

**CODED NOTES**

1. REMOVE EXISTING SHAKES, INSPECT SUBSTRUCTURE AND REPLACE WITH LANDMARK PRO HEAVY DUTY ASPHALT SHINGLES

2. ALL EXISTING STUCCO AND STONE CHIMNEYS TO REMAIN IN EXISTING CONDITION

3. ALL EXISTING STONE IS BEING REMOVED, SUBSURFACE INSPECTED, NEW METALWORK INSTALLED AND EXTERIOR IS REPLACED WITH A BLEND OF STONE AND STUCCO

4. ALL BRICK (THE PRINCIPAL FACADE MATERIAL) IS TO REMAIN IN PLACE

5. NEW METALWORK SUCH AS FLASHING, GUTTERS, DOWNSPOUTS AND TRIM TO BE REPLACED WITH MATCHING MATERIAL

6. ALL WINDOWS IN AREA TO BE REDONE, WILL REMAIN AS EXISTING

7. ALL AREAS OF STUCCO WILL REMAIN IN PLACE AS EXISTING

8. ALL EXISTING DOORS AND GARAGE DOORS SHALL REMAIN AS EXISTING



JLB # 15037

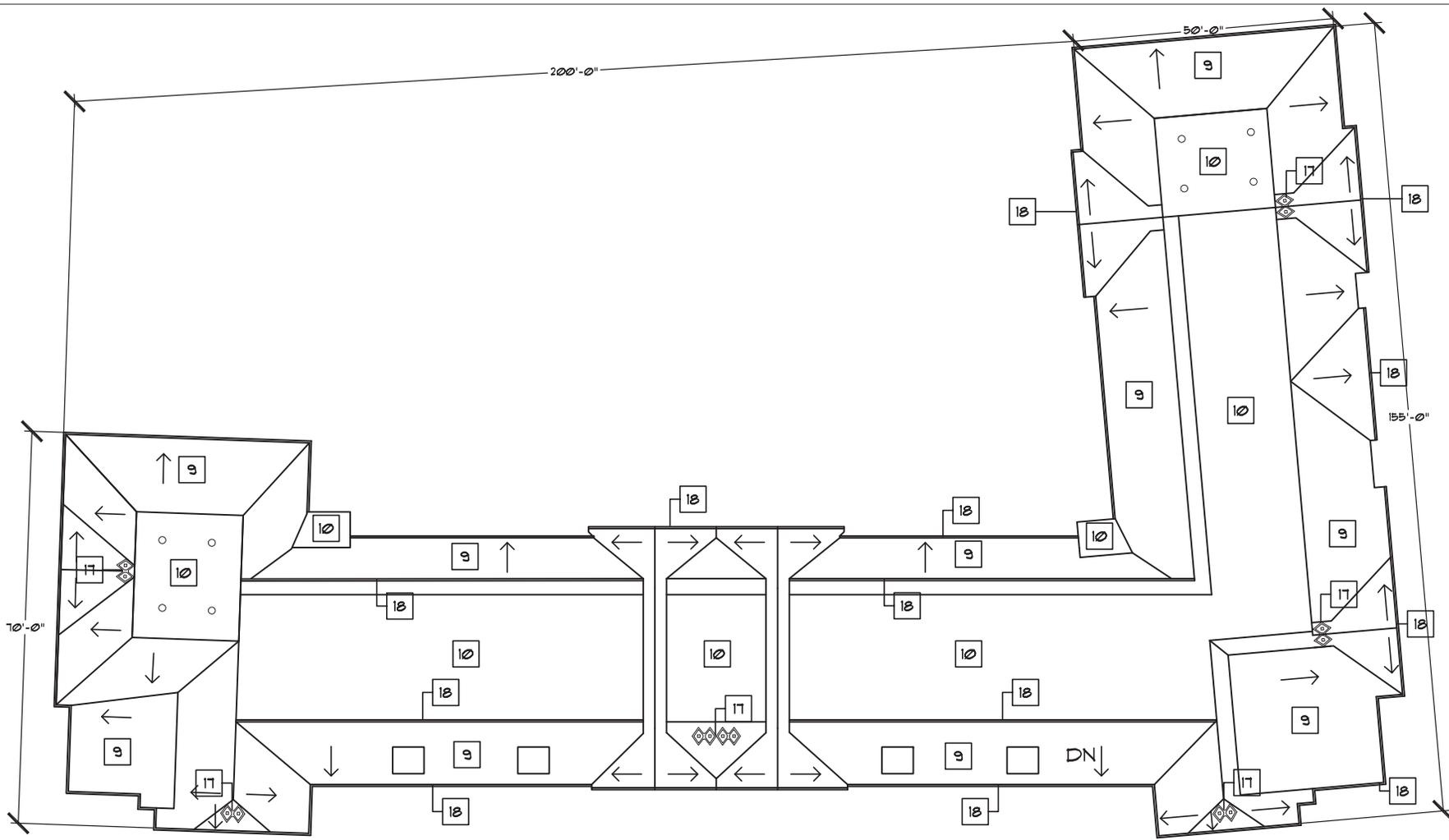
RENOVATIONS AND UPGRADES FOR  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016

20 SEPTEMBER 2016

TYPICAL  
 EXISTING  
 BUILDING  
 NOTED





**A** ROOF REPLACEMENT PLAN-BLDG 2  
 AI-1 SCALE: 1" = 20'-0"



**CODED NOTES**

1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW MOIRE BLACK ASPHALT SHINGLES	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	15. EXISTING GARAGE DOOR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	16. NEW DARK BROWN STUCCO
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	17. EXISTING CHIMNEEY
5. EXISTING STONE TO REMAIN		13. EXISTING WINDOWS (TYP.)	18. NEW GUTTERS, METAL WORK

