

BUILDING MODIFICATION STATEMENT

The “B” buildings at Bridge Park are bound by Riverside Drive to the west, Bridge Park Avenue to the north, Mooney Street to the east and Banker Drive to the south. This second phase of a mixed-use development is comprised two blocks, both adjacent to Longshore Street along the north-south axis, and includes three mixed-use buildings (B1, B2 and B3) and a parking garage with residential “liners” on two facades (B4/B5). This development is designed to address the Vision Principles for the development of the Bridge Street Corridor districts, by providing an interesting, walkable setting for urban lifestyles that places value on human scale and a diversity of experiences.

BUILDING B3 (CORRIDOR BUILDING) – Minor Project SUMMARY**CORRIDOR BUILDING**

-Roof Floor Plan change: the roof deck amenities space has been removed from the building. This building has an amenity room on the SW corner of the 3rd level

Before –on the roof of this building (in the original documents) there was a 1041 sf Amenity deck, 323 sf lobby, 277 sf stair, 100 sf elevator shaft and 99 sf of storage room. On the third floor there is a 1231 sf space that is to be used as a community space. Besides a place to gathers it also provides circulation to access the other buildings and their amenity spaces.

After – The 1840 sf has been removed from the roof. The third floor Amenity space remains as is and gives residents of B3 a covered access to the large Amenities Decks in Building B2 and B1 that overlooks Riverside Drive. The third floor amenity space can be used as a gathering space for tenants to Lounge and socialize with other tenants.

-Change to the elevation: a minor modification results in no visible penthouse on top of the building as shown in the elevation. The reset of the building stays as originally designed.

Before –the 799 sf penthouse was visible from a distance but not from the street level

After – Removing the penthouse eliminates the redundant looking "twin penthouse" look from a distance on Bridge Park Ave, more clearly differentiating the look of B3 from C3 -- and cleans up this beautiful building is an improvement in overall aesthetics

Having no penthouse on the roof does not affect the experience of the BridgePark environment. The removal of this amenity deck is not a huge impact on the Development since there is multitudes of places the residents and visitors can go to get an urban outdoor experience

Approval signature _____



BRIDGE PARK
DUBLIN, OH

UNIT QUANTITY 3FL	
Name	Quantity
1 BR	5
2 BR	3
3 BR	1
STUDIO	1

1 BR	5
2 BR	3
3 BR	1
STUDIO	1

Grand total: 10

REFER TO LEVEL 1 FOR THE DIMENSIONS FOR THIS LEVEL

BRIDGEPARK AVENUE

R.O.W.

LONGSHORE STREET

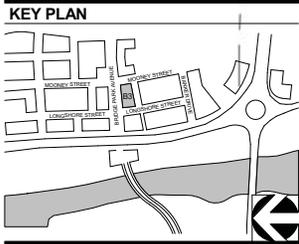
1

B3 - LEVEL 3 (EL. 844.03')
1/16" = 1'-0"



MOONEY STREET

R.O.W.



CORRIDOR BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

06-23-2015

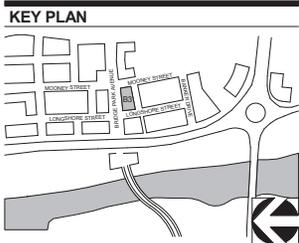
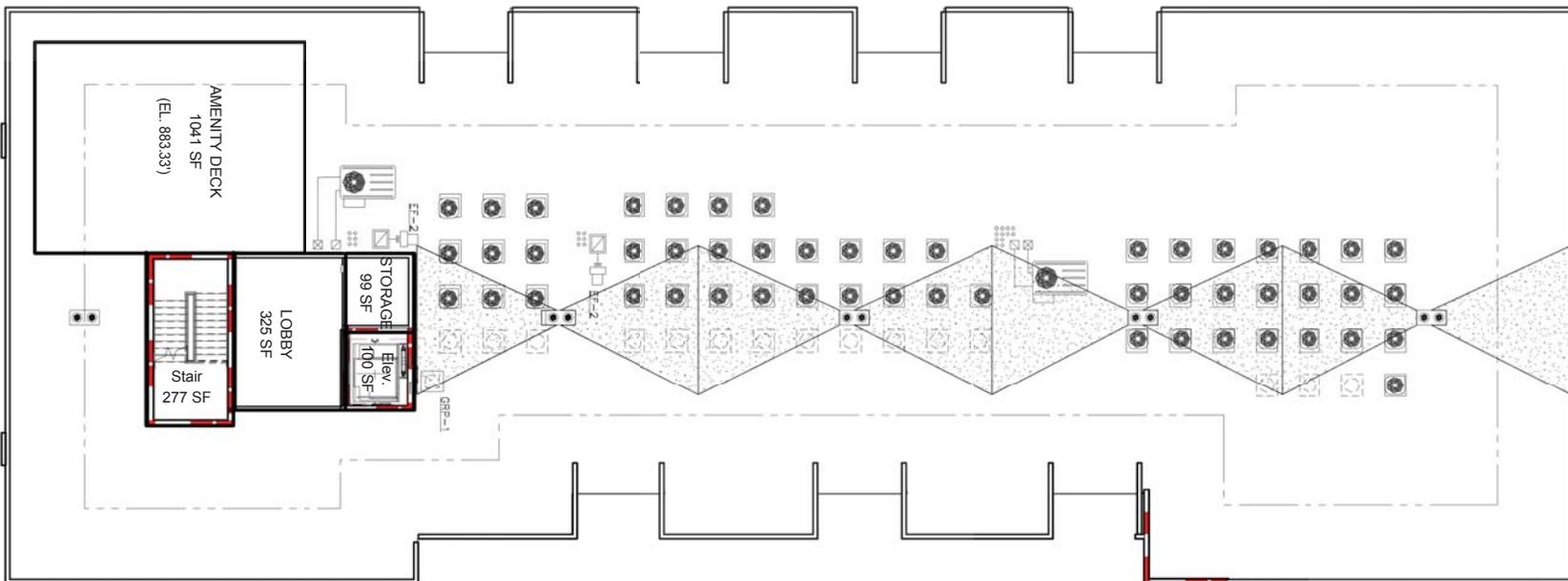


BRIDGE PARK
DUBLIN, OH

1

1/16" = 1'-0"

ROOF PLAN (EL. 881.86')



