

July 28, 2016

BUILDING MODIFICATION STATEMENT

The “B” buildings at Bridge Park are bound by Riverside Drive to the west, Bridge Park Avenue to the north, Mooney Street to the east and Banker Drive to the south. This second phase of a mixed-use development is comprised two blocks, both adjacent to Longshore Street along the north-south axis, and includes three mixed-use buildings (B1, B2 and B3) and a parking garage with residential “liners” on two facades (B4/B5). This development is designed to address the Vision Principles for the development of the Bridge Street Corridor districts, by providing an interesting, walkable setting for urban lifestyles that places value on human scale and a diversity of experiences.

BUILDING B5 (PARKING STRUCTURE BUILDING) – Modification SUMMARY

PARKING STRUCTURE BUILDING

-Change to the elevation: a minor modifications to the east and south facades of building B5

Before –the building was clad in brick with an overlay of stainless steel mesh screen. The southeast corner was a full heights vegetated screen wall. At the entry points the spandrel panels where covered with metal mesh rails

After – the south and east facades of B5 are still clad in brick, but additional masonry detail have been added to the brick facades than there was previously. What has been added are solider course at the top of the large brick openings as well as solider course at the cap of the building. The spandrel panels above the entrances are detailed with a solider course at the top and bottom of the panels and the inside brick runs vertically. The brick piers now have a light color vertical brick accent and are capped off with a fiber cement and alum coping. The spandrels between these piers are exposed architectural concrete with frameless perforated aluminum panels in a staggered vertical pattern covering the majority of the spandrel. The southeast corner has a one story vegetated screen wall that helps to bring down the scale of the building at the corner.

The basic design of the garage facades is similar to the original design but more masonry details have been added and the screens style has changed.

Approval signature

UNIT QUANTITY B4...	
Name	Quantity

1 BR	31
2 BR	10
STUDIO	2

Grand total: 43

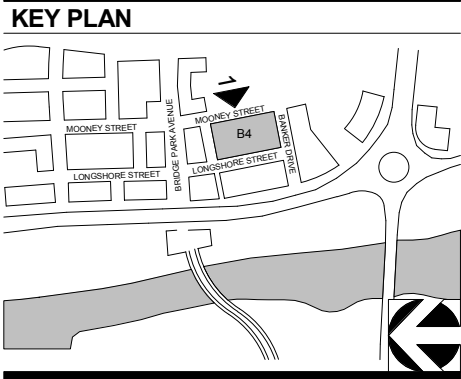
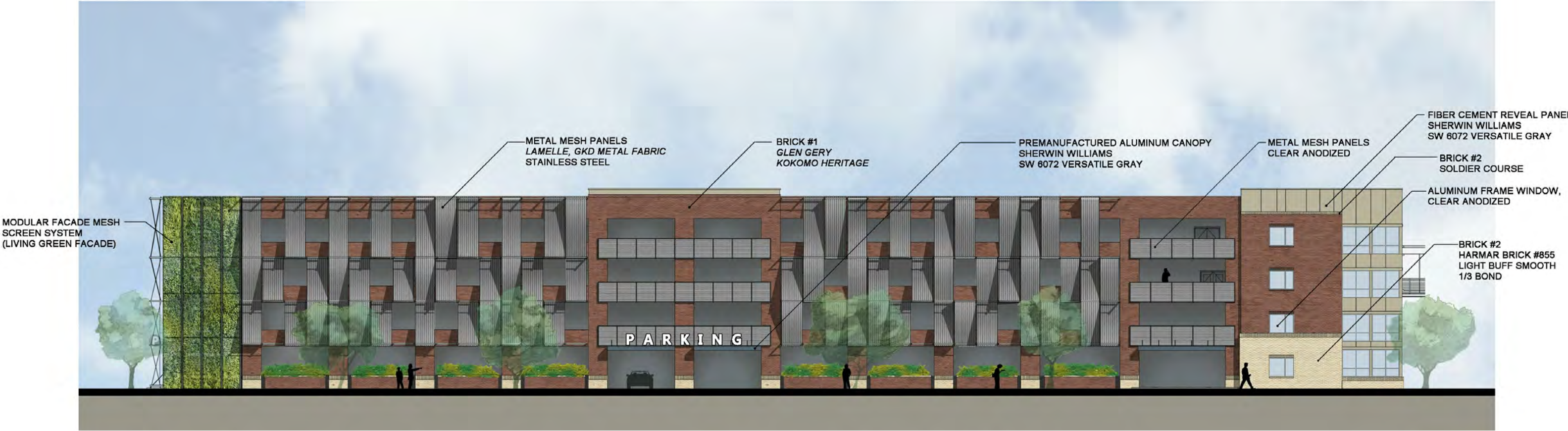
REFER TO PARKING CALCULATION SHEET
FOR TOTAL NUMBER OF BLOCK B UNITS

