

Charles Penzone

THE GRAND SALONS

Village Parkway
Dublin, Ohio 43017

DUBLIN FINAL SITE SUBMITTAL

08.29.16



project team

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THE GRAND SALONS

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.29.16

CP

THE GRAND SALON

Village Parkway
Dublin, Ohio 43017

COVER

PROJECT TITLE

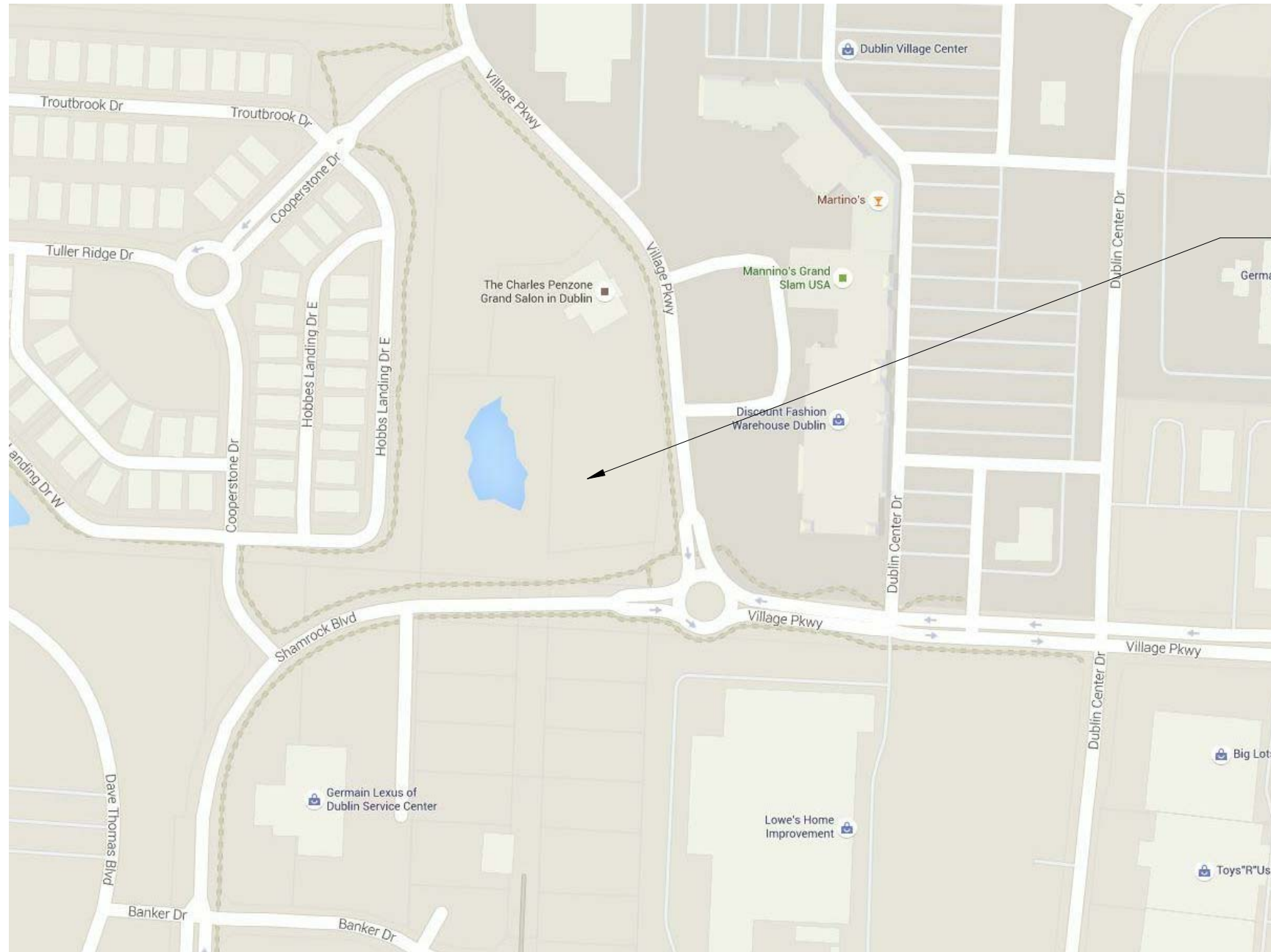
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CONSTRUCTION**

MEYERS+ASSOCIATES PROJECT NUMBER:

2015-46

SHEET NUMBER

G-000

	A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q	R	S	T	U	V					
16	ABBREVIATIONS												GENERAL NOTES								16				
15	<div>ABV. Above</div> <div>A.F.F. Above Finish Floor</div> <div>ALT. Alternate</div> <div>A.B. Anchor Bolt</div> <div>BOT. Bottom</div> <div>B.O. Bottom of</div> <div>B.U.R. Built Up Roof</div> <div>CAB. Cabinet</div> <div>CB. Carpet Base</div> <div>C.I. Cast Iron</div> <div>C.I.P. Cast in Place</div> <div>C.J. Control Joint</div> <div>CLR. Clear</div> <div>COL. Column</div> <div>CONC. Concrete</div> <div>C.M.U. Concrete Masonry Unit</div> <div>CPT. Carpet</div> <div>CSC Commercial Grade Carpet</div> <div>CTB Ceramic Tile Base</div> <div>CTW Ceramic Tile Base Wainscot</div> <div>D.F. Drinking Fountain</div> <div>EL. Elevation</div> <div>ELEC. Electrical</div> <div>ELEV. Elevator</div> <div>EQ. Equal</div> <div>E.I.F.S. Exterior Insulating and Finish System</div> <div>E.J. Expansion Joint</div> <div>ETR Existing to Remain</div> <div>F.D. Floor Drain</div> <div>FR Fire Retardant</div> <div>FRP Fiber Glass Reinforced Polyester</div> <div>GA. Gauge</div> <div>GALV. Galvanized</div> <div>GYP. BD. Gypsum Board</div> <div>JT. Joint</div> <div>H.M. Hollow Metal</div> <div>HSV Homogeneous Sheet Vinyl</div> <div>HSVP Homogeneous Sheet Vinyl Base with Metal Cap</div> <div>INT. Interior</div> <div>INV. Invert</div> <div>LAM. Laminated</div> <div>M.W. Millwork</div> <div>MTL. Metal</div> <div>M.R. Moisture Resistant</div> <div>NECS. New Egg Crate Grill</div> <div>O.C. On Center</div> <div>O.H. Opposite Hand</div> <div>PNT. Paint-Color to Be Selected by Architect</div> <div>PTD. Painted</div> <div>P.LAM. Plastic Laminate</div> <div>PL. Plate</div> <div>RAD. Radius</div> <div>SAT. Suspended Acoustical Tile and Grid</div> <div>SGBC. Suspended Gypsum Board Ceiling, Painted</div> <div>STL. Steel</div> <div>S.S. Stainless Steel</div> <div>SUSP. Suspended</div> <div>T.O. Top of</div> <div>TYP. Typical</div> <div>U.N.O. Unless Noted Otherwise</div> <div>UNPTD. Unpainted</div> <div>V.W.C. Vinyl Wall Covering</div> <div>VB. Vinyl Base</div> <div>VCGB. Vinyl Coated Gypsum Board</div> <div>WB. Wood Base</div> <div>WD. Wood</div>												<div>G1. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.</div> <div>G2. DIMENSIONS ARE WITNESSED TO FACE OF STUD UNLESS OTHERWISE NOTED.</div> <div>G3. COORDINATE LOCATIONS AND ELEVATIONS OF FLOOR DRAINS, REGISTERS, GRILLES, LOUVERS, CONVECTORS, CABINET UNIT HEATERS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS.</div> <div>G4. COORDINATE WORK BETWEEN ARCHITECTURAL AND DOCUMENTS FROM ALL VARIOUS DESIGN DISCIPLINES. ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.</div> <div>G5. ALL DIMENSIONS AND TIE-INS BY OTHER TRADES MUST BE FIELD VERIFIED BY INSTALLING CONTRACTOR.</div> <div>G6. COORDINATE FLOOR AND WALL OPENINGS AND ROOF PENETRATIONS WITH INSTALLING TRADE.</div> <div>G7. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR INSTALLATION OF SLEEVES, CONDUITS, DAMPERS, AND OTHER BUILT-IN ITEMS WHERE RATED WALLS JOIN OTHER RATED MATERIALS OR FINISHES. USE U.L. APPROVED RATED SYSTEMS ONLY.</div> <div>G8. COORDINATE AND PROVIDE BLOCKING/BACKING IN PARTITIONS BEHIND ALL WALL MOUNTED ITEMS. ALL CONCEALED WOOD TO BE FIRE TREATED.</div> <div>G9. ATTACHMENTS, CONNECTIONS OR FASTENINGS OF ALL NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST INDUSTRY STANDARD PRACTICE. THE DRAWINGS SHOW ONLY SELECT CONDITIONS TO ASSIST CONTRACTOR, THEY ARE NOT INTENDED TO ILLUSTRATE EVERY DETAIL.</div> <div>G10. ALL CONCEALED WOOD TO BE (FRT) FIRE RESISTANT TREATED IN ACCORDANCE WITH SECTION 06070-WOOD, TREATMENT.</div> <div>G11. ALL EXPOSED WOOD TO BE CLASS (xxxxx) WITH FLAMESPREAD OF 76-200 AND SMOKE DEVELOPED OF 0-450.</div> <div>G12. ALL EXPOSED WOOD IN VERTICAL EXITS AND PASSAGE WAYS TO BE CLASS B WITH FLAMESPREAD OF 26-76, SMOKE DEVELOPED OF 0-450</div> <div>G13. WALKING SURFACE TO HAVE A STATIC COEFFICIENT OF FRICTION NOT LESS THAN SCHEDULED BELOW (WET AND DRY) WHEN TESTED BY ASTM C 1028, LEVEL SURFACES 0.60, SLOPED SURFACES (RAMPS) 0.80.</div> <div>G14. ALL EXTERIOR EXPOSED METAL SURFACES TO BE GALVANIZED UNLESS SPECIFIED OTHERWISE.</div> <div>G15. CONTRACTOR TO COORDINATE ALL BUILDING SYSTEM REQUIREMENTS FOR ALL SAFETY PRECAUTIONS INCLUSIVE OF ALL ELECTRICAL ARC FLASHING REQUIREMENTS.</div>								15				
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10	<div><div><div>XX</div><div>A-XXX</div></div><div>SECTION DETAIL INDICATOR. SHEET ON WHICH DETAIL APPEARS.</div></div> <div><div><div>XX</div><div>A-XXX</div></div><div>ENLARGED PLAN INDICATOR. SHEET ON WHICH ENLARGED PLAN APPEARS.</div></div> <div><div><div>XX</div></div><div>DOOR INDICATOR. SEE DOOR SCHEDULE A-900.</div></div> <div><div><div>X</div><div>XXX</div></div><div>BUILDING SECTION INDICATOR. SHEET ON WHICH BUILDING SECTION APPEARS.</div></div> <div><div><div>XX</div><div>A-XXX</div></div><div>EXTERIOR ELEVATION INDICATOR SHEET ON WHICH ELEVATION APPEARS.</div></div> <div><div><div>XX</div></div><div>WINDOW INDICATOR.</div></div> <div><div><div>X</div><div>—</div></div><div>INTERIOR WALL TYPE INDICATOR. SEE A-700 SERIES.</div></div> <div><div><div>A-XXX</div></div><div>INTERIOR ELEVATION INDICATOR. SHEET ON WHICH ELEVATION APPEARS.</div></div> <div><div><div>XXX</div></div><div>FURNITURE/ACCESSORIES REFERENCE NUMBER</div></div> <div><div><div>XXX</div></div><div>FINISH TAG</div></div> <div><div><div>X</div><div>—</div></div><div>NEW CONSTRUCTION COLUMN BUBBLE AND GRID LINE</div></div> <div><div><div>XX</div></div><div>KEY NOTES</div></div> <div><div><div>XXX</div></div><div>ACCESSORY/EQUIPMENT TAGS</div></div> <div><div><div>XX</div><div>A-XXX</div></div><div>WALL SECTION INDICATOR. SHEET ON WHICH DETAIL APPEARS.</div></div>												<div><div><div><div></div></div></div><div>EARTH</div></div> <div><div><div><div></div></div></div><div>POROUS FILL/ GRAVEL</div></div> <div><div><div><div></div></div></div><div>CAST-IN PLACE CONCRETE</div></div> <div><div><div><div></div></div></div><div>CMU</div></div> <div><div><div><div></div></div></div><div>GYPSUM BOARD</div></div> <div><div><div><div></div></div></div><div>STEEL</div></div> <div><div><div><div></div></div></div><div>FINISH WOOD</div></div> <div><div><div><div></div></div></div><div>WOOD BLOCKING</div></div> <div><div><div><div></div></div></div><div>SHIM</div></div> <div><div><div><div></div></div></div><div>RIGID INSULATION</div></div> <div><div><div><div></div></div></div><div>PARTICLE BOARD</div></div> <div><div><div><div></div></div></div><div>PLYWOOD</div></div> <div><div><div><div></div></div></div><div>ACOUSTICAL TILE</div></div> <div><div><div><div></div></div></div><div>BATT INSULATION</div></div> <div><div><div><div></div></div></div><div>SPRAYED-ON INSULATION</div></div>				<div><div>#</div><div>SHEET TITLE</div></div> <div>GENERAL</div> <div>G-000 COVER</div> <div>G-001 PROJECT INFORMATION</div> <div>G-003 ACCESSIBILITY COMPLIANCE INFORMATION</div> <div>G-004 CODE INFORMATION</div> <div>CIVIL</div> <div>C-001 TITLE SHEET</div> <div>C-002 GENERAL NOTES</div> <div>C-003 DETAILS</div> <div>C-004 EXISTING CONDITIONS & TREE SURVEY</div> <div>C-005 SITE PLAN</div> <div>C-006 UTILITY PLAN</div> <div>C-007 GRADING PLAN</div> <div>C-008 STORM SEWER PROFILES</div> <div>C-009 EROSION CONTROL PLAN</div> <div>LANDSCAPE</div> <div>L1.0 OVERALL LANDSCAPE PLAN</div> <div>L1.1 LANDSCAPE PLAN ENLARGEMENT</div> <div>L2.0 TREE PRESERVATION PLAN</div> <div>L3.0 SITE DETAILS</div> <div>L3.1 PLANTING DETAILS</div> <div>ARCHITECTURAL</div> <div>A-100 FIRST FLOOR CONSTRUCTION PLAN</div> <div>A-101 SECOND FLOOR CONSTRUCTION PLAN</div> <div>A-102 ROOF PLAN</div> <div>A-300 EXTERIOR ELEVATIONS</div> <div>A-301 EXTERIOR ELEVATIONS</div> <div>A-302 EXTERIOR ELEVATIONS</div> <div>A-303 EXTERIOR ELEVATIONS</div> <div>A-304 EXTERIOR RENDERINGS</div> <div>A-310 BUILDING SECTIONS</div> <div>A-600 WALL SECTIONS</div> <div>ELECTRICAL</div> <div>E000 SITE PHOTOMETRIC PLAN</div>								10
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meyers+associates

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SHEET TITLE

PROJECT INFORMATION

THE GRAND SALON

Village Parkway

Dublin, Ohio 43017

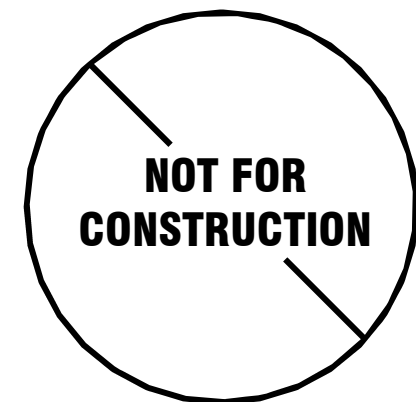
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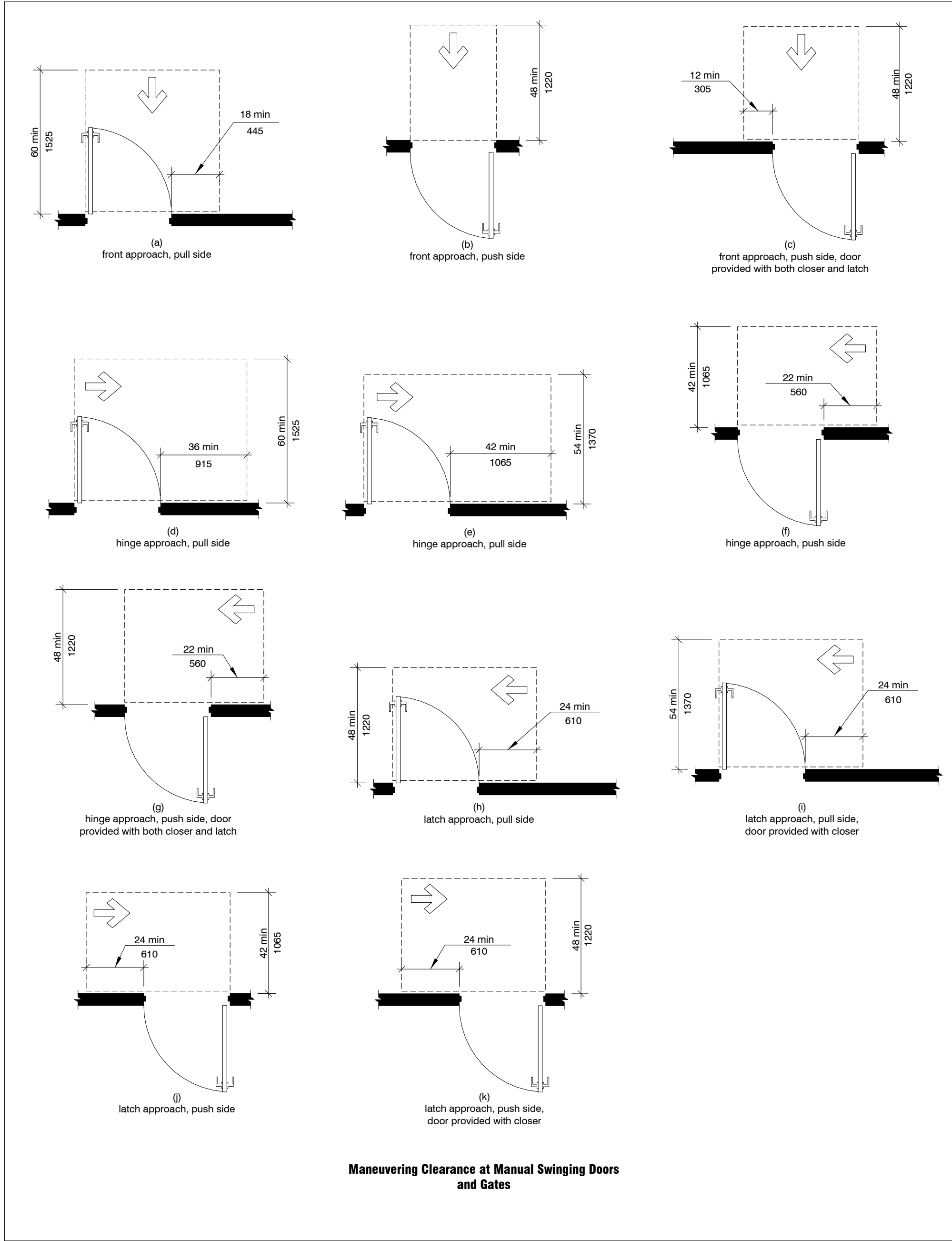
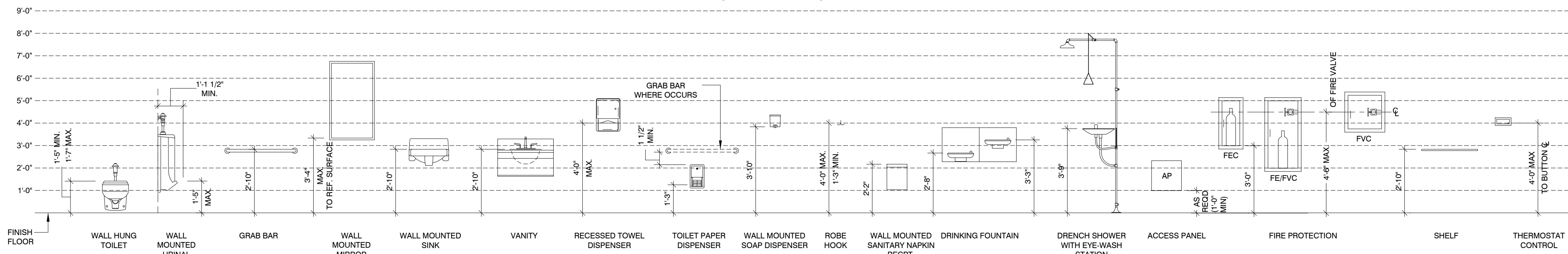
2015-46

