

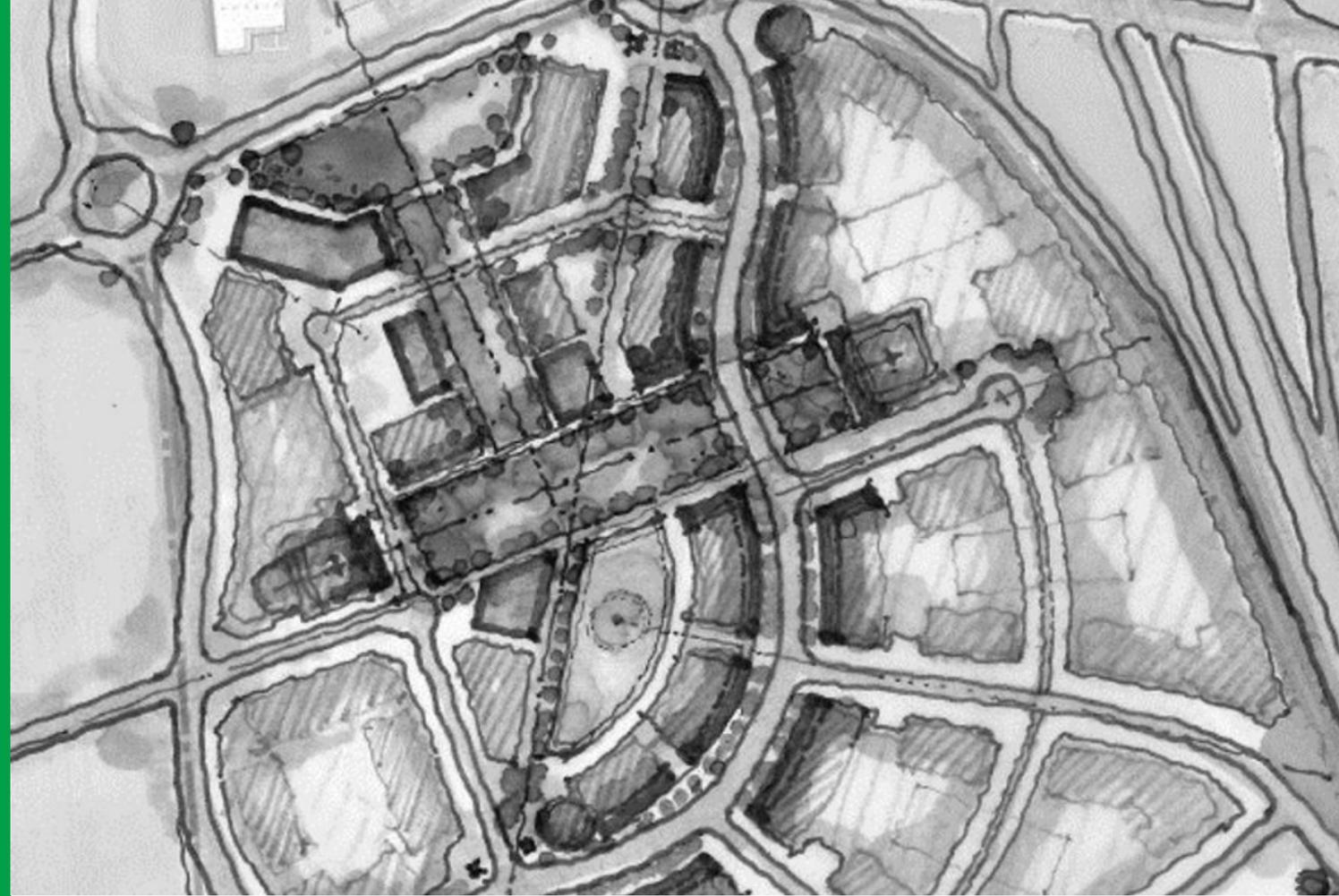
WEST INNOVATION DISTRICT

Special Area Plan Update (2017)

DRAFT

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Academic Innovation Campus drawings

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OVERVIEW

The West Innovation District has been in place since XXXX with the original goal of establishing a world-class innovation and research district. In 2016, the City decided to revisit the concept given changes in the research industry and building upon the commitment of Ohio University to develop a cutting edge academic and research campus in Dublin. The planners that assisted Dublin with designing the original concept, O'Brien Atkins of the Research Triangle worked with staff and Council to update the concept and prepare this updated plan.

At 1,100 acres that are mostly undeveloped, the West Innovation District provides multiple opportunities for walkable, mixed use, research and innovation development sites that can meet a host of business needs while building a 24/7 environment to support the work force of the future. Located on the City's western edge, but fully accessible by U.S. 33 (the Smart Mobility Corridor), the West Innovation District will grow in time to accommodate XXX square feet of development, XXX employees and XXX residents.

The City has made numerous investments in the district, including:

- ▶ Acquiring 175 key acres at the U.S. 33 / SR 161 Interchange and along Post Road to control development and provide direct availability of sites;

- ▶ Obtaining Job Ready Site status for municipal properties to enhance marketability;
- ▶ Committing funds to facilitate interchange improvements at U.S. 33 and Post Road / SR 161;
- ▶ Establishing the Dublin Entrepreneurial Center (DEC) as an incubator and business start-up facility;
- ▶ Donating 45 acres of land to facilitate the creation of the Ohio University Heritage College of Osteopathic Medicine as the first phase of an anchor campus;
- ▶ Providing key water and sewer extensions to encourage annexation;
- ▶ Donating land for the development of future electric facilities;
- ▶ Completion of a new two-million gallon water tank to enhance service and facilitate the removal of the Post Road tank for redevelopment;
- ▶ Investment in park amenities at Darree Fields, such as the Miracle Field, soccer facilities and other recreation amenities.

Goals of Development

Since its inception, the West Innovation District has been intended as a home for innovation companies within Central Ohio. This will serve as an economic engine for Dublin, and with the creation of the OU campus, it is sure to occur at a more rapid pace than originally envisioned. The broader goal is to create a self-sustaining cycle of innovation that works together with the educational institutions and companies in the district to constantly provide talent and opportunities for collaboration within the region. When these two goals are achieved, a third goal of positive economic impact will naturally follow. This will allow Dublin to attract innovative companies, create a dynamic district that is "alive" 24/7, provides opportunities for companies to collaborate, support emerging entrepreneurs, and provide varied options for different type companies.