BUILDING B4/B5

6560 LONGSHORE STREET &
6560 MOONEY STREET
DUBLIN, OHIO 43017

USE	AREA
GARAGE	284,534 SF
RESIDENTIAL	40,567 SF
PATIO	2,531SF
CIRCULATION	27,540SF
SERVICE	9,334 SF
TOTAL	373,506 SF

PARKING SCHEDULE		
LEVEL	TYPE	TOTAL
LEVEL 1	PARKING SPACES	126
LEVEL 2	PARKING SPACES	143
LEVEL 3	PARKING SPACES	141
LEVEL 4	PARKING SPACES	136
LEVEL 5	PARKING SPACES	158
LEVEL 6	PARKING SPACES	146
TOTAL	GARAGE SPACES	850



B4/B5 WEST ELEVATION RENDERING

Before

CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

BEFORE

06-23-2015

11" X 17" = 1/32" = 1'-0" , 22" X 34" = 1/16" - 1'-0"

Story Height
(See Typ. Notes)

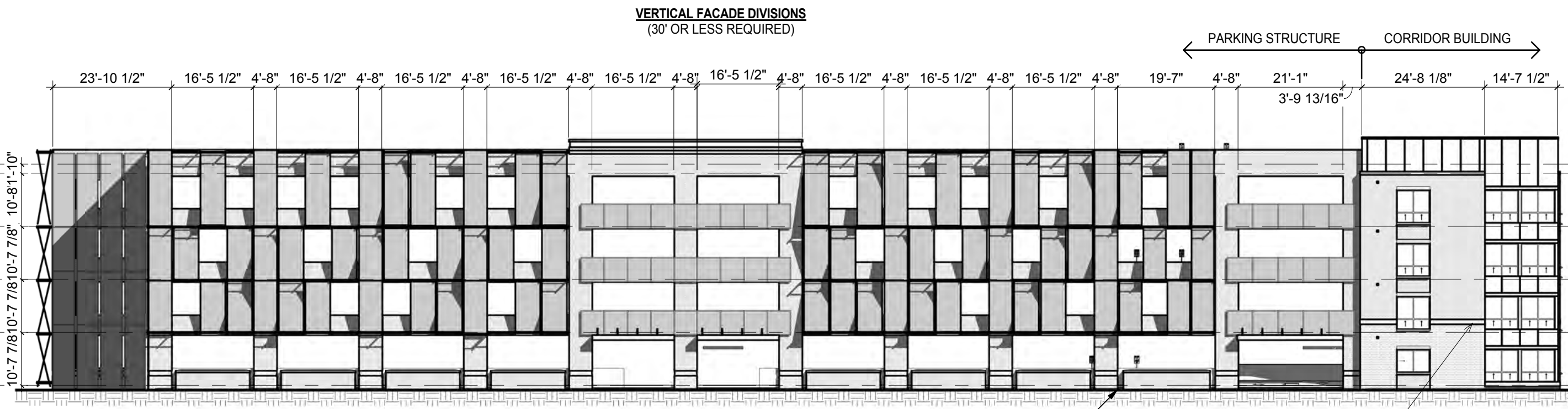
- ROOF DECK
156'-5 5/8"
(863'-11 5/8")
- LEVEL 6
154'-7 5/8"
(862'-5 5/8")
- LEVEL 5
143'-11 5/8"
(852'-5 5/8")
- LEVEL 4
133'-3 3/4"
(841'-9 3/4")
- LEVEL 3
122'-7 7/8"
(831'-1 7/8")
- LEVEL 2
112'-0"
(820'-6")