SHEET NUMBER

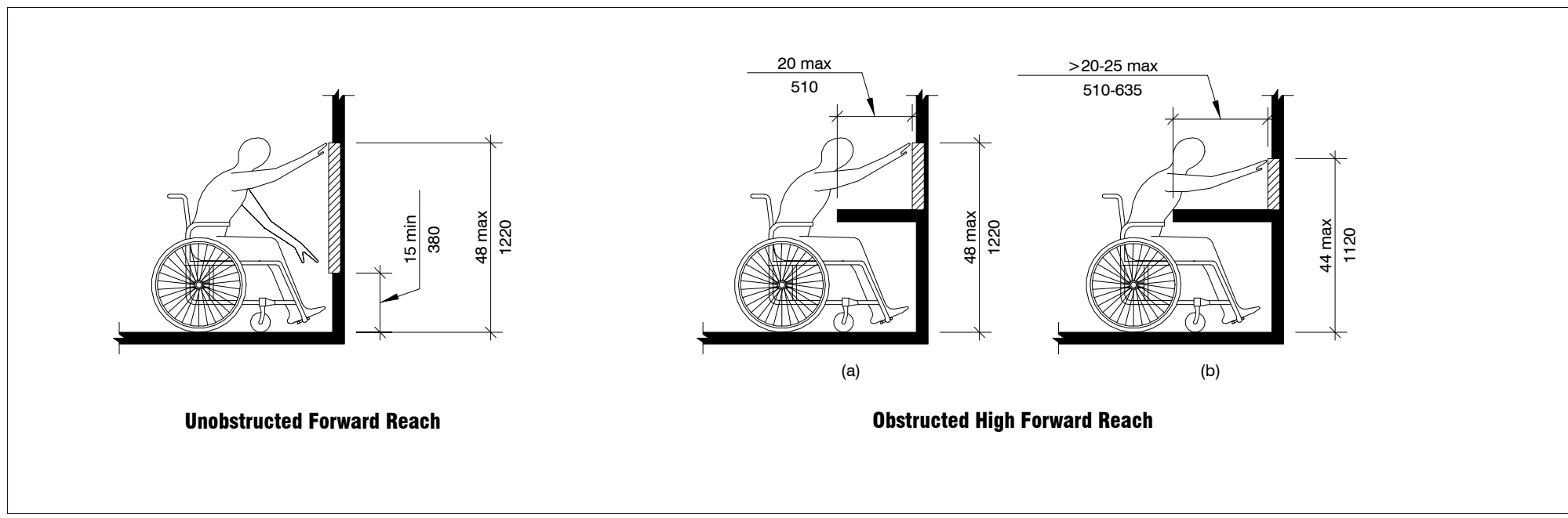
G-001



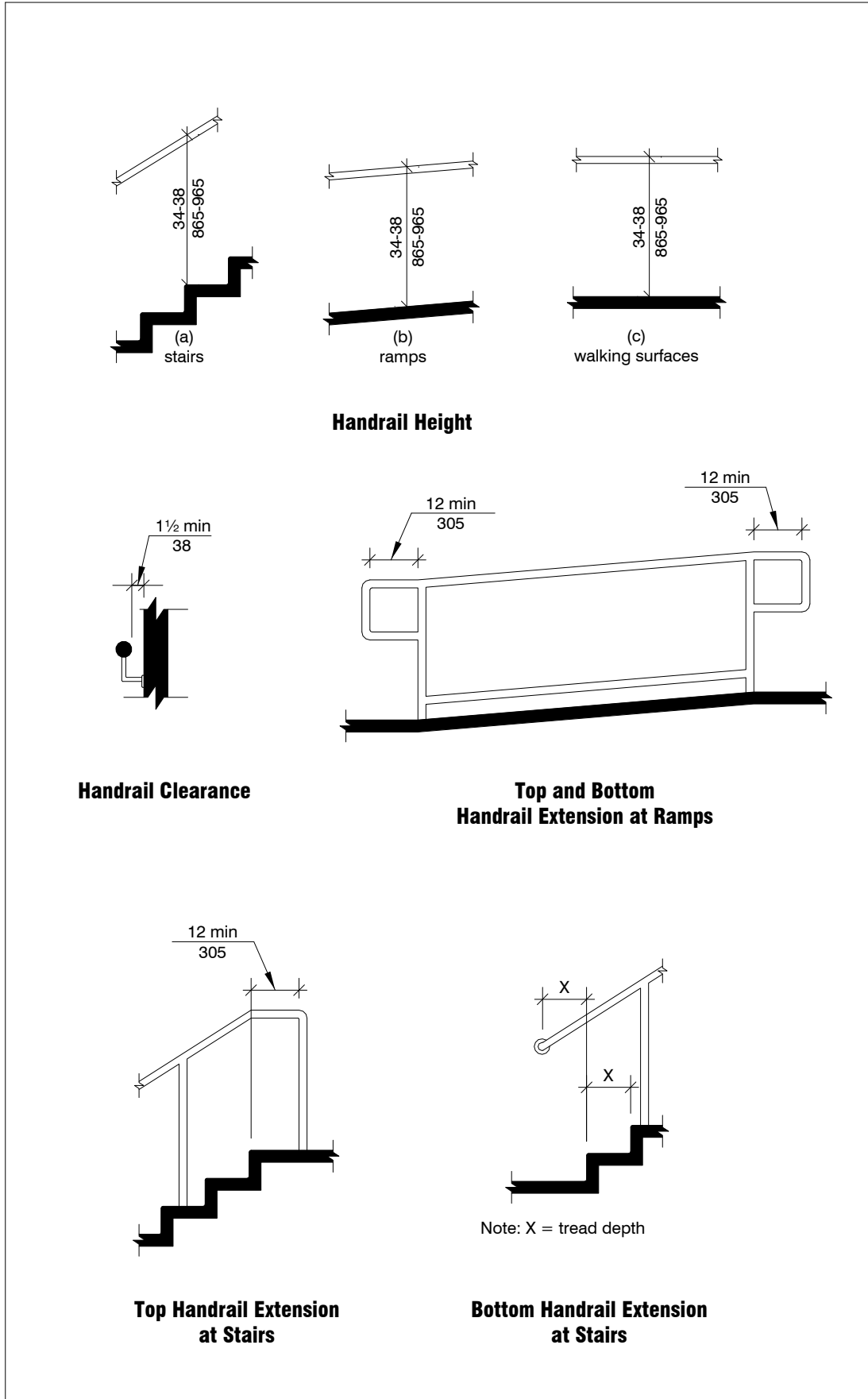
MOUNTING HEIGHTS
(NOT ALL APPLY)



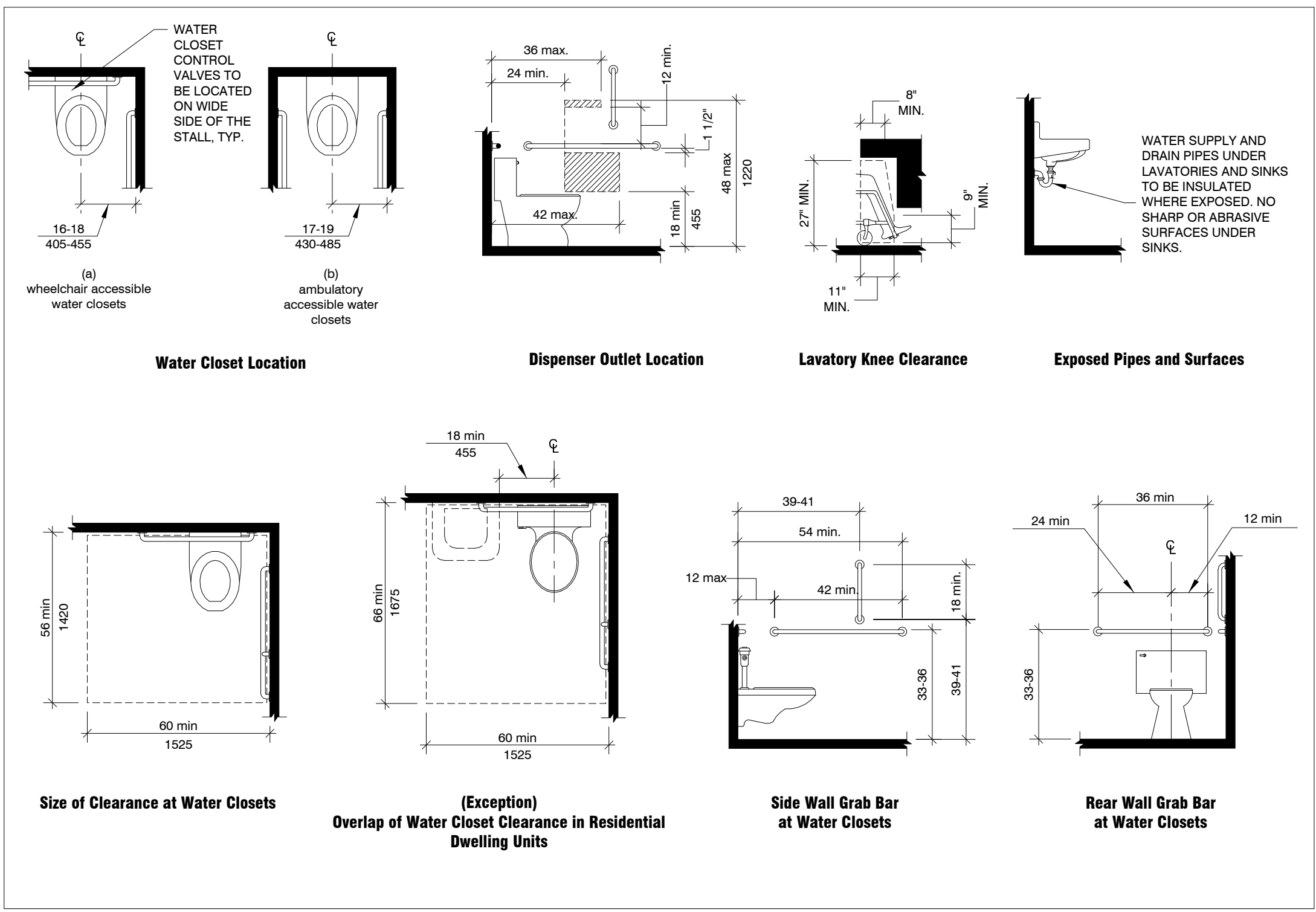
CLEARANCES AT DOORS



FORWARD REACH



HANDRAILS

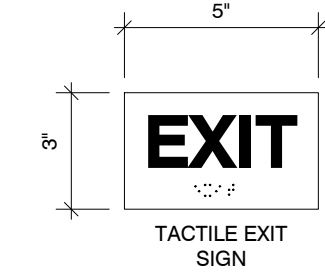


WATER CLOSETS / LAVATORIES

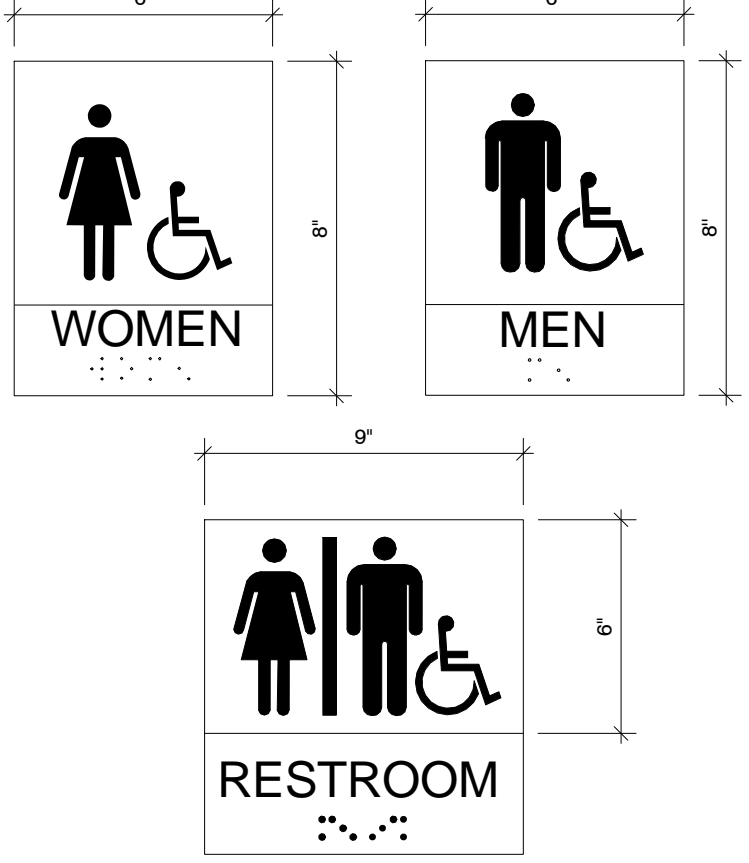
NOTES:

- SCOPE**
ALL AREAS OF NEWLY DESIGNED AND NEWLY CONSTRUCTED BUILDINGS AND FACILITIES AND ALTERED PORTIONS OF EXISTING BUILDINGS AND FACILITIES SHALL COMPLY WITH THESE REQUIREMENTS.
- ACCESSIBLE ROUTES**
SITE ARRIVAL POINTS.
AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS AND SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
WITHIN A SITE.
AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
MULTI-STORY BUILDINGS AND FACILITIES.
PREVIOUSLY AND MAJOR STRUCTURAL MODIFICATIONS ARE NECESSARY FOR THE INSTALLATION, AN ACCESSIBLE ROUTE SHALL BE PROVIDED BETWEEN THE LEVELS SERVED BY THE ESCALATOR OR STAIR UNLESS EXEMPTED.
- CHANGES IN LEVEL**
VERTICAL.
CHANGES IN LEVEL OF 1/4 INCH (6.4 MM) HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL.
BEVELED.
CHANGES IN LEVEL BETWEEN 1/4 INCH (6.4 MM) HIGH MINIMUM AND 1/2 INCH (13 MM) HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
RAMP.
CHANGES IN LEVEL GREATER THAN 1/2 INCH (13 MM) HIGH SHALL BE RAMPED.
- CARPET**
CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION, PAD, OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/INCUIT PILE TEXTURE. PILE HEIGHT SHALL BE 1/2 INCH (13 MM) MAXIMUM. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND SHALL HAVE TRIM ON THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH ITEM 3 ABOVE.
- PARKING SPACES**
VEHICLE SPACES
CAR PARKING SPACES SHALL BE 96 INCHES (2440 MM) WIDE MINIMUM AND VAN PARKING SPACES SHALL BE 132 INCHES (3350 MM) WIDE MINIMUM, SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESS AISLE.
ACCESS AISLE
ACCESS AISLES SERVING PARKING SPACES SHALL BE 60 INCHES (1525 MM) WIDE MINIMUM AND SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACES THEY SERVE. ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE.
IDENTIFICATION
PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE." SIGNS SHALL BE 60 INCHES (1525 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

TACTILE EXIT SIGNS

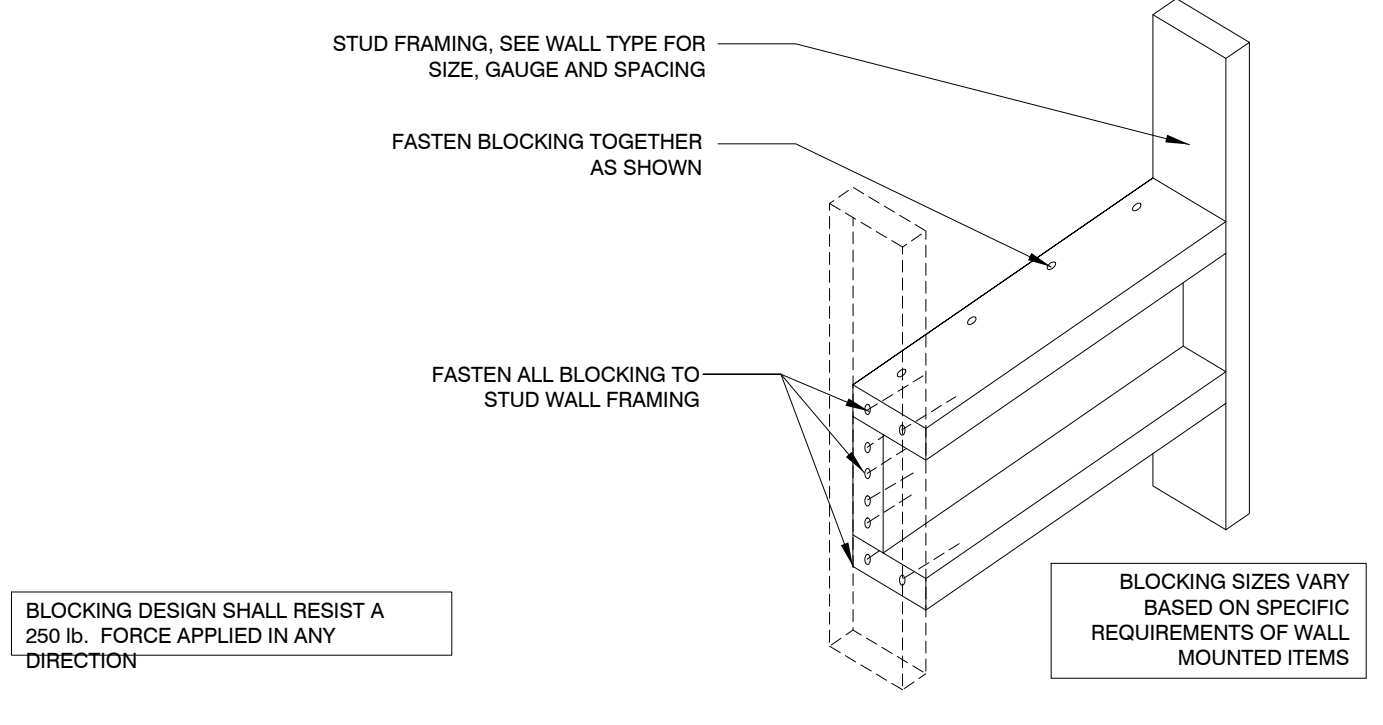


TACTILE RESTROOM SIGNS



MOUNTING LOCATION

ALL SIGNAGE SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES, INCLUDING BUT NOT LIMITED TO PROPORTION, COLOR CONTRAST AND RELIEF AND GRADE 2 BRAILLE REQUIREMENTS.
TACTILE EXIT SIGNAGE:
TACTILE "EXIT" SIGNAGE TO BE PLACED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.
GENERAL CONTRACTOR TO VERIFY EXISTING SIGNAGE INSTALLATIONS AND PROVIDE NEW AS REQUIRED. CHARACTERS, SYMBOLS AND BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THE BACKGROUND, EITHER LIGHT ON DARK BACKGROUND OR DARK ON LIGHT BACKGROUND.
SIGNS TO INCLUDE BRAILLE AND CHARACTERS AS DEFINED BY CODE.
MOUNT SIGNAGE AT 60" A.F.F. TO THE CENTER OF THE SIGN.



