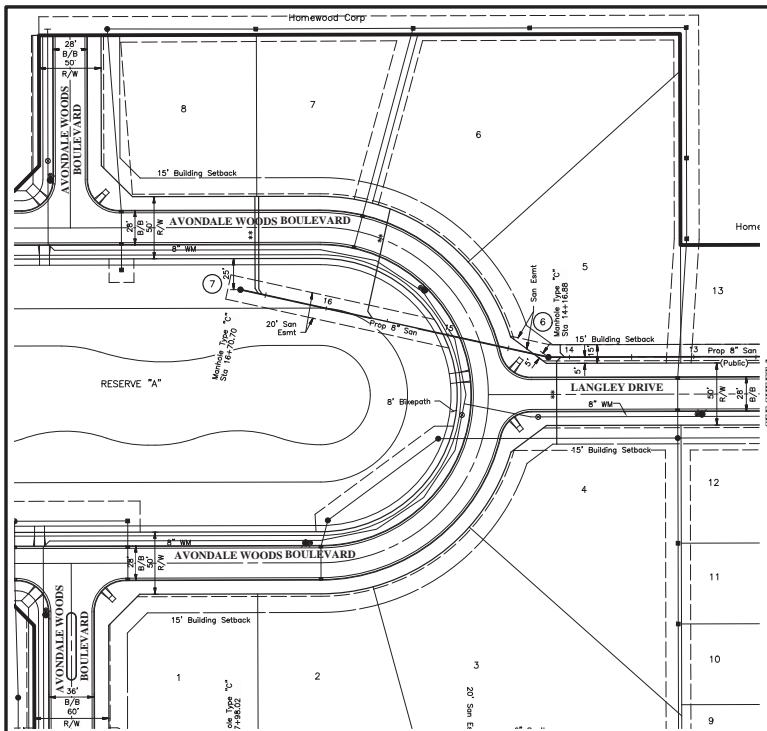
## See plan for improvements for barrier protection where storm sewer and sanitary sewer lines are crossing.

† Contractor shall maintain a 1.5' minimum clearance from outside of pipe to outside of pipe for all utility crossings unless otherwise noted.

§ Contractor to verify invert and location of existing utility before construction.







STRUCTURE COORDINATES				
STRUCTURE #	NORTHING - PLAN	EASTING - PLAN	NORTHING - AS BUILT	EASTING - AS BUILT
6	753559.6757	1782064.7596		
7	753307.6248	1782034.8125		
8	753845.1723	1781940.5901		

LINE	BEARING	LENGTH	SIZE
5-8	S84°15'41"W	95.00'	8"
4-5	S84°15'41"W	225.00'	8"
5-6	S05°44'19"E	296.48'	8"
6-7	S06°46'33"W	253.82'	8"

[illegible]

SERVICE NOTES:  
Sewer services to be sloped minimum 2.08%  
Length of service represents horizontal distance between end of service & mainline.

**NOTES:**

All elevations on this plan are based on NAVD 1988 datum, unless otherwise noted.


All street crossings shown in profiles are public streets.

All backfill shall be compacted to the density of the existing ground unless otherwise noted.

\* Compacted Backfill, Per Item 911

\*\* Compacted Granular Backfill, Per Item 912

All fills are to be placed a minimum of 2.5' above the proposed sanitary sewer prior to the start of sewer construction per Item 203 of CMSC.

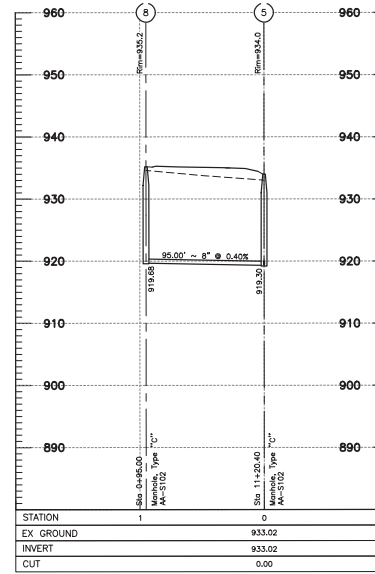
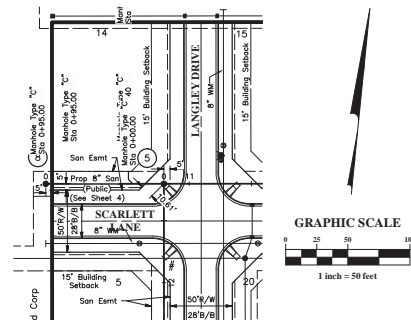
Detented thus: 

# See Anti-Infiltration and Inflow Barrier Detail, sheet 2.

## See plan for improvements for barrier protection where storm sewer and sanitary sewer lines are crossing.

† Contractor shall maintain a 1.5' minimum clearance from outside of pipe to outside of pipe for all utility crossings unless otherwise noted.

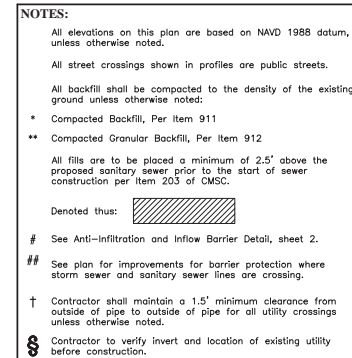
§ Contractor to verify invert and location of existing utility before construction.





LINE	BEARING	LENGTH	SIZE
Ex3-9	S52°50'01"W	110.83'	8"
9-10	S10°46'14"W	110.66'	8"
10-11	N86°07'07"W	93.66'	8"
11-12	S87°42'16"W	244.35'	8"
12-13	S87°42'16"W	238.52'	8"
13-14	N05°44'19"W	198.57'	8"

SERVICE NOTES:  
Sewer services to be sloped minimum 2.08%  
Length of service represents horizontal distance between end of service & mainline.







# LANDINGS AT AVONDALE WOODS

1  
2

Situated in the State of Ohio, County of Franklin, City of Dublin and in Virginia Military Survey Numbers 3012 and 3453, containing 19.349 acres of land, more or less, said 19.349 acres being part of those tracts of land conveyed to **HOMEWOOD CORPORATION** by deed of record in Official Record 23250A17, Recorder's Office, Franklin County, Ohio.

The undersigned, **HOMEWOOD CORPORATION**, an Ohio corporation, by **JIM LIPNOS**, President, owner of the lands platted herein, duly authorized in the premises, does hereby certify that this plat correctly represents its "**LANDING AT AVONDALE WOODS**", a subdivision containing areas designated as Reserve "A", Reserve "B", Reserve "C", Reserve "D" and Reserve "E", does hereby accept this plat of same.

The undersigned further agrees that any use or improvements on this land shall be in conformity with all existing valid zoning, platting, health or other lawful rules and regulations, including applicable off-street parking and loading requirements of the City of Dublin, Ohio, for the benefit of itself and all other subsequent owners or assigns taking title from, under or through the undersigned.

Easements are hereby reserved in, over and under areas designated on this plat as "Easement", "Sidewalk Easement" or "Drainage Easement". Each of the aforementioned designated easements permit the construction, operation, and maintenance of all public and quasi public utilities above, beneath, and on the surface of the ground and, where necessary, are for the construction, operation, and maintenance of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the Dublin City Engineer. Easement areas shown hereon outside of the platted area are within lands owned by the undersigned and easements are hereby reserved therein for the uses and purposes expressed herein. Within those areas designated "Sidewalk Easement" on this plat, an additional easement is hereby reserved for the construction and maintenance of a sidewalk for use by the public. Easement areas shown hereon outside of the platted area are within lands owned by the undersigned and easements are hereby reserved therein for the uses and purposes expressed herein.

In Witness Whereof, **JIM LIPNOS**, President of **HOMEWOOD CORPORATION**, an Ohio corporation, has hereunto set his hand this \_\_\_\_ day of \_\_\_\_, 20\_\_.

Signed and Acknowledged  
In the presence of: **HOMEWOOD CORPORATION**

By **JIM LIPNOS**, President

STATE OF OHIO  
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared **JIM LIPNOS**, President of **HOMEWOOD CORPORATION**, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said **HOMEWOOD CORPORATION**, for the uses and purposes expressed herein.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this \_\_\_\_ day of \_\_\_\_, 20\_\_.

My commission expires \_\_\_\_\_  
Notary Public, State of Ohio

Approved this \_\_\_\_ Day of \_\_\_\_, 20\_\_  
\_\_\_\_\_  
Director of Land Use and Long  
Range Planning, Dublin, Ohio

Approved this \_\_\_\_ Day of \_\_\_\_, 20\_\_  
\_\_\_\_\_  
City Engineer, Dublin, Ohio

Approved this \_\_\_\_ day of \_\_\_\_, 20\_\_, by vote of Council of the City of Dublin, Ohio.

In Witness Whereof I have hereunto  
set my hand and affixed my seal this  
\_\_\_\_ day of \_\_\_\_, 20\_\_.

\_\_\_\_\_  
Clerk of Council, Dublin, Ohio

Transferred this \_\_\_\_ day of \_\_\_\_, 20\_\_.

\_\_\_\_\_  
Auditor, Franklin County, Ohio

\_\_\_\_\_  
Deputy Auditor, Franklin County, Ohio

Filed for record this \_\_\_\_ day of \_\_\_\_, 20\_\_ at \_\_\_\_ M. Fee \$ \_\_\_\_.

