

Charles Penzone

THE GRAND SALONS

Village Parkway
Dublin, Ohio 43017

DUBLIN FINAL SITE SUBMITTAL

08.29.16



meyers+associates
 ARCHITECTURE
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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.29.16



THE GRAND SALON
 Village Parkway
 Dublin, Ohio 43017

SHEET TITLE
COVER

project team

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 COLUMBUS, OH 43065
 TEL: (614) 418 5350

LANDSCAPE DESIGN:

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MEYERS+ASSOCIATES PROJECT NUMBER
2015-46

SHEET NUMBER
G-000

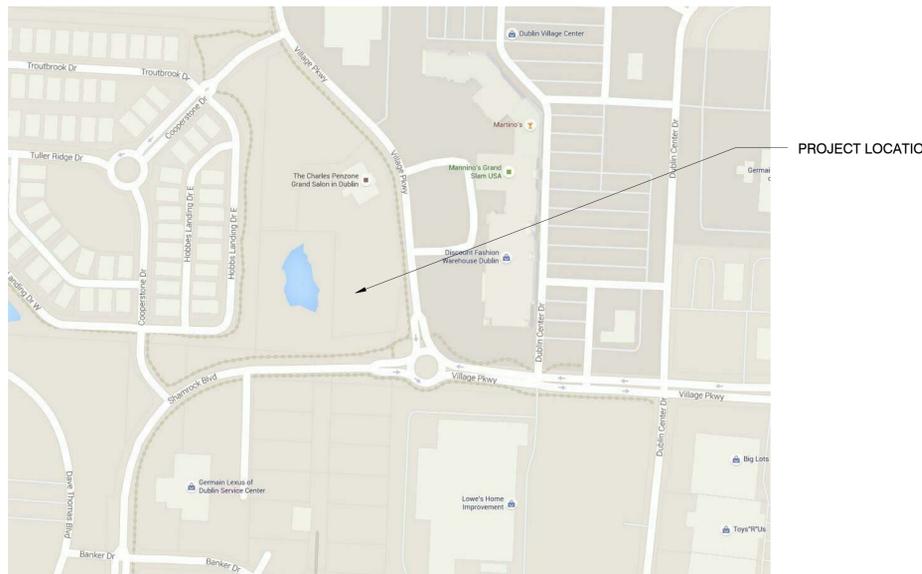
ABBREVIATIONS

ABV. Above	CTB. Ceramic Tile Base	HSVP. Homogeneous Sheet Vinyl Base with Metal Cap	SAT. Suspended Acoustical Tile and Grid
A.F.F. Above Finish Floor	CTW. Ceramic Tile Base Wainscot	INT. Interior	SGBC. Suspended Gypsum Board Ceiling, Painted
ALT. Alternate	D.F. Drinking Fountain	INV. Invert	STL. Steel
A.B. Anchor Bolt	EL. Elevation	LAM. Laminated	S.S. Stainless Steel
BOT. Bottom	ELEC. Electrical	M.W. Millwork	SUSP. Suspended
B.O. Bottom of	ELEV. Elevator	MTL. Metal	T.O. Top of
B.U.R. Built Up Roof	EQ. Equal	M.R. Moisture Resistant	TYP. Typical
CAB. Cabinet	E.I.F.S. Exterior Insulating and Finish System	NECS. New Egg Crate Grill	U.N.O. Unless Noted Otherwise
CB. Carpet Base	E.J. Expansion Joint	O.C. On Center	UNPTD. Unpainted
C.I. Cast Iron	ETR. Existing to Remain	P.H. Paint-Color to Be Selected by Architect	V.W.C. Vinyl Wall Covering
C.I.P. Cast in Place	F.D. Floor Drain	P.O. Opposite Hand	VB. Vinyl Base
C.J. Control Joint	FR. Fire Retardant	P.LAM. Painted	VCGB. Vinyl Coated Gypsum Board
CLR. Clear	FRP. Fiber Glass Reinforced Polyester	PL. Plate	WB. Wood Base
COL. Column	GA. Gauge	RAD. Radius	WD. Wood
CONC. Concrete	GALV. Galvanized		
C.M.U. Concrete Masonry Unit	GYP. BD. Gypsum Board		
CPT. Carpet	JT. Joint		
CSC. Commercial Grade Carpet	H.M. Hollow Metal		
	HSV. Homogeneous Sheet Vinyl		

GRAPHICS LEGEND

	SECTION DETAIL INDICATOR. SHEET ON WHICH DETAIL APPEARS.		WINDOW INDICATOR.		NEW CONSTRUCTION COLUMN BUBBLE AND GRID LINE
	ENLARGED PLAN INDICATOR. SHEET ON WHICH ENLARGED PLAN APPEARS.		INTERIOR WALL TYPE INDICATOR. SEE A-700 SERIES.		KEY NOTES
	DOOR INDICATOR. SEE DOOR SCHEDULE A-900.		INTERIOR ELEVATION INDICATOR. SHEET ON WHICH ELEVATION APPEARS.		ACCESSORY/EQUIPMENT TAGS
	BUILDING SECTION INDICATOR. SHEET ON WHICH BUILDING SECTION APPEARS.		FURNITURE/ACCESSORIES REFERENCE NUMBER		WALL SECTION INDICATOR. SHEET ON WHICH DETAIL APPEARS.
	EXTERIOR ELEVATION INDICATOR. SHEET ON WHICH ELEVATION APPEARS.		FINISH TAG		

LOCATION MAP



GENERAL NOTES

- G1. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.
- G2. DIMENSIONS ARE WITNESSED TO FACE OF STUD UNLESS OTHERWISE NOTED.
- G3. COORDINATE LOCATIONS AND ELEVATIONS OF FLOOR DRAINS, REGISTERS, GRILLES, LOUVERS, CONVECTORS, CABINET UNIT HEATERS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS.
- G4. COORDINATE WORK BETWEEN ARCHITECTURAL AND DOCUMENTS FROM ALL VARIOUS DESIGN DISCIPLINES. ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- G5. ALL DIMENSIONS AND TIE-INS BY OTHER TRADES MUST BE FIELD VERIFIED BY INSTALLING CONTRACTOR.
- G6. COORDINATE FLOOR AND WALL OPENINGS AND ROOF PENETRATIONS WITH INSTALLING TRADE.
- G7. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR INSTALLATION OF SLEEVES, CONDUITS, DAMPERS, AND OTHER BUILT-IN ITEMS WHERE RATED WALLS JOIN OTHER RATED MATERIALS OR FINISHES. USE U.L. APPROVED RATED SYSTEMS ONLY.
- G8. COORDINATE AND PROVIDE BLOCKING/BACKING IN PARTITIONS BEHIND ALL WALL MOUNTED ITEMS. ALL CONCEALED WOOD TO BE FIRE TREATED.
- G9. ATTACHMENTS, CONNECTIONS OR FASTENINGS OF ALL NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST INDUSTRY STANDARD PRACTICE. THE DRAWINGS SHOW ONLY SELECT CONDITIONS TO ASSIST CONTRACTOR, THEY ARE NOT INTENDED TO ILLUSTRATE EVERY DETAIL.
- G10. ALL CONCEALED WOOD TO BE (FRT) FIRE RESISTANT TREATED IN ACCORDANCE WITH SECTION 06070-WOOD, TREATMENT.
- G11. ALL EXPOSED WOOD TO BE CLASS (xxxx) WITH FLAMESPREAD OF 76-200 AND SMOKE DEVELOPED OF 0-450.
- G12. ALL EXPOSED WOOD IN VERTICAL EXITS AND PASSAGE WAYS TO BE CLASS B WITH FLAMESPREAD OF 26-76, SMOKE DEVELOPED OF 0-50
- G13. WALKING SURFACE TO HAVE A STATIC COEFFICIENT OF FRICTION NOT LESS THAN SCHEDULED BELOW (WET AND DRY) WHEN TESTED BY ASTM C 1028, LEVEL SURFACES 0.60, SLOPED SURFACES (RAMPS) 0.80.
- G14. ALL EXTERIOR EXPOSED METAL SURFACES TO BE GALVANIZED UNLESS SPECIFIED OTHERWISE.
- G15. CONTRACTOR TO COORDINATE ALL BUILDING SYSTEM REQUIREMENTS FOR ALL SAFETY PRECAUTIONS INCLUSIVE OF ALL ELECTRICAL ARC FLASHING REQUIREMENTS.

MATERIALS LEGEND

	EARTH
	POROUS FILL/ GRAVEL
	CAST-IN PLACE CONCRETE
	CMU
	GYPSUM BOARD
	STEEL
	FINISH WOOD
	WOOD BLOCKING
	SHIM
	RIGID INSULATION
	PARTICLE BOARD
	PLYWOOD
	ACOUSTICAL TILE
	BATT INSULATION
	SPRAYED-ON INSULATION

DRAWING INDEX

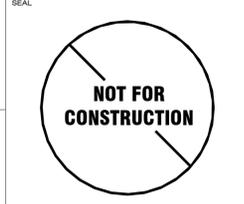
#	SHEET TITLE
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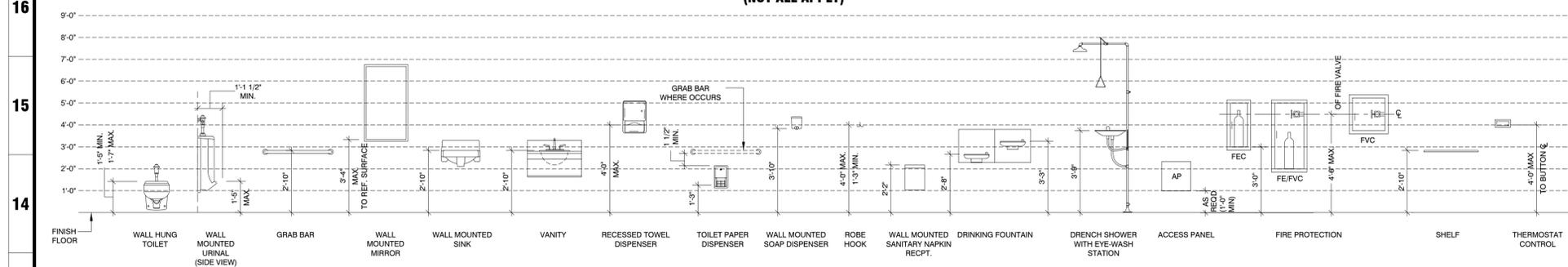
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PROJECT INFORMATION
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THE GRAND SALON
 Village Parkway
 Dublin, Ohio 43017



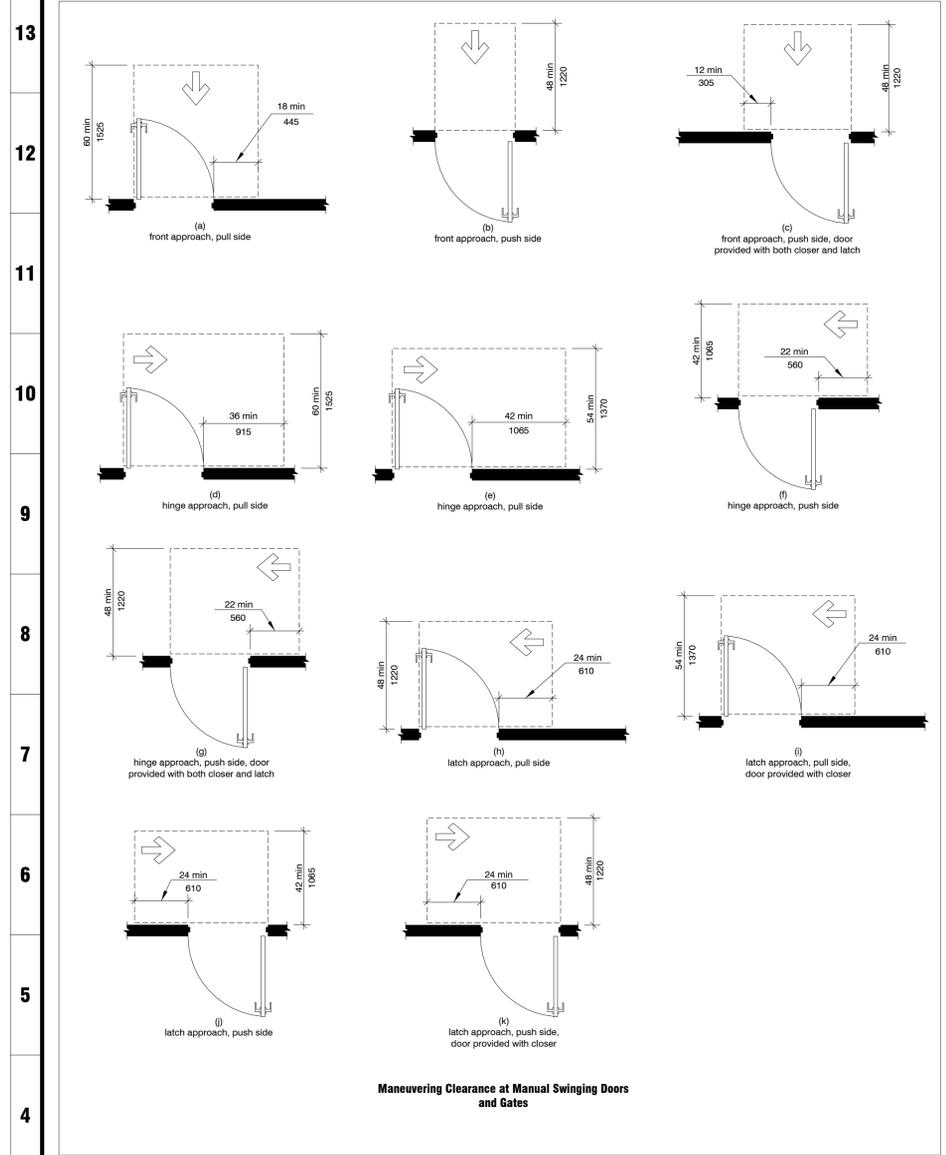
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2015-46
 SHEET NUMBER
G-001

**MOUNTING HEIGHTS
(NOT ALL APPLY)**

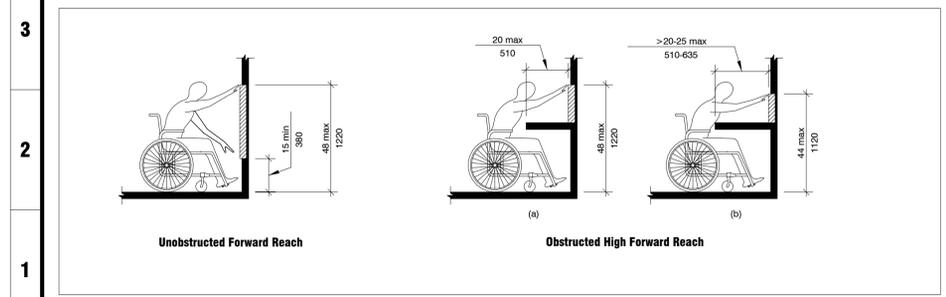


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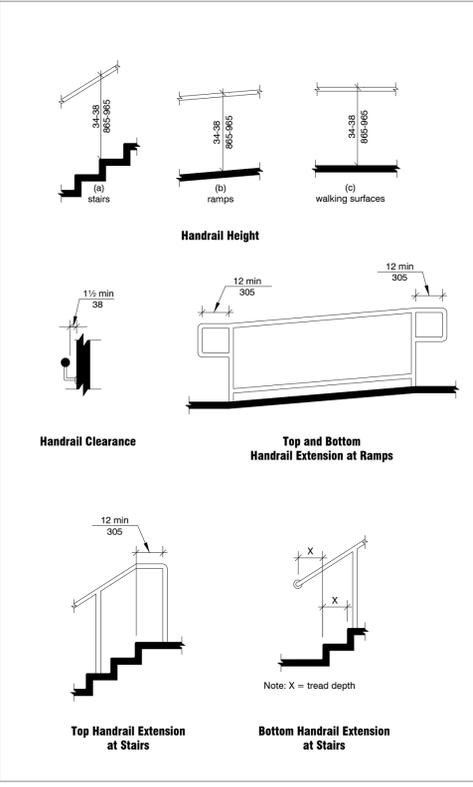
- SCOPE**
ALL AREAS OF NEWLY DESIGNED AND NEWLY CONSTRUCTED BUILDINGS AND FACILITIES AND ALTERED PORTIONS OF EXISTING BUILDINGS AND FACILITIES SHALL COMPLY WITH THESE REQUIREMENTS.
- ACCESSIBLE ROUTES**
SITE ARRIVAL POINTS
AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS AND SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
WITHIN A SITE
AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
MULTI-STORY BUILDINGS AND FACILITIES
AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT EACH STORY AND MEZZANINE IN MULTI-STORY BUILDINGS AND FACILITIES.
STAIRS AND ESCALATORS IN EXISTING BUILDINGS
IN ALTERATIONS AND ADDITIONS, WHERE AN ESCALATOR OR STAIR IS PROVIDED WHERE NONE EXISTED PREVIOUSLY AND MAJOR STRUCTURAL MODIFICATIONS ARE NECESSARY FOR THE INSTALLATION, AN ACCESSIBLE ROUTE SHALL BE PROVIDED BETWEEN THE LEVELS SERVED BY THE ESCALATOR OR STAIR UNLESS EXEMPTED.
- CHANGES IN LEVEL**
VERTICAL
CHANGES IN LEVEL OF 1/4 INCH (6.4 MM) HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL.
BEVELED
CHANGES IN LEVEL BETWEEN 1/4 INCH (6.4 MM) HIGH MINIMUM AND 1/2 INCH (13 MM) HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
RAMPED
CHANGES IN LEVEL GREATER THAN 1/2 INCH (13 MM) HIGH SHALL BE RAMPED.
- CARPET**
CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION, PAD, OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/INCLUT PILE TEXTURE. PILE HEIGHT SHALL BE 1/2 INCH (13 MM) MAXIMUM. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND SHALL HAVE TRIM ON THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH ITEM 3 ABOVE.
- PARKING SPACES**
VEHICLE SPACES
CAR PARKING SPACES SHALL BE 96 INCHES (2440 MM) WIDE MINIMUM AND VAN PARKING SPACES SHALL BE 132 INCHES (3350 MM) WIDE MINIMUM, SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESS AISLE.
ACCESS AISLE
ACCESS AISLES SERVING PARKING SPACES SHALL BE 60 INCHES (1525 MM) WIDE MINIMUM AND SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACES THEY SERVE. ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE.
IDENTIFICATION
PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE" SIGNS SHALL BE 60 INCHES (1525 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.