CORRIDOR BUILDING TYPE

11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

06-23-2015

MOODY•NOLAN
RESPONSIVE ARCHITECTURE

A106-B3 - ROOF
PLAN



BRIDGE PARK
DUBLIN, OH

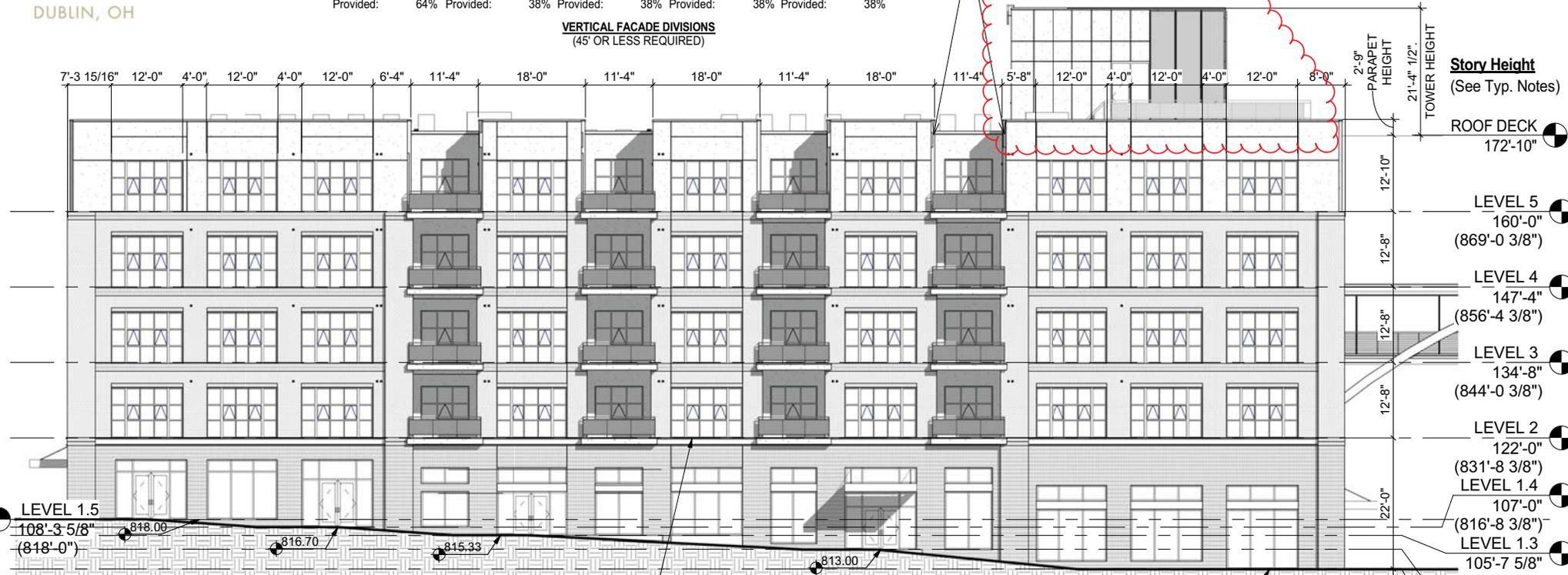
**STREET FACADE
TRANSPARENCY**

1st Story	2nd Story	3rd Story	4th Story	5th Story
Story Area: 1,308 sf	Story Area: 3,365 sf	Story Area: 3,365 sf	Story Area: 3,365 sf	Story Area: 3,385 sf
Transparency: 839 sf	Transparency: 1,297 sf	Transparency: 1,297 sf	Transparency: 1,297 sf	Transparency: 1,297 sf
Required: 60%	Required: 30%	Required: 30%	Required: 30%	Required: 30%
Provided: 64%	Provided: 38%	Provided: 38%	Provided: 38%	Provided: 38%

**VERTICAL FACADE DIVISIONS
(45' OR LESS REQUIRED)**

7'-3 15/16" 12'-0" 4'-0" 12'-0" 4'-0" 12'-0" 6'-4" 11'-4" 18'-0" 11'-4" 18'-0" 11'-4" 18'-0" 11'-4" 18'-0" 11'-4" 5'-8" 12'-0" 4'-0" 12'-0" 4'-0" 12'-0" 8'-0"

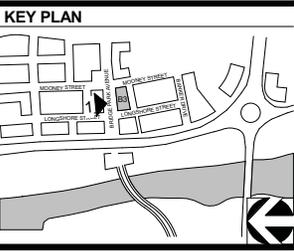
Balcony side walls and doors included in story area for transparency and material calculations



Story Height
(See Typ. Notes)

- ROOF DECK 172'-10"
- LEVEL 5 160'-0" (869'-0 3/8")
- LEVEL 4 147'-4" (856'-4 3/8")
- LEVEL 3 134'-8" (844'-0 3/8")
- LEVEL 2 122'-0" (831'-8 3/8")
- LEVEL 1.4 107'-0" (816'-8 3/8")
- LEVEL 1.3 105'-7 5/8" (815'-4")
- LEVEL 1.2 103'-3 5/8" (813'-0")
- LEVEL 1.1 100'-0" (809'-8 3/8")
- LEVEL 1 98'-3 5/8" (808'-0")

LEVEL 1.5 108'-3 5/8" (818'-0")



HORIZONTAL FACADE DIVISIONS
(Required within 3' of top of ground story on buildings 3 stories and taller)

FACADE MATERIALS

Overall Area of North Elevation: 18,683 sf
Area of Windows/Doors: - 5,189 sf
Net Area of Elevation: 13,494 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	6,029 sf	45%	80%	N
	Primary	1,544 sf	11%		
Glass	Primary	7,573 sf	56%	80%	N
	Primary	1,544 sf	11%		
Fiber Cement Misc. Elements	Secondary	5,586 sf	42%	<20%	N
	Trim	335 sf	2%		
		5,921 sf	44%	<20%	N

1 B3- NORTH ELEVATION

1/16" = 1'-0"

CORRIDOR BUILDING TYPE

11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

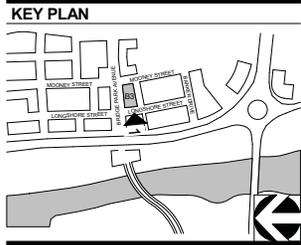
WAIVER NEEDED: SECONDARY MATERIALS = 24%

06-23-2015



**STREET FACADE
TRANSPARENCY**

5th Story
Story Area: 1,003 sf
Transparency: 416 sf
Required: 30%
Provided: 41%
4th Story
Story Area: 1,044 sf
Transparency: 393 sf
Required: 30%
Provided: 38%
3rd Story
Story Area: 1,044 sf
Transparency: 387 sf
Required: 30%
Provided: 38%
2nd Story
Story Area: 1,044 sf
Transparency: 416 sf
Required: 30%
Provided: 39%
1st Story
Story Area: 480 sf
Transparency: 336 sf
Required: 70%
Provided: 70%