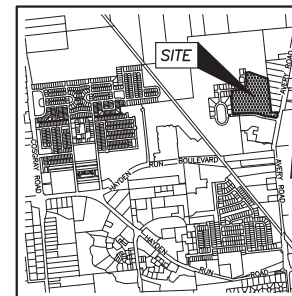
\_\_\_\_\_  
Recorder, Franklin County, Ohio

File No. \_\_\_\_\_

Recorded this \_\_\_\_ day of \_\_\_\_, 20\_\_.

\_\_\_\_\_  
Deputy Recorder, Franklin County, Ohio

Plat Book \_\_\_\_ Pages \_\_\_\_\_



LOCATION MAP AND BACKGROUND DRAWING  
NOT TO SCALE

## SURVEY DATA:

**BASIS OF BEARINGS:** The bearings shown hereon are based on the Ohio State Plane Coordinate System (South Zone) as per NAD83. Control for bearings was from coordinates of Monuments FCGS 8876 and FCGS 2221, having a bearing of North 83°53'20" East between said monuments, established by the Franklin County Engineering Department, using Global Positioning System procedures and equipment.

**SOURCE OF DATA:** The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

**IRON PINS:** Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pipes, thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

**PERMANENT MARKERS:** Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid iron pins. Pins are to be set to monument the points indicated, and set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped EMHT INC. Once installed, the top of the cap shall be marked (punched) to record the actual location of the point.

SURVEYED & PLATTED  
BY

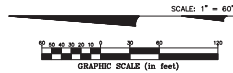


We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- o = Iron Pin (See Survey Data)
- = MAG Nail to be set
- ⊗ = Permanent Marker (See Survey Data)

By \_\_\_\_\_ Professional Surveyor No. 7865 \_\_\_\_\_ Date \_\_\_\_\_

# LANDINGS AT AVONDALE WOODS



**NOTE "A":** The purpose of this plat is to show certain property, rights of way, and easement boundaries as of the time of plating. At the request of zoning and planning authorities at the time of plating, this plat shows some of the limitations and requirements of the zoning code in effect on the date of filing this plat for reference only. The limitations and requirements may change from time to time and should be reviewed to determine the then current applicable use and development limitations of the zoning code as adopted by the government authority having jurisdiction. The then applicable zoning code shall have control over conflicting limitations and requirements that may be shown as on this plat. This note should not be construed as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or title encumbrances of any nature, except to the extent specifically identified as such.

**NOTE "B":** At the time of plating, all of the land hereby being platted as Avondale Woods Section 1 is in Zone X (Areas determined to be outside of the 0.2% annual chance flood plain) as designated and delineated on the FEMA Flood Insurance Map for Franklin County, Ohio, and Incorporated Areas, map number 39049C0133K with effective date of June 17, 2008.

**NOTE "C":** No vehicular access until such time as the public street right-of-way is extended and dedicated by plat or deed.

## NOTE "D" - ACREAGE BREAKDOWN:

Total acreage: 19.349 Ac.  
Acreage in rights-of-way: 0.000 Ac.  
Acreage in Reserves: 19.349 Ac.

## NOTE "E" - ACREAGE BREAKDOWN: Avondale Woods Section 1 is out of the following Franklin County Parcel Numbers:

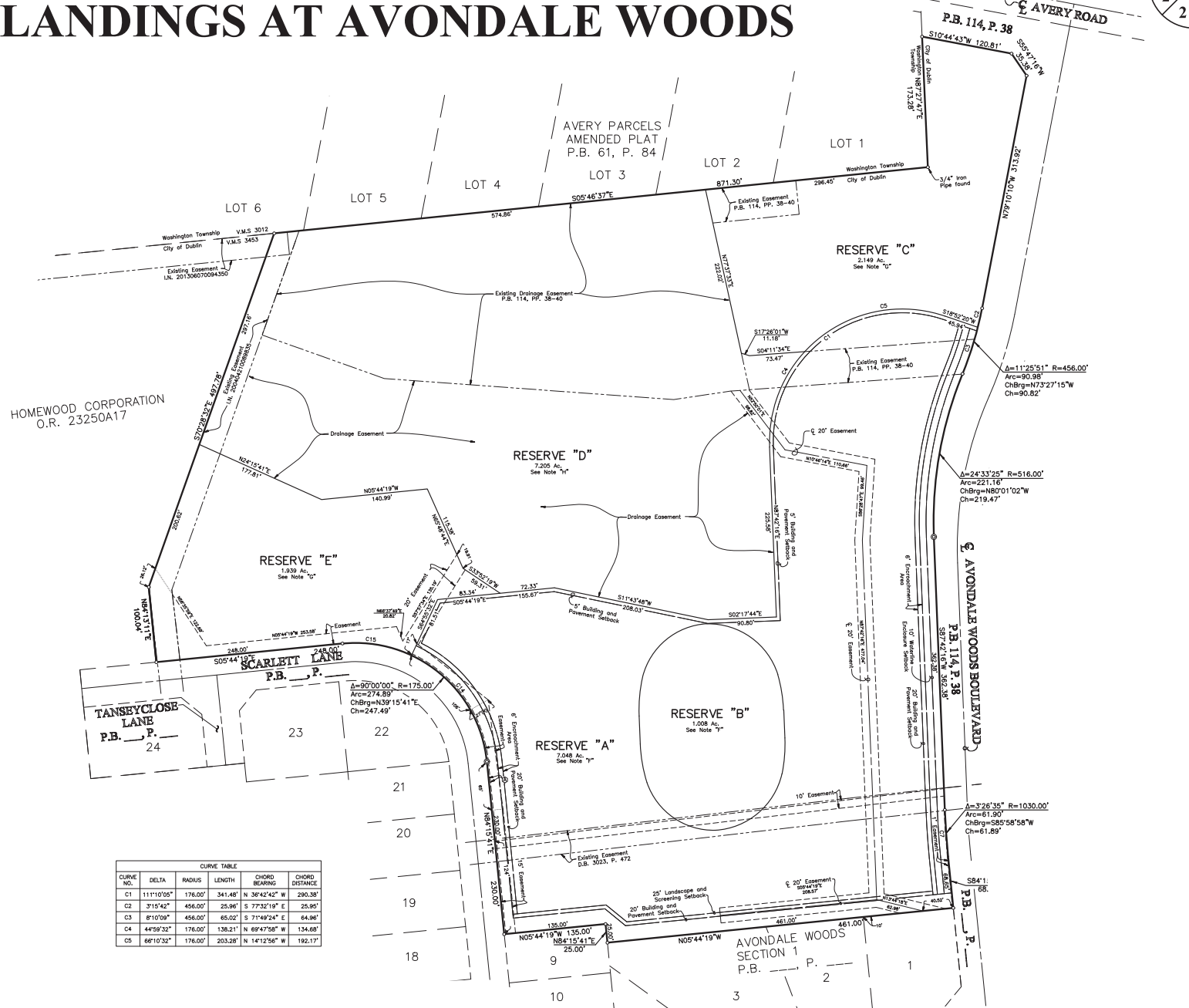
274-000137 19.349 Ac.

**NOTE "F" - RESERVE "A" AND RESERVE "B":** Reserve "A" and Reserve "B" as designated and delineated hereon, shall be owned and maintained by an association of the owners of the fee simple titles to the units in Landing at Avondale Woods subdivision, Subarea A Home Owners Association (SHOA) for the purpose allowed by the then current zoning.

**NOTE "G" - RESERVE "C" AND RESERVE "E":** Reserve "C" and Reserve "E" as designated and delineated hereon, shall be owned and maintained by an association of the owners of the fee simple titles to the units in Landing at Avondale Woods subdivisions and the owners of the fee simple titles to the units in Landing at Avondale Woods subdivision, collectively call the Master Home Owners Association (MHOA) for the purposes allowed by the then current zoning.

**NOTE "H" - RESERVE "D":** Reserve "D" as designated and delineated hereon, shall be owned by the MHOA and maintained by the City of Dublin for the purposes allowed by the then current zoning.

**NOTE "I":** At the time of plating, electric, cable, and telephone service providers have not issued information required so that easement areas, in addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of all of their main line facilities, could conveniently be shown on this plat. Existing recorded easement information about Avondale Woods Section 1 or any part thereof can be acquired by a competent examination of the then current public records, including those in the Franklin County Recorder's Office.



CURVE TABLE					
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	111°10'09"	176.00'	341.48'	N 36°42'42" W	290.38'
C2	31°15'42"	456.00'	25.96'	S 77°32'19" E	25.96'
C3	81°10'09"	456.00'	65.02'	S 71°49'24" E	64.96'
C4	44°59'32"	176.00'	136.21'	N 69°47'58" W	134.68'
C5	66°10'32"	176.00'	203.28'	N 14°12'56" W	192.17'

# AVONDALE WOODS SECTION 1

1  
2

Situated in the State of Ohio, County of Franklin, City of Dublin, and in Virginia Military Survey Number 3453, containing 14.355 acres of land, more or less, said 14.355 acres being part of that tract of land conveyed as Parcel Number 1 to **HOMEWOOD CORPORATION** by deed of record in Official Record 23250A17, Recorder's Office, Franklin County, Ohio.