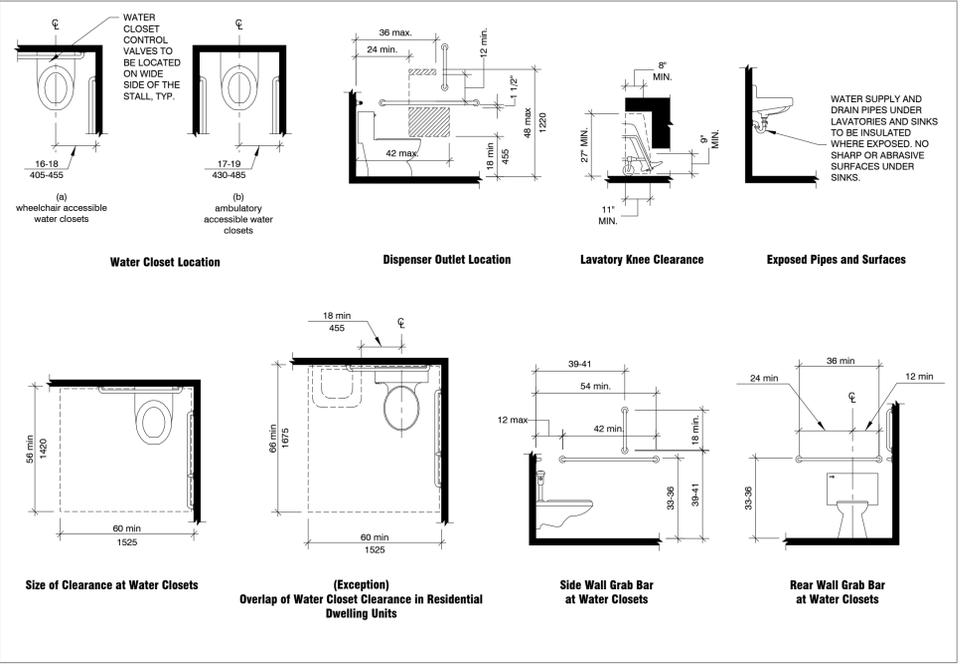
CLEARANCES AT DOORS



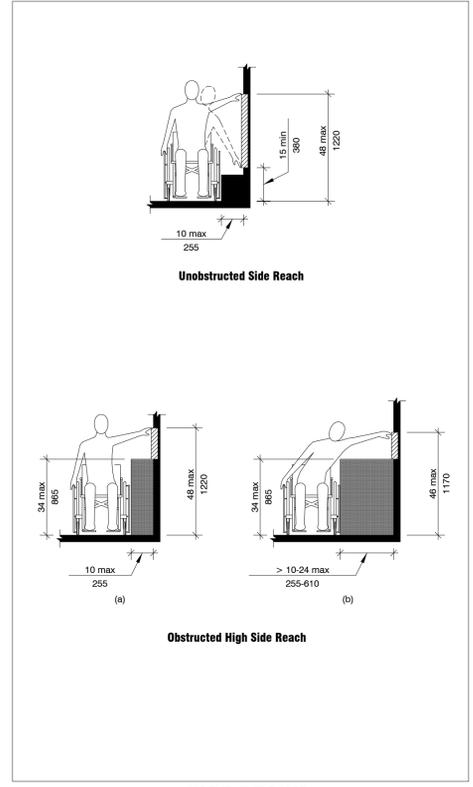
FORWARD REACH



HANDRAILS

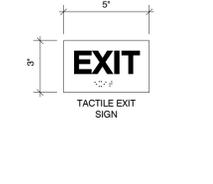


WATER CLOSETS / LAVATORIES

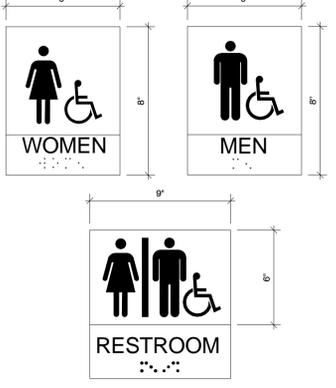


SIDE REACH

TACTILE EXIT SIGNS

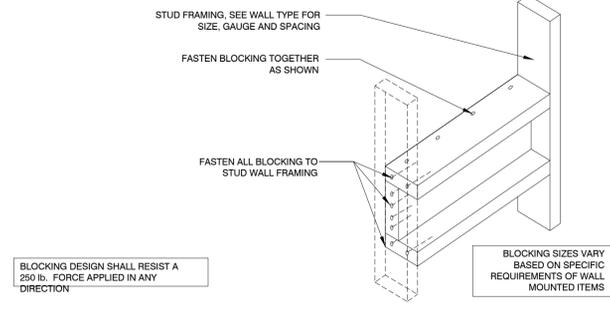


TACTILE RESTROOM SIGNS



MOUNTING LOCATION

ALL SIGNAGE SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES, INCLUDING BUT NOT LIMITED TO PROPORTION, COLOR CONTRAST AND RELIEF AND GRADE 2 BRAILLE REQUIREMENTS.
TACTILE EXIT SIGNAGE:
TACTILE "EXIT" SIGNAGE TO BE PLACED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.
GENERAL CONTRACTOR TO VERIFY EXISTING SIGNAGE INSTALLATIONS AND PROVIDE NEW AS REQUIRED.
CHARACTERS, SYMBOLS AND BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THE BACKGROUND, EITHER LIGHT ON DARK BACKGROUND OR DARK ON LIGHT BACKGROUND.
SIGNS TO INCLUDE BRAILLE AND CHARACTERS AS DEFINED BY CODE.
MOUNT SIGNAGE AT 60" A.F.F. TO THE CENTER OF THE SIGN.



ACCESSIBILITY COMPLIANCE INFORMATION

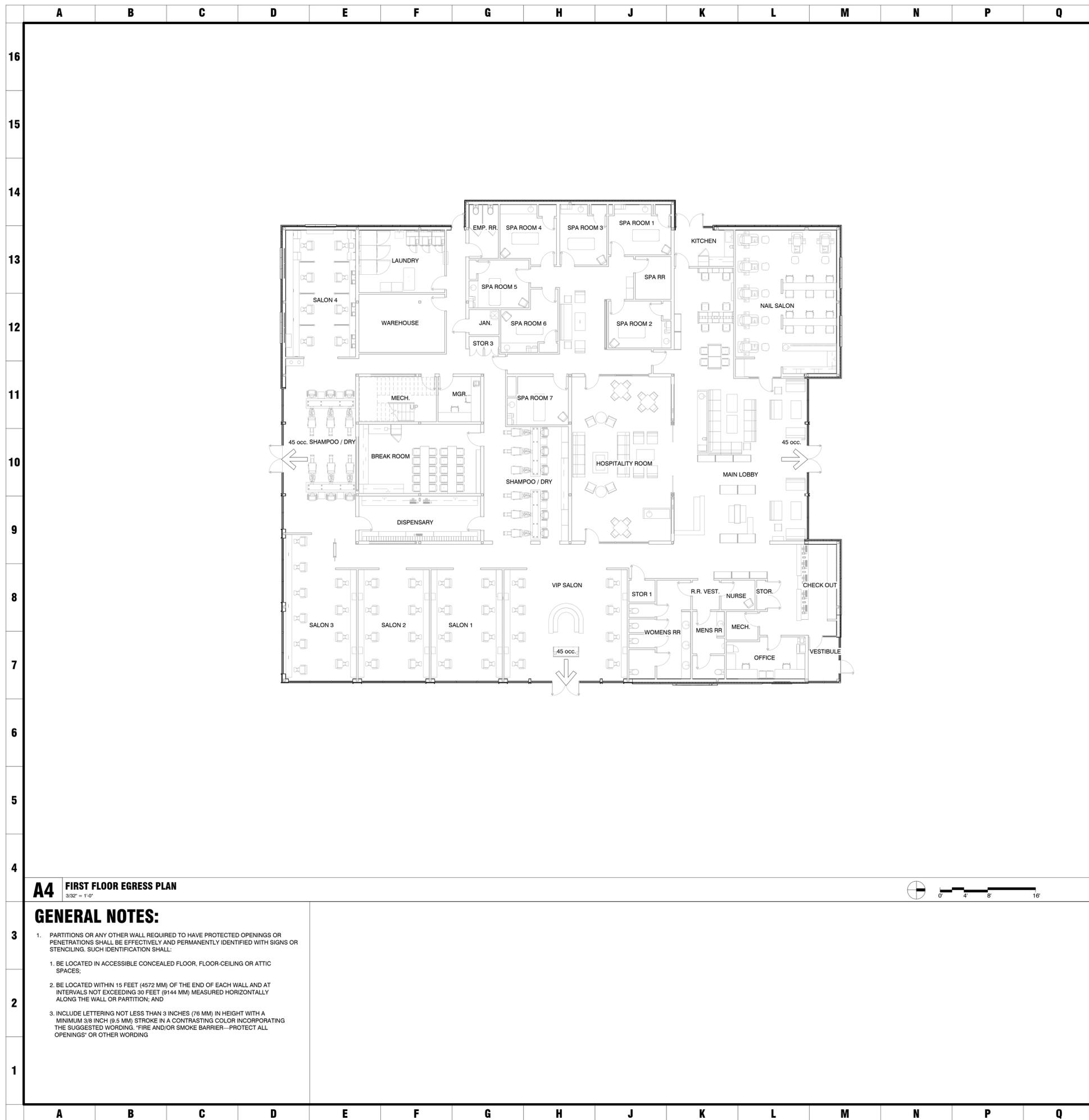
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Dublin, Ohio 43017

NOT FOR CONSTRUCTION

MEYERS+ASSOCIATES PROJECT NUMBER
2015-46
SHEET NUMBER
G-003

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08-20-16



A4 FIRST FLOOR EGRESS PLAN
3/32" = 1'-0"

GENERAL NOTES:

- PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:
 - BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES;
 - BE LOCATED WITHIN 15 FEET (4572 MM) OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET (9144 MM) MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION; AND
 - INCLUDE LETTERING NOT LESS THAN 3 INCHES (76 MM) IN HEIGHT WITH A MINIMUM 3/8 INCH (9.5 MM) STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING: "FIRE AND/OR SMOKE BARRIER—PROTECT ALL OPENINGS" OR OTHER WORDING

OHIO BUILDING CODE 2011

Project address:
Village Parkway, Dublin Ohio 43017

Type of work:
(check all that apply)
 A. New Structure
 B. Addition
 C. Alteration
 D. Change of Use

Description of work:
Single Story Salon Facility

Building Planning:

Referenced Standards:
 Ohio Building Code (OBC 2011) Ohio Plumbing Code (OPC 2011) National Fire Protection Associations (NFPA)
 Ohio Mechanical Code (OMC 2011) Ohio Fire Code (OFC 2011) ICC - ANSI A117.1 2009

Chapter 3 Use and Occupancy Classification
 Use Group B - Business

Chapter 5 General Building Heights and Areas for IIB Construction

Allowable Building Heights and Areas (Table 503)		Actual Building Heights and Areas	
Allowable Building Height	55'-0"	Actual Building Height	31'-7"
Allowable Area	23,000 sf	Actual Building Area	12,808 sf
Type of Construction	IIB		

Separated Occupancies (Table 508.4)
 Mixed Use: Yes No
 If yes: Non-separated use _____ Separated use _____ Separated Building _____

Chapter 6 Fire Resistive Construction (Tables 601 & 508.4)

Type IIB	Fire Rating	UL Listing and Notes
Structural Frame	0 hr	UL# N/A
Bearing Walls - Exterior	0 hr	UL# N/A
Bearing Walls - Interior	0 hr	UL# N/A
Non Bearing - Exterior	0 hr	UL# N/A
Non Bearing - Interior	0 hr	UL# N/A
Floor Construction	0 hr	UL# N/A
Roof Construction	0 hr	UL# N/A

Exterior Rating Based on Fire Separation Distance (602)		
Fire Separation Distance (feet)	Fire Rating	UL Listing and Notes
North - 30' or more	hr	N/A
East - 30' or more	hr	N/A
South - 30' or more	hr	N/A
West - 30' or more	hr	N/A

Chapter 9 Fire Protection Systems

(903) Automatic Sprinkler System Fully Sprinklered Yes No
 If yes: NFPA 13 _____ NFPA 13R _____
 (905) Standpipe System Yes No
 (907) Alarm System Yes No
 (909) Smoke Control System Yes No
 (911) Fire Command Center Yes No

Chapter 10 Means of Egress

Occupant Load (1004)			
Floor Area	Floor Area Per Occ. (table 1004.1.1)	Tabular Occupant Load	Actual Occupant Load
First Floor 12,808 sf	divide by 100 sf	equals 129	129
Mech Mezzanine 985 sf	divide by 300 sf	equals 4	4
			Total Occupants: 133

Egress Width (1005)		
Exit-way	Width / Occupant (table 1003.2.3)	Provided
	2 x 129 = 258'	36' min
Egress Doors Provided	2 Required	4 Provided

Chapter 29 Plumbing Fixtures

Occupant Load	Water Closets 1/50 per sex	Lavatories 1/80 per sex	Drinking Fountains 1/100	Service Sink 1
Required: 65 per sex	2	XX	XX	XX
Provided:	6 Female 3 Male	5 Female 2 Male	1	1

LEGEND:

- INDICATES ONE HOUR FIRE PARTITION.
- ===== INDICATES TWO HOUR FIRE PARTITION.
- ===== INDICATES THREE HOUR FIRE PARTITION.
- ===== INDICATES SMOKE PARTITION.
- ||||| INDICATES MAINTAINED PATH OF EGRESS
- INDICATES EGRESS ROUTE
- X FIRE RATED ASSEMBLY
- OCC. OCCUPANTS
- FE WALL MOUNTED FIRE EXTINGUISHER
- FEC RECESSED FIRE EXTINGUISHER CABINET. SEE A-700 SERIES FOR MORE INFORMATION
- ♿ INDICATES ACCESSIBLE ROOM, REFER TO ACCESSIBLE INFORMATION PROVIDED ON SHEET G-005

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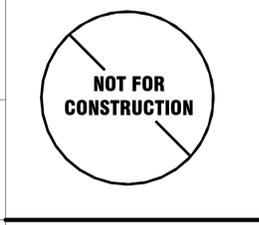
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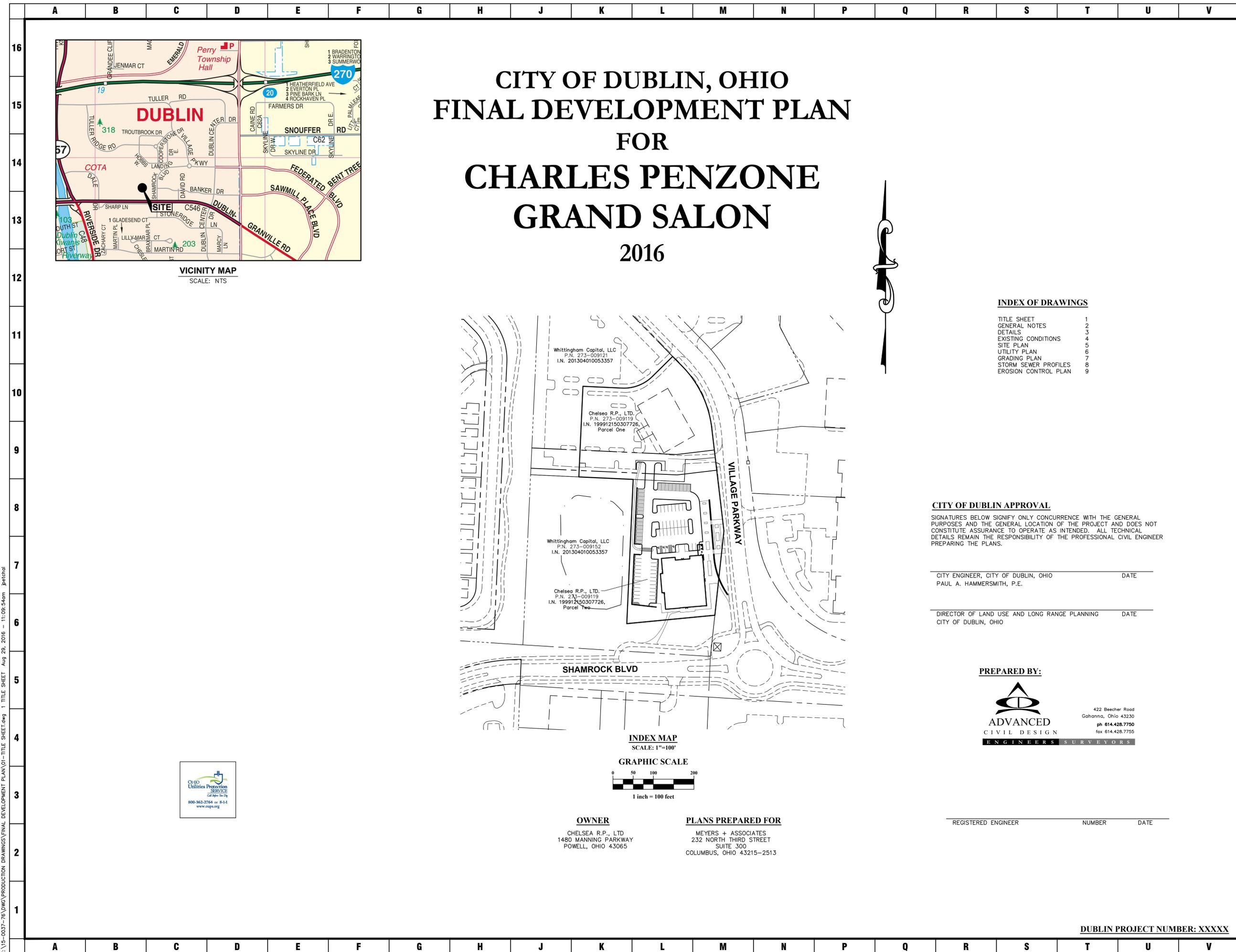
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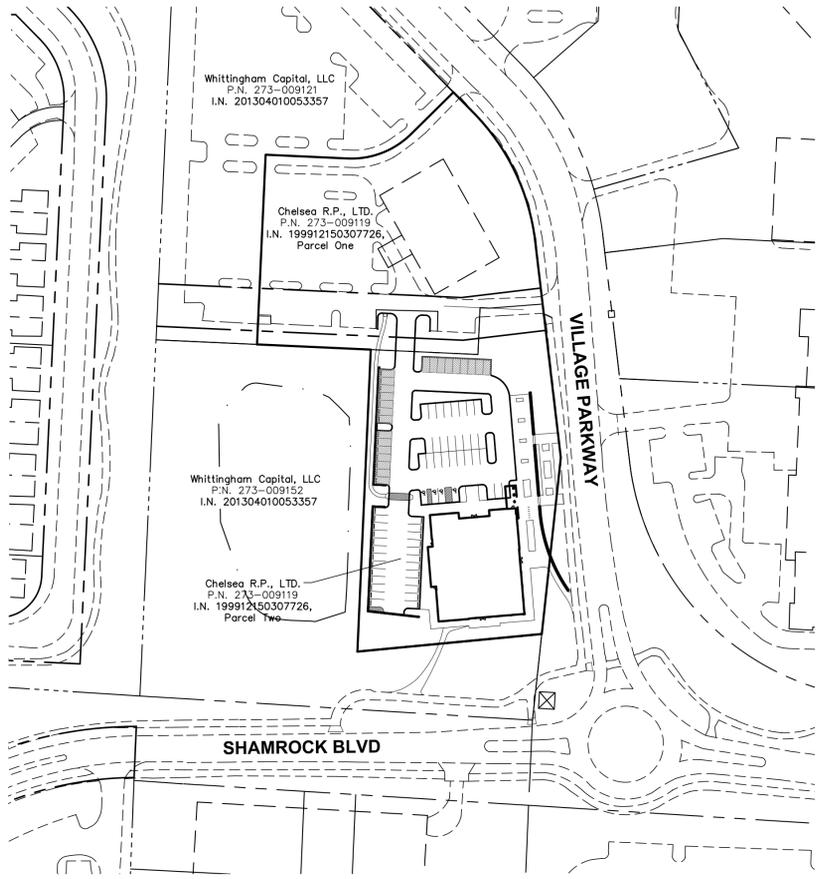
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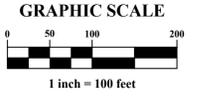


VICINITY MAP
SCALE: NTS

CITY OF DUBLIN, OHIO FINAL DEVELOPMENT PLAN FOR CHARLES PENZONE GRAND SALON 2016



INDEX MAP
SCALE: 1"=100'



OWNER
CHELSEA R.P., LTD
1480 MANNING PARKWAY
POWELL, OHIO 43065

PLANS PREPARED FOR
MEYERS + ASSOCIATES
232 NORTH THIRD STREET
SUITE 300
COLUMBUS, OHIO 43215-2513

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CITY OF DUBLIN APPROVAL

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND THE GENERAL LOCATION OF THE PROJECT AND DOES NOT CONSTITUTE ASSURANCE TO OPERATE AS INTENDED. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL CIVIL ENGINEER PREPARING THE PLANS.

CITY ENGINEER, CITY OF DUBLIN, OHIO _____ DATE _____
PAUL A. HAMMERSMITH, P.E.

DIRECTOR OF LAND USE AND LONG RANGE PLANNING _____ DATE _____
CITY OF DUBLIN, OHIO

PREPARED BY:

**ADVANCED
CIVIL DESIGN**
ENGINEERS SURVEYORS

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ph 614.428.7750
fax 614.428.7755

REGISTERED ENGINEER _____ NUMBER _____ DATE _____



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VILLAGE PARKWAY
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SEAL

MEYERS+ASSOCIATES PROJECT NUMBER:
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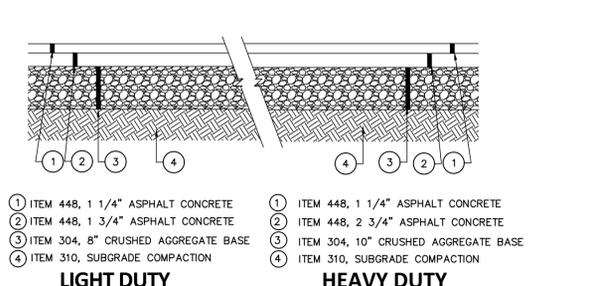
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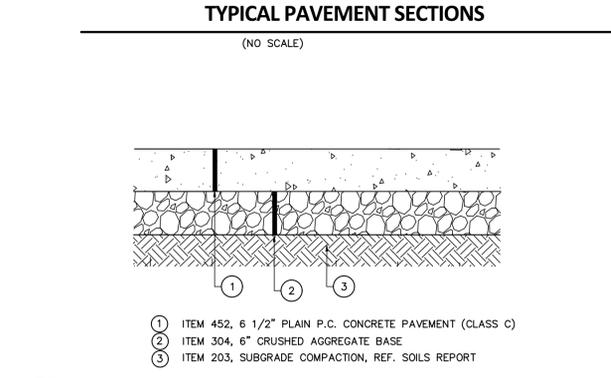
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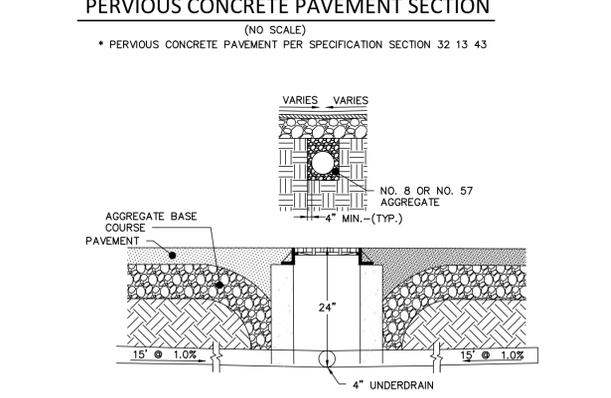
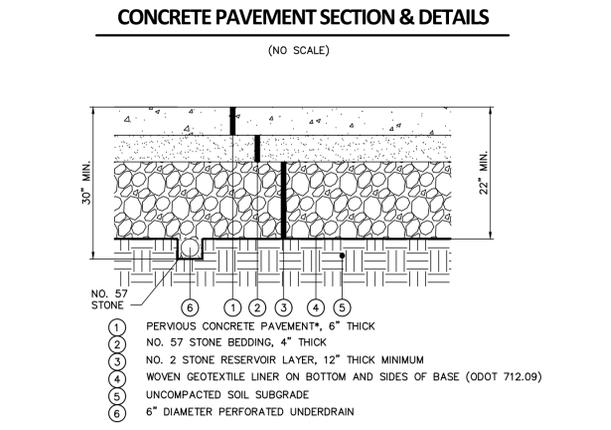


NOTES: ALL PAVEMENT MATERIALS SHALL CONFORM TO THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT.