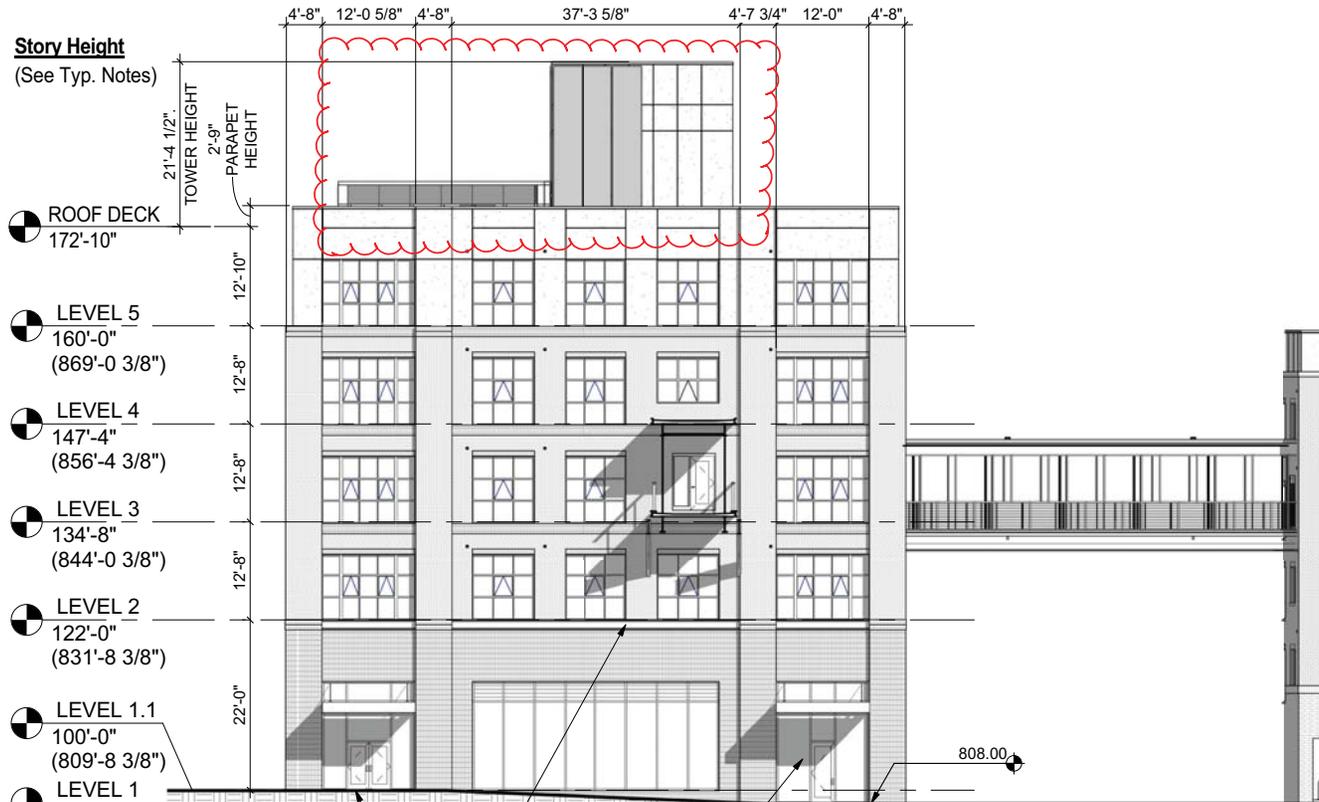


1

B3 - WEST ELEVATION

1/16" = 1'-0"

VERTICAL FACADE DIVISIONS
(45' OR LESS REQUIRED)



Story Height
(See Typ. Notes)

ROOF DECK
172'-10"

LEVEL 5
160'-0"
(869'-0 3/8")

LEVEL 4
147'-4"
(856'-4 3/8")

LEVEL 3
134'-8"
(844'-0 3/8")

LEVEL 2
122'-0"
(831'-8 3/8")

LEVEL 1.1
100'-0"
(809'-8 3/8")

LEVEL 1
98'-3 5/8"
(808'-0")

HORIZONTAL FACADE DIVISIONS
(Required within 3' of top of ground story on buildings 3 stories and taller)

PRINCIPAL ENTRANCE LOCATION
(As applicable along primary street facade of building)

CORRIDOR BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

FACADE MATERIALS

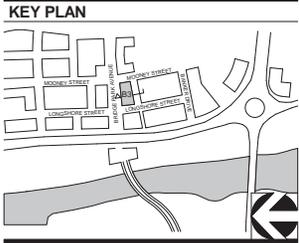
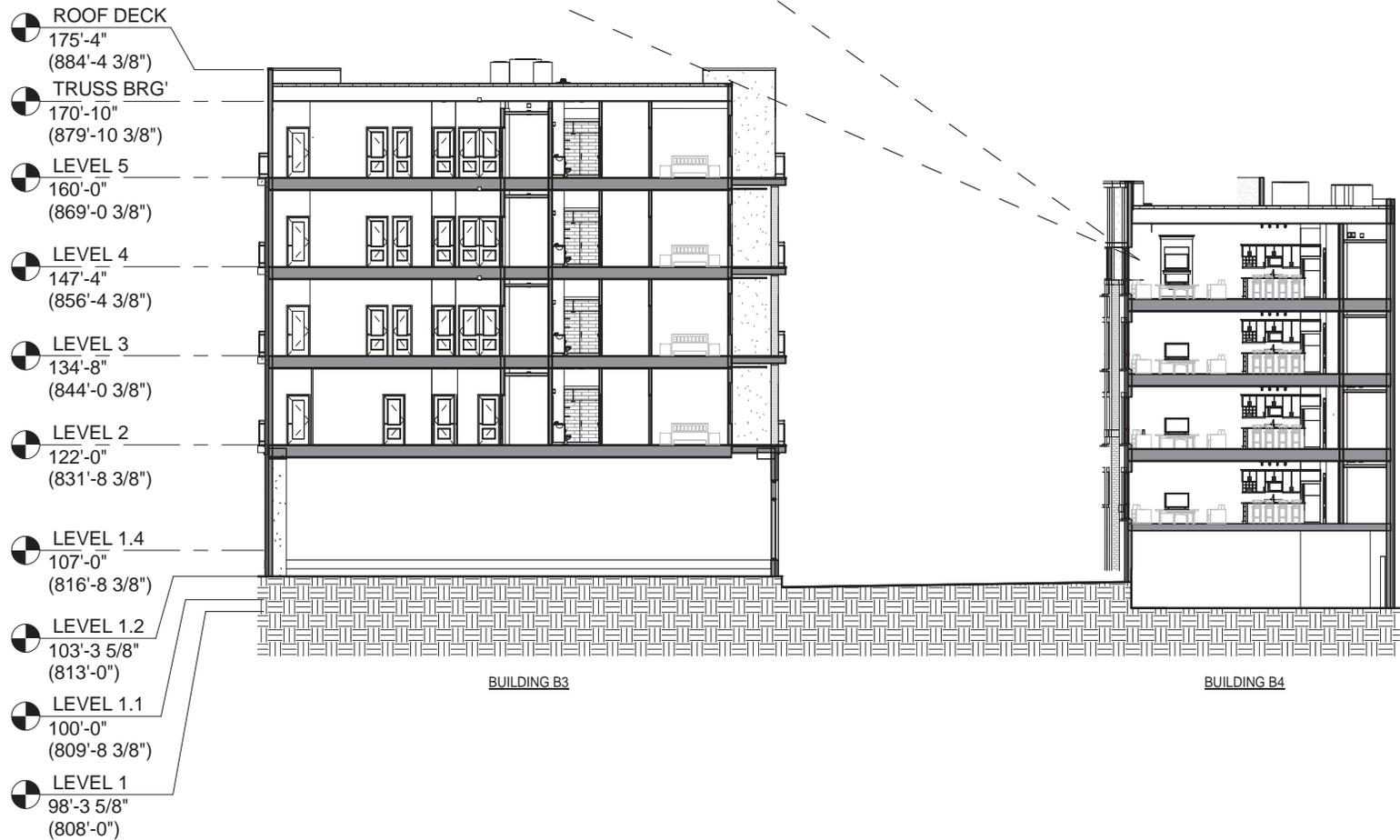
Overall Area of West Elevation:	6,498 sf
Area of Windows/Doors:	-1,613 sf
Net Area of Elevation:	4,885 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,848 sf	58%		
	Primary	673 sf	14%		
Glass		3,521 sf	72%	80%	N
Fiber Cement	Secondary	1,281 sf	26%		
	Trim	83 sf	2%		
Misc. Elements		1,364 sf	28%	<20%	N