REGIONAL

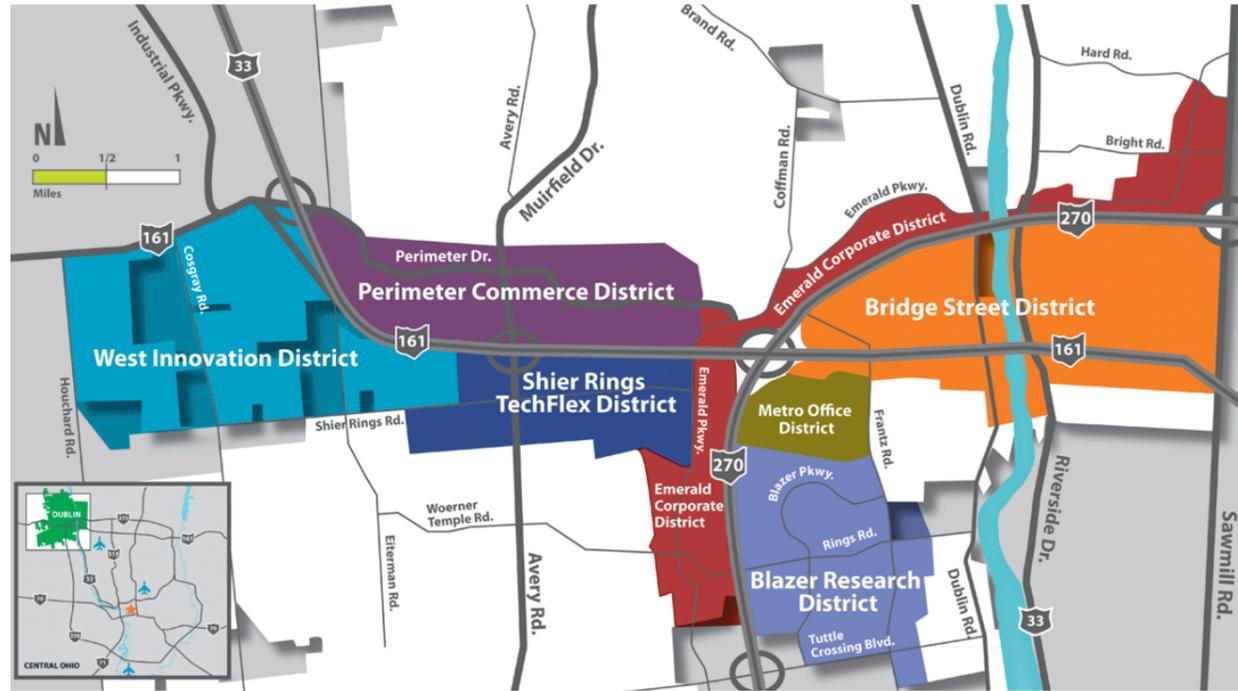
CONTEXT



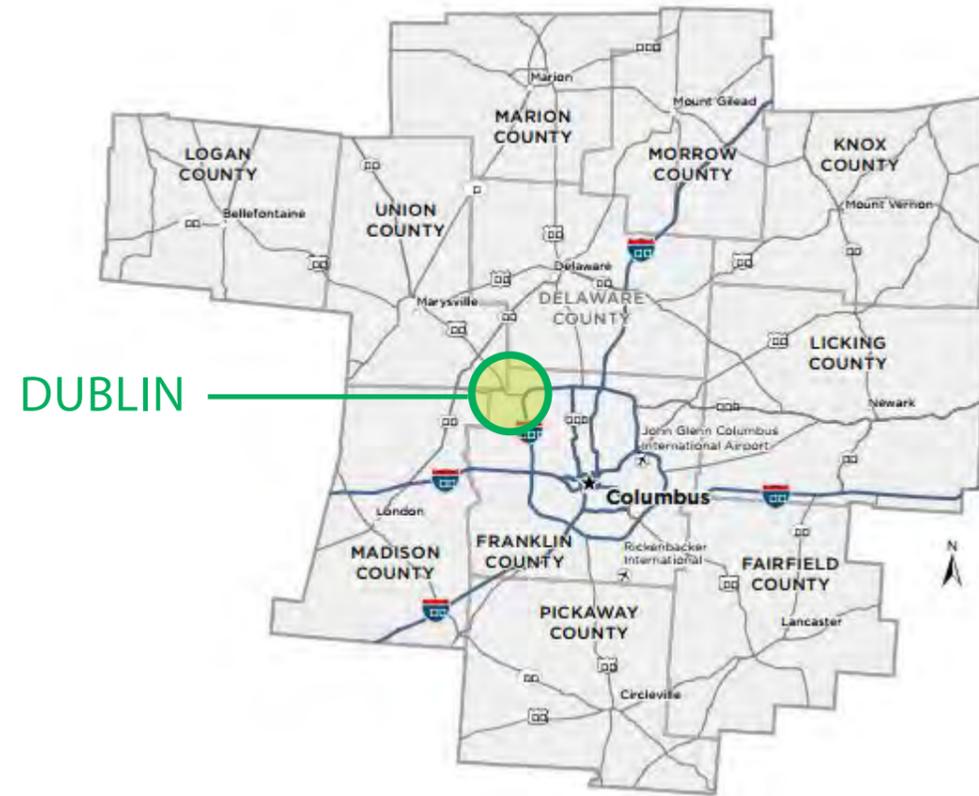
The West Innovation District is one component in Dublin's Community Plan, which establishes a vision for the built environment and growth, as well as the City's economic development strategy. In fact, this place-based approach to economic development is what is fundamental to the WID strategy - creating a place that attracts and supports workers as well as employers. At a larger scale, this part of central Ohio is a hotbed of innovation

due to nearby corporate and educational establishments. All this along with the accelerated growth in this area, makes the West Innovation District primed for development. This is strengthened by the advantages of the area, as a whole. This includes having economically flourishing areas, a healthy and thriving metropolitan region, strong neighborhoods, a highly recognized public school system, and thriving retail centers.

The vision of the West Innovation District is also important in order for Dublin to stay competitive relative to regional and national trends. From generational behaviors to economic climate, the workplace is changing and there are many factors contributing to the shift. In order for the West Innovation District to thrive it must respond to these trends. Some say the biggest impact to the workplace was the Great Recession that started in 2008. This affected all industries



Map of Dublin business districts



and caused many companies to change their approach to business; the most evident being a focus on agility and efficiencies. Surviving with lower revenues meant that businesses were looking for ways to cut costs without losing their quality of services or products. One approach has been a reduction in real estate expenses, leading to companies encouraging some workers to work from home. With increased bandwidth capabilities on the rise, this is possible without any cuts in efficiency. And with reductions in employment levels, there's been an increase in the use of independent contractors and small businesses. This sparked the need for co-working spaces and maker spaces that could accommodate these smaller scale ventures while giving them the resources of bigger companies.

While all this was happening there were other influences that were shaping the needs of

the emerging workforce. The outcome of these influences was a workforce that was very independent but also valued collaboration as the key to success. Urban areas have flourished in the last 15 years, partly because they function as centralized areas of collaboration. Another attribute of the emerging workforce is its emphasis on convenience. With a generation that has grown up with the internet and other technologies, Millennials have always been able to find "a better way", such as a better work-life balance. Technology is part of the key, but convenience is another part. Again, this is where urban areas have thrived because they can offer a live, work, and play environment. The West Innovation District will need to provide a balance of live-work-play to attract this generation and compete with the urban areas that provide these offerings. This includes providing compact and walkable environments,

the ability to attract a labor force, provide advancements in technology, provide public and private partnerships, provide interdisciplinary research models, encourage entrepreneurship in areas focusing on innovation and development, encourage businesses that are faster, cheaper, and more efficient, encourage companies to adapt quicker in order to compete, require more free-lancing and less long term staff, and include technological advancements in the automotive industry.

Along with national trends, the West Innovation District is also influenced by local trends that provide opportunities for partnerships that contribute to the potential development of the area. This includes the educational institutions and companies that reside within or nearby the district. Add in the surrounding neighborhoods, the recreational entities, Dublin-Riverside Methodist Hospital

and nearby retail and services, and real estate becomes primed for development. Local attributes include the Ohio University campus, proximity to Bridge Street, Dublin-Riverside Methodist Hospital and related services, surrounding neighborhoods, recent retail development including the Dublin Green retail center, the Sports Ohio recreational complex, corporate headquarters, and light manufacturing on site.

To take advantage of the opportunities of the area, the West Innovation District must also implement a series of best planning practices to be successful. This starts with energizing the space with development that is active all day by integrating amenities and residential options. Convenience is key to the modern worker and one of the reasons the suburban park has eroded. Innovation and research companies are a better foundation for innovation if they

have support from educational institutions. Providing good transportation systems is also key as the modern worker is looking for something more than just automobiles.

On the development side, providing a variety of sites for companies is key. There needs to be options for different scale companies and options for companies that want to be more collaborative and others that want to be more secluded. There needs to be hubs/nodes within the development that offer an urban-like experience that concentrates the amenities in a convenient and centralized location. These best practices include integrating amenities, provide convenient residential options, encourage a variety of recreational options to create vitality, provide hubs of centralized activity, allow for multiple transportation options, provide perimeters for quality

architecture and landscape without being overly prescriptive, and create important relationship with local educational institutions.

ENGAGEMENT

The West Innovation District area plan was a collaborative process with City staff, Ohio University and consultants from O'Brien Adkins. This was a multi-phase process that began in April 2016. The first phase spanned from April to August 2016 and included joint workshops between city staff, the Ohio University and O'Brien Adkins.

The first phase included an internal, day-long workshop focusing on local and regional development trends, including ways in which the market and Dublin has changed since the last plan update that occurred in 2008. An important partner in these meetings included representatives from Ohio University to ensure close coordination between the University and City visions for the West Innovation District.

The first phase included a two-day tour of the Research Triangle Park in Raleigh, North Carolina and the North Carolina State University Centennial Campus. The tour focused on the best practices of other communities that have embraced research and development office parks with a focus on advancements in technology, as well as creating a collaborative work force of entrepreneurs. Participants included representatives of City staff, City Council, Ohio University, Dublin City Schools, and the consultant team. Highlights included successes from the City of Raleigh including several incubator companies, public and private collaborative spaces, an

innovative and place making library, and a two STEM schools.

The second phase of the plan spanned from September to October 2016, and included an additional public open house hosted by the City of Dublin and Ohio University. The open house gathered input from residents, business community, community officials and other stakeholders. Work stations focused on the OU Dublin Branch Master Plan, areas for residential development, recreational and path connectivity and the Shier Rings corridor character. Later, a web survey was available for three weeks to gain further insights into the details of the West Innovation Plan, from road networks to land uses. Key feedback from 214 respondents included:

- ▶ Provision of a high school on the OU campus
- ▶ Require advanced manufacturing uses to meet progressive, innovative and high standards
- ▶ Emphasize bike path access, including protected lanes, ensure connectivity with neighboring developments and provide bike access across US3
- ▶ Promote local-owned small retail business in place of big box retail
- ▶ Ensure access for existing developments