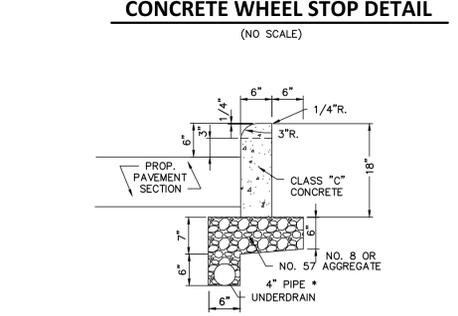
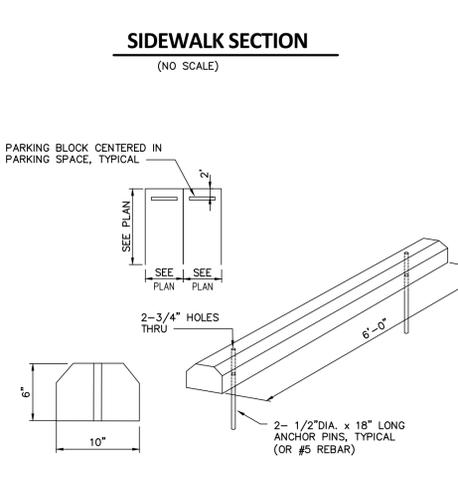
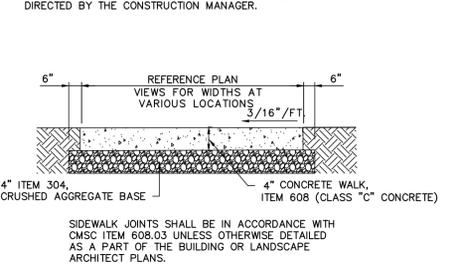
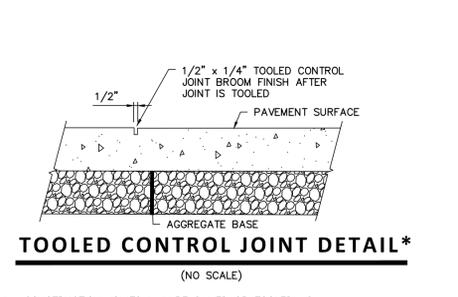
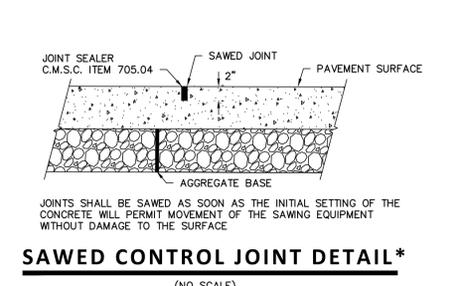


NOTE: CONCRETE PAVING, CMSC ITEM 452 SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

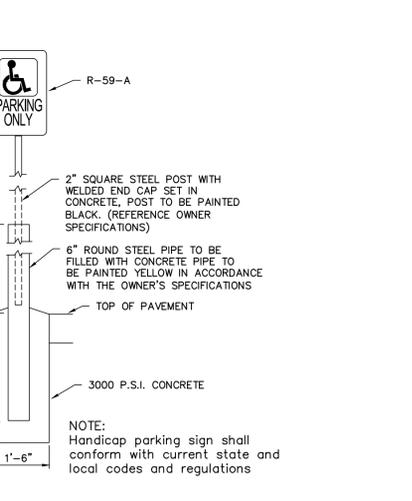
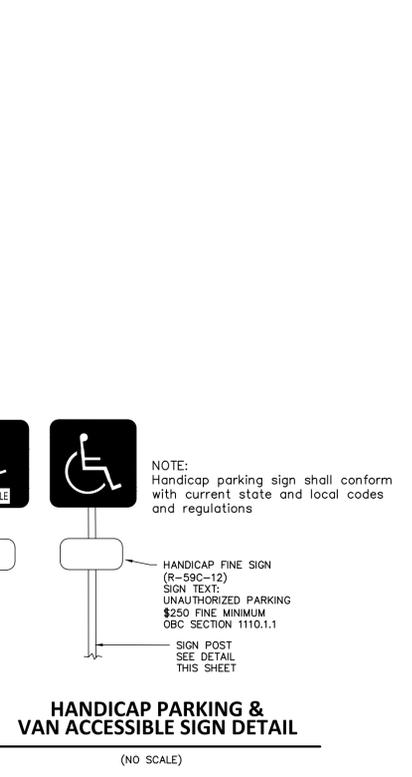
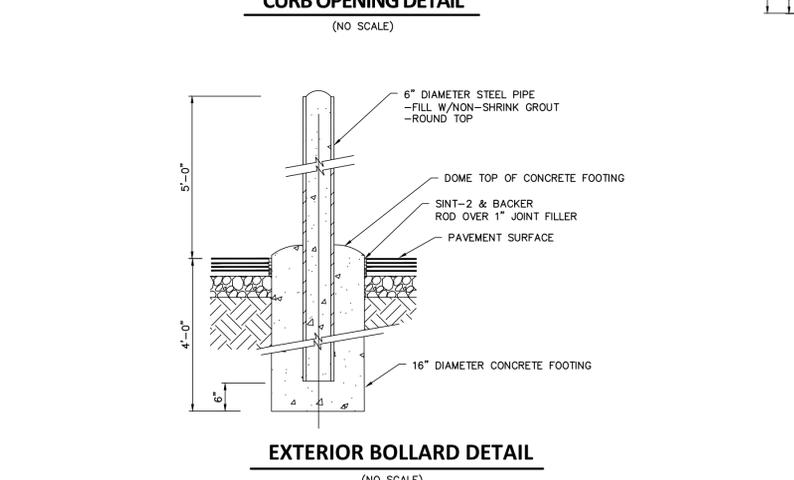
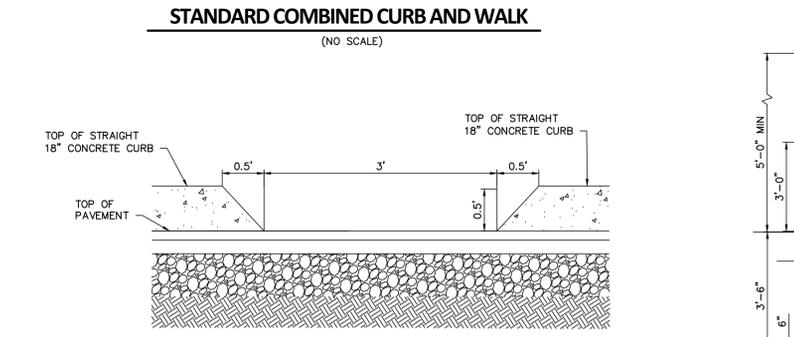
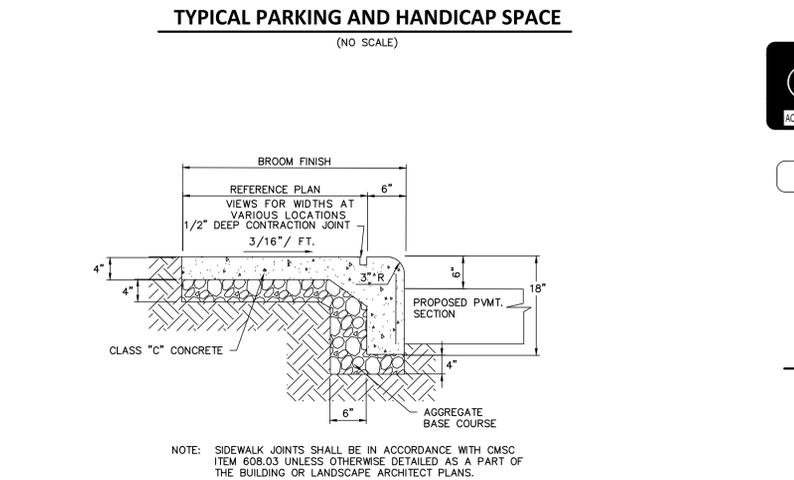
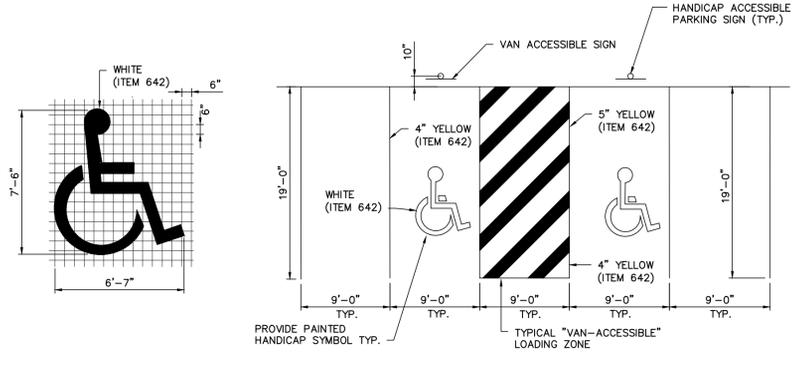
- 4000 PSI COMPRESSIVE STRENGTH, 600 PSI FLEXURAL STRENGTH.
- 5-7% ENTRAINED AIR WITH APPROVED WATER-REDUCING AND RETARDING ADMIXTURES.
- CONSTRUCTION JOINTS SHALL BE SPECIFIED BY CONTRACTOR AS A PART OF THE CONTRACT BID.
- CONCRETE PAVING SHALL HAVE A LIGHT BROOM FINISH.
- CURING COMPOUND SHALL BE APPLIED AS PER CMSC ITEM 451.10.



* 4" PERFORATED UNDERDRAIN - SEE STORM SEWER PLAN FOR LOCATIONS. THE PERFORATED PIPE SHALL BE PROTECTED FROM HEAVY TRAFFIC AFTER INSTALLATION PRIOR TO PLACEMENT OF PROPOSED PAVING.



* CONTRACTOR SHALL VERIFY REQUIREMENTS FOR CURB UNDERDRAIN WITH THE OWNER. ANY UNDERDRAIN PLACED SHALL BE PROVIDED AN OUTLET TO THE PROPOSED STORM SYSTEM. POSITIVE DRAINAGE SHALL BE MAINTAINED.



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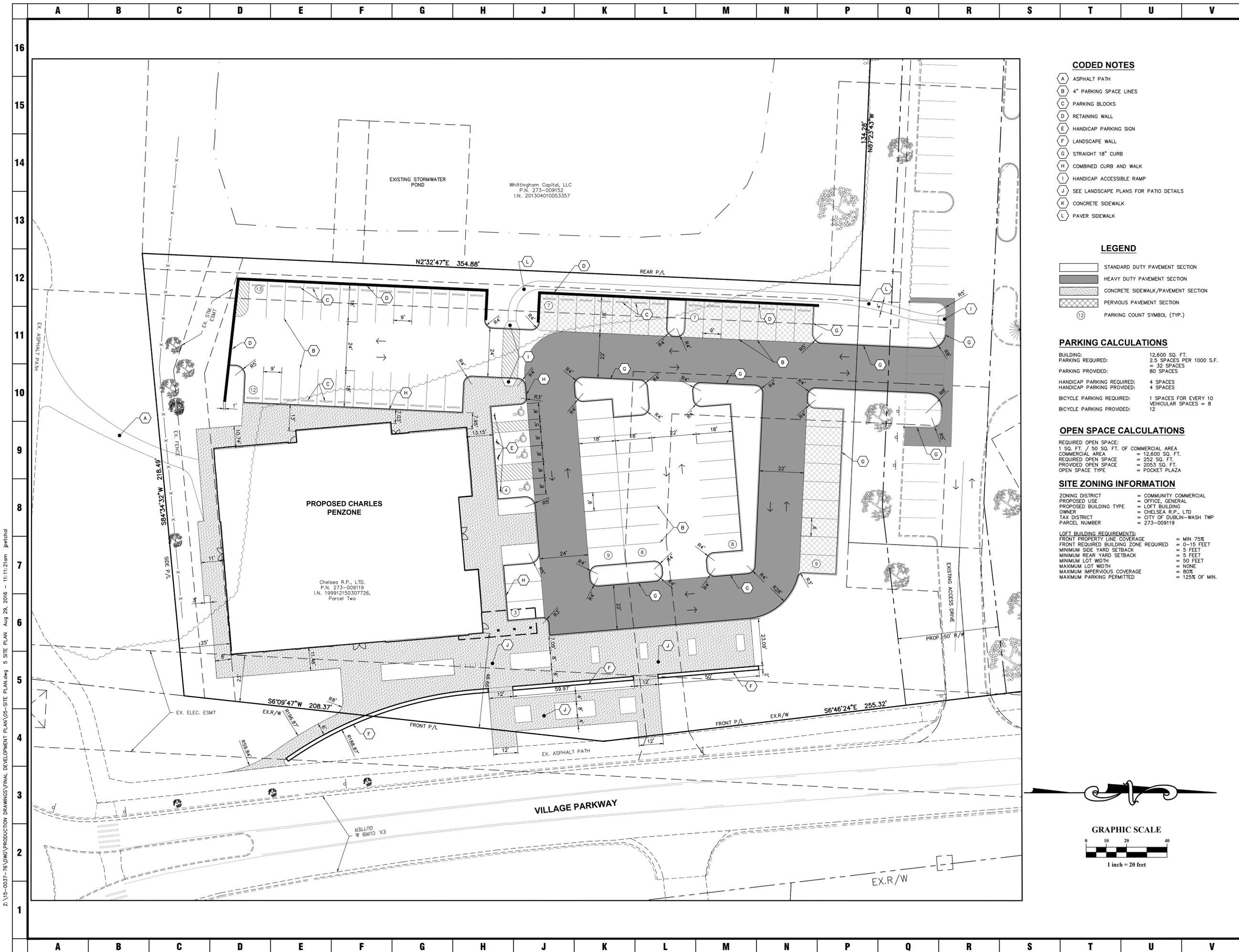
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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08-29-2016

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER
C-003

THE GRAND SALON
VILLAGE PARKWAY
DUBLIN, OHIO 43017



CODED NOTES

- (A) ASPHALT PATH
- (B) 4" PARKING SPACE LINES
- (C) PARKING BLOCKS
- (D) RETAINING WALL
- (E) HANDICAP PARKING SIGN
- (F) LANDSCAPE WALL
- (G) STRAIGHT 18" CURB
- (H) COMBINED CURB AND WALK
- (I) HANDICAP ACCESSIBLE RAMP
- (J) SEE LANDSCAPE PLANS FOR PATIO DETAILS
- (K) CONCRETE SIDEWALK
- (L) PAVER SIDEWALK

LEGEND

- [Pattern] STANDARD DUTY PAVEMENT SECTION
- [Pattern] HEAVY DUTY PAVEMENT SECTION
- [Pattern] CONCRETE SIDEWALK/PAVEMENT SECTION
- [Pattern] PERVIOUS PAVEMENT SECTION
- (12) PARKING COUNT SYMBOL (TYP.)

PARKING CALCULATIONS

BUILDING: 12,600 SQ. FT.
 PARKING REQUIRED: 2.5 SPACES PER 1000 S.F.
 = 32 SPACES
 80 SPACES PROVIDED

HANDICAP PARKING REQUIRED: 4 SPACES
 HANDICAP PARKING PROVIDED: 4 SPACES

BICYCLE PARKING REQUIRED: 1 SPACES FOR EVERY 10 VEHICULAR SPACES = 8
 BICYCLE PARKING PROVIDED: 12

OPEN SPACE CALCULATIONS

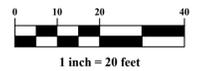
REQUIRED OPEN SPACE:
 1 SQ. FT. / 50 SQ. FT. OF COMMERCIAL AREA
 COMMERCIAL AREA = 12,600 SQ. FT.
 REQUIRED OPEN SPACE = 252 SQ. FT.
 PROVIDED OPEN SPACE = 2053 SQ. FT.
 OPEN SPACE TYPE = POCKET PLAZA

SITE ZONING INFORMATION

ZONING DISTRICT = COMMUNITY COMMERCIAL
 PROPOSED USE = OFFICE, GENERAL
 PROPOSED BUILDING TYPE = LOFT BUILDING
 OWNER = CHELSEA R.P., LTD
 TAX DISTRICT = CITY OF DUBLIN-WASH TWP
 PARCEL NUMBER = 273-009119

LOFT BUILDING REQUIREMENTS:
 FRONT PROPERTY LINE COVERAGE = MIN 75%
 FRONT REQUIRED BUILDING ZONE REQUIRED = 0-15 FEET
 MINIMUM SIDE YARD SETBACK = 5 FEET
 MINIMUM REAR YARD SETBACK = 5 FEET
 MINIMUM LOT WIDTH = 50 FEET
 MAXIMUM LOT WIDTH = NONE
 MAXIMUM IMPERVIOUS COVERAGE = 80%
 MAXIMUM PARKING PERMITTED = 125% OF MIN.

