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Avondale Woods

Dublin, Ohio



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Submittal – May 2016 Dublin Planning and Zoning Commission

SECTION I Development Overview

Introduction StatementFinal Development Plan Statement

I. INTRODUCTION TO AVONDALE WOODS

Avondale Woods is a 120 acre residential development located in the southernmost portion of the City of Dublin. The development's name comes from Avondale, the Irish country estate of Charles Parnell Roberts, often referred to as the father of Irish democracy.

A striking characteristic of the site is the large wooded area at the north end of the project, comprising about 29 acres. A wooded area of this size is unique in northwestern Franklin County, and the development's plans preserve it in its entirety. Two smaller wooded areas are also preserved, a triangular wooded area along the CSX railroad tracks and a smaller wooded lot just under I acre in size, north of the NCR project and Avondale Woods Boulevard lot.

The development is unusual in that it is surrounded by the City of Columbus on three sides, with only the northern boundary adjoining the City of Dublin. However, existing features, such as the CSX Railroad on the west and Avery Road on the east limit the site's interaction with the adjoining development. There is only one current access point to the site, Avondale Woods Blvd. located at Avery Road at the southern end of the property. Eventually, there will be a second access, at the Dublin border on the north, once Tuttle Boulevard is extended west of Avery Road. In the interim, emergency access for the northern portion will be available through an adjoining Columbus multifamily site being developed on Avery Road.

As a result of the physical considerations of the site, Avondale Woods will be a largely self-contained community, with shopping, recreation, and governmental services near, but not immediately adjacent to the neighborhood. The Avondale Woods community as a result seeks to provide a mix of housing opportunities to attract a diverse group of residents of varying ages, family makeups and economic levels that live together in a single, cohesive, community. There will be both rental and owner occupied housing, with both single family homes and attached residential rental homes in two, three and four unit buildings. The attached rental units are unusual in that the layouts and architectural styles are modeled after single family homes rather than typical flats or townhouse units. Emphasizing open floor plans, the attached rental homes begin with the assumption that, in the current housing climate, more families will be living in rental homes and for longer periods of time. However, this rental market is increasingly demanding of quality layouts and interior features. The Avondale Woods units measure up to this challenge.

The layout of the development emphasizes a single community composed of both homeowners and rental residents. There are no barriers between the different housing types and the recreation paths link all the open space amenities including the community center and swimming pool which is also a joint resource for all residents. The adjoining 17 acre National Church Residences housing community at the southeast corner of the site will be linked to the Avondale Woods Development via pedestrian paths, providing a further mix of ages and demographics, as well as senior support services. A final point is the two acre central green that comprises a focal point for the community and provides a desirable open space area and gathering place.

The character of the single family and attached residential homes is comprised of traditional architecture and includes elements that seek to convey a welcoming neighborhood feel of more simple times. Colors, materials and architectural features will subtly link all of the Avondale Woods housing types. Common elements include front porches, walkways from the sidewalk to the front door (except for homes with courtyard garages/drives), and shortened building setbacks to emphasize a pedestrian scale and walkable environment.

In its modern, suburban, phase, Dublin has developed as an archetypal auto oriented suburban community. Now, Dublin is reorienting its focus for a new phase that will respond to the needs of its corporate residents and an aging population. Avondale Woods seeks to be part of that reorientation by responding to the changing housing needs of the community. For young Dublin corporate workers who are making the move from apartments to family friendly rental homes or single family owned units, Avondale Woods provides housing options that will meet their needs and allow them to stay in Dublin. For older Dublin citizens looking to downsize or to transition to rental homes, the development also provides options that will have genuine appeal. For those who want the feel of a neighborhood and a livable interior similar to a single family home, but, must preserve their mobility in the job market, Avondale Woods again responds with desirable options. And of course, for any family just looking for a welcoming neighborhood and either rental or owned housing options, Avondale Woods is on target.

Despite being well sheltered from outside influences, Avondale Woods is accessed by an expanding network of roadways, giving access to shopping and services in Dublin, Hilliard and Columbus as well as access to Interstate 270 and the nearby Tuttle Mall. In addition to this convenient automobile access, mass transit is also currently accessible a short distance to the south on Avery Road, and, a new walkable transit center is planned nearby just to the north of Hayden Run Road.

Avondale Woods is well positioned to respond to the housing needs of both Dublin and its residents in the coming years.

II. FINAL DEVELOPMENT PLAN STATEMENT

A. Explain the proposed development and how the proposal relates to existing development in the vicinity.

Relationship to Land Uses

The Avondale Woods site is a large peninsula protruding into the City of Columbus representing the southernmost boundary of the City of Dublin. This peninsula is composed of the previously rezoned National Church Residences Site of 17 acres and the lands encompassed by this application, about 120 acres.

Northern Border: The peninsula's northern border is in the City of Dublin and abuts tracts that front on Rings Road. With the exception of a large trailer park (non-conforming use), these tracts are generally undeveloped and remain in the Rural zoning category. The terrain in this area is generally open, flat, and unremarkable. Development timing of the land in this adjoining area will depend on extension of the Cramer South trunk sewer line that currently is east of Avery Road at Wilcox Road. The westward extension of Tuttle Boulevard, expected to be aligned along the Avondale Woods northern boundary, will impact development of these lands, generally expected to be residential in nature. The Avondale Woods site will be significantly insulated from this future development, regardless of its land use, by the 29 acre wooded area at the northwest portion of the site, by the wide Tuttle Boulevard, and by additional green space likely to be added by the future development.

Eastern Border: Along the eastern boundary, the site is bordered at its northeast corner by a twelve acre site in the City of Columbus. This site was designated as Office in the Columbus Hayden Run Corridor Plan but was rezoned and is not built with multifamily development at 12 units per acre. Moving south, there are nine single family home sites in Washington Township that front on Avery Road. Avondale Woods is insulated from these sites by a park area containing a large storm water management pond. The available depth of these parcels, initially about 500 feet at the northern end of the lots and diminishing to about 200 feet at the southern end, is also a factor that acts as a limit on intensity of development and if combined would result in an irregularly shaped tract. The future of these sites is clouded as they can only be annexed to the City of Columbus and planned widening of Avery Road will challenge residential viability. Columbus designates these sites as Office in the Hayden Run Corridor Plan but if the sites should annex to the City of Columbus and obtain sewer service, land use would be determined by municipal zoning action which could approve a different land use.

South of the last of these homes the Avondale Woods site has approximately a 150' border with Avery Road followed by the 70' right-of-way of Avondale Woods Boulevard, the only current access to the development.

Hayden Run Boulevard currently terminates west of the CSX railroad tracks. It is planned to be a major arterial as it extends eastward, via an overpass to Avery Road and further east past Avery to Wilcox, Riggins and Britton Parkway. This will spur further development along this corridor providing additional commercial and housing. Eastern and Southern Border: The 17 acre National Church Residences site comprises part of both the eastern and southern borders of the site, largely insulating the Avondale Woods development from the future Neighborhood Center development, in Columbus, east of Avery Road. Part of this area was recently rezoned. It includes a large land assemblage at the southeast corner of Avery and the future Riggins Road (Hayden Run extension east of Avery) and was approved for commercial and apartments, providing convenience retail services to the surrounding area.

The remaining portion of Avondale Woods' southern border adjoins more Washington Township land currently used as two single family sites reaching from Avery Road to the railroad tracks. These township lands are also marked for annexation only to the City of Columbus. Moreover, this is the location for the extension of Hayden Run Boulevard. South of these two sites the City of Columbus currently begins, forming a corridor connecting the Columbus lands east of Avery Road to lands west of the railroad tracks out to the Madison County line. The Hayden Run Corridor Plan recommends that the land to the immediate south of the Hayden Run Boulevard roadway to the point that Avery Road crosses the railroad tracks be developed as Transit Oriented Development.

Western Border: To the west of the railroad tracks, which comprise the southwestern border of the Avondale Woods site, is a large area of land both developed and planned for additional residential development of various types in the City of Columbus. Densities are much higher than is typical of Dublin development. The effect of this development is muted by the intervening railroad tracks. To the northwest, the Avondale Woods site borders an 18 acre site which is east of the railroad tracks but is in the City of Columbus. This site is essentially an island that can only be accessed using the Avondale Woods roadway system (a road will be stubbed from the Avondale Woods system) or by a future roadway from the north in the City of Dublin. The Columbus Hayden Run Corridor Plan does not indicate a proposed land use for this tract. At the northeast corner of the Avondale Woods site, the 29 acre wooded portion on the site borders another large wooded tract in the City of Dublin that will likely also remain in a wooded state.

To summarize, the Avondale Woods site is largely self contained and isolated, both from interaction and from influence, from the surrounding lands. As a result, Avondale Woods generally neither influences, nor is influenced by, the land use of these neighboring tracts.

Relationship to the Street System

Avondale Woods will have two access points: To Avery Road via Avondale Woods Boulevard, which has already been partially constructed along the northern boundary of the National Church Residences site, and to Tuttle Crossing Boulevard at the northern end of the site. At the current point in time only the Avery Road access will be available since Tuttle Crossing Boulevard has not been extended west of Avery Road. In the interim, an emergency access easement has been negotiated with the 12 acre multifamily site at the northeast border of the site.

Once the planned roadway network improvements are complete and the second entrance to Tuttle Crossing Boulevard is available, Avondale Woods will have excellent access to nearby services, arterial roadway systems connecting to Dublin and Hilliard, and to regional freeway access points at the Avery Road interchange at SR 161/US 33 and I-270 at Tuttle Crossing Interchange. In the interim, access via Avery Road provides acceptable and convenient access.

Relationship to Community Facilities, Services and Public Improvements

Because the Avondale Woods site represents the southern boundary of the City of Dublin, community facilities are within close proximity. The Daree Fields sports park is about two miles to the northwest. The Ballantrae Community Park, with a municipal swimming pool, is one mile to the north. Coffman Park, which includes the City of Dublin municipal building and Dublin Recreation Center, is two and one half miles to the northeast.

Shopping centers are located close to the site with commercial two miles north on Avery Road. Grocery and community services are located to the west on Hayden Road and Cosgray Road. Additionally, The Mall at Tuttle Crossing is one and one half miles to the east.

The closest fire station is about one and one half miles to the north on Shier Rings Road. Various facilities and services are either available, or will become available, in both the City of Columbus and the City of Hilliard in a sub two mile radius to the south, east and west. Old Dublin, with shopping and the Dublin Library, is about three miles to the northeast.

Relationship to the Open Space System

The primary relationship to the open space system in this quadrant will be enhanced by the Avondale Woods development. It will preserve approximately 35 acres of woods, and the largest remaining wood lot in this area. It will also provide 2 large park areas and interconnected pedestrian trails. The Avondale Woods development is located within 3 miles of Homestead Park (Washington Township). The Heritage Trail Metro Park is 2 miles southwest and future bikeway access will provide virtually unlimited access to open space in both the City of Dublin and regionally such as the northwest Battelle Metro Park and the Heritage Rails to Trails bikeway system to the south.

The 2 acre plus central green within the single family portion of the Avondale Woods development will serve as a community gathering place for residents and the Avondale Woods Community Building with its pool will similarly serve all of the residents of the development.

B. State how the Final Development Plan relates to the Dublin Community Plan and the approved Preliminary Development Plan. If there is a modification from the Preliminary Development Plan, explain the nature and location of the proposed modification.

Relationship to Dublin Community Plan

The proposed development is fully consistent with the 2007 Dublin Community Plan.

The Future Land Use Map shows the site as "Mixed Residential Low Density", defined as "a mix of housing options and transition from existing single-family neighborhoods at a maximum density of 3.0 du/ac." At the time of the National Church Residences rezoning, it was clarified that the remaining Avondale Woods land would have the 3.0 du/ac density applied without

subtraction for the units included in the National Church Residences portion. The 120 remaining acres thus yields a potential of 360 residential units as shown in this application.

The Southwest Area plan portion of the 2007 Dublin Community Plan provides for residential land uses roughly similar to what is proposed in this plan—higher density residential in the northern and southern sections (Subareas B and D) and single family residential density in the central section (Subarea C). When overlaid with the overall 3.0 du/ac requirement for the site as a whole this proposal seems to be solidly on target.

The Southwest Area plan portion of the 2007 Dublin Community Plan also emphasized that existing wooded areas should be integrated into the design of open spaces and emphasized connectivity to be provided throughout the area and into adjacent jurisdictions. As noted above, all possible pedestrian and roadway connections have been made at points where the site allows contact with adjacent boundaries and all wooded areas are preserved as open space.

Relationship to the approved Preliminary Development plan

The proposed Final Development Plan for Subarea A, Subarea C (Section 1) and a portion of Subarea E for storm water management is consistent with the approved preliminary development plan with units designed to meet the density, materials, and architecture outlined in the development Standards and by providing open space, landscaping and screening.

Proposed modifications from the Preliminary Development plan

Proposed minor modifications to the Preliminary Development Plan – Development Standards are outlined in item E below.

C. Explain how the proposed development meets the review criteria for Final Development Plan approval by the Planning and Zoning Commission [Code Section 153.055(B)]

- (1) The plan conforms in all pertinent respects to the approved Preliminary Development Plan provided, however, that the Planning and Zoning Commission may authorize plans as specified in §153.053(E)(4): The proposed Final Development Plan for Subarea A, Subarea C (Section 1) and a portion of Subarea E (storm water management) conforms with all pertinent respects of the approved preliminary development plan including density, open space, materials, architecture, landscaping and screening.
- (2) Adequate provision is made for safe and efficient pedestrian and vehicular circulation within the site and to adjacent property: Internal road networks are designed to facilitate vehicular access within the subdivision to the existing and future road networks surrounding the site without encouraging cut thorough traffic. Pedestrian circulation occurs through public sidewalks and pathways interconnected throughout the site.
- (3) The development has adequate public services and open spaces: The site and proposed FDP sections have adequate public services including the extension of public water, sewer and storm. It is accessible to Dublin emergency vehicles through the extension of Avondale Woods Boulevard and the interconnected streets in Subareas A and C. Adequate open

spaces are provided for public use with the green space in Subarea A, the central green in Subarea C and the passive open space in Subarea E containing the storm water management pond.

- (4) The development preserves and is sensitive to the natural characteristics of the site in a manner that complies with the applicable regulations set forth in this Code: As approved in the Preliminary Development Plan, the Final Development Plans will preserve and be sensitive to the natural characteristics of the site. The plan preserves major wooded areas including Avondale Woods (almost 30 acres in size) in the north portion of the site, the triangle woods adjacent to the railroad tracks and a small area of trees near the entrance along Avery and Avondale Woods Boulevard.
- (5) The development provides adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas without unnecessarily spilling or emitting light onto adjacent properties or the general vicinity: Adequate lighting will be provided along public streets per City standards. Additional lighting shall be provided with a post light on each single family lot in Subarea C and with coach lights on each garage along the private drive in Subarea A. All lighting will avoid unnecessary spilling or emitting of light onto adjacent properties.
- (6) The proposed signs, as indicated on the submitted sign plan, will be coordinated within the Planned Unit Development and with adjacent development; are of an appropriate size, scale, and design in relationship with the principal building, site, and surroundings; and are located so as to maintain safe and orderly pedestrian and vehicular circulation: Proposed signage has been indicated within the Final development Plan for each Subarea. Entry features at each access point into Subarea A include signage. No entry feature or signage is proposed for Subarea C. Street signs will be provided per City Standards on public streets.
- (7) The landscape plan will adequately enhance the principal building and site; maintain existing trees to the extent possible; buffer adjacent incompatible uses; break up large expanses of pavement with natural material; and provide appropriate plant materials for the buildings, site, and climate: In Subarea A, typical unit plantings have been provided as well as buffer and tree plantings throughout the open space. In Subarea C, each single family home will have building foundation planting per code. In Subarea E, the storm water pond will be extensively landscaped with trees, shrubs and perennials plantings suitable to both dry and wet conditions. Existing trees have been saved as indicated in #4 above.
- (8) Adequate provision is made for storm drainage within and through the site which complies with the applicable regulations in this Code and any other design criteria established by the City or any other governmental entity which may have jurisdiction over such matters: The proposed Final Development Plan for Subareas A, C and a portion of E provides adequate storm drainage for these areas as well as the balance of the site. Specifically, in Subarea E, proposed modifications to the existing basin meet all engineering requirements for handling of storm water within and through the site.

(9) If the project is to be carried out in progressive stages, each stage shall be so planned that the foregoing conditions are complied with at the completion of each stage; The proposed Final Development Plans for Subarea A, Subarea C- Section 1 and a portion of Subarea E are each designed to carry out the conditions set forth and approved in the Preliminary Development Plan. Reasonable development progression can be achieved in each phase with appropriate infrastructure extensions.

D. For an amended Final Development Plan explain how the proposal is different from the approved Final Development Plan

Not applicable

E. Explain how the proposal is consistent or inconsistent with the development text for the Planned District.

The proposal is consistent with the approved development text for the Planned District with the following proposed minor amendments:

Subarea A:

- Proposed Water Meter building to be setback 10' from south boundary. The meter building is proposed as an extension of the entry feature and has been architecturally been detailed to be compatible with the building architecture.
- Proposed encroachment of 6' into building setback for structures covering stoops, porches and patios. This complements the overall development theme bringing buildings and elements closer to the street creating a welcoming neighborhood feel.

Phasing: Project phasing has been updated with a revised anticipated development schedule for the start of the project.

SECTION II Development Standards

- Overall Development Standards
 - Sub Area Standards
 - Project Phasing
 - Diversity Matrix

I. OVERALL DEVELOPMENT STANDARDS

This development shall be in accordance with Dublin Code at the time of development unless noted otherwise in the overall development standards or subarea standards.

The following standards shall be applicable to subareas as noted.

A. Density: Total site density shall not exceed 3 dwelling units per acre based on 120 acres for a total of 360 dwelling units.

B. Parking: All parking requirements shall be in accordance with Dublin code at the time of development except parking for the community center and pool in Subarea E will be approved as part of the Final Development Plan and will consider pedestrian access from the adjoining neighborhoods.

C. Model Homes and Sales Offices

1. Model homes and sales offices shall be permitted within Subareas A, B, C, D & E in accordance with Dublin Code requirements.

D. Residents Association

- 1. Applicant will establish multiple forced and funded residents' associations through deed based subdivision covenants and restrictions.
- 2. An overall Avondale Woods Master Residents Association will be comprised of the subarea residents' associations' members. This master association will be funded by the subarea residents' associations and will be responsible for tasks that affect all residents in the different subareas such as operating and maintaining the community building and pool and maintaining the stormwater facility area.
- 3. Each of the individual residential subareas, Subarea A, Subarea B, Subarea C and Subarea D will have their own residents' association which will address tasks associated with the respective subareas. If the subarea is owned and operated as a single entity that entity will operate the residents' association. If the subarea is, or becomes, a neighborhood of individually owned parcels then the subarea residents' association will function with the parcel owners as members.

E. Entry Features

- 1. Entry features are permitted in each Subarea at major entry points with final design, location and landscape to be submitted for approval at time of Final Development Plan.
- 2. Entry features may be located within the setbacks in each Subarea but shall not prohibit clear sight distance or cause safety concerns.

3. Entry features may include but not be limited to fences, posts, columns, walls, trellises, gazebos, signs, landscaping, signage, logo etc.

F. Architectural Diversity (Applies to Subarea C Only)

- 1. A matrix has been provided to promote architectural diversity for the front building facades for single family homes.
- 2. Diversity shall be achieved by restricting the same front facades as follows:
 - No home 2 lots to the left or right of the subject lot shall have the same front façade as the subject lot and
 - No home directly across the street and one lot to the left or right of that lot shall have the same front façade as the subject lot. However, this requirement may be adjusted depending on specific site conditions. An example would be a home across the street facing on a different street.

Reserve	Ownership	Maintained By
Reserve "A"	SHOA	SHOA
Reserve "B'	City	City
Reserve "C"	City	City
Reserve "D"	City	City
Reserve "E"	City	MHOA
Reserve "F"	SHOA	SHOA
Reserve "G"	MHOA	MHOA
Reserve "H"	SHOA	MHOA
Reserve "I"	SHOA	SHOA
Reserve "J"	City	MHOA
Reserve "K"	City	City
Reserves "L, M, N"	City	MHOA

G. Reserve Ownership and Maintenance

SHOA = Subarea Homeowner Association/Subarea Resident Association

MHOA = Master Homeowner Association

The applicant agrees the MHOA will maintain the entire Reserve J islands, including the portion of the island within the public right of way extending east to Channel Lane, outside of the rezoning boundary.

Reserve Ownership and Maintenance is indicated on multiple drawings within the Preliminary Development Plan and specifically on the Open Space and Connectivity Plan - Sheet 6/26 and the Overall Preliminary Plat - Sheet 21/26

May 2016

H. Infrastructure Agreement:

An infrastructure agreement shall be executed between the City and the Developer prior to submittal of a Final Development Plan.

I. Private Drive Maintenance:

Private drives shall be defined as drives accessing apartment units and potential condominium units. The property owner or any potential new developer or condominium owner shall be responsible for the maintenance of all private drives and the City of Dublin shall not be responsible for maintenance of any of these private drive improvements.



II. SUBAREA STANDARDS

Subarea A

Subarea A is comprised of approximately 8 acres of attached residential housing located north of Avondale Woods Boulevard and the NCR site.

Permitted Uses	Residential housing composed of attached and/or detached units
Density	Maximum of 48 residential units
Building setbacks	25' south boundary (Avondale Woods Blvd)- not including the water meter building which shall be setback a minimum of 10' from the south boundary. 20' west boundary 20' north boundary
	5' east boundary A minimum distance of 12' shall be maintained between buildings. Structures covering stoops, porches or patios may extend a maximum of 6' into any building setback.
Pavement setbacks	 25' south boundary (Avondale Woods Blvd)* 20' west boundary 20' north boundary 0' east boundary *except entry drives to access the units and patios
Open Space	Open space shall be provided via a central green of approximately 1 acre in size surrounded by a walking path connecting to each unit. This area is intended for use by the residents of this Subarea and shall include benches and landscaping. Other passive and active elements may be included and shall be determined at time of Final Development Plan. A portion of the storm water management area may extend into this subarea. This open space shall be owned and maintained by the Subarea A Resident Association.
Materials	Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with examples of successful, high quality installations used with appropriate architectural detailing. Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and



AVONDALE WOODS - SUBAREA A

Materials, Cont.	decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used. Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations.
Architectural Requirements	 General: Details for outside amenities such as decks, patios, and/or fences shall be provided at Final Development Plan. The City of Dublin Residential Appearance Code shall not be applicable to units within this Subarea. All elevations shall be reviewed and approved at time of Final Development Plan by Planning Commission. The architectural theme shall have a Craftsman influence as reflected in the Examples of Architectural Design Elements: Exhibits A and B. In order to carry the neighborhood theme through all subareas, all units will have porches and a sidewalk extending from the front door connecting to the public sidewalk or connecting to a private walk. Privacy between units may be accomplished with building elements and/or privacy fencing. Privacy fencing is not intended to entirely enclose a patio area but is intended for privacy between unit patios. Any fencing used shall be limited to 6' in height and shall be submitted for approval with the Final Development Plan. Colors will be from a historic palette of a major paint manufacturer and will be a subset of the palette permitted for the single family area. Main doors and garage door colors will be varied dark accent colors with a single color per building.



AVONDALE WOODS - SUBAREA A

Architectural Requirements, Cont.	 Where a unit is" double fronted" - fronting a public street or green and backing to the front of units on an internal street – the unit face on the public street or green shall be considered the dominant elevation and be treated accordingly from an architectural perspective. The "back of the unit" shall also be given a similar level of architectural detail and consideration as the front.
	 Garages and Parking: Garage doors shall be treated as decorative elements and shall have various carriage door styles Coach lights shall be required on the garage All units will have two car attached garages. The driveway shall be a minimum length of 19 feet exclusive of sidewalks. Shared driveways shall be utilized where possible. Additional parking spaces for visitors shall be indicated on the Final Development Plan.
	 Roofs: Roof slopes to be min. 6/12 except porch roofs which may be less. Gable vents shall be addressed with architectural detail. Rakes and frieze boards will be used on roofs. Rakes shall be extended to min. 12" overhang on main gables with decorative bracketed supports.
	 Front Porches: Porches shall be required on all units whether facing a street or open space. Columns shall be primary accent pieces and may be used on optional masonry bases. Porch Roofs to be metal when isolated Porches shall have accent railings.



AVONDALE WOODS - SUBAREA A

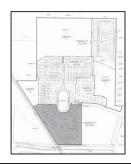
Landscaping and Screening	 Windows: Windows without shutters shall be wrapped with trim. Windows to be simulated divided light with grid patterns used on all four sides of the building. Shutters: Shutters shall be used judiciously but shall not be required on every window or on every elevation. Shutters shall be equal to the size of full window and have shutter hardware. A minimum 25' wide buffer shall be installed along the
	 western property line of Subarea A, where adjacent to the rear of lots in Subarea C. The intent of this buffer is to provide screening between the alley in Subarea A and the rear of lots in Subarea C. The buffer shall be a minimum of 5' in height with 75% year round opacity. This buffer may not include fencing. A landscape plan for this buffer shall be submitted for approval with the Final Development plan. The maintenance for this buffer shall be the responsibility of the Subarea A Residents Association.



Subarea B

Subarea B is comprised of approximately 19.1 acres of attached residential housing located south of central park and Avondale Woods Boulevard.

Permitted uses	Residential housing composed of attached and/or detached units
Density	Maximum of 132 residential units
Building setbacks	The front setback of the units located along Avondale Woods Blvd shall be located 15' from edge of right-of- way. Staggering of units/buildings shall not be required. 100' west boundary 100' south boundary 50' east boundary A minimum distance of 12' shall be maintained between buildings.
Pavement setbacks	20' on north boundary along Avondale Woods Blvd. and Central Green Rd.* ** 100' west boundary** 100' south boundary ** 50' east boundary ** * except entry drives to access units ** except bike/pedestrian paths
Open Space	Open space shall be provided via green spaces located in the rear of most units (except those facing the central green). Additional green space is located within the large buffer areas along the west, and south property lines indicated as Reserve F and in the Landscape Buffer along the east property line as indicated on the Open Space Plan. The open space along the property lines is intended for passive recreation for the residents of Subarea B. It shall incorporate landscaping, benches and a path either through it or along the perimeter. This open space shall be owned and maintained by the Subarea B Resident Association.
Materials	Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with examples of successful, high quality installations used with appropriate architectural detailing.



Materials, Cont.	Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used. Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations.
Architectural Requirements	 General: Details for outside amenities such as decks, patios, and/or fences shall be provided at Final Development Plan. The City of Dublin Residential Appearance Code shall not be applicable to units within this Subarea. All elevations shall be reviewed and approved at time of Final Development Plan by Planning Commission. The architectural theme shall have a Craftsman influence as reflected in the Examples of Architectural Design Elements: Exhibits A and B. Units fronting the public street facing the central green in Subarea C will have porches and a sidewalk extending from the front door connecting to the public sidewalk. In order to carry the neighborhood theme through all subareas, units fronting an internal private street or green space will have porches and a sidewalk extending from the front door to the driveway or private walk. Privacy between units may be accomplished with building elements and/or privacy fencing. Privacy fencing is not intended to entirely enclose a patio area but is intended for privacy between unit patios.



Architectural Requirements, Cont.	 Any patio, porch, deck and associated fencing shall not extend into any perimeter setback. Any fencing used shall be limited to 6' in height and shall be submitted for approval with the Final Development Plan. Colors will be from a historic palette of a major paint manufacturer and will be a subset of the palette permitted for the single family area. Main doors and garage door colors will be varied dark accent colors with a single color per building. Double fronted units are located facing both Avondale Woods Boulevard and O'Shea Lane (refer to the Preliminary Plat for location.) Both elevation shall be treated with the same level of architectural detail. "Double fronted" shall be treated with the same level of architectural detail. On building facades immediately adjacent to the railroad tracks, sound insulation techniques shall be utilized with specific methods presented for review and approval by the Planning Commission at time of Final Development Plan.
	 Garages and Parking: Garage doors shall be treated as decorative elements and shall have various carriage door styles Coach lights shall be required on the garage All units will have attached garages. Three bedroom units will have two car garages. No more than two 16' garages will be on the front elevation. The driveway shall be a minimum length of 19 feet exclusive of sidewalks. Shared driveways shall be utilized where possible. Additional off-street parking spaces for visitors with locations provided shall be shown on the Final Development Plan.



Architectural Requirements, Cont.	 Roofs: Roof slopes to be min. 6/12 except porch roofs which may be less. Gable vents shall be addressed with architectural detail. Rakes and frieze boards will be used on roofs. Rakes shall be extended to min. 12" overhang on main gables with decorative bracketed supports.
	 Front porch: Porches shall be required on all units whether facing a street or open space. Columns shall be primary accent pieces and may be used on optional masonry bases. Porch Roofs to be metal when isolated Porches shall have accent railings.
	 Windows: Windows without shutters shall be wrapped with trim. Windows to be simulated divided light with grid patterns used on all four sides of the building.
Landscaping and Screening	 Shutters: Shutters shall be used judiciously but shall not be required on every window or on every elevation. Shutters shall be equal to the size of full window and have shutter hardware. Landscaping and screening, including tree preservation, shall be in accordance with Dublin Code except as
	Noted below. Within the 100' building setback along the west property line, a buffer shall be required to provide both a physical and visual barrier to the CSX railroad track. This buffering shall be a minimum of 10' in height. The first 6' in height shall have 100% opacity from proposed grade at install and then a minimum of 75%



	opacity at 6'-10' within 4 years of installation. A landscape plan for this buffer including any proposed fencing shall be submitted for approval with the Final Development Plan. Any fencing shall be limited to 6' in height.
	The intent of the buffer along the south property line is to provide an additional layer of screening between units and the proposed Hayden Crossing Boulevard. The minimum buffer width shall be 100' and shall contain screening to a minimum height of 6' at installation and 75% opacity within 4 years of installation. Buffering may be achieved by using any of the following: landscaping, mounding, fencing or walls. A detailed planting plan shall be provided at time of Final Development Plan.
Landscaping and Screening, Cont.	A bike/pedestrian path will be located within both the west and south property line building setbacks to connect with proposed/existing paths in other subareas or adjacent development.
	Buffering shall be provided along the east property line to provide screening between the NCR development and the proposed units in Subarea B. Buffer shall be a minimum width of 50' and planted with native plant materials at a minimum height of 6' at installation and reach 50% opacity within 4 years of installation. A detailed planting plan shall be provided at time of Final Development Plan.
	Subarea B Residents Association shall maintain buffers and landscape.



Subarea C

Subarea C is comprised of approximately 30.6 acres of single family homes located south of the main woods area.

Permitted Uses	Single Family Residential, one principle structure per lot
Density	A maximum of 77 residential units
Front Yard Building Setback	The front yard building setback shall be 15' from the right of way. Corner lots shall have a 15' front yard building setback from both rights of way. However, lots with existing utility easements in front yards (lots 24 through 36, 41 & 42) will have the front setback 5' off the edge of the easement area and the front setback for Lots 37 through 40 shall be as shown on the Plat, Sheet 21A. Front setbacks do not need to be staggered on any lot.
Side Yard Building Setback	6'
Side Yard Pavement Setback	3' per code however no pavement setback shall be required where two properties share a common driveway.
Rear Yard Setback	25'- A 5' encroachment shall be permitted in the rear yard setback for patios and decks.
Lot Width	55' minimum at the building line, generally arranged in areas composed of similar lot widths without intermixing of different lot widths.
Lot Depth	Each lot will provide a minimum of 65' buildable depth.
Open Space	Open space provided in the eyebrow off Avondale Woods Boulevard will be landscaped, owned by the city and maintained by the Subarea C Residents Association. Where Subarea C abuts Subareas F & G, a delineation between public/private ownership will be installed at the time of development in coordination with parks department. A central green of approximately 2 acres will be owned and maintained by the City of Dublin.
Materials	Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with



AVONDALE WOODS - SUBAREA C

Materials, Cont.	examples of successful, high quality installations used with appropriate architectural detailing.
	Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used.
	Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations.
Architectural Requirements	 General: The architectural theme shall have a Craftsman influence as reflected in the Examples of Architectural Design Elements: Exhibits A and B. In order to carry the neighborhood theme through all Subareas, all homes will have porches and a sidewalk extending from the front door connecting to the public sidewalk, except those homes with courtyard garages/drives which will have porches and a sidewalk extending from the front door to the driveway. Homes fronting the central green (lots 1-8) shall be required to have side load garages. All homes will have a post lamp of a single design and color. Colors will be from a historic palette of a major paint manufacturer and will be a subset of the palette permitted for the single family area. Main doors and garage door colors will be varied with a single color per building. Dublin Residential Appearance code applies unless in conflict with specific standards herein.



AVONDALE WOODS - SUBAREA C

Architectural Requirements, Cont.	 Garages and Parking: Garage doors shall be treated as decorative elements and shall have various carriage door styles Coach lights shall be required on the garage All homes will have a minimum two car garage. A front load garage shall have a minimum driveway length of 19 feet exclusive of sidewalks. On 55' wide lots, the percentage of garage door to the overall front façade may be greater than 35% but may not exceed 40%. This requirement only applies to garages shall be located behind the front façade of the home.
	 Roofs: Roof slopes to be min. 6/12 except porch roofs which may be less. Gable vents shall be addressed with architectural detail. Rakes and frieze boards will be used on roofs. Rakes shall be extended to min. 12" overhang on main gables with decorative bracketed supports.
	 Front Porches: Front porches shall be required on all units. Columns shall be primary accent pieces and may be used on optional masonry bases. Porch Roofs to be metal when isolated Porches shall have accent railings.
	 Windows: Windows without shutters shall be wrapped with trim Windows to be simulated divided light with grid patterns used on all four sides of the building Shutters: Shutters shall be used judiciously but shall not be required on every window or on every elevation.