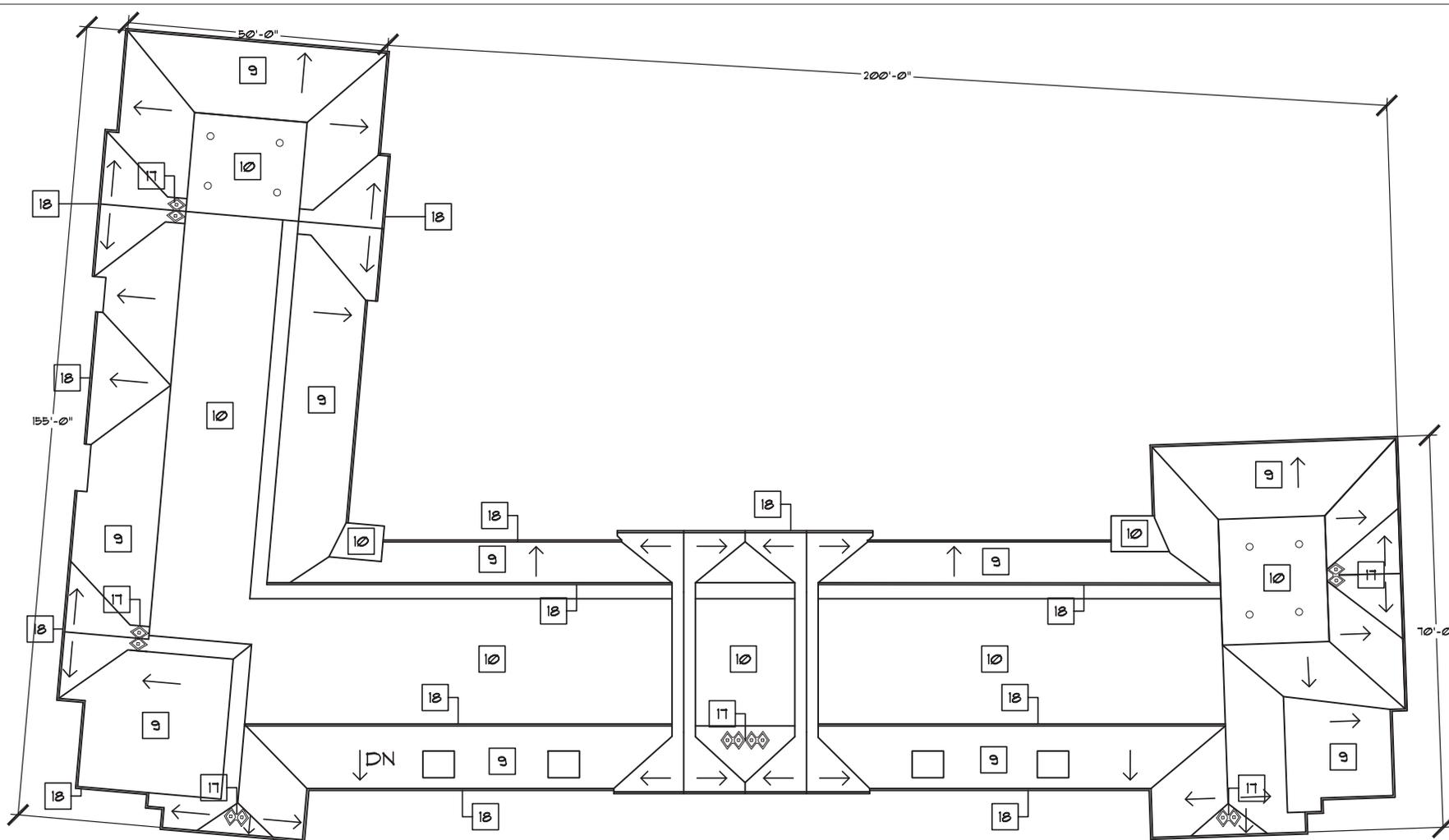
**MANAGED BY CASE BOWEN COMPANY**  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016

**RENOVATIONS AND UPGRADES FOR BUILDING 2**  
**THE MANOR AT CRAUGHWELL VILLAGE**  
**CONDOMINIUMS**  
 DUBLIN, OHIO 43017

**#Hatchery INC.**  
 A. BERNER, INC. ARCHITECTS AND PLANNERS, A.I.A.  
 PROJECT ARCHITECT FOR THE MANOR AT CRAUGHWELL VILLAGE CONDOMINIUMS  
 10000 WOODBURN AVENUE, SUITE 100, DUBLIN, OHIO 43017

JLB # 16037  
 20 SEPTEMBER 2016

ROOF PLAN  
 PHASE ONE  
 BLDG 2



**A** ROOF REPLACEMENT PLAN-BLDG 3  
 AI-1 SCALE: 1" = 20'-0"



**CODED NOTES**

1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW WEATHERED WOOD ASPHALT SHINGLES	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	15. EXISTING GARAGE DOOR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	16. NEW DARK BROWN STUCCO
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	17. EXISTING CHIMNEY
5. EXISTING STONE TO REMAIN		13. EXISTING WINDOWS (TYP.)	18. NEW GUTTERS, METAL WORK

  
 HATCHERY INC.  
 ARCHITECTS AND PLANNERS AIA  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016  
 PHONE: 614.233.1100 FAX: 614.233.1101  
 WWW.HATCHERYINC.COM

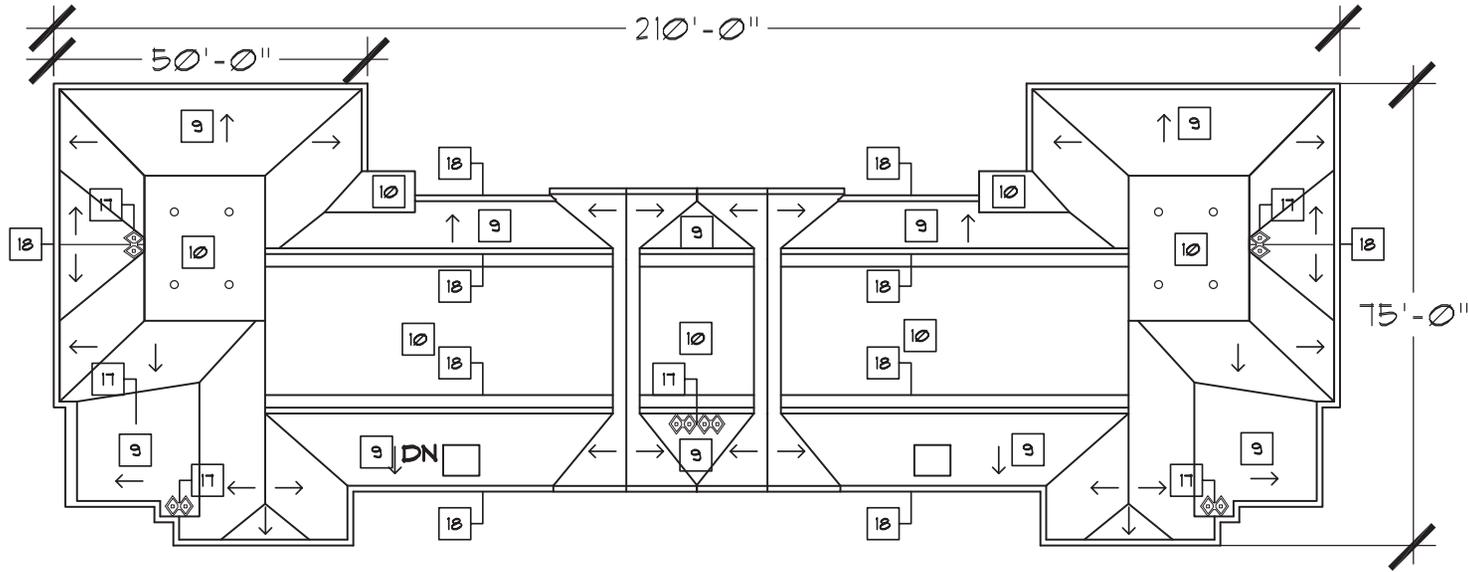
RENOVATIONS AND UPGRADES FOR BUILDING 3  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016

20 SEPTEMBER 2016

ROOF PLAN  
 PHASE ONE  
 BLDG 3

JLB # 16037



**A**  
 AI-1 **ROOF REPLACEMENT PLAN-BLDG 4**  
 SCALE: 1" = 20'-0"



**CODED NOTES**

1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW WEATHERED WOOD ASPHALT SHINGLES	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	15. EXISTING GARAGE DOOR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	16. NEW DARK BROWN STUCCO
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	17. EXISTING CHIMNEY
5. EXISTING STONE TO REMAIN		13. EXISTING WINDOWS (TYP.)	18. NEW GUTTERS, METAL WORK