- ▶ Reduce through traffic on Shier Rings Road

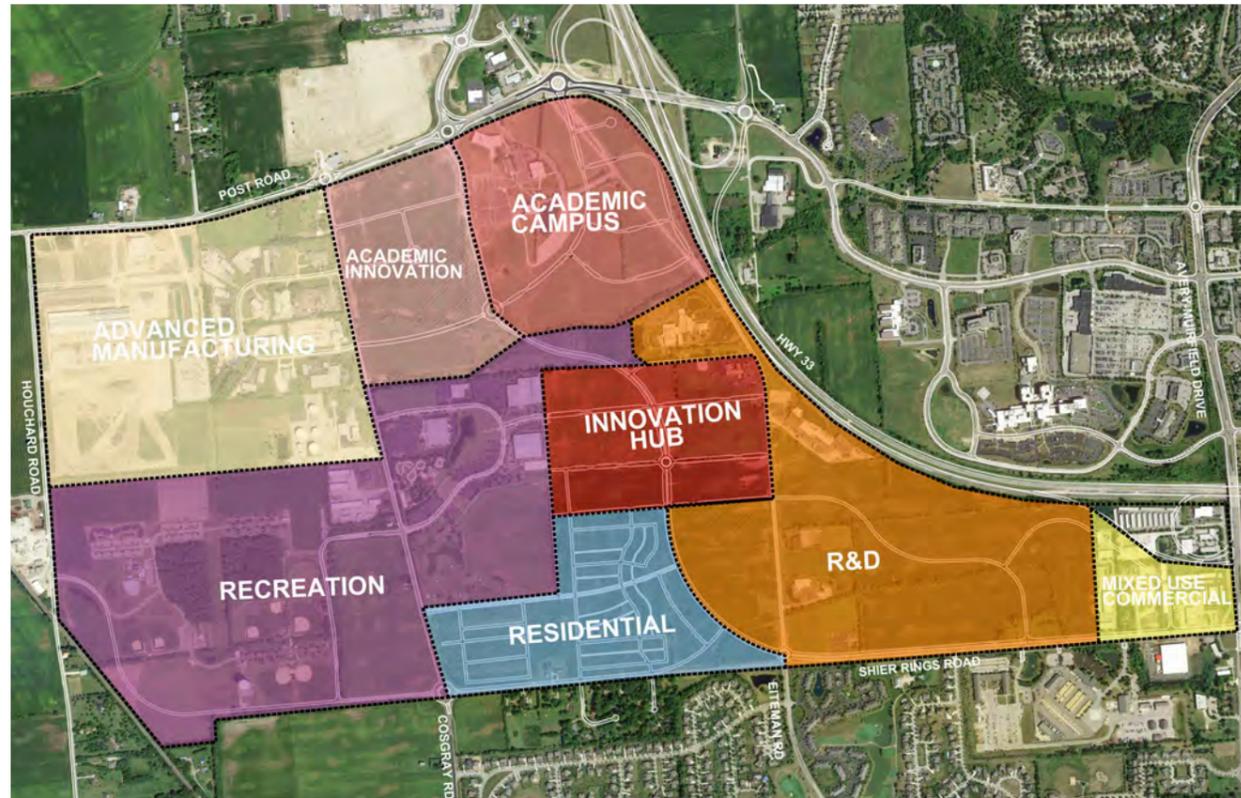
- ▶ Provide vehicular access across US33 to connect hospital/shopping to the West Innovation District

The third phase of the plan spanned from October 2016 to March 2017. This phase allowed for final comments from O'Brien Adkins, which were presented to City Council at a work session on October 17, 2017. City Council acknowledged the findings of plan and requested that the consultant continue to work towards a draft plan. In conjunction with the City's review process, the Ohio University Board of Trustees adopted the Dublin Campus Master Plan in March 2017.

CONDITIONS

(Language to be inserted)

FUTURE LAND USE



Proposed future land use map



Conceptual drawing of entry to the West Innovation District

The West Innovation District is divided into nine sub-districts as a means of reinforcing the development vision for the district. Each sub-district has unique economic, physical and design characteristics that when combined fulfill the vision for WID. Many of the sub-districts support mixed-use development in the effort to provide the synergy necessary to support a work-live-play environment.

SUB-DISTRICT: ACADEMIC INNOVATION CAMPUS

The Academic Innovation Campus is the key catalyst for innovation in the West Innovation District. It serves as the home of the Ohio University-Dublin Campus. The campus master plan is organized by an urban, walkable 24/7 “main street” environment for academia, research and living. The energy of the campus will permeate all the other districts and promote the development of entrepreneurial enterprises and public and private partnerships. Possible land uses include:



Proposed Framework Plan

- ▶ Universities and academic uses (office, classroom, laboratories) with campus amenities (wellness, recreational and cultural)
- ▶ Parking facilities
- ▶ Retail, restaurant, bar, personal services and related amenities as secondary uses

- ▶ Hotel and conference center
- ▶ Entertainment venues
- ▶ Parks, plazas and natural open space facilities
- ▶ Facilities that support a multi-modal transportation system

- ▶ Residential uses for graduate students, faculty, researchers and employees, as well as multi-generational housing

Examples may include the Ohio University, and the Columbus State Community College.

SUB-DISTRICT: ACADEMIC INNOVATION DISTRICT

The Academic Innovation District is the location where the private sector and academia come together to collaborate on ideas through series of research, development and advanced manufacturing uses. It is located west of the Ohio University campus, but can be physically integrated. Here ideas and near “proof of concepts” will emerge from the lab to advance the “scale up” phase in the private sector. Land uses include:



Academic Innovation District within the West Innovation District

- ▶ Office, research and light manufacturing
- ▶ Academic/advanced manufacturing blend
- ▶ Laboratories
- ▶ Specialized educational and training facilities

- ▶ Educational and teaching spaces including makerspace

Examples may include public and private partnerships, maker spaces, pilot manufacturing, training facilities, testing and analytical labs, and small scale research.

SUB-DISTRICT: INNOVATION HUB

The Innovation Hub is the nucleus that defines the West Innovation District by blending a variety of uses in a central location. It unites the district throughout the day and evening fostering the growth of startup companies and established businesses alike. The Hub creates a “town center” physical environment that supports a range of office, retail, services, cultural, recreational and education that supports the entire district. Land uses include:

- ▶ Office, research and educational uses
- ▶ Ground floor retail and services
- ▶ Retail, restaurant, bar, personal services and related amenities as secondary uses (freestanding and large format retail are not appropriate)



Conceptual drawing of The Innovation Hub

- ▶ Upper floor residential uses

Examples include start-up businesses, incubator, STEM school, loft residential, maker spaces, business centers, innovative headquarters, residential and retail wrapping parking garages.

SUB-DISTRICT: ADVANCED MANUFACTURING DISTRICT

The Advanced Manufacturing District is an area dedicated to the support and production of sustainable technologies for the future. Major employers are expected to locate to this sub-district. Both large and small scale footprint buildings are appropriate. Possible uses include:

- ▶ Office uses
- ▶ Research and light manufacturing
- ▶ Data centers

Examples include prototype development, light and advanced manufacturing, data centers and mission critical operations and “clean tech” manufacturing.



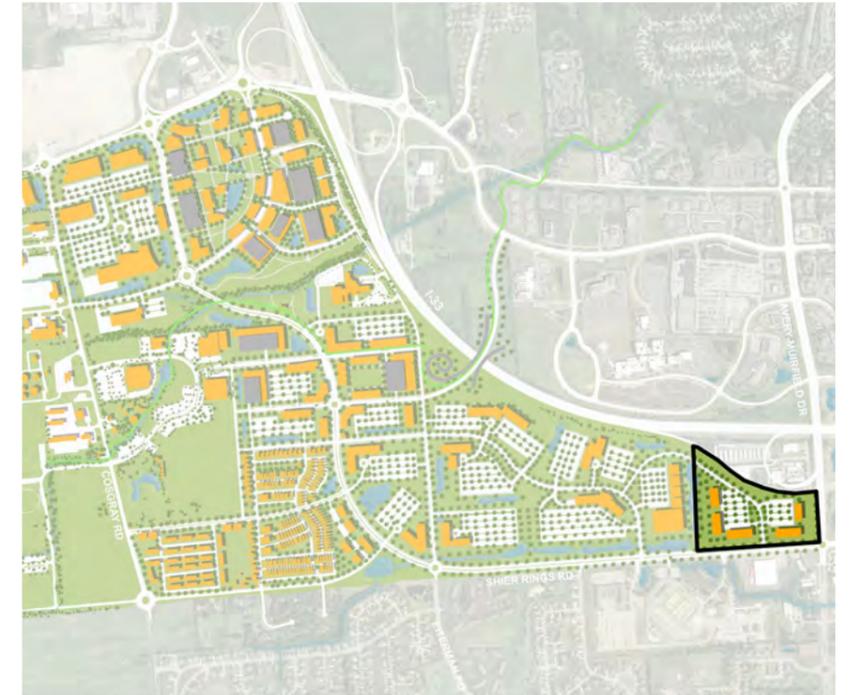
Advanced Manufacturing District within the West Innovation District

SUB-DISTRICT: MIXED-USE COMMERCIAL DISTRICT

The Mixed-Use Commercial District provides services and amenities needed by the West Innovation District, as well as nearby neighborhoods and the greater Dublin community. It builds upon an existing commercial development pattern, but seeks to encourage redevelopment and infill as land is annexed into Dublin for centralized water and sewer services. Land uses include:

- ▶ Retail and personal services
- ▶ Childcare
- ▶ Fitness clubs
- ▶ Lodging

Examples include neighborhood retail, commercial and business service center, and hotels. Large format retail is not appropriate.



Mixed-use Commercial District within the West Innovation District

SUB-DISTRICT: RESIDENTIAL DISTRICT

The Residential District is a modern, sustainable neighborhood offering a mix of housing targeting single-professionals, young families and empty nesters alike and that engage and work in the West Innovation District. It is located within walking and biking distance of all sub-districts. Land uses include:

- ▶ Single-family, two-family and multi-family residential uses
- ▶ Open space, recreational and cultural amenities

Examples include multi-family units, townhomes, patio homes, single-family detached units, shared community spaces and community gardens.



Conceptual rendering of residential neighborhood

SUB-DISTRICT: RESEARCH & DEVELOPMENT DISTRICT

The Research and Development District is an area reserved for mature innovation companies that desire the autonomy of their own site and require ample space for expansion. This sub-district offers a limited number of larger sites with ample parking, as well as visibility along U.S. 33. Land uses include.

- ▶ Office
- ▶ Research and laboratories

Examples include office and research labs, scale up facilities, testing and analytical labs and medical uses.