GRAPHIC SCALE



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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08-29-2016

SITE PLAN

PROJECT TITLE

THE GRAND SALON

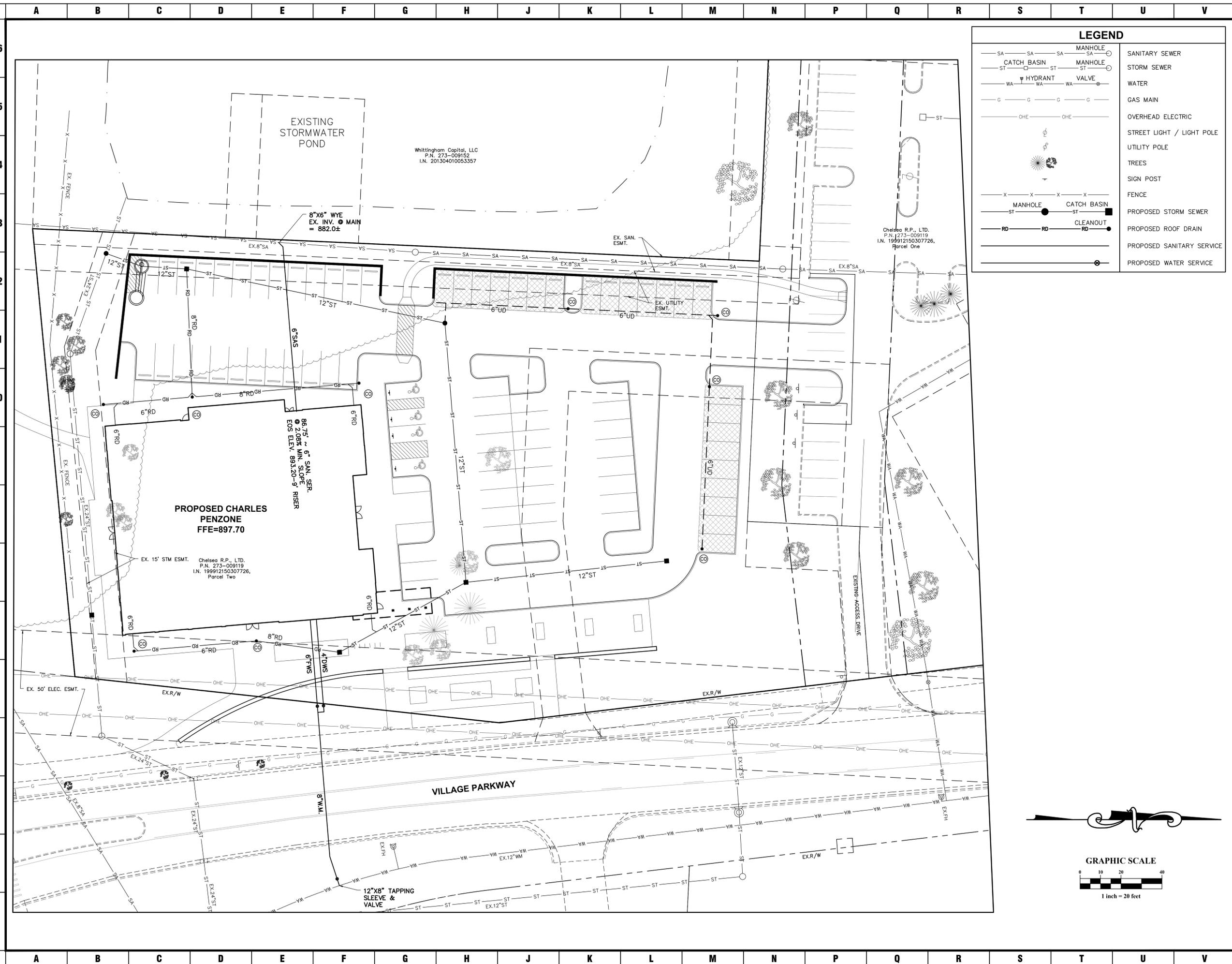
VILLAGE PARKWAY
 DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER
C-005

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LEGEND	
SA	SANITARY SEWER
ST	STORM SEWER
WA	WATER
G	GAS MAIN
OHE	OVERHEAD ELECTRIC
ST	STREET LIGHT / LIGHT POLE
UP	UTILITY POLE
T	TREES
SP	SIGN POST
X	FENCE
MANHOLE	PROPOSED STORM SEWER
CATCH BASIN	PROPOSED ROOF DRAIN
CLEANOUT	PROPOSED SANITARY SERVICE
RD	PROPOSED WATER SERVICE

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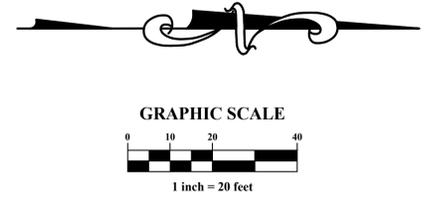
DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.29.2016

UTILITY PLAN

PROJECT TITLE

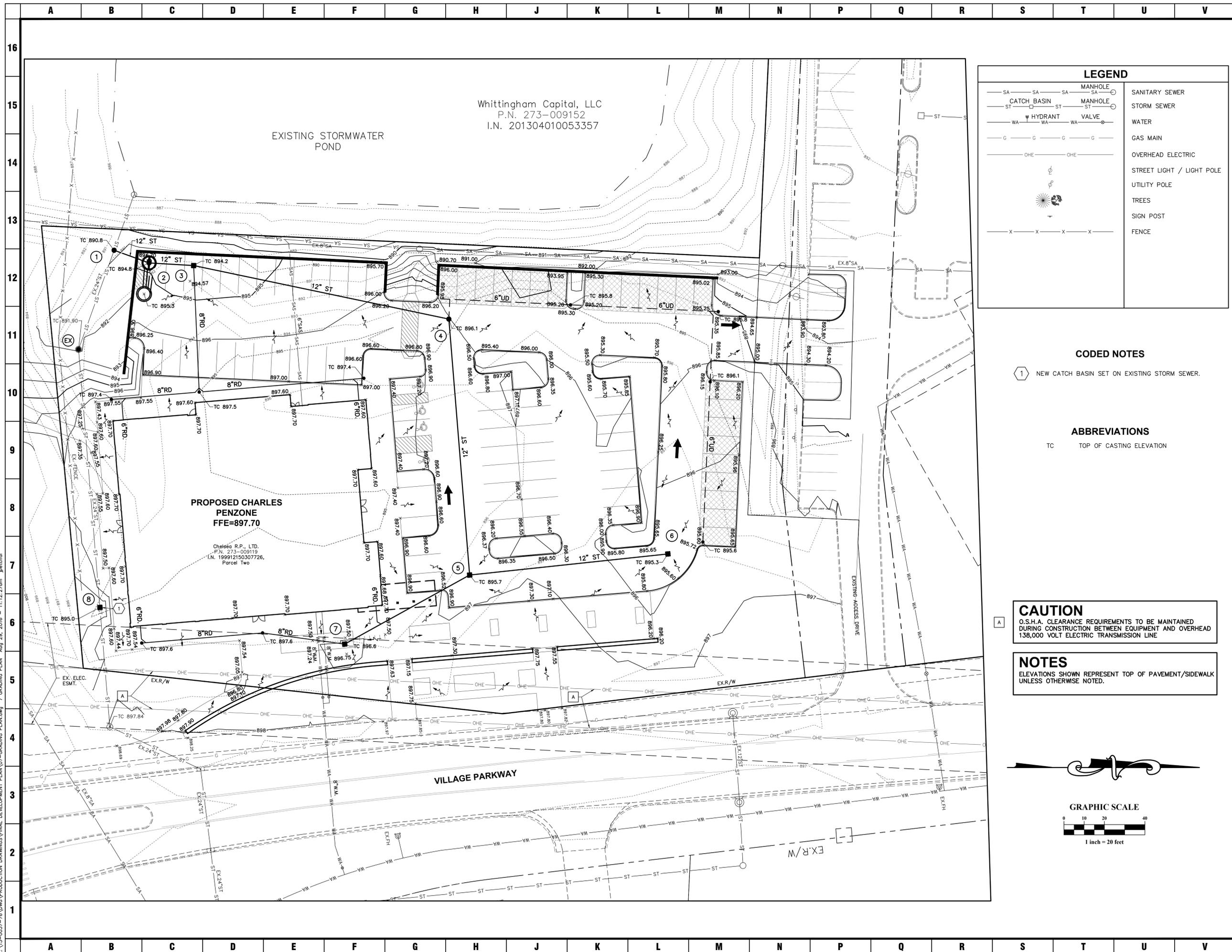
THE GRAND SALON

VILLAGE PARKWAY
DUBLIN, OHIO 43017



MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER
C-006



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Whittingham Capital, LLC
 P.N. 273-009152
 I.N. 201304010053357

**PROPOSED CHARLES
 PENZONE
 FFE=897.70**
 Chelsea R.P., LTD.
 P.N. 273-009119
 I.N. 199912150307726,
 Parcel Two

LEGEND

SA	SA	SA	MANHOLE	SANITARY SEWER
ST	ST	ST	MANHOLE	STORM SEWER
WA	WA	WA	HYDRANT	WATER
WA	WA	WA	VALVE	
G	G	G	G	GAS MAIN
OHE	OHE	OHE	OHE	OVERHEAD ELECTRIC
				STREET LIGHT / LIGHT POLE
				UTILITY POLE
				TREES
				SIGN POST
X	X	X	X	FENCE

CODED NOTES

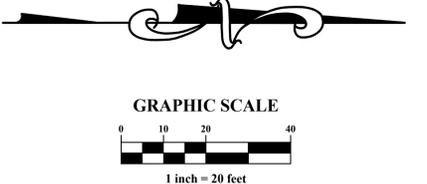
① NEW CATCH BASIN SET ON EXISTING STORM SEWER.

ABBREVIATIONS

TC TOP OF CASTING ELEVATION

CAUTION
 O.S.H.A. CLEARANCE REQUIREMENTS TO BE MAINTAINED
 DURING CONSTRUCTION BETWEEN EQUIPMENT AND OVERHEAD
 138,000 VOLT ELECTRIC TRANSMISSION LINE

NOTES
 ELEVATIONS SHOWN REPRESENT TOP OF PAVEMENT/SIDEWALK
 UNLESS OTHERWISE NOTED.



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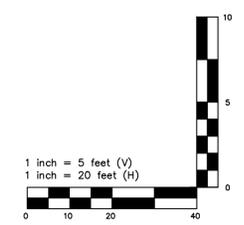
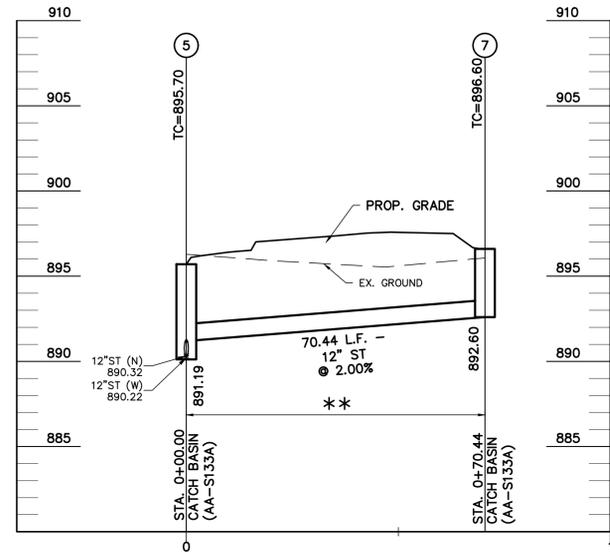
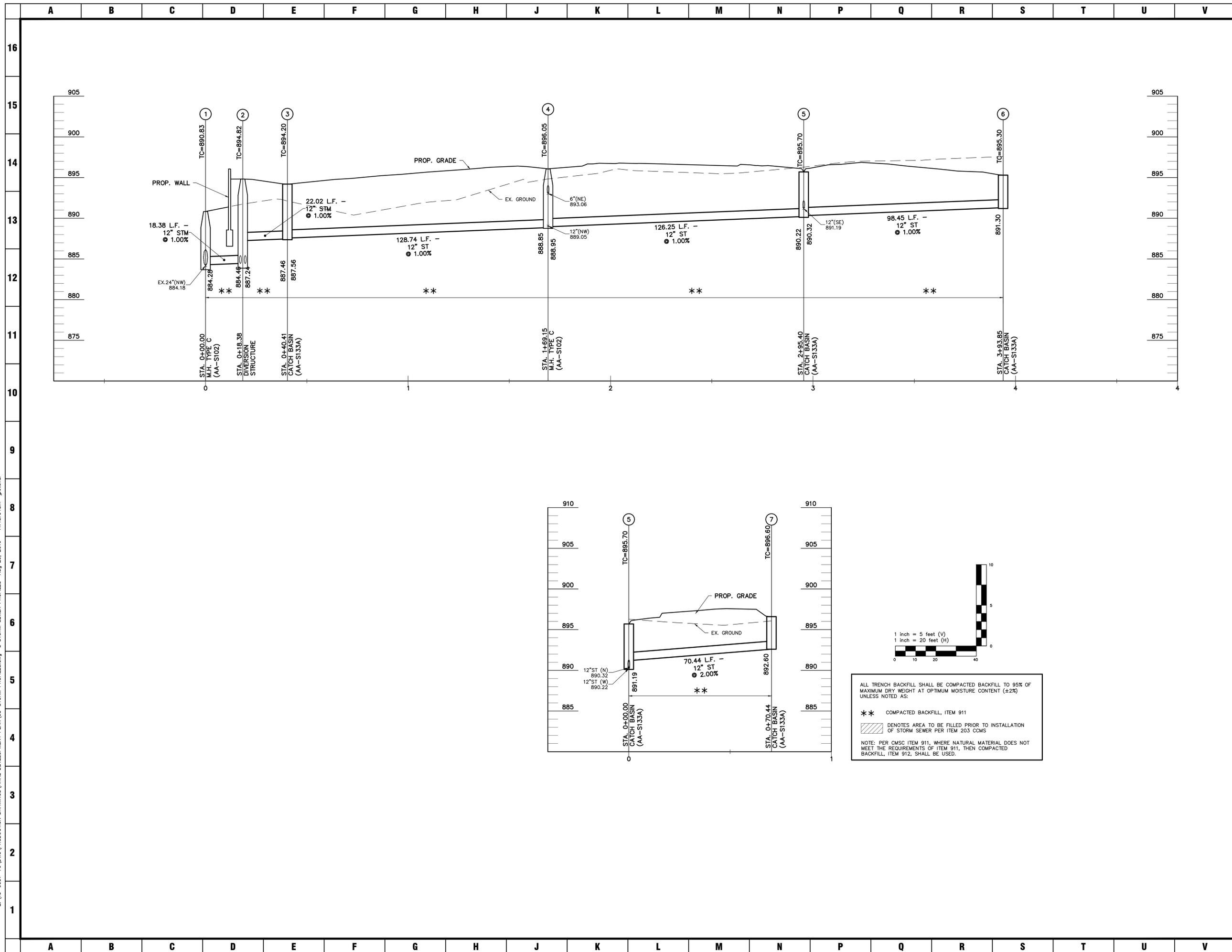
GRADING PLAN

THE GRAND SALON
 VILLAGE PARKWAY
 DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER
C-007

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ALL TRENCH BACKFILL SHALL BE COMPACTED BACKFILL TO 95% OF MAXIMUM DRY WEIGHT AT OPTIMUM MOISTURE CONTENT (±2%) UNLESS NOTED AS:

** COMPACTED BACKFILL, ITEM 911

DENOTES AREA TO BE FILLED PRIOR TO INSTALLATION OF STORM SEWER PER ITEM 203 COMS

NOTE: PER CMSC ITEM 911, WHERE NATURAL MATERIAL DOES NOT MEET THE REQUIREMENTS OF ITEM 911, THEN COMPACTED BACKFILL, ITEM 912, SHALL BE USED.

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.29.2016

STORM SEWER PROFILES

THE GRAND SALON
VILLAGE PARKWAY
DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER
C-008

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EROSION AND SEDIMENT CONTROL NARRATIVE

16 PLAN ENGINEERS: ADVANCED CIVIL DESIGN, INC. 422 BEECHER ROAD GAHANNA, OH 43230 PH (614) 428-7750 FAX (614) 428-7755 CONTACT: TOM WARNER EMAIL: TWARNER@ADVANCEDCIVILDDESIGN.COM

15 PROPERTY OWNER: CHELSEA R.P., LTD 1480 MANNING PARKWAY POWELL, OHIO 43065

14 EXISTING SITE DESCRIPTION: THE PROJECT SITE CURRENTLY IS AN OPEN FIELD WITH A FEW TREES AND BRUSH AREAS. OVERALL SITE ACREAGE: 1.8 ACRES DISTURBED ACREAGE: +/- xxxx ACRES

14 EXISTING SITE DRAINAGE CONDITION: THE EXISTING SITE DRAINS PRIMARILY TO THE WEST INTO AN EXISTING STORM WATER BASIN.

14 ADJACENT AREAS: THE SITE IS BOUNDED BY A COMMERCIAL PROPERTY TO THE NORTH, A STORM WATER BASIN TO THE WEST, AND PUBLIC STREETS TO THE SOUTH AND EAST.

14 CRITICAL AREAS: THE PUBLIC ROADS AND STORM WATER BASIN SHALL BE PROTECTED FROM ANY AND ALL SEDIMENT LADEN RUNOFF.

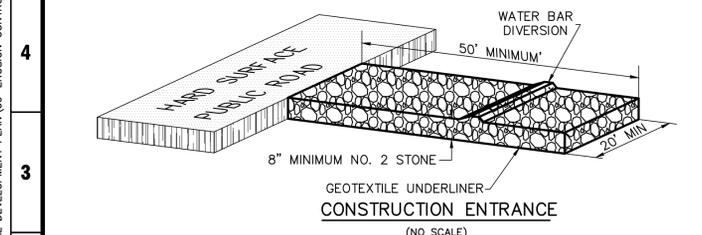
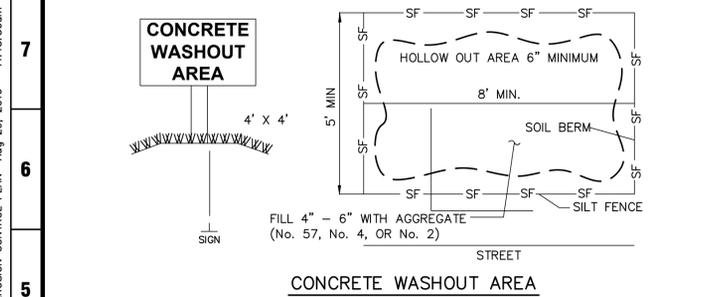
13 EROSION & SEDIMENT CONTROL MEASURES: EROSION AND SEDIMENT RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE AND INLET PROTECTION.

13 MAINTENANCE: MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED WITHIN THIS PLAN.

13 CONSTRUCTION SEQUENCE: (EROSION & SED. CONTROL)

- OBTAIN PROPER CITY OF DUBLIN, COUNTY, STATE, AND FEDERAL PERMITS.
- PRIOR TO CONSTRUCTION THE OWNER/OPERATOR SHALL COORDINATE WITH ALL CONTRACTORS AND THE CITY OF DUBLIN ENGINEER AS REQUIRED.
- THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2764 FORTY-EIGHT (48) HOURS IN ADVANCE OF ANTICIPATED START OF CONSTRUCTION, AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR LINES.
- ESTABLISH THE TEMPORARY CONSTRUCTION ENTRANCE INTO THE SITE PER DETAIL ON THIS SHEET.
- THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCE AROUND ALL PROTECTION AREAS (PRESERVED TREES) PRIOR TO COMMENCEMENT OF WORK.
- CLEAR NECESSARY VEGETATION FOR THE INSTALLATION OF THE PERIMETER SEDIMENT FENCE.
- WHILE PERFORMING SITE GRADING ACTIVITIES, DISTURBED AREAS SHALL BE SEEDED WITHIN 7 DAYS OF CONSTRUCTION. DRAINAGE SHALL BE DIRECTED TO A FILTERING FACILITY AT ALL TIMES DURING CONSTRUCTION. TOPSOIL SHALL BE STOCKPILED FOR LATER RE-SPREAD OR HAULED OFFSITE.
- AS EACH AREA IS DISTURBED AND MOUNDING TAKES PLACE IN ORDER TO PROVIDE COMPACTION AND PLACEMENT OF FILL ACROSS THE SITE, EROSION CONTROL MEASURES SHALL BE USED. STOCKPILES SHALL BE SURROUNDED BY SEDIMENT FENCE AND TEMPORARY SEEDING APPLIED.
- SEED AND MULCH THE SITE ACCORDING TO THE TEMPORARY AND PERMANENT SEEDING REQUIREMENTS TO REESTABLISH ALL DENUDED AREAS.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR SEEDED/MULCHED. AFTER REMOVAL OF THE EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL INLETS AND STORM SEWER PIPES OF ALL SEDIMENT INCURRED DURING CONSTRUCTION

CONTRACTOR RESPONSIBILITY: DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS." THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.



ENTRANCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MUD AND DIRT TRACKED ONTO PUBLIC ROADWAY. PERIODIC STREET CLEANING MAY BE REQUIRED AND SHOULD BE INCLUDED IN THE BID PRICE FOR ITEM 207, EROSION AND SEDIMENT CONTROL.

WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE TO PREVENT RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL PROPOSED GRADE IS REACHED ON ANY PORTION OF THE SITE. ALL DENUDED AREAS SHALL BE CONSTRUCTED TO FINAL PROPOSED GRADE AS QUICKLY AS POSSIBLE AND SHOULD NOT BE LEFT DORMANT UNLESS SITE CONDITIONS DO NOT ALLOW FINAL GRADING TO BE COMPLETED. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHERE GRADING MAY NOT BE COMPLETE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS WHICH ARE NOT TRIBUTARY TO A SEDIMENT BASIN OR DAM.

THE LIMITS OF SEEDING AND MULCHING WILL EXTEND OVER THE PROJECT AREA IN ACCORDANCE WITH THE LEVEL OF DISTURBANCE ASSOCIATED WITH THE ACTUAL CONSTRUCTION SEQUENCE. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.

TEMPORARY SEEDING

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbance areas within 50 feet of a surface water of the State and not at final grade	Within two days of the most recent Disturbance if the area will remain idle for more than 21 days
For all construction activities, any disturbed areas that will be dormant for more than 21 days but less than one year, and not within 50 feet of a surface water of the State	Within seven days of the most recent disturbance within the area
Disturbed areas that will be idle over winter	Prior to the onset of winter weather

PERMANENT SEEDING

Area requiring Permanent stabilization	Time frame to apply erosion controls
Any area that will lie dormant for one year or more	Within seven days of the most recent disturbance
Any areas within 50 feet of a surface water of the State and at final grade	Within two days of reaching final grade
Any other areas at final grade	Within seven days of reaching final grade within that area

DESCRIPTION	DATES	RECOMMENDED APPLICATION RATE (OR EQUIVALENT) AS SPECIFIED IN RAINWATER & LAND DEVELOPMENT	
		GENERAL USE	MIX OF
PERMANENT SEEDING	MARCH 1-SEPT 30	CREeping RED FESCUE @ 20-40 LB/AC	DOMESTIC RYEGRASS @ 10-20 LB/AC KENTUCKY BLUEGRASS @ 10-20 LB/AC
		STEEP BANKS	
		ROAD DITCHES	
TEMPORARY SEEDING	MARCH 1-SEPT 30	PERennial RYEGRASS @ 40 LB/AC	TALL FESCUE @ 40 LB/AC ANNUAL RYEGRASS @ 40 LB/AC
DORMANT SEEDING	OCT 1-NOV 20	PREPARE SEEDBED, ADD LIME & FERTILIZER, THEN MULCH FROM NOV 21 THROUGH MARCH 15, APPLY THE SELECTED SEED MIXTURE AT A 50% INCREASE IN RATE	
	NOV 20-MARCH 15	PREPARE SEEDBED, ADD LIME & FERTILIZER, APPLY THE SELECTED SEED MIXTURE AT A 50% INCREASE IN RATE, THEN MULCH	
MULCH	ANY TIME OF YEAR	STRAW	2 TONS/AC OR 90 LB/1000FT
		HYDROSEED (WOOD CELLULOSE FIBER)	1 TON/AC OR 46 LB/1000FT

MAINTENANCE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL FEATURES USED ON THIS PROJECT. THE SITE SHALL BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREATER THAN 0.5" PER 24 HOUR PERIOD. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

SCHEDULE: THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE CONSTRUCTION MANAGER. SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE PLACED IN ACCORDANCE WITH THIS SCHEDULE.