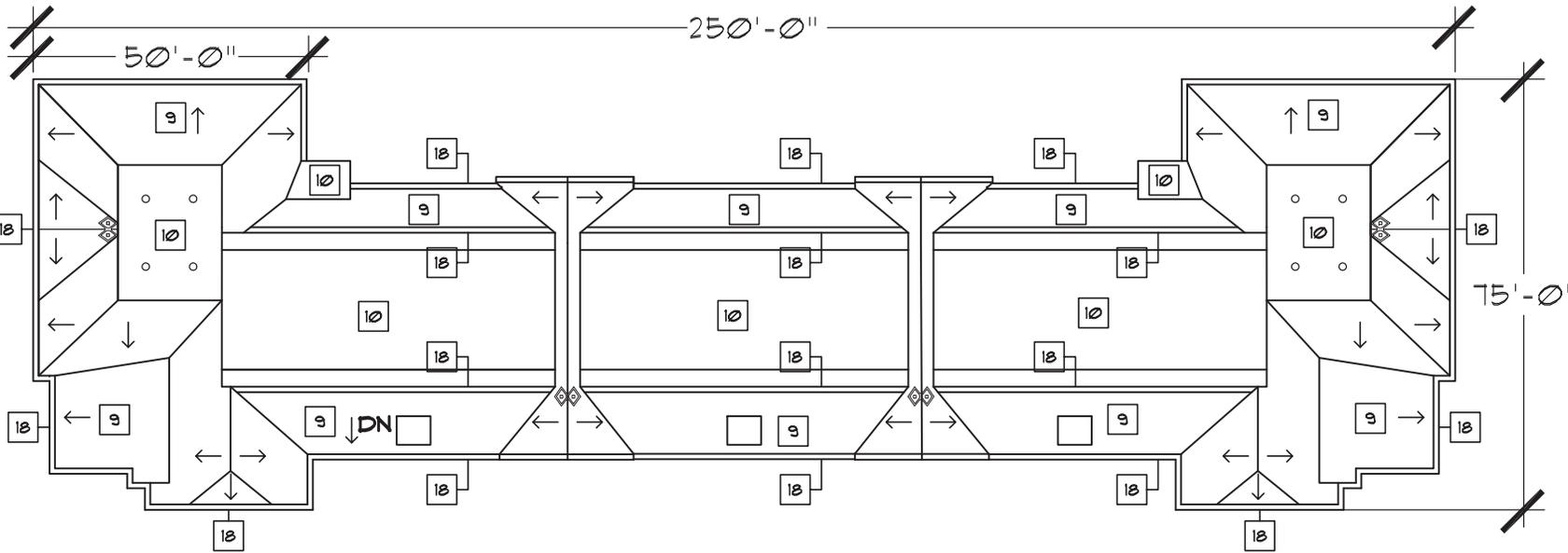


RENOVATIONS AND UPGRADES FOR BUILDING 4  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016

20 SEPTEMBER 2016

ROOF PLAN  
 PHASE ONE  
 BLDG 4



**A**  
AI-1  
**ROOF REPLACEMENT PLAN-BLDG 5**  
SCALE: 1" = 20'-0"



**CODED NOTES**

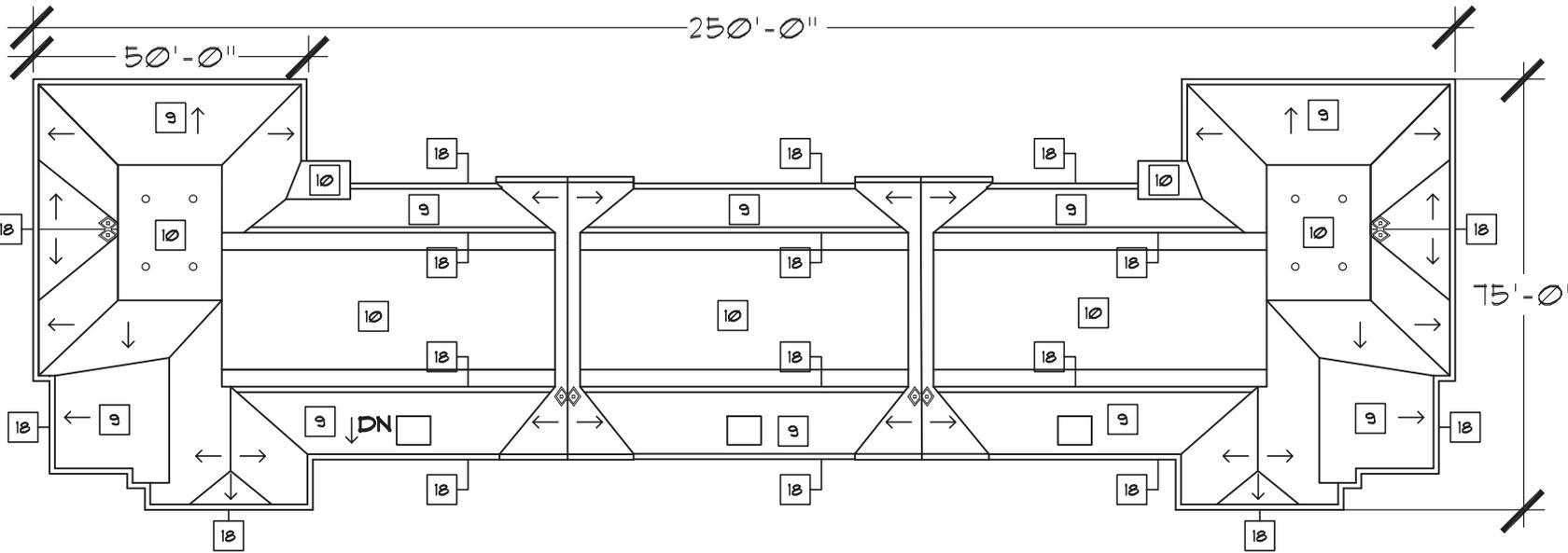
1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW MOIRE BLACK ASPHALT SHINGLES	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	15. EXISTING GARAGE DOOR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	16. NEW DARK BROWN STUCCO
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	17. EXISTING CHIMNEEY
5. EXISTING STONE TO REMAIN		13. EXISTING WINDOWS (TYP.)	18. NEW GUTTERS, METAL WORK

**#parkerinc.**  
P.L. BOWEN INC. ARCHITECTS AND PLANNERS, A.L.A.  
REGISTERED PROFESSIONAL ARCHITECTS  
10000 WOODBURN AVENUE, SUITE 100  
DUBLIN, OHIO 43017  
JLB #. 15037

RENOVATIONS AND UPGRADES FOR BUILDING 5  
**THE MANOR AT CRAIGHWELL VILLAGE**  
CONDOMINIUMS  
DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY  
6255 CORPORATE CENTER DR.  
DUBLIN, OHIO 43016