STREET FACADE
TRANSPARENCY - CORRIDOR BUILDING

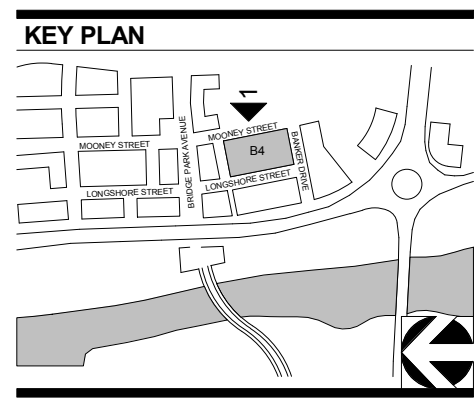
2nd Story (Ground Story)	3rd Story	4th Story	5th Story
Story Area: 238 sf	Story Area: 419 sf	Story Area: 419 sf	Story Area: 419 sf
Transparency: 121 sf	Transparency: 134 sf	Transparency: 134 sf	Transparency: 134 sf
Required: 60%	Required: 30%	Required: 30%	Required: 30%
Provided: 51%	Provided: 32%	Provided: 32%	Provided: 32%

STREET FACADE
TRANSPARENCY - PARKING STRUCTURE

2nd Story (Ground Story)	3rd Story	4th Story	5th Story	6th Story
Story Area: 1,578 sf	Story Area: 2,805 sf	Story Area: 2,805 sf	Story Area: 3,160 sf	Story Area: 0,000 sf
Transparency: 931 sf	Transparency: 1,375 sf	Transparency: 1,375 sf	Transparency: 1,375 sf	Transparency: 0,000 sf
Required: 65%	Required: N/A	Required: N/A	Required: N/A	Required: N/A
Provided: 59%	Provided: 49%	Provided: 49%	Provided: 44%	Provided: 00%



HORIZONTAL FACADE DIVISIONS
(Required within 3' of top of ground story on buildings 3 stories and taller)



FACADE MATERIALS - CORRIDOR BUILDING

Overall Area of elevations: 1,967 sf
Area of Windows/Doors: - 476 sf
Net Area of Elevation: 1,491 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,035 sf	69%		
Glass	Primary	0,000 sf	00%		
		1,035 sf	69%	80%	
Fiber Cement	Secondary	387 sf	26%		
Misc. Elements	Permitted As Trim	69 sf	5%		
		456 sf	31%	<20%	

FACADE MATERIALS - PARKING STRUCTURE

Overall Area of elevations: 12,611 sf
Area of Windows/Doors: - 3,682 sf
Net Area of Elevation: 8,929 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	3,260 sf	37%		
Glass	Primary	0,000 sf	00%		
		3,260 sf	37%	80%	
Fiber Cement	Secondary	0,000 sf	00%		
Misc. Elements	Permitted As Trim	5,669 sf	63%		
		5,669 sf	63%	<20%	

1 EAST ELEVATIONS
3/64" = 1'-0"

CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

11" X 17" = 1/32" = 1'-0" , 22" X 34" = 1/16" = 1'-0"

BEFORE
06-23-2015

STREET FACADE
TRANSPARENCY - CORRIDOR BUILDING

1st Story		2nd Story		3rd Story	
Story Area:	291 sf	Story Area:	513 sf	Story Area:	513 sf
Transparency:	149 sf	Transparency:	234 sf	Transparency:	234 sf
Required:	60%	Required:	30%	Required:	30%
Provided:	51%	Provided:	46%	Provided:	46%