The undersigned, **HOMEWOOD CORPORATION**, an Ohio corporation, by **JIM LIPNOS**, President, owner of the lands platted herein, duly authorized in the premises, does hereby certify that this plat correctly represents its "**AVONDALE WOODS SECTION 1**", a subdivision containing Lots 1 to 24, both inclusive, and areas designated as Reserve "A", Reserve "B" and Reserve "C", does hereby accept this plat of same and dedicates to public use, as such, all of the Boulevard, Drive and Lanes shown hereon and not heretofore dedicated.

The undersigned further agrees that any use or improvements on this land shall be in conformity with all existing valid zoning, platting, health or other lawful rules and regulations, including applicable off-street parking and loading requirements of the City of Dublin, Ohio, for the benefit of itself and all other subsequent owners or assigns taking title from, under or through the undersigned.

Easements are hereby reserved in, over and under areas designated on this plat as "Easement", "Sidewalk Easement" or "Drainage Easement". Each of the aforementioned designated easements permit the construction, operation, and maintenance of all public and quasi public utilities above, beneath, and on the surface of the ground and, where necessary, are for the construction, operation, and maintenance of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the Dublin City Engineer. Easement areas shown hereon outside of the platted area are within lands owned by the undersigned and easements are hereby reserved therein for the uses and purposes expressed herein. Within those areas designated "Sidewalk Easement" on this plat, an additional easement is hereby reserved for the construction and maintenance of a sidewalk for use by the public. Easement areas shown hereon outside of the platted area are within lands owned by the undersigned and easements are hereby reserved therein for the uses and purposes expressed herein.

In Witness Whereof, **JIM LIPNOS**, President of **HOMEWOOD CORPORATION**, has hereunto set his hand this \_\_\_\_ day of \_\_\_\_, 20\_\_.

**Signed and Acknowledged**  
**In the presence of:** **HOMEWOOD CORPORATION**

By \_\_\_\_\_  
**JIM LIPNOS, President**

**STATE OF OHIO**  
**COUNTY OF FRANKLIN ss:**

Before me, a Notary Public in and for said State, personally appeared **JIM LIPNOS**, President of **HOMEWOOD CORPORATION**, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said **HOMEWOOD CORPORATION**, for the uses and purposes expressed herein.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this \_\_\_\_ day of \_\_\_\_, 20\_\_.

My commission expires \_\_\_\_\_  
Notary Public, State of Ohio

Approved this \_\_\_\_ Day of \_\_\_\_  
20\_\_\_\_  
Director of Land Use and Long  
Range Planning,  
Dublin, Ohio

Approved this \_\_\_\_ Day of \_\_\_\_  
20\_\_\_\_  
City Engineer, Dublin, Ohio

Approved this \_\_\_\_ day of \_\_\_\_, 20\_\_, by vote of Council, wherein all of the Boulevard, Drive and Lanes dedicated hereon are accepted as such by the Council of the City of Dublin, Ohio.

In Witness Whereof I have hereunto  
set my hand and affixed my seal this  
\_\_\_\_ day of \_\_\_\_, 20\_\_\_\_  
Clerk of Council, Dublin, Ohio

Transferred this \_\_\_\_ day of \_\_\_\_  
20\_\_\_\_  
Auditor, Franklin County, Ohio

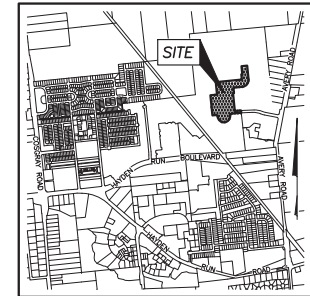
Deputy Auditor, Franklin County, Ohio

Filed for record this \_\_\_\_ day of \_\_\_\_  
20\_\_ at \_\_\_\_ M. Fee \$\_\_\_\_  
Recorder, Franklin County, Ohio

File No. \_\_\_\_\_

Recorded this \_\_\_\_ day of \_\_\_\_  
20\_\_\_\_  
Deputy Recorder, Franklin County, Ohio

Plat Book \_\_\_\_ Pages \_\_\_\_



LOCATION MAP AND BACKGROUND DRAWING

NOT TO SCALE

## SURVEY DATA:

**BASIS OF BEARINGS:** The bearings shown hereon are based on the Ohio State Plane Coordinate System (South Zone) as per NAD83. Control for bearings was from coordinates of Monuments FCGS 8876 and FCGS 2221, having a bearing of North 83°53'20" East between said monuments, established by the Franklin County Engineering Department, using Global Positioning System procedures and equipment.

**SOURCE OF DATA:** The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

**IRON PINS:** Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pipes, thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

**PERMANENT MARKERS:** Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid iron pins. Pins are to be set to monument the points indicated, and set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped EMHT INC. Once installed, the top of the cap shall be marked (punched) to record the actual location of the point.

SURVEYED & PLATTED  
BY

**EMHT**

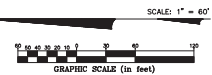
12015 14820/14011 14820/14011 & 14820 14011  
Engineers • Surveyors • Planners • Scientists  
3600 New Albany Road, Columbus, OH 43204  
Phone: 614.778.4500 • Fax: 614.778.4501  
www.emht.com

We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- = Iron Pin (See Survey Data)
- = MAG Nail to be set
- ⊗ = Permanent Marker (See Survey Data)

By \_\_\_\_\_ Professional Surveyor No. 7865 \_\_\_\_\_ Date \_\_\_\_\_

# AVONDALE WOODS SECTION 1



② 2' Sidewalk Easement  
③ 15' Building Line and Easement

CURVE TABLE				
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C1	3°26'35"	1000.00'	60.09'	S 85°58'58" W 60.08'
C2	180°00'00"	135.00'	424.12'	N 84°15'41" E 270.00'
C3	90°00'00"	135.00'	212.06'	S 39°15'41" W 190.92'
C4	90°00'00"	135.00'	212.06'	N 50°44'19" W 190.92'
C5	180°00'00"	135.00'	424.12'	S 84°15'41" E 270.00'
C6	90°00'00"	150.00'	235.62'	N 39°15'41" E 212.13'
C7	15°11'18"	160.00'	42.41'	N 13°18'58" W 42.29'
C8	33°02'36"	160.00'	92.27'	N 37°28'56" W 91.00'
C9	24°56'30"	160.00'	69.65'	N 50°20'29" W 69.10'
C10	25°03'06"	160.00'	69.96'	S 54°54'33" W 69.40'
C11	32°53'01"	160.00'	91.83'	S 25°56'30" W 90.57'
C12	15°14'18"	160.00'	42.55'	S 01°52'50" W 42.43'
C13	87°42'27"	125.00'	191.35'	N 38°06'54" E 173.21'
C14	2°17'33"	125.00'	5.00'	N 83°06'54" E 5.00'
C15	180°00'00"	110.00'	345.58'	S 84°15'41" E 220.00'
C16	180°00'00"	110.00'	345.58'	N 84°15'41" E 220.00'
C17	3°26'35"	996.50'	59.88'	S 85°58'58" W 59.87'
C18	3°26'35"	1003.50'	60.30'	S 85°58'58" W 60.29'
C19	180°00'00"	3.50'	11.00'	S 09°44'19" E 7.00'
C20	180°00'00"	3.50'	11.00'	N 09°44'19" W 7.00'
C21	180°00'00"	3.50'	11.00'	S 09°44'19" E 7.00'

NOTE "A": The purpose of this plat is to show certain property, rights of way, and easement boundaries as of the time of platting. At the request of zoning and planning authorities at the time of platting, this plat shows some of the limitations and requirements of the zoning code in effect on the date of filing this plat for reference only. The limitations and requirements may change from time to time and should be reviewed to determine the then current applicable use and development limitations of the zoning code as adopted by the government authority having jurisdiction. The then applicable zoning code shall have control over conflicting limitations and requirements that may be shown as on this plat. This note should not be construed as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or title encumbrances of any nature, except to the extent specifically identified as such.

NOTE "B": At the time of platting, all of the land hereby being platted as Avondale Woods Section 1 is in Zone X (Areas determined to be outside of the 0.2% annual chance flood plain) as designated and delineated on the FEMA Flood Insurance Map for Franklin County, Ohio, and Incorporated Areas, map number 39049C0133K with effective date of June 17, 2008.

NOTE "C": No vehicular access until such time as the public street right-of-way is extended and dedicated by plat or deed.

NOTE "D" - ACREAGE BREAKDOWN:

Total acreage:	14.355 Ac.
Acreage in rights-of-way:	4.201 Ac.
Acreage in Reserves:	2.279 Ac.
Acreage in remaining lots:	7.875 Ac.