Conceptual development along US 33

SUB-DISTRICT: RECREATION DISTRICT

The Recreation District is where people inside and outside of the West Innovation District can enjoy recreational activities that are both active and passive with greenways, open spaces and structured facilities. This sub-district is comprised of city-owned parkland, as well as privately owned parkland (Sports Ohio). Land uses include:

- ▶ Parks and recreational facilities
- ▶ Passive open space
- ▶ Cultural facilities

Examples include open play fields, active and passive recreational space, greenways, indoor and outdoor facilities, pavilions and music venues, hosting regional and national events.



Recreation District within the West Innovation District

It should be noted that Sports Ohio benefits from industrial zoning commitments in the EAZ zoning district.

FISCAL ANALYSIS

Along with future land use recommendations, the consulting team completed a fiscal analysis based upon the build out forecast that accompanies the land use plan. The forecast sought to estimate the number of jobs that could be generated (and the related wages) based upon the build out forecast.

The analysis determined that the land use plan could accommodate about 3.9 million square feet of development, which represents a private investment value of \$711 million (this excludes public infrastructure investment). Based on industry multipliers, this square footage would yield about 10,500 jobs with an annual payroll of about \$711 million. Based on the City's current income tax rate of 2.0%, this would generate about \$14 million annually in municipal revenues.

CAPACITY AND INVESTMENT PROJECTED BUILD-OUT

USE	CAPACITY	INVESTMENT
Academic Campus	Not included	Not included
Residential	Not included	Not included
Academic Innovation District	911,200 SF	\$164,016,000
Innovation Hub	1,382,900 SF	\$193,606,000
Advanced Manufacturing District	328,200 SF	\$45,948,000
Research & Development District	1,195,000 SF	\$268,875,000
Mixed-Use Commercial District	123,000 SF	\$13,530,000
TOTAL	3,940,300 SF	\$711,975,000*

*Includes \$26M for parking decks

JOBS AND WAGES PROJECTED BUILD-OUT

USE	JOB	WAGES
Academic Campus	Not included	Not included
Residential	Not applicable	Not applicable
Academic Innovation District	1,800	\$135,000,000
Innovation Hub	3,670	\$256,900,000
Advanced Manufacturing District	650	\$35,750,000
Research & Development District	3,500	\$280,000,000
Mixed-Use Commercial District	180	\$4,500,000
TOTAL	10,500	\$712,150,000

With these financial incentives to the City, this area can be a primary contributor to the vitality and fiscal health of our community. ▶

STANDARDS

A. ARCHITECTURAL CATEGORIES

(MATERIALITY, COLOR, MODERN, COMPOSITION)

Materiality

The materials used in the West Innovation District will define the district as a modern and creative space. Below are some of the common materials to be deployed. In order to maintain a high standard of quality materials are to be used in an authentic way that highlights each material's individual strengths. Materials that emulate a different material are discouraged (i.e. EIFS is a material that tries to simulate stone or concrete or a wall that is painted to look like stone). There are materials beyond these listed (i.e. composites, plastics, etc) that are encouraged which should be evaluated in terms of their integration into the design of a building to support flexibility and creativity.



Ohio University building in Dublin

Glass

Lightweight, transparent, and cool - glass connects the outside and inside. It blends with the sky during the day and glows like a lantern at night. It works in a range of scales and due to its versatility and function it is encouraged to be a predominate material. Designers are encouraged to maximize glass in the design of their elevations.

Metal

Lightweight, strong, flexible and permanent - metal represents technological advancement as a material that advanced humanity from the first basic tools to the plethora of alloys and processes that provide us nearly boundless options. Metal has the most variety of any other materials and thus its use is encouraged to be used in creative ways that represent the West Innovation District as a leader in innovation.

Stone

Heavy, permanent, textural and warm - stone provides a solid connection to the earth and evokes an emotion of safety and comfort. The use of stone in the Western Innovation District is encouraged but should be limited to the authenticity of the material. Its gravity suggests it should bear its weight to the foundation and is appropriate to use at the ground level of an elevation.

Clay

Solid, warm, resilient and smooth - hardened clay in its two products (Brick and Terracotta) is a versatile product that has been used in construction for over 5000 years. The scale of brick makes it a great material to be experienced in low-to-medium height buildings which is encouraged to be used in those applications. Terracotta works well in all scales due to its varied sizes and comparative lightweight nature.

Wood

Warm, textured, pliable, and sustainable - wood is reminiscent of the natural environment in contrast to the built environment. An approachable material that gives comfort and brightness to any facade. The use of wood is encouraged in the West Innovation District. Used in contrast with the more weighty/colder materials of brick, stone, metal, or concrete can create a pleasant balance that will contribute to the overall district.

Concrete

Fluid, heavy, hard, cool - concrete is a material that can be sculpted to create dynamic shapes and spaces. A designer has to be careful with its use however because it can easily create an austere and intimidating facade if used in the wrong way. Limited use of concrete is encouraged to avoid creating brutalist facades. It is often used best in contrast with a lighter material.

Color

A natural color palette is encouraged and is easily achieved when materials are used in an authentic manner. The use of bright colors can also be used but their application should be limited and derive from the need to highlight a particular function of the building. If a bright color is used, it should be only one color and should be limited as an accent.



'Simone Veil' Group of Schools in Colombes, France / Dominique Coulon & associés

Modern

Modern architecture can be described as the buildings that represent the current time period. This most commonly is illustrated with the current building technologies and the artistic styles that have spawned from those technologies. Buildings in the West Innovation District are encouraged to be modern in character. This is not to be confused with "modernist" which was an architectural style of the mid-20th century. Also, buildings that use older architectural styles in

an effort to recreate an historic character should not be in this district. The West Innovation District is about the future and those styles are not forward looking.

Modern architecture starts with the technology of this time. Technology has allowed buildings to become better human shelters. Glazing technologies have allowed buildings to let more natural light in and views out and buildings facades dominated

with these types of systems are encouraged. Technologies and design strategies that include sustainable design features are part of being modern and encouraged. This includes anything from solar devices, green roofs, photovoltaics and beyond. Creativity is part of the modern style. Due to advances in design tools and fabrication methods buildings can have more organic and unique designs and this is encouraged in the West Innovation District.

Composition

The West Innovation District does not want to be over restrictive in the composition of the architectural character of its buildings that would limit creativity, however designers will be encouraged to follow some basic guidelines to ensure that the styles accurately reflect the goals of the community.

Massing

The massing of the buildings in the West Innovation District should be dynamic. Flat and box-like massing are discouraged as they do not create a community that appears welcoming.

Scale

Buildings should try to address the scale of a person. When walking next to a building it

should not feel overwhelming. When architectural and landscape devices are used properly, the scale of the exterior feels welcoming despite the actual size of the building.

Variation

Architectural variety is encouraged at the West Innovation District. Architects are encouraged to try to find elements to tie into the surrounding architecture but not imitate any other buildings that are on the district.

Transparency

Buildings in the West Innovation District are encouraged to provide as much transparency as their programs will allow. In particular, transparency should be

maximized in ground floor spaces occupied by retail, restaurant, personal services and related uses. Offices, research and related uses should maximize transparency on upper floors as the interior programming allows. In general, transparency makes the community overall more connected and entices collaboration.

B. LANDSCAPING

Plant Palette

The District will use a diverse planting palette of shade trees along roadways and flowering trees to denote intersections. Parking areas will employ hardy shade trees and evergreens for screening. Seasonal color will be a key ingredient at pedestrian areas and entry points to the District.

Supporting Role

The landscape will play a supporting role to the built environment, art work and open spaces. Complementary in scale it should never be the center of attention or main player in the Districts design.

Parking Lot Landscaping

(Language to be inserted.)



Conceptual landscaping map

C. ROADWAY CHARACTER



Conceptual roadway map

Views

Landscaping along roadways should never interfere with the function and safety of the roadway corridor. Views along roadways should be clear and open with direct sightlines to intersecting roadways and across traffic circles.

Lighting

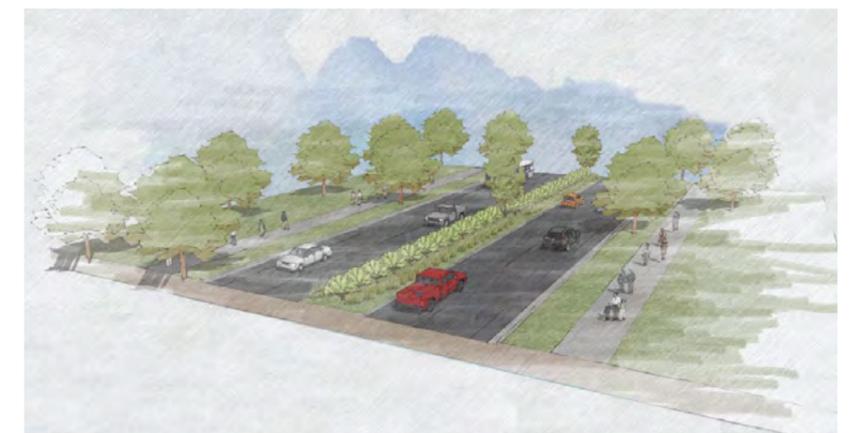
Lighting should be placed in sequence with the trees and illuminate both the roadway and pathways.

Paths & Bikes

Multi-use pathways and sidewalks should be placed along all roadways at an appropriate width to facilitate walking and biking, consistent with City standards. Bike lanes should be placed along roadways and striped, as deemed appropriate by the City Engineer.