06-23-2015



BRIDGE PARK
DUBLIN, OH



1 BUILDING SECTION NORTH-SOUTH B3 & B4
1/16" = 1'-0"

CORRIDOR BUILDING TYPE

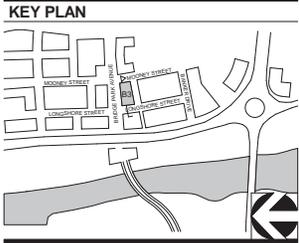
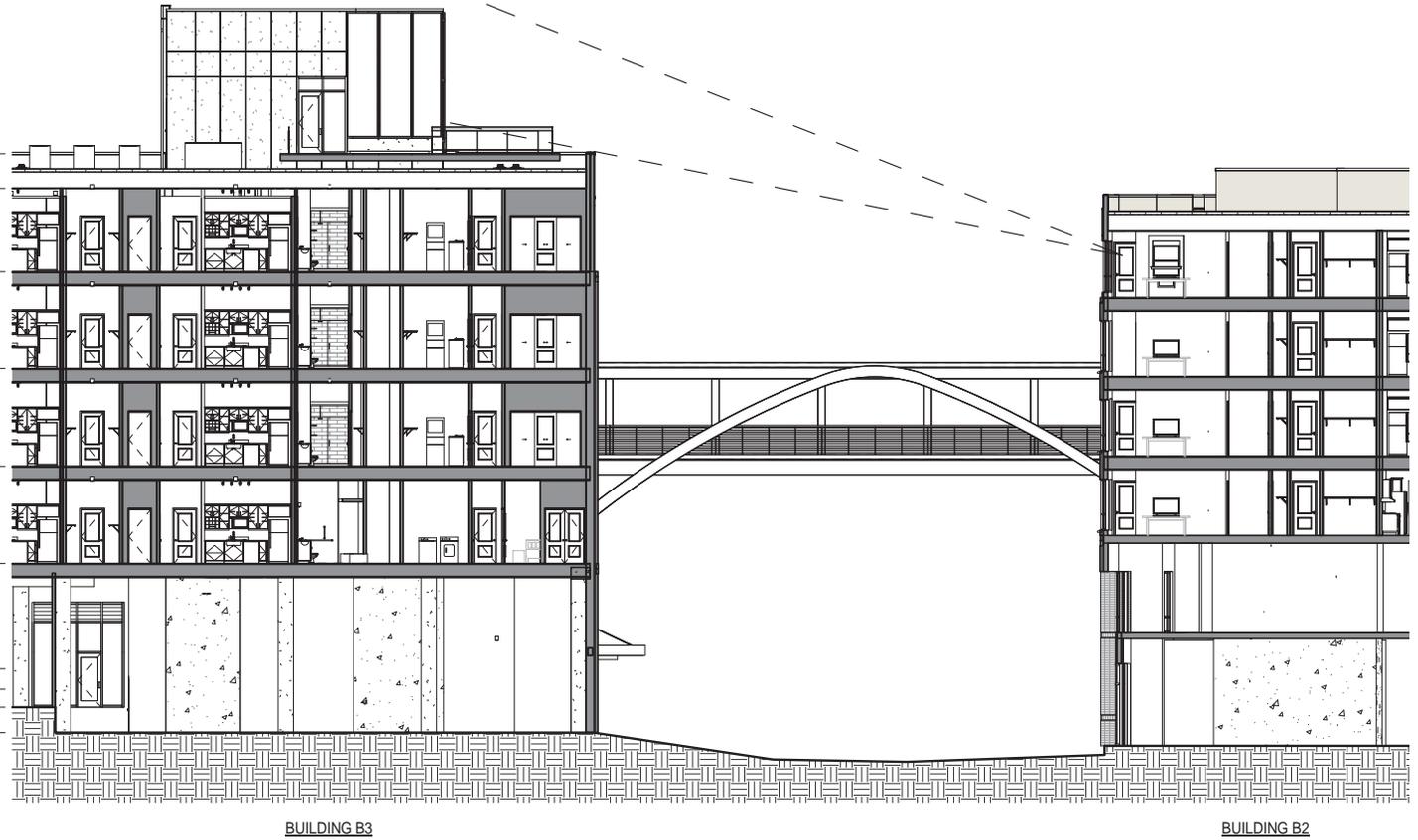
11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

06-23-2015



BRIDGE PARK
DUBLIN, OH

- ROOF DECK
175'-4"
(884'-4 3/8")
- TRUSS BRG'
170'-10"
(879'-10 3/8")
- LEVEL 5
160'-0"
(869'-0 3/8")
- LEVEL 4
147'-4"
(856'-4 3/8")
- LEVEL 3
134'-8"
(844'-0 3/8")
- LEVEL 2
122'-0"
(831'-8 3/8")
- LEVEL 1.5
108'-3 5/8"
(818'-0")
- LEVEL 1.3
105'-7 5/8"
(815'-4")
- LEVEL 1.2
103'-3 5/8"
(813'-0")
- LEVEL 1.1
100'-0"
(809'-8 3/8")



1 BUILDING SECTION EAST-WEST B3 & B2
1/16" = 1'-0"

CORRIDOR BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

06-23-2015



BRIDGE PARK
DUBLIN, OH

UNIT QUANTITY 3FL	
Name	Quantity

1 BR	6
2 BR	3
3 BR	1
STUDIO	2

Grand total: 12

REFER TO LEVEL 1 FOR THE DIMENSIONS FOR THIS LEVEL

BRIDGEPARK AVENUE

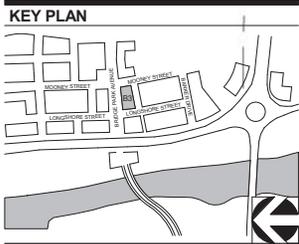
R.O.W.