20 SEPTEMBER 2016  
ROOF PLAN  
PHASE ONE  
BLDG 5



**A**  
**AI-1** **ROOF REPLACEMENT PLAN-BLDG 6**  
 SCALE: 1" = 20'-0"



**CODED NOTES**

1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW WEATHERED WOOD ASPHALT SHINGLES	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	15. EXISTING GARAGE DOOR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	16. NEW DARK BROWN STUCCO
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	17. EXISTING CHIMNEEY
5. EXISTING STONE TO REMAIN		13. EXISTING WINDOWS (TYP.)	18. NEW GUTTERS, METAL WORK

**#penderinc.**  
 P. E. BENDER INC. ARCHITECTS AND PLANNERS, A.L.A.  
 10000 W. STATE ST. SUITE 1000  
 DUBLIN, OHIO 43017  
 JUL 9 #. 15037

RENOVATIONS AND UPGRADES FOR BUILDING 6  
**THE MANOR AT CRAIGHWELL VILLAGE**  
**CONDOMINIUMS**  
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016

ROOF PLAN  
 PHASE ONE  
 BLDG 6

20 SEPTEMBER 2016



**A EAST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"

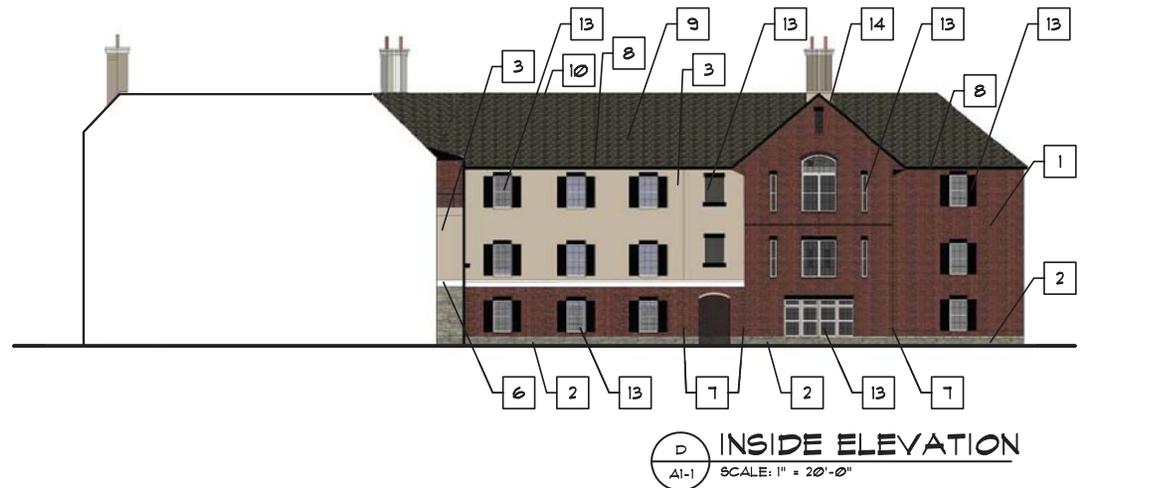
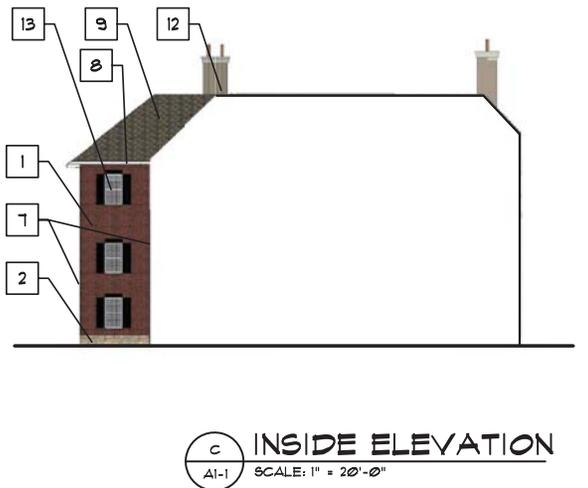
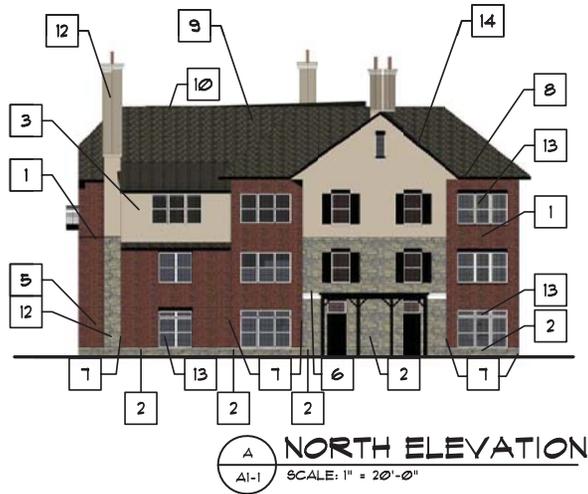


**B WEST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



CODED NOTES			
1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW WEATHERED WOOD ASPHALT SHINGLES	13. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	15. EXISTING GARAGE DOOR
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	
5. EXISTING STONE TO REMAIN			

  
 RENOVATIONS AND UPGRADES FOR BUILDING 1  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017  
 JLB #: 15037  
 MANAGED BY CASE BOWEN COMPANY  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016  
 20 SEPTEMBER 2016  
 FRONT & REAR ELEVATIONS BLDG 1



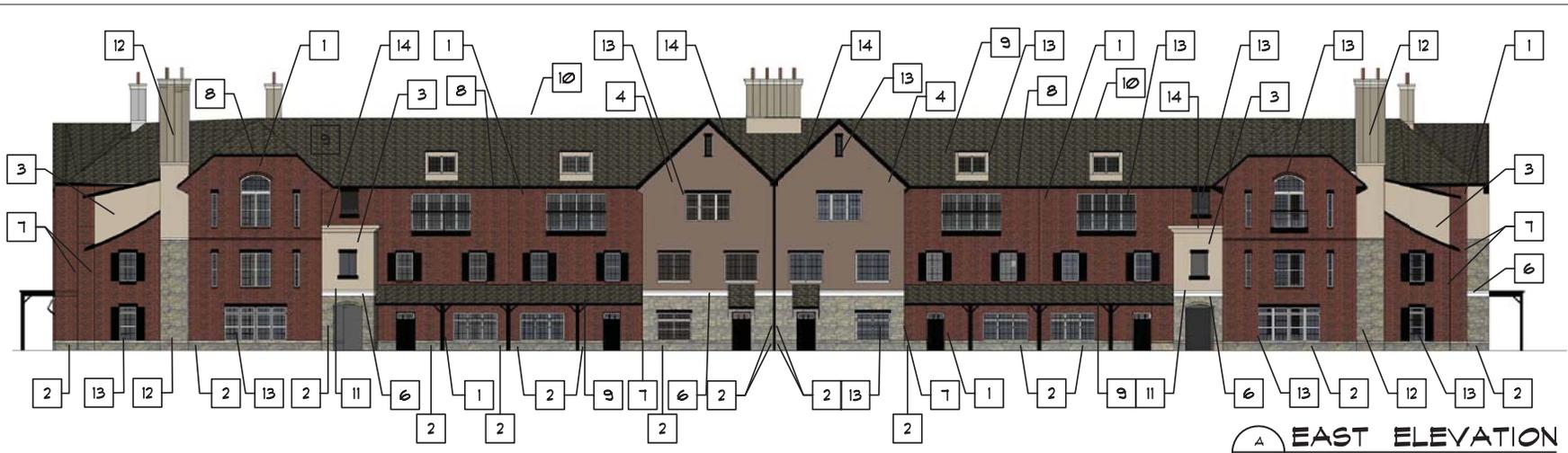
CODED NOTES			
1.	EXISTING BRICK	6.	NEW SYNTHETIC TRIM
2.	NEW SYNTHETIC STONE	7.	EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR
3.	NEW BEIGE STUCCO	8.	EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR
4.	NEW BROWN STUCCO	9.	NEW WEATHERED WOOD ASPHALT SHINGLES
5.	EXISTING STONE TO REMAIN	10.	NEW EPDM ROOF
		11.	NEW METAL FLASHING
		12.	EXISTING CHIMNEY STONE TO REMAIN
		13.	EXISTING WINDOWS (TYP.)
		14.	PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
		15.	EXISTING GARAGE DOOR