Avondale Woods - Subarea ${\sf C}$

Γ	T
	 Shutters shall be equal to the size of full window
	and have shutter hardware.
Landscaping and Tree Preservation	Tree Preservation
Landscaping and Screening, Cont.	A 20' tree preservation zone shall be required along the rear of lots 29-41 as indicated on the Preliminary Plat (Sheet 21.) Within the tree preservation zone, selective clearing may occur to remove dead, dying or noxious species of trees. Utilities shall not be located within the tree preservation zone unless approved by the City Engineer or City Forester. No structures (including play structures, decks, storage buildings, etc.) may be permitted in the tree preservation zone.
Miscellaneous	The right of way surrounding the central green shall be 50 feet. The pavements width shall be 28 feet.
	Lot 42 shall have the home fronting Avondale Woods Boulevard with a side load garage fronting on Scarlett Lane.
	In order to avoid direct sight lines from inside the rear living area of a home that directly "backs" to another lot (lots 14-23 and 43-54 on the Preliminary Plat), the developer will program the homes to allow for reversing the footprints to minimize direct sight lines.
	A sidewalk easement shall be provided on each lot as necessary and shall be indicated on the final plat.



AVONDALE WOODS - SUBAREA D

Subarea D

Subarea D is comprised of approximately 15.4 acres of attached residential housing located at the northeast corner of the site, east of the main woods.

Permitted Uses	Residential housing composed of attached and/or detached units.
Density	Maximum of 103 residential units
Building and Pavement Setbacks	50' from north property line 30' from east property line 25' from west property line (Scarlett Lane right of way) 0' from south property line A minimum distance of 12' shall be maintained between buildings.
Open Space	Open space of 1 acre minimum shall be located on the southern property line of Subarea D and may be utilized for storm water management as necessary. It shall be owned and maintained by the Subarea D Resident Association. However, if it is used for stormwater management, it shall be maintained by the Avondale Woods Master Resident Association. A minimum of 0.3 acres of additional open space will be provided in this subarea and shall be owned and maintained by the Subarea Resident Association. This open space is intended for passive recreation for the residents of Subarea D. It shall incorporate landscaping, benches and a path either through it or along the perimeter.
Materials	Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with examples of successful, high quality installations used with appropriate architectural detailing. Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used.



AVONDALE WOODS - SUBAREA D

Materials, Cont. Architectural Requirements	Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations. General: Details for outside amenities such as decks,
	 Details for outside amenities such as decks, patios, and/or fences shall be provided at Final Development Plan. The City of Dublin Residential Appearance Code shall not be applicable to units within this Subarea. All elevations shall be reviewed and approved at time of Final Development Plan by Planning Commission. The architectural theme shall have a Craftsman influence as reflected in the Examples of Architectural Design Elements: Exhibits A and B. Colors will be from a historic palette of a major paint manufacturer. Main doors and garage door colors will be varied with a single color per building. In order to carry the neighborhood theme through all Subareas, units fronting an internal private street or green space will have porches and a sidewalk extending from the front door to the driveway or private walk. Privacy between units may be accomplished with building elements and/or privacy fencing. Privacy fencing is not intended to entirely enclose a patio area but is intended for privacy between unit patios. Any patio, porch, deck and associated fencing shall not extend into any perimeter setback. Any fencing used shall be limited to 6' in height and shall be submitted for approval with the Final Development Plan.



Avondale Woods - Subarea D

Architectural Requirements, Cont.	 Garages and Parking: Garage doors shall be treated as decorative elements and shall have various carriage door styles Coach lights shall be required on the garage All units will have attached garages. The driveway shall be a minimum length of 19 feet exclusive of sidewalks. Additional off-street parking spaces for visitors with locations provided shall be shown on the Final Development Plan.
	 Roofs: Roof slopes to be min. 6/12 except porch roofs which may be less. Gable vents shall be addressed with architectural detail. Rakes and frieze boards will be used on roofs. Rakes shall be extended to min. 12" overhang on main gables with decorative bracketed supports.
	Windows:
	 Windows without shutters shall be wrapped with trim. Windows to be simulated divided light with grid patterns used on all four sides of the building. Shutters: Shutters shall be used judiciously but shall not be required on every window or on every elevation. Shutters shall be equal to the size of full window
Landscaping	and have shutter hardware. Existing healthy trees shall be maintained in the tree rows along the north and east property lines. A buffer consistent with the building setback on the north and east property lines shall be provided and contain screening at a minimum height of 6' at install and 75% opacity within 4 years of installation. Selective clearing by the developer may occur to remove dead, damaged or obnoxious tree species and understory. A landscaping plan including any proposed fencing shall



AVONDALE WOODS - SUBAREA D

	be submitted for approval with the Final Development
	Plan. Any fencing used shall be limited to 6' in height.
Miscellaneous Miscellaneous, Cont.	 Plan. Any fencing used shall be limited to 6' in height. Applicant will work with the City to provide a midblock, safe crossing of Scarlett Lane for pedestrians from Subarea D to Avondale Woods Boulevard at time of Final Development Plan. A roundabout is shown on the PDP as a possible solution for traffic calming along Scarlett Lane. The applicant will work with Engineering on the roundabout design details prior to submittal for a Final Development Plan. An access agreement with the adjacent owner of Parcel 010-279301 is in place for
	of Parcel 010-279301 is in place for emergency access. Design standards for this emergency access shall be subject to approval by the Washington Township Fire Department. This emergency access provision is only envisioned prior to connection of Scarlett Lane to Tuttle Crossing Boulevard.



Subarea E

Subarea E is comprised of approximately 11.3 acres of park area containing storm water management, woods, clubhouse, pool and pedestrian trails.

Permitted Uses Density	Storm water retention and recreation purposes for the benefit of Avondale Woods' residents, to include a community clubhouse, swimming pool, associated parking, pedestrian paths and other appropriate recreational uses. Max 15,000 sf for clubhouse structure No size is specified for swimming pool Accessory structures, if any, must comply with building setbacks
Building setback	20' all boundaries
Pavement setback	20' all boundaries*
	* except bike/pedestrian paths
Ownership	Avondale Woods Master Residents Association
Maintenance	The landscape, pavement and buildings will be maintained by the Avondale Woods Master Residents Association. The City of Dublin will maintain pond and utility infrastructure.
Architectural Requirements	 i) Craftsman influenced architecture ii) Large, bracketed overhangs iii) Metal roof accents on projecting elements as common tie to single family area iv) Colors will be from a historic palette of a major paint manufacturer and will be a subset of the palette permitting for the single family area. v) Roof pitches will be at least 6/12 on main roof. Porches and one story shed elements will be a minimum of 4/12 pitch. vi) Main entry facing the street will be required and shall have porch or stoop with walk from stoop connecting to public sidewalk and parking lot.
Materials	Permitted cladding materials will be brick, stone/synthetic stone, stucco/synthetic stucco, wood and
Materials, Cont.	fiber cement siding (eg Hardiplank). Other high quality materials may be approved in the Final Development Plan with examples of successful, high quality



AVONDALE WOODS - SUBAREA E

installations used with appropriate architectural detailing.
Secondary materials for trim and ornamentation include gypsum reinforced fiber cement trim, wood, vinyl, and decorative synthetic millwork for exterior applications. However, in no case may horizontal vinyl lap siding be used.
Permitted roofing materials include 30 year or better dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate and ceramic tile. "Engineered" wood or slate, as well as other high quality roofing materials, may be approved in the Final Development Plan with examples of successful, high quality installations.
Architectural style will be compatible with other Subareas.



AVONDALE WOODS - SUBAREAS F & G

Subarea F

Subarea F is comprised of approximately 29.5 acres of wooded preserve area generally referred to as Avondale Woods and is located at the northern end of the site, west of the north/south entrance road.

A 20 foot strip of land shall be provided as shown on the Preliminary Development Plan to include a pedestrian path to provide access to Avondale Woods. A delineation shall be provided along the edge of this 20 foot strip of land and the lots abutting either side in Subarea C. A delineation shall also be provided along the edge of lots 39-42, located in Subarea C, which abut the extension of Subarea F south to Scarlett Lane. The means of delineation including any fencing (limited to 6' in height) shall be submitted for approval with the Final Development Plan.

Transfer of this ground is anticipated to occur after approval of Final Development Plan.

Permitted uses	Recreational uses as determined by City of Dublin Parks
	Department policy
Building setbacks	50' from any boundary adjoining residential structures
Ownership	City of Dublin, Ohio
Maintenance	City of Dublin, Ohio

Subarea G

Subarea G is comprised of approximately 5.3 acres of wooded area generally referred to as the Triangle Woods and Lot 58. It is located southwest of the single family in Subarea C and adjacent to the railroad tracks. A delineation shall be provided along the edge of lots 58-67, located in Subarea C, which abut the extension of Subarea G north to Scarlett Lane. The means of delineation including any fencing (limited to 6' in height) shall be submitted for approval with the Final Development Plan.

Transfer of this ground is anticipated to occur after approval of Final Development Plan.

Permitted uses	Recreational uses as determined by City of Dublin Parks
	Department policy
Building setbacks	50' from any boundary adjoining residential structures
Pavement setbacks	25' from any boundary adjoining residential structures*
	* Except pedestrian/bike paths
Ownership	City of Dublin, Ohio
Maintenance	City of Dublin, Ohio

III. PROJECT PHASING

It is anticipated that Phase I of the project will begin with the multifamily in Subarea A commencing spring of 2017. Depending on market conditions, the developer anticipates Phase 2 would begin with the single family lots in Subarea C. This construction is anticipated to occur concurrently or immediately following Phase I, in early Summer of 2017 or sooner, and include the extension of Avondale Woods Boulevard, the central green road and the 8 single family lots surrounding the green. The developer anticipates developing the balance of the single family lots in 3 additional phases of 20-25 lots each. The multifamily in Subarea B is anticipated to be developed in 2 phases. The timing of these phases is unknown at this time due to secondary site access being required. Subarea D is anticipated to be the last phase of the development. However, Washington Township Fire Department has agreed to allow 126 units and clubhouse (Subareas A, C and E) to be built before a second access point would be required or an agreement is reached with terms acceptable to Washington Township's Fire Department and Dublin Traffic Engineering. The developer has an access agreement in place from Subarea D with the adjacent owner of Parcel 010-279301 for access to Avery Road.

The ultimate timing and number of lots/units developed per phase may be subject to change and will be determined at time of Final Development Plan.

The developer will pay for the installation of a traffic signal at Avondale Woods Boulevard and Avery Road at such time as permitted or required by the City of Columbus.

Subject (Single Family) Lot	Influenced Lot					
1	2, 3, 7, 8					
2	1, 3, 4, 6, 7, 8					
3	1, 2, 4, 5, 7, 8					
4	2, 3, 5, 6					
5	3, 4, 6, 7					
6	2, 3, 4, 5, 7, 8					
7	1, 2, 5, 6, 8					
8	1, 2, 6, 7					
9	10, 11, 17, 18, 19					
10	9, 11, 12, 16, 17, 18					
11	9, 10, 12, 13, 15, 16, 17					
12	10, 11, 13, 14, 15, 16					
13	11, 12, 14, 15					
14	12, 13, 15, 16					
15	11, 12, 13, 14, 16, 17					
16	10, 11, 12, 14, 15, 17, 18					
17	9, 10, 11, 15, 16, 18, 19					
18	9, 10, 16, 17, 19, 20					
19	9, 17, 18, 20, 21					
20	18, 19, 21, 22					
21	19, 20, 22					
22	20, 21, 23					
23	22, 24					
24	23					

SECTION III FDP Exhibits

Context and Landscape Documents

Master Subarea and Reserve Plan

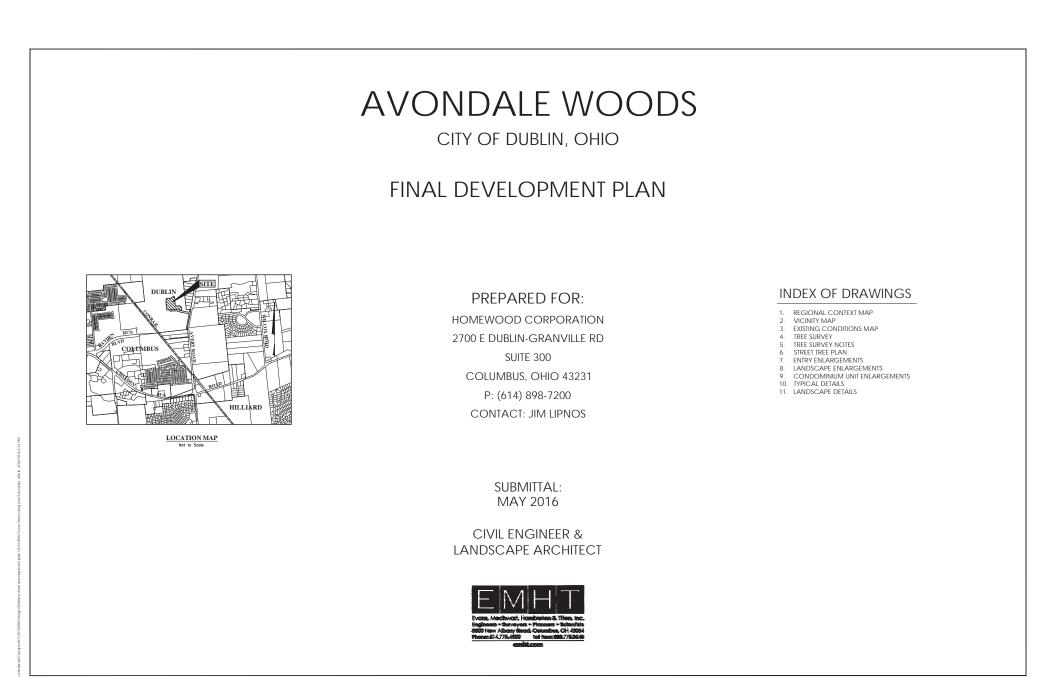
Subarea A: Private Site Improvement Plan

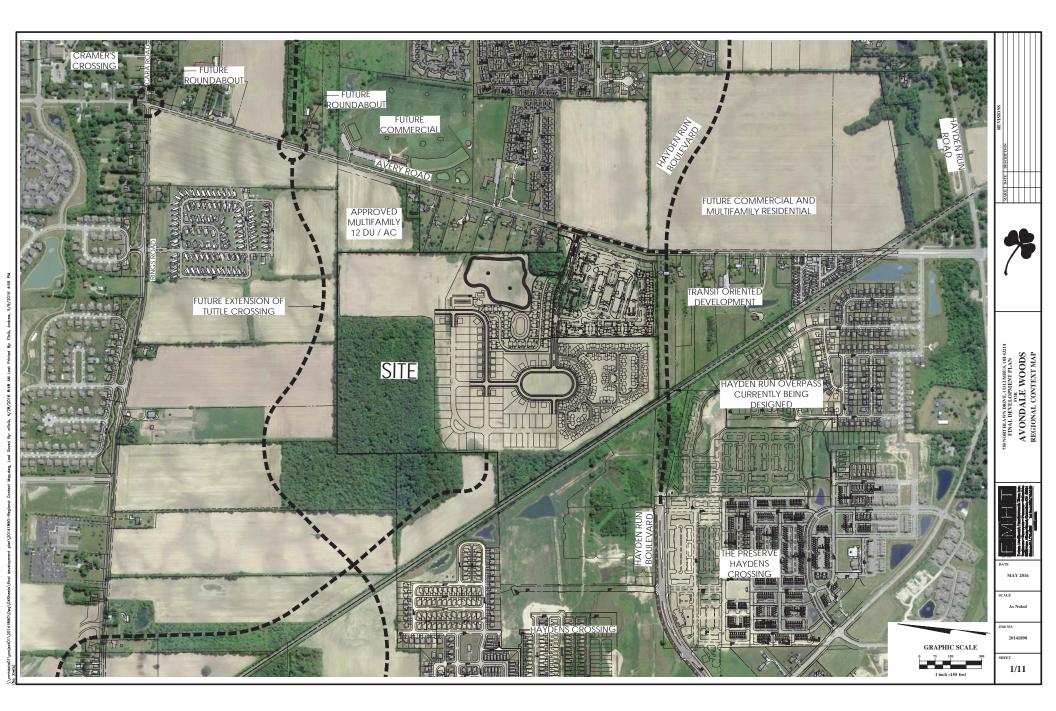
 Subarea C- Phase 1: Public Street, Storm and Water Improvements