LONGSHORE STREET

MOONEY STREET

R.O.W.

1
B3 - LEVEL 3 (EL. 844.03')
1/16" = 1'-0"



CORRIDOR BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

08-08-2016

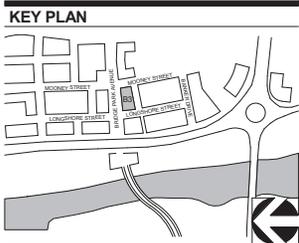
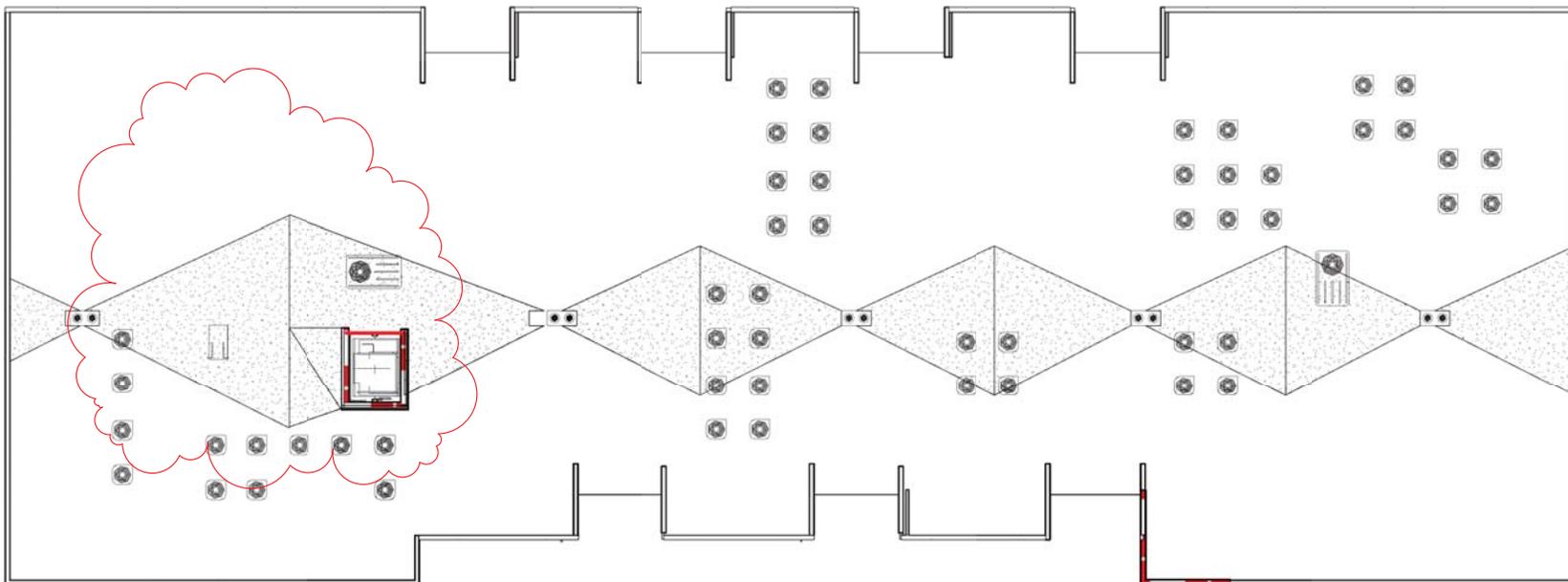


BRIDGE PARK
DUBLIN, OH

1

1/16" = 1'-0"

ROOF PLAN (EL. 881.86')



CORRIDOR BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

06-30-2016



BRIDGE PARK
DUBLIN, OH

**STREET FACADE
TRANSPARENCY**

1st Story	2nd Story	3rd Story	4th Story	5th Story
Story Area: 1,308 sf	Story Area: 3,365 sf	Story Area: 3,365 sf	Story Area: 3,365 sf	Story Area: 3,385 sf
Transparency: 839 sf	Transparency: 1,124 sf	Transparency: 1,124 sf	Transparency: 1,124 sf	Transparency: 1,124 sf
Required: 60%	Required: 30%	Required: 30%	Required: 30%	Required: 30%
Provided: 64%	Provided: 33%	Provided: 33%	Provided: 33%	Provided: 33%

**VERTICAL FACADE DIVISIONS
(45' OR LESS REQUIRED)**

7'-3 15/16" 12'-0" 4'-0" 12'-0" 4'-0" 12'-0" 6'-2 5/8" 11'-6 3/8" 17'-9 1/2" 11'-6 1/2" 18'-2 7/8" 10'-8" 18'-2 11/16" 11'-5 7/16" 5'-8" 12'-0" 4'-0" 12'-0" 4'-0" 12'-0" 8'-0"

Balcony side walls and doors included in story area for transparency and material calculations

TOP OF PARAPET
175'-6 1/2"
(883'-4 3/8")

Story Height
(See Typ. Notes)

ROOF DECK
172'-10"

LEVEL 5
160'-0"
(869'-0 3/8")

LEVEL 4
147'-4"
(856'-4 3/8")

LEVEL 3
134'-8"
(844'-0 3/8")

LEVEL 2
122'-0"
(831'-8 3/8")

LEVEL 1.4
107'-0"
(814'-0 3/8")

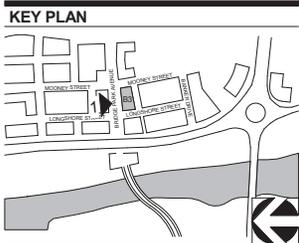
LEVEL 1.3
104'-7 5/8"
(814'-4")

LEVEL 1.2
103'-3 5/8"
(813'-0")

LEVEL 1.1
100'-0"
(809'-8 3/8")

LEVEL 1
98'-3 5/8"
(808'-0")

LEVEL 1.5
108'-3 5/8"
(818'-0")



HORIZONTAL FACADE DIVISIONS
(Required within 3' of top of ground story on buildings 3 stories and taller)