  
 JLB #: 15037  
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RENOVATIONS AND UPGRADES FOR BUILDING 1  
**THE MANOR AT CRAUGHWELL VILLAGE**  
**CONDOMINIUMS**  
 DUBLIN, OHIO 43017

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 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016  
 20 SEPTEMBER 2016

SIDE ELEVATIONS  
 BLDG 1



**A EAST ELEVATION**  
 A1-1 SCALE: 1" = 20'-0"



**B WEST ELEVATION**  
 A1-1 SCALE: 1" = 20'-0"

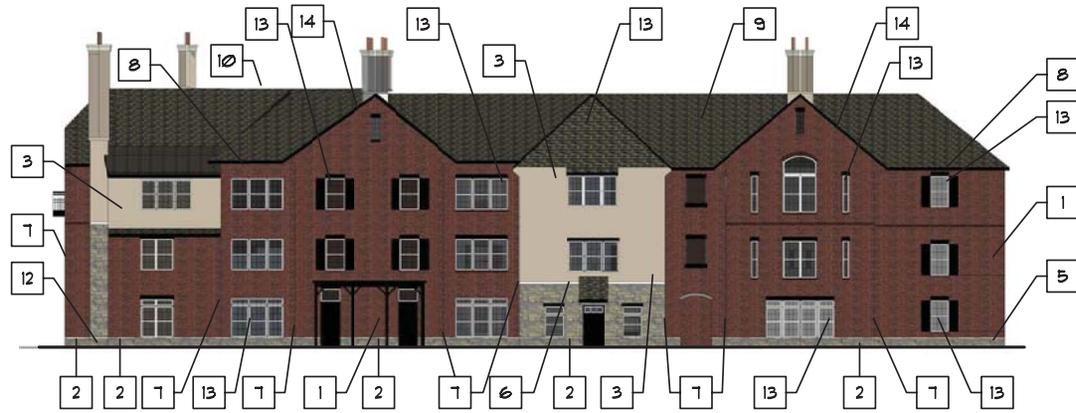


CODED NOTES			
1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW ASPHALT SHINGLES (MOIRE BLACK)	13. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	15. EXISTING GARAGE DOOR
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	
5. EXISTING STONE TO REMAIN			

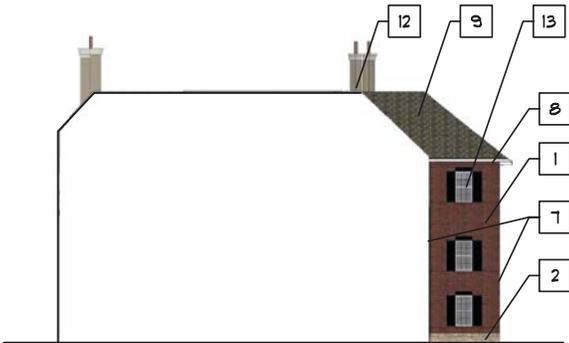
  
 RENOVATIONS AND UPGRADES FOR BUILDING 2  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017  
 JLB #: 16037  
 MANAGED BY CASE BOWEN COMPANY  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016  
 20 SEPTEMBER 2016  
 FRONT & REAR ELEVATIONS BLDG 2



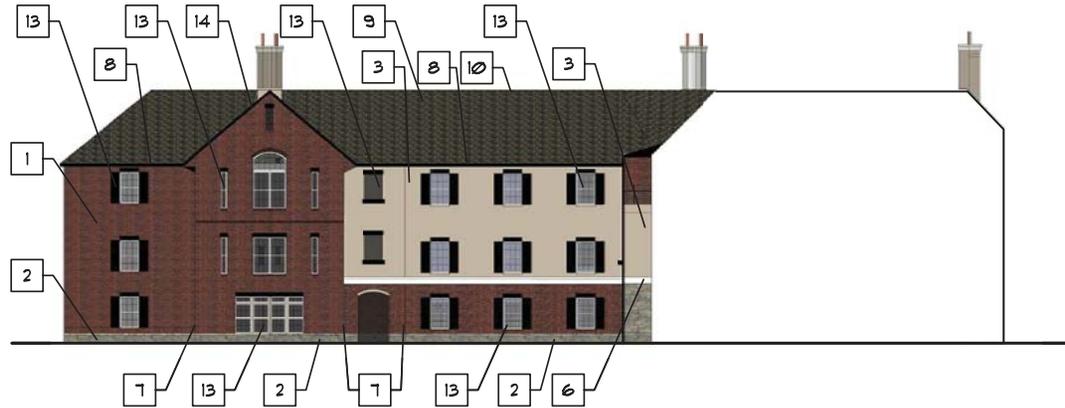
**A SOUTH ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**B NORTH ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**C INSIDE ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**D INSIDE ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



BLDG 2

**CODED NOTES**

- |                             |                                                               |                                       |                                                                 |
|-----------------------------|---------------------------------------------------------------|---------------------------------------|-----------------------------------------------------------------|
| 1. EXISTING BRICK           | 6. NEW SYNTHETIC TRIM                                         | 9. NEW ASPHALT SHINGLES (MOIRE BLACK) | 13. EXISTING WINDOWS (TYP.)                                     |
| 2. NEW SYNTHETIC STONE      | 7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 10. NEW EPDM ROOF                     | 14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR |
| 3. NEW BEIGE STUCCO         | 8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR    | 11. NEW METAL FLASHING                | 15. EXISTING GARAGE DOOR                                        |
| 4. NEW BROWN STUCCO         |                                                               | 12. EXISTING CHIMNEY STONE TO REMAIN  |                                                                 |
| 5. EXISTING STONE TO REMAIN |                                                               |                                       |                                                                 |

**#Huskeyinc**  
 Huskey Inc. ARCHITECTS AND PLANNERS, A.L.A.  
 3900 Rymer Drive, Suite 102, Columbus, OH 43207  
 PH: 614.885.1100 FAX: 614.885.1101

RENOVATIONS AND UPGRADES FOR BUILDING 2  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016

SIDE ELEVATIONS BLDG 2

JLS #: 15037

20 SEPTEMBER 2016



**A EAST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**B WEST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