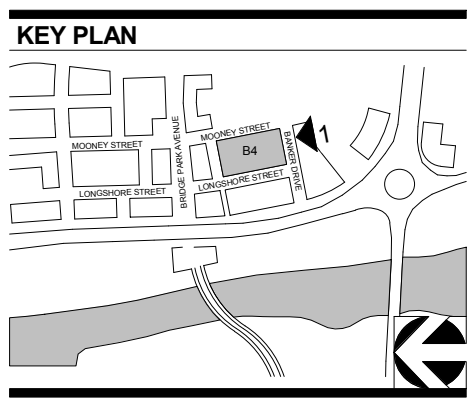
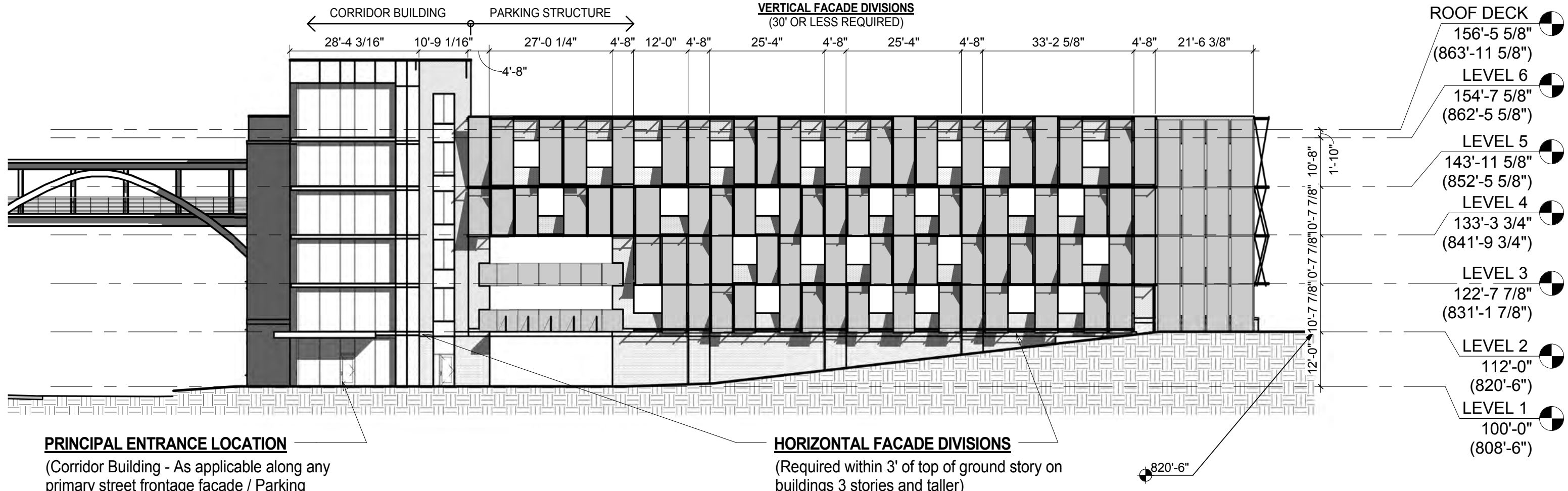
4th Story		5th Story		6th Story	
Story Area:	513 sf	Story Area:	513 sf	Story Area:	578 sf
Transparency:	234 sf	Transparency:	234 sf	Transparency:	234 sf
Required:	30%	Required:	30%	Required:	30%
Provided:	46%	Provided:	46%	Provided:	40%

STREET FACADE
TRANSPARENCY - PARKING STRUCTURE

1st Story		2nd Story		3rd Story	
Story Area:	1,048 sf	Story Area:	1,838 sf	Story Area:	1,838 sf
Transparency:	162 sf	Transparency:	871 sf	Transparency:	871 sf
Required:	65%	Required:	N/A	Required:	N/A
Provided:	15%	Provided:	47%	Provided:	47%

4th Story		5th Story	
Story Area:	1,838 sf	Story Area:	2,069 sf
Transparency:	941 sf	Transparency:	830 sf
Required:	N/A	Required:	N/A
Provided:	51%	Provided:	40%