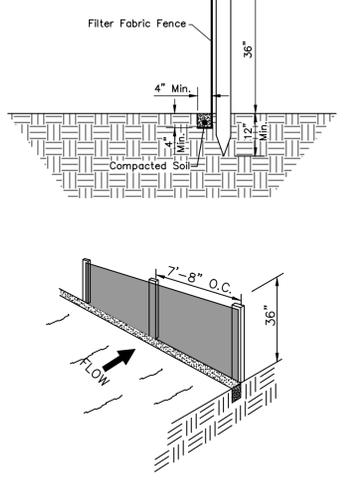
CONTRACTOR RESPONSIBILITY

DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS." THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE OWNER. THE SCHEDULE SHOULD INCLUDE A SEQUENCE OF THE PLACEMENT OF THE SEDIMENTATION AND EROSION CONTROL MEASURES THAT PROVIDES FOR CONTINUAL PROTECTION OF THE SITE THROUGHOUT THE EARTH MOVING ACTIVITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT OFF-SITE TRACKING OF SEDIMENTS BY VEHICLES AND EQUIPMENT IS MINIMIZED. ALL SUCH OFF-SITE SEDIMENT SHALL BE CLEANED UP DAILY.

SEDIMENT FENCE NOTES



SILT FENCE: THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

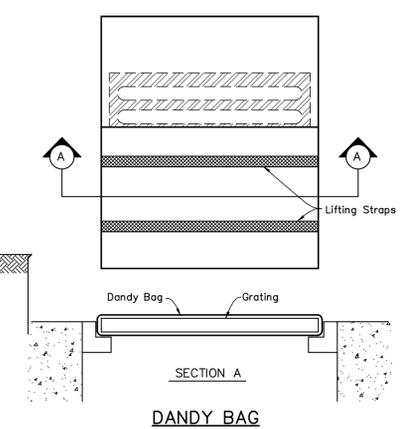
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF A 6 INCH OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12-INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4-INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2-INCHES AND SHALL NOT EXTEND MORE THAN 36-INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36-INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
- THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

MAINTENANCE

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

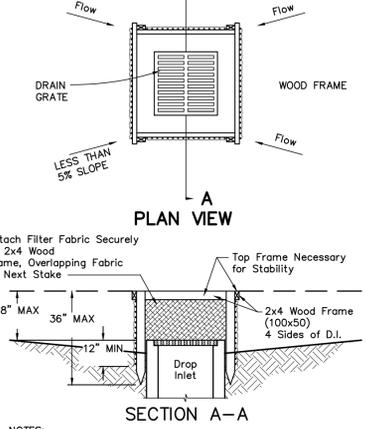
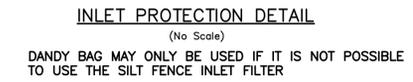
SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.



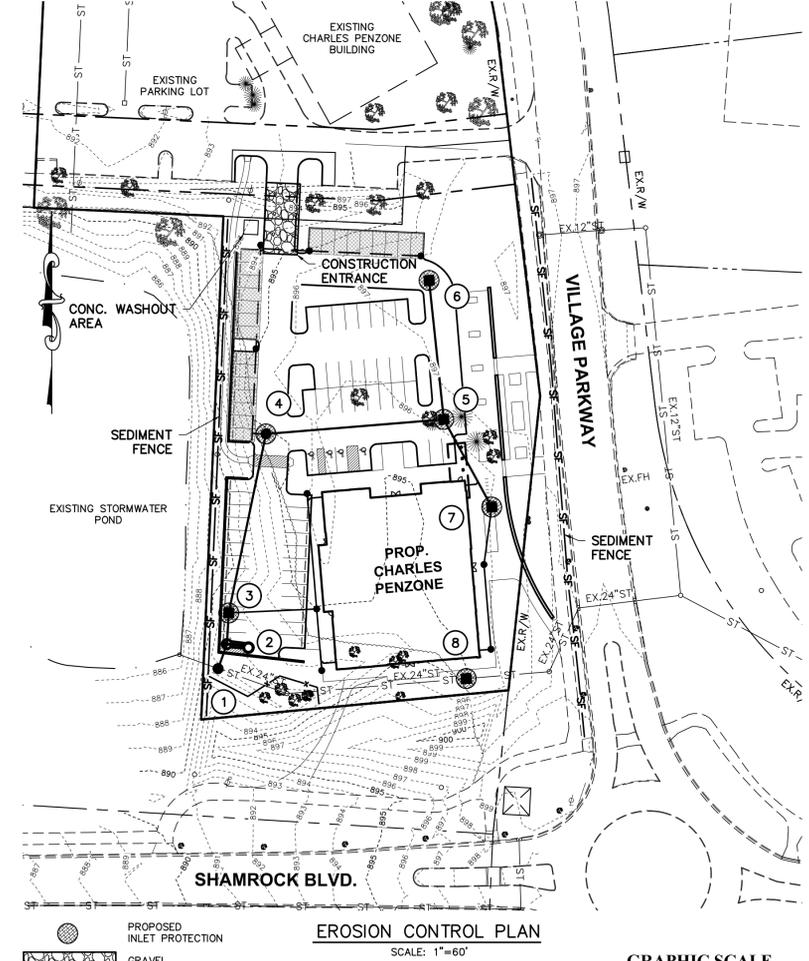
INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. ROLL GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK, TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE: WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL REMOVE SILT & OTHER DEBRIS OFF SURFACE AFTER EACH EVENT.



NOTES:

- DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)
- USE 2"x4" WOOD OR EQUIVALENT METAL STAKES, 3' (1M) MINIMUM LENGTH.
- INSTALL 2"x4" WOOD TOP FRAME TO INSURE STABILITY.
- THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.



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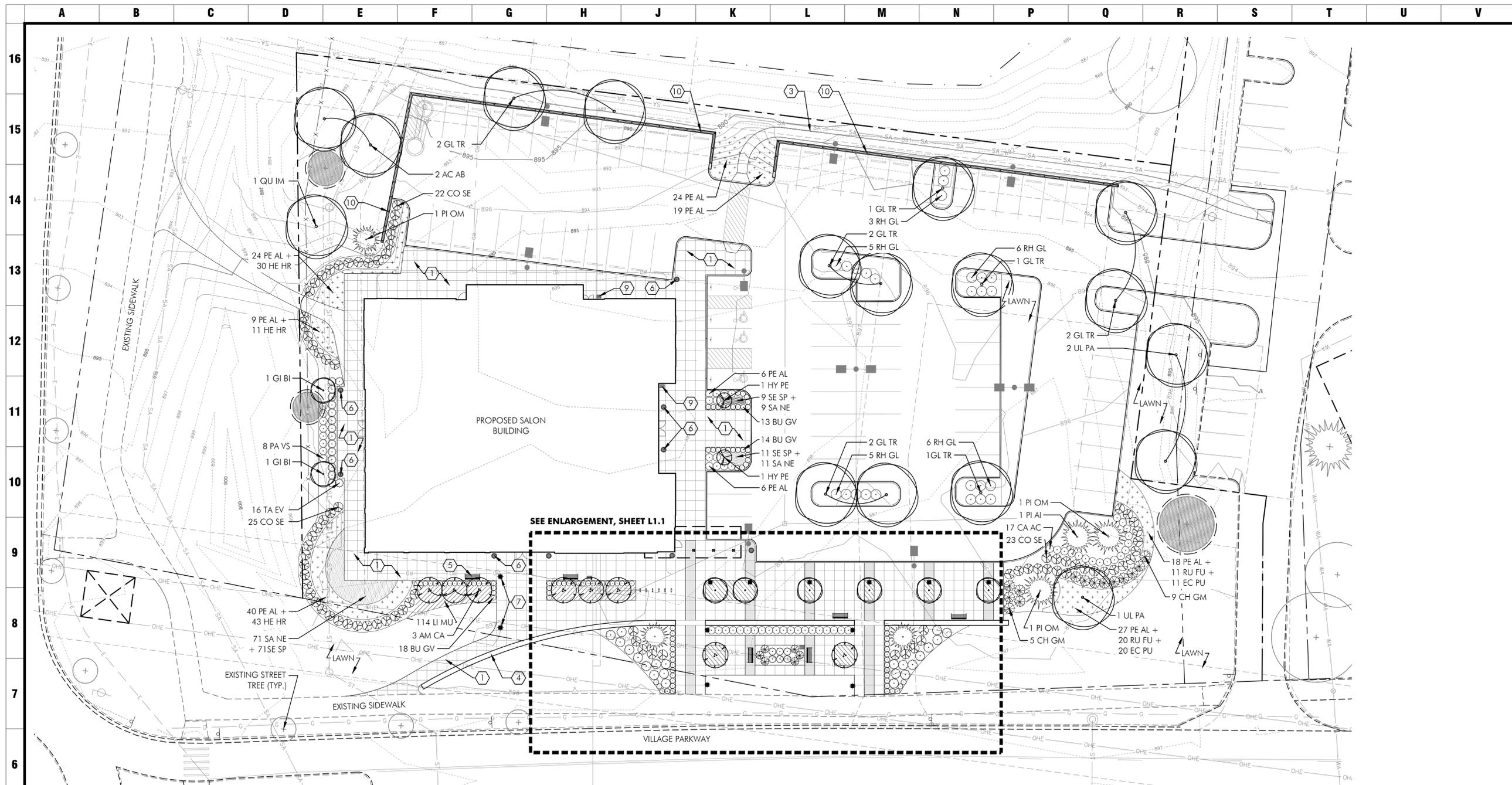
DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08-29-2016

THE GRAND SALON

VILLAGE PARKWAY
DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER
C-009



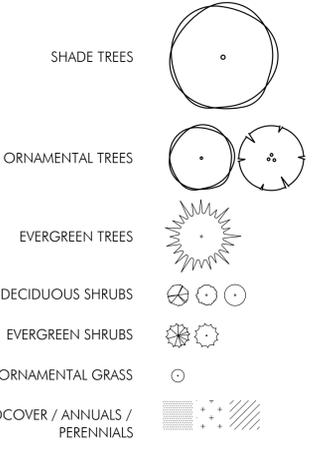
Overall Landscape Plan
SCALE: 1" = 20'



CODED NOTES

1. PROPOSED BUFF WASH CONCRETE PAVEMENT: TYPE A, SEE DETAIL 1/L-3.0
2. PROPOSED BUFF WASH CONCRETE PAVEMENT: TYPE B, SEE DETAIL 1/L-3.0
3. PROPOSED STANDARD BROOM FINISH CONCRETE WALK, SEE DETAIL 2/L-3.0
4. PROPOSED STONE SEATWALL, SEE DETAIL 3/L-3.0
5. PROPOSED BENCH, SEE DETAIL 4/L-3.0
6. PROPOSED PLANTER, SEE DETAIL 5/L-3.0
7. PROPOSED LIGHT BOLLARD, SEE DETAIL 6/L-3.0
8. PROPOSED BIKE RACK, SEE DETAIL 7/L-3.0
9. PROPOSED TRASH RECEPTACLE, SEE DETAIL 8/L-3.0
10. PROPOSED WALL GUARDRAIL, SEE DETAIL 9/L-3.0

SYMBOLS LEGEND



APPLICABLE DEVELOPMENT CODES

LANDSCAPING AND TREE PRESERVATION	REQUIRED	PROPOSED
<ul style="list-style-type: none"> • 153.065 (D)(3)(a) - STREET TREES A MINIMUM OF ONE TREE IS REQUIRED PER 40 LINEAR FEET OF STREET FOOTAGE 	390 LF OF FRONTAGE/40 = 9.75 TREES	10 TREES (4 EXISTING)
<ul style="list-style-type: none"> • 153.065 (D)(5)(c) - SURFACE PARKING & CIRCULATION AREA LANDSCAPING; INTERIOR LANDSCAPING 		
1. A MINIMUM OF 5% OF THE INTERIOR PARKING LOT AREA SHALL BE LANDSCAPED	TOTAL INTERIOR PARKING AREA = 29,710 SF * 5% = 1,486 SF	2,854 SF
2.A. ONE MEDIUM DECIDUOUS TREE SHALL BE PLANTED FOR EVERY 12 PARKING SPACES	80 PARKING SPACES / 12 = 6.67 TREES	9 TREES
5. EACH INTERIOR LANDSCAPED AREA MUST INCLUDE AT LEAST ONE DECIDUOUS SHADE TREE	6 INTERIOR LANDSCAPE AREAS INCLUDE = 6 TREES	6 TREES
<ul style="list-style-type: none"> • 153.065 (D)(7)(b) - FOUNDATION PLANTING AT LEAST ONE SHRUB SHALL BE PROVIDED PER EACH 10 LINEAR FEET OF BUILDING FACADE, WITHIN A LANDSCAPE BED OR RAISED PLANTER EXTENDING A MINIMUM OF 42 INCHES BEYOND THE FOUNDATION 	BUILDING PERIMETER = 485 LF 485/10 = 48.5 SHRUBS	117 SHRUBS
<ul style="list-style-type: none"> • 153.065 (D)(8)(a & b) - CREDIT TO PRESERVE EXISTING TREES PROPERTY OWNERS WHO DEMONSTRATE THEY HAVE PRESERVED MATURE TREES WITH 6" CALIPER DBH DURING DEVELOPMENT MAY OBTAIN CREDITS TOWARD REQUIRED LANDSCAPING 	DBH OF PRESERVED TREE 6-7.9 IN. = 1 TREE 8-11.9 IN. = 2 TREES OVER 12 IN. = 3 TREES	PRESERVED TREES #3 (6 IN.) = 1 TREE #9 (7 IN.) = 1 TREE #17 (11 IN.) = 2 TREES
<ul style="list-style-type: none"> • 153.065 (D)(9)(a) - CREDIT TO PRESERVE EXISTING TREES 2.E. THE PROPERTY OWNER SHALL REPLACE INCH FOR INCH ANY PROTECTED TREES THAT ARE REMOVED OR LOST DUE TO DAMAGE, REGARDLESS OF THEIR LOCATION ON THE LOT 	72 CALIPER INCHES OF TREES REMOVED = 72 CALIPER INCHES TO BE REPLACED	62.5 CALIPER INCHES OF REPLACEMENT TREES (CREDIT OF 4 PRESERVED TREES)

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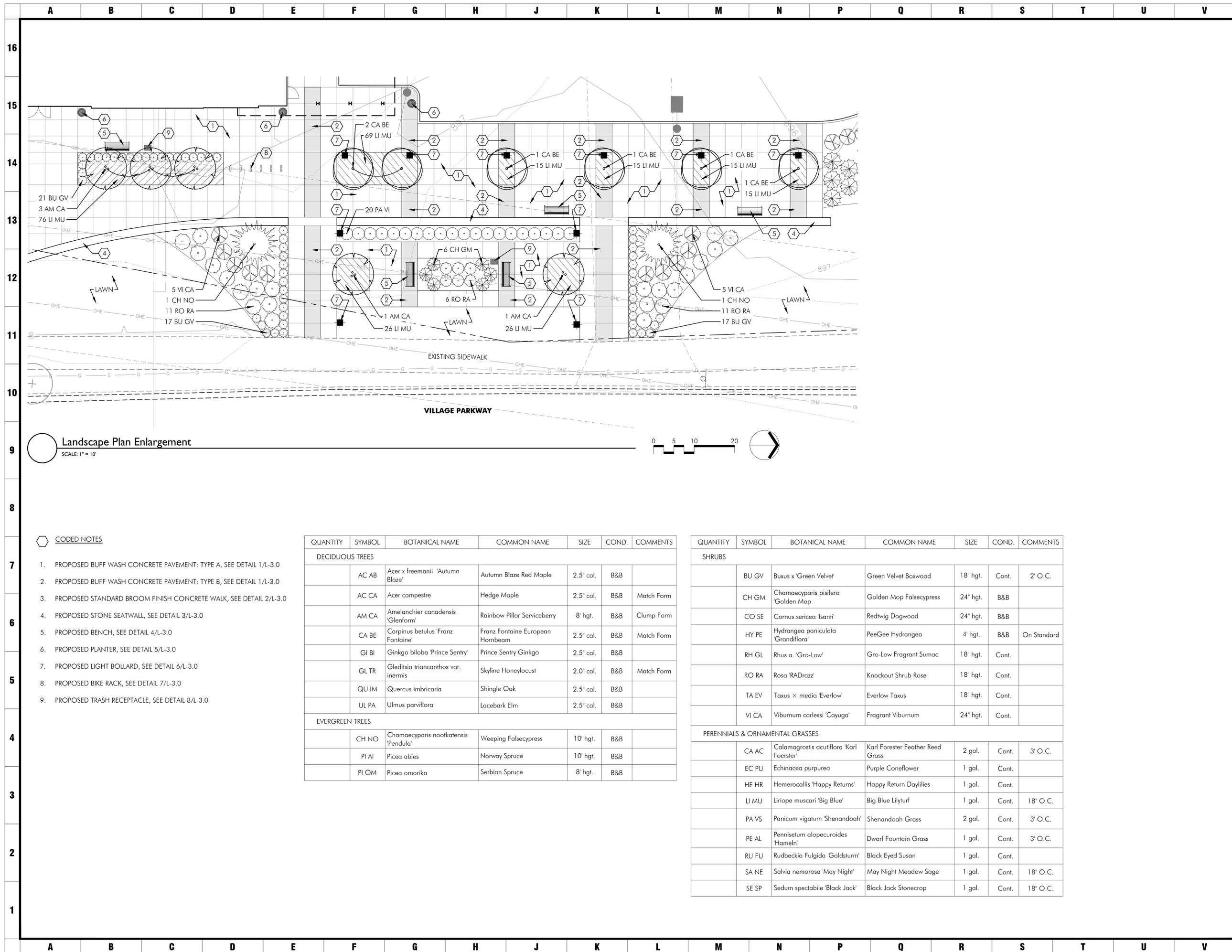
DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	06.29.2016

OVERALL LANDSCAPE PLAN

THE GRAND SALON
VILLAGE PARKWAY
DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER
L-1.0



Landscape Plan Enlargement
SCALE: 1" = 10'

- CODED NOTES**
1. PROPOSED BUFF WASH CONCRETE PAVEMENT: TYPE A, SEE DETAIL 1/L-3.0
 2. PROPOSED BUFF WASH CONCRETE PAVEMENT: TYPE B, SEE DETAIL 1/L-3.0
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 8. PROPOSED BIKE RACK, SEE DETAIL 7/L-3.0
 9. PROPOSED TRASH RECEPTACLE, SEE DETAIL 8/L-3.0

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	COMMENTS
DECIDUOUS TREES						
	AC AB	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Red Maple	2.5" cal.	B&B	
	AC CA	<i>Acer campestre</i>	Hedge Maple	2.5" cal.	B&B	Match Form
	AM CA	<i>Amelanchier canadensis</i> 'Glenform'	Rainbow Pillar Serviceberry	8' hgt.	B&B	Clump Form
	CA BE	<i>Carpinus betulus</i> 'Franz Fontaine'	Franz Fontaine European Hornbeam	2.5" cal.	B&B	Match Form
	GI BI	<i>Ginkgo biloba</i> 'Prince Sentry'	Prince Sentry Ginkgo	2.5" cal.	B&B	
	GL TR	<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Skyline Honeylocust	2.0" cal.	B&B	Match Form
	QU IM	<i>Quercus imbricaria</i>	Shingle Oak	2.5" cal.	B&B	
	UL PA	<i>Ulmus parviflora</i>	Lacebark Elm	2.5" cal.	B&B	
EVERGREEN TREES						
	CH NO	<i>Chamaecyparis nootkatensis</i> 'Pendula'	Weeping Falsecypress	10' hgt.	B&B	
	PI AL	<i>Picea abies</i>	Norway Spruce	10' hgt.	B&B	
	PI OM	<i>Picea omorika</i>	Serbian Spruce	8' hgt.	B&B	

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	COMMENTS
SHRUBS						
	BU GV	<i>Buxus x 'Green Velvet'</i>	Green Velvet Boxwood	18" hgt.	Cont.	2' O.C.
	CH GM	<i>Chamaecyparis pisifera</i> 'Golden Mop'	Golden Mop Falsecypress	24" hgt.	B&B	
	CO SE	<i>Cornus sericea</i> 'Isanti'	Redtwig Dogwood	24" hgt.	B&B	
	HY PE	<i>Hydrangea paniculata</i> 'Grandiflora'	PeeGee Hydrangea	4' hgt.	B&B	On Standard
	RH GL	<i>Rhus a. 'Gro-Low'</i>	Gro-Low Fragrant Sumac	18" hgt.	Cont.	
	RO RA	<i>Rosa 'RADrazz'</i>	Knockout Shrub Rose	18" hgt.	Cont.	
	TA EV	<i>Taxus x media</i> 'Everlow'	Everlow Taxus	18" hgt.	Cont.	
	VI CA	<i>Viburnum carlessi</i> 'Cayuga'	Fragrant Viburnum	24" hgt.	Cont.	
PERENNIALS & ORNAMENTAL GRASSES						
	CA AC	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	2 gal.	Cont.	3' O.C.
	EC PU	<i>Echinacea purpurea</i>	Purple Coneflower	1 gal.	Cont.	
	HE HR	<i>Hemerocallis 'Happy Returns'</i>	Happy Return Daylilies	1 gal.	Cont.	
	LI MU	<i>Liriope muscari</i> 'Big Blue'	Big Blue Lilyturf	1 gal.	Cont.	18" O.C.
	PA VS	<i>Panicum vigatum</i> 'Shenandoah'	Shenandoah Grass	2 gal.	Cont.	3' O.C.
	PE AL	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	1 gal.	Cont.	3' O.C.
	RU FU	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black Eyed Susan	1 gal.	Cont.	
	SA NE	<i>Salvia nemorosa</i> 'May Night'	May Night Meadow Sage	1 gal.	Cont.	18" O.C.
	SE SP	<i>Sedum spectabile</i> 'Black Jack'	Black Jack Stonecrop	1 gal.	Cont.	18" O.C.