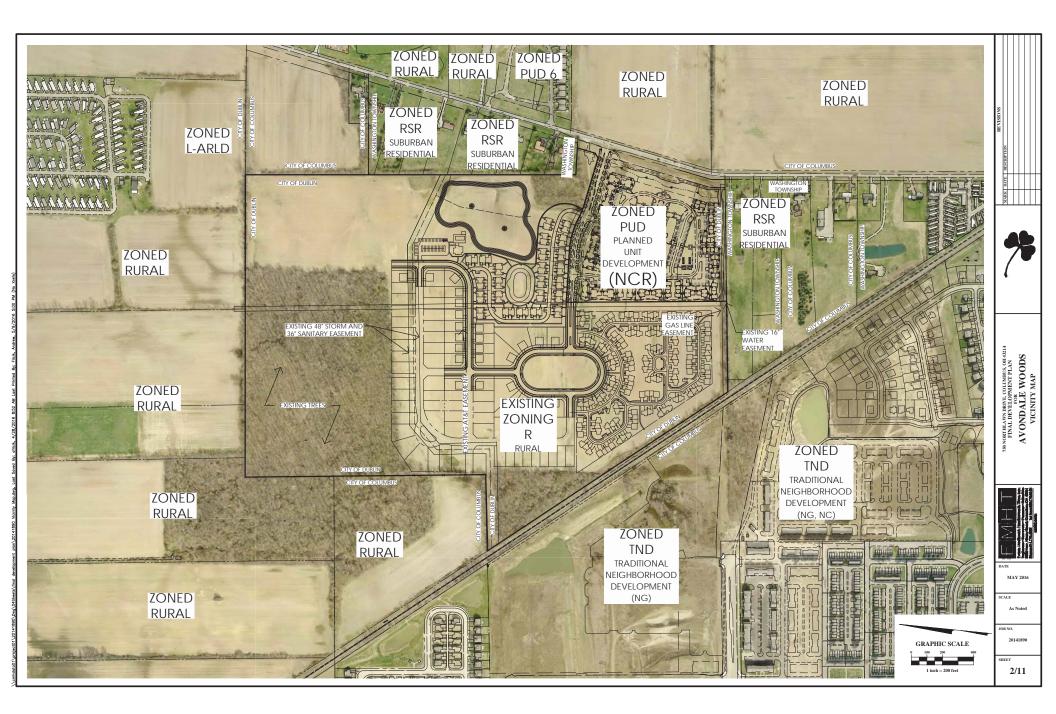
Subarea C- Phase 1: Public Sanitary

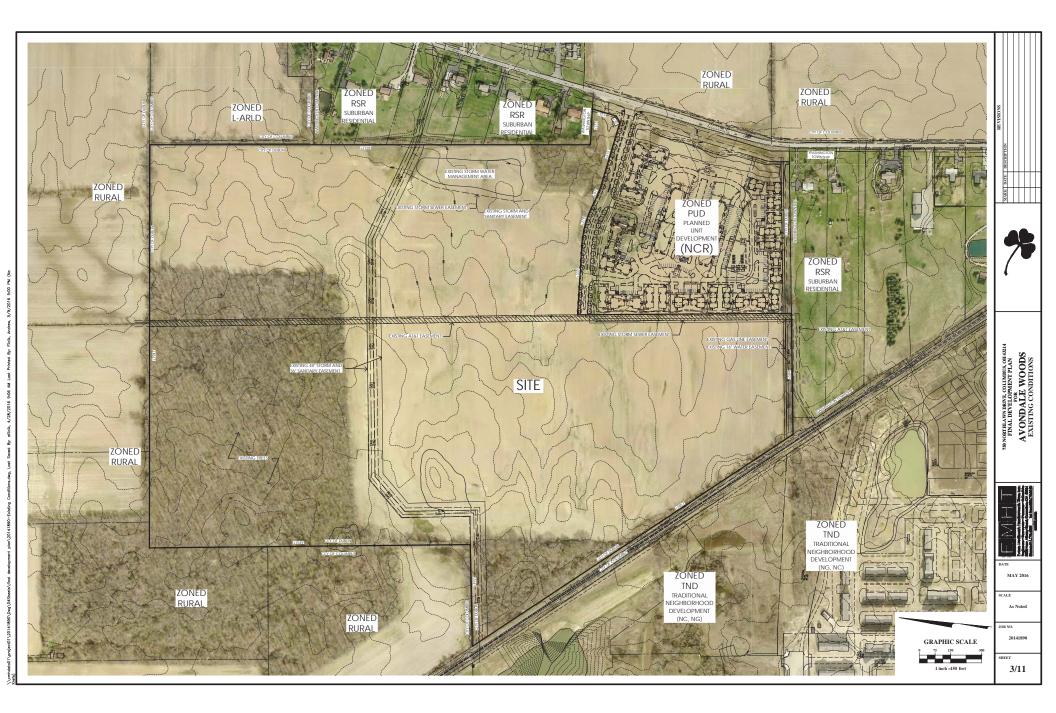
Sewer Improvements

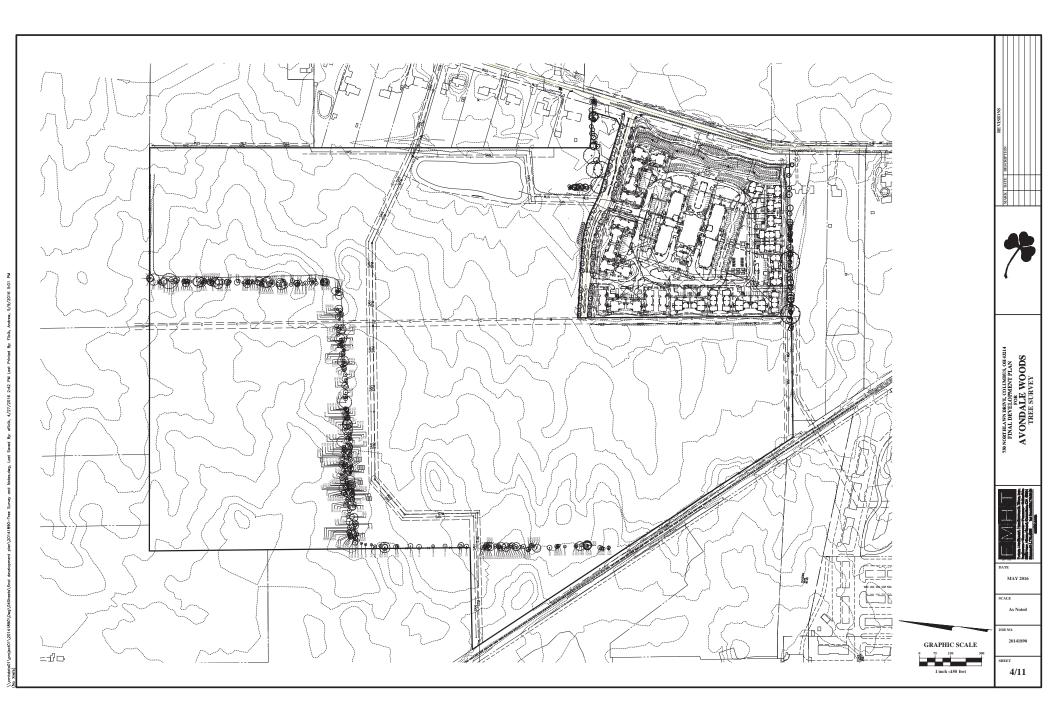
Final Plats



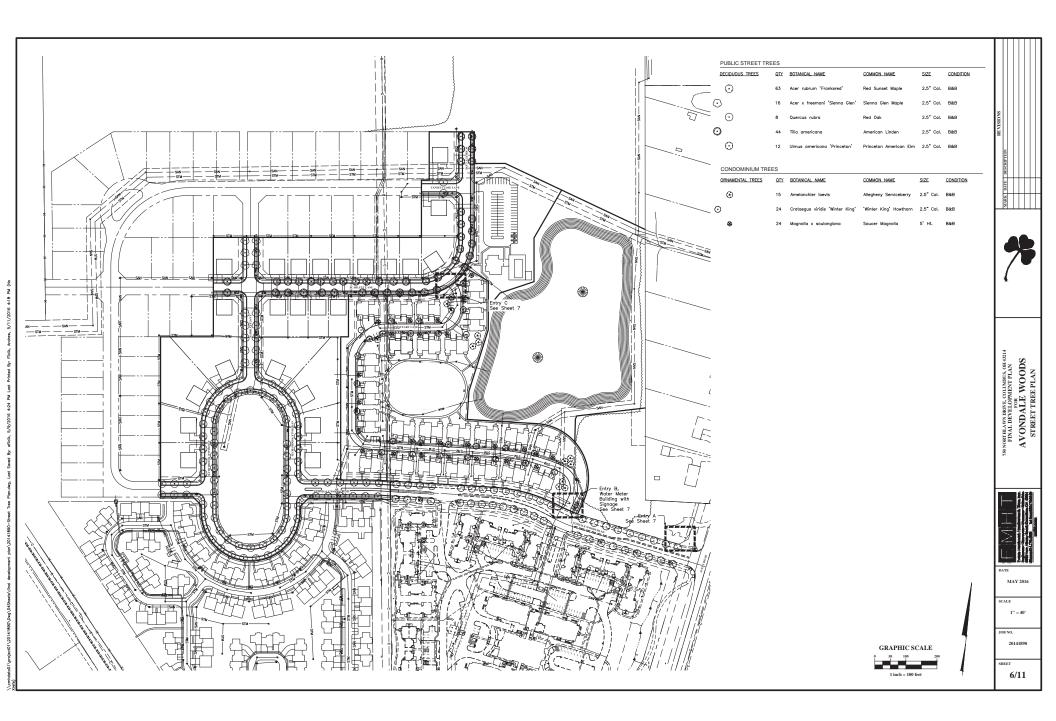


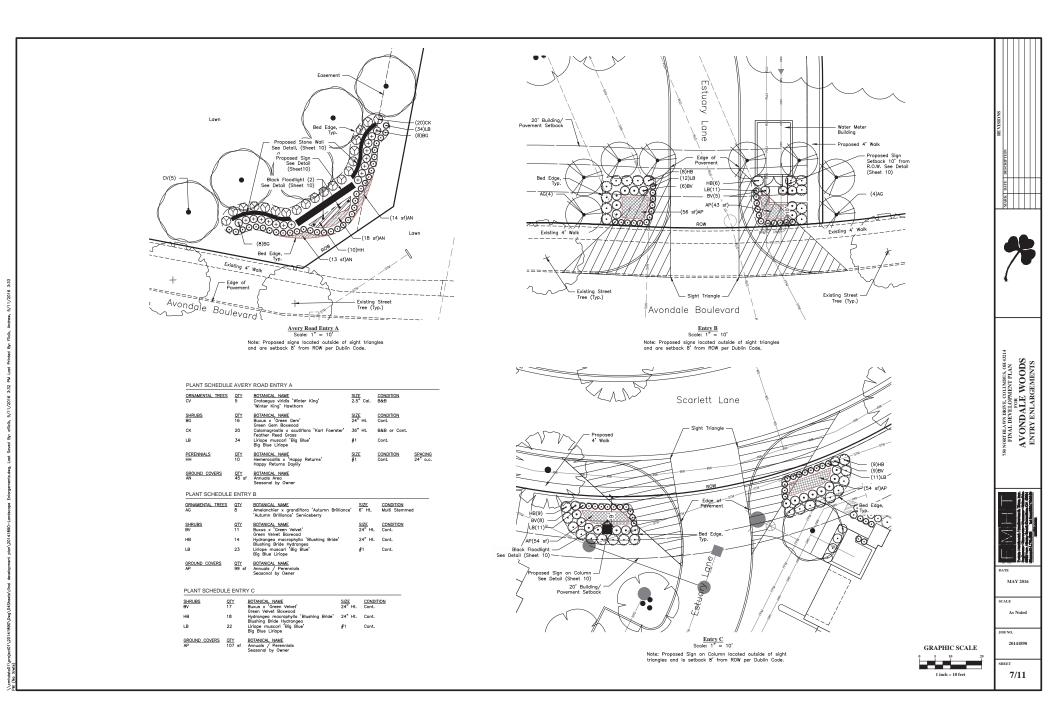


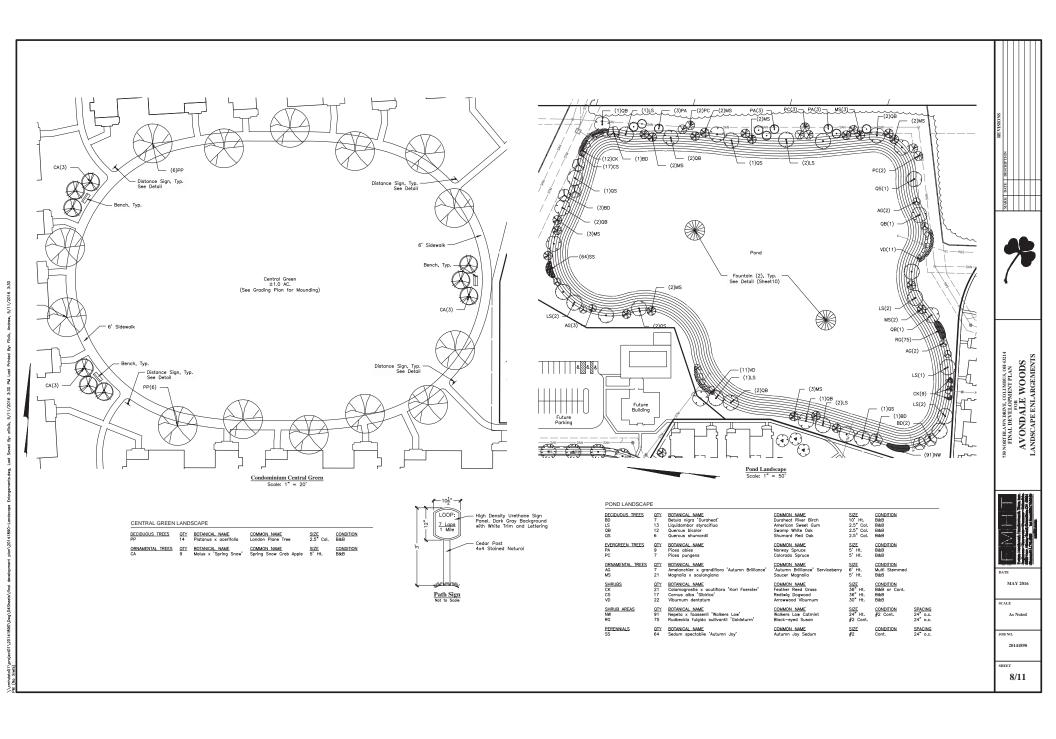


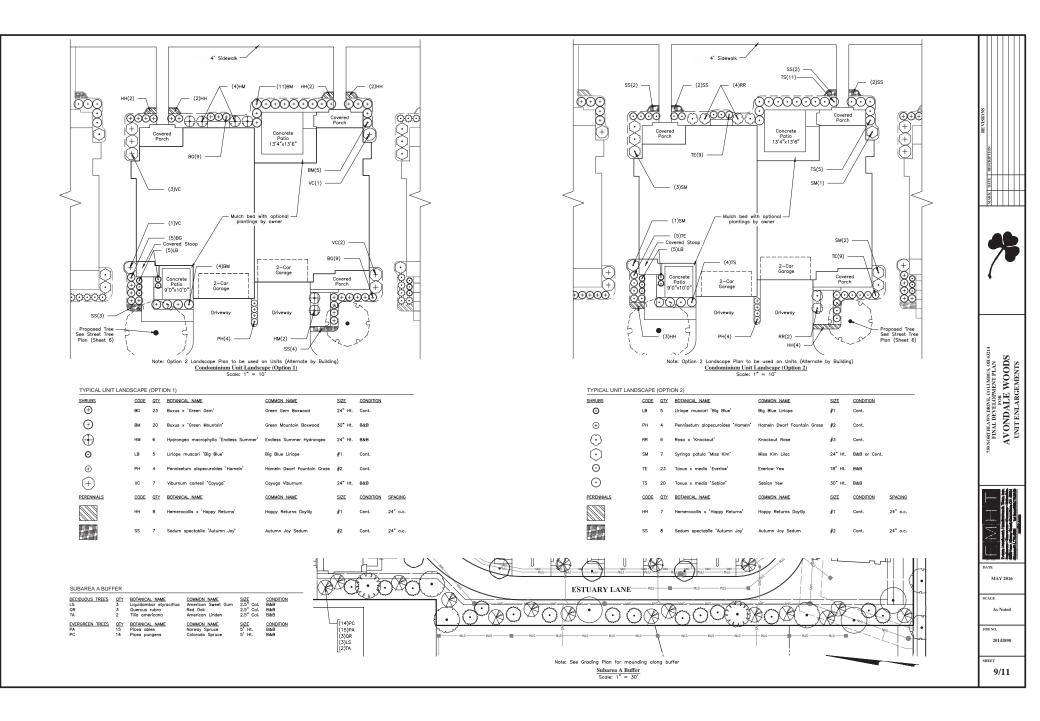


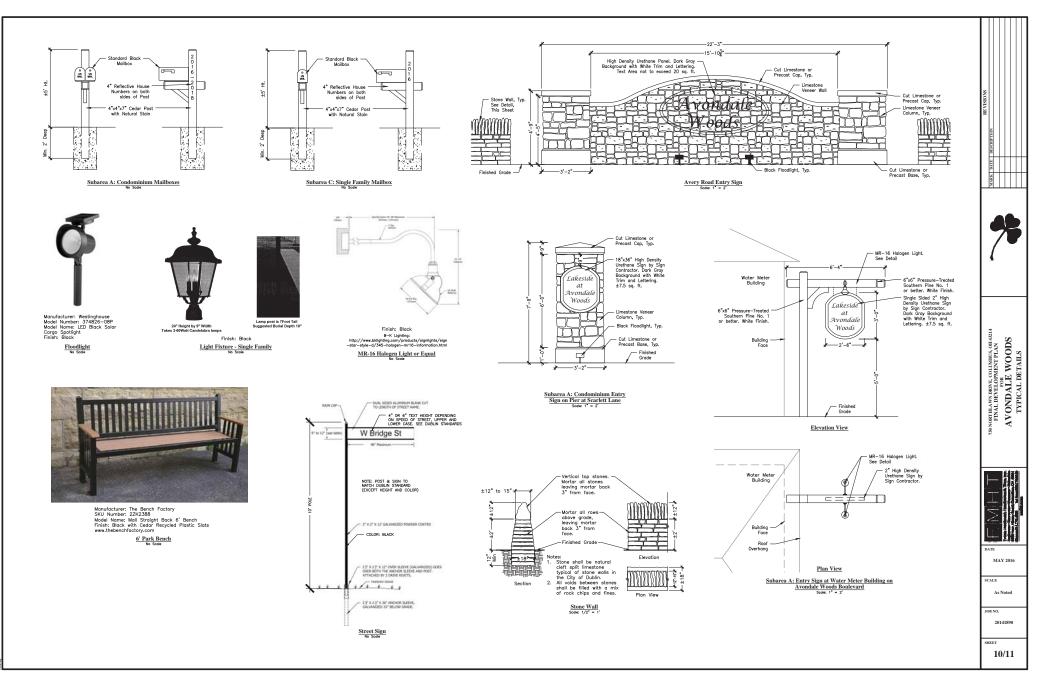
		Tr	ee Survey		97	18	black walnut	Juglans nigra	good	196	10 black walnut	Juglans nigra	fair	295 1	black walnut Juglans nigra	good	
and Proj	ject #: Avonda		Date: 05/23/2012	Observer: Sarah Adams	98	12	osage-orange	Maclura pomifera	fair	197	13 black walnut	Juglans nigra	good	296 1	white ash Fraxinus americana	poor	
	DBH (inches)	Common Name	Latin Name	Health (Good, Fair, Poor, Dead)	99	19	black walnut	Juglans nigra	good	198	7 boxelder	Acer negundo	fair	297 1	silver maple Acer saccharinum	poor	_
1	16.5	white ash	Fraxinus americana	fair	100	6	American elm	Ulmus americana	fair	199	14 black walnut	Juglans nigra	good	298 10	white ash Fraxinus americana	fair	
2	18	white ash	Fraxinus americana	fair	101		hackberry	Celtis occidentalis	good	200	10 boxelder	Acer negundo	poor	299 1	shagbark hickory Carya ovata	good	
	12	white ash	Fraxinus americana	dead	102		black walnut	Juglans nigra	good	201	7 shagbark hickory	Carya ovata	good	300 9		fair	
	28	silver maple	Acer saccharinum	good	103		osage-orange	Maclura pomifera	fair	202	11 black walnut	Juglans nigra	good	301 1		good	
		shagbark hickory	Carva ovata	good	104	6	hackberry	Celtis occidentalis	good	203	12.5 black walnut	Juglans nigra	good	302 9	hackberry Celtis occidentalis	good	
-	9	silver maple	Acer saccharinum	good	105		osage-orange	Maclura pomifera	good	204	6 American elm	Ulmus americana	good	303 1/	white ash Fraxinus americana	fair	
					106			Juglans nigra	good	205	11 black walnut	Juglans nigra	good	304 8		fair	
-+	18	white ash American elm	Fraxinus americana	dead	100		hackberry	Celtis occidentalis	good	206	10 black walnut	Juglans nigra	good	305 6		good	
	16.5		Ulmus americana	good	108		black walnut	Juglans nigra	good	207	11 black walnut	Juglans nigra	poor	306 6		good	2
	6	pin oak	Quercus palustris	good	103		hawthorn species	Crataegous spp.	fair	209			good			good	- 8
	38	silver maple	Acer saccharinum	good			boxelder					Acer negundo					- 2
	11	pin oak	Quercus palustris	good	110			Acer negundo	good	209		Juglans nigra	good	308 8.	white ash Fraxinus americana	poor	- 2
2	11	shagbark hickory	Carya ovata	good	111	15	black walnut	Juglans nigra	good	210	10 American elm	Ulmus americana	tair	309 8		poor	
	14	boxelder	Acer negundo	good	112		American elm	Ulmus americana	fair	211	10 black walnut	Juglans nigra	poor	310 1		dead	
	13	white ash	Fraxinus americana	dead	113	12	black walnut	Juglans nigra	good	212	12 black walnut	Juglans nigra	good	311 1		good	z
	10.5	white ash	Fraxinus americana	dead	114	6	red oak	Quercus rubra	good	213	16 black walnut	Juglans nigra	good	312 2		good	Ĕ
	9	white ash	Fraxinus americana	poor	115	10	black walnut	Juglans nigra	good	214	7 American basswood	d Tilia americana	good	313 1		good	2
	6	shagbark hickory	Carva ovata	good	116	11	hawthorn species	Crataegous spp.	fair	215	10 black walnut	Juglans nigra	good	314 9	white mulberry Morus alba	good	SC
		shagbark hickory	Carva ovata	good	117	8	hackberry	Celtis occidentalis	fair	216	12 osage-orange	Maclura pomifera	good	315 1	white ash Fraxinus americana	poor	Ĕ
		white ash	Fraxinus americana	good	118	22	black walnut	Juglans nigra	good	217	14 black walnut	Jualans nigra	good	316 7	American elm Ulmus americana	good	ω.
	12	shagbark hickory			119		boxelder	Acer negundo	good	218	12 shagbark hickory	Carya ovata	good	317 10	American elm Ulmus americana	fair	IVG
	11		Carya ovata	good	120		hackberry	Celtis occidentalis	good	219	9 black walnut	Juglans nigra	good	318 1		good	
	8	white ash	Fraxinus americana	fair	120		hackberry	Celtis occidentalis	good	219	7.5 American elm	Ulmus americana	good	319 1		fair	- X
	8	white ash	Fraxinus americana	good			black walnut	Juglans nigra	good	220	10 boxelder	Acer negundo	good	319 1:		poor	
	20	American elm	Ulmus americana	good	122		hackberry	Celtis occidentalis			1 11	Celtis occidentalis		320 1		good	
	26	red oak	Quercus rubra	good	123	10			good	222			good fair	321 1	American elm Ulmus americana		
	22	white ash	Fraxinus americana	fair	124	6.5	hawthorn species	Crataegous spp.		223	11 black walnut	Juglans nigra		322 7		good	-11
	10	shagbark hickory	Carya ovata	good	125		black cherry	Prunus serotina	fair	224	9.5 white ash	Fraxinus americana	fair	323 9		good	
	7	shagbark hickory	Carya ovata	good	126		black walnut	Juglans nigra	good	225	10 white ash	Fraxinus americana	fair	324 9	white ash Fraxinus americana	poor	
	6	silver maple	Acer saccharinum	good	127	7	hackberry	Celtis occidentalis	good	226	6 American elm	Ulmus americana	good	325 1		good	-11 4
		white ash	Fraxinus americana	poor	128	12	hackberry	Celtis occidentalis	good	227	6 American elm	Ulmus americana	fair	326 21		fair	
	10	white ash	Fraxinus americana	fair	129		hackberry	Celtis occidentalis	good	228	8 shellbark hickory	Carya laciniosa	good	327 10	white ash Fraxinus americana	poor	
_	11	black walnut	Juglans nigra	good	130		black cherry	Prunus serotina	dead	229	8 black walnut	Juglans nigra	good	328 7	American elm Ulmus americana	fair	
-	11	white ash	Fraxinus americana	good poor	131		black cherry	Prunus serotina	poor	230	6 shellbark hickory	Carya laciniosa	good	329 10		good	
					132		black cherry	Prunus serotina	poor	231	8 hawthom species	Crataegous spp.	fair	330 21		fair	717
	8	shagbark hickory	Carya ovata	good	132		American elm	Ulmus americana	good	232	8 white ash	Fraxinus americana	fair	331 9	hackberry Celtis occidentalis	good	
	16	white ash	Fraxinus americana	dead	133		white ash	Fraxinus americana	dead	232	6 American elm	Ulmus americana	fair	332 1		poor	- I T
	8	white ash	Fraxinus americana	dead	134		boxelder	Acer negundo	good	233	7 white ash	Fraxinus americana	fair	333 10		fair	
	21	white ash	Fraxinus americana	poor			white ash	Fraxinus americana	goou fair			Juglans nigra		333 10	hawthorn species Crataegous spp.	good	
	12	silver maple	Acer saccharinum	fair	136	9				235			good			fair	- 1
	19	silver maple	Acer saccharinum	good	137		hackberry	Celtis occidentalis	good	236	7 hawthorn species 10 black walnut	Crataegous spp.	good	335 2			- 1
	23	silver maple	Acer saccharinum	good	138	27	black walnut	Juglans nigra Ulmus americana	good	237		Juglans nigra	good	336 8		poor	- 1
	13	shagbark hickory	Carya ovata	good	139	8	American elm		good	238	24 black walnut	Juglans nigra	good	337 10	,	good	
	16	shagbark hickory	Carya ovata	good	140		hackberry	Celtis occidentalis	good	239	6 hawthorn species	Crataegous spp.	fair	338 2		fair	
		shagbark hickory	Carva ovata	good	141		white ash	Fraxinus americana	dead	240	10 black walnut	Juglans nigra	good	339 6		good	_
	6.5	shagbark hickory	Carva ovata	good	142		white ash	Fraxinus americana	poor	241	14 white ash	Fraxinus americana	good	340 7	white ash Fraxinus americana	fair	
-	10		Carya ovata	good	143	12	black walnut	Juglans nigra	good	242	11 black walnut	Juglans nigra	good	341 10		fair	
-		shagbark hickory		good	144	7	white ash	Fraxinus americana	fair	243	7.5 black walnut	Juglans nigra	good	342 1		fair	- I -
	6	American elm	Ulmus americana	good	145		white ash	Fraxinus americana	fair	243	9.5 American elm	Ulmus americana	good	343 1		good	12
	14	shagbark hickory	Carya ovata	good	145		black walnut	Juglans nigra	good	244	7 boxelder	Acer negundo	good	344 21		fair	-1
	9	black cherry	Prunus serotina	fair	146			Fraxinus americana	yuuu foir	245		Fraxinus americana	good	344 20	American elm Ulmus americana	good	- Ez
	6	hawthorn species	Crataegous spp.	good					idif fe''								- _∞ ≤
	6.5	hawthorn species	Crataegous spp.	fair	148		white ash	Fraxinus americana	fair	247	11 American elm	Ulmus americana	good	346 1		good	COLUMBUS, OH
	21	red oak	Quercus rubra	good	149	15	American elm	Ulmus americana	poor	248	6.5 American elm	Ulmus americana	good	347 1		fair	_ 2t
-	7	red oak	Quercus rubra	good	150	12	boxelder	Acer negundo	good	249	17 white ash	Fraxinus americana	fair	348 1	white ash Fraxinus americana	fair	二 首節
-	9	black cherry	Prunus serotina	dead	151	12	shagbark hickory	Carya ovata	good	250	6.5 black walnut	Juglans nigra	good	349 1		fair	82
	11	shagbark hickory	Carya ovata	good	152	11	black cherry	Prunus serotina	poor	251	7.5 black walnut	Juglans nigra	good	350 10		fair	¥8
-			Carya ovata		153	6	boxelder	Acer negundo	good	252	6.5 shellbark hickory	Carya laciniosa	good	351 9	American elm Ulmus americana	good	66
	10.5	shagbark hickory white ash	Eraxinus americana	good	154		black walnut	Juglans nigra	good	253	8 black walnut	Juglans nigra	good	352 10	American elm Ulmus americana	good	1 85
_				poor	155		white ash	Fraxinus americana	fair	254	14 black walnut	Juglans nigra	good	353 13	white ash Fraxinus americana	poor	
	6	crabapple species	Malus spp.	good	155		black walnut	Juglans nigra	bag	255	10 hawthorn species	Crataegous spp.	fair	354 21		poor	
	6	hawthorn species	Crataegous spp.	fair	150		black walnut	Juglans nigra	good	255	8 hawthorn species	Crataegous spp.	fair	355 1		poor	FINAL
	12	white ash	Fraxinus americana	poor			black walnut			256			dead	356 1		good	⊣l ⊊∄
	6	crabapple species	Malus spp.	good	158		black walnut	Juglans nigra	good fair			Fraxinus americana					- <u>°</u> "
	21	shagbark hickory	Carya ovata	good	159		American elm	Ulmus americana		258	13 white ash	Fraxinus americana	dead			good	
	7	white ash	Fraxinus americana	fair	160		white ash	Fraxinus americana	poor	259	12 American elm	Ulmus americana	good	358 7	hawthorn species Crataegous spp.	good	130
	9	American elm	Ulmus americana	good	161			Fraxinus americana	poor	260	12 black walnut	Juglans nigra	good	359 6.		good	- 1
	7	black cherry	Prunus serotina	good	162	13	black walnut	Juglans nigra	good	261	12 black walnut	Juglans nigra	good	360 7	hawthorn species Crataegous spp.	good	_
	11	white ash	Fraxinus americana	fair	163	8	white ash	Fraxinus americana	fair	262	6 hawthorn species	Crataegous spp.	fair	361 6		good	
	6	boxelder	Acer negundo	fair	164	10	white ash	Fraxinus americana	fair	263	11 black walnut	Juglans nigra	good	362 10		fair	
+	25	shagbark hickory	Carva ovata	good	165	7	hawthorn species	Crataegous spp.	fair	264	13 black walnut	Juglans nigra	good	363 23	white ash Fraxinus americana	fair	
+		white ash	Eraxinus americana	poor	166	6	hackberry	Celtis occidentalis	good	265	9 shellbark hickory	Carya laciniosa	good	364 8		good	
	26	shagbark hickory	Carya ovata	good	167			Juglans nigra	good	266	6 hackberry	Celtis occidentalis	good	365 2		good	
	6	snagbark nickory black walnut	Juglans nigra	good	168		hackberry	Celtis occidentalis	good	267	11 black walnut	Juglans nigra	fair	366 2	American basswood Tilia americana	good	
-+	17			good	169		black walnut	Juglans nigra	good	268	11 osage-orange	Maclura pomifera	good	367 21		good	
_	6	shagbark hickory	Carya ovata	good	170			Fraxinus americana	dead	269	10 black walnut	Juglans nigra	good	368 20		good	
	10	hawthorn species	Crataegous spp.	good	170			Fraxinus americana	dead	203	7 hawthorn species	Crataegous spp.	good	369 1		good	
	21	white ash	Fraxinus americana	dead	171		hackberry	Celtis occidentalis	good	270	15 osage-orange	Maciura pomifera	good	370 8	American basswood Tilia americana	good	
_	24	silver maple	Acer saccharinum	good	172		American elm	Ulmus americana	good	271	22 black walnut	Juglans nigra	good	371 1	white ash Fraxinus americana	fair	
	7	black cherry	Prunus serotina	fair	173			Fraxinus americana	dead	272	8 black walnut	Juglans nigra	good	372 10	black cherry Prunus serotina	fair	
	9	black cherry	Prunus serotina	poor	174	25.5	boxelder	Acer negundo	good	273	14 black walnut	Juglans nigra	good	373 8	hawthorn species Crataegous spp.	dead	
	17	red oak	Quercus rubra	good			boxelder							373 8		good	
	6.5	American elm	Ulmus americana	fair	176	7	boxelder	Acer negundo	good	275	7 hackberry	Celtis occidentalis	good				
	9	crabapple species	Malus spp.	poor	177	10		Acer negundo		276	17 shagbark hickory	Carya ovata	good			good	- 10.000
	10	black walnut	Juglans nigra	good	178	9	boxelder	Acer negundo	fair	277	10 osage-orange	Maclura pomifera	poor	376 8	boxelder Acer negundo	good	DATE
	12	osage-orange	Maclura pomifera	good	179		hackberry	Celtis occidentalis	good	278	8 hawthom species	Crataegous spp.	poor				
-	14	white ash	Fraxinus americana	poor	180			Celtis occidentalis	good	279	8 American elm	Ulmus americana	fair				м
-	8	black cherry	Prunus serotina	fair	181		boxelder	Acer negundo	fair	280	12 white ash	Fraxinus americana	dead				
_	12	white ash	Fraxinus americana	DOOF	182	7.5		Acer negundo	fair	281	20 shellbark hickory	Carya laciniosa	good				
-	12	hawthorn species	Crataegous spp.		183	7.5	boxelder	Acer negundo	fair	282	6 American elm	Ulmus americana	good				SCALE
				good	184		boxelder	Acer negundo	fair	283	17 white ash	Fraxinus americana	fair				
-	9	black cherry	Prunus serotina	fair	185		osage-orange	Maclura pomifera	good	284	14 black walnut	Juglans nigra	good				
	10	hawthorn species	Crataegous spp.	good	185		white ash	Fraxinus americana	poor	285	10 black walnut	Juglans nigra	good				
	10.5	black cherry	Prunus serotina	fair			hawthorn species	Crataegous spp.			9 hackberry	Celtis occidentalis					
	9	black cherry	Prunus serotina	poor	187	9			good	286			good				JOB NO
	6	black walnut	Juglans nigra	good	188	10	shagbark hickory	Carya ovata	good	287	24 black walnut	Juglans nigra	good				303 10
		white mulberry	Morus alba	fair	189	17	boxelder	Acer negundo	poor	288	7 American elm	Ulmus americana	fair				2
	12		Prunus serotina	poor	190	11	shagbark hickory	Carya ovata	good	289	8 American elm	Ulmus americana	good				1 1
	12	black cherry		fair	191	9	osage-orange	Maclura pomifera	fair	290	11 white ash	Fraxinus americana	fair				
	12 7 9	black cherry black cherry	Prunus serotina														
	7	black cherry	Prunus serotina Celtis occidentalis		192	6	shagbark hickory	Carya ovata	good	291	13 white ash	Fraxinus americana	fair				
	12 7 9 8	black cherry black cherry hackberry American elm		poor	193	6	black walnut	Juglans nigra	good	292	6.5 white ash	Fraxinus americana	fair				SHEET
	7	black cherry hackberry	Celtis occidentalis			6	black walnut										SHEET



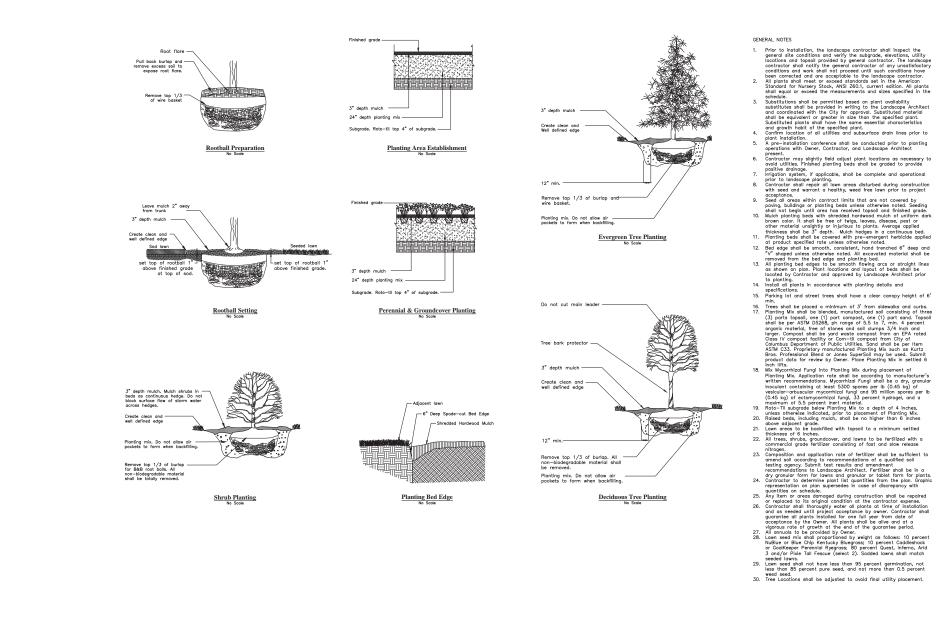








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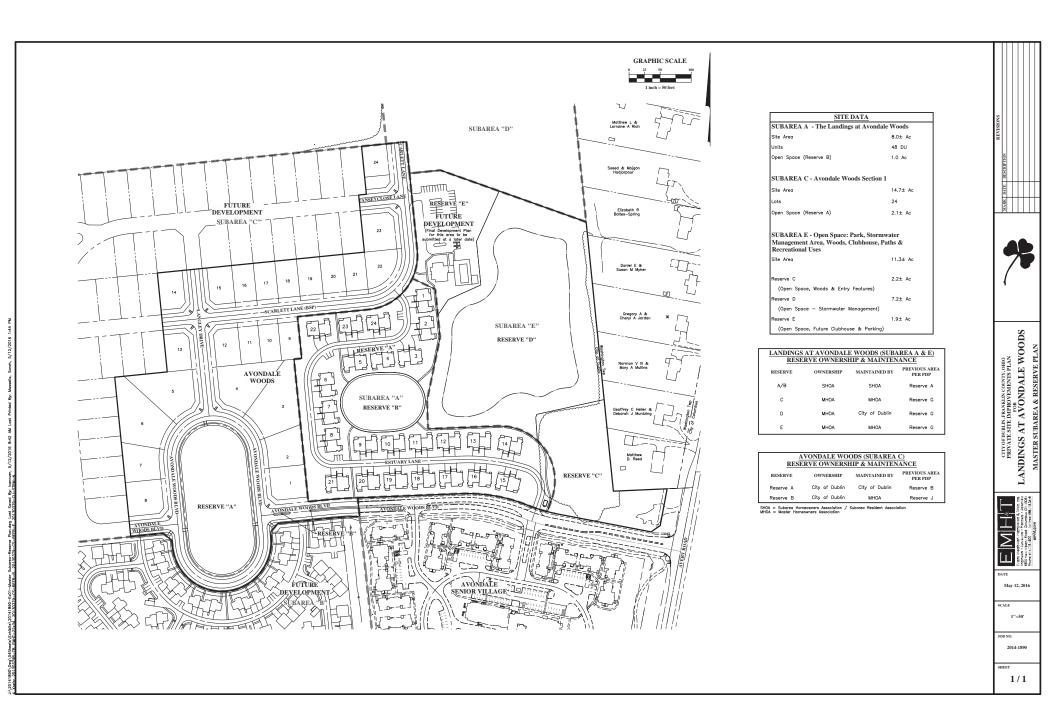
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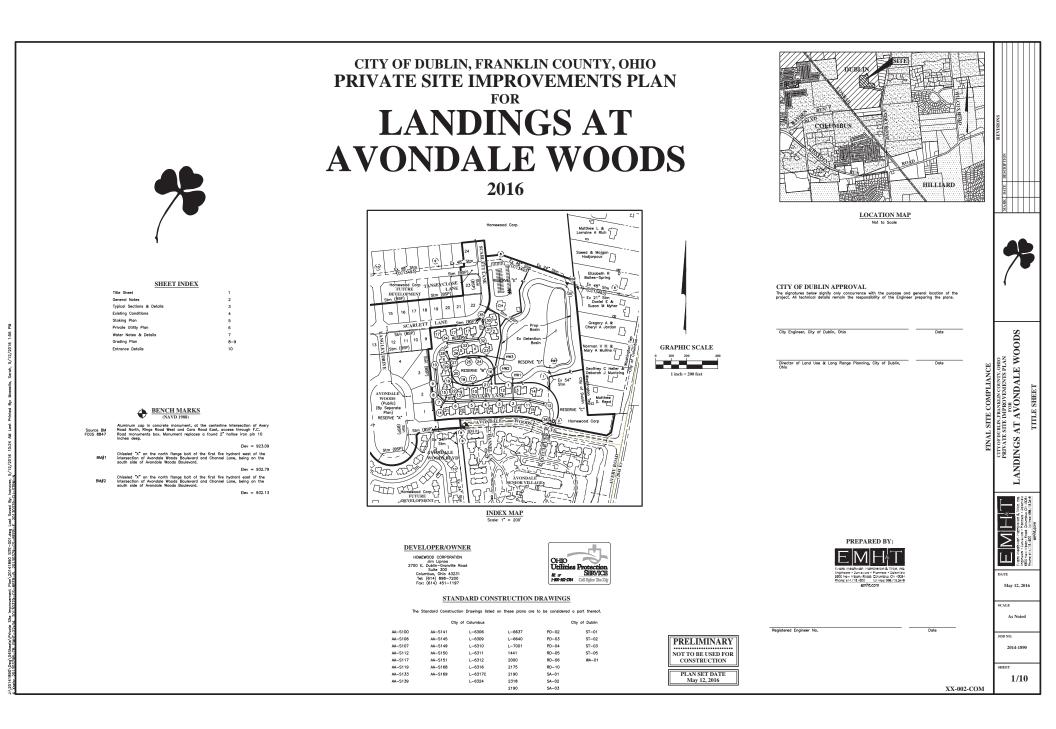
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20141890

789 NORTHLAWN DRIVE, COLUMBERS OH 42314 FINAL DEVELOPMENT PLAN AV OND ALLE WOODS LANDSCAPE NOTES AND DETAILS

> TE MAY 2016





CENNERAL NOTES
 City of Columba and Nois Department of Transportation Construction and Material Sectionations, current editions, and any tapplements therefor Dewarding referred to a Standard specifications, current editions, and any tapplements therefore Dewarding referred to a Standard Dewarding of Columba there are starting to a standard to the columba tapped on a social of the Columba tapped on tapped on the Columba tapped on ta

12. Disposal of excess excernion within Special Road Hozdr Areas (100-year Road)ah) is not 31. All and the interpolation of the appropriate set With right-of-the-ye disturbed or dromoped during contruction shall be the responsibility of the Contraction of the any stable be the responsibility of the Contraction of the any stable be the responsibility of the Contraction the responsibility of the Contraction. The Interpolate of the any stable response of the approximation to response the approximation of the Contraction of the Contraction the responsibility of the Contraction. The Interpolation of the Contraction concretel protocts will be atomped or hore such identification noting that Insection shall concrete protocts will be atomped or hore such identification noting that Insection shall the Contraction of the Contraction. The Road contraction drawing and a late of proposed protocts of the Stable Stable Stable Stable Contraction and granular backfill according to lism 102 of the Stabled Specifications or Fixedeb CST, Type III eccentral to the protoct back shall be the Stabled Specifications of Insection Insection Insection formation of the Insection and Insection contraction drawing and a late of proposed precisit contraction product product the Up of Columbus Long of the proposed precisit contraction product product the Up of Columbus Long on the Insection Ins

Send the information to the following address

Construction Inspection Division City of Columbus 1800 East 17th Avenue Columbus, Ohio 43219

Send a copy of the transmittal letter to the following address:

Division of Engineering City of Dublin 5800 Shier Rings Road Dublin, Ohio 43016

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900 Silver Rings Rood Duals, Otio 45316
18.4.1 Increase within public right-tort-way shall be bookfilled according to the approval construction in the state within public right-tort-way shall be bookfilled according to the approval construction to the state within public right-tort-way shall be bookfilled according to the approval construction to the state within public right-tort-way shall be bookfilled according to the approval according to the state within public right-tort-way shall be bookfilled according to the approval according to the state with rights of the state within the state critical root zone or 15 Her, within we is granted construction desires, Trees to be preserved that and the approximation of the approximation of the state approximation the state approximation of the critical root zone or 15 Her, within we is granted. The not indicated on the approximation of the state critical root zone or 15 Her, which we is granted. The not indicated on the approximation of the critical root zone or 15 Her, which we is granted. The not indicated on the approximation of the critical root zone or 15 Her approximation of the state of point of the state of the tort tort by Dipater. Use of point construction devices is not pointise. Here, approximate the state is approximate, the state of the state approximation of the state of the sta

provided according to the approved construction drawing and City of Dublin standard SJ. There throming within the construction prave to be accordinated by a certificer Arbotist. At the SJ. There throming within the construction prave to be according to a certificate Arbotist. At the SJ. There throming within the construction prave prave written approval by the City Explorer, City of Dublin, monitoria. SJ. For throming the Dubling within the certificate and the certificate structure and the first-praved and seeded with the following multitures improved Retrieves Margines (SJ and SH and City and SH and SH

specifications. 28. Street signs shall meet all City of Dublin specifications with lettering colored in white displayed over a brown background. Sign tubing shall be brown in color and conform with the Type S, square post anchor base installation requirements of CODO TC =<12.0.

Supportion.) equal as approved by the City Engineer. Rubber galant, compression.) Dans Seal illia annualetaries by Dans Tech, Inc.) Unit-Seal as manufactured by Thur Tech, Inc. b) caugi as approved by the City Engineer. The cost for this work galance with a new charentized base for the manhole shall be included the unit big price for her discle times of work.

In the unit bid pice for the reliefed lisms of event. WITTER LINE I. All water fram materials also provided and intraited according to current specifications of the Up of Coumbo Libbion of Mittal. The second second

3. If the Chylicheer determines that the Contractor is not providing proper provident for traffic to the Chy.
5. State of the Chylicheer determines that the contractor is not provided proper provident of the contract to the Chy.
5. State of the Chylicheer determines that the required on all benricodes, during and similar traffic to the Chylicheer determines that the state of the Chylicheer determines the contract the Chylicheer determines that the Chylicheer determines that the Chylicheer determines that the contract the Children determines that the Chylicheer determines the contract the Chylicheer determines determines the contract the contract the contract the co

ERUSION AND SELIMENT CUNI ROLL. 1. The Context of Note EXA. The Volume 1 to according a foldore of start (200) to be reviewed to the Section and may entile coverage under the Note That (500 K dd according the Section of the start of the construction and may entile coverage under the Note That Coverage and the Section of the start of the construction and may entile coverage under the Note That Coverage and the Section of the start of the construction and may entile coverage under the Note That Coverage and the Section of the Section of

1. The Contractor must ablain a blasting permit from Washington Towenship Fire Department prior to blasting for rock escondion. The Contractor shall submit blasting reports upon completion of blasting to the City Engineer, the Owner, and the Owner's engineer. Top of rock elevations shall be shown on "as-built" construction drawings.

shorn for 'sar-built' contruction drawings. SANTTAK' SEVERSI I. Consections to the scalar years and the permitted upon receiving on CEPA Permit to Install (T), dod upon receiving a satisfactory later from the design registern states that the project base of the states of the scalar states and the states of the states of the states in responsible for dollaring of required disk. D'A approvals and popular review fees. Instandards and specifications of the LOPA (Disk permitted Heat) and the current edition of the Oreal Lates-Uper Mainlands Field Bondmark T | Schward of Heath and the current edition of the Oreal Lates-Uper Mainlands Field Bondmark T | Schward of Heath and the current edition of the Oreal Lates-Uper Mainlands Field Bondmark T | Schward of Heath and the current edition of the Oreal Lates-Uper Mainlands Field Bondmark T | Schward of Heath and the current edition of the Oreal Lates-Uper Mainlands of the donates T | Schward of Heath and heath and the state of the Coreal Lates-Uper Mainland and the oreal state and the pro-imation dometer house section free shaft to PCC (per ACIM 2005). SDH 35, PCC pies shaft and the used of degrad product final State (P) per motivate or product and the proved construction to the oreal performance for schward perform the state period constructions and the base before deprecision of the Oreal Data Schward and product the the theory of the oreal schward and the state intermediate of the oreal base schward and period the theory and the schward and the table of the oreal period through a schward period the theory and the period the schward and the period theory and the schward and the period theory and the period through a schward and the period theory and the period theory and the period theory and the period through a schward and the period theory and the period theory and the period through a schward and the period theory and theory and theory and the period theory and theory and the

minificate concrete jobe STM C78 with Case designation specified in the approve construction of the specific operation of the concrete specific operation of larger, shall be either Kor-N-Tee or Kor-N-Sec connections conforming to the manufacturer's recommendations. 8. Consult beautified in the composite granular material coarding to large 12.0 the Standard Specifications as directed by the Ctly Explorer: A manufaction is and the control operation of the specific operation and the control operation of the specific operation of the specific specifications as directed by the Ctly Explorer: A manufaction of another operation of the Ctly Explorer and the preced coarder derivers, branche lists and in Carlo Ctl operations to the City of Dublin Social Coarder operation of the coarder operation because the the Ctly Explorer on Social Coarder operation of the coarder operation operation of the City of Dublin S. A Rinc Charter Explorement and the according to the M0/21 of the Soundard Social Coarder operation operation of the City Explorer on Social Coarder operation operation of the City of Dublin Social Coarder operation operation operation of the City of Dublin Social Coarder operation operation of the City Explorer operation operation of beckfilling Social Coarder operation operation operation operation operation of the Social Coarder operation operations operation

EROSION AND SEDIMENT CONTROL

BLASTING (If Permitted)

6. The Contractor shall point all fire hydronis according to City of Dublin standards. The cost of pointing fire hydronis and be included in the contract unit price for fire hydronis. Source of the contract of the hydronis of hydronis of thydronis of the hydronis of

Use one determinant, paint contractions and number that the process and contracting per usy of common of the terminant of the set o

drawing L-7103, Add for 5/4° through 1° meters or L-637, A B, 6/40° for 1-1/2° or larger 13. Noter lines to instability in embodynamic even sail the piped effort the embodynamic has been piped and controlling to the through the piped effort the embodynamic has a sail to the piped effort the embodynamic has a sail to the piped effort the embodynamic has a sail to the sail to

27 between ond brigger piper shall be Clear 1 where close are the first orbits to 24 kind pipes, an oraning. 5. Neosensis and endents shall be required of all shorn sever justs or under to and to be of from the provided on all values herebeneds and official short sever justs or under to and the provide beneds and the several short of the sev

MAIL DELIVERY I. The Contractor will be reasonable to ensure that US Mail delivery within the project finitia is not dampide by construction generations. This responsibility is limited to reasonable to a of mailbows to the original location or agrovers are schematic way and the original of mailbows arrotsem the first coordinated with the US Potal Service and Boncesener. Mailbows according to the regularement of the Potal Service. U.S. Ford Service on telosola mailbows and the three schematic of the Potal Service.

USE OF FIRE HYDRANTS

USE OF FIRE HYDRANTS The Contractor will make proper enrorgements with the Dukin Service Department and the contract and provide the city of Dukin a copy type the Hydrant Usage Permit Selained from the City of Countract. The Contractor and lates areas of a copies of provide set of the city of Countracts the Contractor shall also send a copy of provide set of the city of Countracts the Westington and/or Perry Tevning Fire Department. Hernits shall be kept of the Countract the destington and/or Perry Tevning Fire Department. Hernits shall be kept of the Dukin of West to the City Opineer satisfy the Contractor has lawning a terturned the Simese Vave to the City of Countract, and the Dukin and Location shifts from the use of the first Aprilands.