Story Height
(See Typ. Notes)



FACADE MATERIALS - CORRIDOR BUILDING

Overall Area of elevations: 3,357 sf
Area of Windows/Doors: - 997 sf
Net Area of Elevation: 2,360 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	982 sf	42%		
Glass	Primary	219 sf	9%		
		1,201 sf	51%	80%	
Fiber Cement	Secondary	753 sf	32%		
Misc. Elements	Permitted As Trim	406 sf	17%		
		1,159 sf	49%	<20%	

FACADE MATERIALS - PARKING STRUCTURE

Overall Area of elevations: 9,470 sf
Area of Windows/Doors: - 1,471 sf
Net Area of Elevation: 7,999 sf

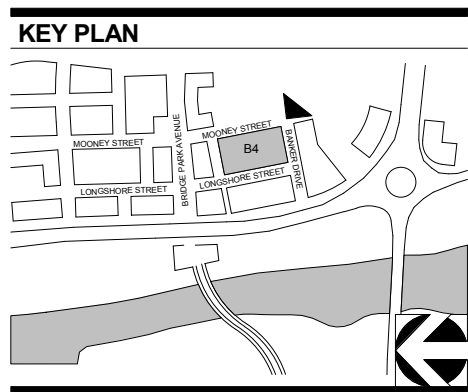
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,238 sf	28%		
Glass	Primary	0,000 sf	00%		
		2,238 sf	28%	80%	
Fiber Cement	Secondary	179 sf	2%		
Misc. Elements	Permitted As Trim	5,582 sf	70%		
		5,761 sf	72%	<20%	

1 SOUTH ELEVATION
3/64" = 1'-0"

CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

11" X 17" = 1/32" = 1'-0" , 22" X 34" = 1/16" - 1'-0"

06-23-2015



After

CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

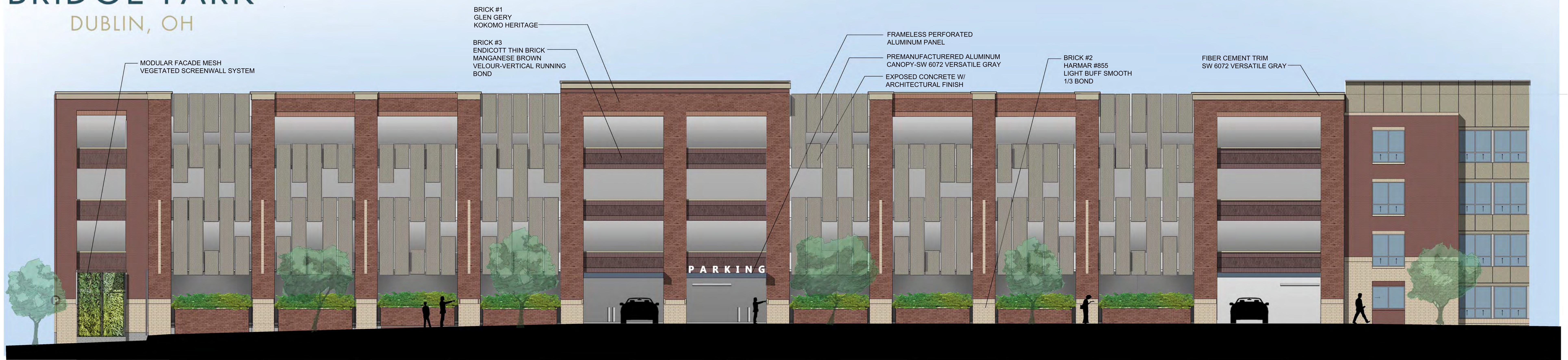
11" X 17" = 1/32" = 1'-0" , 22" X 34" = 1/16" - 1'-0"