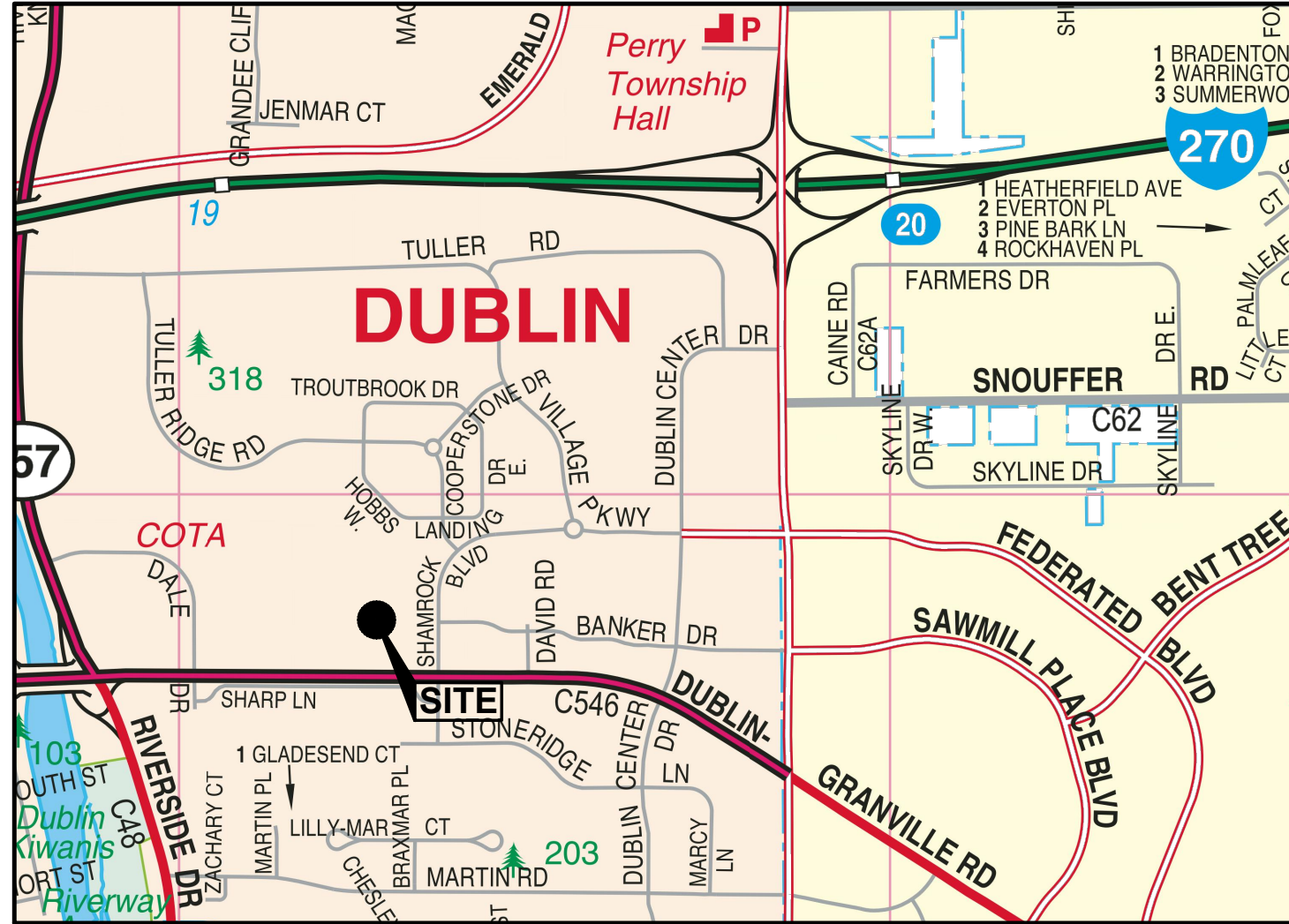
DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.20.16

ACCESSIBILITY COMPLIANCE INFORMATION

THE GRAND SALON
Village Parkway
Dublin, Ohio 43017

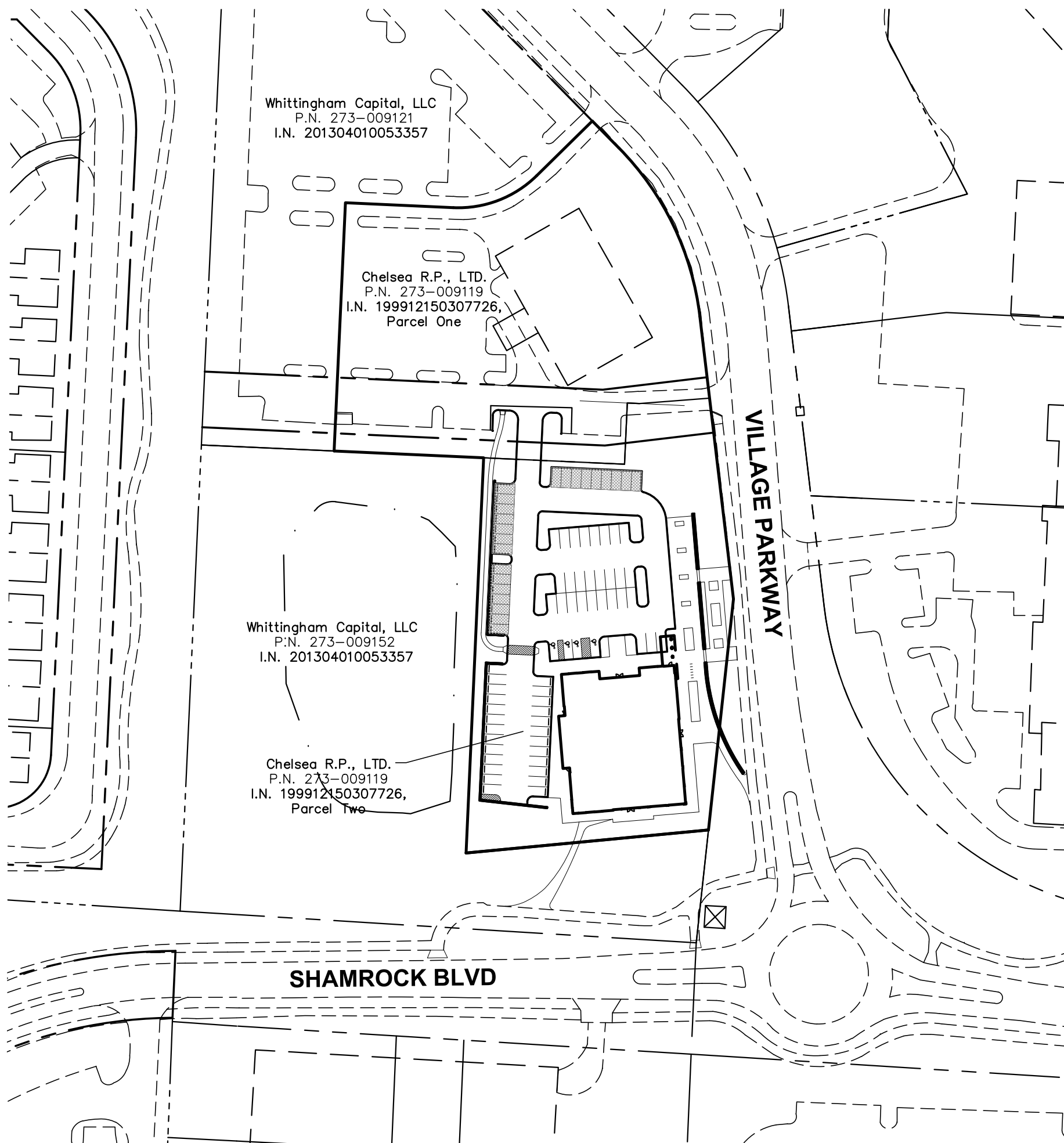
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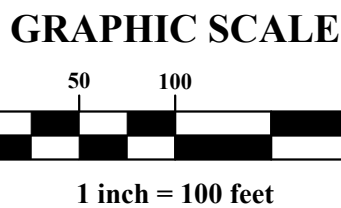


VICINITY MAP
SCALE: NTS

CITY OF DUBLIN, OHIO FINAL DEVELOPMENT PLAN FOR CHARLES PENZONE GRAND SALON 2016



INDEX MAP
SCALE: 1"=100'



OWNER

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CITY OF DUBLIN APPROVAL

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND THE GENERAL LOCATION OF THE PROJECT AND DOES NOT CONSTITUTE ASSURANCE TO OPERATE AS INTENDED. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL CIVIL ENGINEER PREPARING THE PLANS.

CITY ENGINEER, CITY OF DUBLIN, OHIO _____ DATE _____
PAUL A. HAMMERSMITH, P.E.

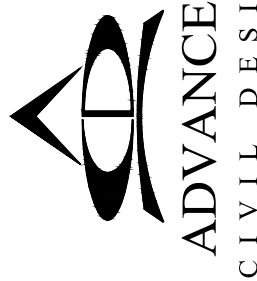
DIRECTOR OF LAND USE AND LONG RANGE PLANNING _____ DATE _____
CITY OF DUBLIN, OHIO

PREPARED BY:



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Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

REGISTERED ENGINEER _____ NUMBER _____ DATE _____



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DESCRIPTION DATE

DUBLIN FINAL SITE SUBMITTAL 08.29.2016

SHEET TITLE
TITLE SHEET

PROJECT TITLE

THE GRAND SALON

VILLAGE PARKWAY
DUBLIN, OHIO 43017

SEAL

MEYERS+ASSOCIATES PROJECT NUMBER:

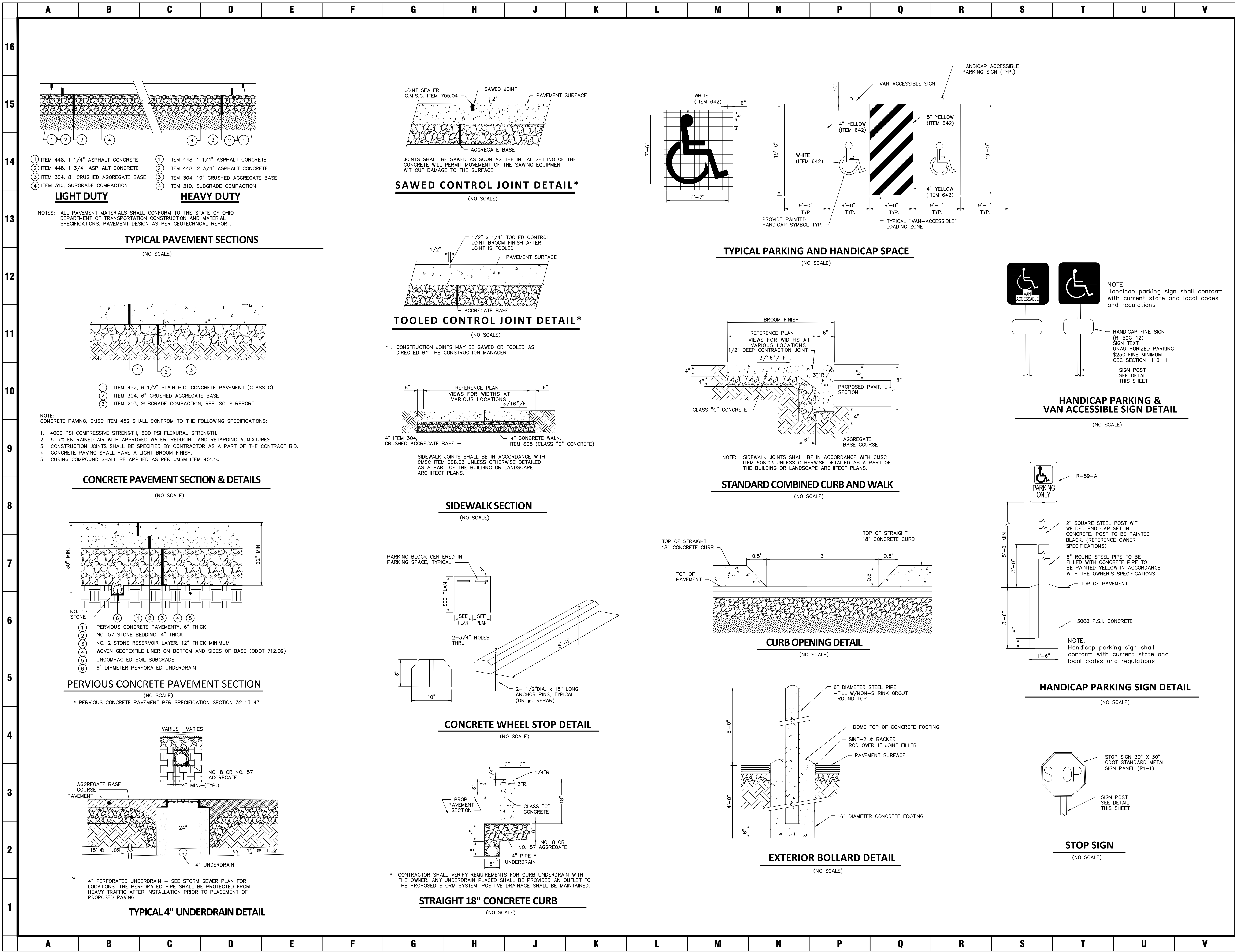
2015-46

SHEET NUMBER

C-001

DUBLIN PROJECT NUMBER: XXXXX

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ADVANCE
CIVIL DESIGN
meyer A R

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SHEET TITLE

PROJECT TITLE

THE GRAND SALON

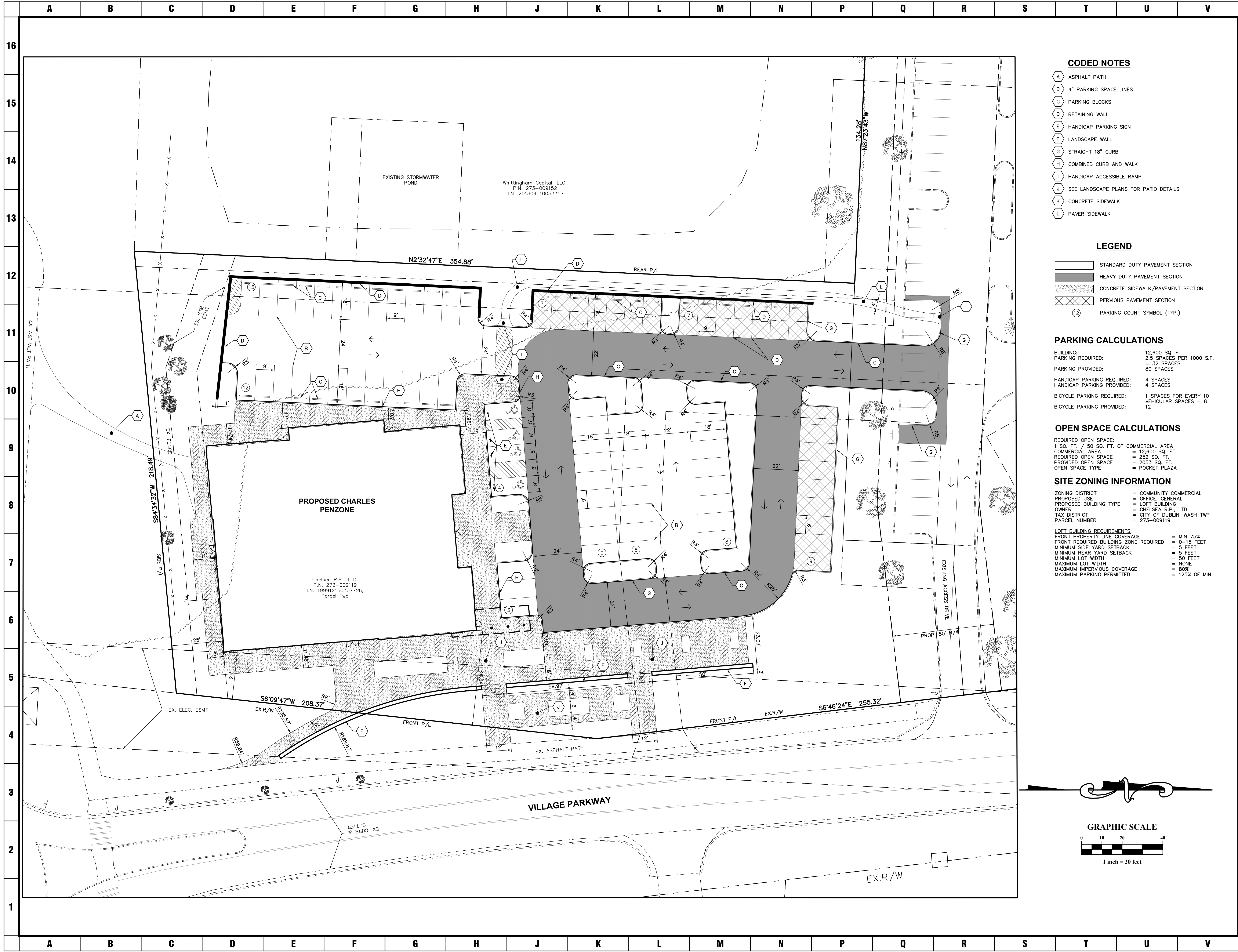
VILLAGE PARKWAY
DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46
SHEET NUMBER

C-003

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CODED NOTES

- A ASPHALT PATH
- B 4" PARKING SPACE LINES
- C PARKING BLOCKS
- D RETAINING WALL
- E HANDICAP PARKING SIGN
- F LANDSCAPE WALL
- G STRAIGHT 18" CURB
- H COMBINED CURB AND WALK
- I HANDICAP ACCESSIBLE RAMP
- J SEE LANDSCAPE PLANS FOR PATIO DETAILS
- K CONCRETE SIDEWALK
- L PAVER SIDEWALK

LEGEND

- STANDARD DUTY PAVEMENT SECTION
- HEAVY DUTY PAVEMENT SECTION
- CONCRETE SIDEWALK/PAVEMENT SECTION
- PERVIOUS PAVEMENT SECTION
- PARKING COUNT SYMBOL (TYP.)