FACADE MATERIALS

Overall Area of North Elevation: 18,683 sf
Area of Windows/Doors: - 5,189 sf
Net Area of Elevation: 13,494 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	6,029 sf	45%		
	Primary	1,544 sf	11%		
Glass		7,573 sf	56%	80%	N
Fiber Cement Misc. Elements	Secondary	5,586 sf	42%		
	Trim	335 sf	2%		
		5,921 sf	44%	<20%	N

1 B3- NORTH ELEVATION

1/16" = 1'-0"

CORRIDOR BUILDING TYPE

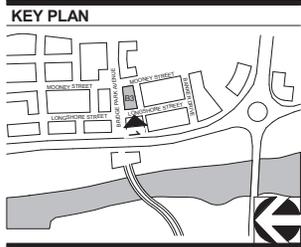
11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

06-30-2016



**STREET FACADE
TRANSPARENCY**

5th Story
Story Area: 1,003 sf
Transparency: 416 sf
Required: 30%
Provided: 41%
4th Story
Story Area: 1,044 sf
Transparency: 393 sf
Required: 30%
Provided: 38%
3rd Story
Story Area: 1,044 sf
Transparency: 387 sf
Required: 30%
Provided: 38%
2nd Story
Story Area: 1,044 sf
Transparency: 416 sf
Required: 30%
Provided: 39%
1st Story
Story Area: 480 sf
Transparency: 336 sf
Required: 70%
Provided: 70%



1

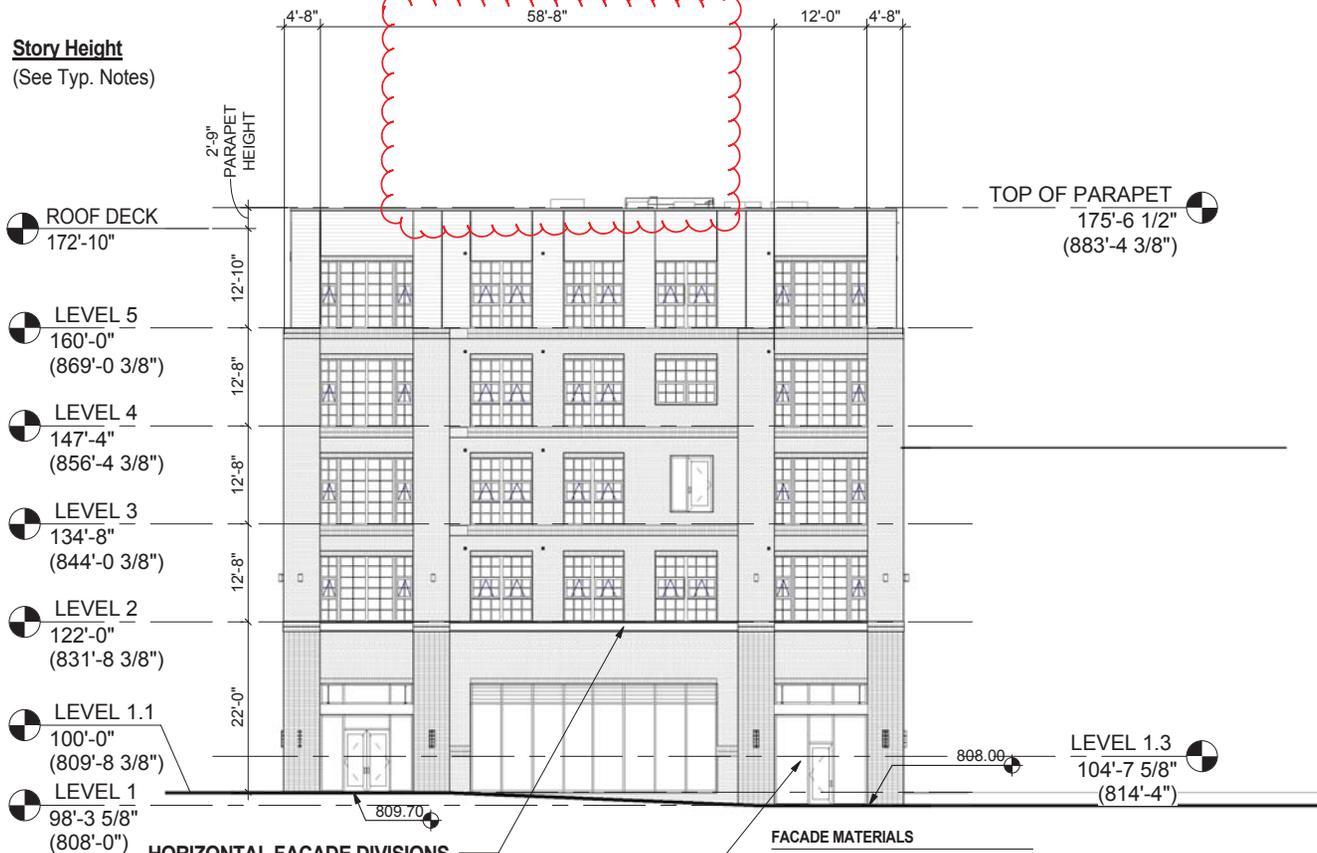
B3 - WEST ELEVATION

1/16" = 1'-0"

CORRIDOR BUILDING TYPE

11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

VERTICAL FACADE DIVISIONS
(45' OR LESS REQUIRED)



Story Height
(See Typ. Notes)

ROOF DECK
172'-10"

LEVEL 5
160'-0"
(869'-0 3/8")

LEVEL 4
147'-4"
(856'-4 3/8")

LEVEL 3
134'-8"
(844'-0 3/8")

LEVEL 2
122'-0"
(831'-8 3/8")

LEVEL 1.1
100'-0"
(809'-8 3/8")

LEVEL 1
98'-3 5/8"
(808'-0")

TOP OF PARAPET
175'-6 1/2"
(883'-4 3/8")

LEVEL 1.3
104'-7 5/8"
(814'-4")

HORIZONTAL FACADE DIVISIONS
(Required within 3' of top of ground story on buildings 3 stories and taller)

PRINCIPAL ENTRANCE LOCATION
(As applicable along primary street facade of building)

FACADE MATERIALS

Overall Area of West Elevation: 6,498 sf
Area of Windows/Doors: -1,613 sf
Net Area of Elevation: 4,885 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	2,848 sf	58%	80%	N
	Primary	673 sf	14%		
Glass	Secondary	1,281 sf	26%	<20%	N
	Trim	83 sf	2%		
Fiber Cement Misc. Elements		1,364 sf	28%		

06-30-2016



TOP OF PARAPET
175'-6 1/2"
(883'-4 3/8")

(E.8)

TRUSS BRG'
170'-10"
(879'-10 3/8")

LEVEL 5
160'-0"
(869'-0 3/8")

LEVEL 4
147'-4"
(856'-4 3/8")