08-25-2016



BRIDGE PARK

DUBLIN, OH



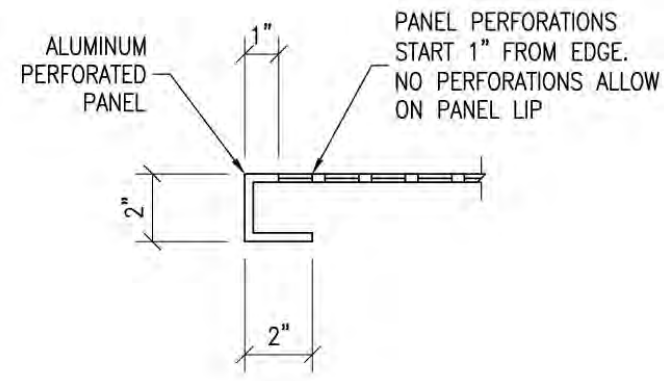
East Elevation



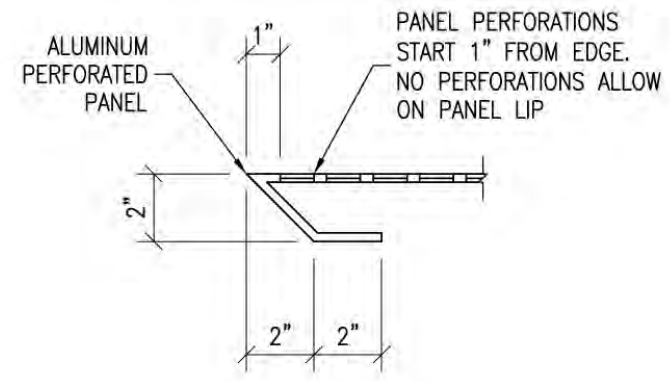
South Elevation

B5 GARAGE REDESIGN 8-25-16

ALL SCREWS ATTACHING ALUMINUM