BLDG 3

**CODED NOTES**

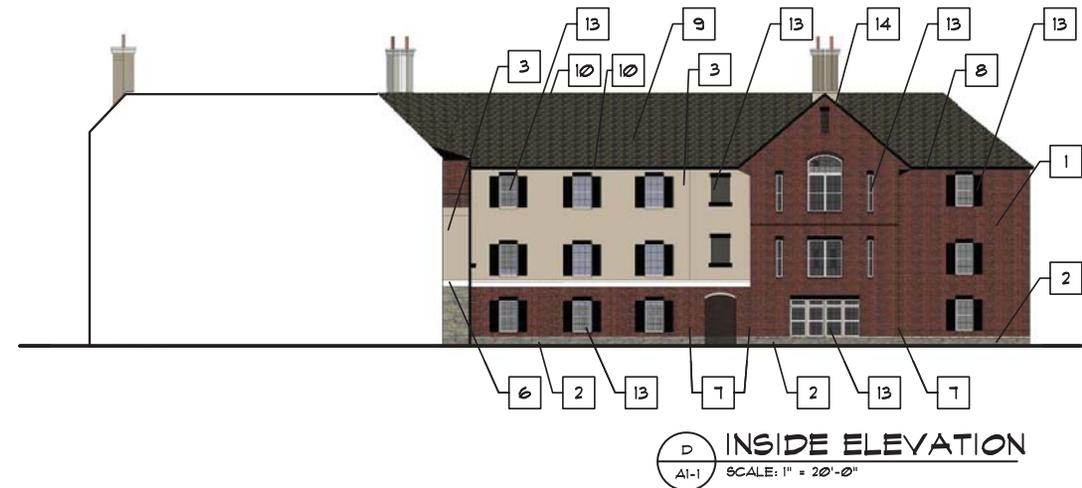
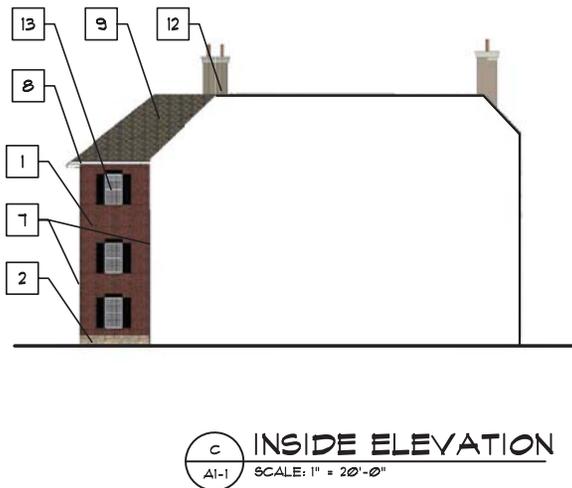
1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW WEATHERED WOOD ASPHALT SHINGLES	13. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	15. EXISTING GARAGE DOOR
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	
5. EXISTING STONE TO REMAIN			



RENOVATIONS AND UPGRADES FOR BUILDING 3  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017

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 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016  
 20 SEPTEMBER 2016

FRONT & REAR ELEVATIONS  
 BLDG 3



CODED NOTES			
1.	EXISTING BRICK	6.	NEW SYNTHETIC TRIM
2.	NEW SYNTHETIC STONE	7.	EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR
3.	NEW BEIGE STUCCO	8.	EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR
4.	NEW BROWN STUCCO	9.	NEW WEATHERED WOOD ASPHALT SHINGLES
5.	EXISTING STONE TO REMAIN	10.	NEW EPDM ROOF
		11.	NEW METAL FLASHING
		12.	EXISTING CHIMNEY STONE TO REMAIN
		13.	EXISTING WINDOWS (TYP.)
		14.	PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
		15.	EXISTING GARAGE DOOR

  
 HATCHLING  
 ARCHITECTS AND PLANNERS, A.J.A.  
 PROFESSIONAL CORPORATION  
 15000 W. CENTER ROAD, SUITE 100  
 DUBLIN, OHIO 43017  
 JLB #: 15037

RENOVATIONS AND UPGRADES FOR BUILDING 3  
**THE MANOR AT CRAUGHWELL VILLAGE**  
**CONDOMINIUMS**  
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016

20 SEPTEMBER 2016

SIDE ELEVATIONS  
 BLDG 3



**A EAST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**B WEST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**CODED NOTES**

1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW WEATHERED WOOD ASPHALT SHINGLES	13. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	15. EXISTING GARAGE DOOR
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	
5. EXISTING STONE TO REMAIN			

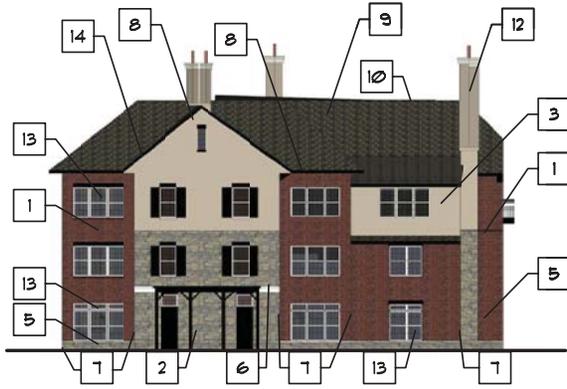


RENOVATIONS AND UPGRADES FOR BUILDING 4  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017

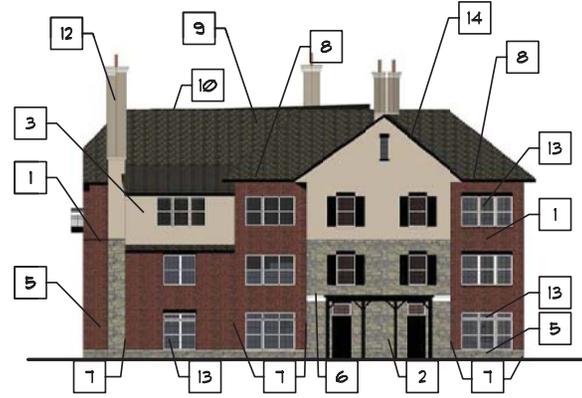
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 DUBLIN, OHIO 43016  
 20 SEPTEMBER 2016

FRONT & REAR ELEVATIONS BLDG 4

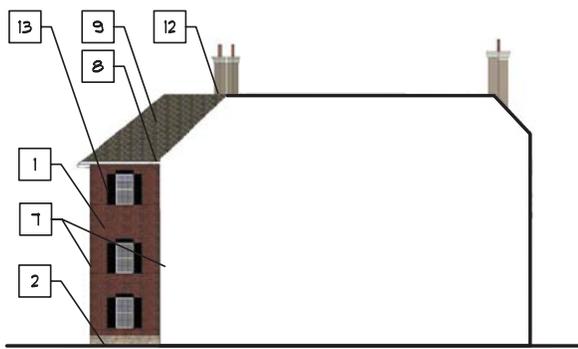
JLB #: 15037



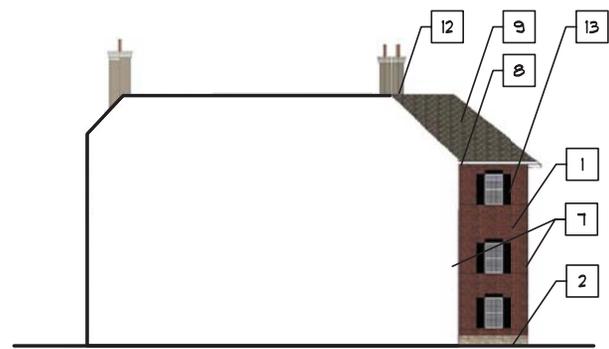
**A SOUTH ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**B NORTH ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**C INSIDE ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**D INSIDE ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