COMPLIANCE

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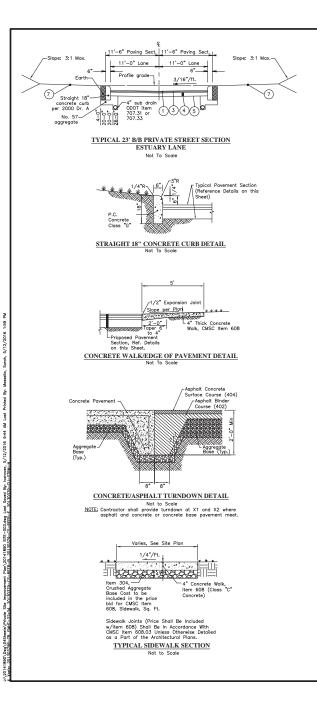
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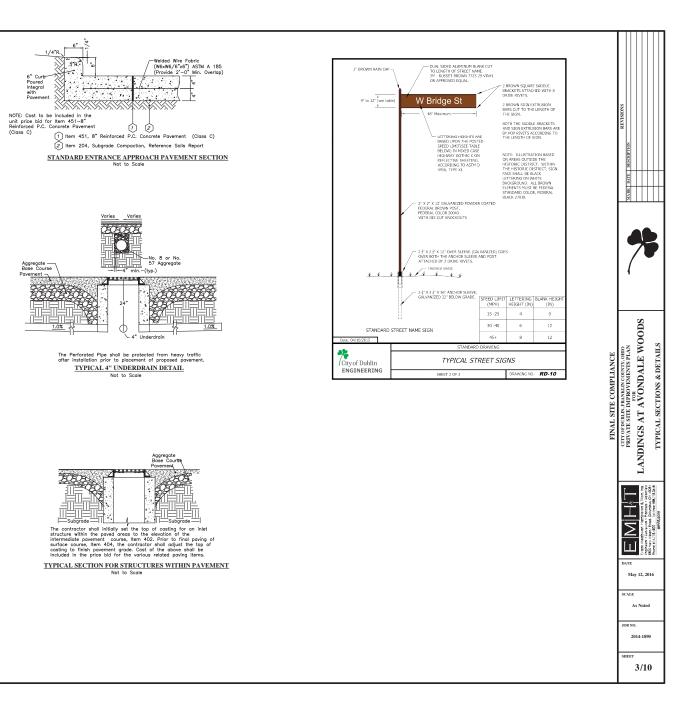
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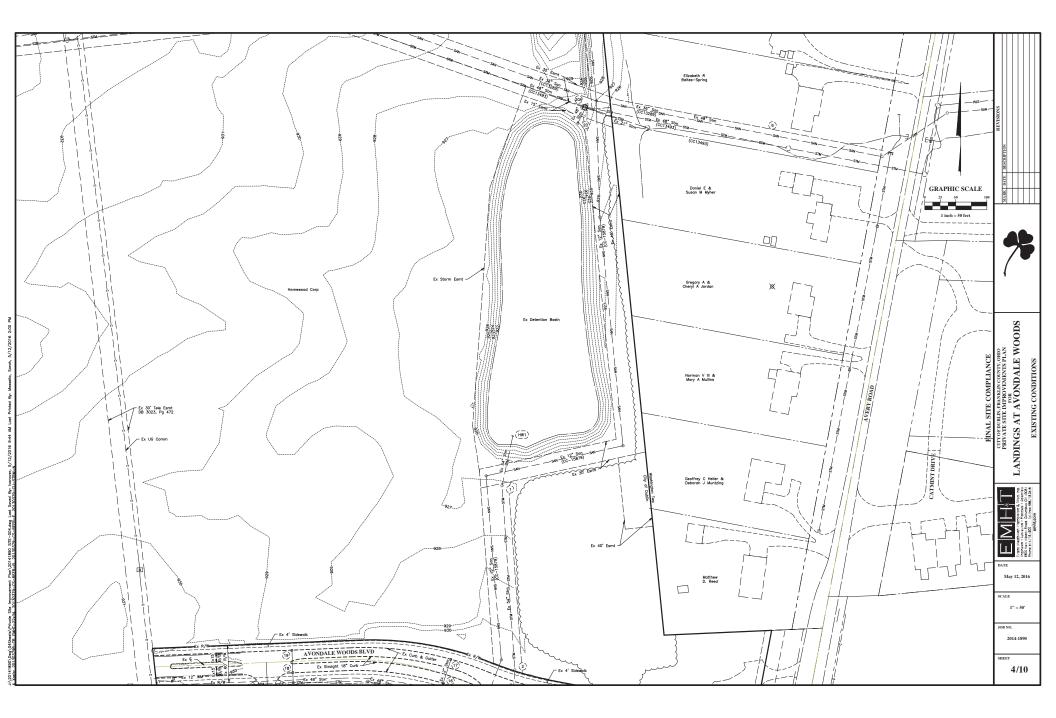
The Globy utilities are known to be located within the limits of this project: (Inset Hamme of URIN) (Inset Kamer of Kamer of the Inset Kamer of Kamer of the Inset Kamer of Inset (Inset Kamer of K nitingent damage. Location, support, protection and restoration of all existing utilities and appurtenances, whether norm or not shown on the approved construction drawings, shall be the responsibility of the altomic rolt biomic do the generated construction develops, and le bit responsency or the S. Merror underwork increases to underground utilities are encounteed during construction. The Constructs inside immediately notify the some of the CD Epigene. The Constructs inside immediately notify the some of the CD Epigene. The Construct is and the Construction of the CD Epigenet of Construction according to Construction and the Construction of the Construction according to Construction and epidemic index and the CD Epigenet of the CD Addition of Epigenetic get and the Addition of the Construction according to Construct and the Interfer Construction therease of the Construction according to Construct and the Interfer Construction therease of the Construction according to Construct and the Interfer Construction therease of the Construction according to Construct and the Interfer Construction therease of the Construction according to Construct and the Interfer Construction therease of the Construction according to Construct and the Interfer Construction therease of the Construct according to Construct according to the Construction therease of the Construct according to Construct according to the Construction of the Interfer Construction according to Construct according to the Construction of the Interfer Construction according to Construct according to the Construction of the Interfer Construction according to Construct according to the Construction of the Interfer Construction of the Interfer Construction according to Construct according to the Interfer Construction of the Interfer

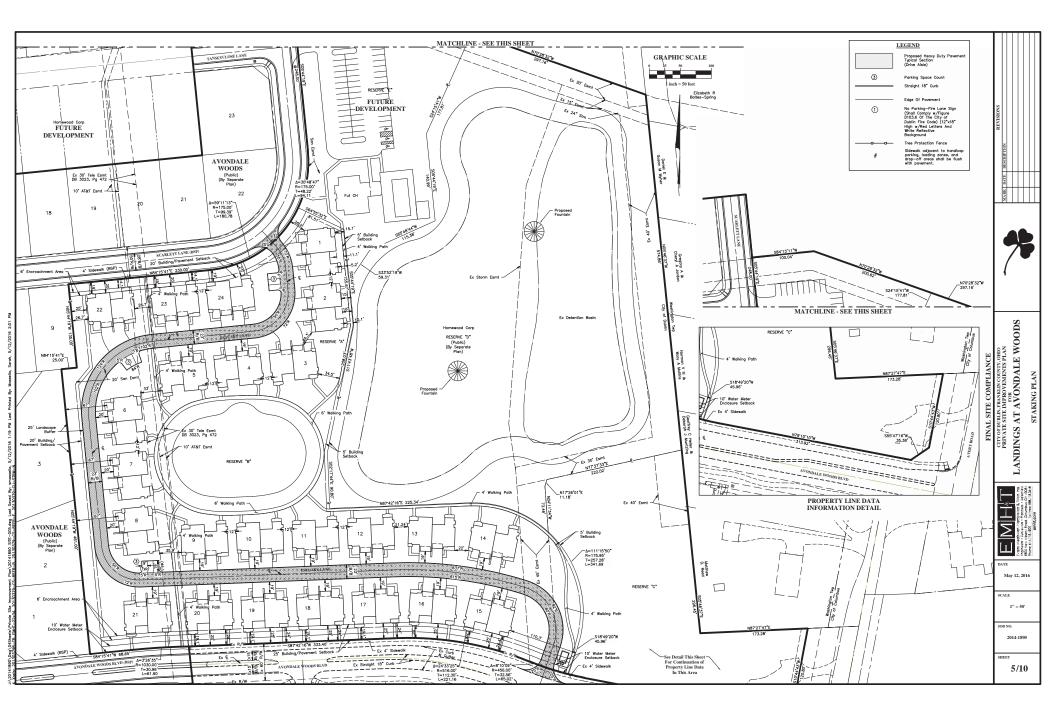
that is precent concerns or a reproved by the City Enjower and controls (b the City of Dublin City and City and

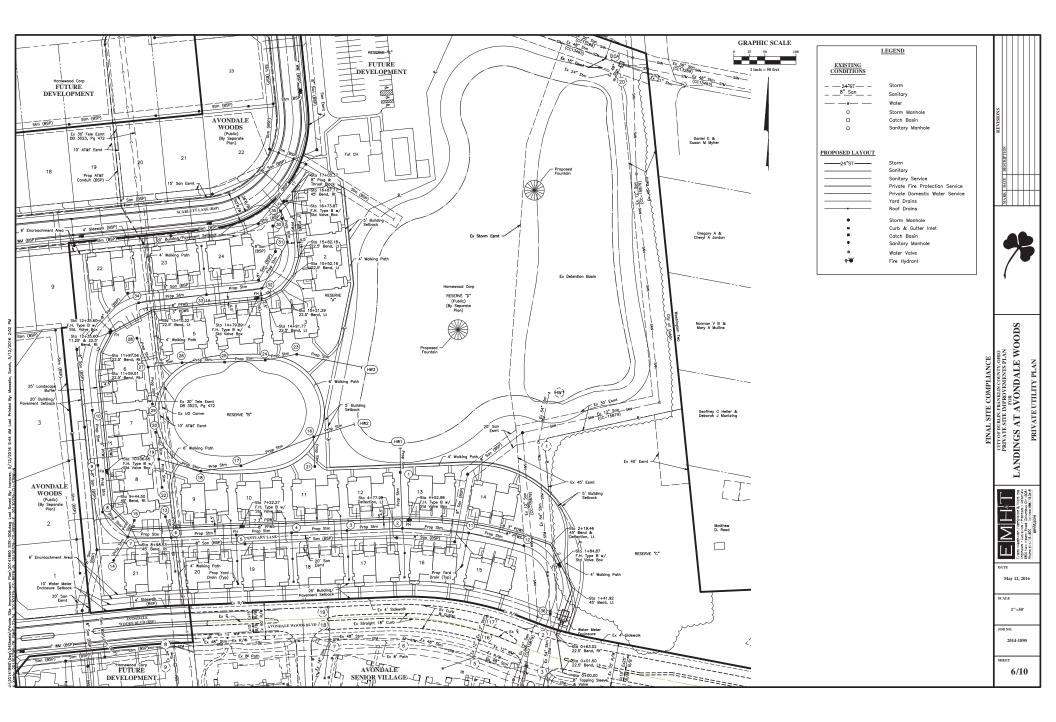
 $\frac{UTILITIES}{1. \mbox{ The following utilities are known to be located within the limits of this project:}$











COMPLIANCE

SITE

Water service (s) shall be flushed by the site utility contractor PRIOR TO the City water meter (s) installation. ANY City water meter damage charge (s) due to non-flushing shall be paid by the site utility

Existing right-of-way line(s) <u>AND/OR</u> water main easement line (s) shall be staked at 10 foct increments by a State of Ohio Leensed Surveyor when the water service top AND/OR service(s) are installed and by the Contractor and inspection requested by the Columbus Division of Water.

2" and larger meter settings shall be per Columbus Division of Water standard detail drawings L-6317 A through E Dated 5/16/13.

Meter room shall require building permit review and approval from City of Columbia Department of Building and Zoning PRIOR TO any meter room construction.

Bockflow Prevention Assembly (a) where required shall be installed per Colorabu Swision of Water Standard Detail Draveleg, - 5002 A thru C Deted 5/16/13. Contractor shall cal 614-634-6347 with backflow prevention installation questions. Contractor shall call 614-645-5781 to insussit a backflow prevention installation installation questions.

Tenter Serics Journey Coordinate, Table 3 Shall be provided by the value system designer and shall include the indicated location (includes, Zealring) survey coordinates for this proposed under service service-served, service services and the service services and the service service service service services and the service service service service services and the service service service service service service service service service services and the service ser

Meter room shall be heated with a wall or calling mounted gas or electric thermostilically operated heater sized to maintain a 45 degree Fahrenheit indige temperature at an outside temperature of zero degrees Pahrenheit temperature

Meter room shall be insulated to local region R-Factors in ceilings and walls.

Terres setting(s) shall be per Columbus Division of Water Standard Detail Drawings L-6317 A.B.C & E dated 05/16/13. Meters are 16 be rataliled inside of a building unless otherwise approved. Contractors shall coll 614-66-7330 to arrange, supportion of have installation questions.

Water service(s) beyond nator meter shall be flushed by the Site Utility Contractor prior to meter installation. Site utility Contractor shall call 1-614-645-6574 to request inspection of water service flushing Any meter domage causis do non-flushing shall be poid for by the Site Utility Contractor.

All water service /rice, 2" and smaller, shall be K soft copper from watermain through curb stop; K soft copper or a DOW opproved polytubing from curb stop through meter setting.

All water system lowerings before and after meters to be completed per Columbus Division of Water Standard Octai Drawing L-7401 dated 5/16/13.

Existing water service tops, 3° and larger, shall be abandoned by cutting and removing the existing sets and water from the City water main and installing a new length of dualitie from pipe with DOW oppowed couplings. Site utility contractor is to call Lavie Remained ® 614-645-7071 to arrange for water main turn off and inspection. A 48 hour advance notice is required. This shall also include the public fire hydrant

UNDERGROUND PRIVATE WATER SYSTEM(S) BEYOND METER(S) Site utily Contractor shall call 614-645-5781, for inspection of private domestic and fire water system moterial beyond the domestic and fire water system meter (s) including building domestic and fire riser entry points and private fire hydrauts shall be inspected prior to covering.

Site utility contractor shall call 614-645-5781 for pressure test AND/OR flushing of the private domestic water system. A 24 hour advance notice is required.

Site utility contractor shall call Columbus Fire Department-Fire Prevention Bureau for pressure test AND/OR flushing of the private fire system.

Private water system pipe material for 3° and larger pipe material shall be ductile iron, C-900 or C-909 pipe only to a point 2' above building finished floor.

Private water system pipe material for 2° and smaller building service lines shall be K soft copper or a Division of Water approved poly tubing to a point 2° above building finished floor.

All private fire hydrants shall be per CMSC Item 809, except there shall be two additional 2-1/2" side

All private fire hydrants shall be installed per the C.M.S.C. Section 809 EXCEPT special attention will be given to C.M.S.C. Section 809,11.02.

All private fire hydrants shall be painted red with the 3 outlet caps and top bonnet painted white by the site utility contractor; site utility contractor shall call 614-645-5781 for inspection. A 24 hour advance notices is conjugat

Volves shall be in accordance with item 802 of the City of Columbus CWSC Volves shall be adjusted to final grade as directed by the Engineer or Generia' Representative. The Contractor shall include the cost of volve box extensions and adjustments are required. If the top of the volve correcting nuit is more than 48° below final grade on extension stem shall be furnished to bring the top or the operating nuit some fiber of the final grade. Cost for the obser methodes to be included in the price bit for Ime 852. All private fire hydrants shall use ductile iron pipe from private water system tee thru hydrant control valv and fire hydrant assembly.

Concrete supports shall be provided at all horizontal and vertical bends, tees, plugs, valves, hydrants and as designated on the plans and/or as directed by the Engineer. All private fire hydrant maintenance shall be the responsibility of the property owner.

All private fire hydrants usage shall be used for fire protection use only.

Individual building water services shall not be connected until a "chlorination" of the private domestic w system is completed by the site utility contractor. Chlorination samples shall be approved by a Stote of Oho Certified Testing Laboratory. Copies of approved test results shall be forwarded to the Division of Water-attention Doug Wilson by email at <u>shwilson@columbus.gov</u> or by fax at 614-645-6165.

FOR THE DIVISION OF POWER

TOR THE DIVISION OF FOUND strength and the project area. The Contractor is hereby required to contact OUPS at 1-800-362-2764 forty-eight hours prior to conducting any activity within the construction area. The DOP dispatch office number is: (614) 645-7627 (vice).

Constructional relation area U-m assigned in the function is (b) res-relative (relation) and the construction area is to be performed by the Contractor under the direction 400 personality in the construction area is to be performed by the Contractor under the direction 400 personality in the construction area is to be performed by the Contractor target is the lighting and in the construction area in the exercise of the contractor and the second s

If any electric facility belonging to DOP is domoged in any moment by the Controlocry, its opens, and regimes emergency reports, DOP sholl make all necessary reports, and the express of Columbias, ONL, other indeed casts shall be paid by the Controlocr to the Dhiston of Power, City of Columbias, ONL

Site USRIY Contractor shall obtain a City of Columbus Right of Way Permit (s) prior to Explaning any water service construction or placement of <u>AVY</u> water service construction materials <u>AVD</u>/L2² construction</sup> The City of Columbus C.M.S.C. 2012 Edition shall govern all water service work from the City water main to and including the City water meter (s), meter bypass and backflow prevention assembly (s).

RESTORATION AND CLEAN UP incomminer, to the silperty correspondence of the traveling public shall be kept to an obsolute incomminer, and the silperty property and the silperty of the silperty of the silperty of the silperty of the clean up of disturbed areas of the construction.

Contractor shall provide at a minimum daily street cleaning and immediately for specific events described i "Construction Debris" general note. Cleaning shall be performed on adjacent public roadways at the end of

All fances, signs, drollnoge structures, volves, landsceping, etc. removed, disturbed or domoged during work within PUBLIC MONT-OF-WINS, ESSEMENT AREAS and/or under the project improvements stall be restored to their original condition by the Contractor unless otherwise specified. Poyment for some shall be include in the proje bid for the various improvement items.

BUILDINGSITE UTLITY CONNECTIONS Contracts rabit coordinate the final locations of the private utility service connection points at the building perimeter with the most current approved building mechanical system drawings. The routing of the private utility services shall be field adjusted as needed to meet the proposed connection points. Contractor shall provide any necessary fittings to adjust routing at no additional cost to the project.

Contractor shall extend all utilities to within 5'-0" of the building perimeter and cap and mark each utility for final connection by the plumbing contractor, unless otherwise noted on the plan drawings.

TRAFFIC All tempory traffic control devices shall be furnished, erected, molitolined, and removed by the Contractor in accordance with the "Onlo Menual of Uniferm Traffic Control Devices", copies of which are available from the Onlo Department of Transportation, Bureau of Traffic, 1950 W. Bread Street, Columbia, Onlo 49223. All permanent traffic controls not in conflict with the temporary traffic controls shall be maintained throughout this project by the CONTRACTOR enables that the temporary traffic controls shall be maintained to approve by the ENGINEER. The CONTRACTOR shall assume all fability for missing, damaged, and improg ploced signs.

Any work done by the Division of Planning and Operations or by the Division of Design and Construction, include installation, relocation, removal and/or replacement of the temporary or permanent traffic control devices as a result of each done by the CONTRACTOR or as a result of NEQUERVCE of the CONTRACTOR shall be at the expense of the CONTRACTOR.

The CONTRACTOR shall be responsible for the reinstallation and/or replacement of all permanent traffic control devices damaged or removed during the construction. Permanent traffic control no longer in conflict with temporary traffic control shall be replaced immediately.

Ingress and Egress shall be maintained at all times to public and private property.

OPEN EXCAVATION IN ROADWAYS - STEEL PLATES Excavations and trenches over 24 inches deep shall be securely plated, or backfilled with item 304 during non-working hours.

Steady-burning, Type "C" lights shall be required on all barricades, drums, and other similar traffic control devices used at night.

Payment for all traffic maintenance items shall be included within the price bid for the private water service plan improvement.

PEDESTRIAN TRAFFIC The selfs' of pdediction treffic shill be considered at all times in the provision of traffic control devices regards by beep stars and notes. It shall be the Contractor's responsibility to provide lipits, signs, barricoster, and other devices to serie if and psycholly separate the pdediction from hazzeds incidental barricoster, and other devices to serie if and psycholly separate the pdediction from hazzeds incidental barricoster, and other devices to serie if and psychol series of the second se

All excavations shall be maintained as safe as possible by the Contractor at all times and backfilled at the end of each work day. Open excavations over 24 inches after work hours require traffic plates, and/or liahted barricades and construction fence.

All water line materials and installments shall be in accordance with the current rules and regulations of the City of Columbus, Division of Water.

Water lines shall be laid with a minimum of 4'-O" of cover. In case of conflict between waterlines and sewers, either existing or proposed, the proposed water line shall be lowered during construction.

The Contractor shall be responsible for the horizontal and vertical deflections or bends of the water lines accordance with the manufacturers specifications.

Backfilling of all water line trenches and excavations shall be in accordance with the specifications herein.

Reference applicable City of Columbus Standard Construction Drawings (L-6311, L-6310 & L-6312) for concrete backing requirements.

The Contractor is fully responsible for providing backing to the extent sufficient to guarantee the operation of the pipe under both the test and design pressures.

Water lines shall be flushed or cleaned in accordance with Item 801.13 of the City of Columbus Construction and Material Specifications. The Division of Fire shall witness the pressure tests and flushing and give final approval of the fire hydrants for the private water supply system.

Water lines shall be pressure tested in accordance with Item 801.14 of the City of Columbus Construction and Material Specifications. The Division of Fire shall witness the pressure tests and flushing and give final approval of the fire hydrants for the on-site water supply system.

Water lines shall be disinfected in accordance with Item 801.15 of the City of Columbus C.M.S. Special attention is directed to applicable section of A.W.M.A. C-651, particularly for flushing (Section 5) and for dialinetating valves and fire hydrants (Section 7).

BUILDING/SITE UTILITY CONNECTIONS

There shall be a minimum ten (10[°]) foot horizontal and eighteen (12°) like vertical separation between water top(a), water service, private water system <u>AND_ANY</u> sonkary <u>NU/OR</u> storm sewer system(s) per the Ten States Standards 8.8.3.

Where Ten Feet (10°) of horizontal distance separation constit be maintained from a sever structure, the water service pipe shall be installed such that the structure is centered between the pipe joints on a full length (18 foot minimum) picce of water pipe.

Site utility contractor shall call 614-645-7330 to request an inspection of #"x#" tapping sleeve and valve installation and pressure test. A 24 hour advance totice is required.

Site Utility Contractor shall call 614–645–5781 to request an inspection <u>AND/OR</u> pressure test of 3⁻ and larger domestic <u>AND/OR</u> fire protection water service (a) from the City water main thru the right of way valves thru the City water meet (a). A 24 hour downce notice is required.

All 3' and larger water service spin, shall be pressure tested per the C.M.S.C. Section 801 with the following $\frac{VCEPTION}{VCEPTION}$ 150 psi of pressure shall be maintained for at least two hours in any tested section. The City of Columbus shall not approve any test tasking less than two hours regardless of the amount of leakage.

Site utility contractor shall call 614-645-7330 for inspection of 2" and smaller water service tap <u>AND/OR</u> water service from night of way valve through the meter. A 24 hour advance notice is required.

Site utility control or shall call 614-221-2345 prior to taking fire hydrant out of service. Call 614-645-7641 ext. 7658 when placing fire hydrant back in service for flow test.

All 3' through 12' water service pipe shall be ductile iron from the City water main through the meter setting (a) including the meter bypass.

All water service pipe 3° and larger and all exposed water main shall be poly wrapped per the A.W.W.A. C-105 Spec to a point 10' beyond the right of way valves.

The NPDES permit holder shall provide qualified personnel to conduct title inspections ensuring proper functionality of the erasion and sedimentation controls. All erasion and sedimentation controls are to be inspected ance every server (7) calender days or within 24 hours of a 1/21 rich stame revert or greater. Records of the site inspections shall be kept by the Contractor and made available to jurisdictional ager if requested. This plan must be posted on-site. A copy of the SWPPP plan and the approved EPA Stormwater Permit (with the site-specific NOI number) shall be kept on-site at all times.

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<u>CENERAL NOTES</u> The City of Columbus Construction and Materials Specifications (CMSC), 2012 edition including Supplemental Specification 1100 and all other revisions and supplements thereto, shall govern all construction items that are a part of the plans unless noted otherwise.

All waterline materials and installments shall be in accordance with the current rules and regulations for the City of Columbus, Division of Water.

All items of work colled for on the plans shall be performed by the Controctor and the cost for the same shall be included in the pice ball for the various improvement items. Work items that ore not appealically indicated on the plans but may be required to accomplish the work shall not be considered to as extra work but rather shall be considered to be included in the price bill for the various improvement items.

INSPECTION On-after Work Supply Inspections are subject to field review and participation by the Insurance Carrier, Owner and Owner's Representative. The Contractor shall be responsible to coordinate the required inspection activities with the Gover's Representative.

NOTIFICATIONS The Division of Water shall be notified 48 hours prior to construction involving public water facilities.

CONFINED SPACE ENTRY

RIGHTS-OF-WAY

p i i

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AFETY REQUIREMENTS The Contractor and Sub-Contractor shall be solely responsible for complying with all federal, state, and lo addy requirement, together with exercising precoulding at all times for the protection of persons (lockul employee) and properly. If a site the scale responsibility of the Contractor and Sub-Contractor to Robert andiation, and supervise states requirements, preculation, and programs in Contractor with the weld.

The Contractor shall be soldly responsible for following the OSHA requirements for "Confined Space Entry" (CSE); Title §20 in the Code of Federal Regulations, Port 1910.148, while performing work inside any mantales or other confined space requiring a permit. Copies of all CSE permits shall be given to the City upon project completion.

No service connection permit(s) shall be issued or connections made to any service taps until City water mains have been disinfected by the City of Columbus, Division of Water.

CONTRACT OF A DECISION OF A

The potential effects upon the work scales. Any performance of additional site subsurface investigations (test holes) shall be coordinated in advance with the Owner as warranted. Excavated material shall be replaced in a controller manner to minimize impact on field earthwork operations.

CONSTRUCTION LAYOUT All construction loyout services for this project shall be provided by the <u>Contractor</u> in accordance with the

Relations the sequence of the contract specifications, the Contractor shall observe and contract to the specific transformed to a fight-of-weight contract specifications are contract, specifications and the specific regularments of a fight-of-weight contractor specifications are contracted as the specific regularment and the code of applicable governing agency. The cost of operations exists the code of applicable governing agency. The cost of operations exists the code of applicable governing agency. The cost of operations exists the code of applicable governing agency. The cost of operations are contracted as the provided in the price bid for the vortices improvement items.

The appropriate fees for the waterline inspections, system capacity and meter charges will be provided by the Owner.

CONVENIENCE FACULTIES The Contractive thad (institution in administration convenience facilities for the workeren and inspectors for the duration of the work. Cost shall be included in the price bid for the storm sever and grading improvements.

International Control of the Control of the Control of the Control of a period of the Control of the Control of a period of the Control of

MAINTAIN DRAINAGE The flow in all severs, drains, field lies and wetercourses encountered shall be maintained by the Contractor of this own expense, and whenever such wetercourses and drains are disturbed or destroyed during the prosecution of the work, they shall be restored by the Contractor at his own expense to a condition satisfactory to the Engineer.

EROSION AND SEDIMENT CONTROL Evision and sediment control measures are required as part of his project. Evision and Sediment Control company with all provides of the Dubling of Sediment Sediment Control company with all provides of the Dubling of Sediments and Declarge REGIME AND SEDIMENT POLICIPAN CONTROL REGULATION. All leaf-disturbing activities shall be subject to inspection and site investigation by the City of Columbus and/or the Ohio FPA.

All Erosion Sedimentation Control Practices are subject to field modifications at the discretion of the City of Columbus Engineer and/or the Ohio EPA.

NON-RUBBER TIRED VEHICLES Non-rubber tired vehicles shall not be moved on public streets, private streets or parking lots. No exceptions shall be granted.

REPLACEMENT OF DRAIN TILE AND STORM SEWERS

SITE VISIT The Contractor shall perform field reconnaissance to become acquainted with the existing site conditions

Excavation Permit(s) for work within public right-of-way limits shall be obtained from the appropriate municipality as warranted.

 $\underline{\rm FEES}_{\rm On-site}$ Water Supply Permit(s) shall be obtained from the Division of Water Permits Section.

 $\frac{PERMITS}{\text{The Contractor shall obtain all necessary permits prior to constr$

STORAGE OF EQUIPMENT AND MATERIALS

Reference is made to Subsurface Investigation Report prepared by <u>[Soils Engineer</u>] dated <u>(February X. 2010)</u>. The report was prepared solely for the use of the owner and their design representative. A cary of report may be obtained by written request, but is not for use in developing memory on remitods as associated with this project. The contractor may include digging test pis on their but confirm the conditions referenced in the construction. This may include digging test pis on the site to confirm the conditions referenced in the constru report.

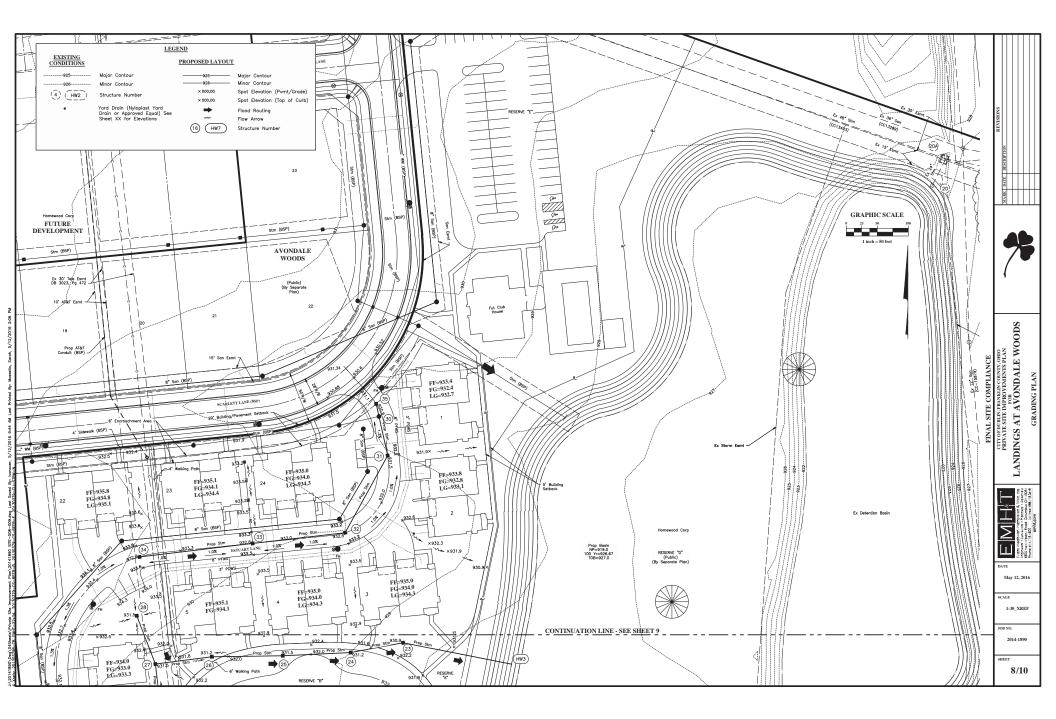
No Subsurface Investigation Report has been prepared for this project. The contractor may engage a soils engineer to develop details necessary for construction. This may include digging test pits on the site. The engineer assumes no fiability for subsurface conditions encountered during construction activities.

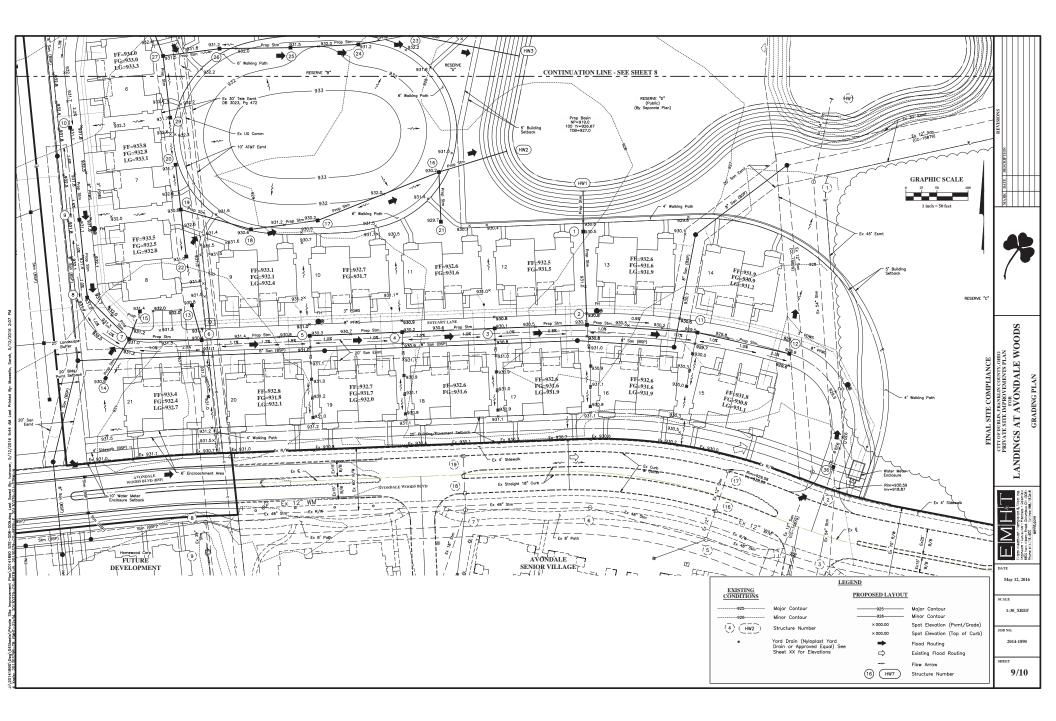
ROCK EXCAVATION Provide rock excavation in accordance with Item 903. Refer to the Soils Report for subsurface analysis, rock quality and elevation.