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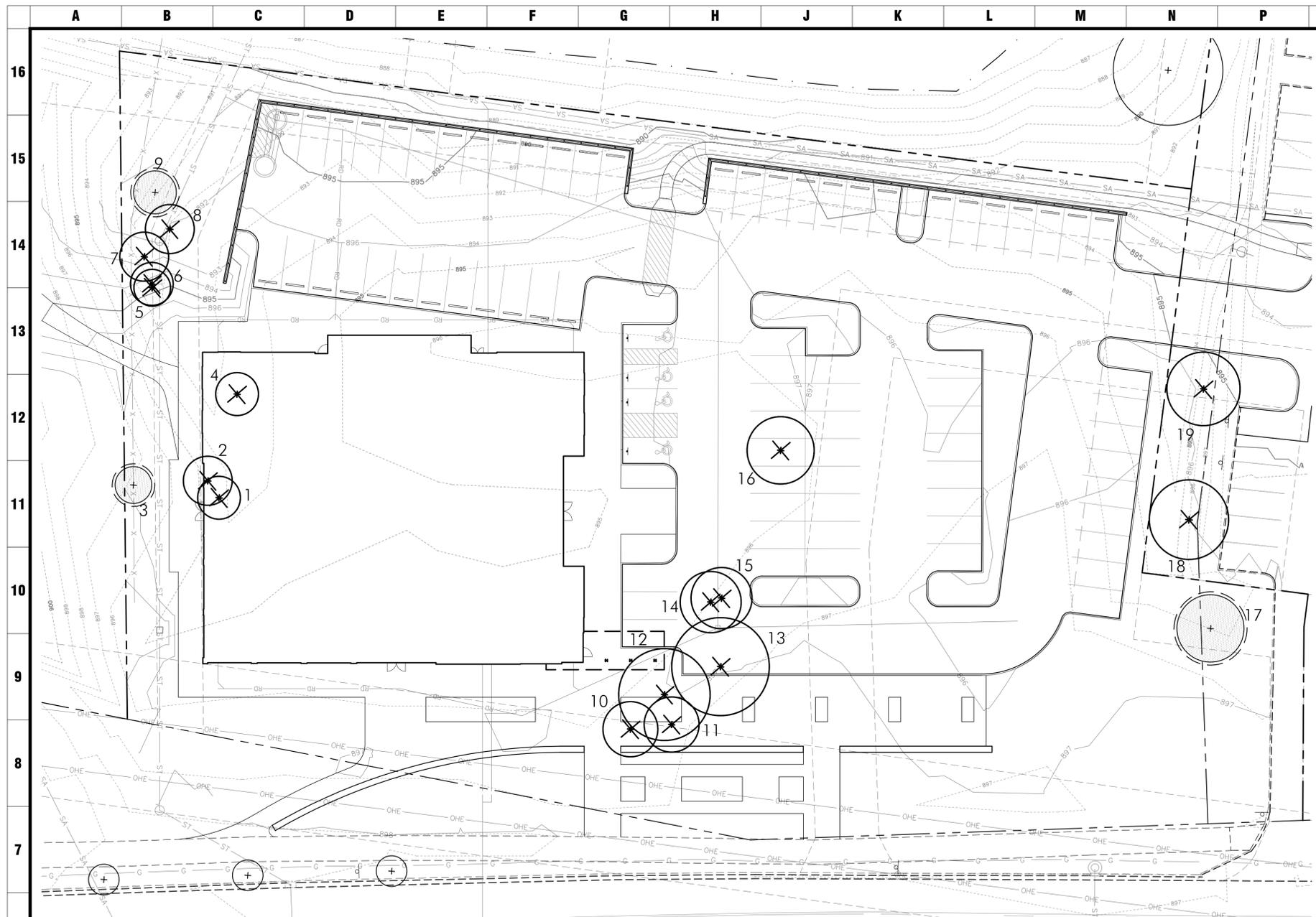
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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	06.29.2016

LANDSCAPE PLAN ENLARGEMENT

THE GRAND SALON
VILLAGE PARKWAY
DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46
SHEET NUMBER
L-1.1



GENERAL NOTES

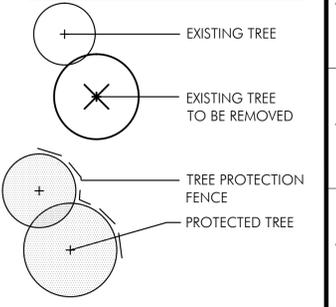
1. DIAMETER SHOWN ON PLAN THIS SHEET REPRESENT THE CRITICAL ROOT ZONE (1" RADIUS PER 1" CALIPER OR 15' WHICHEVER IS GREATER).

TREES REMOVED

72 CALIPER INCHES OF TREE WHICH ARE REMOVED DUE TO TREE NOT BEING POOR, DEAD OR EXEMPT TO BE REPLACED.

24 CALIPER INCHES OF TREE ARE BEING PRESERVED = 4 TREE CREDIT

PLANT KEY



EXISTING PLANT LIST KEY

CONDITION:	STATUS:
EXCELLENT	A. PRESERVE
GOOD	B. REMOVE
FAIR	
POOR	
DEAD	

EXISTING TREE LIST

NUMBER	SPECIES	SIZE	STATUS	CONDITION	COMMENT
1	PEAR	7" cal.	B	GOOD	EXEMPT
2	PEAR	8" cal.	B	GOOD	EXEMPT
3	PEAR	6" cal.	A	GOOD	PRESERVE
4	PEAR	7" cal.	B	GOOD	EXEMPT
5	ELM	6" cal.	B	FAIR	
6	PEAR	7" cal.	B	GOOD	
7	ELM	8" cal.	B	FAIR	
8	ELM	8" cal.	B	FAIR	
9	ELM	7" cal.	A	FAIR	PRESERVE
10	APPLE	9" cal.	B	FAIR	
11	APPLE	9" cal.	B	FAIR	
12	PINE	15" cal.	B	GOOD	N.I.C.
13	PINE	16" cal.	B	POOR	
14	PINE	10" cal.	B	POOR	
15	SPRUCE	10" cal.	B	FAIR	N.I.C.
16	COTTONWOOD	11" cal.	B	GOOD	UNDESIRABLE
17	MAPLE	11" cal.	A	GOOD	PRESERVE
18	MAPLE	13" cal.	B	GOOD	
19	MAPLE	12" cal.	B	GOOD	

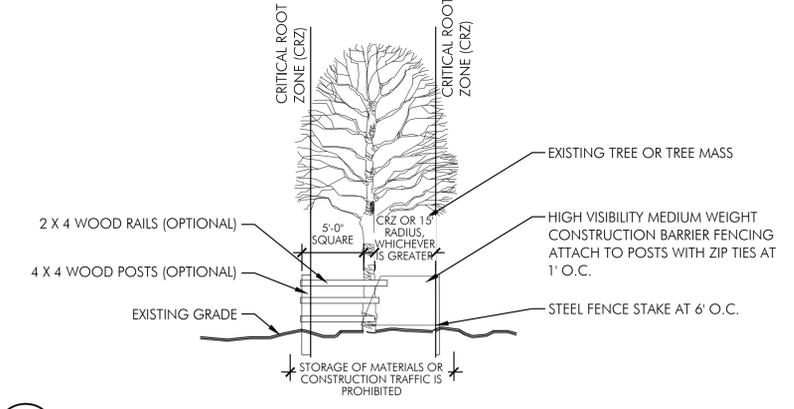
TREE PRESERVATION, REMOVAL, REPLACEMENT NOTES

- ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED. ALL TREE REMOVAL, RELOCATION, AND PRESERVATION WORK SHALL BE SUPERVISED WITH THE INPUT OF A CERTIFIED ARBORIST.
- FENCING SHALL BE INSTALLED AROUND ALL TREES TO BE PRESERVED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION. ANY CHANGE IN THE PROTECTIVE FENCING MUST BE APPROVED BY THE LANDSCAPE INSPECTOR. OWNER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, ERECTION, AND MAINTENANCE OF PROTECTION FENCING, REFER TO TREE PRESERVATION DETAIL.
- PRESERVED TREES REMAINING ARE TO BE FERTILIZED AND PRUNED (IF NEEDED) TWO YEARS AFTER CONSTRUCTION.
- OWNER SHALL MONITOR HEALTH AND VIGOR OF EXISTING TREES THROUGHOUT THE COURSE OF CONSTRUCTION OF THIS PROJECT. CONTRACTOR TO NOTIFY A CERTIFIED ARBORIST IF ANY DECLINE IN HEALTHY TREES IS APPARENT. THE ARBORIST SHALL DETERMINE THE REMEDIAL ACTION, IF ANY, TO BE TAKEN.
- ALL EXISTING TREES NOTED AS FAIR TO POOR HEALTH SHALL BE FERTILIZED YEARLY IN THE SPRING USING A HORTICULTURALLY APPROVED METHOD FOR A PERIOD OF THREE YEARS. AFTER THREE YEARS, THE HEALTH SHOULD BE EVALUATED BY A CERTIFIED ARBORIST AND CONTINUING MAINTENANCE RECOMMENDATIONS SHALL BE MADE.
- ANY TREES REMOVED OR DAMAGED IN TREE PRESERVATION AREAS WILL HAVE TO BE REPLACED PER CODE.
- FAILURE TO ABIDE BY THESE TERMS OF THE TREE PRESERVATION, REMOVAL, AND REPLACEMENT PLANS SHALL BE UNLAWFUL.

Tree Preservation Plan
SCALE: 1" = 20'

NOTES:
1. INSPECTION OF INSTALLATION IS REQUIRED CALL (614) 410- 4600
2. THE CITY IS TO BE CONTACTED IF FENCE LOCATION NEEDS TO BE ADJUSTED OR PRIOR TO ANY ENCROACHMENT OF PRESERVATION AREA

CRITICAL ROOT ZONE (CRZ)
1 FOOT FOR EVERY INCH OF DIAMETER BREST HEIGHT (DBH) OVER 6 INCH CALIPER TREE



Tree Planting
N.T.S.

POD design

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	06.29.2016

TREE PRESERVATION PLAN

 SHEET TITLE

THE GRAND SALON

 VILLAGE PARKWAY

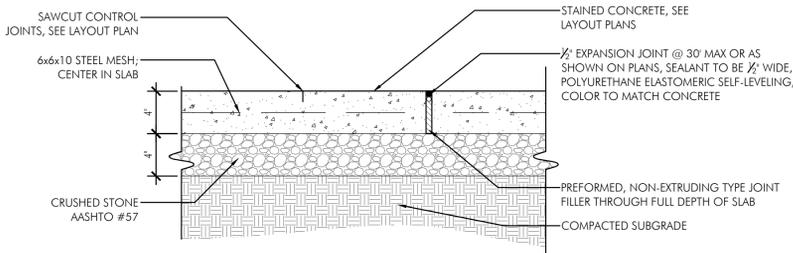
 DUBLIN, OHIO 43017

PROJECT TITLE

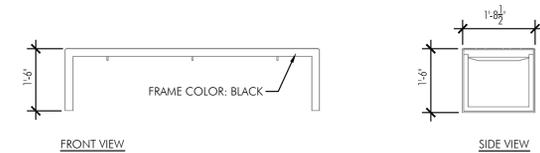
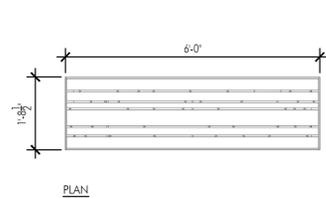
MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46
SHEET NUMBER

L-2.0

- NOTES:
- FINISH COLORS AND APPLICATIONS:
 - TYPE A: NATURAL CONCRETE COLOR; BUFFWASH FINISH
 - TYPE B: SOLOMON COLORFLO 920 SMOKE; BUFFWASH FINISH
 - COLOR AND STAINS TO BE APPROVED BY OWNER AND LANDSCAPE ARCHITECT
 - SEE ENGINEER'S PLAN FOR ALL OTHER WALKS

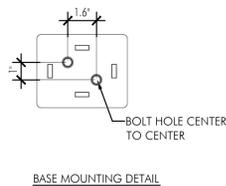
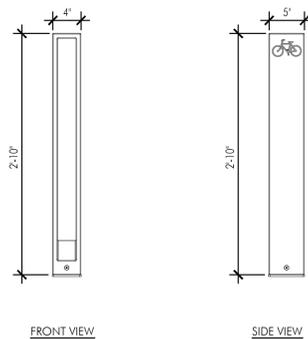


1 Buffwash Concrete Pavement
1 1/2" = 1'-0"



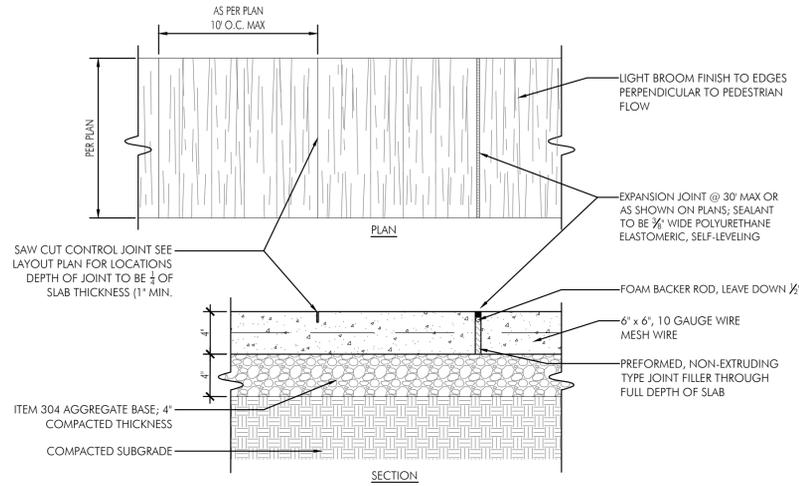
FORMS+SURFACES
DASH BENCH
PRODUCT SBDSh-72C
AVAILABLE FROM:
FORMS+SURFACES
www.forms-surfaces.com
412-781-9003

4 Bench
1/2" = 1'-0"

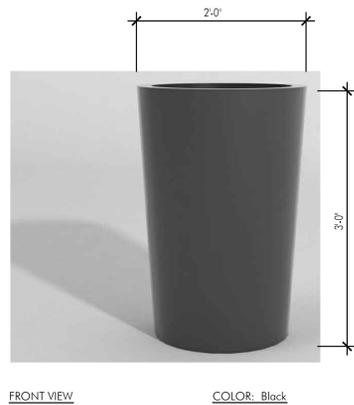


FORMS+SURFACES
CAPITAL BIKE RACK
PRODUCT SKCAP-TD
AVAILABLE FROM:
FORMS+SURFACES
www.forms-surfaces.com
412-781-9003

7 Bike Rack
1" = 1'-0"

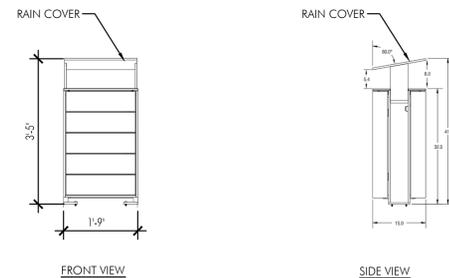
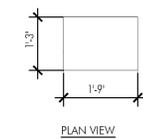


2 Standard Broom Finish Concrete Walk
1 1/2" = 1'-0"



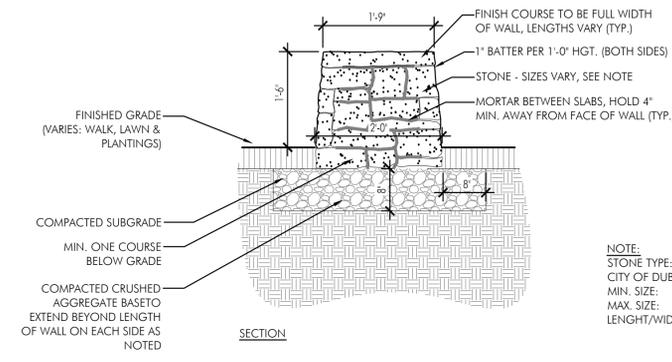
PLANTERS UNLIMITED
CONTEMPO PLANTER
PRODUCT F1-CON-TR2436
AVAILABLE FROM:
PLANTERS UNLIMITED
www.hooksandlatice.com
888-320-0626

5 Planter
1" = 1'-0"

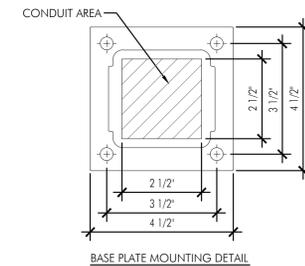
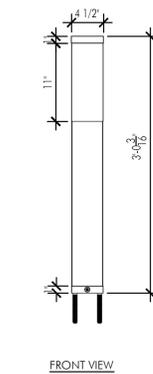


FORMS+SURFACES
APEX RECEPTACLE
PRODUCT SLAPX 24J RCMS
AVAILABLE FROM:
FORMS+SURFACES
www.forms-surfaces.com
412-781-9003

8 Trash Receptacle
1/2" = 1'-0"



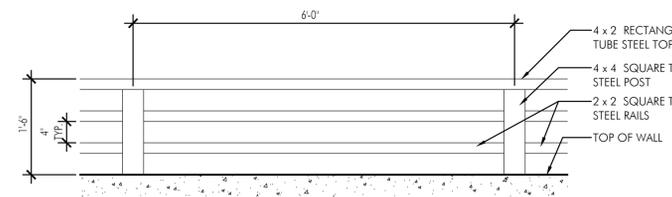
3 Stone Seatwall
3/4" = 1'-0"



FORMS+SURFACES
RINCON BOLLARD
PRODUCT LBRIN
AVAILABLE FROM:
FORMS+SURFACES
www.forms-surfaces.com
412-781-9003

6 Light Bollard
1" = 1'-0"

NOTES:
COLOR TO BE BLACK ALL MEMBERS



9 Wall Guardrail
3/4" = 1'-0"

POD design Columbus
POD design Cincinnati
MEYERS+ASSOCIATES ARCHITECTS
10816 Millington Court, Ste 118
Cincinnati, Ohio 45242
p 614.360.3066
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399
222 N Third Street, 200, Columbus OH 43215
t (604) 221-9435 f (604) 221-9441
www.meyersarchitects.com

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	06.29.2016

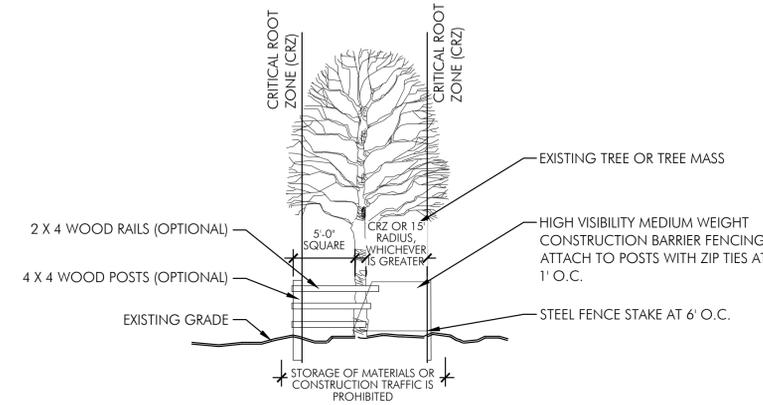
SHEET TITLE: **SITE DETAILS**
PROJECT TITLE: **THE GRAND SALON**
VILLAGE PARKWAY
DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46
SHEET NUMBER