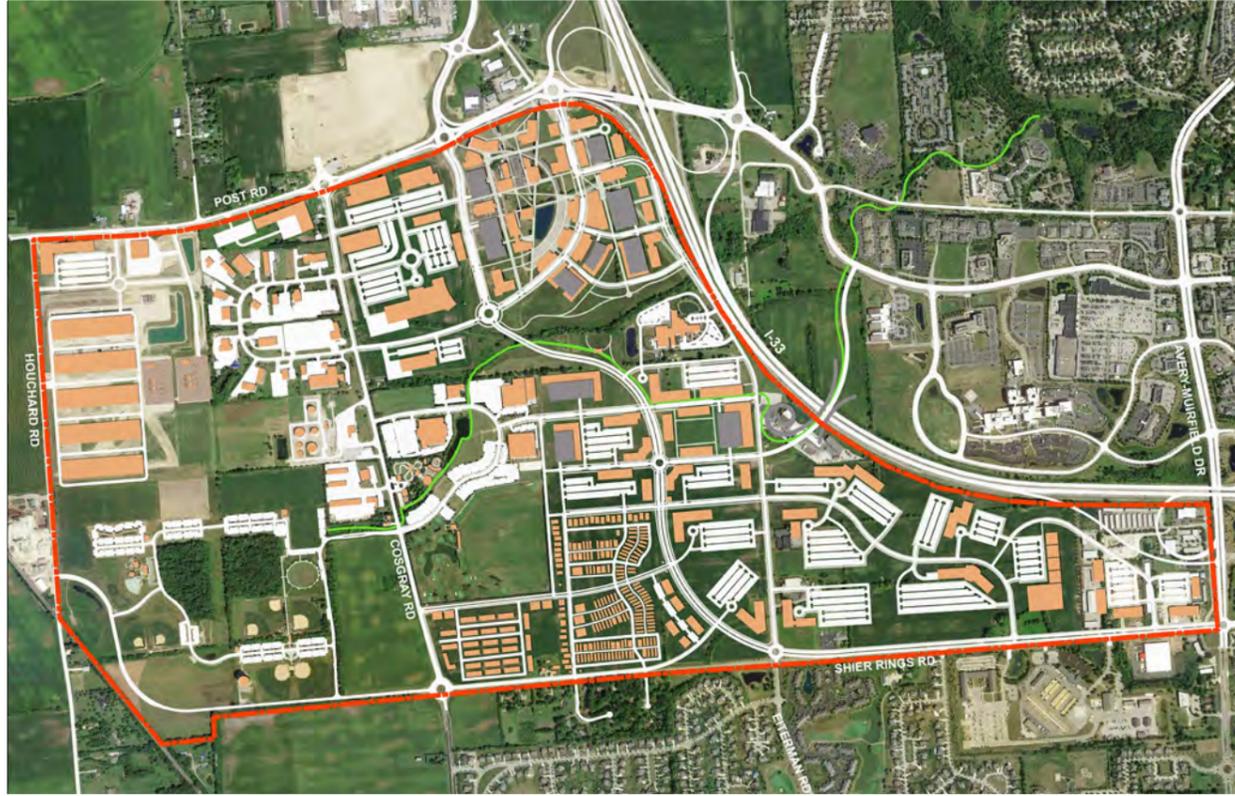
Landscaping

Landscaping along roadway edges should be lined with shade trees and provide a rhythm and identifiable character for the road. Median plantings should remain low and block opposing headlights where appropriate. Use flowering trees to enhance traffic circles and intersecting roadways.



Typical roadway

D. DESIGN CONSIDERATIONS



Conceptual building placement and site development map

The West Innovation District should represent the cutting edge in design and best practices for site development. Buildings should be a modern design and showcase technology and the properties intrinsic of the company it represents. Sites should employ sustainable design practices, public art and have a clear arrival sequence and provide the minimum amount of parking required by the user.

Building Placement

The architectural design of the buildings should be done in such a manner as to take advantage of the unique character of a site. The form of the building should be respectful of existing environmental site conditions and relate to the adjacent structures. Building massing should aid in defining the volume and pattern of the street and incorporate human scale details at the street

level. Intersections are nodes of public engagement, the corners of a building should help define the intersection. Notable features should be incorporated as wayfinding and terminal vista features. The orientation of windows and walls should be considered so as to incorporate desirable view sheds and to take advantage of passive energy efficiencies. Care should be taken to reduce environmental site impact by minimizing the footprints for parking and stormwater management ponds.

Service Locations

Strategically place the service functions of buildings where they do not disrupt the primary views and detract from the public spaces consistent with City Standards.

E. GREENWAYS



Conceptual greenways map

An active lifestyle and recreation is a key component in the lives of today's young workers and families. Greenways play a vital role meeting these needs. Disengaged from roadways and vehicles, these pristine pathways are highly valued for escaping the hustle and bustle of the District.

Connectivity

Greenways provide access across the West Innovation District and a connectivity to the broader community.

Informal

Greenway paths should be informal in their design and allow for long graceful curves. The paths should provide for clear line of sight and have occasional conveniences such as information kiosk and blue light security call stations.

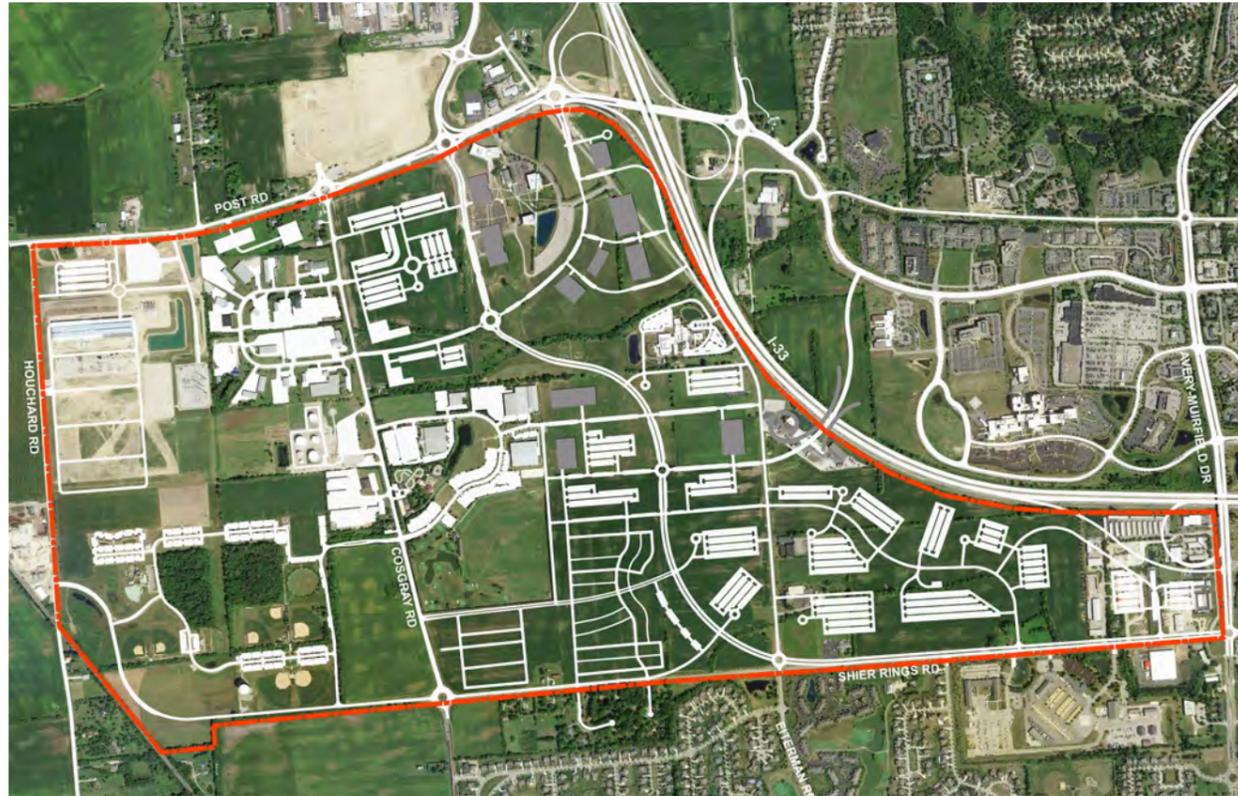
Stream Crossings

Provide footbridges at stream crossings and minimize disturbance to the water course.



Conceptual greenway and stream

F. PARKING ACCOMMODATIONS



Conceptual parking map

Security

Feeling safe is an important aspect of good parking lot design. Parking areas should be well lit and have call stations where possible.

Sustainable

Parking areas are appropriate for deploying sustainable practices such as solar shade structures, pervious paving, rain gardens and drought tolerant landscaping.

Views

Parking areas should be screened from view from the public right of way consistent with City standards and neighboring tracts of land. A combination of berms and landscaping can accomplish this effectively and add to the areas beauty.

Nature

Breakdown large expanses of pavement with mini tree grooves or tree islands.

Screen

Structured parking should screen the structure as much as possible. This can be done with facade treatments that match the surrounding architecture or wrapping the structure with other programmed spaces such as residential or office.

G. SIGNAGE AND WAYFINDING

Family of Design

All wayfinding signs throughout the District, regardless of size of type, should be a related family of design with repeating forms, colors and logo identity. This serves to unite the District and make navigating easier for its users.

Branding

The wayfinding signs should reinforce the Branding of the District. Signs are a repeating element that mark the identity of the place and reassure users of their arrival and location.