PARKING CALCULATIONS

BUILDING: 12,600 SQ. FT.
PARKING REQUIRED: 2.5 SPACES PER 1000 S.F.
= 32 SPACES
PARKING PROVIDED: 80 SPACES
HANDICAP PARKING REQUIRED: 4 SPACES
HANDICAP PARKING PROVIDED: 4 SPACES
BICYCLE PARKING REQUIRED: 1 SPACES FOR EVERY 10 VEHICULAR SPACES = 8
BICYCLE PARKING PROVIDED: 12

OPEN SPACE CALCULATIONS

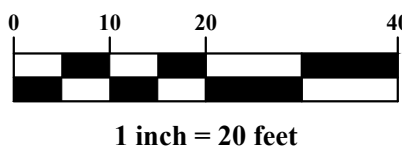
REQUIRED OPEN SPACE:
1 SQ. FT. / 50 SQ. FT. OF COMMERCIAL AREA
COMMERCIAL AREA = 12,600 SQ. FT.
REQUIRED OPEN SPACE = 252 SQ. FT.
PROVIDED OPEN SPACE = 2053 SQ. FT.
OPEN SPACE TYPE = POCKET PLAZA

SITE ZONING INFORMATION

ZONING DISTRICT = COMMUNITY COMMERCIAL
PROPOSED USE = OFFICE, GENERAL
PROPOSED BUILDING TYPE = LOFT BUILDING
OWNER = CHELSEA R.P., LTD
TAX DISTRICT = CITY OF DUBLIN-WASH TWP
PARCEL NUMBER = 273-009119

LOFT BUILDING REQUIREMENTS:
FRONT PROPERTY LINE COVERAGE = MIN 75%
FRONT REQUIRED BUILDING ZONE REQUIRED = 0-15 FEET
MINIMUM SIDE YARD SETBACK = 5 FEET
MINIMUM REAR YARD SETBACK = 5 FEET
MINIMUM LOT WIDTH = 50 FEET
MAXIMUM LOT WIDTH = NONE
MAXIMUM IMPERVIOUS COVERAGE = 80%
MAXIMUM PARKING PERMITTED = 125% OF MIN.

GRAPHIC SCALE



1 inch = 20 feet



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ph 614.428.7750
fax 614.428.7755
meyers+associates
ARCHITECTS
222 N. Third Street, 3rd Floor, Columbus OH 43215
t (604) 221-9435 f (604) 221-9441
www.meyersarchitects.com

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08-29-2016

SITE PLAN

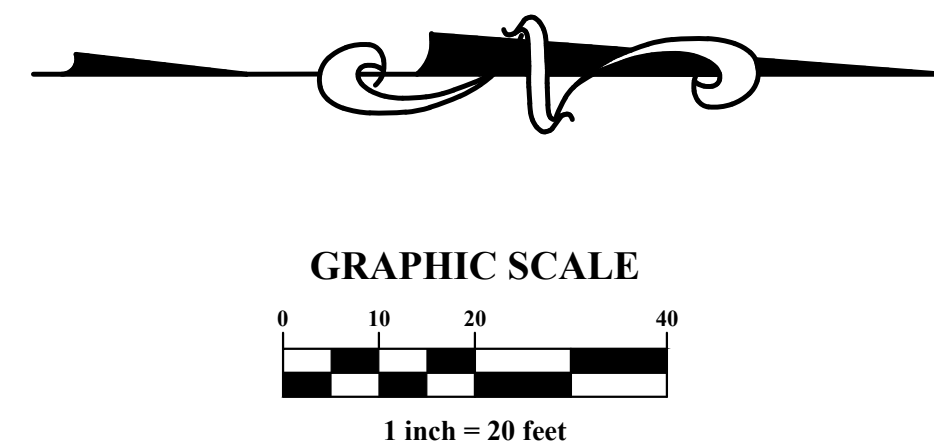
THE GRAND SALON

VILLAGE PARKWAY
DUBLIN, OHIO 43017

SEAL

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46
SHEET NUMBER

C-005



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<p>UTILITY PLAN</p> <p>SHEET TITLE</p>	<p>THE GRAND SALON</p> <p>PROJECT TITLE</p>
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3	SEAL
2	
1	MEYERS+ASSOCIATES PROJECT NUMBER: 2015-46 SHEET NUMBER C-006

Z:\15-0037-76\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\07-GRADING PLAN.dwg Aug 23, 2016 - 11:12:27am _petchol

Whittingham Capital, LLC
P.N. 273-009152
I.N. 201304010053357

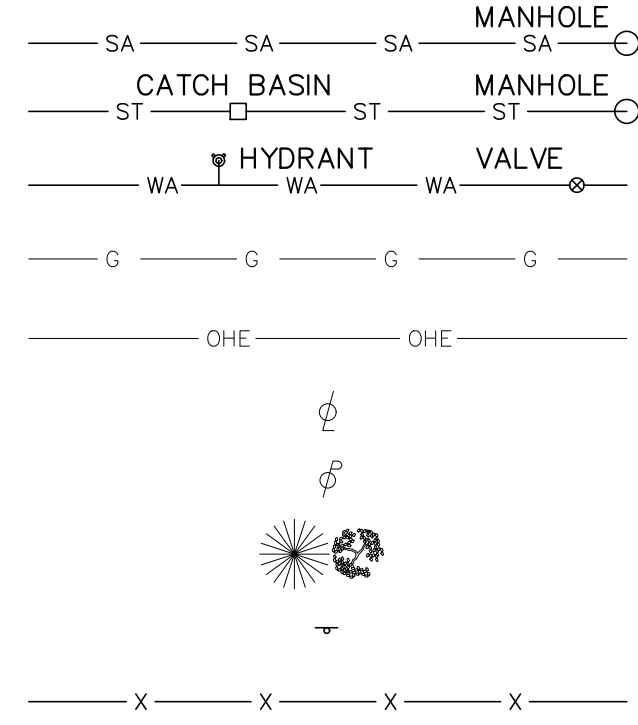
EXISTING STORMWATER
POND

PROPOSED CHARLES
PENZONE
FFE=897.70

Chelsea R.P., LTD.
P.N. 273-009119
I.N. 199912150307726,
Parcel Two

VILLAGE PARKWAY

LEGEND



SANITARY SEWER
STORM SEWER
WATER
GAS MAIN
OVERHEAD ELECTRIC
STREET LIGHT / LIGHT POLE
UTILITY POLE
TREES
SIGN POST
FENCE

CODED NOTES

1 NEW CATCH BASIN SET ON EXISTING STORM SEWER.

ABBREVIATIONS

TC TOP OF CASTING ELEVATION

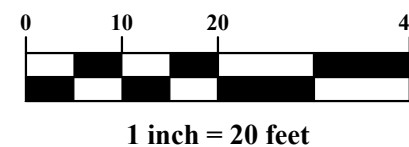
CAUTION

O.S.H.A. CLEARANCE REQUIREMENTS TO BE MAINTAINED
DURING CONSTRUCTION BETWEEN EQUIPMENT AND OVERHEAD
138,000 VOLT ELECTRIC TRANSMISSION LINE

NOTES

ELEVATIONS SHOWN REPRESENT TOP OF PAVEMENT/SIDEWALK
UNLESS OTHERWISE NOTED.

GRAPHIC SCALE



meyers+associates
ARCHITECTURE
422 Beecher Road
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fax 614.428.7755
www.meyersarchitects.com

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08-23-2016

SHEET TITLE
GRADING PLAN

PROJECT TITLE

THE GRAND SALON

VILLAGE PARKWAY
DUBLIN, OHIO 43017

SEAL

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER

C-007

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8						
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SHEET TITLE