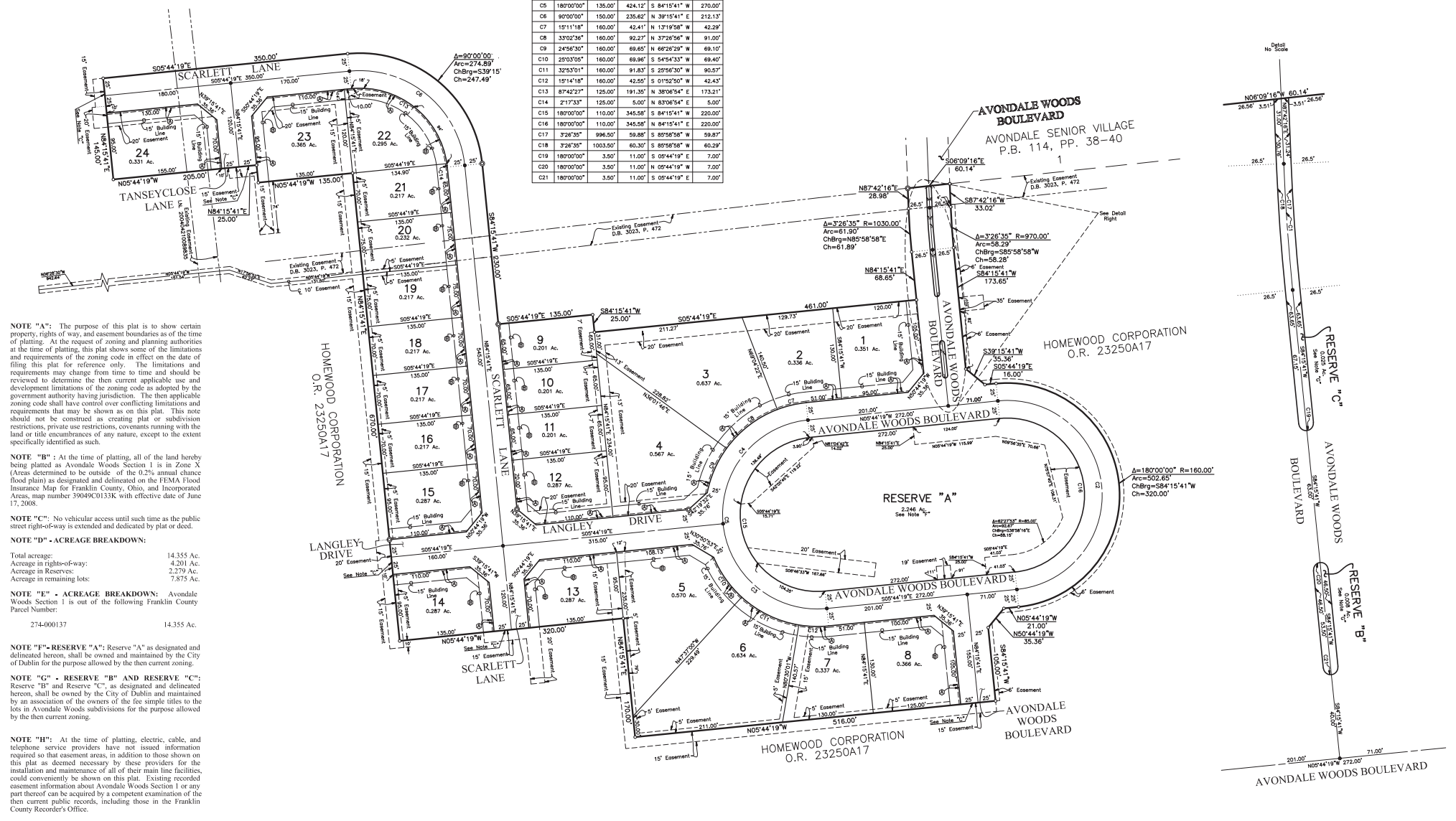
NOTE "E" - ACREAGE BREAKDOWN: Avondale Woods Section 1 is out of the following Franklin County Parcel Number:

274-000137	14.355 Ac.
------------	------------

NOTE "F" - RESERVE "A": Reserve "A" as designated and delineated hereon, shall be owned and maintained by the City of Dublin for the purpose allowed by the then current zoning.

NOTE "G" - RESERVE "B" AND RESERVE "C": Reserve "B" and Reserve "C", as designated and delineated hereon, shall be owned by the City of Dublin and maintained by an association of the owners of the fee simple titles to the lots in Avondale Woods subdivisions for the purpose allowed by the then current zoning.

NOTE "H": At the time of platting, electric, cable, and telephone service providers have not issued information required so that easement areas, in addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of all of their main line facilities, could conveniently be shown on this plat. Existing recorded easement information about Avondale Woods Section 1 or any part thereof can be acquired by a competent examination of the then current public records, including those in the Franklin County Recorder's Office.





## SECTION IV

### **Architecture Exhibits**

- Subarea A- Elevations, Floor Plans and Renderings
- Subarea C- Typical Elevations
  - Lauderdale
  - Manchester

# AVONDALE WOODS - SUBAREA A

MAY • 2016

T. WALTON CARR  
ARCHITECTS



DRIVE ELEVATION



MAIN ELEVATION

# AVONDALE WOODS - SUBAREA A

MAY • 2016

T. WALTON CARR  
ARCHITECTS



**SIDE ELEVATION**  
(FIRST FLOOR MASTER)

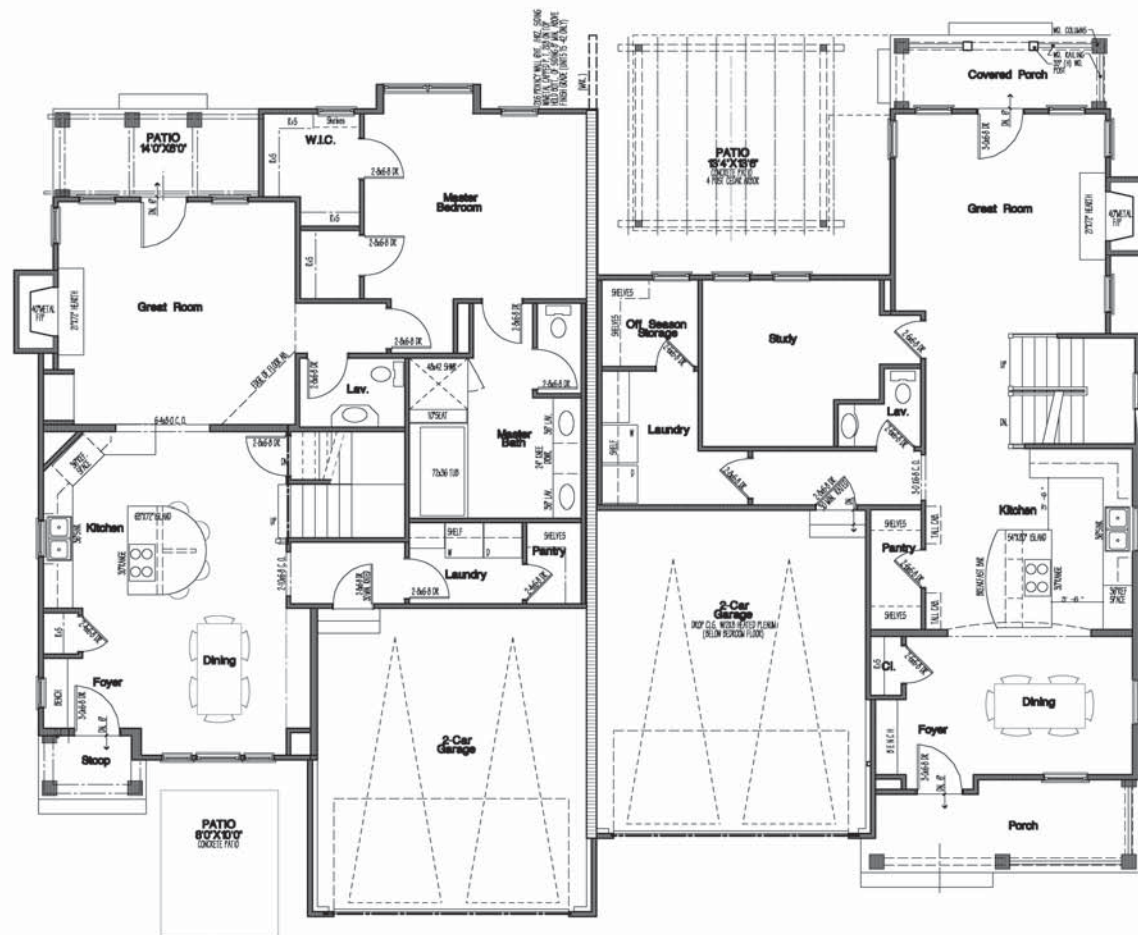


**SIDE ELEVATION**  
(SECOND FLOOR MASTER)

# AVONDALE WOODS - SUBAREA A

MAY • 2016

T. WALTON CARR  
ARCHITECTS



FIRST FLOOR - FIRST FL. MASTER

SCALE 1/8" = 1'-0"

FIRST FLOOR: 1,357 S.F.  
SECOND FLOOR: 853 S.F.  
TOTAL: 2,210 S.F.  
(4449-05000)