BLDG 4

CODED NOTES			
1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW WEATHERED WOOD ASPHALT SHINGLES	13. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	15. EXISTING GARAGE DOOR
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	
5. EXISTING STONE TO REMAIN			

**Handley Inc.**  
 3000 Westside Dr., Suite 100, Columbus, OH 43228  
 614.291.1100  
 www.handleyinc.com

RENOVATIONS AND UPGRADES FOR BUILDING 4  
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 DUBLIN, OHIO 43016  
 20 SEPTEMBER 2016

SIDE ELEVATIONS BLDG 4

JLB #: 15037



**A SOUTH ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**B NORTH ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



BLDG 5

**CODED NOTES**

- |                             |                                                               |                                       |                                                                 |
|-----------------------------|---------------------------------------------------------------|---------------------------------------|-----------------------------------------------------------------|
| 1. EXISTING BRICK           | 6. NEW SYNTHETIC TRIM                                         | 9. NEW ASPHALT SHINGLES (MOIRE BLACK) | 13. EXISTING WINDOWS (TYP.)                                     |
| 2. NEW SYNTHETIC STONE      | 7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 10. NEW EPDM ROOF                     | 14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR |
| 3. NEW BEIGE STUCCO         | 8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR    | 11. NEW METAL FLASHING                | 15. EXISTING GARAGE DOOR                                        |
| 4. NEW BROWN STUCCO         |                                                               | 12. EXISTING CHIMNEY STONE TO REMAIN  |                                                                 |
| 5. EXISTING STONE TO REMAIN |                                                               |                                       |                                                                 |



RENOVATIONS AND UPGRADES FOR BUILDING 5  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY  
 6255 CORPORATE CENTER DR.  
 DUBLIN, OHIO 43016

FRONT & REAR  
 ELEVATIONS  
 BLDG 5

JLB #: 15037

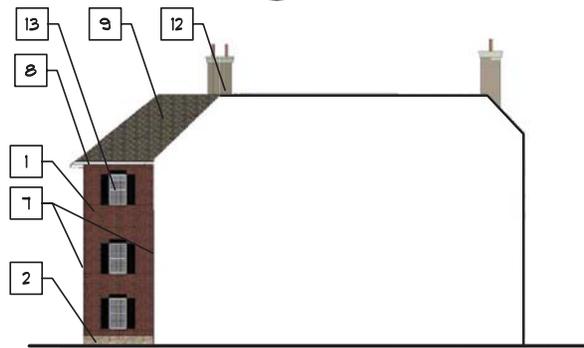
20 SEPTEMBER 2016



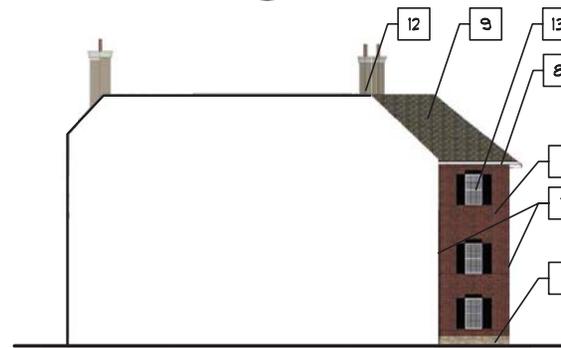
**A WEST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**B EAST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**C INSIDE ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**D INSIDE ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



BLDG 5

**CODED NOTES**

1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW ASPHALT SHINGLES (MOIRE BLACK)	13. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	14. PROVIDE NEW FLASHING/METALLWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	15. EXISTING GARAGE DOOR
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	
5. EXISTING STONE TO REMAIN			



RENOVATIONS AND UPGRADES FOR BUILDING 5  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017

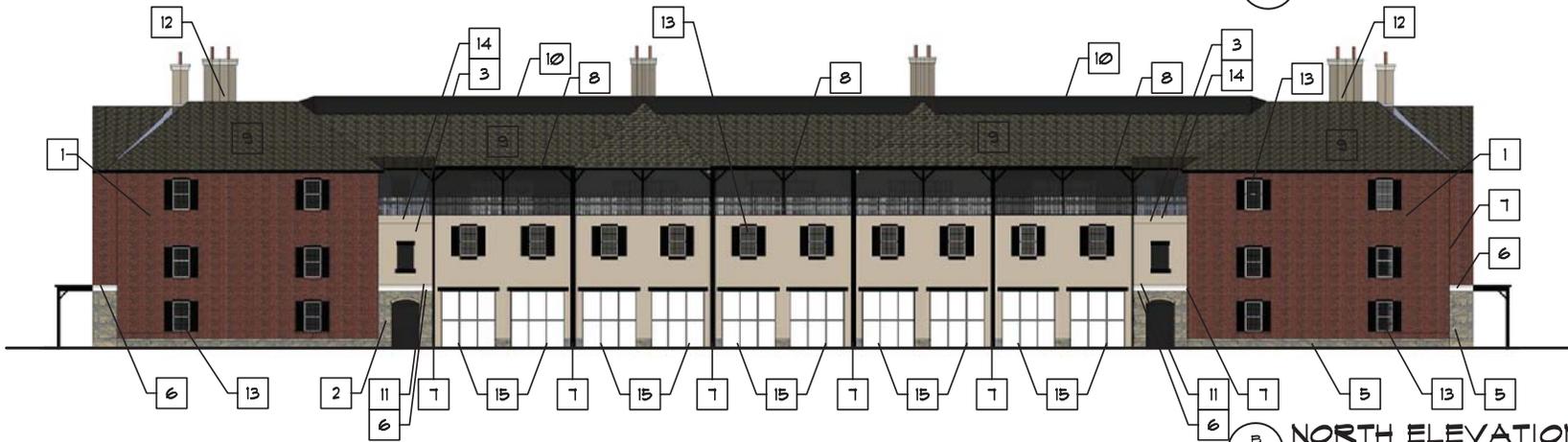
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SIDE ELEVATIONS BLDG 5

JLB #: 15037



**A SOUTH ELEVATION**  
 A1-1 SCALE: 1" = 20'-0"



**B NORTH ELEVATION**  
 A1-1 SCALE: 1" = 20'-0"

**CODED NOTES**

1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW WEATHERED WOOD ASPHALT SHINGLES	13. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	15. EXISTING GARAGE DOOR
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	
5. EXISTING STONE TO REMAIN			



**#makepic**  
 A GROUP INC. ARCHITECTS AND DESIGNERS AIA  
 10000 BROADVIEW DRIVE, SUITE 100  
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 PHONE: 614.291.4200 FAX: 614.291.4201  
 JLB #: 15037