STORM SEWER PROFILES

PROJECT TITLE

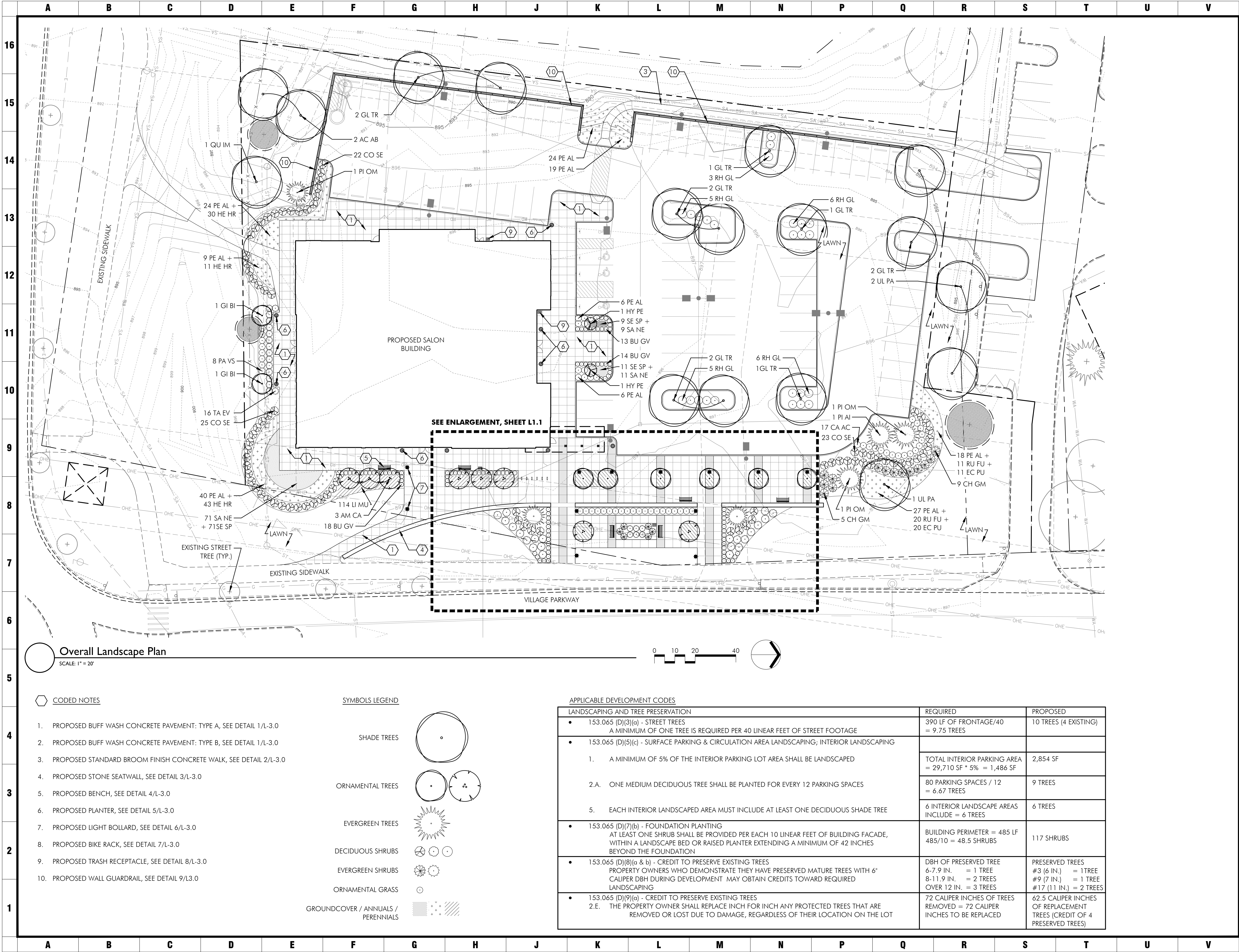
THE GRAND SALON

VILLAGE PARKWAY

DUBLIN, OHIO 43017

3	SEAL
2	
1	MEYERS+ASSOCIATES PROJECT NUMBER: 2015-46 SHEET NUMBER C-008

	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V																														
16	<p>EROSION AND SEDIMENT CONTROL NARRATIVE</p> <p>PLAN ENGINEERS: ADVANCED CIVIL DESIGN, INC. 422 BEECHER ROAD CAHANNA, OH 43230 PH (614) 428-7750 FAX (614) 428-7755 CONTACT: TOM WARNER EMAIL: TWARNER@ADVANCEDCIVILDESIGN.COM</p> <p>PROPERTY OWNER: CHELSEA R.F., LTD. 1480 MANNING PARKWAY POWELL, OHIO 43065</p> <p>EXISTING SITE DESCRIPTION: THE PROJECT SITE CURRENTLY IS AN OPEN FIELD WITH A FEW TREES AND BRUSH AREAS. OVERALL SITE ACREAGE: 1.8 ACRES. DISTURBED ACREAGE: +/- xxxx ACRES</p> <p>EXISTING SITE DRAINAGE CONDITION: THE EXISTING SITE DRAINS PRIMARILY TO THE WEST INTO AN EXISTING STORM WATER BASIN.</p> <p>ADJACENT AREAS: THE SITE IS BOUNDED BY A COMMERCIAL PROPERTY TO THE NORTH, A STORM WATER BASIN TO THE WEST, AND PUBLIC STREETS TO THE SOUTH AND EAST.</p> <p>CRITICAL AREAS: THE PUBLIC ROADS AND STORM WATER BASIN SHALL BE PROTECTED FROM ANY AND ALL SEDIMENT LADEN RUNOFF.</p> <p>EROSION & SEDIMENT CONTROL MEASURES: EROSION AND SEDIMENT RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE AND INLET PROTECTION.</p> <p>MAINTENANCE: MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED WITHIN THIS PLAN.</p> <p>CONSTRUCTION SEQUENCE: (EROSION & SED. CONTROL.)</p> <ol style="list-style-type: none"> OBTAIN PROPER CITY OF DUBLIN, COUNTY, STATE, AND FEDERAL PERMITS. PRIOR TO CONSTRUCTION THE OWNER/OPERATOR SHALL COORDINATE WITH ALL CONTRACTORS AND THE CITY OF DUBLIN ENGINEER AS REQUIRED. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2764 FORTY-EIGHT (48) HOURS IN ADVANCE OF ANTICIPATED START OF CONSTRUCTION, AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR LINES. ESTABLISH THE TEMPORARY CONSTRUCTION ENTRANCE INTO THE SITE PER DETAIL ON THIS SHEET. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCE AROUND ALL PROTECTION AREAS (PRESERVED TREES) PRIOR TO COMMENCEMENT OF WORK. CLEAR NECESSARY VEGETATION FOR THE INSTALLATION OF THE PERIMETER SEDIMENT FENCE. WHILE PERFORMING SITE GRADING ACTIVITIES, DISTURBED AREAS SHALL BE SEED WITHIN 7 DAYS OF CONSTRUCTION. DRAINAGE SHALL BE DIRECTED TO A FILTERING FACILITY AT ALL TIMES DURING CONSTRUCTION. TOPSOIL SHALL BE STOCKPILED FOR LATER RE-SPREAD OR HAULED OFFSITE. AS EACH AREA IS DISTURBED AND MOUNDING TAKES PLACE IN ORDER TO PROVIDE COMPACTION AND PLACEMENT OF FILL ACROSS THE SITE, EROSION CONTROL MEASURES SHALL BE USED. STOCKPILES SHALL BE SURROUNDED BY SEDIMENT FENCE AND TEMPORARY SEEDING APPLIED. SEED AND MULCH THE SITE ACCORDING TO THE TEMPORARY AND PERMANENT SEEDING REQUIREMENTS TO REESTABLISH ALL DENUED AREAS. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR SEED/MULCHED. AFTER REMOVAL OF THE EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL INLETS AND STORM SEWER PIPES OF ALL SEDIMENT INCURRED DURING CONSTRUCTION <p>CONTRACTOR RESPONSIBILITY: DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS." THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.</p>										<p>GENERAL EROSION AND SEDIMENT CONTROL NOTES</p> <p>PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUED AREAS WITHIN SEVEN DAYS AFTER FINAL PROPOSED GRADE IS REACHED ON ANY PORTION OF THE SITE. ALL DENUED AREAS SHALL BE CONSTRUCTED TO FINAL PROPOSED GRADE AS QUICKLY AS POSSIBLE AND SHOULD NOT BE LEFT DORMANT UNLESS SITE CONDITIONS DO NOT ALLOW FINAL GRADING TO BE COMPLETED. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUED AREAS WHERE GRADING MAY NOT BE COMPLETE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.</p> <p>SHEET FLOW RUNOFF FROM DENUED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.</p> <p>SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.</p> <p>PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.</p> <p>THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS WHICH ARE NOT TRIBUTARY TO A SEDIMENT BASIN OR DAM.</p> <p>THE LIMITS OF SEEDING AND MULCHING WILL EXTEND OVER THE PROJECT AREA IN ACCORDANCE WITH THE LEVEL OF DISTURBANCE ASSOCIATED WITH THE ACTUAL CONSTRUCTION SEQUENCE. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.</p>																																									
15											<p>TEMPORARY SEEDING</p> <table> <tr> <th>Area requiring temporary stabilization</th><th>Time frame to apply erosion controls</th></tr> <tr> <td>Any disturbance areas within 50 feet of a surface water of the State and not at final grade</td><td>Within two days of the most recent Disturbance if the area will remain idle for more than 21 days</td></tr> <tr> <td>For all construction activities, any disturbed areas that will be dormant for more than 21 days but less than one year, and not within 50 feet of a surface water of the State</td><td>Within seven days of the most recent disturbance within the area</td></tr> <tr> <td>Disturbed areas that will be idle over winter</td><td>For residential subdivisions, disturbed areas must be stabilized at least seven days prior to transfer of permit coverage for the individual lot(s)</td></tr> <tr> <td></td><td>Prior to the onset of winter weather</td></tr> </table>												Area requiring temporary stabilization	Time frame to apply erosion controls	Any disturbance areas within 50 feet of a surface water of the State and not at final grade	Within two days of the most recent Disturbance if the area will remain idle for more than 21 days	For all construction activities, any disturbed areas that will be dormant for more than 21 days but less than one year, and not within 50 feet of a surface water of the State	Within seven days of the most recent disturbance within the area	Disturbed areas that will be idle over winter	For residential subdivisions, disturbed areas must be stabilized at least seven days prior to transfer of permit coverage for the individual lot(s)		Prior to the onset of winter weather	<p>PERMANENT SEEDING</p> <table> <tr> <th>Area requiring Permanent stabilization</th><th>Time frame to apply erosion controls</th></tr> <tr> <td>Any area that will lie dormant for one year or more</td><td>Within seven days of the most recent disturbance</td></tr> <tr> <td>Any areas within 50 feet of a surface water of the State and at final grade</td><td>Within two days of reaching final grade</td></tr> <tr> <td>Any other areas at final grade</td><td>Within seven days of reaching final grade within that area</td></tr> </table>												Area requiring Permanent stabilization	Time frame to apply erosion controls	Any area that will lie dormant for one year or more	Within seven days of the most recent disturbance	Any areas within 50 feet of a surface water of the State and at final grade	Within two days of reaching final grade	Any other areas at final grade	Within seven days of reaching final grade within that area
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13											<p>MAINTENANCE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL FEATURES USED ON THIS PROJECT. THE SITE SHALL BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREATER THAN 0.5" PER 24 HOUR PERIOD. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.</p> <p>SCHEDULE: THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE CONSTRUCTION MANAGER. SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE PLACED IN ACCORDANCE WITH THIS SCHEDULE.</p>																																									
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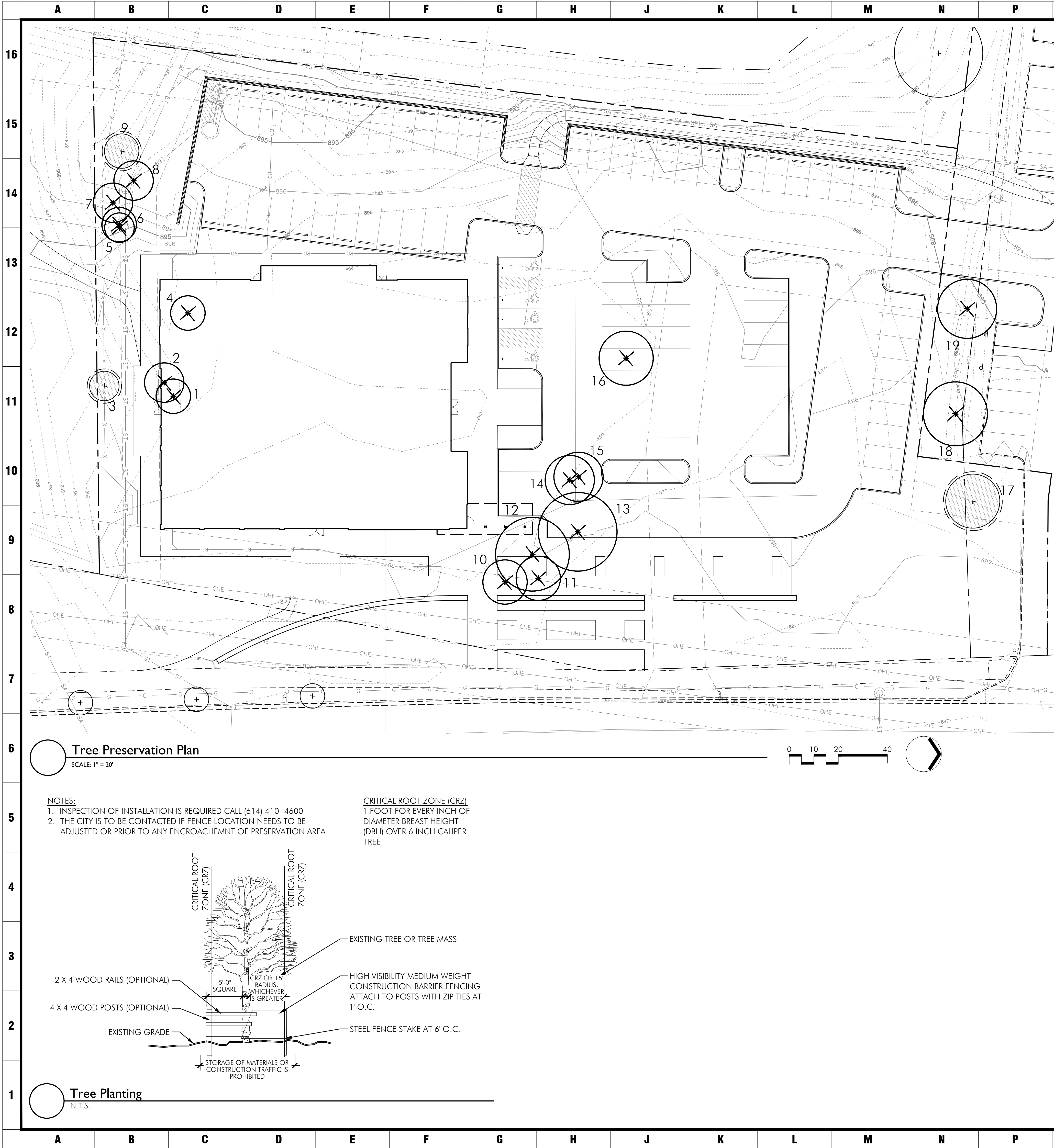
DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.29.2016

OVERALL LANDSCAPE PLAN

THE GRAND SALON
VILLAGE PARKWAY
DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

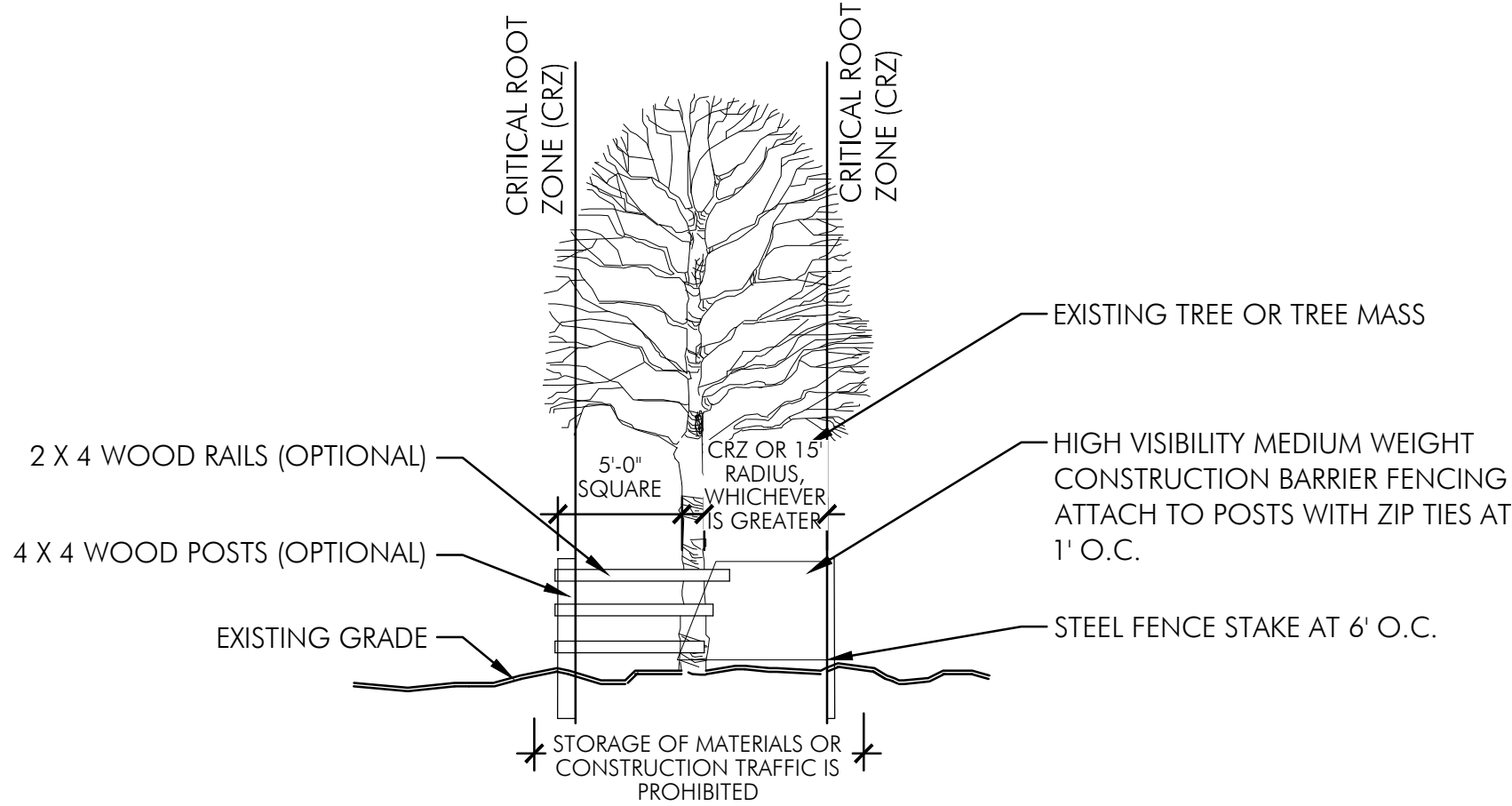
SHEET NUMBER
L-1.0



Tree Preservation Plan
SCALE: 1" = 20'

- NOTES:
1. INSPECTION OF INSTALLATION IS REQUIRED CALL (614) 410- 4600
 2. THE CITY IS TO BE CONTACTED IF FENCE LOCATION NEEDS TO BE ADJUSTED OR PRIOR TO ANY ENCROACHEMNT OF PRESERVATION AREA

CRITICAL ROOT ZONE (CRZ)
1 FOOT FOR EVERY INCH OF
DIAMETER BREAST HEIGHT
(DBH) OVER 6 INCH CALIPER
TREE



Tree Planting
N.T.S.

GENERAL NOTES

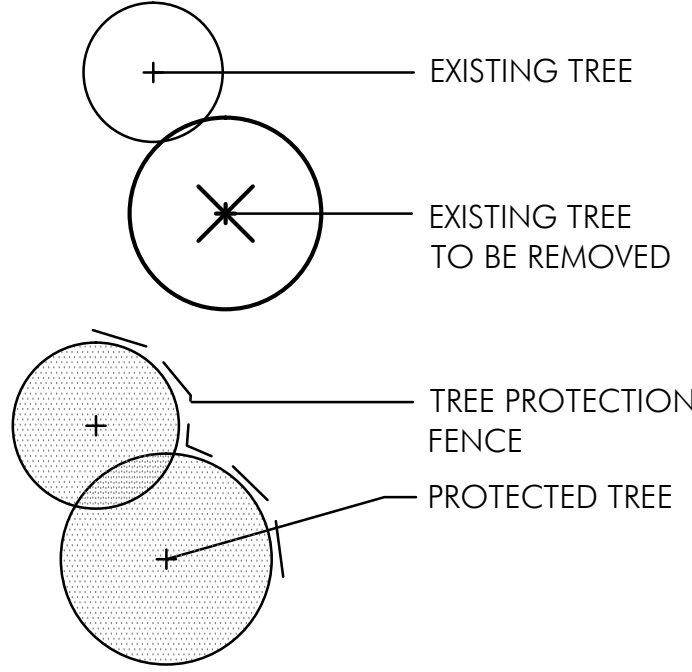
1. DIAMETER SHOWN ON PLAN THIS SHEET REPRESENT THE CRITICAL ROOT ZONE (1" RADIUS PER 1" CALIPER OR 15' WHICHEVER IS GREATER).