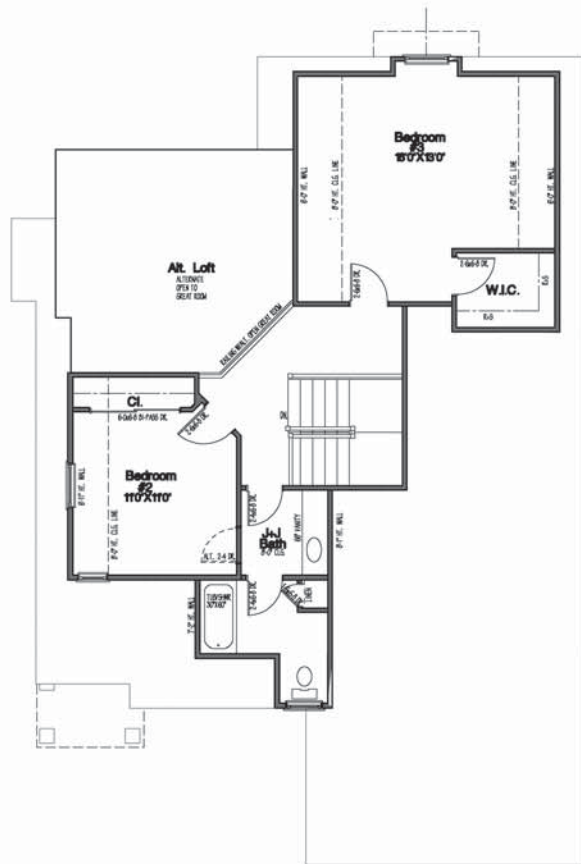
FIRST FLOOR - Second FL. MASTER

SCALE 1/8" = 1'-0"

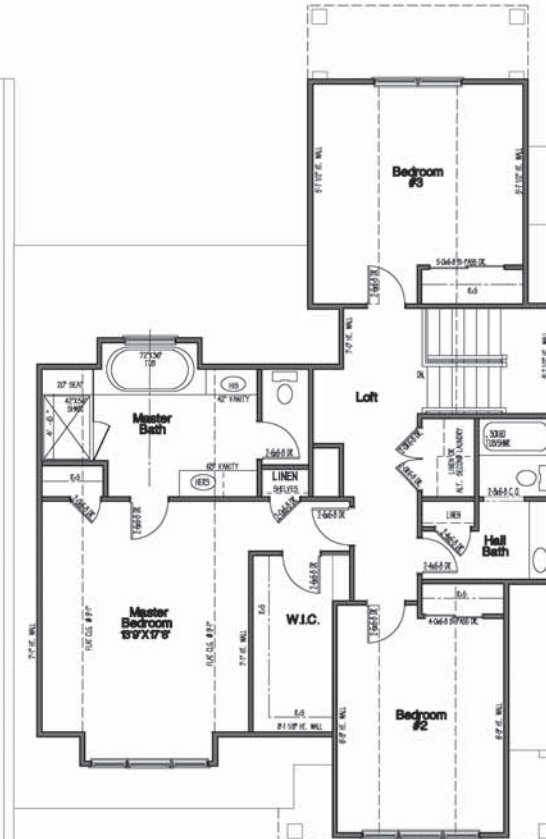
FIRST FLOOR: 1,357 S.F.  
SECOND FLOOR: 853 S.F.  
TOTAL: 2,210 S.F.  
(4449-05000)