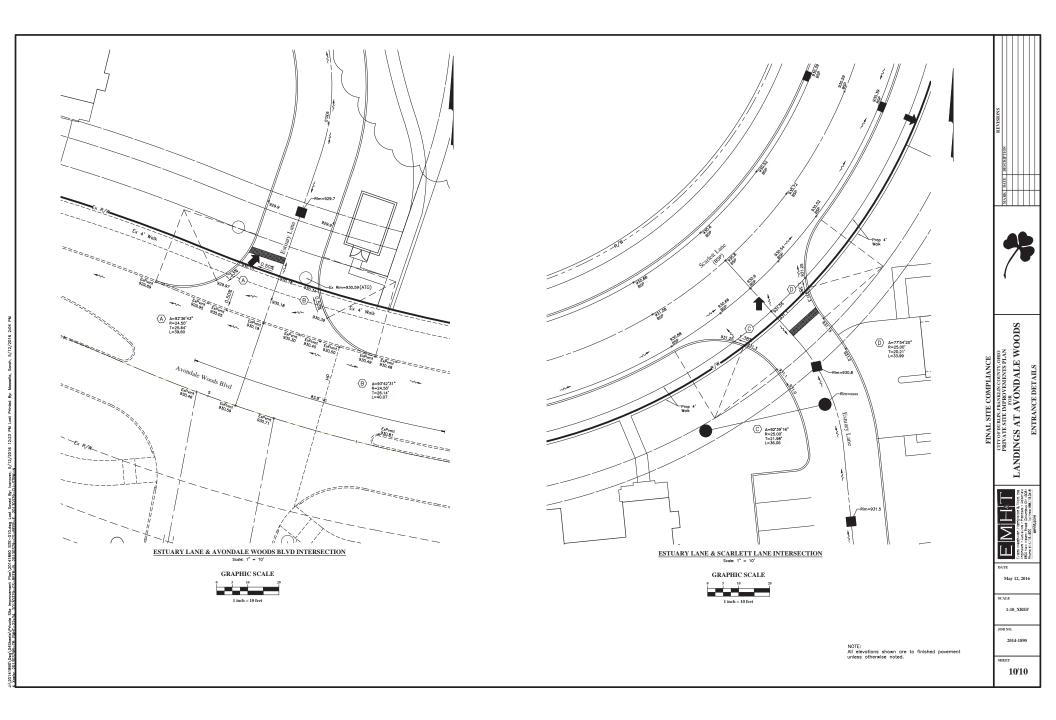
Perform additional subsurface investigation (test holes) along the sever alignment to provide further assessment of existing subsurface conditions. Coordinate work with the Owner's Representative and Site Soils Engineer.

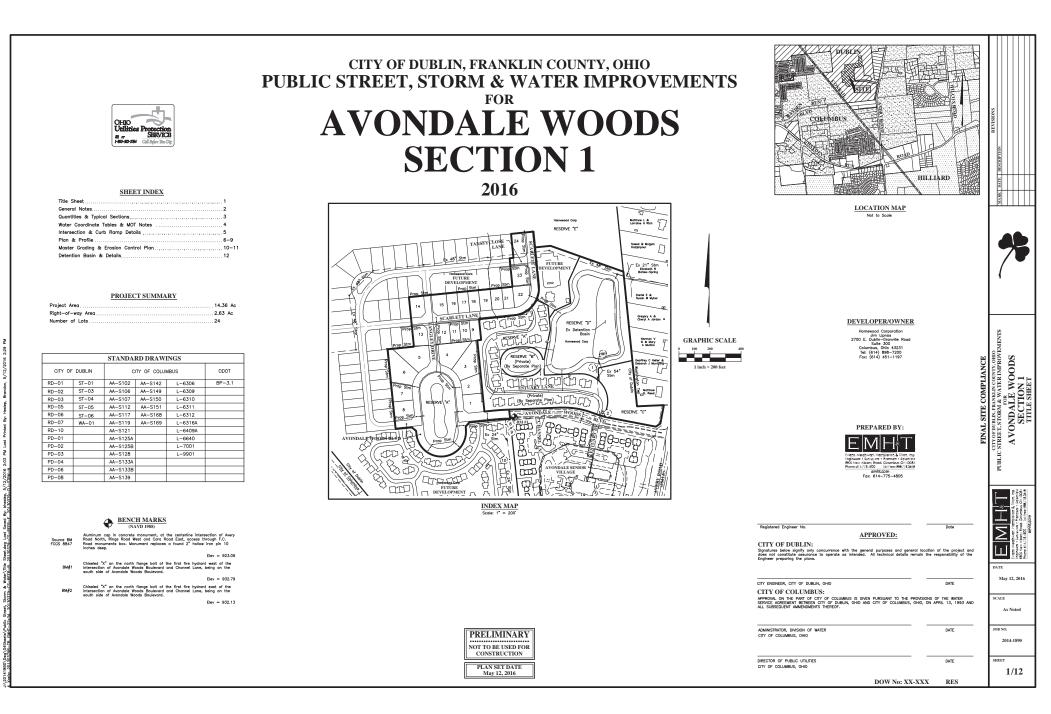
WATER LINE

WATER SERVICE PLAN NOTES No water service construction, <u>BEFORE OR AFTER METER(S)</u>, shall be installed prior to the water service permit(s) being issued and fee payment(s) to the Columbus Division of Water. It is the mappenbility of the Contendent to cell(b) the City of Columbia for (2) avoiding days plor to commensement of held) alls laced activations on ony siles of one (1) or more coses. This Scholdes alls clearing, anabing and any senth moving. Primary ensities nod sectment control protoces are modated by equilations to be in pose from the segment of the control one columb and the control of the Scholder and protoces and the sector of the sector of the sector of the sector of the Scholder and from in the ERISON AND SEDMENT POLLITION CONTROL RECILIATION (cospited June 1, 1994). Failure to comply may result in enforcement calculate and the Control and the Scholder June 1, 1994). Failure to the Scholder June 1, 1994, Failure to any sector of the sector sector of the Scholder June 1, 1994). Failure to the Scholder June 1, 1994, Failure to the Scholder June 1, 1994, Failure to sector of the Scholder June 1, 1994, Failure to the Scho Site utility contractor installing any water service pipe from water main through and after meter(s) shall have a current City of Columbus water service license per the Columbus City Code 1103 and +114.









GENERAL NOTES

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5/12/2016

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20141890\Dwg\04Shv Xrefs: 20130379R-TR

City of Columbus and Ohio Deportment of Transportation Construction and Material Specifications, current estilans, and any supplements thereto (bereafter unless otherwise noted. If a control to the supplement of the super-strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of Columbus tem Numbers unless otherwise noted.

The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for sofety on the work site, or for failure by the Contractor to perform work according to contract documents.

The Developer or Contractor shall be responsible to obtain all necessa permits including but not limited to Ohio EPA Permits to Install (PTI) Notices of Intent (NOI), Building Permits, etc.

The Contractor shall notify the City of Dublin Division of Engineering in writing at least 3 working days prior to beginning construction.

5. The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act 1920. The Contractor shall exercise precouldor always for the protection of persons (including emplyees) and property. It shall also be the sole requirements, procultions and programs in commention with the work, including the requirements for confined spaces per 29 CFR 1910.146.

Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the Division of Engineering that documents are solutil elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who seeled the

The Contractor shall restrict construction activity to public right-of-way and areas defined as permanent and/or temporary construction easements, unless otherwise authorized by the City Engineer.

3. The Contractor shall carefully preserve bench marks, property corners, reference points, stakes and other survey reference monuments or markers. In cases of willful or careless destruction, the Contractor shall be reprostible for restorations. Resetting of markers shall be performed by an Ohio Professional Surveyor as approved by the City Engineer.

Non-rubber tired vehicles shall not be moved on or across public streets or highways without the written permission of the City Engineer.

10. The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Prainage ditches or water courses that a disturbed by construction shall be restored to the grades and cross-section that existed before construction.

Trocking or spilling mud, dri or dehris upon streta, residential or commercial drives, sidesadas or bias paths in prohibiting coscingring to Section 973. and the Dublin Code of Ordinances. Any such occurrence shall be cleaned up immediately by the Contractor and no cost to the CU; if the Contractor fails to remove sold mud, dri, doins, or spilloga, the CU; reserves the right to the responsibility of the Contractors. In the control shall be

12. Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) is not permitted

13. All signs, landscaping, structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.

4. All field tile broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the repaired an City Engine Contractor.

15. All precast concrete products shall be inspected at the location of manufacture. Approved precast concrete products will be stamped or have sus identification noting that inspection has been conducted by the City of Columbus. Precast concrete products without proof of inspection shall not be approved for installation. or have such

6. Backfill within a 1:1 influence line of existing structures (houses, garages, etc.) or public infrastructure (povement, curbs, sidewalks, bike paths, etc.) shall be compacted granular backfill according to Item 912 of the Standard Specifications or Flowable COF, Type III according to Item 613. Item 911 of the Standard Specifications may be used elsewhere.

17. The Contractor shall submit a copy of the approved construction drawings a list of proposed precast concrete product manufacturers to the City of Columbus Construction Inspection Division before commensing construction

Send the information to the following address:

Construction Inspection Division City of Columbus 1800 East 17th Avenue Columbus, Ohio 43219

Send a copy of the transmittal letter to the following address:

Division of Engineering City of Dublin 5800 Shier Rings Road Dublin, Ohio 43016

18. All trenches within public right—of—way shall be backfilled according to the approved construction drawings or securely ploted during nonworking hours. Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during nonworking hours. Clean— shall follow cleaky behind the trenching operation.

anum rooms closely density the construction one on specifically designated for removal shall be preserved, whether shown or not shown on the topproved construction be preserved, whether shown or not shown on the topproved construction placed a minimum 15 feet from the tree frunck frees 6 -inches or grader DBH (Diameter Breast Height) must be protected with feening placed at the approved construction drawings for removal may not be removed without prior approval on the Uniter of Englesering.

20. Conduit must be directionally borrel across strettle instand of open cut, unless specificity operaved by the CDF, Engineser, Use of preunditic of read works in not permitted. Permits to construct in the right—of-way of existing stretts commencing constructions. Should open cutting of existing powermant be permitted, Controlled Density Bootfill (type III) shall be used in place of compared optimative basis. Should be conting to the read should be conting to the read strett of the control optimative basis. The control optimative basis optimative to the control optimative basis. The control optimative basis optimative basis optimative basis optimative basis. The control optimative basis optimative basis optimative basis. The control optimative basis optimative basis optimative basis optimative basis. The control optimative basis optimative basis optimative basis optimative basis. The control optimative basis optimative basis optimative basis optimative basis optimative basis optimative basis. The control optimative basis optimative basis. The control optimative basis optima

21. The Contractor shall be responsible for the condition of trenches within the right-of-way and public easements for a period of one year from the final acceptance of the work, and shall make any necessary repairs at no cost to the City.

22. Pavements shall be cut in neat, straight lines the full depth of the existing pavement, or as required by the City Engineer. Pavement replacement shall be conducted according to City of Columbus Standard Drawing 1441 and

applicable City of Dublin standard drawings. The replacement of driveways, handicapped ramps, sidewalks, bike paths, parking lot pavement, etc. shall be provided according to the approved construction drawings and City of Dublin standard construction drawings

23. Tree trimming within the construction zone is to be completed by a certified Arborist. At the completion of the project the Arborist is to return and trim any broken branches as needed. 24. Any modification to the work shown on drawings must have prior written approval by the City Engineer, City of Dublin.

25. All inlets shall be channelized.

26. Park areas shall be fine-graded and seeded with the following mixture: Improved Kentucky Bluegrass, 40% of weight (2 varieties in equal parts) Improved Kentucky Bluegrass, 40% of weight (2 varieties in equal parts) Applications Rate: 7 ibs per 1000 ag (t or as directed by the Division of Parks & Recretion, City of Dublin, Ohio.

Traffic control and other regulatory signs shall be Type S with a square post anchor base installation and meet all requirements of ODOT TC-41.20 and applicable City of Dublin specifications.

Street signs shall meet all City of Dublin specifications with lettering colored white displayed over a brown background. Sign tubing shall be brown in colo and conform with the Type S, square post anchor base installation requirements of ODDT TC-41.20.

UTILITIES

Columbia Gas of Ohio Attin. Tormy, Schwidt, Hilt Neer 2000; With Columbia, Schwidt, Hilt Neer 2000; With Schwidt, Schwidt, Hilt Neer 2000; With Schwidt, Sch	1.	The following utilities are known to	be located within the limits of this pr
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Time Warner Cable Engineering Manager Kevin Rich 3675 Corporate Drive		(614) 410-4600	Wide Open West
Kevin Rich 3675 Corporate Drive		The Warren Orbit	
Columbus, Ohio 43215 (614) 236-3922			
(614) 481-5263			(014) 200-0022

Die Contractor shall give notice of intent to construct to Ohio Utilities Protection Service (telephone number 800-362-2766), Producer's Underground Protection Service (telephone number 614-357-O486), and to warers of underground utilities that are not members of a registered underground protection service. Notice shall be given at least 2 werking days before start.

The identity and jacations of adding undergrand utilities in the controllation force takes been been and the significant of adding the controllation provided by the owner of the undergrand utility. The Gly of Dabih and the Cly Engineer assumes no responsibility for the accuracy of adjusts of undergrand facilities atoms on the approved construction drawings. If damage is accused, the constraints of the responsible for respiral of the same and for

Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.

When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.

 Public street lighting may be in the vicinity of this project. Contact the City of Dublin, Division of Engineering at 410-4637, two days prior to beginning work. TRAFFIC CONTROL

Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Ohio Manual of Uniform Traffic Control Devices (OMUTCD), current edition.

All torffic lones of public, noderpoy shall be fully spen to traffic from 7,00 MM to 9500 Mm and from 4.00 PM to 800 PM unless subhotied differently by the City Engineer. At all other hours the Contractor shall molinion minimum pare-line tex-exp straffic. Unlemmed, all-duy policie officient shall replace, tex-exp traffic control is in effect. Police cruiters may be required as directed by the City Engineer.

If the City Engineer determines proper provisions for traffic control are not being provided by the Contractor, the City Engineer shall assign uniformed, off-duty police officers to the project at no cost to the City.

Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.

scores from public rootbags to all adjuticity properties for validity enablent businesses that businesses that the maintained throughout the duration of the project for m public value and sonitary sever service, and emergency vehicles. The Contractor shall provide a traffic control pain debiling the proposed another any torffic control debilic contained termin. The traffic control pain property the Contractor will be approved by the CUL Springer prior to construction.

FROSION AND SEDIMENT CONTROL

USION AGIN_SLIMMANI_LIMINUL. The Contractor of Developer is responsible for submitting a Notice of Intent (NO) to be reviewed and approved by the Ohio EPA. The NOI must be submitted to DEPA 45 dogs pirot to the start of construction and may entite associated with construction activity. A project location may must be submitted to Department of Teaperval II a sediment and erosion control pion has not the mode available of the project location must be submitted to the City Engineer for approval II a sediment and erosion control pion has not be made available of the project location control pion has not be made available of the project site at all times. The design of erosion control systems shall follow the requirements of Ohio EPA, Item 207 of Ohio begariment of Transportation Standard Specifications, and the City Engineer. An isolation considered the permittee

The Contractor shall provide sediment control at all points where storm water runoff leaves the project, including waterways, overland sheet flow, and storm

Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt filter fence, aggregate check dams, and

temporary ground cover. Hay or straw bales are not permitted.

The Contractor shall provide adequate drainage of the work area at all

Disturbed areas that will remain unworked for 14 days or more shall be seeded or protected within seven calendar days of the disturbance. Other sediment controls that ore installed shall be minicitated until wegatative sediment controls that ore installed shall be minicitated until wegatative and temporary sediment devices of the conclusion of construction but not before growth of permanent ground cover.

BLASTING

The Contractor must obtain a blasting permit from Washington Township Fire Department prior to blasting for rock excavation. The Contractor shall submit blasting reports upon completion of blasting to the City Engineer, the Owner, and the Owner's engineer. Top of rock elevations shall be shown on as-built construction drawings.

SANITARY SEWERS NOTES 1-20 DELETED

WATER LINE

All water main materials and installations shall be in accordance with the current rules and regulations of the City of Columbus, Division of Water. City of Columbus, Division of Water Standard Drawings shall apply to the project, unless otherwise noted.

Only fire hydrants conforming to City of Columbus standards will be approved for use, except that the nozzle shall be threaded to the barrel of the hydran

4. Public water lines shall be disinfected by the City of Columbus Division of Water. Requests for water line chlorination shall be made through the City Dublin Division of Engineering. The cost for chlorination shall be paid for 1 the Contractor.

The Contractor shall paint all fire hydrants according to City of Dublin standards. The cost of painting fire hydrants shall be included in the unit price for fire hydrants.

 The Contractor shall notify the City of Columbus Division of Water at 645-7788 and the City of Dublin Division of Engineering at least 24 hours before tapping into existing water lines.

9. All water main stationing shall be based on street centerline stationing.

All bends, joint deflections and fittings shall be backed with concrete per City of Columbus standards.

11. The Contractor shall give written notice to all affected property owners at least 1 working day but not more than 3 working days prior to any temporary interruption of water service. Interruption of water service shall be minimized and must be approved by the City Engineer.

13. Water lines to be installed in embankment areas shall be placed after the embankment has been placed and compacted according to the Standard Specifications

15. If the top of the operating nut of any valve is greater than 36 inches below finished grade, an extension stem shall be furnished to bring the top of the operating nut to within 24 inches of finished grade elevation.z e

WATER LINE NOTES 2, 5, 7, 12, 14, 16 AND 17 DELETED STORM SEWERS

All storm water detention and retention areas and major flood routing swales shall be constructed to finish grade and hydro-seeded and hydro-mulched according to Items 203 and 659 of the Standard Specifications.

Where private storm sewers connect to public storm sewers, the last run of private storm sewer connecting to the public storm sewer shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class V for pipe diameters 12 inches to 15 inches. Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on I approved construction drawings. Inspection is required by the City of Dublin's Division of Engineering.

Granular backfill shall be compacted granular material according to item 912 of the Standard Specifications or Controlled Density Backfill according to item 613, Type III of the Standard Specifications as directed by the City Engineer.

All storm sewers shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.

Headwalls and endwalls shall be required at all storm sewer inlets or outlets to and from stormwater management facilities. Natural stone and/or brick approved by the City Engineer shall be provided on all visible headwalls and endwalls and other exposed concrete surfaces. Surfaces to be acid washed before approval of stone faciong. 5

Storm inlets or catch basins shall be channelized and have bicycle safe grates. Manhole Lids shall include City of Dublin logo and all Curb Inlet and Catch Basin grates shall include ingraved lettering: "Dump No Waste: Drains to River". 6

Storm sewer outlets greater than 18 inches in diameter accessible from stormwater management facilities or watercourses shall be provided with safety grates, as approved by the City Engineer. MAIL DELIVERY

The Contractor shall be responsible to ensure that U.S. Kull delivery within the project limits and damyded by construction concretions. This responsibility is limited to relacation of moliboxes to a temporary location that will allow the completion of the serk and shall alian include the restoration of moliboxes to services must be first coordinated with the US Postal Service and the homeower.

Before relocating any mailboxes, the Contractor shall contact the U.S. Postal Service and relocate mailboxes according to the requirements of the Postal

USE OF FIRE HYDRANTS

The Contractor shall make proper arrangements with the Dublin Service Department and the Columbus Division of Water for the use of fire hydrants when used for work performed under this contract and provide the city of Dublin a copy of the Hydrant Usage Permit obtained from the City of Columbus. The Contractor shall also send copies of permits obtained from Dublin and Columbus to the Washington and/or Perry Township Fire Departmer Permits shall be kept at the construction site at all times.

Before the final estimate is paid, the Contractor shall submit a letter from the City of Columbus Division of Water to the City Engineer stating that the Contractor has returned the Siamese Youke to the City of Columbus and has paid all costs arising from the use of the fire hydrants. 2

MISCELLANEOUS

High Density Polyethylene (HDPE) corrugated pipe with integrally formed smooth interior wall, ADS N-12 or approved equal, is an approved alternate to reinforced concrete pipe in paved and non-paved areas. This includes

applications inside the right-of-way

- HDPE pipe joints shall be made using watertight couplers with "0"-ring gasket, ADS WT of approved equal, where rubber "0"-ring gasket (ASTM (~351) pipe is required on approved constructions plans or within contract documents. All other pipe shall have a bell and spigot joint with rubber gasket meeting ASTM F477.
- All bedding material shall be in accordance with City of Columbus Standard Construction Drawing AA-S149.

All survey coordinates shall be referenced to the applicable County Engineer's Monuments, and shall be based on the North American Datum of 1983 (NAD 83)

Monuments, and shall be based on the North American Datum of 1983 (NMD 8: with the (NSR52007) adjustment, with further reference made to the Ohio State Plane South Coordinate System, South Zone, with elevations based on NMD 88 datum. All coordinates (Northing, Gasting, Devation) shall be referenced to the nearest hundrabit (N xxxxxxxx, E xxxxxxxx), All survey coordinates shall be occurate to within 1-0 foot horizontal and a tenth of a foot (0.10) or shall be course to within 1-0 foot horizontal and a tenth of a foot (0.10) or

The coordinates shall be documented to the Engineer in digital spreadsheet form and shall include the applicable item, station, northing, easting, and elevation. Coordinates shall be submitted to the Engineer on a bi-weakly basis. Coordinates shall also be required to be submitted to the Division of Water as part of the required to cheroinchan.

Lump sum payment is full compensation for all work involved in obtaining and documenting the survey coordinates as described in this specification.

Temporary waterline easement (Instrument 201309120155086) has been granted to The City of Dublin.

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SCALE

IOR NO

May 12, 2016

As Noted

2014-1890

2/12

PRELIMINARY

NOT TO BE USED FOR

CONSTRUCTION

PLAN SET DATE

May 12, 2016

Dimensions are as shown unless otherwise noted. See intersection details sheet x & x.

4'* Sidewalk by Others

Notes: Detectable Warnings shall be provided wherever a curb ramp crosses a vehicular way, excluding unsignalized driveway

All detectable warnings shall be ADA Solutions Tactile Warning Surface Mats — Replaceable Wet-Set Composite Tactile with a dome spacing of 2.35 inches, manufacturer part number 2448REP. Brick red color shall be used in most locations unless otherwise ended. The cost of this work will be poid at the unit price bid per each, and shall be in addition to any certapping payments per square foot for sidewalk or pedestrian

Refer to Dublin Standard Drawings PD-01, 02, 03, 04, 05, 06, and 08 for curb ramp requirements & RD-03 for typical curb section.

HANDICAP RAMP DETAILS

Scale: 1"= 10'

*^

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* - ARA

-Detectable Warning (typ.)

RES

Ramp slope (5.0% min. - 7.69% max.) is designed @ 7.12% unless otherwise noted.

Top landing slope shall not

4'*

:

12222

4 ---

crossings

path.

- Backfill material shall be placed in accordance with Item 911 or Item 912 of the City of Columbus Construction Material Specifications (CMS).
- Backfill material in areas located outside the public right-of-way shall be placed in accordance with City of Columbus Standard Construction Drawing Ad-5155
- Height of cover shall be in accordance with the Ohio Department of Transportation (ODOT) Location and Design (L&D) Manual, Volume Two, Section 1008 3.1
- All HDPE pipe shall be mandrel tested in accordance with City of Columbus Item 901.21, with the exception that the waiting period prior to testing shall be 30 days
- For any and all installations requiring the minimization of trench water migration, anti-seep collars shall be installed in accordance with the ODOT L&D Manual, Volume Two Section 1118.4.1.2 and ODOT Standard Hydraulic Construction Drawing WQ-1.2.

CITY OF COLUMBUS DIVISION OF WATER NOTES

The City of Columbus, Construction and Material Specifications, 2012 edition and all revisions, including all supplements thereto, shall govern all construction items that are a part of this plan, unless otherwise noted.

All water main materials and installations shall be in accordance with the current rules and regulations of the City of Columbus, Division of Water. All City of Columbus, Division of Water Standard Drawings shall apply to the project, unless otherwise noted.

All bross fittings associated with water work, including repairs to the existing system, shall conform to the revised allowable lead extraction limit per the updated NS7/MSI 61 Standard. The Division of Water's Approved Materials List has been updated to reflect this requirement.

Deem logacies to reliect inside regularement. It shall be universal for any sense to perform any work on City of Columbus worker like systems without (rat securing locates to endogen all the work, as all the systems without (rat securing locates to endogen all the systems) any attachment, additions to or iterations in any volts service piece or apputationness (including water service lines and tops). This requirement may be contractor. Licenses or a Combioed Water/Sever Contractor. Licenses or a combioed contractor. Licenses or a Combioed Water/Sever Contractor. Licenses or a combioed of Columbus Bioling Code, in particular Section all 1.119 and 41.119 and 41.119 and 41.119 and 41.119 and 41.119 and

No person shall begin construction or installation of a public water main until plans have been approved by the State of Ohio Environmental Protection Agency (OEPA).

The developer shall enter into an agreement with the City of Columbus, Division of Water in accordance with section 1105.15 of the Columbus City Codes prior to constructing any water mains.

The developer shall deposit with the City of Columbus the total estimated cost for construction inspection prior to any construction operation. The Contractor shall obtain the proper hydrant permit(s), and pay any applicable fees, for any approved hydrant usage deemad necessary for work under this (464-7333). The contract shall be able to an under the angle of the permitting and permit and must have the original permit on site anytime in which the hydrant is in use. Cost to be included in the various bid terms.

All water mains shall be cleaned and flushed, also any water main 12-inch and larger must be properly pigged, in accordance with section 801.13 of the City of Columbus, Construction and Material Specifications.

All water mains shall be pressure tested in accordance with section 801.14 of the City of Columbus, Construction and Material Spacifications. 150 pai of pressure shall be maintained for at least two hours in any tasted section. The City may not approve any test lasting less than two hours regardless of the amount of leakage.

All water mains shall be disinfected in accordance with section 801.15 of the City of Columbus Construction and Material Specifications. Special distincts is directed distinction and the section of the section of the section of the mains that need disinfected, three (3) sets of 'cas-built' plane (full size sheets to the City of Columbus, Division of Water, respond to the responsible for inclusion of the mains that need disinfected, three (3) sets of 'cas-built' plane (full size sheets to the City of Columbus, Division of Water, The contractor shall be responsible for inclusion section with the disinfection of all water mains constructed under this and costs associated with the disinfection of all water than a construction and the trans-

All water meters associated with this project shall be installed inside the proposed structure unless a meter pit is approved by the Administrator of the Division of Water. All meter pils must be approved pilor to the issuing of any service permits and must conform to Standard Drawing \perp -7103 for 5/2" through 1" meters, or L-6317 A, B, C, 0, & E for 1-1/2" or larger meters.

No service connection permits shall be issued or connections made to any service taps until water mains have been disinfected by the City of Columbus, Division of Water.

Water service boxes shall be placed 1' from the edge of the proposed or existing sidewalk between the sidewalk and the curb, or 2 feet inside the right-of-way or ecsement line when no sidewalk is present or proposed. Refer to Standard Drawin L-9901 for additional information.

L-sev01 ter assumed information. All fire hydronic to be installed in the City of Columbus shall be pointed with the color "Safety Orange". The fire hydronic shall be provided with two coots in a glose senarel of the "Safety Orange" color for the earlier hydron. The tops of the fire hydranis are no longer required to be pointed black. After installation of fire the fociety angle hydronic point. Hydronic will not be accepted unit of any point damage from shipping or installation has been repaired. Use hydronic touch up point in accordance with the approved material site. This general not earliel superseds the current point description appetiled hier 80.02 in the 2012 City of Columbus Construction and Material Specifications.

Mointain eighteen (18) inches vertical and ten (10) feet horizontal separation between any sanitary or storm sewer piping and structures and all proposed water mains. For instances where ten (10) feet of horizontal separation cannot be maintained from a sewer structure, the water line shall be installed such that the

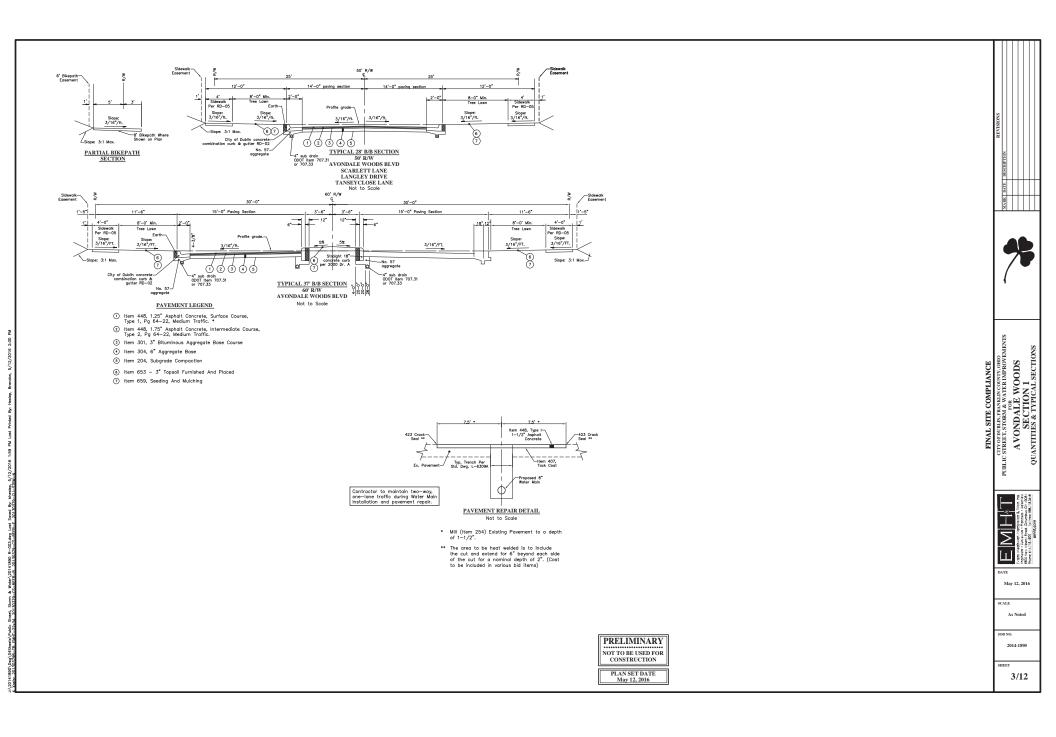
"Survey Coordinates" shall include all material equipment, and labor necessary to

"Survey Coordinates" shall include all material, equipment, and labor necessary to obtain horizontal and vertical (northing, easting, and elevation) survey coordinates for the water main improvements. The survey coordinates shall be obtained for the completed water, teach constraints, the survey coordinates shall be obtained for the completed water, teach constraints, the survey coordinates shall be obtained for the completed water, the survey coordinates shall be obtained for the completed water, the survey coordinates shall be obtained for the survey of the first your starts and the survey of th

Additional survey coordinates are required on the water main every 500° where no fitting or other water main structure is being installed within that length of the improvement.

structure is centered between the pipe joints on a full length (18 foot mini

iece of water pipe.



ITEM 614 - MAINTAINING TRAFFIC, AS PER PLAN

GENERAL ALL TRAFFE CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE "CHIO MAINLAL OF UNITORM TRAFFIC CONTROL DEVICES" (CURRENT EDITION), COPIES OF WHICH ARE MAULABLE FROM THE CHIO DEPARTMENT OF TRANSFORTATION. OFTICS OF TRAFFIC EXIMENTING, ISSUE WEST BERORD STREET, COLUMBUS, DUR 04 3223.

THE ROADWAY SHALL NOT BE OPENED TO TRAFFIC UNTIL PERMANENT TRAFFIC CONTROLS ARE IN PLACE, OR UNTIL TEMPORARY TRAFFIC CONTROLS, APPROVED BY THE ENGINEER, ARE INSTALLED. THE CONTRACTOR ASSUMES ALL LABILITY FOR THE PREMATURE REMOVAL OF TEMPORARY TRAFFIC CONTROLS.

THE CONTRACTOR SMULL BE RESERVISINE FOR THE RENETALIZON MOVOR REPLICEMENT OF ALL PERMANENT THAFTC CONTROL DEVICES DAVAGED OR REMORED DURING THE CONTRACTION PERMANENT THAFTC CONTROL THAT IS NO MOVER IN COMPLET WIT THEPROPERTY PLACED TRAFFIC SMALL DE REPLACED IMMEDIATELY. THE CONTRACTOR SHALL ASSUME ALL LABILITY FOR MISSING, DAMAGED AND IMPROPERTY PLACED TRAFFIC CONTROL DEVICES.

THE CONTRACTOR SHALL PROVIDE A 24 HOUR CONTACT WHO WILL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC FOR THE DURATION OF THE PROJECT.

CONSTRUCTION OPERATIONS SHALL NOT BEGIN UNTIL ALL TEMPORARY TRAFFIC CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER AND THE CITY.

MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES INCLUDING DRUMS, SIGNS, BARRICADES, SIGN BOARDS, DETOUR SIGNAGE, ETC., SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING ALL NIGHTTIME AND NON-WORKING HOURS.

DROP OFF WITHIN THE WORK ZONE SHALL CONFORM TO THE REQUIREMENTS SET FORTH ON ODOT STANDARD CONSTRUCTION DRAWING MT-101.90

CONSTRUCTION NUTLINGS WILL NOTFY THE CITY OF DUBLIN 14 DAYS PROR TO THE START OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR WILL INMEDIATELY INFORM THE CITY OF DUBLIN OF ANY AND ALL DELAYS MOJOR CHANGES RECARDING THE CONSTRUCTION PROJECT. THE CITY DEMAREER WILL PROVIDE CLARPICIDIN FOR ANY QUESTIONS ABOUT THE NOTFICATION REQUERIENT.

TEMPORARY PAVEMENT MARKINGS

ALL MATERIALS AND LABOR ASSOCIATED WITH THE INSTALLATION AND REMOVAL OF TEMPORARY PAVEMENT MARKINGS SHALL BE INCLUDED IN THE LUMP SUM CONTRACT PRICE FOR ITEM 614 MAINTAINING TRAFFIC, AS PER PLAN.

ALTENUES METHODS THE CONTRACTOR MAY SUBMIT ALTERNITIVE METHODS FOR THE MAINTENANCE OF TRAFFIC PROVIDED THE INTENT OF THE ABOVE PROVISIONS IS FOLLOWED AND NO ADDITIONAL INCOMENENCE TO THE TRAVELING FUBLIC RESULTS FROM THE CHANGE. NO ALTERNITIVE PLAN SHALL BE PLACED IN EFFECT INTLI MEPROVAL HAS DER NEEZENE FORM THE CITY OF DUBLIN.