TREES REMOVED

72 CALIPER INCHES OF TREE WHICH ARE REMOVED DUE TO TREE NOT BEING POOR, DEAD OR EXEMPT TO BE REPLACED.

24 CALIPER INCHES OF TREE ARE BEING PRESERVED = 4 TREE CREDIT

PLANT KEY



EXISTING PLANT LIST KEY

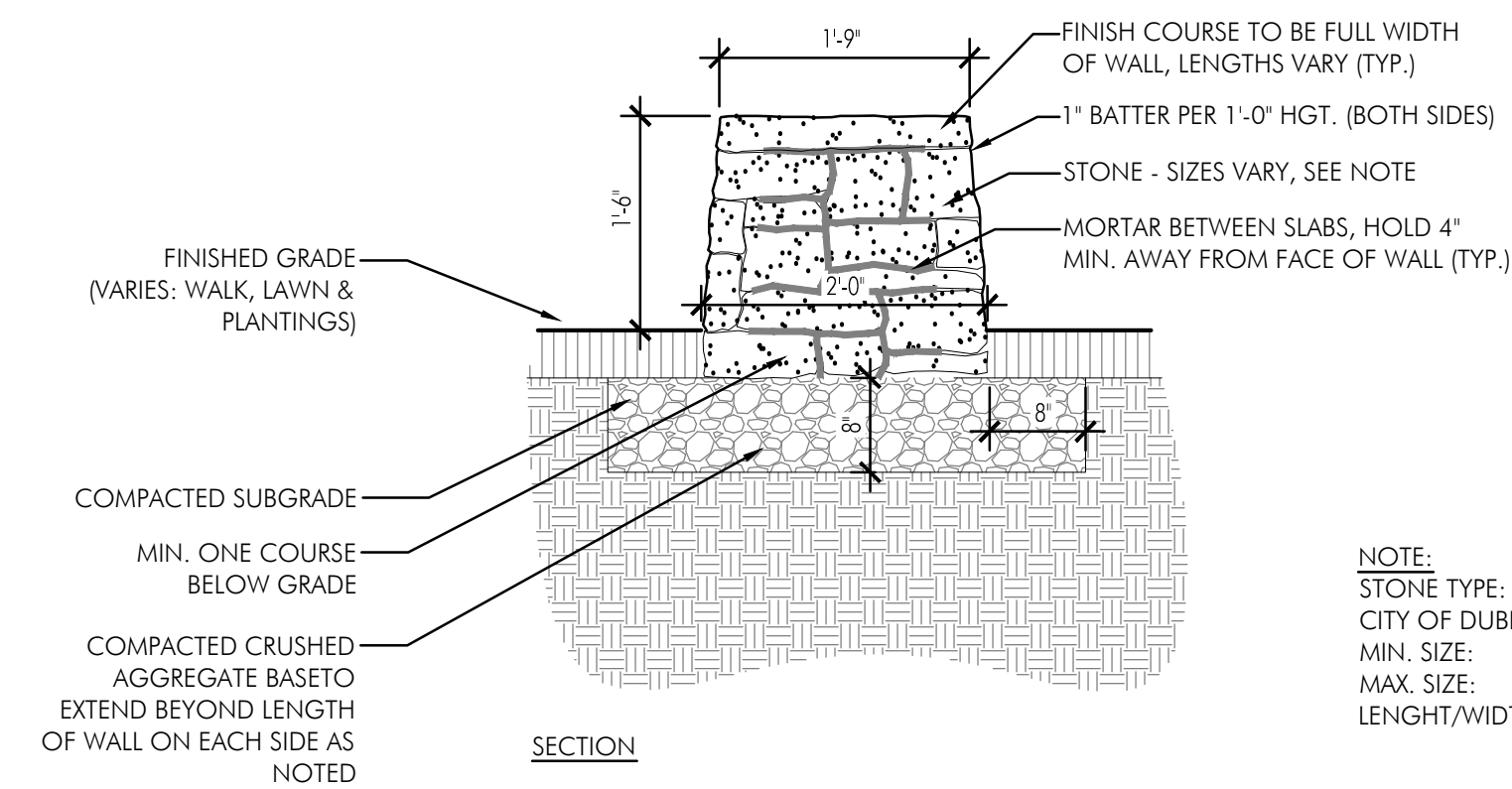
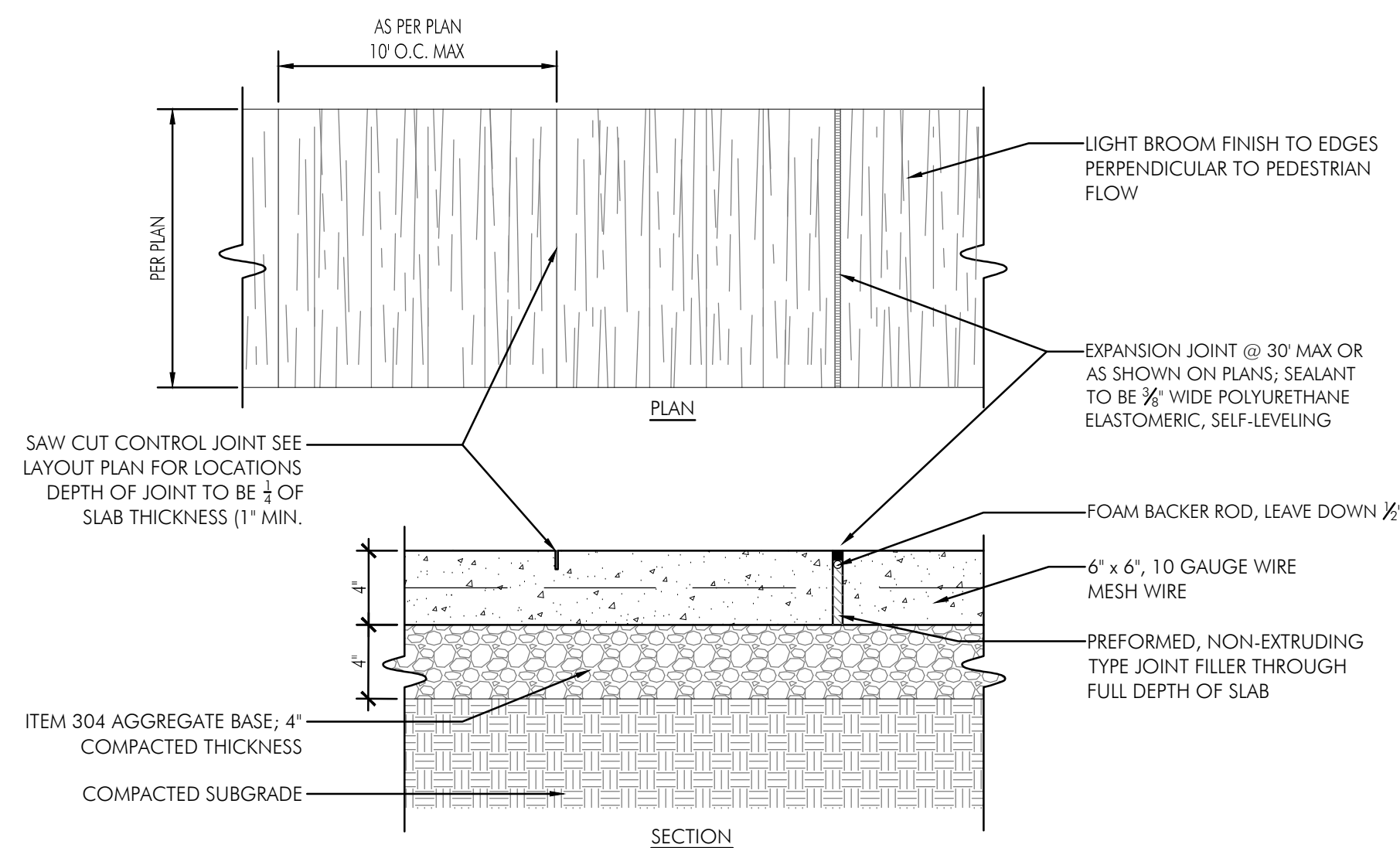
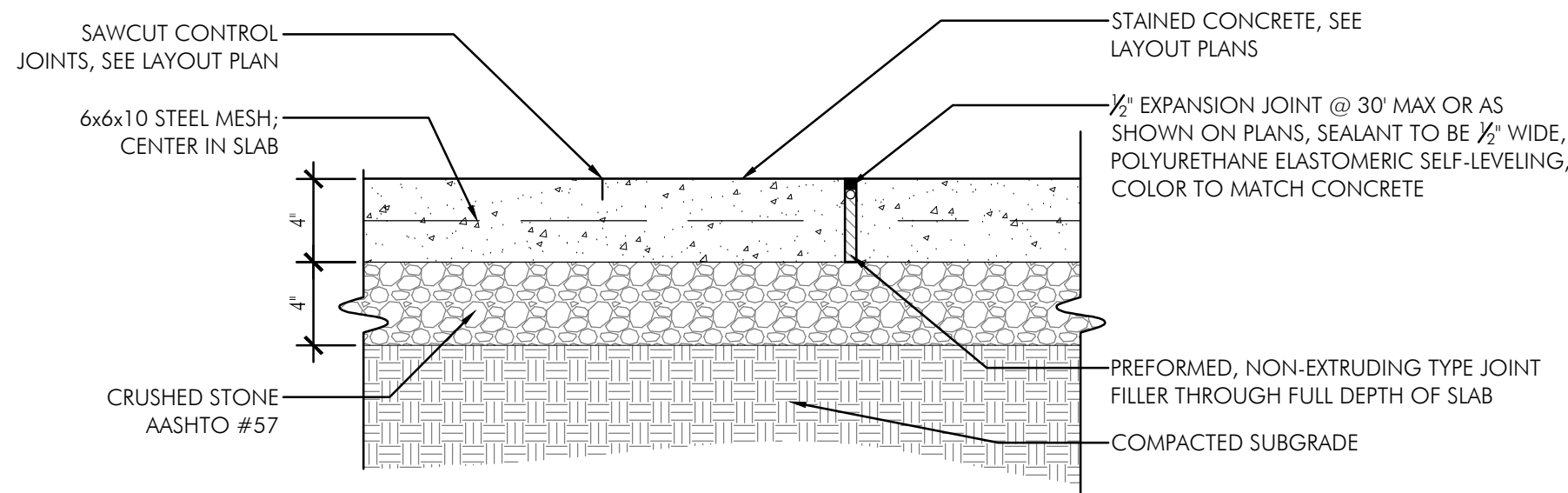
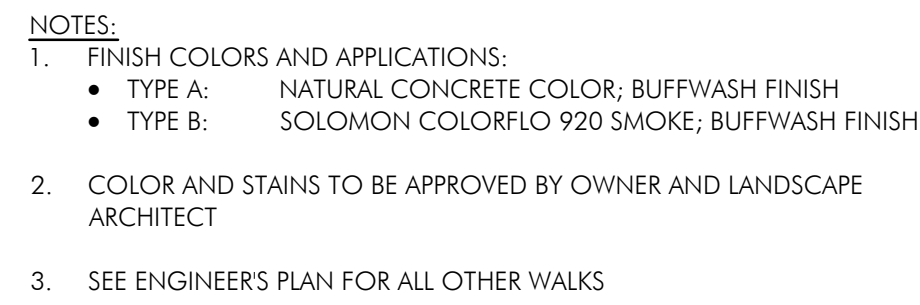
CONDITION:	STATUS:
EXCELLENT	A. PRESERVE
GOOD	B. REMOVE
FAIR	
POOR	
DEAD	

EXISTING TREE LIST

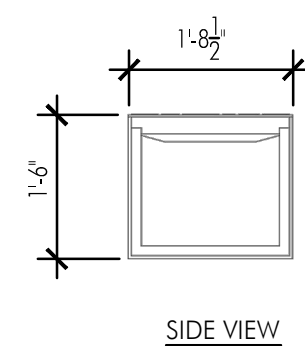
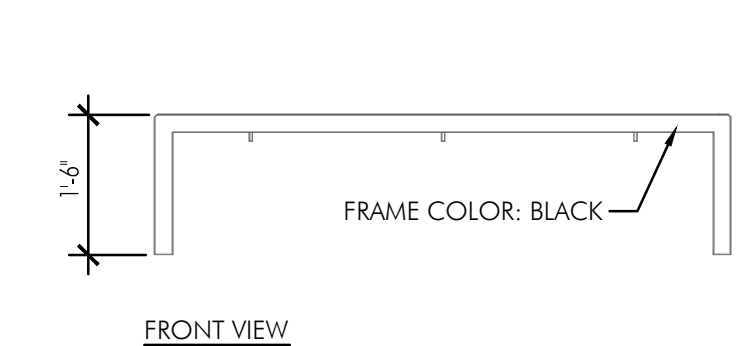
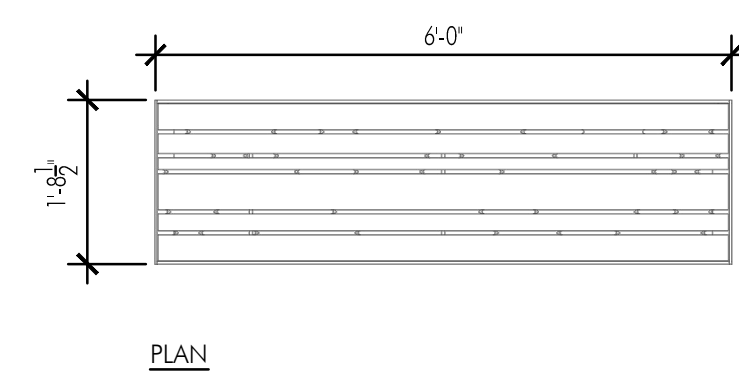
NUMBER	SPECIES	SIZE	STATUS	CONDITION	COMMENT
1	PEAR	7" cal.	B	GOOD	EXEMPT
2	PEAR	8" cal.	B	GOOD	EXEMPT
3	PEAR	6" cal.	A	GOOD	PRESERVE
4	PEAR	7" cal.	B	GOOD	EXEMPT
5	ELM	6" cal.	B	FAIR	
6	PEAR	7" cal.	B	GOOD	
7	ELM	8" cal.	B	FAIR	
8	ELM	8" cal.	B	FAIR	
9	ELM	7" cal.	A	FAIR	PRESERVE
10	APPLE	9" cal.	B	FAIR	
11	APPLE	9" cal.	B	FAIR	
12	PINE	15" cal.	B	GOOD	N.I.C.
13	PINE	16" cal.	B	POOR	
14	PINE	10" cal.	B	POOR	
15	SPRUCE	10" cal.	B	FAIR	N.I.C.
16	COTTONWOOD	11" cal.	B	GOOD	UNDESIREABLE
17	MAPLE	11" cal.	A	GOOD	PRESERVE
18	MAPLE	13" cal.	B	GOOD	
19	MAPLE	12" cal.	B	GOOD	

TREE PRESERVATION, REMOVAL, REPLACEMENT NOTES

1. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED. ALL TREE REMOVAL, RELOCATION, AND PRESERVATION WORK SHALL BE SUPERVISED WITH THE INPUT OF A CERTIFIED ARBORIST.
2. FENCING SHALL BE INSTALLED AROUND ALL TREES TO BE PRESERVED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION. ANY CHANGE IN THE PROTECTIVE FENCING MUST BE APPROVED BY THE LANDSCAPE INSPECTOR. OWNER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, ERECTION, AND MAINTENANCE OF PROTECTION FENCING, REFER TO TREE PRESERVATION DETAIL.
3. PRESERVED TREES REMAINING ARE TO BE FERTILIZED AND PRUNED (IF NEEDED) TWO YEARS AFTER CONSTRUCTION.
4. OWNER SHALL MONITOR HEALTH AND VIGOR OF EXISTING TREES THROUGHOUT THE COURSE OF CONSTRUCTION OF THIS PROJECT. CONTRACTOR TO NOTIFY A CERTIFIED ARBORIST IF ANY DECLINE IN HEALTHY TREES IS APPARENT. THE ARBORIST SHALL DETERMINE THE REMEDIAL ACTION, IF ANY, TO BE TAKEN.
5. ALL EXISTING TREES NOTED AS FAIR TO POOR HEALTH SHALL BE FERTILIZED YEARLY IN THE SPRING USING A HORTICULTURALLY APPROVED METHOD FOR A PERIOD OF THREE YEARS. AFTER THREE YEARS, THE HEALTH SHOULD BE EVALUATED BY A CERTIFIED ARBORIST AND CONTINUING MAINTENANCE RECOMMENDATIONS SHALL BE MADE.
6. ANY TREES REMOVED OR DAMAGED IN TREE PRESERVATION AREAS WILL HAVE TO BE REPLACED PER CODE.
7. FAILURE TO ABIDE BY THESE TERMS OF THE TREE PRESERVATION, REMOVAL, AND REPLACEMENT PLANS SHALL BE UNLAWFUL.

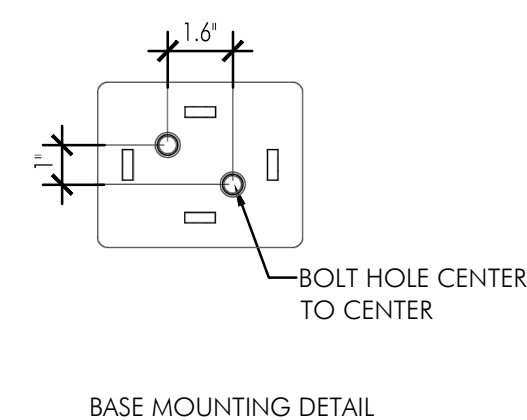
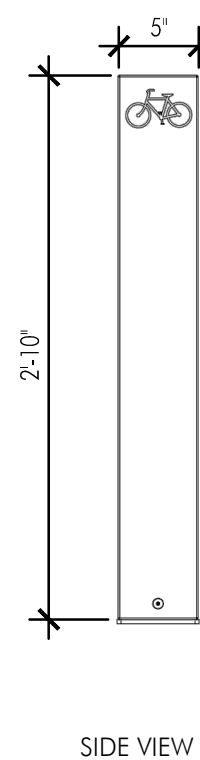
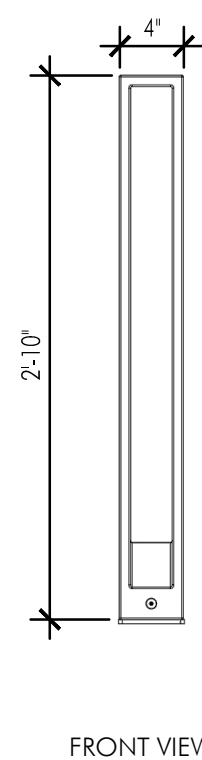


I Buffwash Concrete Pavement



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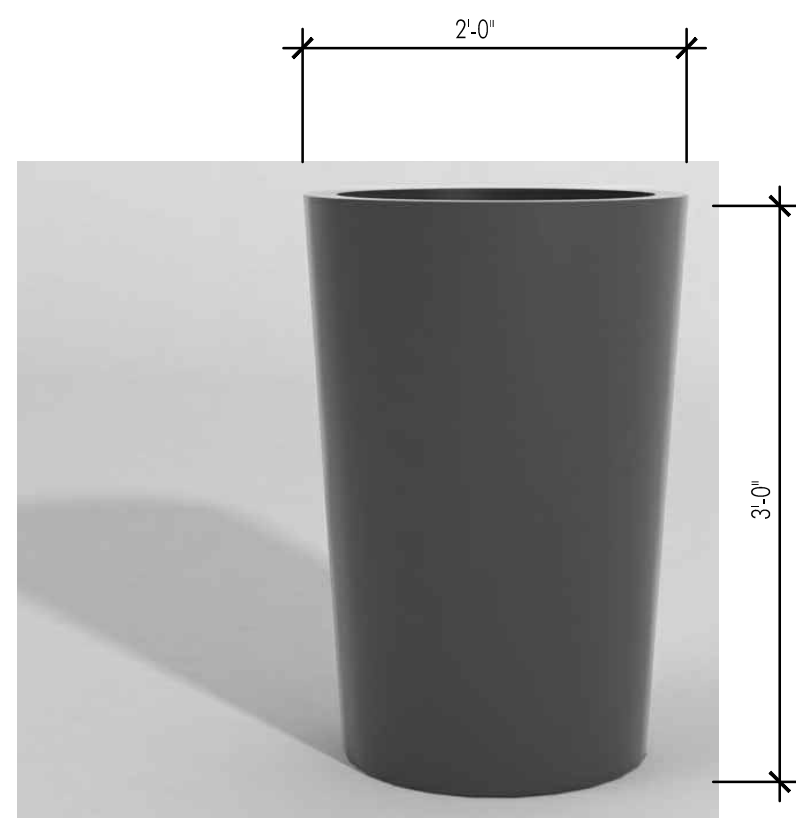
4 **Bench**
1/2"=1'-0"



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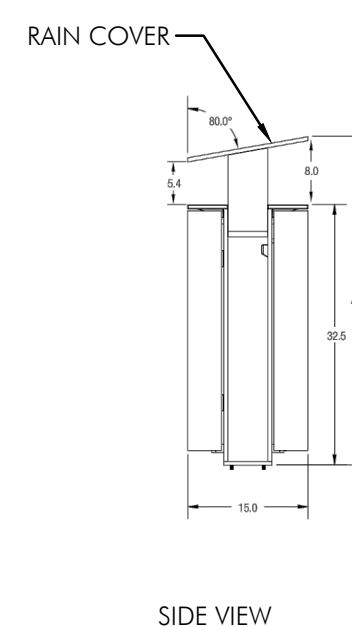
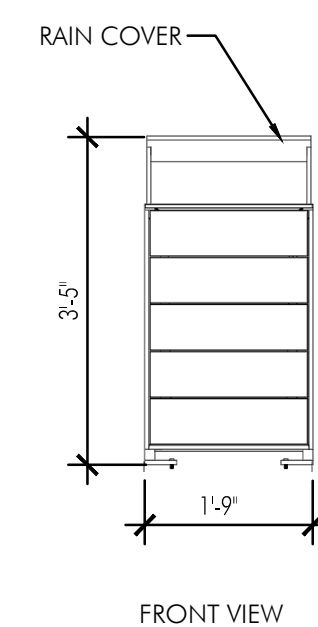
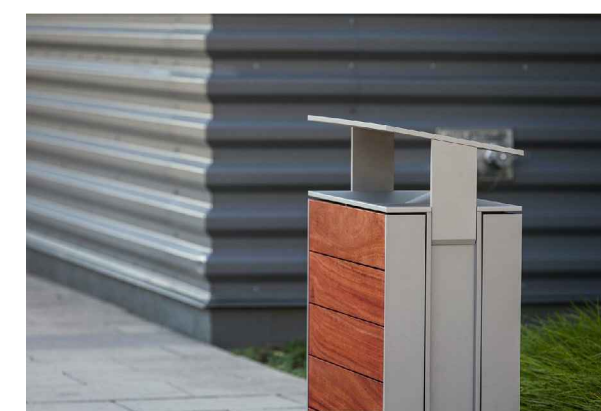
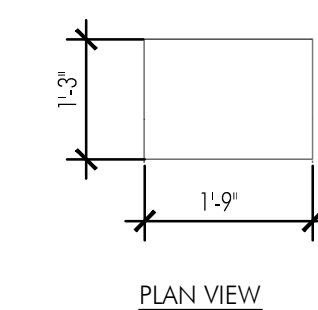
7 Bike Rack
1"=1'-0"