# AVONDALE WOODS - SUBAREA A

MAY - 2016  
T. WALTON CARR  
ARCHITECTS



SECOND FLOOR  
UNIT 2



SECOND FLOOR  
UNIT 3



AVONDALE WOODS-SUBAREA A

MAY, 2016



DRIVE ELEVATION

T. WALTON CARR  
ARCHITECTS

RENDERING BY KELLEY DESIGN CO. LLC



AVONDALE WOODS-SUBAREA A  
MAY, 2016



MAIN ELEVATION

T. WALTON CARR  
ARCHITECTS

RENDERING BY KELLEY DESIGN CO. LLC

AVONDALE WOODS-SUBAREA A  
MAY, 2016



SIDE ELEVATION



SIDE ELEVATION

T. WALTON CARR  
ARCHITECTS

RENDERING BY KELLEY DESIGN CO. LLC



# AVONDALE WOODS-SUBAREA A

MAY, 2016

DRIVE ELEVATION



ACCENTED COLUMNS @ ENTRY PORCH



SIMULATED DIVIDED LITE WINDOWS AND GABLE ACCENTS WITH BRACKET @ PEAK



CARRIAGE STYLE GARAGE DOORS



BOX WINDOWS ACCENTED WITH METAL ROOF AND GABLE ACCENTS WITH GABLE BRACKETS



ACCENTED COLUMNS @ ENTRY PORCH

T. WALTON CARR ARCHITECTS



# AVONDALE WOODS-SUBAREA A

MAY, 2016

MAIN ELEVATION



ACCENTED COLUMNS @ ENTRY PORCH



SIMULATED DIVIDED LITE WINDOWS AND GABLE ACCENTS WITH BRACKET @ PEAK, 10:12 ROOF PITCH



BOX WINDOWS WITH METAL ROOFS AND SUPPORT BRACKETS



EXPOSED RAFTER TAILS, + GABLE ACCENTS WITH GABLE BRACKETS



RAFTERED TRELLIS OVER ACCENTED COLUMNS @ ENTRY PORCH

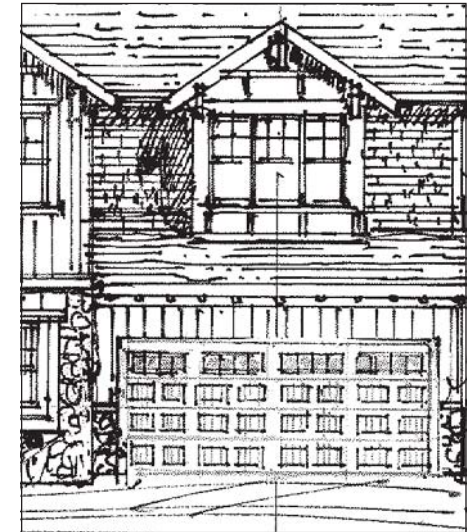
T. WALTON CARR  
ARCHITECTS



AVONDALE WOODS - SUBAREA C  
CRAFTSMEN STYLE EXTERIOR/ LAUDERDALE  
MAY, 2016



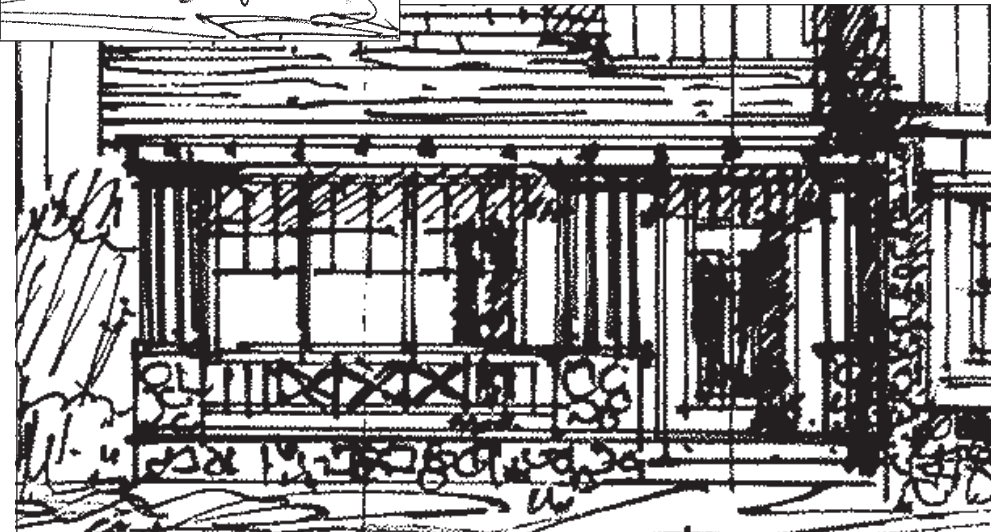
FRONT ELEVATION



CRAFTSMAN STYLE GARAGE DOORS W/ RAFTER  
TAILS/NEW WINDOWS ABOVE GARAGE DOORS



BEDROOM PULLED FORWARD TO  
GARAGE DOOR WALL/STONE WATER  
TABLE+BAND TRIM @ STONE CAP  
ALTERNATE DEN



COLUMNS/RAILING/RAFTER TAILS/STEPPED WINDOWS  
ABOVE PORCH ROOF

T. WALTON CARR  
ARCHITECTS

AVONDALE WOODS - SUBAREA C  
CRAFTSMEN STYLE EXTERIOR/ LAUDERDALE  
MAY, 2016



FIREPLACE @ GABLE  
WITH TRANSOM WINDOWS  
OVER BOTTOM WINDOWS

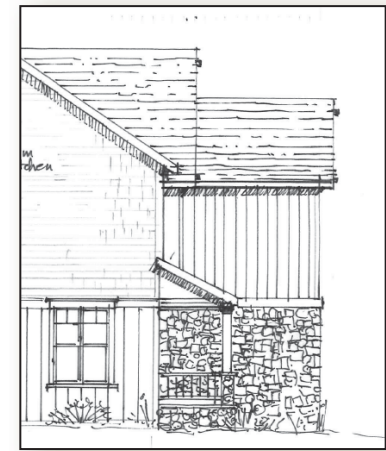
REAR ELEVATION



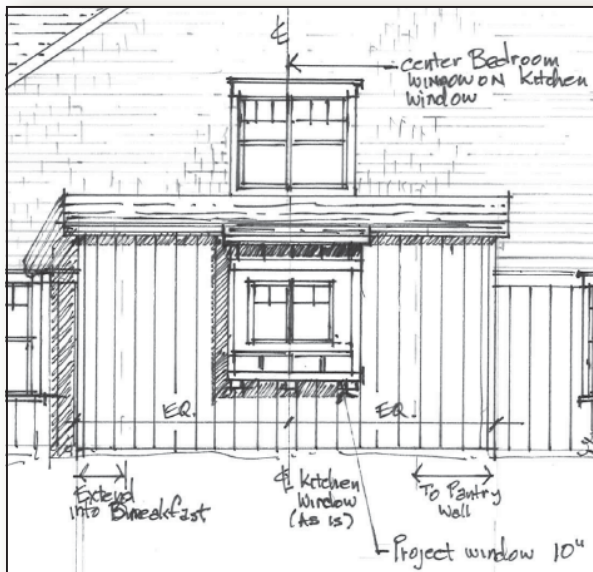
AVONDALE WOODS - SUBAREA C  
CRAFTSMEN STYLE EXTERIOR/ LAUDERDALE  
MAY, 2016



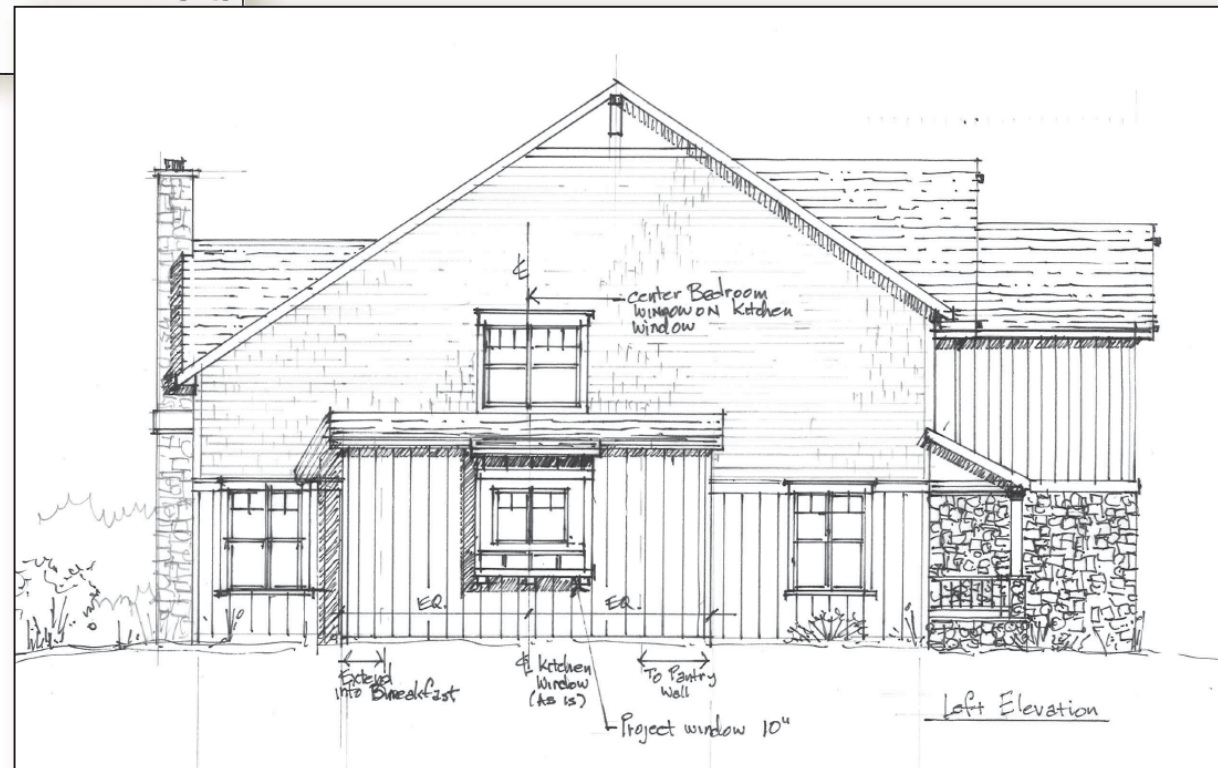
RIGHT SIDE ELEVATION



RAILING AND COLUMN @ PORCH



LEFT SIDE ELEVATION  
BOX WINDOW @ KITCHEN SINK

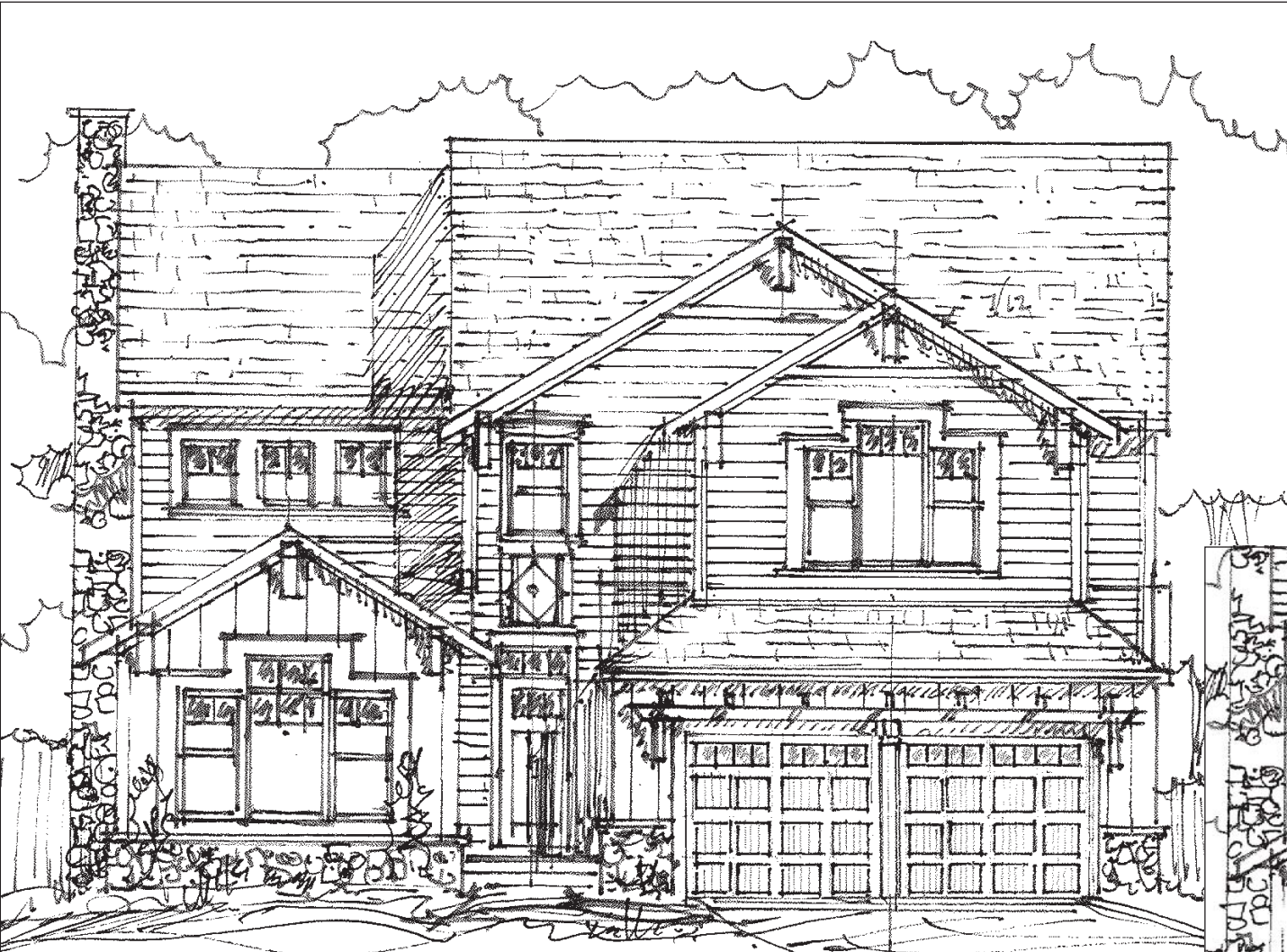


Left Elevation

LEFT SIDE ELEVATION

AVONDALE WOODS - SUBAREA C: SINGLE FAMILY  
CRAFTSMEN STYLE EXTERIOR/ MANCHESTER

MAY, 2016



FRONT ELEVATION



CRAFTSMAN STYLE GARAGE DOORS /NEW  
WINDOW ARRANGEMENT RECREATION ROOM  
HIPPED ROOF OVER GARAGE DOORS/RAFTER  
TAILS/BRACKET SUPPORTED TRELLIS



ENTRANCE/LOWER PITCHED ROOFS/RAKE BRACKETS/  
HIGH WINDOWS ABOVE LOWER PITCHED GABLE/STONE  
WATER TABLE WITH BOARD+BATTEN SIDING/TRANSOM  
OVER ENTRY DOOR/OPTIONAL TRELLIS COVER(NOT  
SHOWN)