Conceptual rendering

H. HYDROLOGY AND STORMWATER MANAGEMENT

Water Runoff

Runoff from parking lots and the built environment should be directed into rain gardens and storm water basins where impurities can settle and the water treated before being released into the natural water courses and streams. In addition, storm water runoff can be harvested and used for irrigation and even mechanical cooling systems.

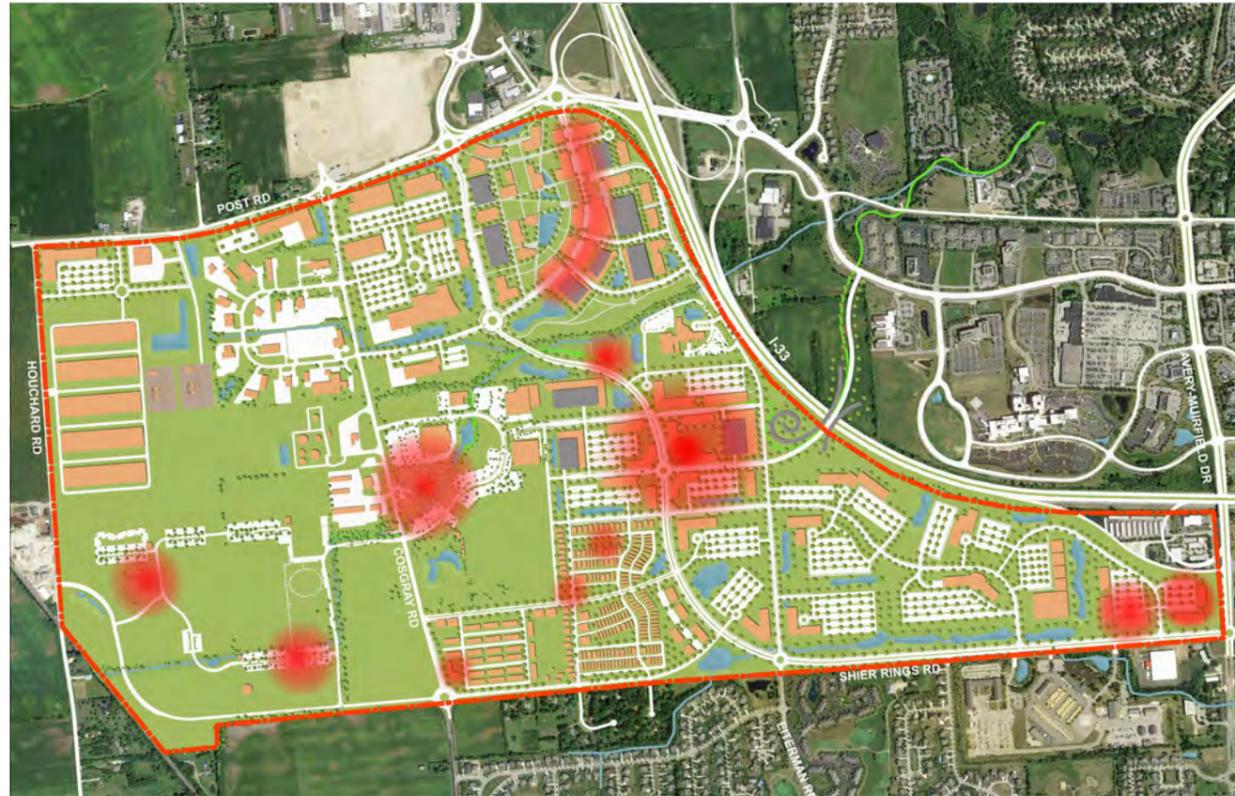
Water in Nature

Natural streams and water courses in the West Innovation District are a highly valued resource. They attract wildlife and add to the beauty of the surroundings. Streams are protected by buffers from development and are regulated by the EPA.



Conceptual stormwater management map

I. OPEN SPACE AND SOCIAL GATHERING SPACE



Conceptual social gathering space map

Open Space Value

The aesthetic value we place on a development often is directly related to the amount of open space present in the plan. The West Innovation District has been planned to work with the existing landform and integrate its natural resources such as streams and wetlands. As a result, a plan has emerged that offers a cluster of dense work environments and broad open spaces.

Striking a Balance

The districts overall density is carefully balanced with the quantity of open space. As designed, the plan is approximately 30% to 40% open space. Keys to regulating the open space amount are: widths of building setbacks, storm water requirements, building heights and parking methods.

Social

Social gathering spaces are critical to the success of the West Innovation District. The plan provides for mixed uses of housing, restaurants, music events, community fairs and farmers markets to be integrated into the work components of the District. The Innovation District acknowledges a life beyond work and understands that today's workers have extended their business hours into all hours of the day.

J. INFRASTRUCTURE

Services

The West Innovation District will be ready for the users that will expect fast internet, large quantities of water and clean power. The demands on today's high tech Industrial and Innovation Parks are greater than ever. Companies require robust capacity in all facets of their business and rates that are constant and competitive.

Transportation

Roadways, bridges and rail are as important as utilities to a company's success. Shipping product on time in a cost effective manner and logistics are essential for their survival. The West Innovation District has committed to a robust infrastructure so companies can be recruited to come and existing companies can stay and thrive.



Conceptual pedestrian network map

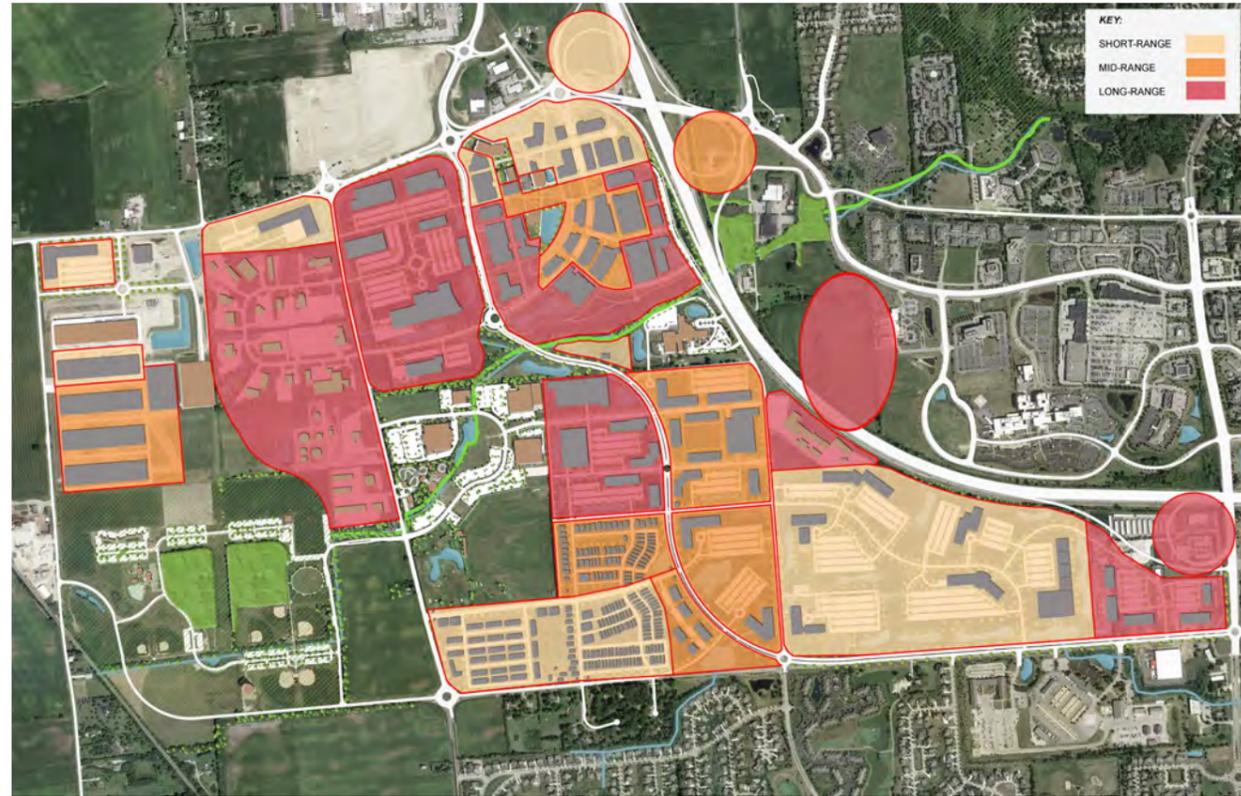


Conceptual bike path network map



Conceptual vehicular network map

IMPLEMENTATION



Proposed phasing map

(Language to be inserted)