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CONTEMPO PLANTER
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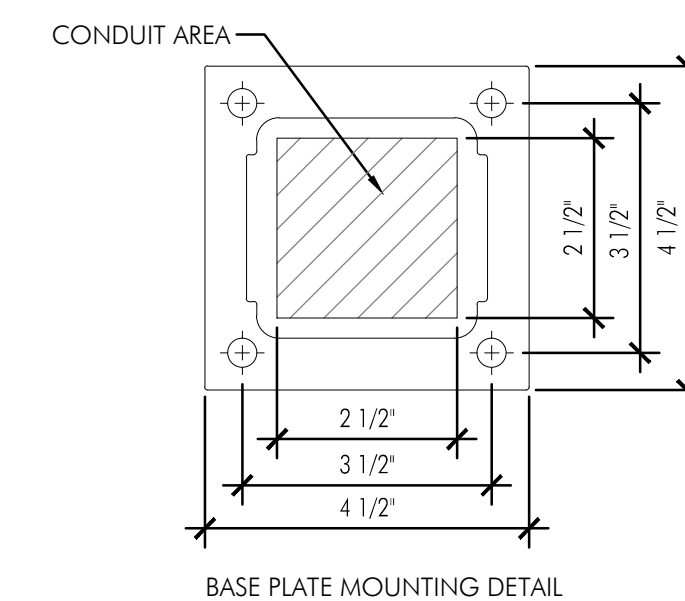
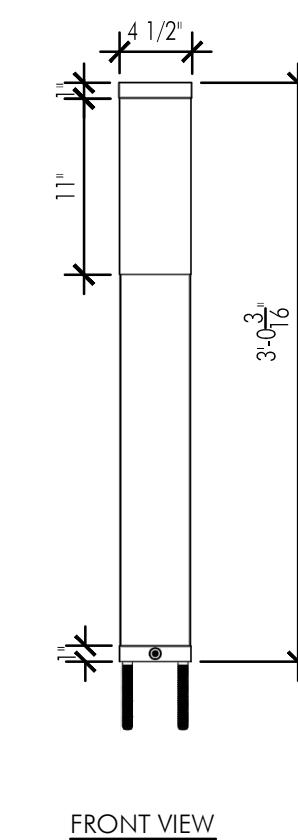
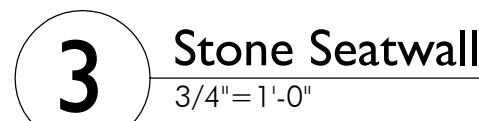
5 Planter
1"=1'-0"



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8 Trash Receptacle
1/2"=1'-0"

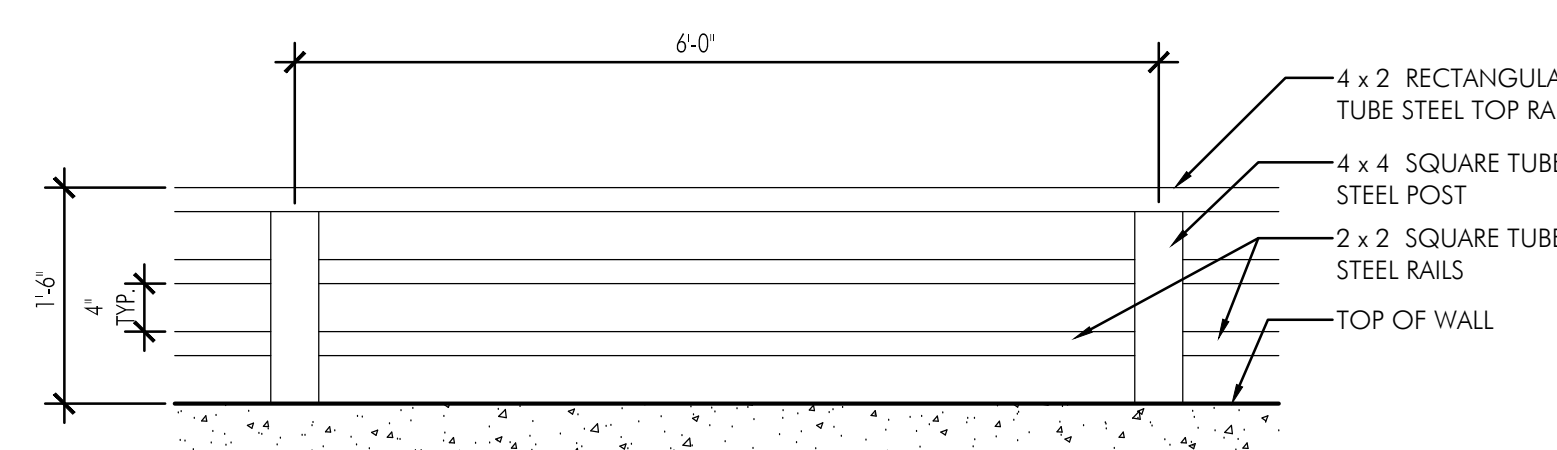


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RINCON BOLLARD
PRODUCT LBRIN
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6 Light Bollard
1"=1'-0"

NOTES:
COLOR TO BE BLACK ALL MEMBERS



9 Wall Guardrail
3/4" = 1'-0"

DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.29.2016

SHEET TITLE
SITE DETAILS

PROJECT TITLE

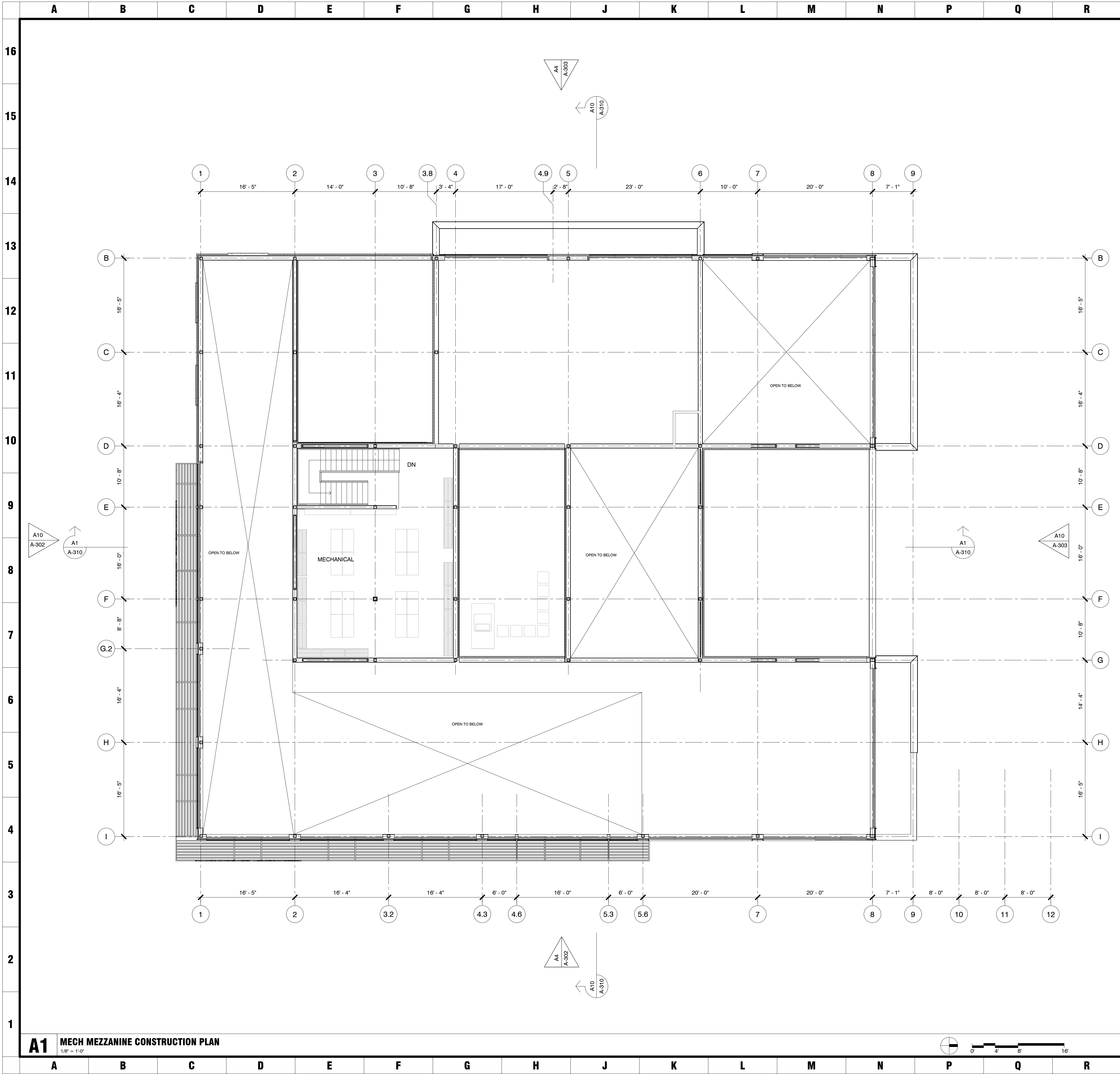
THE GRAND SALON

VILLAGE PARKWAY
DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015 46

SHEET NUMBER

L-3.0



- GENERAL NOTES:**
- G1. (XXXx) INDICATES DOOR NUMBER, REFER SHEET A-900
 - G2. INDICATES WINDOW NUMBER, REFER SHEET A-910
 - G3. INDICATES WALL TYPE, REFER SHEET A-700
 - G4. INDICATES WALL MOUNTED FIRE EXTINGUISHER AND RECESSED FIRE EXTINGUISHER CABINET RESPECTIVELY
 - G5. FIRST FLOOR ELEVATION 100'-0" = XXXX.XX' ASL
 - G6. "SC" INDICATES OVERFLOW SCUPPER
 - G7. "SRD" INDICATES SECONDARY ROOF DRAIN
 - G8. ALL ROOF PENETRATIONS TO BE COORDINATED WITH MEP DRAWINGS AND EQUIPMENT VENDOR BY INSTALLATION CONTRACTOR
 - G9. PROVIDE DRAINAGE THROUGH ROOF WALKWAY PADS TO ROOF DRAINS
 - G10. "FD" INDICATES FLOOR DRAIN

FLOOR PLAN KEY NOTES:

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.29.16

SHEET TITLE
SECOND FLOOR CONSTRUCTION PLAN

PROJECT TITLE
THE GRAND SALON

Village Parkway
Dublin, Ohio 43017

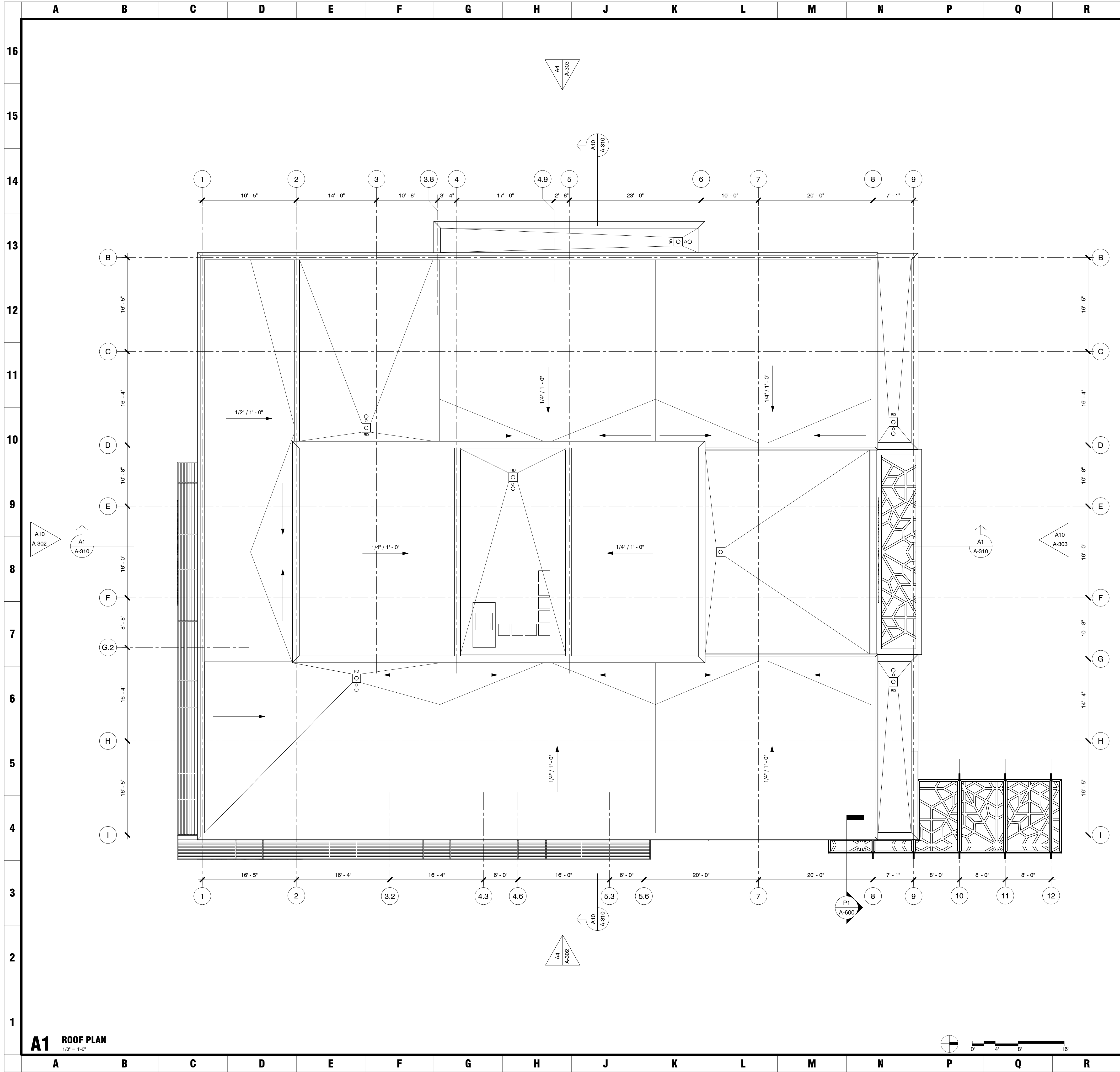
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

MEYERS + ASSOCIATES PROJECT NUMBER:
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SHEET NUMBER

A-101

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- GENERAL NOTES:**
- G1. (XXXx) INDICATES DOOR NUMBER, REFER SHEET A-900
- G2.  INDICATES WINDOW NUMBER, REFER SHEET A-910
- G3.  INDICATES WALL TYPE, REFER SHEET A-700
- G4.  INDICATES WALL MOUNTED FIRE EXTINGUISHER AND RECESSED FIRE EXTINGUISHER CABINET RESPECTIVELY
- G5. FIRST FLOOR ELEVATION 100'-0" = XXXX.XX' ASL
- G6. "SC" INDICATES OVERFLOW SCUPPER
- G7. "SRD" INDICATES SECONDARY ROOF DRAIN
- G8. ALL ROOF PENETRATIONS TO BE COORDINATED WITH MEP DRAWINGS AND EQUIPMENT VENDOR BY INSTALLATION CONTRACTOR
- G9. PROVIDE DRAINAGE THROUGH ROOF WALKWAY PADS TO ROOF DRAINS
- G10. "FD" INDICATES FLOOR DRAIN

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THE GRAND SALON

Village Parkway
Dublin, Ohio 43017

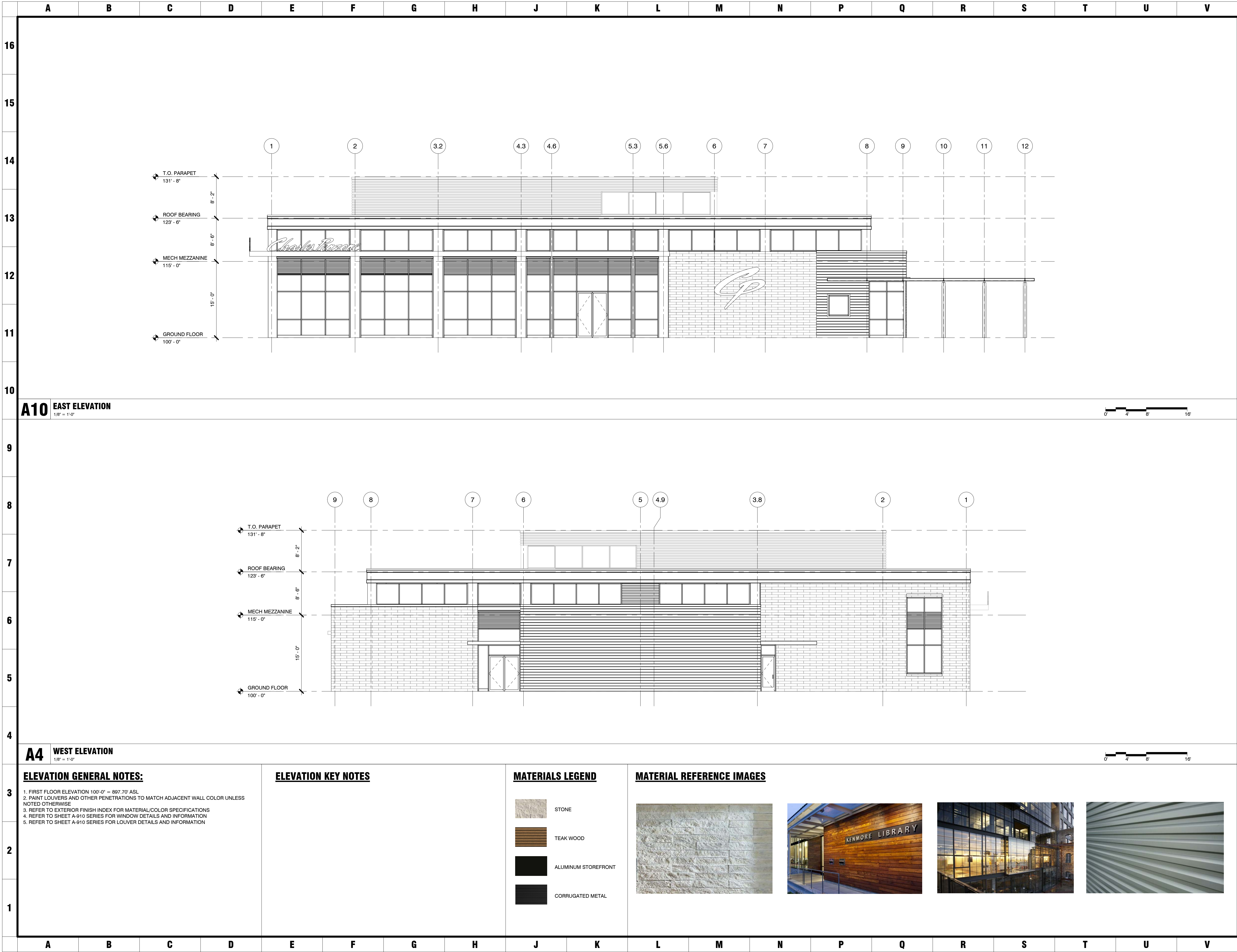
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DUBLIN FINAL SITE SUBMITTAL	08.29.16