T. WALTON CARR  
ARCHITECTS



AVONDALE WOODS - SUBAREA C: SINGLE FAMILY  
CRAFTSMEN STYLE EXTERIOR/ MANCHESTER  
MAY, 2016



REAR ELEVATION



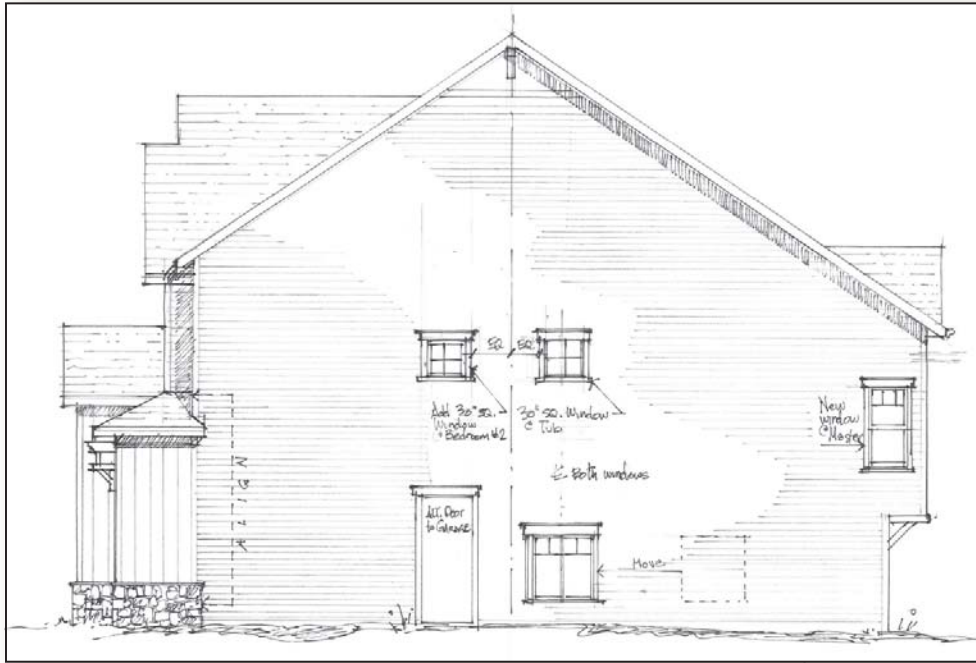
BRACKETS BELOW  
CANTILEVERED  
FLOOR



# AVONDALE WOODS - SUBAREA C: SINGLE FAMILY

## CRAFTSMEN STYLE EXTERIOR/ MANCHESTER

MAY, 2016

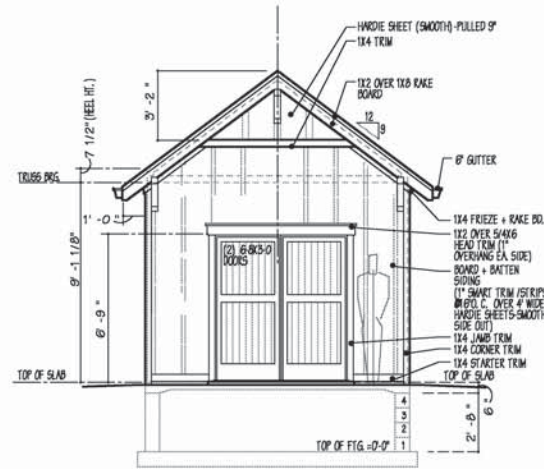


RIGHT SIDE ELEVATION

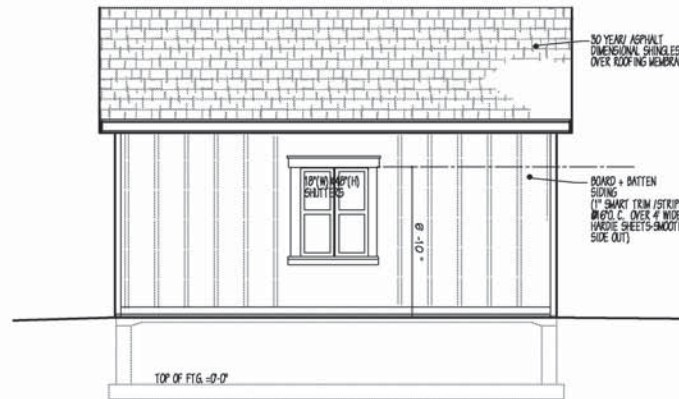


LEFT SIDE ELEVATION

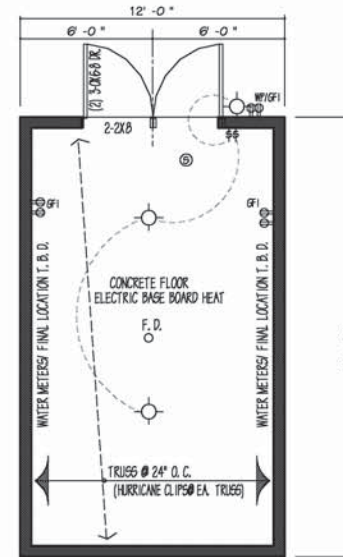
T. WALTON CARR  
ARCHITECTS



**FRONT ELEVATION**  
1/4"=1'-0"



**SIDE ELEVATION (BOTH SIDES)**  
1/4"=1'-0"



**FLOOR PLAN/ROOF FRAMING**  
1/4"=1'-0"

**AVONDALE WOODS**  
**WATER METER BUILDING**  
DUBLIN, OHIO

**PLAN + ELEVATIONS**

**T. WALTON CARR**  
• ARCHITECTS •  
WESTERVILLE, OHIO • 614.365.0000  
tcarr@thetwocarrs.com  
PRELIMINARY DESIGN 4-20-16  
SCHEMATIC DESIGN  
CONSTRUCTION DOCUMENTS

**PRELIMINARY DESIGN**  
4-20-16

**COPYRIGHT ©**  
T. WALTON CARR, ARCHITECTS retains the common law copyright to the material appearing in this drawing. The copyright shall not be used for any purpose other than the construction of a building on this lot. All drawings and specifications are the property of T. WALTON CARR, ARCHITECTS and the same may not be copied, reproduced or otherwise used without the written consent of T. WALTON CARR, ARCHITECTS.

## SECTION V

### **Appendix**

- Application
- Adjacent Owners
- Legal Descriptions



CITY OF DUBLIN

Land Use and  
Long Range Planning  
5800 Shier-Rings Road  
Dublin, Ohio 43016-1236

Phone/ TDD: 614-410-4600  
Fax: 614-410-4747  
Web Site: www.dublin.oh.us

# PLANNING AND ZONING COMMISSION APPLICATION

(Code Section 153.232)

## I. PLEASE CHECK THE TYPE OF APPLICATION:

- |   |  |
|---|--|
| <input type="checkbox"/> Informal Review  | <input checked="" type="checkbox"/> Final Plat<br>(Section 152.085)                    |
| <input type="checkbox"/> Concept Plan<br>(Section 153.056(A)(1))                      | <input type="checkbox"/> Conditional Use<br>(Section 153.236)                          |
| <input type="checkbox"/> Preliminary Development Plan / Rezoning<br>(Section 153.053) | <input type="checkbox"/> Corridor Development District (CDD)<br>(Section 153.115)      |
| <input checked="" type="checkbox"/> Final Development Plan<br>(Section 153.053(E))    | <input type="checkbox"/> Corridor Development District (CDD) Sign<br>(Section 153.115) |
| <input type="checkbox"/> Amended Final Development Plan<br>(Section 153.053(E))       | <input type="checkbox"/> Minor Subdivision   |
| <input type="checkbox"/> Standard District Rezoning<br>(Section 153.018)              | <input type="checkbox"/> Right-of-Way Encroachment                                     |
| <input type="checkbox"/> Preliminary Plat<br>(Section 152.015)                        | <input type="checkbox"/> Other (Please Specify): _____                                 |

Please utilize the applicable *Supplemental Application Requirements* sheet for additional submittal requirements that will need to accompany this application form.

## II. PROPERTY INFORMATION: This section must be completed.

Property Address(es): Avery Road	
Tax ID/Parcel Number(s): 274-000137	Parcel Size(s) (Acres): 120.253 acres
Existing Land Use/Development: Agriculture, Woods, and Undeveloped	

### IF APPLICABLE, PLEASE COMPLETE THE FOLLOWING:

Proposed Land Use/Development: Residential Development, Parks and Open Space
Total acres affected by application: +/- 34 acres (Subarea A, portion Subarea C, portion Subarea E for SW Management Area & Entry Feature)

## III. CURRENT PROPERTY OWNER(S): Please attach additional sheets if needed.

Name (Individual or Organization): Homewood Corporation LLC, c/o Jim Lipnos, President	
Mailing Address: (Street, City, State, Zip Code) 2700 Dublin Granville Road Columbus, Ohio 43231	
Daytime Telephone: (614) 898-7200	Fax: (614) 898-7210
Email or Alternate Contact Information: jlipnos@homewoodcorp.com	



**IV. APPLICANT(S):** This is the person(s) who is submitting the application if different than the property owner(s) listed in part III. Please complete if applicable.

Name: Jim Lipnos	Applicant is also property owner: yes <input checked="" type="checkbox"/> no <input type="checkbox"/>
Organization (Owner, Developer, Contractor, etc.): Homewood Corporation, LLC	
Mailing Address: 2700 Dublin Granville Road, Columbus, Ohio 43231 (Street, City, State, Zip Code)	
Daytime Telephone: (614) 898-7200	Fax: (614) 898-7210
Email or Alternate Contact Information: jlipnos@homewoodcorp.com	

**V. REPRESENTATIVE(S) OF APPLICANT / PROPERTY OWNER:** This is the person(s) who is submitting the application on behalf of the applicant listed in part IV or property owner listed in part III. Please complete if applicable.