LCOLL ACCESS INGRESS SHALL BE MANITAINED TO ALL RESIDENTIAL AND COMMERCIAL PROPERTIES. DRIVEWAY CLOSURE MY BE INCESSARY TO ENABLE WORK NO RN IN FRONT OF A DRIVE. THE CONTINUED WILL BE RESPONSIBLE FOR NOTIFING OWNERS, RESIDENTS, OR BUSINESS DRIVE THE RESOLUTION OF IN FRONT OF A DRIVE. THE CONTINUED WILL BE RESPONSIBLE FOR NOTIFING OWNERS, RESIDENTS, OR BUSINESS OF THE PREVIOUS THAT WERE OVEN NOTICES WITH THE DATE OF NOTICE INCLUED, CLOSURE IS PERMITED ONLY DURING WORK HOURS AND ACCESS MUST BE RETURNED AND THE END OF ROAD WORKING DAY. PROPERTIES WITH MULTIPLE DRIVES MAY HAVE ONE DRIVE CLOSED AT A TIME, WHILE WORK IS PERFORMED IN THE AREA OF THE CLOSED DRIVE.

INDIVIDUAL DRIVE CLOSURES SHALL BE KEPT TO THE MINIMUM TIME NEEDED FOR CONSTRUCTION ACTIVITIES. EVERY EFFORT MUST BE MADE TO ACCOMMODATE THE OWNER'S NEED FOR ACCESS.

PEDESTRIAN ACCESS THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND, AND AWAY FROM THE CONSTRUCTION SITE.

THE METTY OF PERSIMUM TWINFE SHALL BE CONSIDERED AT ALL TIMES IN THE PROVISION OF TWINFE CONTROL REVICES REQUIRED BY THESE PARS AND NOTES. IT SHALL BE THE CONTRACTORY SEPONSIBILITY TO PROVIDE LIGHT, SING, BARRAURES, AND OTHER WARNINGS THE SEPONSIBILITY TO PROVIDE LIGHT, SING, BARRAURES, AND OTHER WARNINGS, ETC, AT ALL THE, THE PERSIMAN WIT SHALL BE SUBJECT TO THE APPROXL OF THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCANATIONS, ETC, AT ALL THE, THE PERSIMAN WIT SHALL BE SUBJECT TO THE APPROXL OF THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCANATIONS, ETC, AT ALL THE. THE PERSIMAN WIT SHALL BE SUBJECT TO THE APPROXL OF THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCANATIONS, ETC, AT ALL THE. THE PERSIMAN WIT SHALL BE SUBJECT TO THE APPROXL OF THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCANATIONS, ETC, AT ALL THE THE THE RESERVANT OF THE SUBJECT TO THE APPROXL OF THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCANATIONS, ETC, AT ALL THE THE THE RESERVANT OF THE SUBJECT TO THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCANATIONS, ETC, AT ALL THE THE THE REVISION OF THE SUBJECT TO THE APPROXL OF THE CONSTRUCTION OPERATIONS AND THE SUBJECT TO THE OPEN ADDRESS AND A

COVERING SIGNS THE CONTRACTOR SHALL COVER ALL EXISTING SIGNS THAT CONFLICT WITH MAINTENANCE OF TRAFFIC SIGNS. COVERING OF SIGNS SHALL BE IN ACCORDANCE WITH 614.05. COSTS FOR COVERING SIGNS SHALL BE INCLUDED IN ITEM 614 - MAINTAINING TRAFFIC, AS PER PLAN.

CONFLICTING MARCHINGS THE CONTRACTOR SWALL PROR TO PLACING TEMPORARY MARKINGS, REMOVE ALL EXISTING CONFLICTING MARKINGS WISHEE TO THE TRAVELING PUBLIC DURING DAVIGHT OR NIGHTTIME HOURS IN ACCORDANCE WITH 641.10. THE COST FOR REMOVAL OF CONFLICTING MARKINGS SHALL BE INDEDITAL TO ITEM 641, MARKINGNIG TRAVEL, SE PER PLAN.

EXISTING TRAFFIC SIGN MAINTENANCE SPECIAL CARE SHALL BE TAKEN TO MAINTAIN EXISTING STREET NAME SIGNS AND STOP SIGNS. IF NECESSARY, THE CONTRACTOR SHALL RELOCATE THESE SIGNS OUT OF THE WAY OF CONSTRUCTION, BUT IN CONFORMANCE WITH OMUTCD.

CONSIGNITION WITH THE COLUMBLE PAYING THE WAY PROCEAM (CTWP) THE CONTRUCTOR SALL NOTIFY THE EXAMERE IN WHITE OF ALL THAFTC RESTRICTORS AND UPCOMING MANTEMAKE OF TRAFTC CHANCES ON A WEEKY BASS, WHEN DETOURS ARE PLANEED, THE NOTIFICATION SHALL BE AT THE PRE-CONSTRUCTION WEETING OR 30 DAYS AN ADVANCE OVER CONSTRUCTION WAS BECINI. LINE AND RAMP COLSURES OF LESS THAN TWO WEEKS DIFACTION AND ONG THAN TWO DAYS SHALL BE REPORTED AT LEAST 3 WORKING DAYS IN ADVANCE. FOR SHORT-TERM LANE OR RAMP CLOSURES (TWO DAYS OR LESS) NOTIFICATION SHALL BE MADE AT LEAST DUE DAY IN ADVANCE.

INFORMATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL CONSTRUCTION ACTIVITES THAT IMPACT TRAFFIC AT PRESENT AND IN THE NEXT 30 DAYS. THE REPORT FORMAT SHALL BE APPROVED BY THE ENGINEER OR ONE SUPPLIED BY THE FITMP, THE CONTACTOR SHALL DESIGNATE AN INDIVIDUAL AT THE PRE-CONSTRUCTION MEETING WHO WILL BE RESPONSIBLE FOR PREVARATION OF THIS REPORT.

ANY UNFORESEEN IMPACT TO TRAFFIC SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE. THE ENGINEER WILL PROVIDE THIS INFORMATION TO THE PIWE ALL CONSTUCTION ACTIVITIES THAT INTERFERE WITH TRAFFIC SHALL BE REPORTED TO THE FORMAT (614) 645-733. OR (614) 645-7616.

SIGNS, BARRICADES, AND VERTICAL PANELS ALL CONSTRUCTION SIGNS, BARRICADES, VERTICAL PANELS, AND DRUMS SHALL CONFORM TO OMUTCD AND THE LATEST REVISION OF THE ODDT CONSTRUCTION AND MATERIAL SECONCATIONS.

ALL CONSTRUCTION SIGNAGE SHALL BE INSTALLED AND COVERED BEFORE CONSTRUCTION BEGINS. AFTER CONSTRUCTION SIGN INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER THREE WORKING DAYS BEFORE WORK BEGINS AND REQUEST AN INSPECTION OF ALL SIGNAGE.

FACES OF CONSTRUCTION SIGNS AND REFLECTIVE SHEETING ON BARRICADES SHALL BE TYPE "H" (MP). ALL ORANGE CONSTRUCTION SIGNS SHALL BE FLUDRESCENT ORANGE. ALL SHEETING WILL BE TESTED FOR REFLECTIVITY PER DOOT 730.192. VERTICAL PANES AND DEMIN BANDS SHALL BE REFLECTOREZE UNIT HYPE "O" (MPNI INTENSIT) SHEETING COMPLYING WITH HE REQUIREMENTS OF 730.19. ALL SIGNS AND DEARCONSES, VERTICAL PANES. AND DRIVES "UNIT SHEETING SHEETING COMPLYING WITH HE REQUIREMENTS OF 730.19. ALL SIGNS AND DEARCONSES, VERTICAL PANES. AND DRIVES "UNIT SHEETING SHEETING COMPLYING WITH HE REQUIREMENTS OF 730.19. ALL SIGNS AND DEARCONSES, VERTICAL DRIVES", AND DRIVES "UNIT SHEETING SHEETING COMPLYING WITH HE REQUIREMENTS OF 730.19. ALL SIGNS AND DEARCONSES, VERTICAL DRIVES", AND DRIVES "UNIT SHEETING SHEETING COMPLYING WITH HE REQUIREMENTS OF 730.19. ALL SIGNS AND DEARCONSES, VERTICAL DRIVES", AND DRIVES "UNIT SHEETING SHEETING COMPLYING WITH "CONTROL DRIVES" FOR TEMPORARY TRAFFIC CONTROL DRIVES", AND DRIVES "UNIT SHEETING THAT SHEETING COMPLYING WITH "CONTROL DRIVES" FOR TEMPORARY TRAFFIC CONTROL

IF THE

THESE PROVISIONS SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR OF ANY OF HIS LEGAL RESPONSIBILITIES OR LIABILITIES FOR THE SAFETY OF THE PUBLIC.

ALL BARRICADES AT CLOSURES SHALL HAVE YELLOW TYPE "C" STEADY BURN LIGHTS. ALL BARRELS IN TAPERS SHALL HAVE YELLOW TYPE "C" STEADY BURN LIGHTS.

ALL ADVANCE SIGNING SHALL BE EQUIPPED WITH TYPE "A" FLASHING LIGHTS AND (2) ORANGE FLAGS (24"X24"). LIGHTS ARE NOT REQUIRED ON SIGNS IN PLACE DURING DAYLIGHT HOURS.

CONES ARE NOT APPROVED FOR USE AT NIGHT.

DRUMS SHALL BE PLACED AS FOLLOWS: 25 C/C ON TANGENTS, 10 C/C ON TAPERS, AND 8 C/C IN RADI.

FLAGGER TYPICAL TRAFFIC SHALL BE MAINTAINED ALONG RINGS ROAD AT CHURCHMAN ROAD, AND ALONG MARIMON DRIVE AT EDEN BRIDGE DRIVE PER ODDT STANDARD CONSTRUCTION DRAWING MT-97-10.

PAYMENT PAYMENT FOR ALL MATERIALS AND LABOR RELATED TO MAINTAINING TRAFFIC SHALL BE INCIDENTAL TO ITEM 614, MAINTAINING TRAFFIC, AS PER PLAN, UNLESS SEPARATELY ITEMIZED WITHIN,

4/12

RES

CITYOPTOHILAR NEWAXILS COUNT, OHIO CC STREET, STORM & WATER IMPROVEMENTS A VOND ALE WOODS SECTION 1 R COORDINATE TABLES & MOT NOTES

FINAL SITE COMPLIANCE

PUBLIC S

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Evant. M Bitting

May 12, 2016

As Noted

2014-1890

SCALE

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Surveyors -Boan, Road. 76,4600

PRELIMINARY PLAN SET DATE

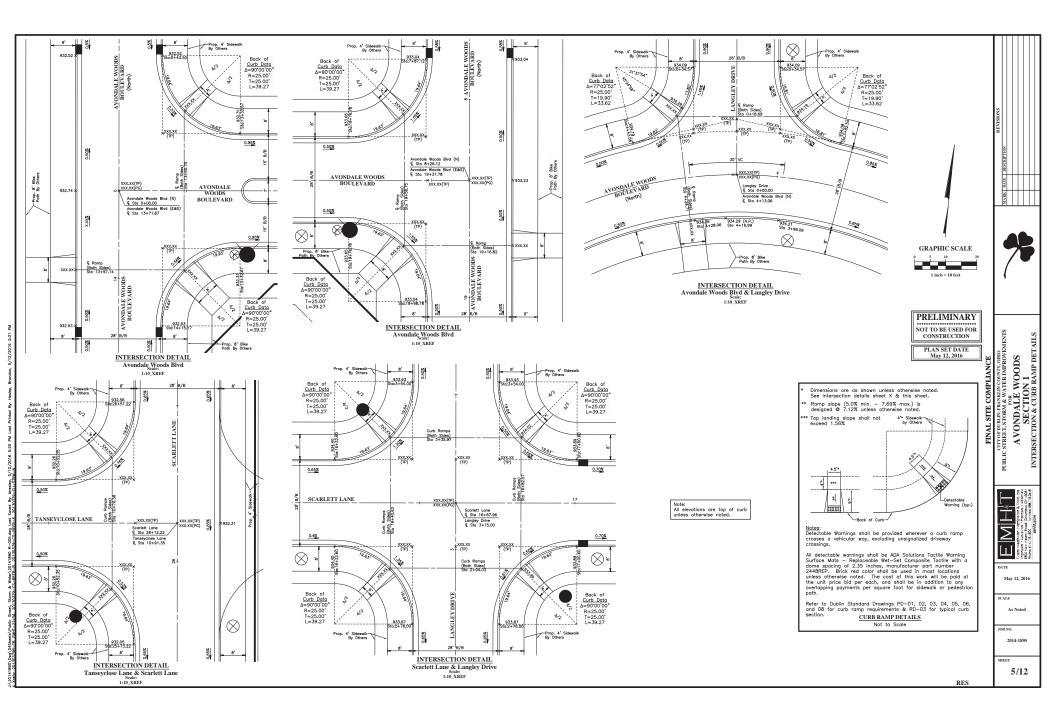
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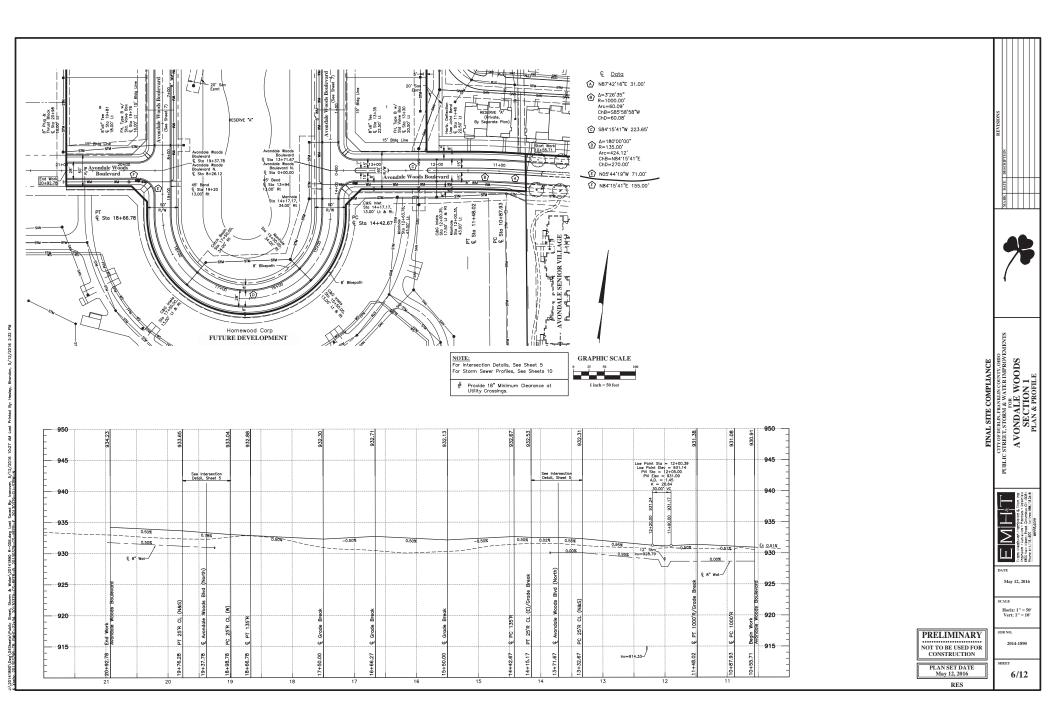
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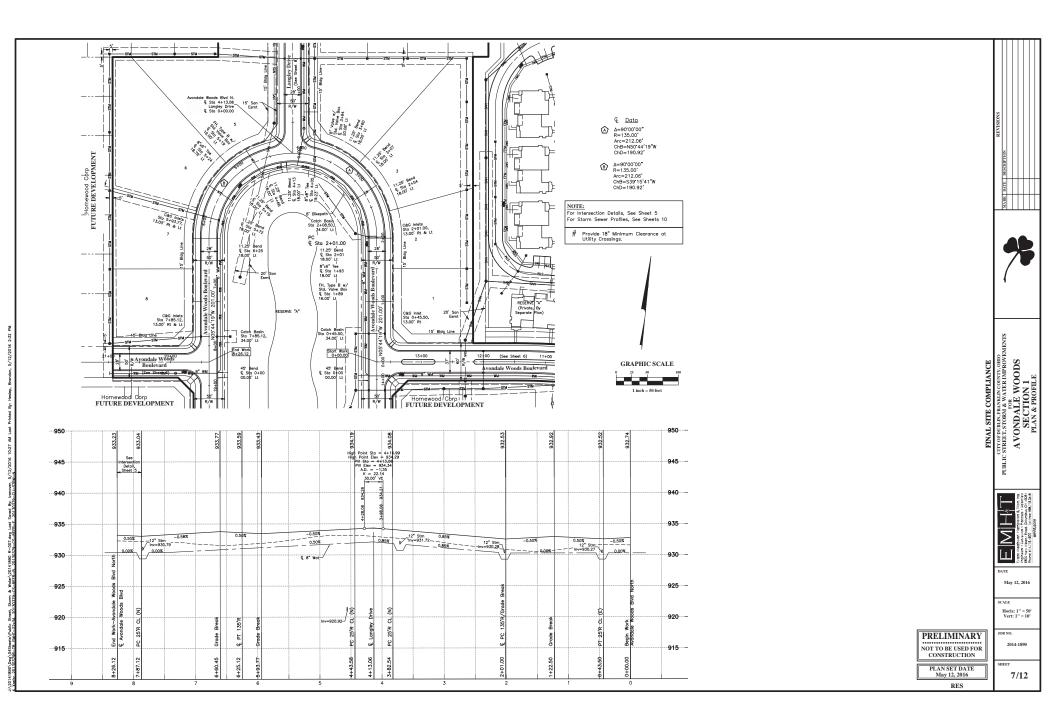
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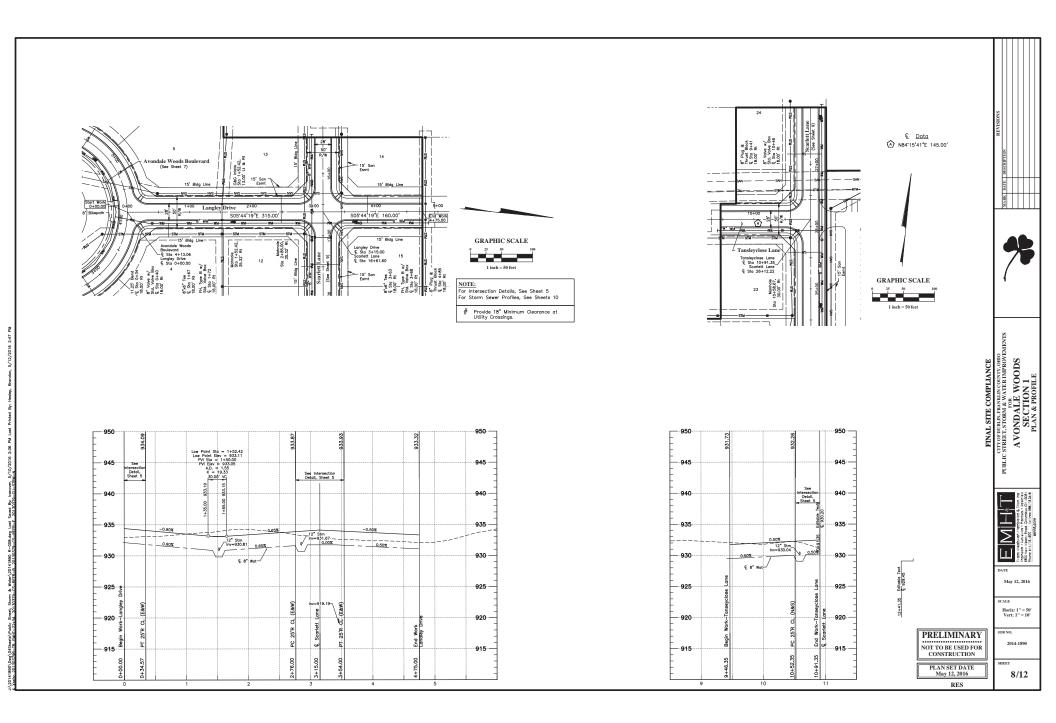
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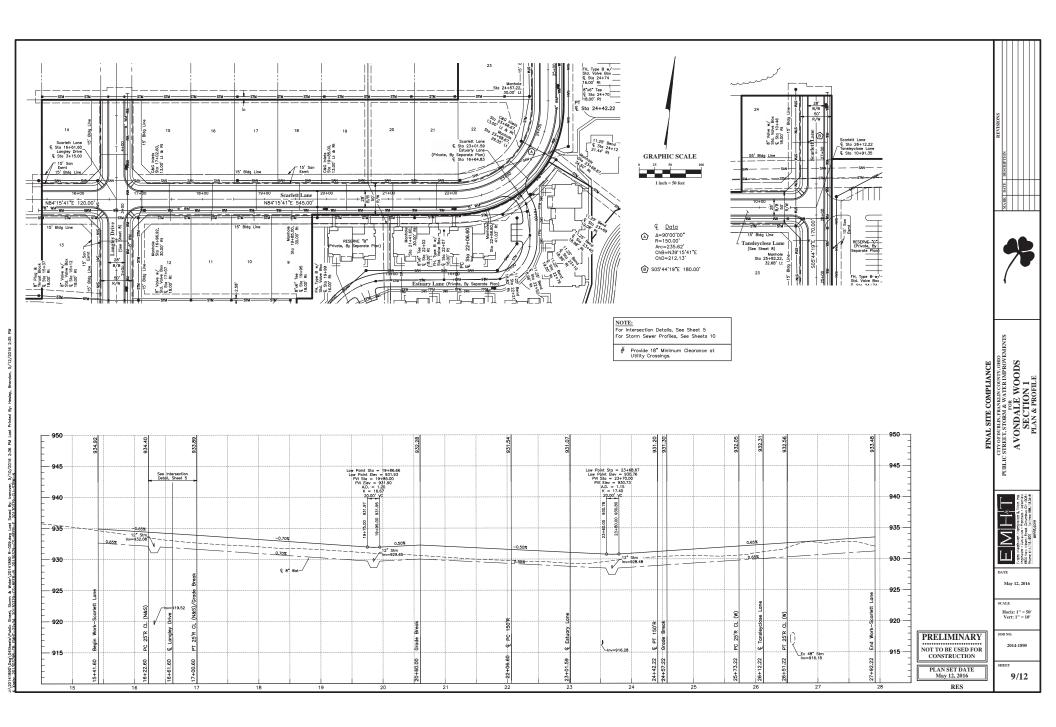
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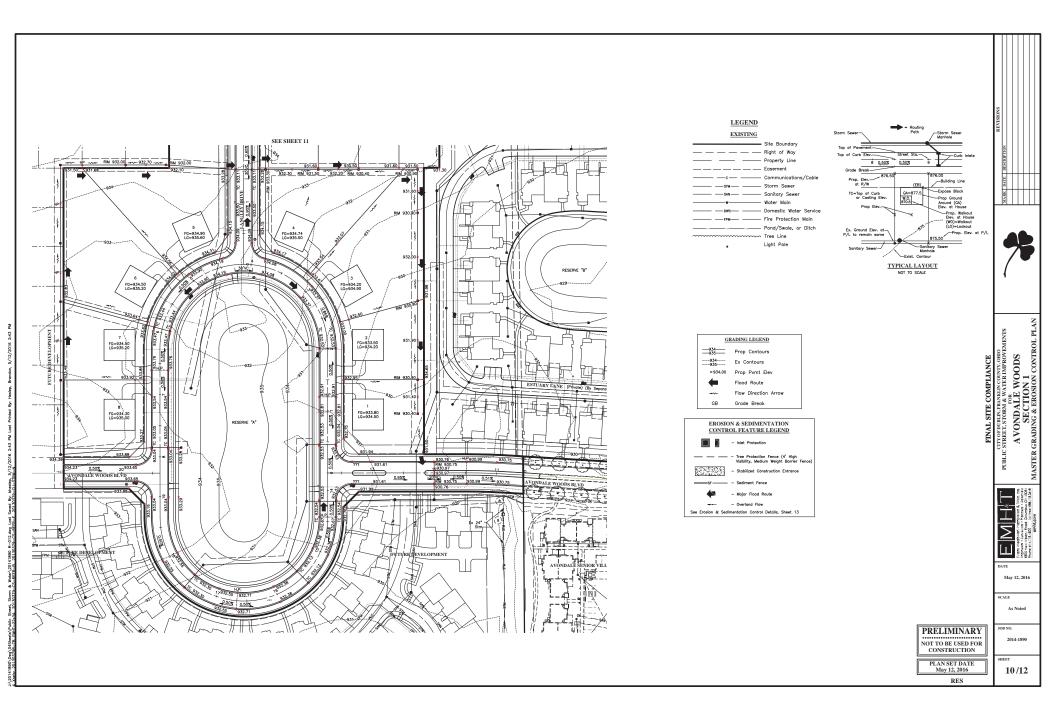


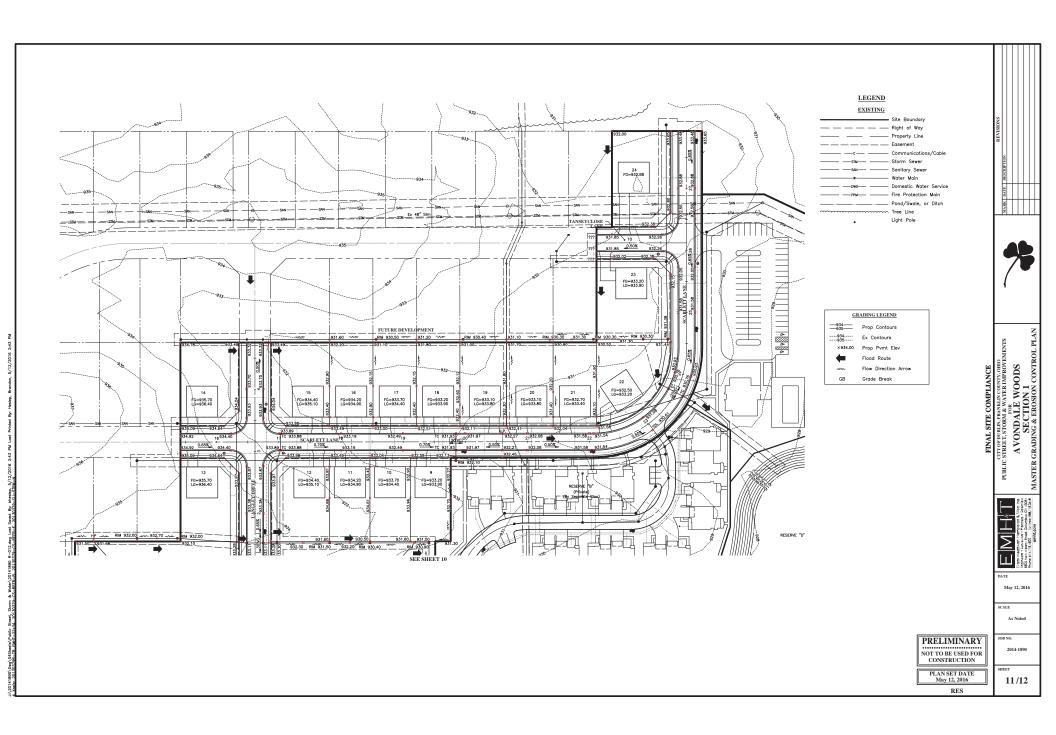


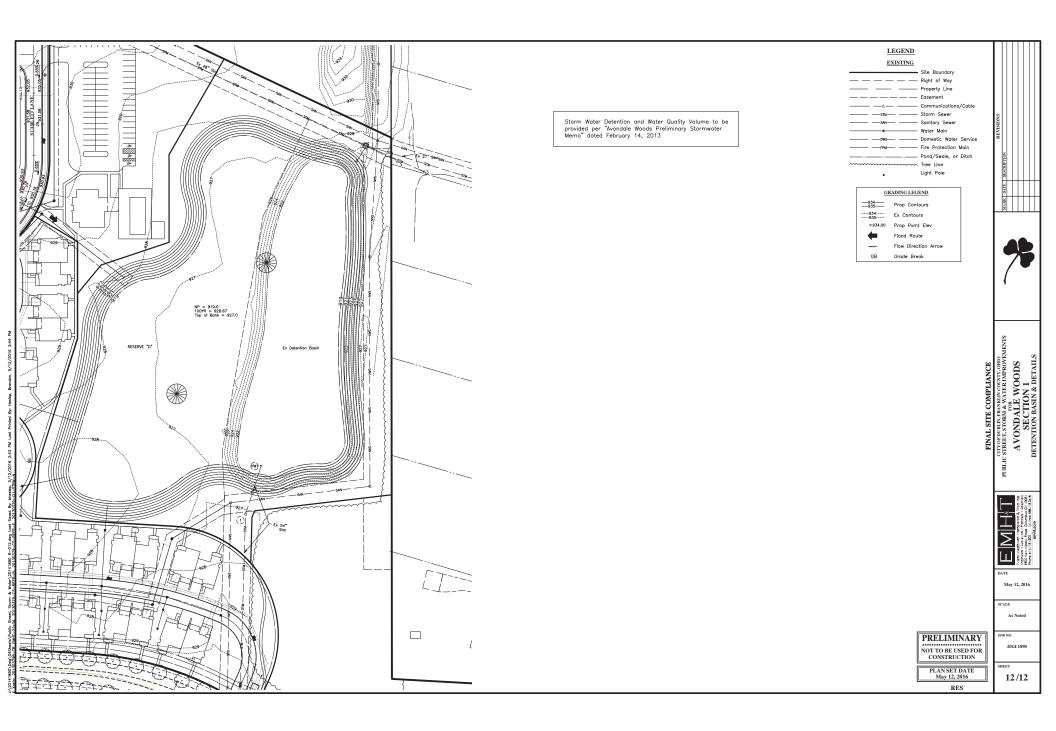


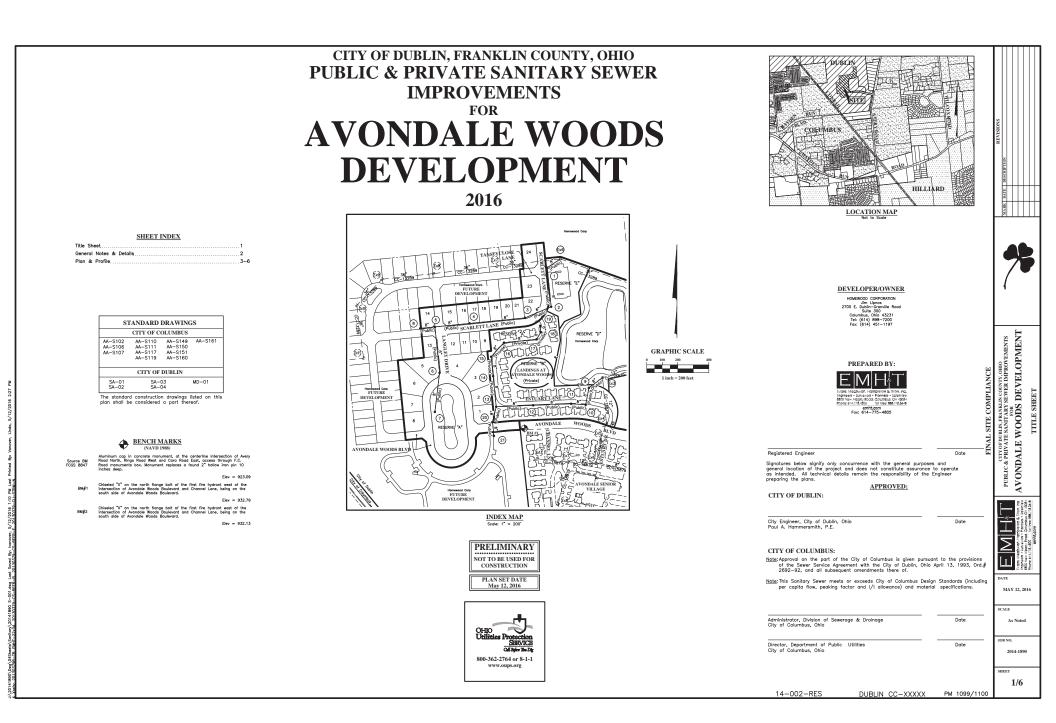












GENERAL NOTES

- City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to specifications, can be reacted and subplements there of the date for the date of the date
- Contract real model and the responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for addrey on the work wille, or for failure by the Contractor to perform work according to contract documents.
- 3. The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Ohio FPA Permits to Install (PTI) and Notices of Intent (NOI), Building Permits, etc.
- The Contractor shall notify the City of Dublin Division of Engineering in writing at least 3 working days prior to beginning construction.
- 5. The Contractor shall be solely responsible for complying with all federal, state and local sofety requirements including the Occupational Sofety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons Ine contractor shall exercise preculuan always for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all sofety requirements, precoutions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
- spaces per 29 CFR 1910-140. Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the Division of Engineering that documents far-solit" devotions, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who seeked the constructions drawings.
- . The Contractor shall restrict construction activity to public right—of—way and areas defined as permanent and/or temporary construction easements, unless otherwise authorized by the City Engineer.
- The Contractor shall carefully preserve bench marks, property corners, referen points, stakes and other survey reference monuments or markers. In cases o or careless destruction, the Contractor shall be responsible for restorations. Resetting of markers shall be performed by an Ohio Professional Surveyor as and I feed approved by the City Engineer
- Non-rubber tired vehicles shall not be moved on or across public streets or highways without the written permission of the City Engineer.
- 0. The Contractor shall restore all disturbed areas to eaual or better condition than existed before construction. Drainage ditches or water courses that are disturbed by construction shall be restored to the grades and cross-sections that existed before construction
- Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited according to Section 97.35 of the Dublin Contractor at how cost to the CUy. If the Contractor fails to remove sold mud, dirt, debris, or spillage, the CUy reserves the right to remove these materials and clean affected arross, the cost of which shall be the responsibility of the Contractor. Disposal of excess excavation within Special Flood Hazard Areas (100-year
- floodplain) is not permitted.