LEVEL 3
134'-8"
(844'-0 3/8")

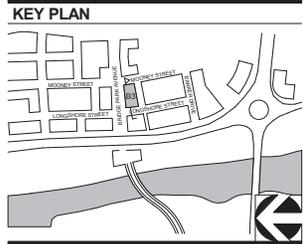
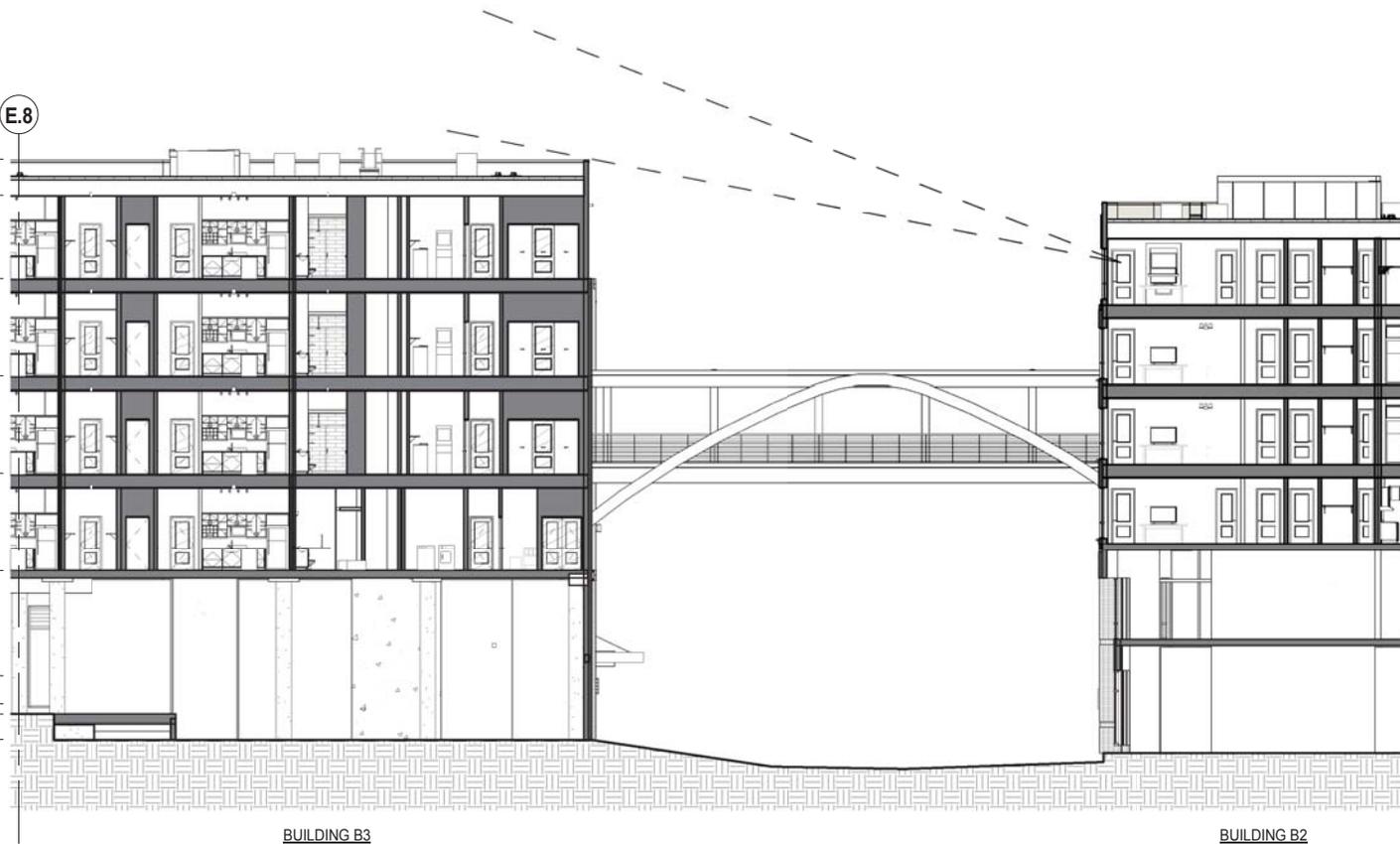
LEVEL 2
122'-0"
(831'-8 3/8")

LEVEL 1.5
108'-3 5/8"

(LEVEL 1.3)
104'-7 5/8"
(814'-4")

LEVEL 1.2
103'-3 5/8"
(813'-0")

LEVEL 1.1
100'-0"
(809'-8 3/8")

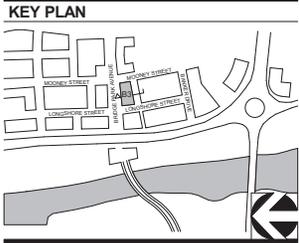
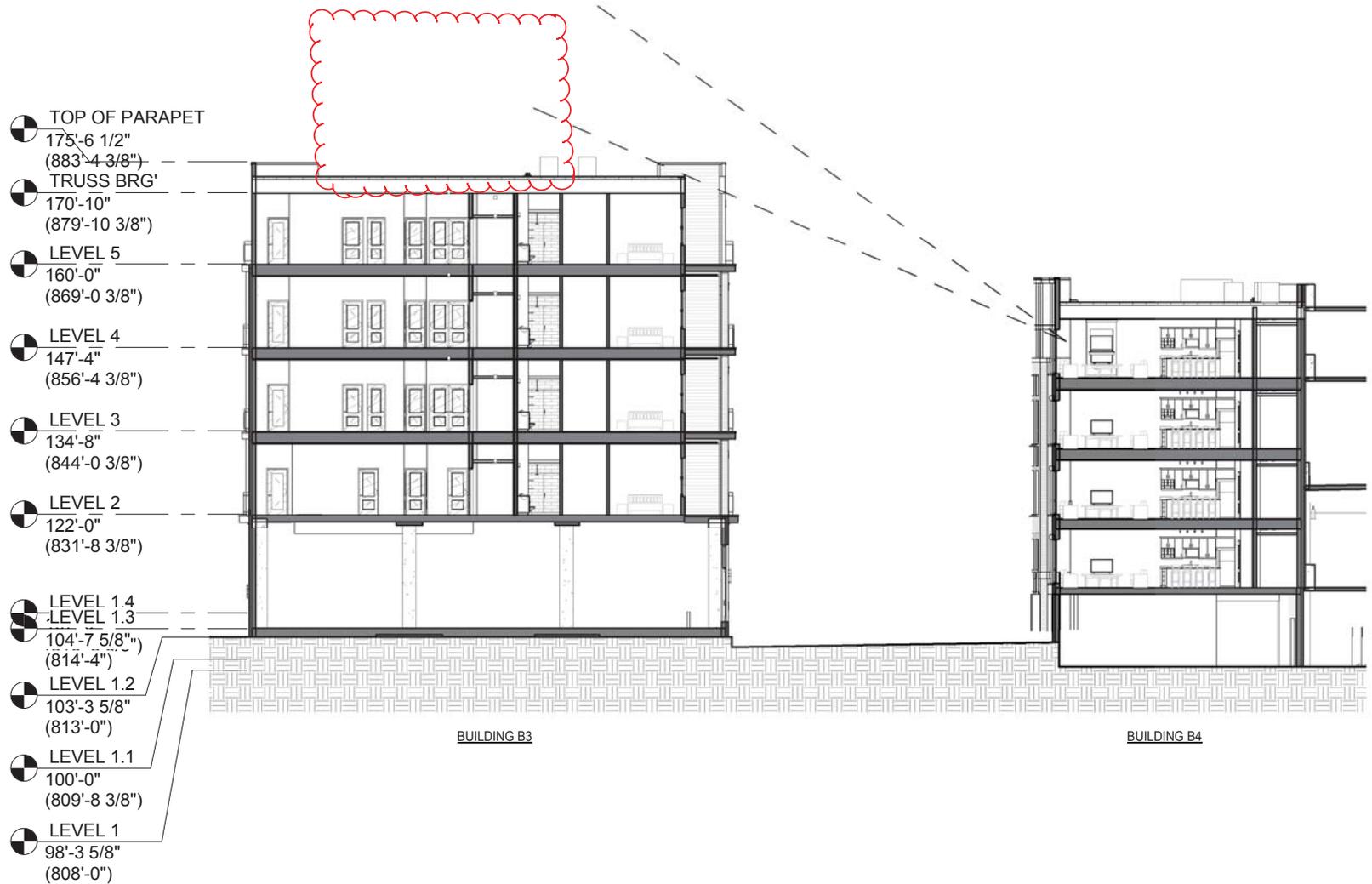