DRAFT



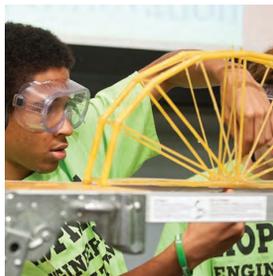
DRAFT



West Innovation District

2016 Master Plan Recommendations

October 17, 2016



DRAFT

Agenda



Background



The Land



Planning



Master Plan



Discussion





Background

2007 Master Plan

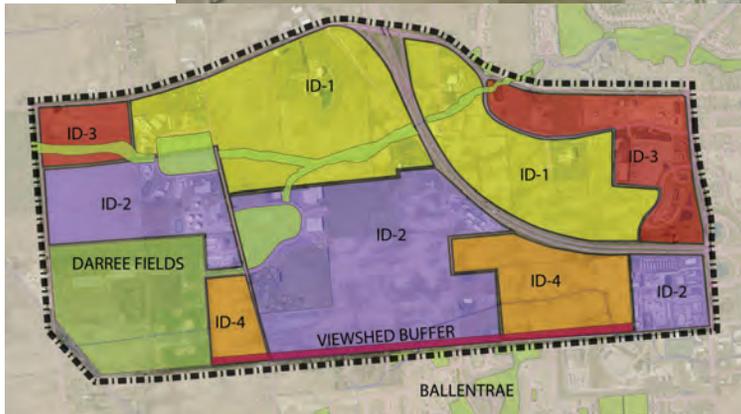
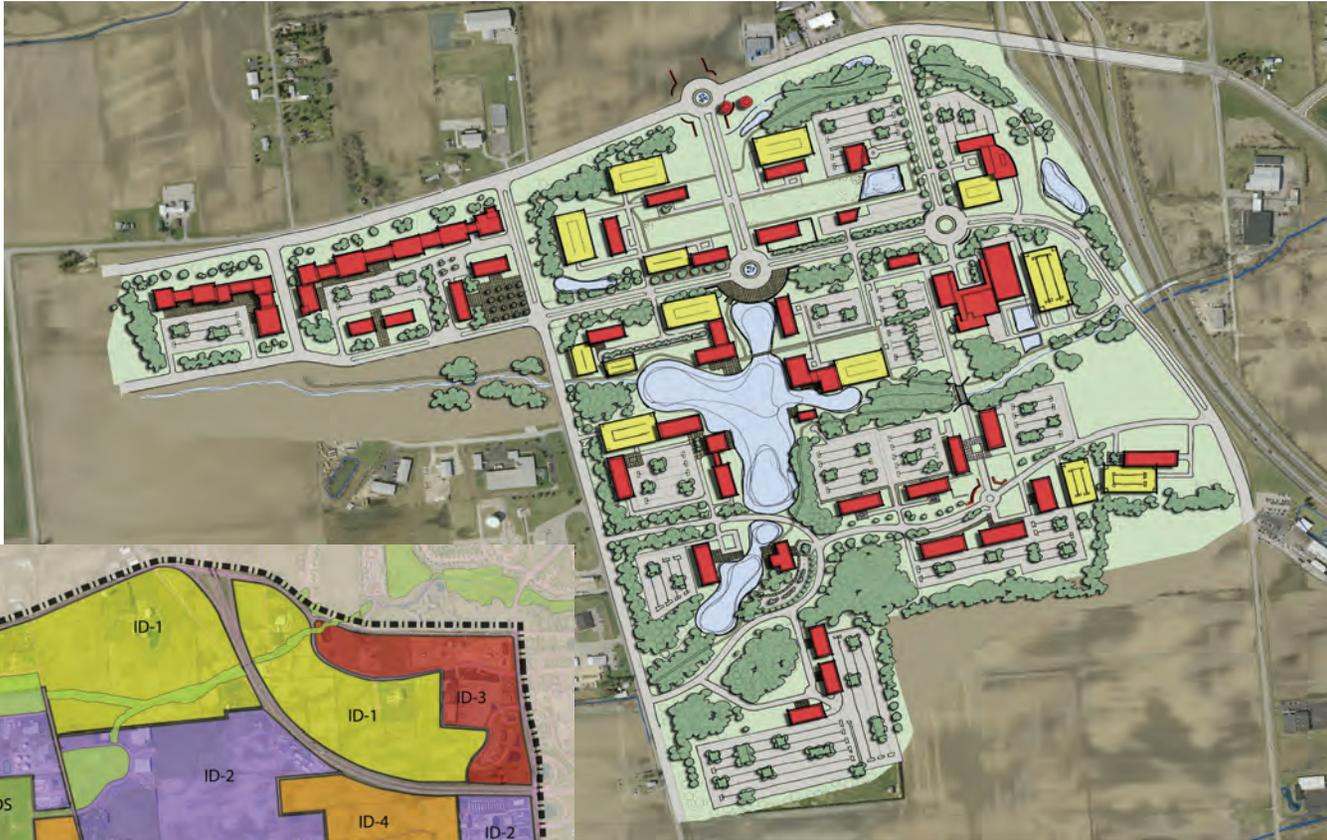
Change

Assignment Scope



Background

History



- OSU - James Cancer Center & Proton Therapy
- Economic initiative
- EAZ (Economic Advancement Zone)
- Large land assemblage
- Large anchor tenants
- Zoning foundation
- Acquire key tracts
- Roadway improvements planned



Background

Change

1 | Economic

2 | Physical

3 | Trends



Background

1 | Economic

- Great Recession 2007
- Doing more with less
- Faster, cheaper, efficient
- Companies working with smaller footprints
- Companies having to adapt quickly to survive
- More free-lancers / less long term staff
- Automated technologies



2 | Trends

- Compact / walkable
- Millennials driving workforce
- Talent competition - recruit & retain
- Technology
- PPP - public - private partnerships
- Interdisciplinary research model
- Entrepreneur driven innovation & research



3 | Physical

- Ohio University
- Columbus State Community College
- Large anchor tenants (Amazon, Command Alkon)
- Hospital growth
- Acquisition of key tracts
- Commercial development - Costco
- DubLink infrastructure



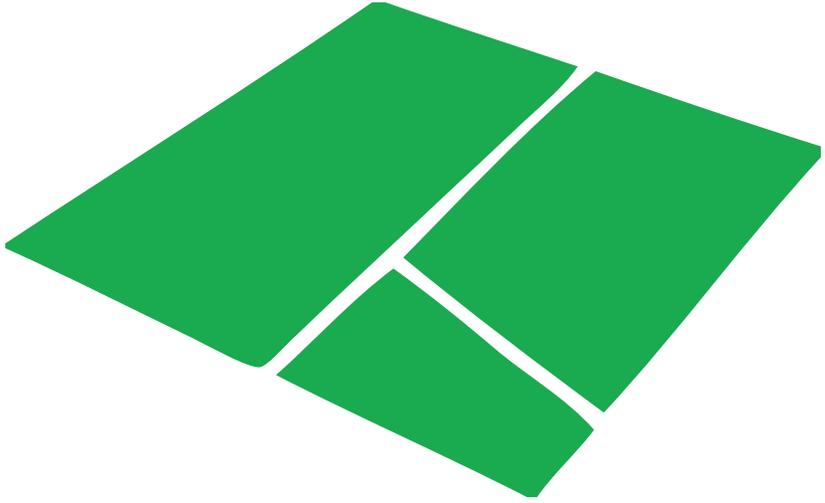
Background

2016 West Innovation District Master Plan Update

Assignment Scope

- Collaborate with Ohio University
- Updated Program
- Concept Development
- Master Plan
- Amendment Process