PANELS TO ALUMINUM ANGLES SHALL
BE STAINLESS STEEL

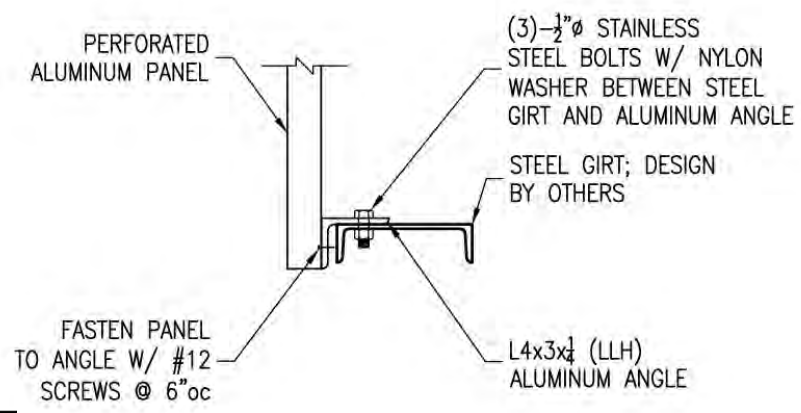


SECTION 1
3" = 1'-0" SD9

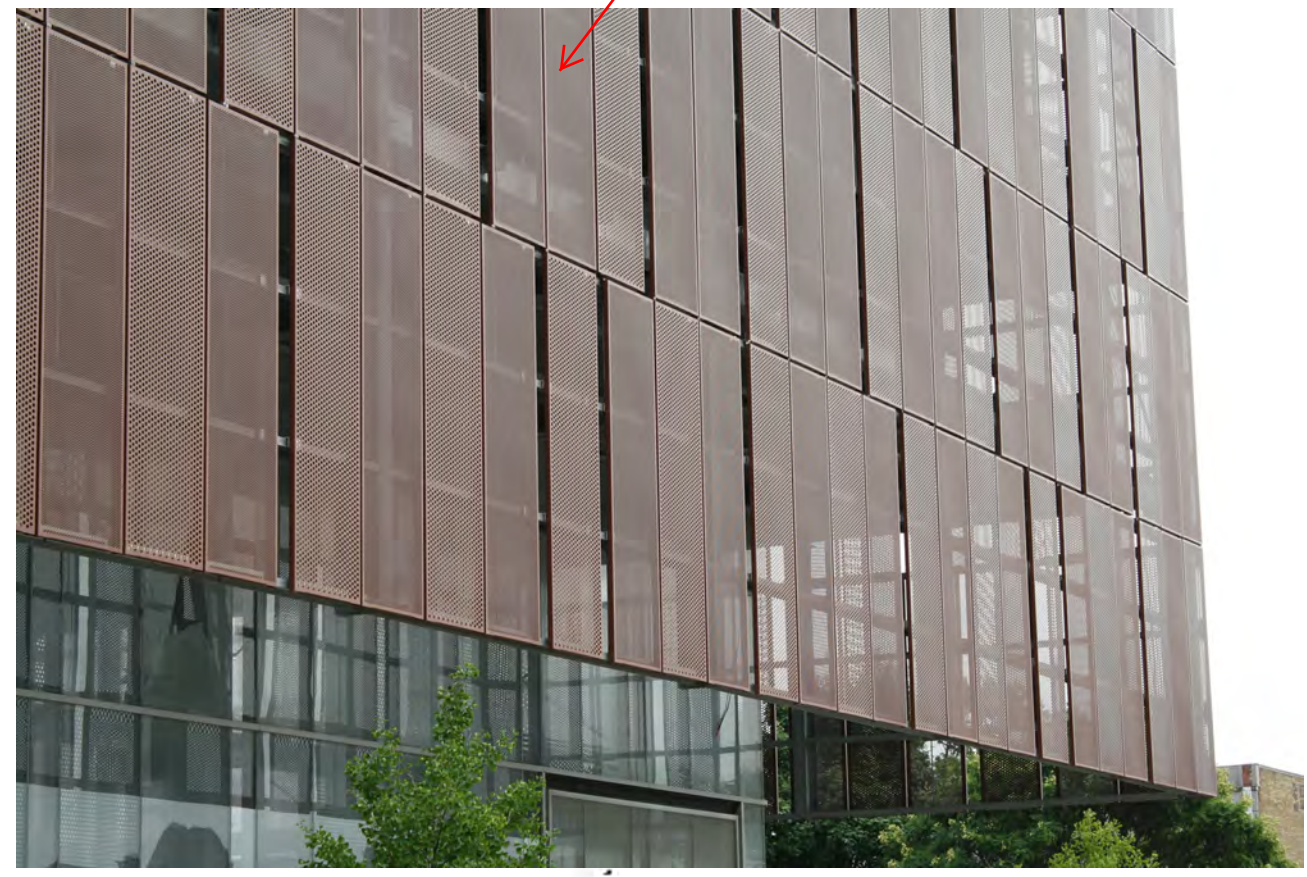
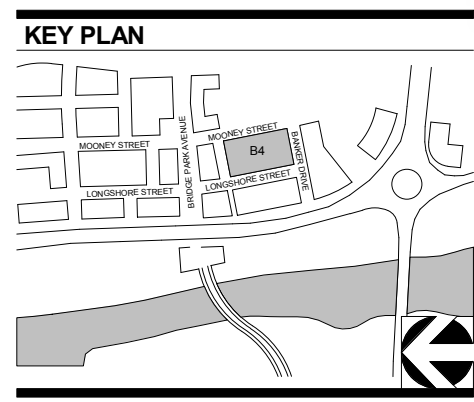