SHEET TITLE
EXTERIOR ELEVATIONS

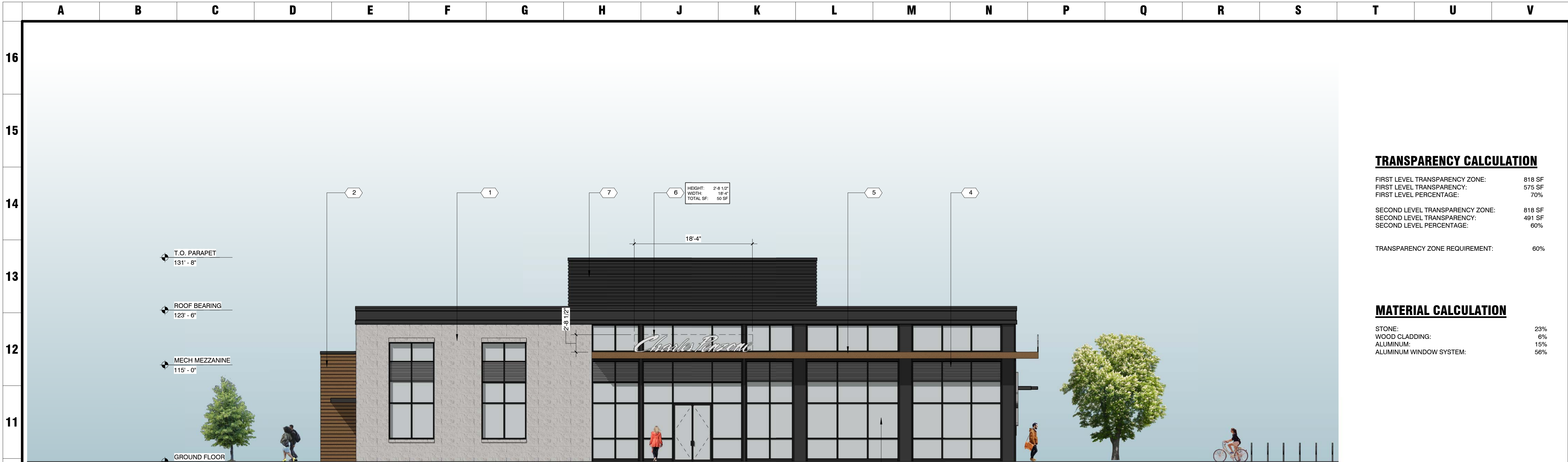
PROJECT TITLE
THE GRAND SALON
Village Parkway
Dublin, Ohio 43017

SEAL

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MEYERS + ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER
A-301



TRANSPARENCY CALCULATION

FIRST LEVEL TRANSPARENCY ZONE:	818 SF
FIRST LEVEL TRANSPARENCY:	575 SF
FIRST LEVEL PERCENTAGE:	70%
SECOND LEVEL TRANSPARENCY ZONE:	818 SF
SECOND LEVEL TRANSPARENCY:	491 SF
SECOND LEVEL PERCENTAGE:	60%
TRANSPARENCY ZONE REQUIREMENT:	60%

MATERIAL CALCULATION

STONE:	23%
WOOD CLADDING:	6%
ALUMINUM:	15%
ALUMINUM WINDOW SYSTEM:	56%

A10 SOUTH ELEVATION
1/8" = 1'-0"



TRANSPARENCY CALCULATION

FIRST LEVEL TRANSPARENCY ZONE:	1004 SF
FIRST LEVEL TRANSPARENCY:	635 SF
FIRST LEVEL PERCENTAGE:	63%
SECOND LEVEL TRANSPARENCY ZONE:	970 SF
SECOND LEVEL TRANSPARENCY:	646 SF
SECOND LEVEL PERCENTAGE:	67%
TRANSPARENCY ZONE REQUIREMENT:	60%

MATERIAL CALCULATION

STONE:	16%
WOOD CLADDING:	7%
ALUMINUM:	15%
ALUMINUM WINDOW SYSTEM:	56%

A4 EAST ELEVATION
1/8" = 1'-0"

ELEVATION GENERAL NOTES:

1. FIRST FLOOR ELEVATION 100'-0" = 897.70' ASL
2. PAINT LOUVERS AND OTHER PENETRATIONS TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE
3. REFER TO EXTERIOR FINISH INDEX FOR MATERIAL/COLOR SPECIFICATIONS
4. REFER TO SHEET A-910 SERIES FOR WINDOW DETAILS AND INFORMATION
5. REFER TO SHEET A-910 SERIES FOR LOUVER DETAILS AND INFORMATION

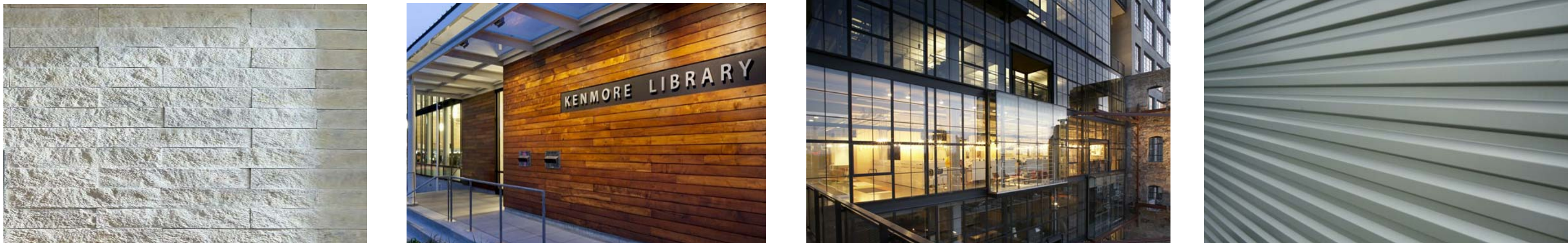
ELEVATION KEY NOTES

1. STONE
2. TEAK WOOD CLADDING
3. ALUMINUM WINDOW SYSTEM
4. METAL LOUVRES
5. TEAK WOOD AWNING
6. DIMENSIONAL SIGNAGE, INTERNALLY ILLUMINATED WITH WHITE FACE AND BLACK RETURNS
7. CORRUGATED METAL
8. METAL AWNING

MATERIALS LEGEND

	STONE
	TEAK WOOD
	ALUMINUM STOREFRONT
	CORRUGATED METAL

MATERIAL REFERENCE IMAGES



SHEET TITLE
EXTERIOR ELEVATIONS

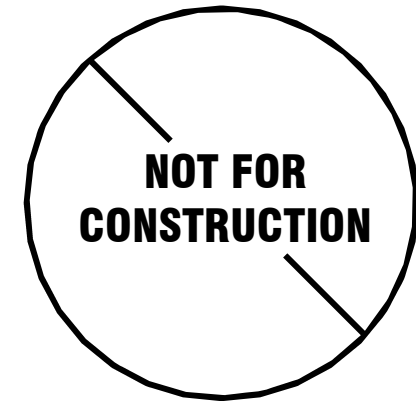
PROJECT TITLE

THE GRAND SALON

Village Parkway
Dublin, Ohio 43017



SEAL



MEYERS+ASSOCIATES PROJECT NUMBER:

2015-46

SHEET NUMBER

A-302

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DUBLIN FINAL SITE SUBMITTAL	08.29.16



TRANSPARENCY CALCULATION

TOTAL TRANSPARENCY ZONE:	1698 SF
TOTAL TRANSPARENCY:	810 SF
FIRST LEVEL PERCENTAGE:	48%
TRANSPARENCY ZONE REQUIREMENT:	20%

MATERIAL CALCULATION

STONE:	32%
WOOD CLADDING:	10%
ALUMINUM:	20%
ALUMINUM WINDOW SYSTEM:	38%

A10 NORTH ELEVATION

1/8" = 1'-0"



TRANSPARENCY CALCULATION

TOTAL TRANSPARENCY ZONE:	1978 SF
TOTAL TRANSPARENCY:	420 SF
TOTAL PERCENTAGE:	21%
TRANSPARENCY ZONE REQUIREMENT:	20%

MATERIAL CALCULATION

STONE:	41%
WOOD CLADDING:	27%
ALUMINUM:	13%
ALUMINUM WINDOW SYSTEM:	18%
CORRUGATED METAL:	1%

A4 WEST ELEVATION

1/8" = 1'-0"

ELEVATION GENERAL NOTES:

1. FIRST FLOOR ELEVATION 100'-0" = 897.70' ASL
2. PAINT LOUVERS AND OTHER PENETRATIONS TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE
3. REFER TO EXTERIOR FINISH INDEX FOR MATERIAL/COLOR SPECIFICATIONS
4. REFER TO SHEET A-910 SERIES FOR WINDOW DETAILS AND INFORMATION
5. REFER TO SHEET A-910 SERIES FOR LOUVER DETAILS AND INFORMATION

ELEVATION KEY NOTES

1. STONE
2. TEAK WOOD CLADDING
3. ALUMINUM WINDOW SYSTEM
4. METAL LOUVRES
5. TEAK WOOD AWNING
6. DIMENSIONAL SIGNAGE, INTERNALLY ILLUMINATED WITH WHITE FACE AND BLACK RETURNS
7. CORRUGATED METAL
8. METAL AWNING

MATERIALS LEGEND

	STONE
	TEAK WOOD
	ALUMINUM STOREFRONT
	CORRUGATED METAL

MATERIAL REFERENCE IMAGES



EXTERIOR ELEVATIONS

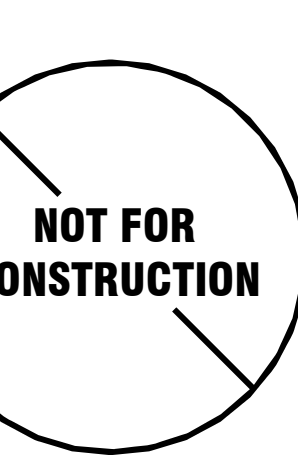
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A9 AERIAL VIEW



A1 SOUTHEAST CORNER

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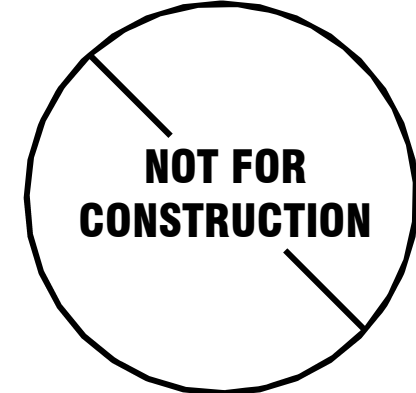
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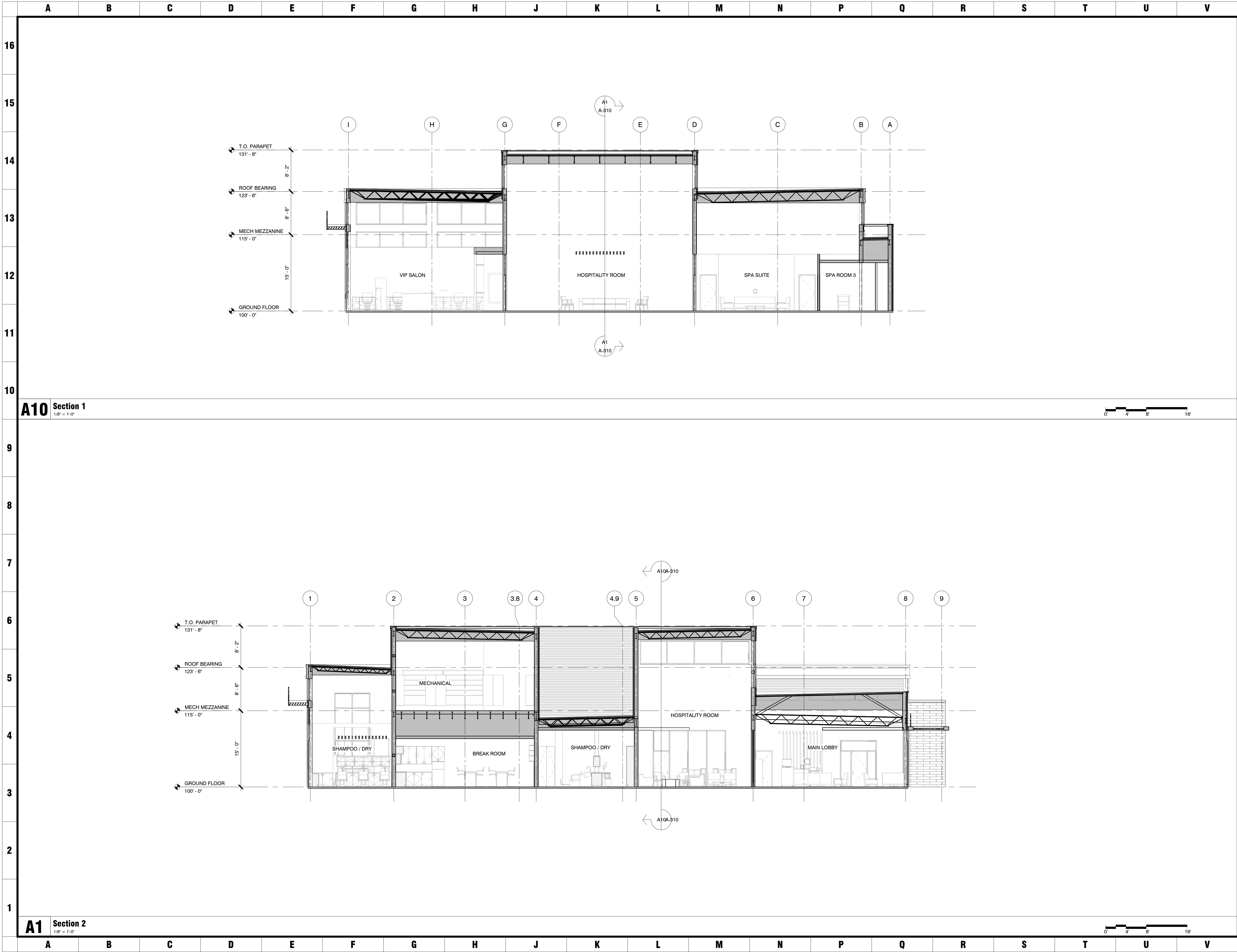
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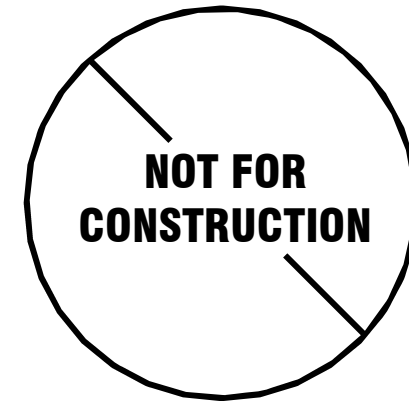
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DUBLIN FINAL SITE SUBMITTAL	08.29.16



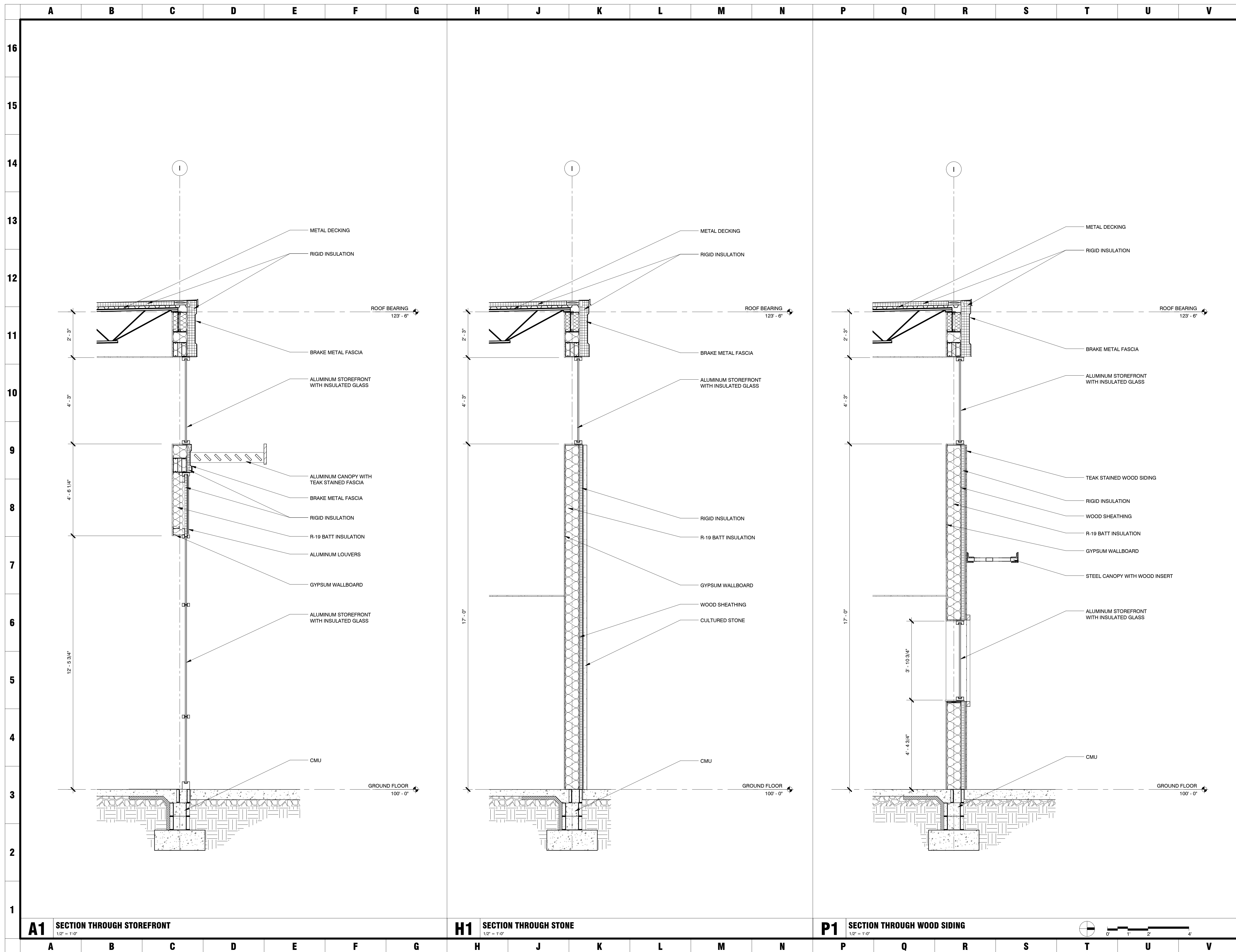
THE GRAND SALON

Village Parkway
Dublin, Ohio 43017



MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46
SHEET NUMBER

A-310



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DESCRIPTION	DATE
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WALL SECTIONS

PROJECT TITLE

THE GRAND SALON

Village Parkway
Dublin, Ohio 43017

541

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CONSTRUCTION**

MEYERS+ASSOCIATES PROJECT NUMBER

2015-46

SHEET NUMBER

A-600