1 BUILDING SECTION EAST-WEST B3 & B2
1/16" = 1'-0"

CORRIDOR BUILDING TYPE

11' X 17" = 1/16" = 1'-0", 22" X 34" = 1/8" = 1'-0"

08-08-2016

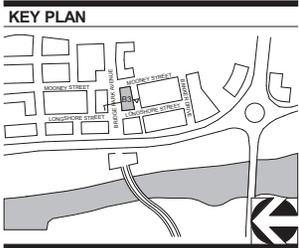
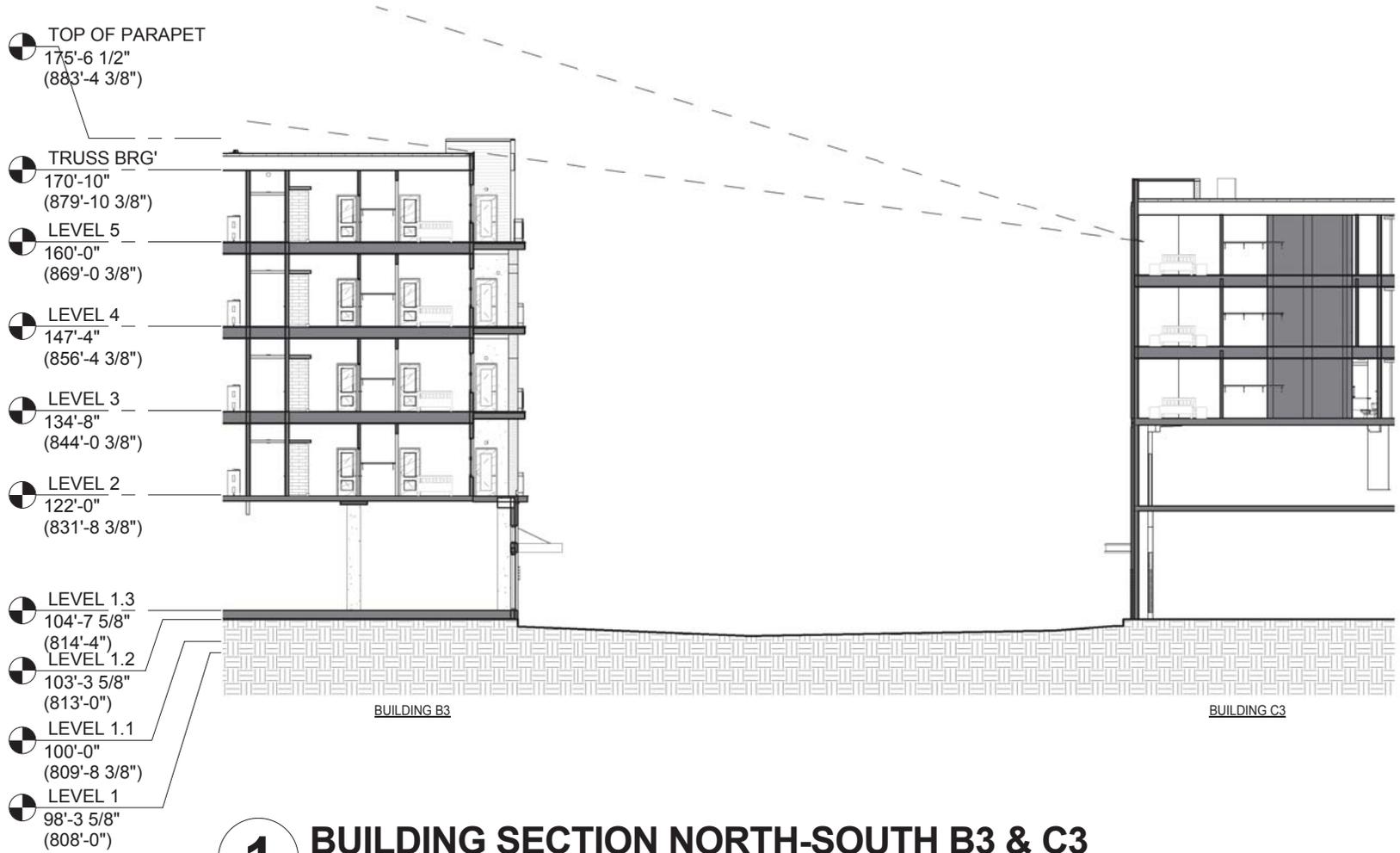


1 BUILDING SECTION NORTH-SOUTH B3 & B4
1/16" = 1'-0"

CORRIDOR BUILDING TYPE

11' X 17' = 1/16" = 1'-0", 22' X 34' = 1/8" = 1'-0"

08-08-2016



1 BUILDING SECTION NORTH-SOUTH B3 & C3
1/16" = 1'-0"

CORRIDOR BUILDING TYPE

11' X 17" = 1/16" = 1'-0", 22' X 34" = 1/8" = 1'-0"

08-08-2016