L-3.0

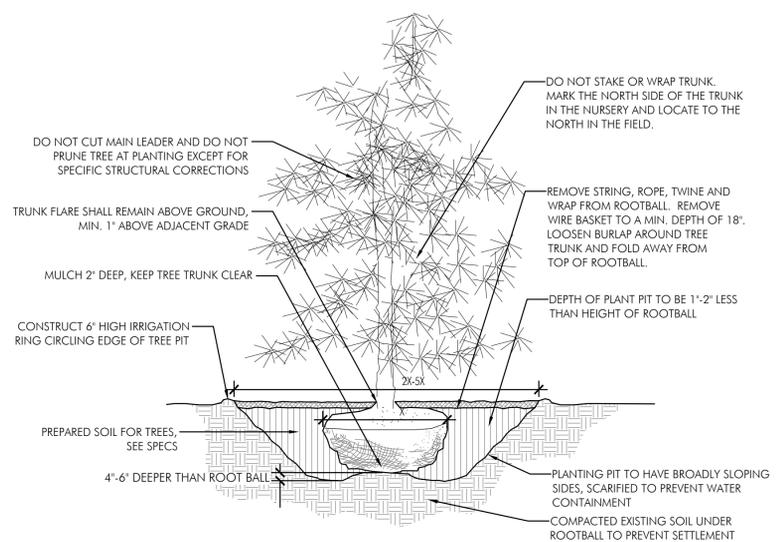
- NOTES:
 1. INSPECTION OF INSTALLATION IS REQUIRED CALL (614) 410- 4600
 2. THE CITY IS TO BE CONTACTED IF FENCE LOCATION NEEDS TO BE ADJUSTED OR PRIOR TO ANY ENCROACHMENT OF PRESERVATION AREA

CRITICAL ROOT ZONE (CRZ)
 1 FOOT FOR EVERY INCH OF DIAMETER BREAST HEIGHT (DBH) OVER 6 INCH CALIPER TREE

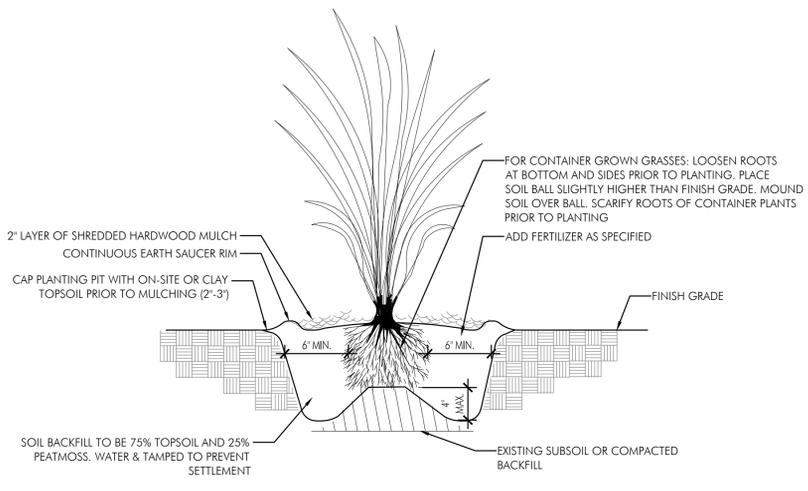
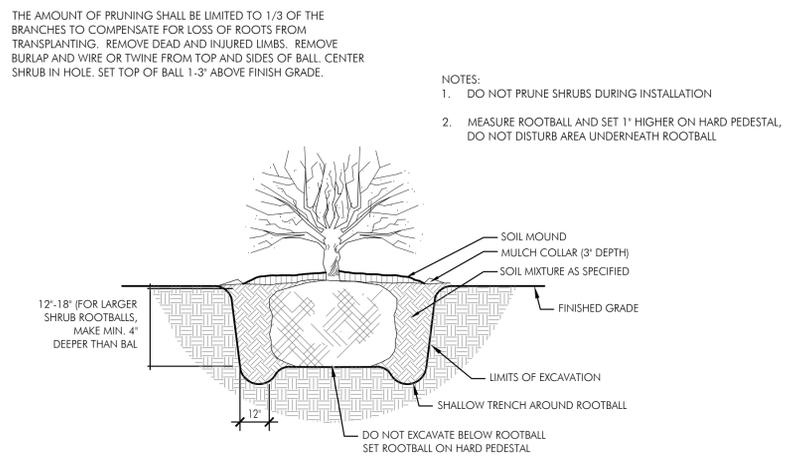


1 Tree Planting
 N.T.S.

2 Evergreen Planting
 1"=1'-0"

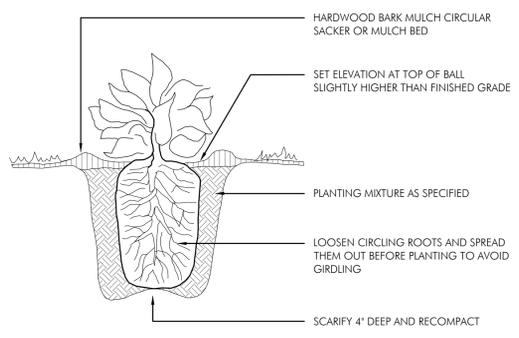


3 Shrub Planting
 N.T.S.

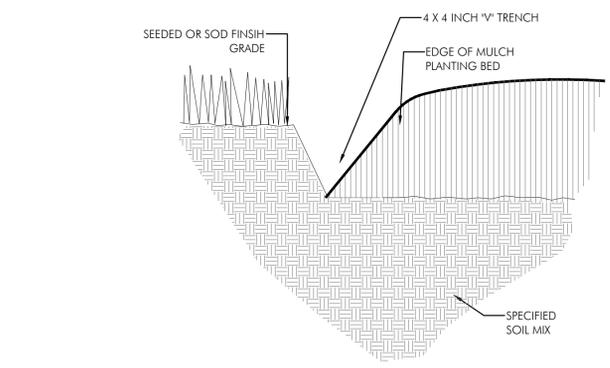
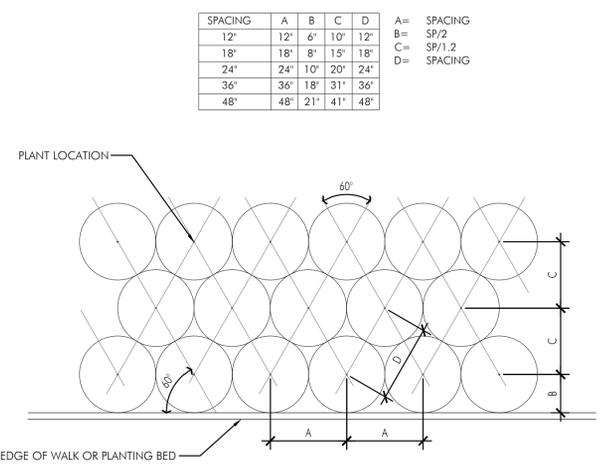


4 Grass Planting
 1 1/2"=1'-0"

5 Perennial Planting
 N.T.S.



6 Perennial Spacing
 N.T.S.



7 Mulch Edge Treatment at Lawn
 N.T.S.

POD design
 Cincinnati
 10816 Millington Court, Ste 118
 Cincinnati, Ohio 45242
 p 614.360.3066

POD design
 Columbus
 100 Northwoods Blvd, Ste A
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 222 1/2 Third Street, 300, Columbus OH 43215
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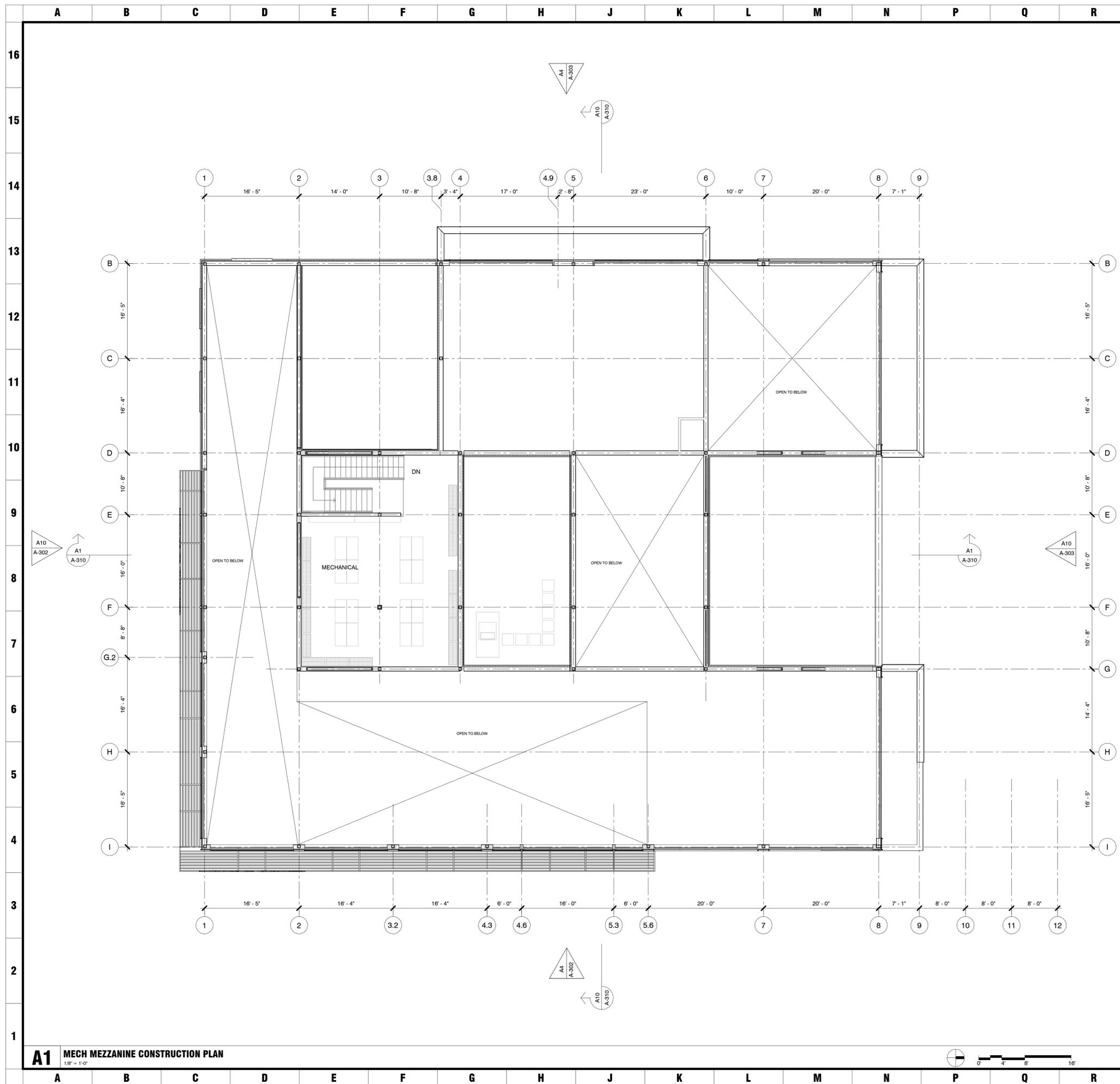
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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	06.29.2016

PROPERTY OF
THE GRAND SALON
 VILLAGE PARKWAY
 DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER
L-3.1



GENERAL NOTES:

- G1. (XXX) INDICATES DOOR NUMBER, REFER SHEET A-900
- G2. \diamond INDICATES WINDOW NUMBER, REFER SHEET A-910
- G3. \square INDICATES WALL TYPE, REFER SHEET A-700
- G4. \bullet \square INDICATES WALL MOUNTED FIRE EXTINGUISHER AND RECESSED FIRE EXTINGUISHER CABINET RESPECTIVELY
- G5. FIRST FLOOR ELEVATION 100'-0" = XXXX.XX' ASL
- G6. "SC" INDICATES OVERFLOW SCUPPER
- G7. "SRD" INDICATES SECONDARY ROOF DRAIN
- G8. ALL ROOF PENETRATIONS TO BE COORDINATED WITH MEP DRAWINGS AND EQUIPMENT VENDOR BY INSTALLATION CONTRACTOR
- G9. PROVIDE DRAINAGE THROUGH ROOF WALKWAY PADS TO ROOF DRAINS
- G10. "FD" INDICATES FLOOR DRAIN

FLOOR PLAN KEY NOTES:

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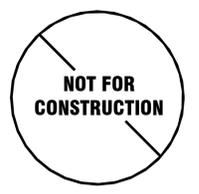
DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.20.16

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 232 n. thirl street, 300, columbus oh 43215
 (614) 242-9433 | (614) 242-9444 | www.meyersarchitects.com

SHEET TITLE
SECOND FLOOR CONSTRUCTION PLAN

PROJECT TITLE
THE GRAND SALON

Village Parkway
 Dublin, Ohio 43017

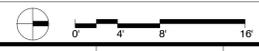


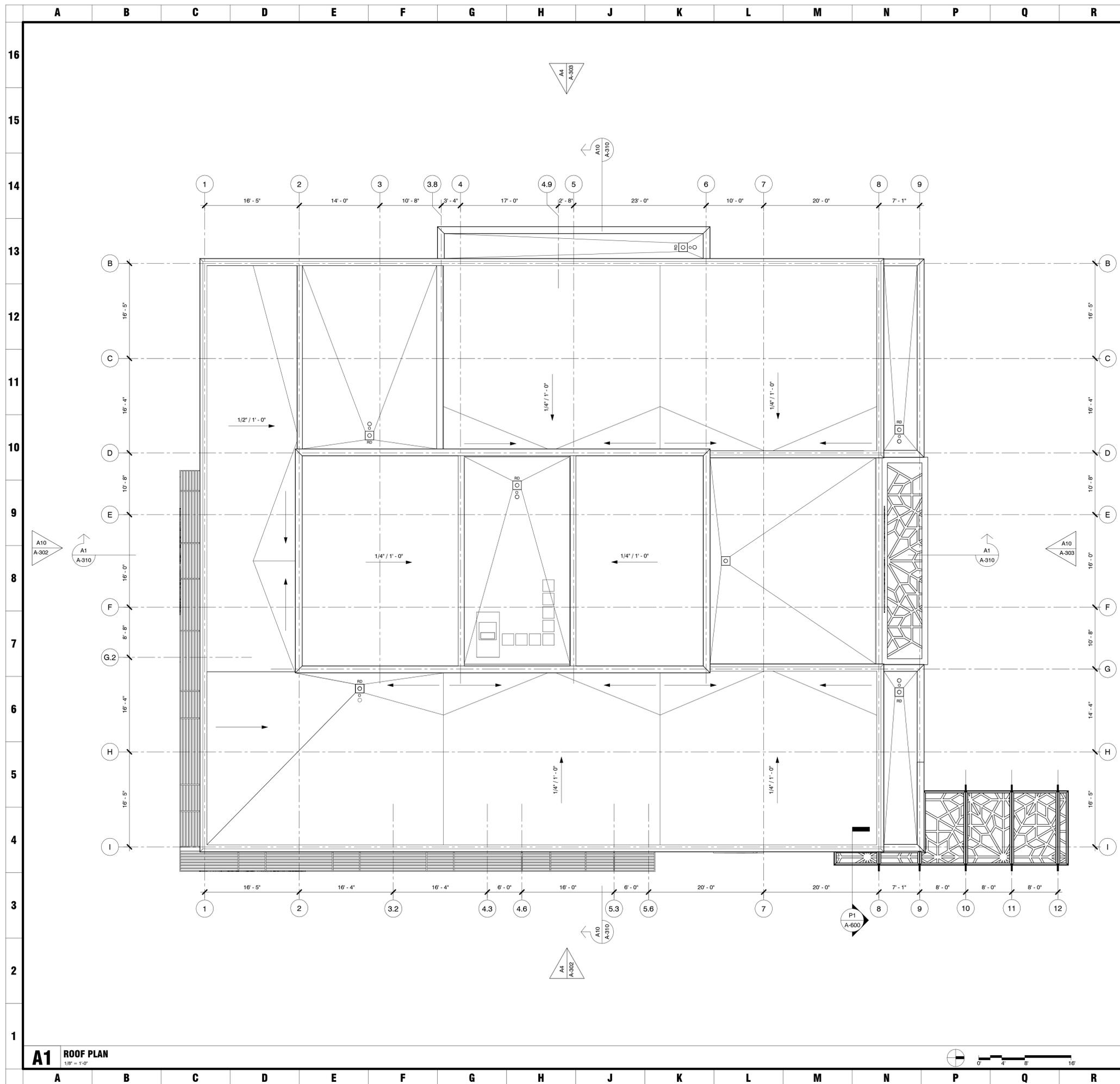
MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46

SHEET NUMBER

A-101

A1 MECH MEZZANINE CONSTRUCTION PLAN
 1/8" = 1'-0"





GENERAL NOTES:

- G1. (XXXx) INDICATES DOOR NUMBER, REFER SHEET A-900
- G2. INDICATES WINDOW NUMBER, REFER SHEET A-910
- G3. INDICATES WALL TYPE, REFER SHEET A-700
- G4. INDICATES WALL MOUNTED FIRE EXTINGUISHER AND RECESSED FIRE EXTINGUISHER CABINET RESPECTIVELY
- G5. FIRST FLOOR ELEVATION 100'-0" = XXXX.XX ASL
- G6. "SC" INDICATES OVERFLOW SCUPPER
- G7. "SRD" INDICATES SECONDARY ROOF DRAIN
- G8. ALL ROOF PENETRATIONS TO BE COORDINATED WITH MEP DRAWINGS AND EQUIPMENT VENDOR BY INSTALLATION CONTRACTOR
- G9. PROVIDE DRAINAGE THROUGH ROOF WALKWAY PADS TO ROOF DRAINS
- G10. "FD" INDICATES FLOOR DRAIN

FLOOR PLAN KEY NOTES:

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THE GRAND SALON
 Village Parkway
 Dublin, Ohio 43017

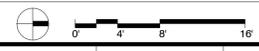
SHEET TITLE
ROOF PLAN

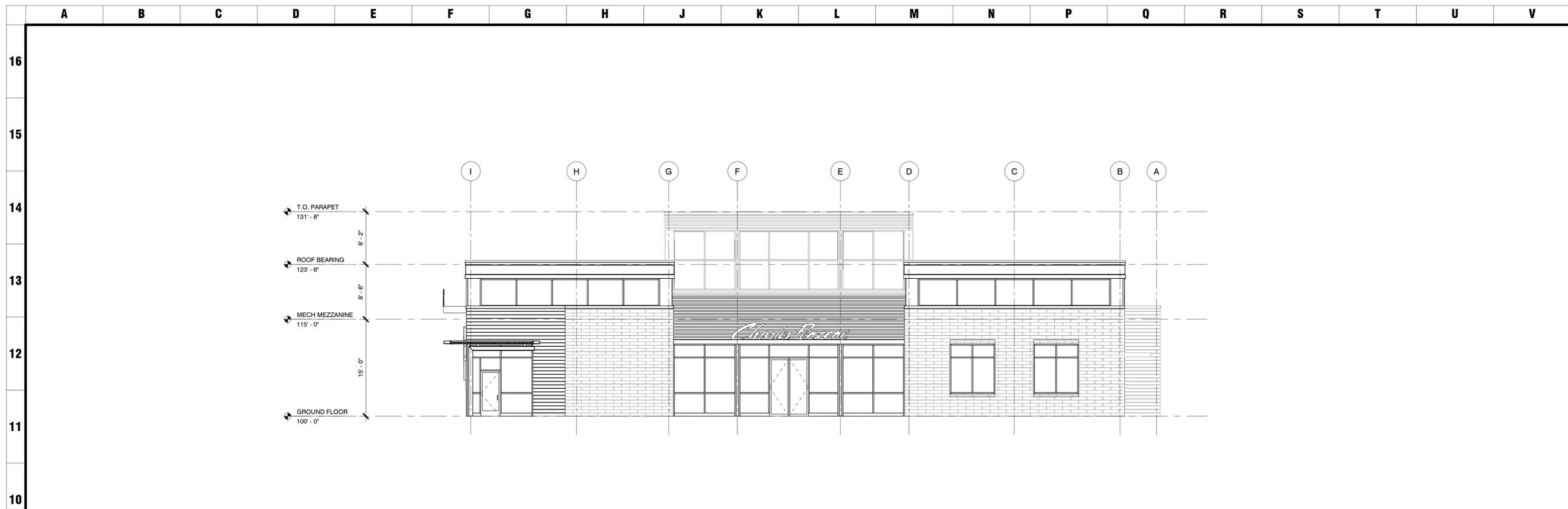


MEYERS+ASSOCIATES PROJECT NUMBER
2015-46

SHEET NUMBER
A-102

A1 ROOF PLAN
 1/8" = 1'-0"





A10 NORTH ELEVATION
1/8" = 1'-0"



A4 SOUTH ELEVATION
1/8" = 1'-0"

ELEVATION GENERAL NOTES:

- FIRST FLOOR ELEVATION 100'-0" = 897.70' ASL
- PAINT LOUVERS AND OTHER PENETRATIONS TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE
- REFER TO EXTERIOR FINISH INDEX FOR MATERIAL/COLOR SPECIFICATIONS
- REFER TO SHEET A-910 SERIES FOR WINDOW DETAILS AND INFORMATION
- REFER TO SHEET A-910 SERIES FOR LOUVER DETAILS AND INFORMATION

ELEVATION KEY NOTES

MATERIALS LEGEND

- STONE
- TEAK WOOD
- ALUMINUM STOREFRONT
- CORRUGATED METAL

MATERIAL REFERENCE IMAGES

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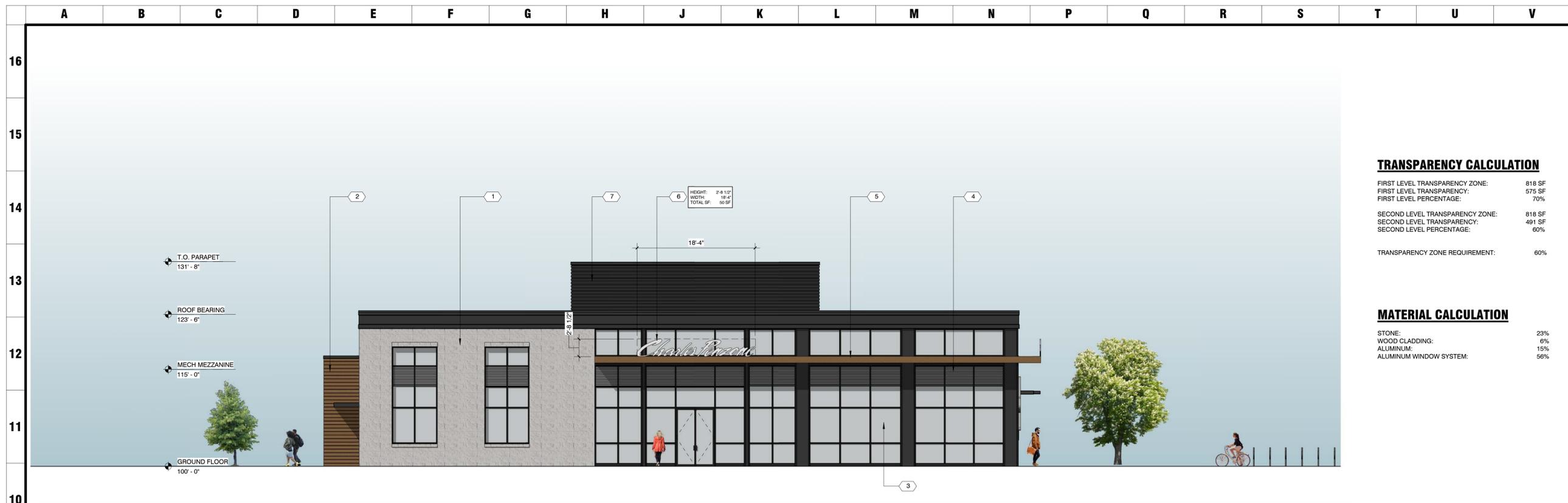
EXTERIOR ELEVATIONS

THE GRAND SALON
Village Parkway
Dublin, Ohio 43017

SEAL

NOT FOR CONSTRUCTION

MEYERS+ASSOCIATES PROJECT NUMBER
2015-46
SHEET NUMBER
A-300



A10 SOUTH ELEVATION
1/8" = 1'-0"

TRANSPARENCY CALCULATION

FIRST LEVEL TRANSPARENCY ZONE:	818 SF
FIRST LEVEL TRANSPARENCY:	575 SF
FIRST LEVEL PERCENTAGE:	70%
SECOND LEVEL TRANSPARENCY ZONE:	818 SF
SECOND LEVEL TRANSPARENCY:	491 SF
SECOND LEVEL PERCENTAGE:	60%
TRANSPARENCY ZONE REQUIREMENT:	60%

MATERIAL CALCULATION

STONE:	23%
WOOD CLADDING:	6%
ALUMINUM:	15%
ALUMINUM WINDOW SYSTEM:	56%



A4 EAST ELEVATION
1/8" = 1'-0"

TRANSPARENCY CALCULATION

FIRST LEVEL TRANSPARENCY ZONE:	1004 SF
FIRST LEVEL TRANSPARENCY:	635 SF
FIRST LEVEL PERCENTAGE:	63%
SECOND LEVEL TRANSPARENCY ZONE:	970 SF
SECOND LEVEL TRANSPARENCY:	646 SF
SECOND LEVEL PERCENTAGE:	67%
TRANSPARENCY ZONE REQUIREMENT:	60%

MATERIAL CALCULATION

STONE:	16%
WOOD CLADDING:	7%
ALUMINUM:	15%
ALUMINUM WINDOW SYSTEM:	56%

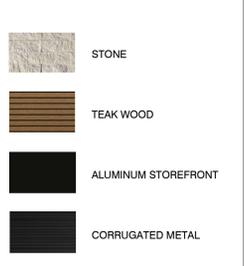
ELEVATION GENERAL NOTES:

- FIRST FLOOR ELEVATION 100'-0" = 897.70' ASL
- PAINT LOUVERS AND OTHER PENETRATIONS TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE
- REFER TO EXTERIOR FINISH INDEX FOR MATERIAL/COLOR SPECIFICATIONS
- REFER TO SHEET A-910 SERIES FOR WINDOW DETAILS AND INFORMATION
- REFER TO SHEET A-910 SERIES FOR LOUVER DETAILS AND INFORMATION

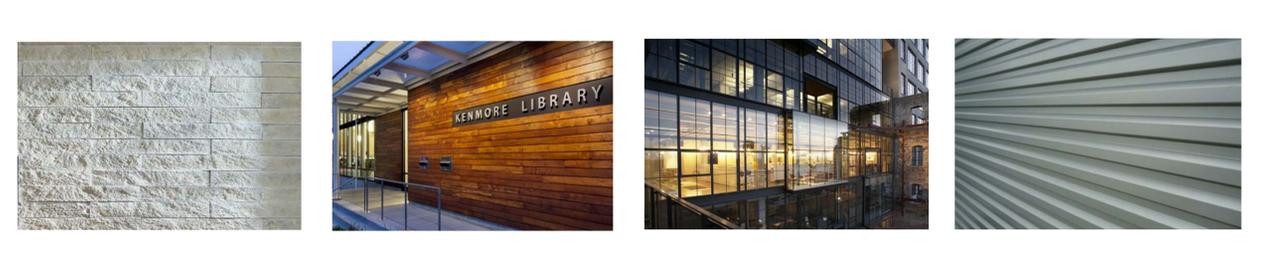
ELEVATION KEY NOTES

- STONE
- TEAK WOOD CLADDING
- ALUMINUM WINDOW SYSTEM
- METAL LOUVRES
- TEAK WOOD AWNING
- DIMENSIONAL SIGNAGE, INTERNALLY ILLUMINATED WITH WHITE FACE AND BLACK RETURNS
- CORRUGATED METAL
- METAL AWNING

MATERIALS LEGEND



MATERIAL REFERENCE IMAGES



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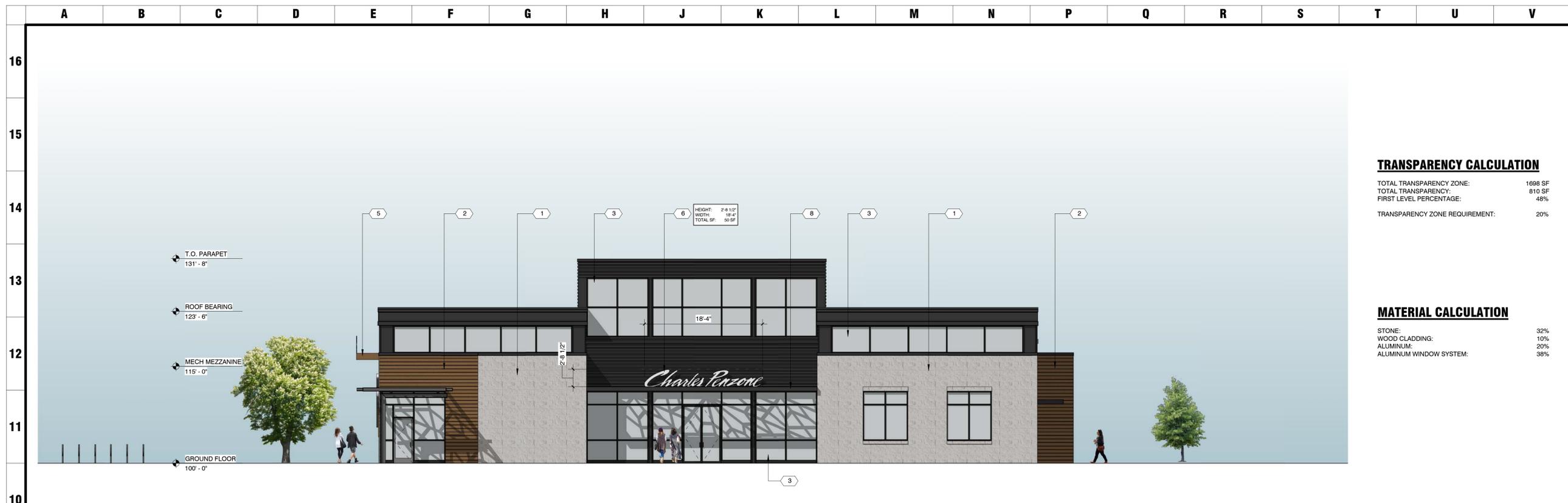
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THE GRAND SALON
Village Parkway
Dublin, Ohio 43017

NOT FOR CONSTRUCTION

MEYERS+ASSOCIATES PROJECT NUMBER
2015-46
SHEET NUMBER
A-302



A10 NORTH ELEVATION
1/8" = 1'-0"

TRANSPARENCY CALCULATION

TOTAL TRANSPARENCY ZONE:	1698 SF
TOTAL TRANSPARENCY:	810 SF
FIRST LEVEL PERCENTAGE:	48%
TRANSPARENCY ZONE REQUIREMENT:	20%

MATERIAL CALCULATION

STONE:	32%
WOOD CLADDING:	10%
ALUMINUM:	20%
ALUMINUM WINDOW SYSTEM:	38%

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.20.16



A4 WEST ELEVATION
1/8" = 1'-0"

TRANSPARENCY CALCULATION

TOTAL TRANSPARENCY ZONE:	1978 SF
TOTAL TRANSPARENCY:	420 SF
TOTAL PERCENTAGE:	21%
TRANSPARENCY ZONE REQUIREMENT:	20%

MATERIAL CALCULATION

STONE:	41%
WOOD CLADDING:	27%
ALUMINUM:	13%
ALUMINUM WINDOW SYSTEM:	18%
CORRUGATED METAL:	1%



EXTERIOR ELEVATIONS
THE GRAND SALON
Village Parkway
Dublin, Ohio 43017

ELEVATION GENERAL NOTES:

- FIRST FLOOR ELEVATION 100'-0" = 897.70' ASL
- PAINT LOUVERS AND OTHER PENETRATIONS TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE
- REFER TO EXTERIOR FINISH INDEX FOR MATERIAL/COLOR SPECIFICATIONS
- REFER TO SHEET A-910 SERIES FOR WINDOW DETAILS AND INFORMATION
- REFER TO SHEET A-910 SERIES FOR LOUVER DETAILS AND INFORMATION

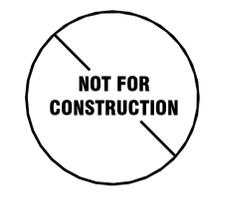
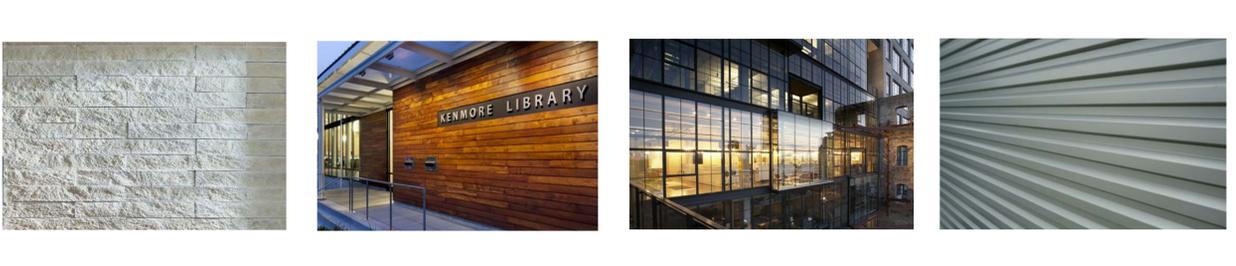
ELEVATION KEY NOTES

- STONE
- TEAK WOOD CLADDING
- ALUMINUM WINDOW SYSTEM
- METAL LOUVRES
- TEAK WOOD AWNING
- DIMENSIONAL SIGNAGE, INTERNALLY ILLUMINATED WITH WHITE FACE AND BLACK RETURNS
- CORRUGATED METAL
- METAL AWNING

MATERIALS LEGEND

- STONE
- TEAK WOOD
- ALUMINUM STOREFRONT
- CORRUGATED METAL

MATERIAL REFERENCE IMAGES



MEYERS+ASSOCIATES PROJECT NUMBER
2015-46
SHEET NUMBER

A-303

FIXTURE SCHEDULE

SYMBOL	FIXTURE NUMBER	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS	REMARKS
□	P1	POLE MOUNTED LED SITE FIXTURE TYPE 4 WIDE DISTRIBUTION	MCGRAW-EDISON	GLEON-AF-02-LED-E1-T4W	129W LED 13267 LUMENS 4000K	20'-0" OVERALL MOUNTING HEIGHT
□	P2	SIMILAR TO P1 ABOVE, 2 HEADS INSTALLED BACK-TO-BACK	MCGRAW-EDISON	GLEON-AF-02-LED-E1-T4W (B2B)	258W LED 26534 LUMENS 4000K	20'-0" OVERALL MOUNTING HEIGHT

CALCULATION SUMMARY

DESCRIPTION	UNITS	AVERAGE	MAXIMUM	MINIMUM	AVERAGE/MINIMUM	MAXIMUM/MINIMUM
PARKING LOT AREA	FC	2.90	6.03	0.99	2.93	6.09
PROPERTY BOUNDARY NOTE: ± 15% CONTRIBUTION AT 10'-0" BEYOND PROPERTY LINE PER 153.065(F)(7)	FC	0.24	2.57	0.00	N.A.	N.A.



SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

DESCRIPTION
The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/ULC Listed for wet locations.

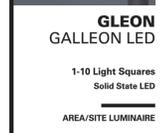
SPECIFICATION FEATURES
Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum and caps enclose housing and die-cast aluminum heat sinks. A unique patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.
Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (v-275K CCT 70 CRI), Optional 3000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).
Mounting
STANDARD ARM MOUNT:
Extruded aluminum arm includes internal both guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 60° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

Finish
Housing finished in super durable TIGC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RA, and custom color matches available.
Warranty
Five-year warranty.

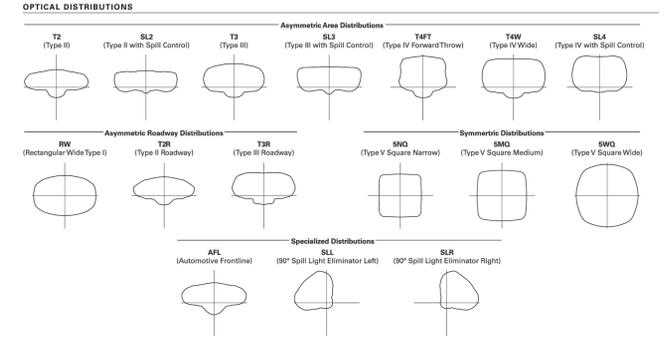
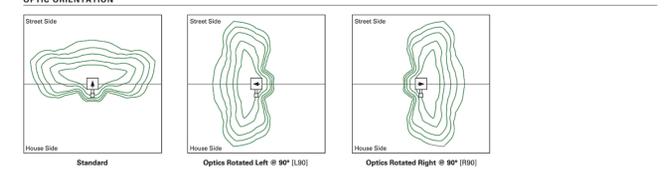
McGraw-Edison

Catalog #	Type
Project	Date
Comments	
Prepared by	



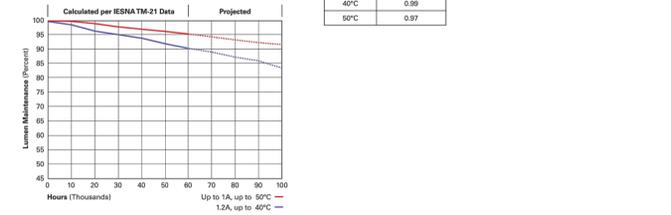
GLEON GALLEON LED
1-10 Light Squares
Solid State LED
AREA/SITE LUMINAIRE

GLEON GALLEON LED



LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 90%	416,000
1.2A	Up to 40°C	> 90%	205,000

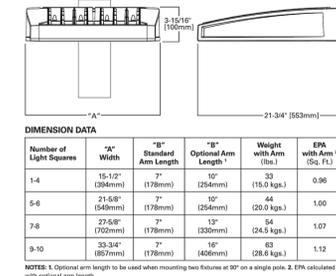


ORDERING INFORMATION

Product Family	Light Engine	Number of Light Squares	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON-Galleon	AF-1A Drive Current	01-1 02-2 03-3 04-4 05-5 06-6 07-7 08-8 09-9 10-10	LED-Solid State Light Emitting Diodes	E1-120-277V 347-247V 480-480V	T2-Type II T3-Type III T4-Type IV Forward Throw T5-Type V Wide T6-Type V Narrow T7-Type V Square Medium T8-Type V Square Wide T9-Type V w/Spill Control T10-Type IV w/Spill Control T11-90° Spill Light Eliminator Left T12-90° Spill Light Eliminator Right T13-Rectangular Wide Type I T14-Automatic Frontline	AP-Grey B2-Bronze BK-Black CP-Dark Platinum GM-Graphite Metallic WV-White	[Blank]-Arm for Round or Square Pole EA-Extended Arm MA-Mount Adapter WM-Wall Mount GM-Quick Mount Standard Length CMA-Quick Mount Arm (Extended Length)

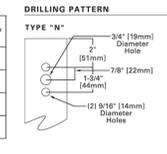
NOTES:
1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WPS0010N for additional support information.
2. Designated Construction: Qualified. Refer to www.designlight.org. Qualified Products List under Family Model for details.
3. Standard electrical code and requirements apply.
4. Not compatible with extended quick mount arm (QMA).
5. Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A.
6. Only for use with 480V wye systems. P, N, and R are for use with ungrounded systems. Impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase 480V Delta, and Three Phase Corner Grounded Delta systems).
7. May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
8. Factory installed.
9. Maximum 8 light squares.
10. Maximum 10 light squares.
11. Extended lead times apply. Use dedicated ES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
12. Extended lead times apply. Use dedicated ES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
13. A ramp standard. Use dedicated ES files for 600mA, 800mA and 1200mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
14. Not available with MA option.
15. Is not available with MS, MSX or MS3M at 347V or 480V. 2L in AF-02 through AF-04 requires a larger housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
16. Not available with LumWatt wireless sensors.
17. Requires the use of photocell or PIR or PIR photocell compatible with photocell necessary. See After Hours Dim supplemental guide for additional information.
18. The T2R-02 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
19. Approximately 40° detection diameter at 20' mounting height.
20. Approximately 50° detection diameter at 40' mounting height.
21. Approximately 70° detection diameter at 60' mounting height.
22. Replace K with number of Light Squares in the luminaire model.
23. LumWatt wireless sensors are factory installed only requiring network components RF-2M-1, RF-DW-1 and RF-ROU-T1 in appropriate quantities. See www.eaton.com/lighting for LumWatt application information.
24. Not available with house side shield (HSS).
25. Not available with HSS.
26. Is not available with the LWR, MS, MSX, MS3M, P, R or PIR options. Available in 120-277V only.
27. One required for each Light Square.
28. One required for each Light Square.

DIMENSIONS



DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"C" Optional Arm Length	Weight with Arm (lbs.)	EPA Weight (kg)
1-4	15-1/2" (391mm)	7-1/2" (191mm)	10" (254mm)	53 (24.0)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6)	1.12



CERTIFICATION DATA
UL/ULC Wet Location Listed (50 8001)
UL79 / LMO Compliant
3E Vibration Rated
IP66 Rated

ENERGY DATA
Electronic LED Driver
±3.0 Power Factor
±20% Total Harmonic Distortion
120V-277V 60/50Hz
347V & 480V 60Hz
40°C Min. Temperature
40°C Max. Temperature
90°C Max. Temperature (HA Option)

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DESCRIPTION	DATE
DUBLIN FINAL SITE SUBMITTAL	08.29.2016

SITE PHOTOMETRIC PLAN



THE GRAND SALON
VILLAGE PARKWAY
DUBLIN, OHIO 43017

MEYERS+ASSOCIATES PROJECT NUMBER:
2015-46
SHEET NUMBER

E000

E000-16278
PRATER
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CHECKED BY: DLP
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