Name: Chris Cline	
Organization (Owner, Developer, Contractor, etc.): Blaugrund, Herbert and Martin	
Mailing Address: 300 W Wilson Bridge Road, Suite 100, Worthington, Ohio 43085 (Street, City, State, Zip Code)	
Daytime Telephone: (614) 923-3132	Fax: (614) 764-0774
Email or Alternate Contact Information: ctc@bhmlaw.com	

**VI. AUTHORIZATION FOR OWNER'S APPLICANT or REPRESENTATIVE(S):** If the applicant is not the property owner, this section must be completed and notarized.

I, <u>James L. Lipnos</u> , the owner, hereby authorize <u>Chris Cline</u> to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all representations and agreements made by the designated representative.	
Signature of Current Property Owner: 	Date: <u>3/31/16</u>

☐ Check this box if the Authorization for Owner's Applicant or Representative(s) is attached as a separate document

Subscribed and sworn before me this 31 day of March, 20 16

State of Ohio

County of Franklin

Notary Public






TRACY LYNN FOLTZ  
NOTARY PUBLIC  
STATE OF OHIO  
Comm. Expires  
August 19, 2019


**VII. AUTHORIZATION TO VISIT THE PROPERTY:** Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as noted below, hereby authorizes City representatives to visit, photograph and post a notice on the property described in this application.

I, <u>James L. Lipnos</u> , the owner or authorized representative, hereby authorize City representatives to visit, photograph and post a notice on the property described in this application.	
Signature of applicant or authorized representative: 	Date: <u>3/31/16</u>

**VIII. UTILITY DISCLAIMER:** The Owner/Applicant acknowledges the approval of this request for review by the Dublin Planning and Zoning Commission and/or Dublin City Council does not constitute a guarantee or binding commitment that the City of Dublin will be able to provide essential services such as water and sewer facilities when needed by said Owner/Applicant.

I, <u>James L. Lipnos</u> , the owner or authorized representative, acknowledge that approval of this request does not constitute a guarantee or binding commitment that the City of Dublin will be able to provide essential services such as water and sewer facilities when needed by said Owner/Applicant.	
Signature of applicant or authorized representative: 	Date: <u>3/31/16</u>

**IX. APPLICANT'S AFFIDAVIT:** This section must be completed and notarized.

I, <u>James L. Lipnos</u> , the owner or authorized representative, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all respects true and correct, to the best of my knowledge and belief.	
Signature of applicant or authorized representative: 	Date: <u>3/31/16</u>

Subscribed and sworn to before me this 31 day of March, 20 16

State of Ohio  
 County of Franklin

Notary Public 



TRACY LYNN FOLTZ  
 NOTARY PUBLIC  
 STATE OF OHIO  
 Comm. Expires  
 August 19, 2019

FOR OFFICE USE ONLY			
Amount Received:	Application No:	P&Z Date(s):	P&Z Action:
Receipt No:	Map Zone:	Date Received:	Received By:
City Council (First Reading):		City Council (Second Reading):	
City Council Action:		Ordinance Number:	
Type of Request:			
N, S, E, W (Circle) Side of:			
N, S, E, W (Circle) Side of Nearest Intersection:			
Distance from Nearest Intersection:			
Existing Zoning District:		Requested Zoning District:	

## AVONDALE WOODS

### Avondale Woods - Property Owners Within 150 Feet

Parcel Number	Owner	Parcel Address	Mailing Address			
			Street	City	State	Zip
010-265644	AVERY ROAD COLUMBUS LLC	0 AVERY RD	1311 AUTUMN HILL DR	COLUMBUS	OH	43235
010-291877	HAYDENS RUN ONE LLC	0 EAGLE RIVER DRIVE	23775 COMMERECE PARK STE 7	BEECHWOOD	OH	44122
272-000488	BALTES-SPRING ELIZABETH R	5239 AVERY RD	3590 STERLING PARK CIR	GROVE CITY	OH	43123
274-001522	COLUMBUS METROPOLITAN HOUSING AUTHORITY	5215 AVERY RD	880 E 11TH AVE	COLUMBUS	OH	43211
274-001505	COLUMBUS METROPOLITAN HOUSING AUTHORITY	5215 AVERY RD	880 E 11TH AVE	COLUMBUS	OH	43211
274-001504	COLUMBUS METROPOLITAN HOUSING AUTHORITY	5215 AVERY RD	880 E 11TH AVE	COLUMBUS	OH	43211
274-000021	DALLAS ANGELO J TR, DAMICO JOHNG. TR, SCHEEL VALERIE M TR, DAMICO JODELLE M TR	6333 RINGS RD	3297MCKINLEY AVE	COLUMBUS	OH	43204
274-000117	DVORAK JAMES A & KEMME DIANCE D, DVORAK MICHAEL T	0 RINGS RD	2315 EDINGTON RD	COLUMBUS	OH	43221
272-000498	CITY OF COLUMBUS	5067 AVERY RD	90 W BROAD STREET	COLUMBUS	OH	43215
274-000034	FENDER PAUL & CELESTE	6555 RINGS RD	6555 RINGS RD	DUBLIN	OH	43016
272-000489	HADJARPOUR SAEED HASJARPOUR MOJGON	5243 AVERY RD	4200 DUBLIN RD	COLUMBUS	OH	43221
272-000484	HELLER GEOFFREY C & DEBORAH J MUNTZ	5223 AVERY RD	5223 AVERY RD	DUBLIN	OH	43016
274-000137	HOMEWOOD CORP	5215 AVERY RD	5215 AVERY ROAD	DUBLIN	OH	43016
272-000486	JORDAN GREGORY A & CHERYL A	5231 AVERY RD	5231 AVERY RD	DUBLIN	OH	43016
010-279301	AVERY BROOKE LLC	5315 AVERY RD	400 S 5TH ST STE 400	COLUMBUS	OH	43215
272-000491	HEINL MARK URBAN II	5251 AVERY RD	5903 BUECHLER BEND	HILIARD	OH	43228
010-286777	HAYDEN FARMS HOMEOWNERS ASSOCIATION INC.	0 GINGREY RD	5550 BLAZER PKWY STE 175	DUBLIN	OH	43016
272-000485	MULLINS NORMAN V III & MARY A	5227 AVERY RD	5227 AVERY RD	DUBLIN	OH	43016
272-000487	MYHER DANIEL E & SUSAN M	5235 AVERY RD	5235 AVERY RD	DUBLIN	OH	43016

## AVONDALE WOODS

274-000018	PATCH DAVID W JR	6661 RINGS RD	6661 RINGS ROAD	DUBLIN	OH	43016
010-265638	PF FARM LLC	RINGS RD	PO BOX 156	AMLIN	OH	43002
010-265636	PULTE HOMES OF OHIO, LLC	5038 COSGRAY RD	3350 PEACHTREE RD NE, FLOOR 1600	ATLANTA	GA	30326-1057
272-000483	REED MATTHEW D	5219 AVERY RD	5219 AVERY RD	DUBLIN	OH	43016
272-000490	RICH MATTHEW L RICH LORRAINE A	5247 AVERY RD	5247 AVERY RD	DUBLIN	OH	43016



**119.335 ACRES**

Situated in the State of Ohio, County of Franklin, City of Dublin, located in Virginia Military Survey Numbers 3453 and 3012, being all of the remainder of that 137.274 acre tract conveyed as Parcel Number 1 and all of the remainder of that 2.6 acre tract conveyed as Parcel Number 2 to Homewood Corporation by deed of record in Official Record 23250A17 (all references refer to the records of the Recorder's Office, Franklin County, Ohio), being more particularly bounded and described as follows:

BEGINNING at a northeasterly corner of the remainder of said 2.6 acre tract, a northwesterly corner of that plat entitled "Avondale Senior Village Amended" of record in Plat Book 114, Page 41, the westerly right-of-way line of Avery Road of record in Plat Book 114, Page 41;

thence with the perimeter of said "Avondale Senior Village Amended", the following courses and distances:

South 10°44'43" West, a distance of 120.81 feet to a point;

South 55°47'16" West, a distance of 35.38 feet to a point;

North 79°10'10" West, a distance of 313.92 feet to a point of curvature;

with the arc of a curve to the right, having a central angle of 11°25'51", a radius of 456.00 feet, an arc length of 90.98 feet, and a chord that bears North 73°27'15" West, a chord distance of 90.82 feet to a point of reverse curvature;

with the arc of a curve to the left having, a central angle of 24°33'25", a radius of 516.00 feet, an arc length of 221.16 feet, and a chord that bears North 80°01'02" West, a chord distance of 219.47 feet to a point;

South 87°42'16" West, a distance of 333.40 feet to a point; and

South 06°09'16" East, a distance of 1032.59 feet to a point in the southerly line of said 137.274 acre tract;

thence with the perimeter of said 137.274 acre tract, the following courses and distances:

South 83°28'01" West, a distance of 583.81 feet to a point;

North 39°15'59" West, a distance of 1857.05 feet to a point;

North 83°02'04" East, a distance of 492.25 feet to a point;

North 06°22'31" West, a distance of 1549.32 feet to a point;

North 84°15'41" East, a distance of 1947.00 feet to a point; and

South 05°46'37" East, a distance of 2128.26 feet to a point at the northwesterly corner of said 2.6 acre tract;

thence North 87°27'47" East, the northerly line of said 2.6 acre tract, a distance of 173.28 feet to the POINT OF BEGINNING and containing 119.335 acres of land, more or less.

EVANS, MECHWART, HAMBLETON & TILTON, INC.