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- 13. All signs, landscoping, structures or other appurtenances within right-of-way disturbed or duraged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of satisfaction of the Contractor.
- 14. All field tile broken or encountered during excavation shall be replaced or repaired and connected to the public storm sever system as directed by the City Engineer The cost of this work shall be the responsibility of the Contractor.
- All precast concrete products shall be inspected at the location of manufacture An prevear concrete products shan be impacted of the focusion of intrinduction Approved precast concrete products will be stamped or have such identification noting that inspection has been conducted by the City of Columbus. Precast concrete products without proof of inspection shall not be approved for installation
- Concern produce produce proof in a dispectant and the composed of an additional proof of the additional provides and the provide provi may be used elsewhere.
- The Contractor shall submit a copy of the approved construction drawings and a list of proposed precast concrete product manufacturers to the City of Columbus Construction inspection Division before commencing construction.
- Send the information to the following address: Construction Inspection Division

City of Columbus 1800 East 17th Avenue Columbus, Ohio 43219

Send a copy of the transmittal letter to the following address: Division of Engineering City of Dublin 5800 Shier Rings Road Dublin, Ohio 43016

- All trenches within public right-of-way shall be backfilled according to the appr construction drawings or securely ploted during nonworking hours. Frenches outs these areas shall be backfilled or shall be protected by approved temporary fen or barricades during nonworking hours. Clean-up shall follow closely behind the trenching operation.
- trenching operation. All trees with the construction area not specifically designated for removal shall be preserved, whether shown or not shown on the approved construction drawings. Trees to be preserved shall be protected with high visibility fending placed or minimum 15 feet from the tree trunk. Trees 6 -inches or greater at DBH (Diamete Preset Height) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater. Trees not indicated on the approved construction organings for removal may not be removed without plan or ground of the Division of drawings Engineeri
- Engineering. Conduit must be directionally bored across streets instead of open cut, unless specifically approved by the City Engineer. Use of pneumatic air rom devices is an permitted. Permitte to construct in the right-of-way of existing streets must be obtained from the City of Dubin Division of Engineering before commencing constructions. Should again cuting of existing powerants be permitted. Controled Decorring to them 613 of the Standard Specifications. Decorring them with the standard Specifications are table to be account of the other between the permitted and the standard Specifications.
- The Contractor shall be reported a prelocation of trenches within the right-of-way and public assements for a period of one year from the final acceptance of the work, and shall make any necessary repairs at no cost to the City.
- Lity. 2. Povements shall be cut in next, straight lines the full depth of the existing povement, or adregative type of the strain of the strain term of the strain of Dubins termination of the strain of the strain of the strain of the povement, strain of the strain of

- 23. Tree trimming within the construction zone is to be completed by a certified Arborist. At the completion of the project the Arborist is to return and trim any broken branches as needed.
- 24. Any modification to the work shown on drawings must have prior written approval the City Engineer, City of Dublin
- 25. All inlets shall be channelized.
- An innets shall be fine-graded and seeded with the following mixture: Improved Kentucky Bluegross, 40% of weight (2 varieties in equal parts) Improved Versinia Rye, 60% of weight (2 varieties in equal parts) Germination Rate: 55%
 - Application Rate: 70% Parks & Recreation, City of Dublin, Ohio.
- Traffic control and other regulatory signs shall be Type S with a square post anchor base installation and meet all requirements of ODOT TC-41.20 and applicable City of Dublin specifications.
- 20.00min systemications. 28. Street signs shall meet all City of Dublin specifications with lettering colored in white displayed over a brown background. Sign tubing shall be brown in color and conform with the Type S, square post anchor base installation requirements of ODOT TC-41.20.

UTILITIES

	2	
he	following utilities are known to be locate Columbia Gas of Ohio Attn. Tammy Schmid 200 Civic Center Dr., 4th Floor Columbus, Ohio 43215 1-800-440-6111	ad within the limits of this project: City of Columbus Division of Power and Water 910 Dublin Road, 2nd Floor Columbus, Ohio 43215 (614) 645-7788
	American Electric Power Robin Hand Engineering Lioison Coordinator 850 Tech Center Drive Gahanna, Ohio 43230–6605 (614) 883–6829	Ohio Edison Gary Smith 1040 South Prospect Street Marion, Ohio 43302 (740) 382-7104 Verizon
	City of Dublin Division of Engineering 5800 Shier Rings Road Dublin, Ohio 43016 (614) 410–4600	Bill Muether / Randy Brooks 550 Leader Street Marion, Ohio 43302 (740) 383-0527 Wide Open West
	Time Warner Cable Kevin Rich 1266 Dublin Road Columbus, Ohio 43215 (614) 481–5263	Ken Hölderfield Engineering Manager 3675 Corporate Drive Columbus, Ohio 43231 (614) 236–3922
he	Contractor shall give notice of intent to	construct to Ohio Utilities Protect

Protection The Contractor shall give notice of intent to construct to Unio Utilities Protection Service (telephone number 600-350-2764), Producer's Underground Protection Service (telephone number 614-587-0486), and to owners of underground utilities that are not members of a registered underground protection service. Notice shall be given at least 2 working days before start of construction.

- 3. The identity and locations of existing underground utilities in the construction area The identity and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the owner of the underground utility. The City of Dublin and the City Engineer assumes no responsibility for the accuracy or depths of underground facilities show on the approved construction drawings. If damage is acused, the Contractor shall responsible for repoir of the same and for any resulting contingent damage.
- Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction shall be the responsibility of the Contractor.
- When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.
- Public street lighting may be in the vicinity of this project. Contact the City of Dublin, Division of Engineering at 410-4637, two days prior to beginning work. TRAFFIC CONTROL
- - Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Ohio Manual of Uniform Traffic Control Devices (OMUTCD), current edition.
 - current cention. All traffic lines of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the CRV by the CRV to the traffic of the traffic on traffic on traffic ontrol is in effect. Policy Environment, of the required as the region of the traffic ontrol is in effect. Policy Environment, of the required as the region of the traffic ontrol is in effect. Policy Environment, of the required as the region of the traffic ontrol is in effect. Policy Environment, of the required as the region of the traffic ontrol is in effect. Policy Engineer. 2
 - If the City Engineer determines proper provisions for traffic control are not being provided by the Contractor, the City Engineer shall assign uniformed, off-duty police officers to the project of no cost to the City.
 - Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
 - similar traffic control devices in use at night. A Access from public roadways to all adjoining properties for existing residents or businesses shall be mointained throughout the duration of the project for mail, public water and sonitary sever service, and emergency whiles. The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details contained herein. The traffic control plan proposed by the Contractor must be approved by the City Engineer plor to construction.
 - EROSION AND SEDIMENT CONTROL
 - Sediment Control Plan contained in Links at Ballantrea Please reference Erosion and S Street, Storm, and Water Plan.
 - Street, Storm, and Water Plan. 1. The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be redweed and approved by the Ohio EPA. The NOI must be submitted to CEPA 45 does prior to the start of Construction and may entitile coverage under the Ohio May and the Start of Construction of the Start of Construction A project location may must be submitted with the NOI. A sediment and erosion control plan must be submitted to the City Engineer for approval if a sediment and erosing construction and erosion the project location control plan has not afreed on the project location the other EPA. Then downing, This plan must be submitted with the opported if a downing the other EPA. Then the other erosis of the other eroses and the other EPA. Then arowings, this pion must be made doublide at the project site at an unters, the design of erosion control systems shall follow the requirements of Ohio EPA, Item 207 of Ohio Department of Transportation Standard Specifications, and the City Engineer. An Individual NPDES Stormwater Discharge Permit may be required. The Contractor shall be considered the permittee.
 - The Contractor shall provide sediment control at all points where storm water runoff leaves the project, including waterways, overland sheet flow, and storm sewers as shown on Links at Ballantrea street plans.
 - Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt filter fence, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.
 - The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.

5. Disturbed areas that will remain unworked for 30 days or more shall be seeded or protected within seven calendar days of the disturbance. Other sediment controls that are installed shall be maintained until vegatotive growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before growth of permanent devices at tr ground cover

BLASTING

District The Contractor must obtain a blasting permit from Washington Township Fire Department prior to blasting for rack excavation. The Contractor shall submit blasting reports upon completion of blasting to the City Engineer, the Owner, and the Owner's engineer. Top of rack elevations shall be shown on "as-built".

SANITARY SEWERS

Connections to the sanitary sever will be permitted upon receiving an OEPA Permit to Install (PfI), and upon receiving a satisfactory letter from the design engineer stating that the project has been constructed as per the planes, and all of the conditions of the PfI have been met. The developer is responsible for obtaining all required Ohb EPA approvals and polying review fees. 2. Sanitary sewage collection systems shall be constructed in accordance with the

rules, regulations, standards and specifications of the City of Dublin, Ohio EPA, Ohio Department of Health and the current edition of Ten States – Recommended Standards for Sewage Works.

Standards for Sewage Works. The minimum requirements for sanitary sever pipes with diameters 15 inch and smaller shall be reinforced concrete pipe ASIM C76 Class 3, or PVC sever pipe ASIM D303, SB S, Pipe for 6 inch diameter house service lines shall be PVC pipe ASIM D3034, SDR 35, PVC op ich shall not be used at depths greater than 28 feet. Pipe naterials and related structures shall be endo tested in accordance with City of Columbus Construction Inspection Division quality control requirements. Provide pipe joints conforming to the requirements of ASIM D 221 for PVC pipe material

- 4. The minimum requirements for sonitary sever pipes with diameters greater than inch shall be reinforced concrete pipe ASTM C76 with Class designation specifies the approved construction drawings. Provide pipe joints conforming to the requirements of ASTM D 3212 for PVC pipe material.
- All in-line wye and tee connections in concrete sewers, 18 inch diameter and larger, shall be either Kor-N-Tee or Kor-N-Seal connections conforming to the manufacturer's recommendations.
- Granular backfill shall be compacted granular material according to Item 912 of the Standard Specifications or Controlled Density Backfill according to Item 613, Type III of the Standard Specifications as directed by the City Engineer.
- or the standard specindations as arectae by the City Lingmeer. A Ill manhole tilds shall be provided with continuous self-sealing gaskets. The approved construction drawings shall show where bolt-down lids are required. Sanitary sever manholds shall be precast concrete or as approved by the City Engineer and conform to the City of Dublin sonitary manhole standard drawing. Manhole lids shall include City of Dublin (sonitary)
- All PVC sever pipes shall be deflection tested no less than 60 days after completion of backfilling operations. All other requirements shall be according to item 901.21 of the Standard Specifications.
- 9. Temporary bulkheads shall be placed in pipes at locations shown on the approved construction drawings and shall remain in place until the Permit to Install (PTI) he been issued by the OEPA and the sewers have been approved for use by the City (PTI) has Engineer. The cost for furnishing, installing, maintaining, and removing bulkheads shall be included in the contract unit bid price for the various sanitary sewer items.

10. All sanitary sewers including sanitary sewer service lines shall be subjected to and pess infiltration or extiltration tests according to Item 901 of the Standard Specifications and must be approved for use by the City Engineer before any service connections are tapped into severs.

- For sanitary sever infiltration, leakage through joints shall not exceed 100 gallons per inch of tributary sever diameter per 24 hours per mile of length or the computed equivalent. All sanitary severs shall be tested.
- 12. At the determination of the City Engineer, the Contractor may be required to perform a TV inspection of the sanitary sever system prior to final acceptant the City. This work shall be completed by the Contractor at his expense.
- Visable leaks or other defects observed or discovered during TV inspection shall be repaired to the satisfaction of the Engineer.
- Roof drains, foundation drains, field tile or other clean water connections to the sanitary sever system are strictly prohibited according to Section 51.23 of the Dublin Code of Ordinances.

Count could be oblighted as the beacted at least 10 feet harizontally and 18 inches vertically, from sonitary severs and storm severs, to the greatest extent practicable. Where sanitary severs a cross area ranks are severs are utilities, there has backfill shall be placed between the pipes crossing and shall be compacted granular material according to Item 912, of the Standard Specifications. In the event that a, water line severs are the severt of the seve must cross within 18 inches of a sanitary sever, the sanitary sever shall be concrete encased or consist of ductile iron pipe material.

16. Service risers shall be installed where the depth from wyes to proposed ground elevation exceeds 10 feet unless otherwise noted. Tops of risers shall be no less than 9 feet below proposed ground elevation if besement service is intended.

17. Where service risers are not installed, a minimum 5-foot length of sanitary sewer service pipe of the same size as the wye opening shall be installed.

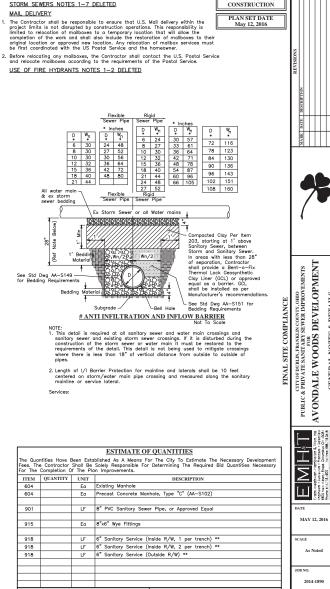
are top pipe of the same size of any size of the si

19. Existing sonitary sewer flows shall be maintained at all times. Costs for pumping and bypassing shall be included in the Contractor's unit price bid for the relatitens.

20 The Contractor shall furnish all material, equipment, and labor to make connections The Contractor shall furnish all material, explorent, and labor to make connections to existing manholes. The sever pipe to manhole connot constant of an anni to a single shall be early cored. The sever pipe borm of the springle shall not extra the springle shall not extra the none than 1 inch beyond the inside face of the manhole. To maintain flexibility in the connection, a 1-inch space shall be left springle shall be early be borned by the springle shall be early be borned to the pipe inside the analytic state channels channels. The severe the springle shall be filled with a waterproof flexible pint filler. Any metal that is used following types. Severe Statemets Steel, the connection may be any of the following types. Severe Statemet with stainels steel bonding. The Severe samanfactured by hiterpace Corporation. 3) Or equal as approved by the City Environment.

- 3) Or equal as approved by the City Engineer.
- Aubber gasket compression.

 1) Press Wedge II as manufactured by Press-Seal Gasket Corporation.
- Dura Seal III as manufactured by Dura Tech, Inc.
 Link-Seal as manufactured by Thunderline Corporation.
- 4) Or equal as approved by the City Engineer
- The cost for this work along with a new channelized base for the manhole shall be included in the unit bid price for the related items of work.



PRELIMINARY

NOT TO BE USED FOR

& DETAILS

NOTES

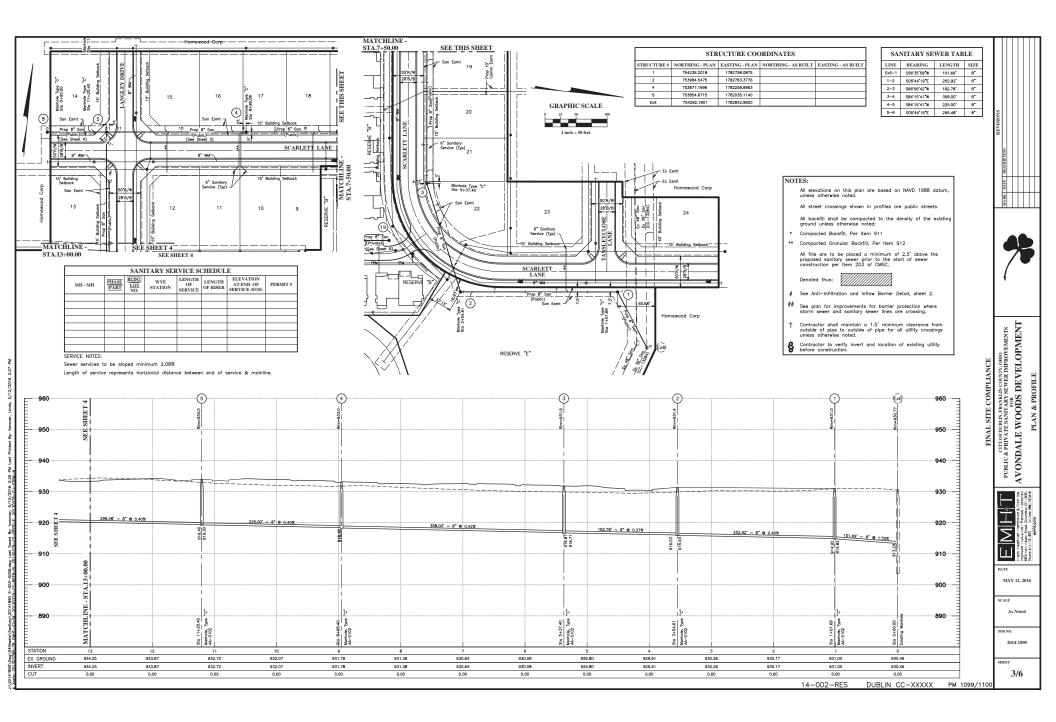
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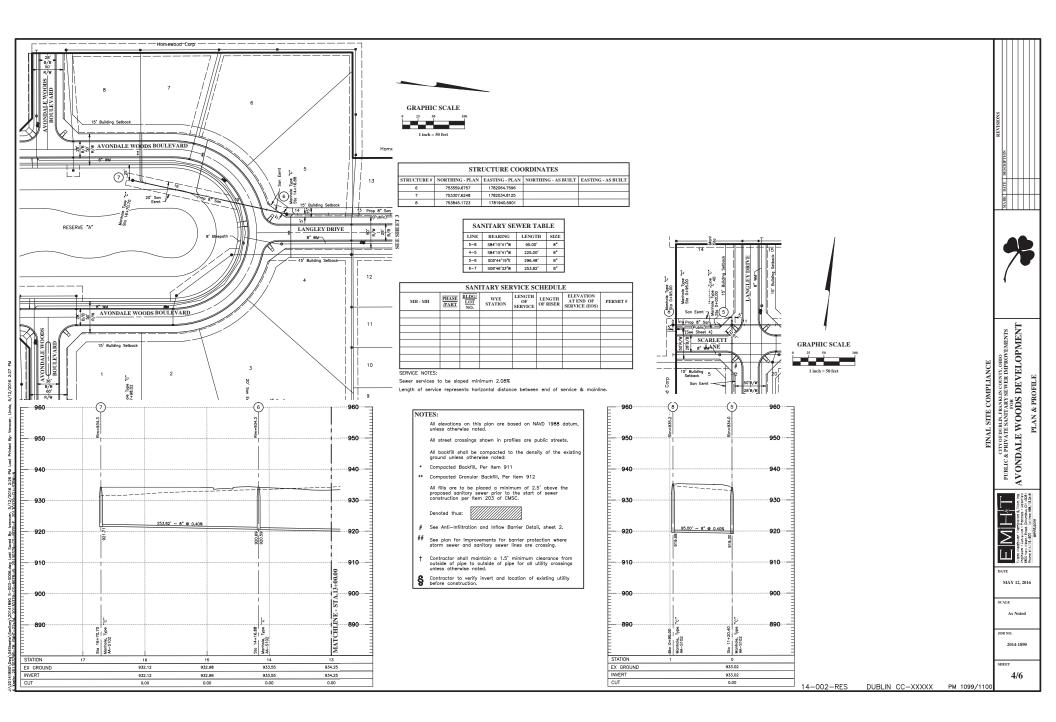
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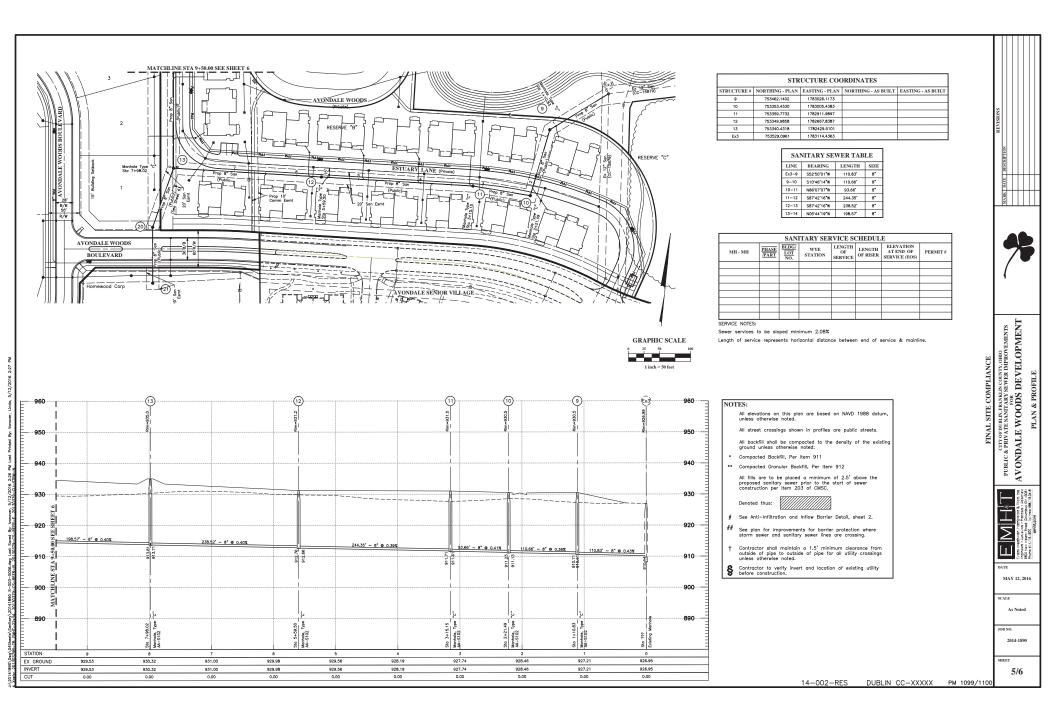
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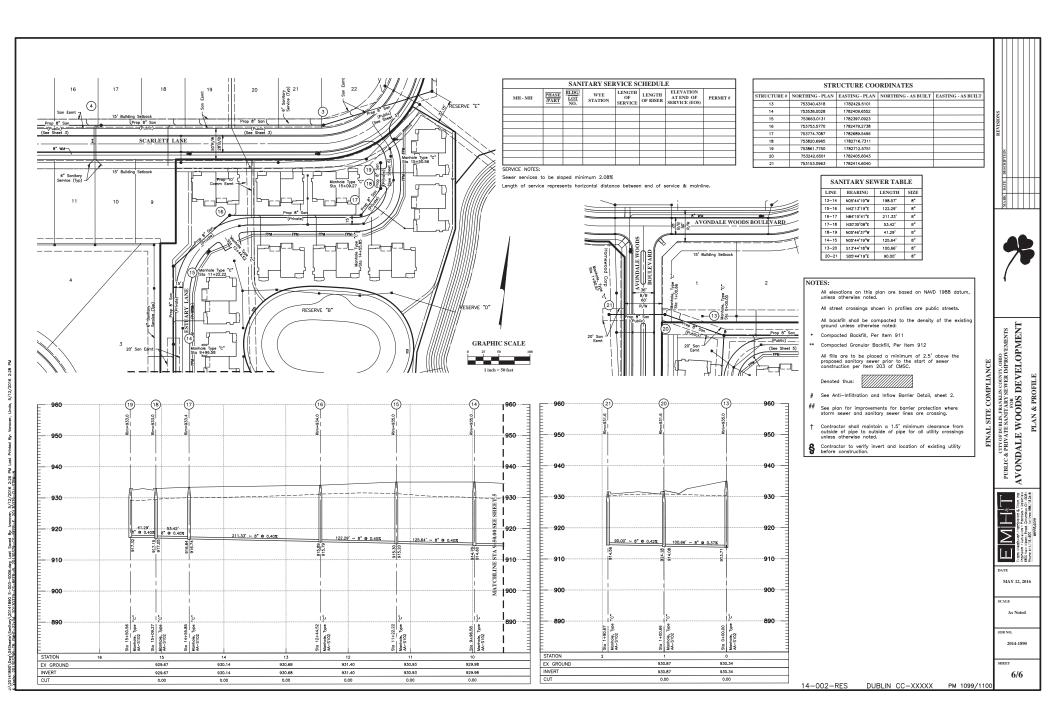
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- ** Quantity listed represents actual length of service required not trench length 14-002-RES DUBLIN CC-XXXXX
 - PM 1099/110

WATER LINE NOTES 1-17 DELETED STORM SEWERS NOTES 1-7 DELETED









LANDINGS AT AVONDALE WOODS

Situated in the State of Ohio, County of Franklin, City of Dublin and in Virginia Military Survey Numbers 3012 and 3433, containing 19.349 acres of land, more or less, said 19.349 acres being part of those tracts of land conveyed to HOMEWOOD CORPORATION by deed of record in Official Record 23250A17, Recorder's Office, Franklin County, Ohio.

The undersigned, HOMEWOOD CORPORATION, an Ohio corporation, by JIME, LIPNOS, President, owner of the lands platted herein, duly autherized in the premises does hereby certify that this platted correctly represents its "LANDING AT AVONDALE WOODS", a subdivision containing areas designated as Reserve "A", Reserve "B" Reserve "C" and Reserve "E" and serve Teyl accept this plat of same.

The undersigned further agrees that any use or improvements on this land shall be in conformity with all existing valid zoning, platting, health or other lawful rules and regulations, including applicable of larteet parking and loading requirements of the City of Dublin, Ohio, for the benefit of itself and all other subsequent owners or assigns taking title from, under or through the undersigned.

from, under or through the undersigned. Easement's are hereby reserved in, over and under areas designated on this plut as Therment', "Stavalk Easement" or "Drainage Easement". Each of the aforementioned quais public utilities above, beneath, and on the surface of the ground and, where necessary, are for the construction, operation, and maintennee of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional casement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales or other obstructions to the flow of storm water drainage swales or other obstructions to the flow of storm water areas resting lands, swaled by undersigned and casements are hereby reserved therein for the uses and purposes expressed herein. Whin howes areas designed "Sustemat" Reservent" on this plat, an additional experiment areas as delineated on this plat unless approved by the Dublin City Engineer. Easement areas shown hereon outside of the platted area are within lands sound by the public. Easement areas shown hereon outside of the platted area are within and and assements are hereby reserved therein for the uses and purposes expressed herein. Sustematical store water areas and and assement areas as a defined areas are barenet areas as a defined areas are barenet areas and assement areas as a defined areas areas shown hereon outside of the platted area are within hands owned by the undersigned and easements are hereby reserved therein for the uses and purposes expressed herein.

In Witness Whereof, JIM LIPNOS, President of HOMEWOOD CORPORATION, an Ohio corporation, has hereunto set his hand this _____ day of _____, 20___.

Signed and Acknowledged In the presence of:	HOMEWOOD CORPORATION

By JIM LIPNOS, President

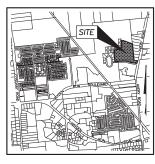
STATE OF OHIO COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared JIM LIPNOS, President of HOMEWOOD CORPORATION, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said HOMEWOOD CORPORATION, for the uses and purposes expressed herein.

In Witness Thereof, I have hereunto set my hand and affixed my official seal this _____day of ______.20___.

My commission expires ______ Notary Public, State of Ohio

Approved this Day of 20	Director of Land Use and Long Range Planning,
	Dublin, Ohio
Approved this Day of 20	City Engineer, Dublin, Ohio
Approved this day of Dublin, Ohio.	, 20, by vote of Council of the City of
In Witness Thereof I have hereunto set my hand and affixed my seal this day of, 20	Clerk of Council, Dublin, Ohio
Transferred this day of, 20	Auditor, Franklin County, Ohio
	Deputy Auditor, Franklin County, Ohio
Filed for record thisday of, 20atM. Fee \$	Recorder, Franklin County, Ohio
File No	
Recorded this day of, 20,	Deputy Recorder, Franklin County, Ohio
Plat Book, Pages	



1

2

LOCATION MAP AND BACKGROUND DRAWING

SURVEY DATA:

BASIS OF BEARINGS: The bearings shown hereon are based on the Ohio State Plane Coordinate System (South Zone) as per NAD83, Control for bearings was from coordinates of Momunents FCGS 8876 and FCGS 2221, having a bearing of North 83*3297 East between said momunents, schübliched by the Franklin County Engineering Department, using Global Positioning System procedures and equipment.

SOURCE OF DATA: The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder' Office, Franklin County, Ohio.

IRON PINS: Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pipes, thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

PERMANENT MARKERS: Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid irron pins, Pins are to be set to monument the points indicated, and set with the top end flush with the surface of the ground and then capped with an adminimu cap stamped EMHT INC. Once installed, the top of the cap shall be marked quanched to record the actual becaute of the point.





We do hereby cartify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

o = Iron Pin (See Survey Data) • = MAG Nail to be set @ = Permanent Marker (See Survey Data)

By _____ Professional Surveyor No. 7865

Date

LANDINGS AT AVONDALE WOODS 20141890



NOTE "A": The purpose of this plat is to show certain property, rights of way, and casement boundaries as of the time of plating. At the request of zoning and planning authorities and requirements of the zoning code in effect on the date of requirements may change from time to time and should be reviewed to determine the then current applicable uses development limitations of the zoning code as adopted by the zoning code shall have complex power continuing in the applicable and the source of the source of the source and the source of the source of the source of the source control of the source of the source of the source of the zoning code shall have complex continuing with the specifically identified as such.

NOTE "B": At the time of platting, all of the land hereby being platted as Avondale Woods Section 1 is in Zone X (Areas determined to be outside of the 0.2% annual chance flood plain) as designated and delineated on the FEMA Flood Insurance Map for Frankin County, Ohio, and Incorporated Areas, map number 39049C0133K with effective date of June 17, 2008.

NOTE "C": No vehicular access until such time as the public street right-of-way is extended and dedicated by plat or deed.

NOTE "D" - ACREAGE BREAKDOWN:

Total acreage:	19.349 Ac.
Acreage in rights-of-way:	0.000 Ac.
Acreage in Reserves:	19.349 Ac.

NOTE "E" - ACREAGE BREAKDOWN: Avondale Woods Section 1 is out of the following Franklin County Parcel Numbers:

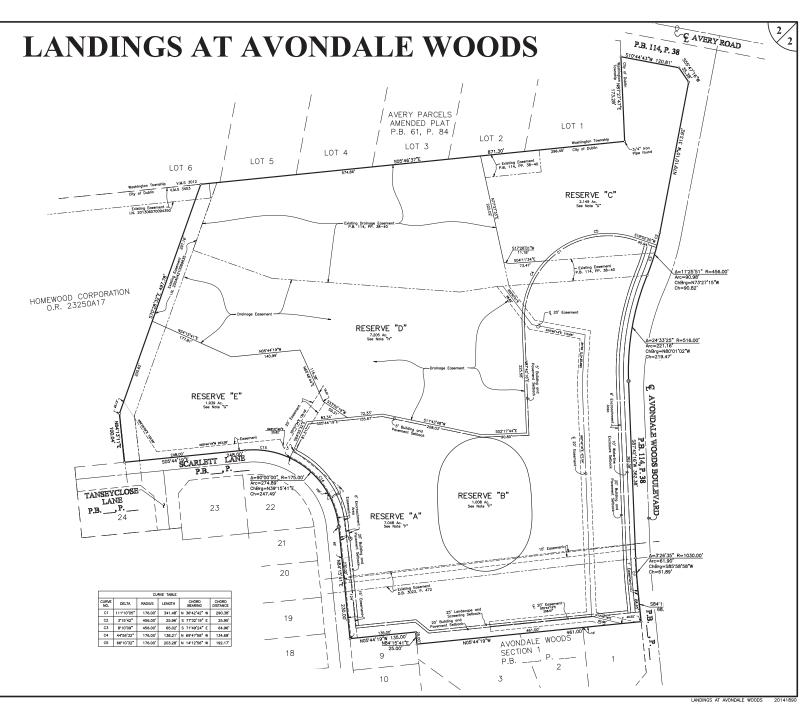
274-000137 19.349 Ac.

NOTE "F"- RESERVE "A" AND RESERVE "B": Reserve "A" and Reserve "B" as designated and delineated heroon, shall be owned and maintained by an association of the owners of the fee simple titles to the units in Landing at Avondale Woods subdivision. Subarca A Home Owners Association (SHOA) for the purpose allowed by the then current zoning.

NOTE "G" - RESERVE "C" AND RESERVE "E". Rearers C" and Rearers E" is designated and delineated hereon, shall be owned and maintained by an association of the owners of the fer simple titles to the lots in Avondale Woods subdivisions and the owners of the fee simple titles to the units in Landing at Avondale Woods subdivision, collectively call the Master Home Owners Association (MIDA) for the purposes allowed by the then current coming.

NOTE "H" - RESERVE "D": Reserve "D" as designated and delineated hereon, shall be owned by the MHOA and maintained by the City of Dublin for the purposes allowed by the then current zoning.

NOTE "1": Annu Marking of platting, electric, cable, and telephone service providers have not issued information required so that essement arcss, in addition to those shown on this plat as deemed necessary by these providers for the required so that essement arcss, this plat. Existing recorded essement information about Avondale Woods Section 1 or any part thereof can be acquired by a competent examination of the them current public records, including those in the Franklin County Recorder's Office.



AVONDALE WOODS SECTION 1

Situated in the State of Ohio, County of Franklin, City of Dublin, and in Virginia Millary Survey Number 3455, containing 14.355 acres of land, more or less, said 14.355 acres being part of hatt rate of land conveyed as Parcel Number 1 to HOMEWOOD CORPORATION by dued of record in Official Record 23250A17, Recorder's Office, Franklin County Ohio.

The undersigned, HOMEWOOD CORPORATION, an Ohio corporation, by JIM The undersigned, HOMEWOOD CORPORATION, an Other corporation, by JIM LINONS, President, covier of the indep alpatich herein, using an inderived in the premission SECTION 1", a subdivision containing Lots. 1 to 24, both inclusive, and areas designated Reserve "A", Reserve "B" and Reserve "C", close Breedy accept this plate of same and dedicates to public use, a such, all of the Boulevard, Drive and Lanes shown hereon and not hereofore delicated.

The undersigned further agrees that any use or improvements on this land shall be in conformity with all existing valid zoning, platting, health or other lawful rules and regulations, including applicable of attracter parking and loading requirements of the City of Dublin, Ohio, for the benefit of itself and all other subsequent owners or assigns taking title from, under or through the undersigned.

from, under or through the undersigned.
Easement is an eherby reserved in, over and under areas designated on this plat as the another of the alternetity of the another of the

In Witness Whereof, JIM LIPNOS, President of HOMEWOOD CORPORATION, has hereunto set his hand this _____ day of _____, 20___.

Signed and Acknowledged In the presence of:

HOMEWOOD CORPORATION By JIM LIPNOS, President

STATE OF OHIO COUNTY OF FRANKLIN SS:

Before me, a Notary Public in and for said State, personally appeared JIM LIPNOS, President of HOMEWGOD CORPORATION, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said HOMEWOOD CORPORATION, for the uses and purposes expressed herein.