RENOVATIONS AND UPGRADES FOR BUILDING 6  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
 DUBLIN, OHIO 43017

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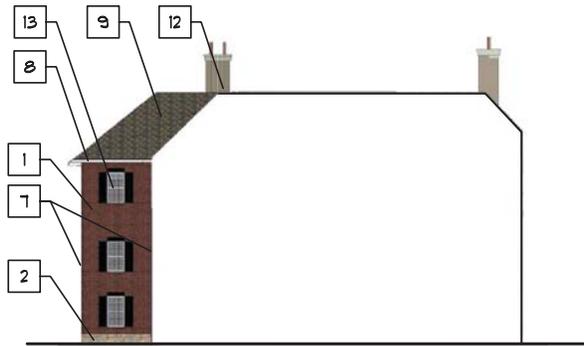
FRONT & REAR ELEVATIONS BLDG 6



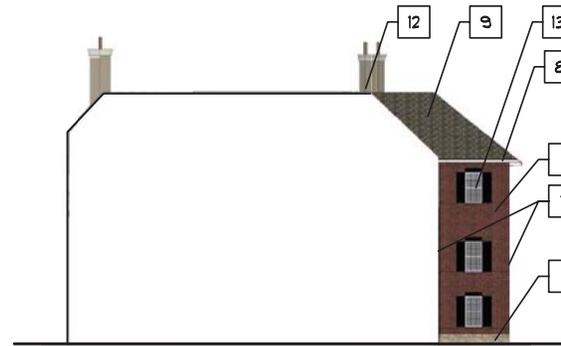
**A WEST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**B EAST ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**C INSIDE ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



**D INSIDE ELEVATION**  
 AI-1 SCALE: 1" = 20'-0"



BLDG 6



**CODED NOTES**

1. EXISTING BRICK	6. NEW SYNTHETIC TRIM	9. NEW WEATHERED WOOD ASPHALT SHINGLES	13. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	7. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW EPDM ROOF	14. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	8. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	11. NEW METAL FLASHING	15. EXISTING GARAGE DOOR
4. NEW BROWN STUCCO		12. EXISTING CHIMNEY STONE TO REMAIN	
5. EXISTING STONE TO REMAIN			



RENOVATIONS AND UPGRADES FOR BUILDING 6  
**THE MANOR AT CRAUGHWELL VILLAGE**  
 CONDOMINIUMS  
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SIDE ELEVATIONS BLDG 6

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BLDG 1



**SOUTH WEST PERSPECTIVE**

SCALE: NTS



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 Phone: 614.233.1100

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RENOVATIONS AND UPGRADES FOR BUILDING 1  
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**CONDOMINIUMS**  
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 DUBLIN, OHIO 43016

20 SEPTEMBER 2016

RENDERING -  
 BLDG 1 FRONT



BLDG 1



**SOUTH EAST PERSPECTIVE**

SCALE: NT6



ARCHITECTS AND PLANNERS AIA  
PHOTOGRAPHY BY STEPHEN HARRIS

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RENOVATIONS AND UPGRADES FOR BUILDING 1  
**THE MANOR AT CRAUGHWELL VILLAGE**  
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20 SEPTEMBER 2016

RENDERING -  
 BLDG 1 FRONT



BLDG 1



**NORTH EAST PERSPECTIVE**

SCALE: NTS



J. L. Bowen, Inc. Architects and Planners, A.L.L.  
 PROFESSIONAL ARCHITECTS - 6000 E. Highways 100  
 DUBLIN, OHIO 43017

JLB #: 15037

RENOVATIONS AND UPGRADES FOR BUILDING 1  
**THE MANOR AT CRAUGHWELL VILLAGE**  
**CONDOMINIUMS**  
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 DUBLIN, OHIO 43016

20 SEPTEMBER 2016

RENDERING -  
 BLDG 1 BACK



BLDG 5



**A SOUTH PERSPECTIVE**  
 AI-1 SCALE: 1" = 20'-0"

**#Hatchling**  
 Hatchling Architecture  
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 JLB #: 15037

RENOVATIONS AND UPGRADES FOR BUILDING 5  
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 29 SEPTEMBER 2016

RENDERING-  
 BLDG 5  
 FRONT



BEIGE STUCCO (LIMESTONE FOR ALL EXCEPT ACCENT AREA)



BROWN STUCCO (SOMBERS, FOR FRONT ACCENT AREA)

**STUCCO SELECTIONS**

STUCCO MATERIAL IS A HYBRID NEWLY DEVELOPED PRODUCT FOR THIS INSTALLATION BY THE MULTI:TEX PAREX CORP AS INSTALLED BY REITTER STUCCO CO. MATERIAL IS A 3-COAT INSTALLATION OVER GALVANIZED STEEL LATH AND THE OUT COAT IS A SYNTHETIC LAYER WITH A "DAUB" TEXTURE WHICH CLOSELY MATCHES EXISTING MATERIAL



REITTER STUCCO CO.  
11 BRADSHAW RD. ASHTON, MD 20885  
PH: 301-271-1300 FAX: 301-271-1301  
www.reitterstucco.com

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RENOVATIONS AND UPGRADES FOR  
**THE MANOR AT CRAUGHWELL VILLAGE**  
CONDOMINIUMS  
DUBLIN, OHIO 43017

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DUBLIN, OHIO 43016

20 SEPTEMBER 2016

MATERIAL PICTURES



WEATHERED WOOD\* (BUILDINGS ONE, THREE, FOUR AND SIX)



MOIRE BLACK\* (BUILDINGS TWO AND FIVE)

\*SHINGLES ARE FROM THE LANDMARK PRO LIFETIME SHINGLES BY THE CERTAINTED ROOF SHINGLE COMPANY INSTALLED WITH NEW 30\* UNDERLAYMENT AND CONTINUOUS PERIMETER SNOW AND ICE GUARD PROTECTION.

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20 SEPTEMBER 2016

ROOF  
SHINGLE  
SAMPLES

RENOVATIONS AND UP-GRADES FOR  
THE MANOR AT CRAUGHWELL VILLAGE  
CONDOMINIUMS  
DUBLIN, OHIO 43017



A. Brown, Inc. Architects and Planners, AIA  
10000 Woodloch Forest Dr., Suite 100  
Dublin, Ohio 43017  
www.abrowninc.com

JLB #: 15037



SYNTHETIC STONE

SYNTHETIC STONE SHALL BE SUPPLIED BY STONE CRAFT INDUSTRIES ND INSTALLED BY THE REITTER STUCCO COMPANY. SECTION OF THE MATERIAL IS "HERITAGE OHIO" AND VERY CLOSELY MATCHES THE ORIGINAL MATERIAL IN BOTH COLOR AND TEXTURE.

REPLACEMENT SYNTHETIC STONE SAMPLE	MANAGED BY CASE BOWEN COMPANY 6255 CORPORATE CENTER DR. DUBLIN, OHIO 43016 20 SEPTEMBER 2016	RENOVATIONS AND UPGRADES FOR THE MANOR AT CRAUGHWELL VILLAGE CONDOMINIUMS DUBLIN, OHIO 43017	 #HeritageInc. STONE CRAFT INDUSTRIES AND PRODUCTS, LLC 12700 Market Drive, Suite 1172, Columbus, Ohio 43229 614-291-2212 JLB #: 15037
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