SECTION 2
3" = 1'-0" SD9

Panels will be a
Gray tone not
Brown



SECTION 6
1 1/2" = 1'-0" SD9



FRAMELESS PERFORATED ALUMINUM PANELS

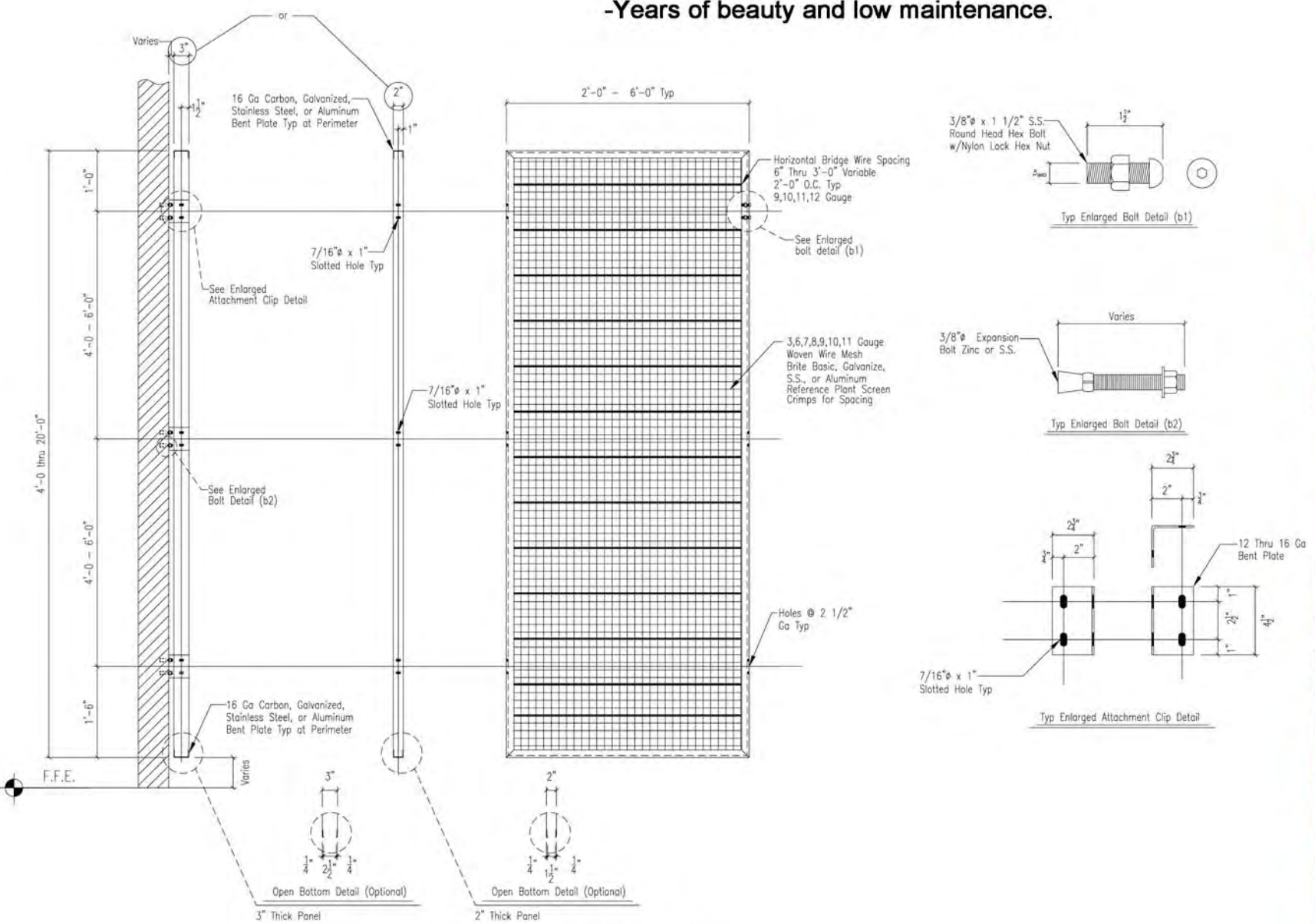
CORRIDOR BUILDING / PARKING STRUCTURE (HYBRID) TYPE

07-28-2016

11" X 17" = 1/32" = 1'-0" , 22" X 34" = 1/16" - 1'-0"

TRELLIS SYSTEM CHARACTERISTICS:

- System is a modular framework grid mounted to the exterior wall of the roof deck elevator lobby creating aesthetic living green facades.
- These high quality attractive eco units are constructed to accommodate a captive grow space for various plants and vines.
- Screens are made with a heavy .120 woven wire mesh screen with a unique bridge wire for stabilization.
- Years of beauty and low maintenance.



TRELLIS DETAILS