In Witness Thereof, I have hereunto set my hand and affixed my official seal this _____ day of ______, 20____.

My commission expires _____ Notary Public,

State of Ohio

Approved this Day of 20	Director of Land U Range Planning,	Jse and Long Dublin, Ohio
Approved this Day of 20	City Engineer,	Dublin, Ohio
Approved this day of he Boulevard, Drive and Lanes dedicated he City of Dublin, Ohio.	, 20, by vote c hereon are accepted a	of Council, wherein all of s such by the Council of
In Witness Thereof I have hereunto set my hand and affixed my seal this day of, 20	Clerk of Council,	Dublin, Ohio
Transferred this day of, 20	Auditor,	Franklin County, Ohio
	Deputy Auditor,	Franklin County, Ohio
Filed for record thisday of, 20atM. Fee \$	Recorder,	Franklin County, Ohio
File No		

Plat Book , Pages

Recorded this _____ day of ______, ____ Deputy Recorder, Franklin County, Ohio



1/

2

LOCATION MAP AND BACKGROUND DRAWING NOT TO SCALE

SURVEY DATA:

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SURVEYED & PLATTED



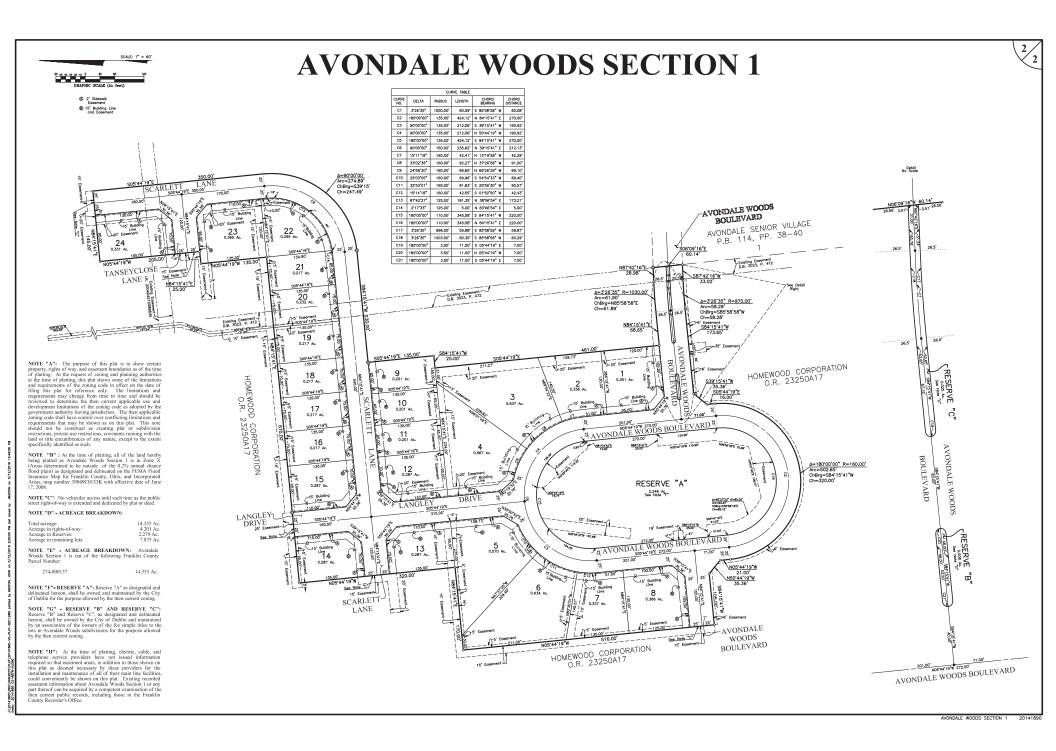
We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

o = Iron Pin (See Survey Data)
 MAG Nail to be set
 Permanent Marker (See Survey Data)

Ву ___ Professional Surveyor No. 7865

> AVONDALE WOODS SECTION 1 20141890

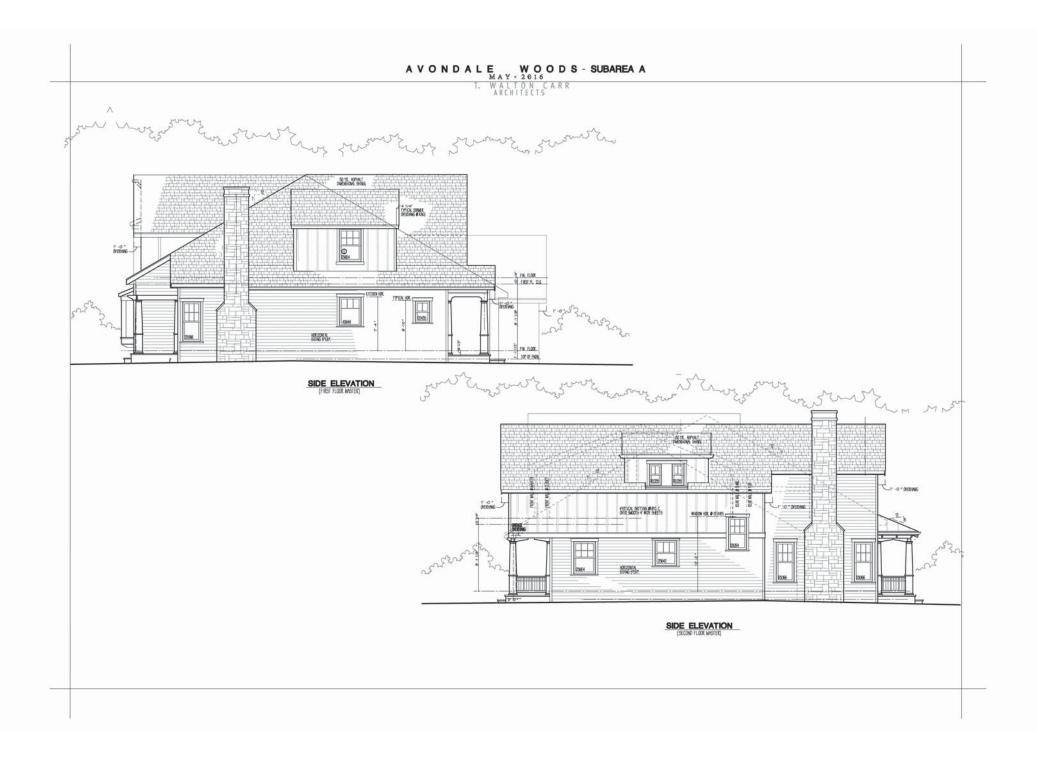
Date

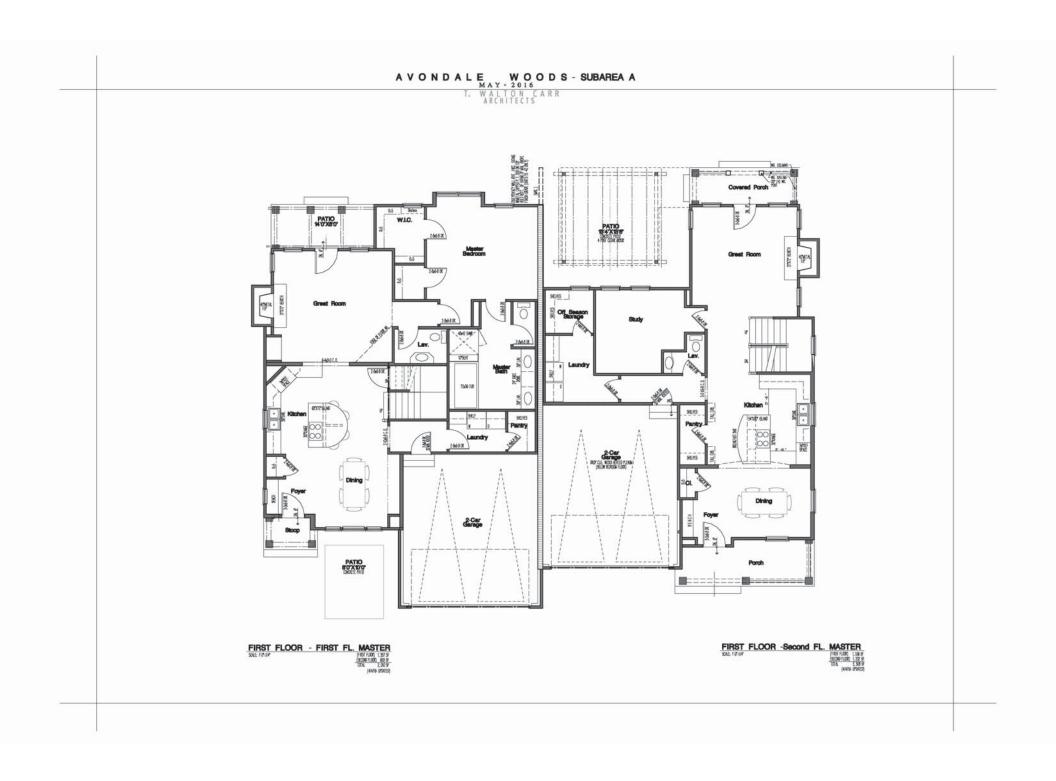


SECTION IV Architecture Exhibits

- Subarea A- Elevations, Floor Plans and Renderings
- Subarea C- Typical Elevations
 - Lauderdale
 - Manchester









AVONDALE WOODS-SUBAREA A



AVONDALE WOODS-SUBAREA A MAY, 2016



RENDERING BY KELLEY DESIGN CO. LLC

AVONDALE WOODS-SUBAREA A May, 2016



AVONDALE WOODS-SUBAREA A MAY, 2016



PORCH

PORCH

AVONDALE WOODS-SUBAREA A MAY, 2016







SIMULATED DIVIDED LITE WINDOWS AND GABLE ACCENTS WITH BRACKET @ PEAK, 10:12 ROOF PITCH



BOX WINDOWS WITH METAL ROOFS AND SUPPORT BRACKETS

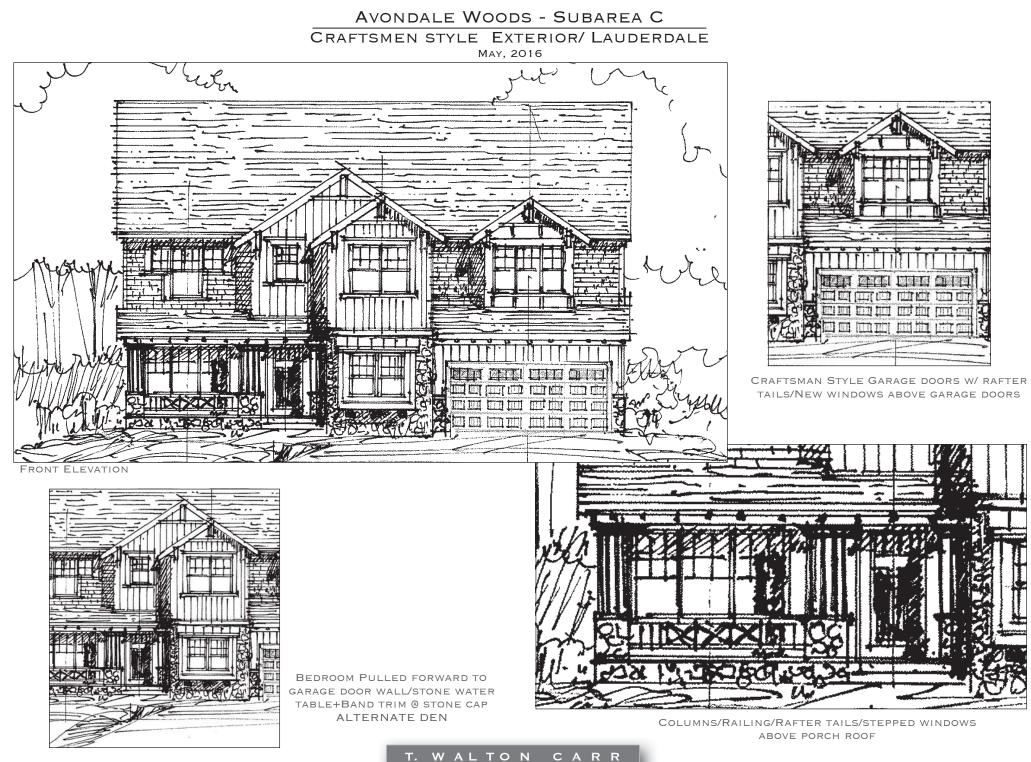
EXPOSED RAFTER TAILS, + GABLE

ACCENTS WITH GABLE BRACKETS



RAFTERED TRELLIS OVER ACCENTED COLUMNS @ ENTRY PORCH

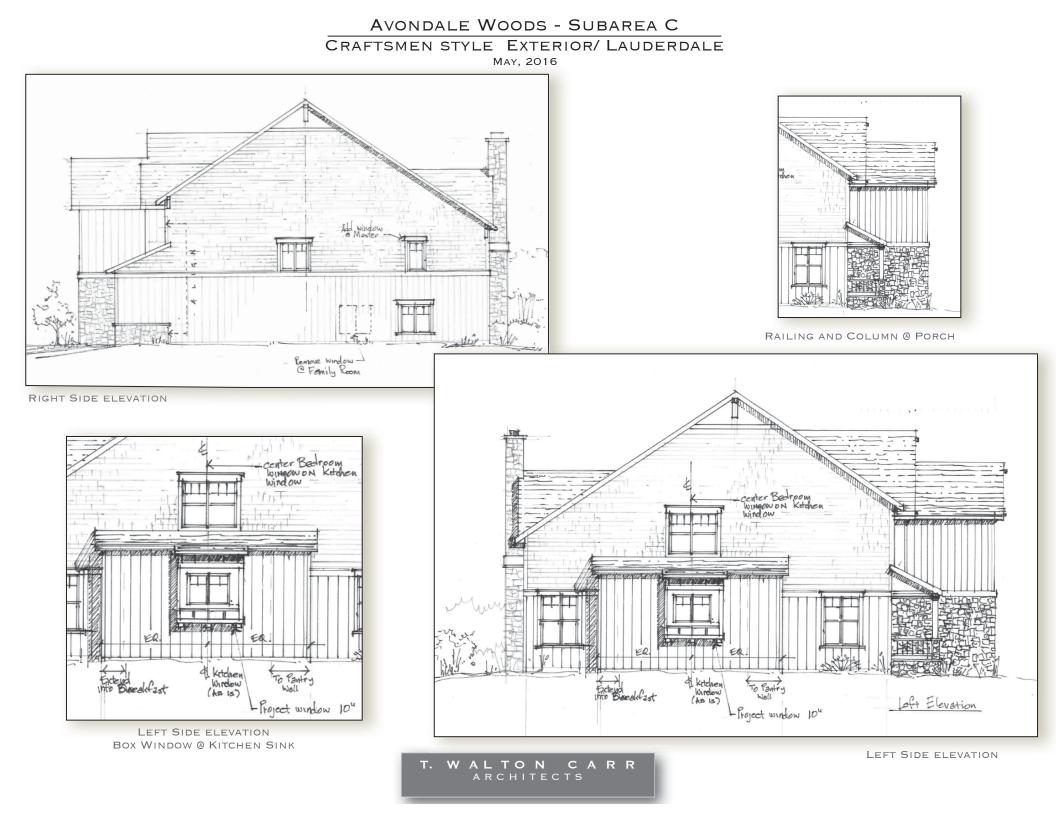
ACCENTED COLUMNS @ ENTRY PORCH



T. W AL TO N C A R R ARCHITECTS



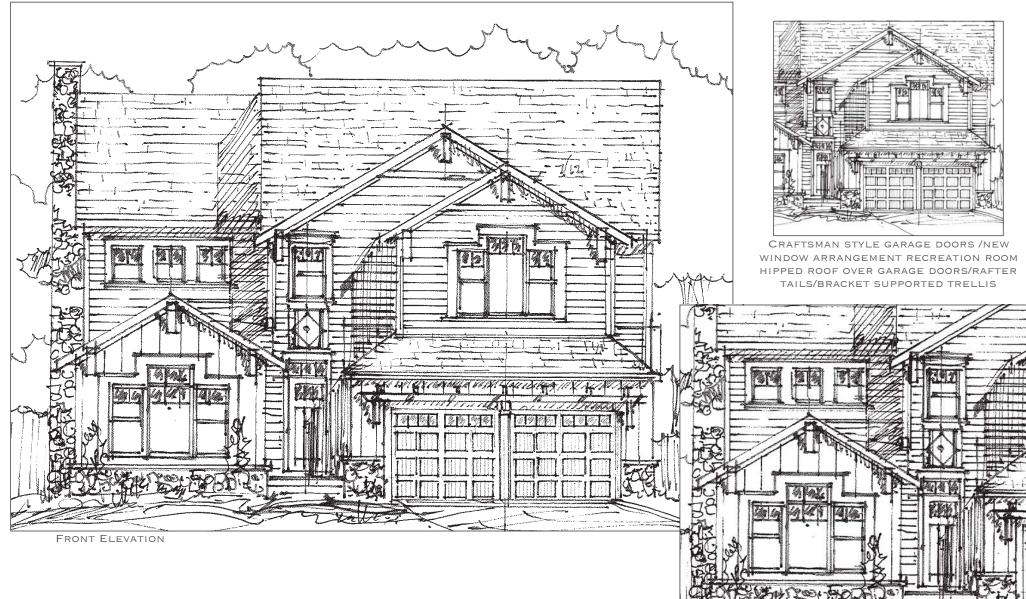
REAR ELEVATION



AVONDALE WOODS - SUBAREA C:SINGLE FAMILY

CRAFTSMEN STYLE EXTERIOR/ MANCHESTER

MAY, 2016



ENTRANCE/LOWER PITCHED ROOFS/RAKE BRACKETS/ HIGH WINDOWS ABOVE LOWER PITCHED GABLE/STONE WATER TABLE WITH BOARD+BATTEN SIDING/TRANSOM OVER ENTRY DOOR/OPTIONAL TRELLIS COVER(NOT SHOWN)



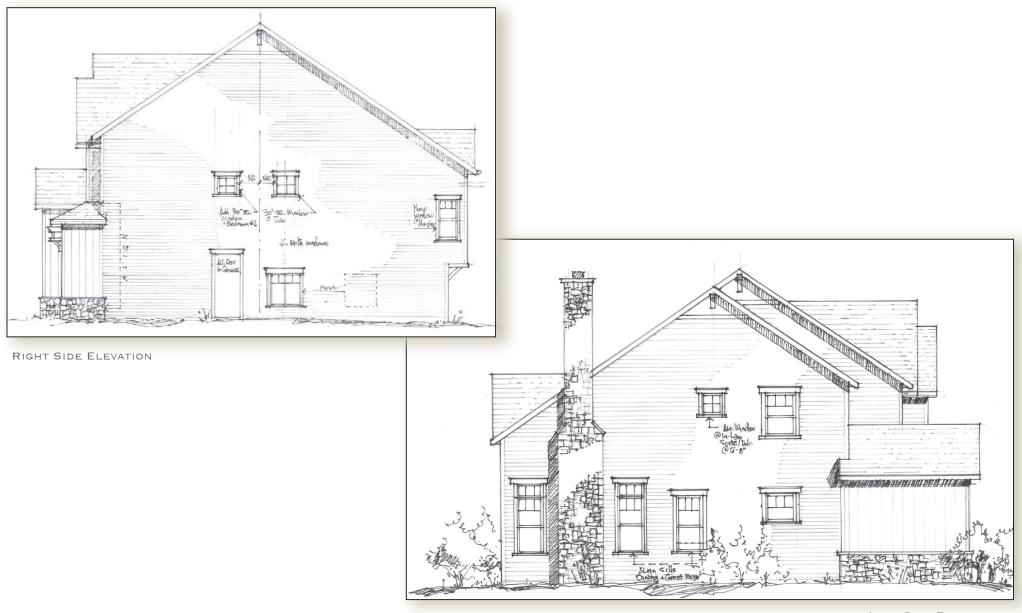
AVONDALE WOODS - SUBAREA C:SINGLE FAMILY

REAR ELEVATION

T. W ALTON CARR ARCHITECTS

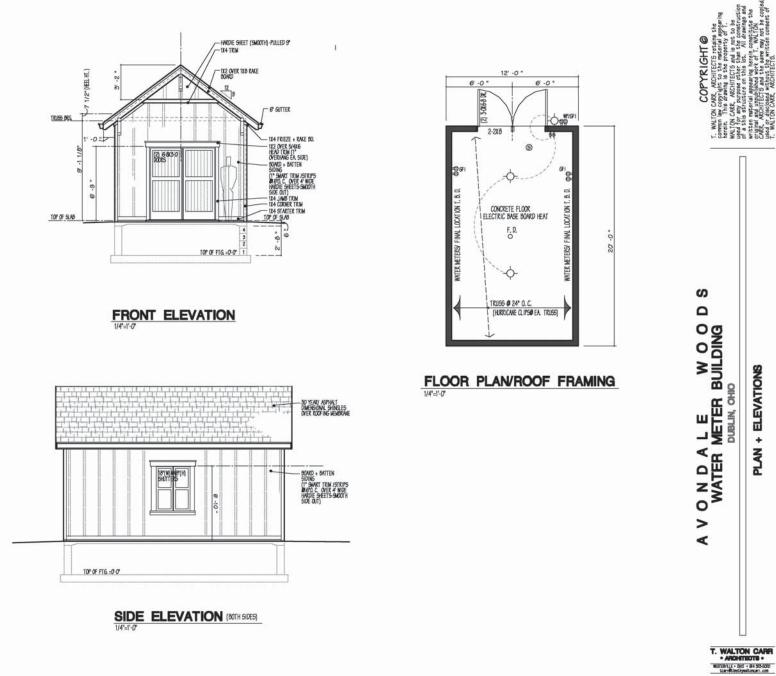
AVONDALE WOODS - SUBAREA C:SINGLE FAMILY

CRAFTSMEN STYLE EXTERIOR/ MANCHESTER MAY, 2016



LEFT SIDE ELEVATION

T. WALTON CARR ARCHITECTS



PRELIMINARY 425-16 DESIGN

PLAN + ELEVATIONS

1761 INNOT DESIGN 4-23-16 RODING CONSTRUCTION DOCUMENTS

A1

$\frac{\text{SECTION V}}{\text{Appendix}}$

Application

Adjacent Owners

Legal Descriptions

PLANNING AND ZONING COMMISSION APPLICATION

(Code Section 153.232)

E OF A DDI LOATION

4
CITY OF DUBLIN.

Land Use and Long Range Planning 5800 Shier-Rings Road Dublin, Ohlo 43016-1236

Phone/ TDD: 614-410-4600 Fax: 614-410-4747 Web Site: www.dublin.oh.us

Informal Review	Final Plat (Section 152.085)
Concept Plan (Section 153.056(A)(1))	Conditional Use (Section 153.236)
Preliminary Development Plan / Rezonii (Section 153.053)	ng Corridor Development District (CDD) (Section 153.115)
Final Development Plan (Section 153.053(E))	Corridor Development District (CDD) Sign (Section 153.115)
Amended Final Development Plan (Section 153.053(E))	Minor Subdivision
Standard District Rezoning (Section 153.018)	Right-of-Way Encroachment
Preliminary Plat (Section 152.015)	Other (Please Specify):

II. PROPERTY INFORMATION: This section must be completed.

Property Address(es): Avery Road		
Tax ID/Parcel Number(s):	Parcel Size(s) (Acres): 120.253 acres	
274-000137	120.253 acres	

Existing Land Use/Development: Agriculture, Woods, and Undeveloped

IF APPLICABLE, PLEASE COMPLETE THE FOLLOWING:

Proposed Land Use/Development: Residential Development, Parks and Open Space

+/- 34 acres Total acres affected by application: (Subarea A, portion Subarea C, portion Subarea E for SW Management Area & Entry Feature)

III. CURRENT PROPERTY OWNER(S): Please attach additional sheets if needed.

Name (Individual or Organization): Homewood Corporation LLC, c/o Jim Lipnos, President		
2700 Dublin Granville Road Mailing Address: (Street, City, State, Zip Code)		
Daytime Telephone: (614	l) 898-7200	Fax: (614) 898-7210
Email or Alternate Contact Information: jlipnos@homewoodcorp.com		

IV. APPLICANT(S): This is the person(s) who is submitting the application if different than the property owner(s) listed in part III. Please complete if applicable.

Name: Jim Lipnos	Applicant is also property owner: yes 🗹 no 🗔		
Organization (Owner, Developer, Contractor, etc.): Homewood Corporation, LLC			
Mailing Address: 2700 Dublin Granville Road, Columbus, Ohio 43231 (Street, City, State, Zip Code)			
Daytime Telephone: (614) 898-7200	Fax: (614) 898-7210		
Email or Alternate Contact Information: jlipnos@homewoodcorp.com			

V. REPRESENTATIVE(S) OF APPLICANT / PROPERTY OWNER: This is the person(s) who is submitting the application on behalf of the applicant listed in part IV or property owner listed in part III. Please complete if applicable.

Name: Chris Cline		
Organization (Owner, Developer, Contractor, etc.): Blaugrund, Herbert and Martin		
Mailing Address: (Street, City, State, Zlp Code) 300 W Wilson Bridge Road, Suite 100, Worthington, Ohio 43085		
Daytime Telephone: (614) 923-3132	Fax: (614) 764-0774	
Email or Alternate Contact Information: ctc@bhmlaw.com		

VI. AUTHORIZATION FOR OWNER'S APPLICANT or REPRESENTATIVE(S): If the applicant is not the property owner, this section must be completed and notarized.

James L. Lipnos	_, the owner, hereby authorize
	my applicant or
representative(s) in all matters pertaining to the processing and approval of this application, including to be bound by all representations and agreements made by the designated representative.	modifying the project. I agree
Signature of Current Property Owner:	Date: 3/31/16
Check this box if the Authorization for Owner's Applicant or Representative(s) is attached a Applicant	aparate pocument
Subscribed and sworn before me this day of day of	TRACY LYNN FOLT
State of Ohio	NOTARY PUBLIC
	Comm. Expires
County of Franklin Notary Public Pary upnetotty	August 19, 2019
VII. AUTHORIZATION TO VISIT THE PROPERTY: Site visits to the property by City representation	presare essential to process this
application. The Owner/Applicant, as noted below, hereby authorizes City representatives to visit,"phot property described in this application.	ograph and post a notice on the
James L. Lipnos	uthorized representative, hereby
authorize City representatives to visit, photograph and post a notice on the property described in this a	
Signature of applicant or authorized representative:	Date: 3/31/16

Page 2 of 3

VIII. UTILITY DISCLAIMER: The Owner/Applicant acknowledges the approval of this request for review by the Dublin Planning and Zoning Commission and/or Dublin City Council does not constitute a guarantee or binding commitment that the City of Dublin will be able to provide essential services such as water and sewer facilities when needed by said Owner/Applicant.

James L. Lipnos acknowledge that approval of this request does not co provide essential services such as water and sewer fa	onstitute a guarantee or binding comm	ne owner or authorized representative, hitment that the City of Dublin will be able to oplicant.
Signature of applicant or authorized representative:	AR	Date: 3/31/16

IX. APPLICANT'S AFFIDAVIT: This section must be completed and notarized.

I James L. Lipnos read and understand the contents of this application. The information contained in information submitted is complete and in all respects true and correct, to the best of my	, the owner or authorized representative, have n this application, attached exhibits and other y knowledge and belief.
Signature of applicant or authorized representative:	Date: 3/3//16
Subscribed and sworn to before me this <u>31</u> day of <u>March</u> , 2 State of <u>Ohio</u> County of <u>Franklin</u> Notary Public <u>March</u>	IBACY LYNN FOLIZ NOTARY PUBLIC STATE OF OHIO Comm. Expires August 19, 2019

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FOR OFFICE USE ONI				
Amount Received:	Application No:	P&Z Date(s):	P&Z Action:	
Receipt No:	Map Zone:	Date Received:	Received By:	
City Council (First Reading):		City Council (Second Reading):		
City Council Action:		Ordinance Number:		
Type of Request:				
N, S, E, W (Circle) Side of:				
N, S, E, W (Circle) Side of Nearest Intersection:				
Distance from Nearest Inter	section:			
Existing Zoning District: Requested Zoning District:				

Avondale Woods

Parcel	Owner	Parcel Address	M	ailing Address		
Number			Street	City	State	Zip
010-265644	AVERY ROAD COLUMBUS LLC	0 AVERY RD	1311 AUTUMN HILL DR	COLUMBUS	ОН	43235
010-291877	HAYDENS RUN ONE LLC	0 EAGLE RIVER DRIVE	23775 COMMERECE PARK STE 7	BEECHWOOD	ОН	44122
272-000488	BALTES-SPRING ELIZABETH R	5239 AVERY RD	3590 STERLING PARK CIR	GROVE CITY	ОН	43123
274-001522	COLUMBUS METROPOLITAN HOUSING AUTHORITY	5215 AVERY RD	880 E 11TH AVE	COLUMBUS	ОН	43211
274-001505	COLUMBUS METROPOLITAN HOUSING AUTHORITY	5215 AVERY RD	880 E 11TH AVE	COLUMBUS	ОН	43211
274-001504	COLUMBUS METROPOLITAN HOUSING AUTHORITY	5215 AVERY RD	880 E 11TH AVE	COLUMBUS	ОН	43211
274-000021	DALLAS ANGELO J TR, DAMICO JOHNG. TR, SCHEEL VALERIE M TR, DAMICO JODELLE M TR	6333 RINGS RD	3297MCKINLEY AVE	COLUMBUS	ОН	43204
274-000117	DVORAK JAMES A & KEMME DIANCE D, DVORAK MICHAEL T	0 RINGS RD	2315 EDINGTON RD	COLUMBUS	ОН	43221
272-000498	CITY OF COLUMBUS	5067 AVERY RD	90 W BROAD STREET	COLUMBUS	ОН	43215
274-000034	FENDER PAUL & CELESTE	6555 RINGS RD	6555 RINGS RD	DUBLIN	ОН	43016
272-000489	HADJARPOUR SAEED HASJARPOUR MOJGON	5243 AVERY RD	4200 DUBLIN RD	COLUMBUS	ОН	43221
272-000484	HELLER GEOFFREY C & DEBORAH J MUNTZ	5223 AVERY RD	5223 AVERY RD	DUBLIN	ОН	43016
274-000137	HOMEWOOD CORP	5215 AVERY RD	5215 AVERY ROAD	DUBLIN	ОН	43016
272-000486	JORDAN GREGORY A & CHERYL A	5231 AVERY RD	5231 AVERY RD	DUBLIN	ОН	43016
010-279301	AVERY BROOKE LLC	5315 AVERY RD	400 S 5TH ST STE 400	COLUMBUS	ОН	43215
272-000491	HEINL MARK URBAN II	5251 AVERY RD	5903 BUECHLER BEND	HILIARD	ОН	43228
010-286777	HAYDEN FARMS HOMEOWNERS ASSOCIATION INC.	0 GINGREY RD	5550 BLAZER PKWY STE 175	DUBLIN	ОН	43016
272-000485	MULLINS NORMAN V III & MARY A	5227 AVERY RD	5227 AVERY RD	DUBLIN	ОН	43016
272-000487	MYHER DANIEL E & SUSAN M	5235 AVERY RD	5235 AVERY RD	DUBLIN	ОН	43016

Avondale Woods - Property Owners Within 150 Feet

Avondale Woods

274-000018	PATCH DAVID W JR	6661 RINGS RD	6661 RINGS ROAD	DUBLIN	ОН	43016
010-265638	PF FARM LLC	RINGS RD	PO BOX 156	AMLIN	ОН	43002
010-265636	PULTE HOMES OF OHIO, LLC	5038 COSGRAY RD	3350 PEACHTREE RD NE, FLOOR 1600	ATLANTA	GA	30326- 1057
272-000483	REED MATTHEW D	5219 AVERY RD	5219 AVERY RD	DUBLIN	ОН	43016
272-000490	RICH MATTHEW L RICH LORRAINE A	5247 AVERY RD	5247 AVERY RD	DUBLIN	ОН	43016

119.335 ACRES

Situated in the State of Ohio, County of Franklin, City or Dublin, located in Virginia Military Survey Numbers 3453 and 3012, being all of the remainder of that 137.274 acre tract conveyed as Parcel Number 1 and all of the remainder of that 2.6 acre tract conveyed as Parcel Number 2 to Homewood Corporation by deed of record in Official Record 23250A17 (all references refer to the records of the Recorder's Office, Franklin County, Ohio), being more particularly bounded and described as follows:

BEGINNING at a northeasterly corner of the remainder of said 2.6 acre tract, a northwesterly corner of that plat entitled "Avondale Senior Village Amended" of record in Plat Book 114, Page 41, the westerly right-of-way line of Avery Road of record in Plat Book 114, Page 41;

thence with the perimeter of said "Avondale Senior Village Amended", the following courses and distances:

South 10°44'43" West, a distance of 120.81 feet to a point;

South 55°47'16" West, a distance of 35.38 feet to a point;

North 79°10'10" West, a distance of 313.92 feet to a point of curvature;

with the arc of a curve to the right, having a central angle of $11^{\circ}25'51''$, a radius of 456.00 feet, an arc length of 90.98 feet, and a chord that bears North 73°27'15'' West, a chord distance of 90.82 feet to a point of reverse curvature;

with the arc of a curve to the left having, a central angle of 24°33'25", a radius of 516.00 feet, an arc length of 221.16 feet, and a chord that bears North 80°01'02" West, a chord distance of 219.47 feet to a point;

South 87°42'16" West, a distance of 333.40 feet to a point; and

South $06^{\circ}09'16''$ East, a distance of 1032.59 feet to a point in the southerly line of said 137.274 acre tract;

thence with the perimeter of said 137.274 acre tract, the following courses and distances:

South 83°28'01" West, a distance of 583.81 feet to a point;

North 39°15'59" West, a distance of 1857.05 feet to a point;

North 83°02'04" East, a distance of 492.25 feet to a point;

North 06°22'31" West, a distance of 1549.32 feet to a point;

North 84°15'41" East, a distance of 1947.00 feet to a point; and

South $05^{\circ}46'37''$ East, a distance of 2128.26 feet to a point at the northwesterly corner of said 2.6 acre tract;

thence North 87°27'47" East, the northerly line of said 2.6 acre tract, a distance of 173.28 feet to the POINT OF BEGINNING and containing 119.335 acres of land, more or less.

EVANS, MECHWART, HAMBLETON & TILTON, INC.