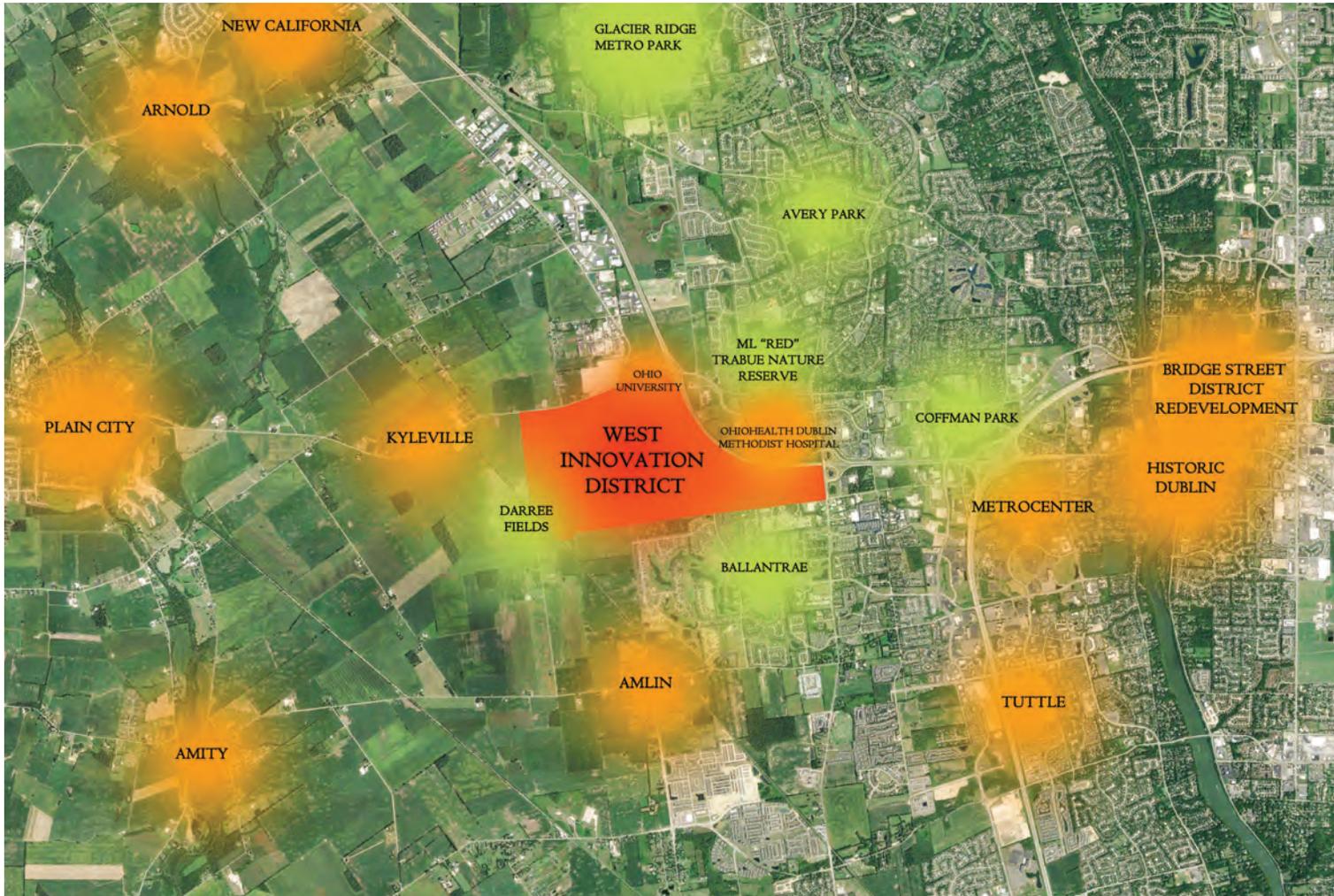
The Land

Context
Analysis



The Land

Context

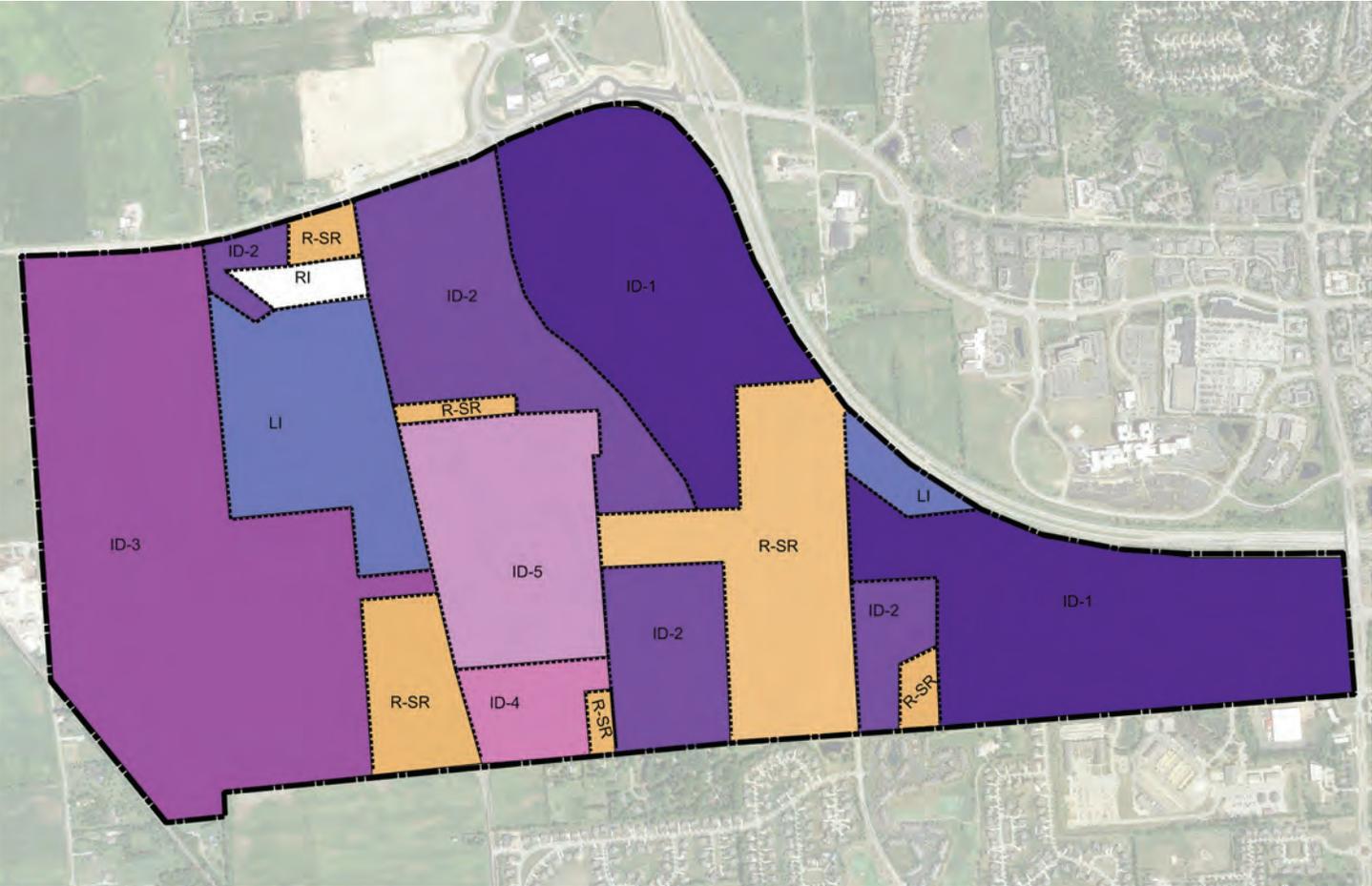


- Ohio University
- Districts
- Bridge Street
- Columbus
- Central Ohio
- Honda
- Quality of life
- Quality schools



The Land

Analysis - Regulatory & Zoning



- Innovation districts
- Works with existing conditions / uses
- Allows mixed use

The Land

Analysis - The Site

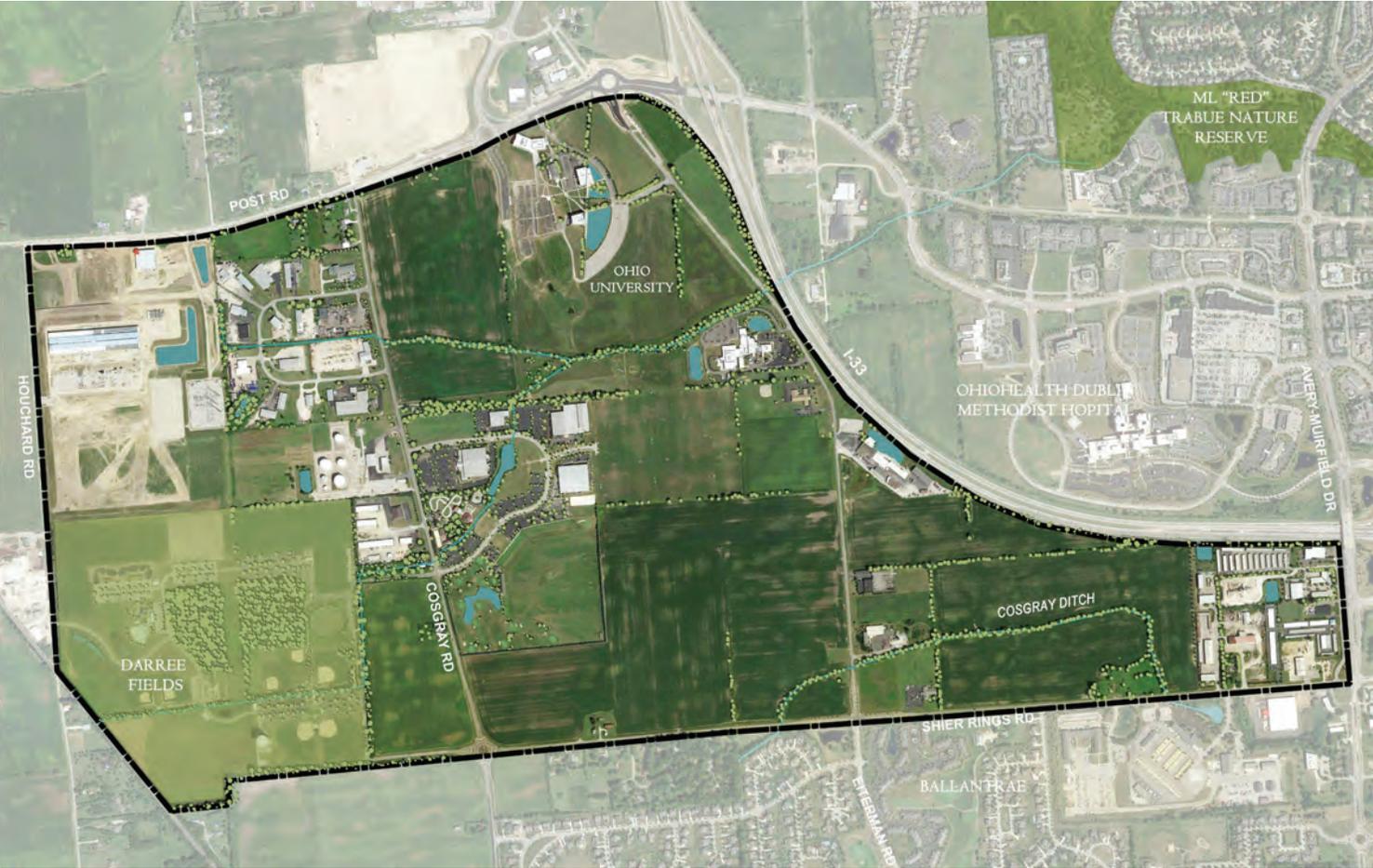


- 1,026 Acres
- US 33 image
- Good access
- Anchor companies
- Open land
- Hospital
- Positioned for growth



The Land

Analysis - Natural Features



- Well drained
- Few streams
- Buildable site

The Land

Analysis - Circulation



KEY:

- HIGHWAY
- THOROUGHFARE
- COLLECTOR

- Interchange improvements
- North / South flow
- Set up Innovation Hub
- Link across US 33



The Land

Analysis - Pedestrian movement



- 15 - 20 minute walk
- Cycle connections



The Land

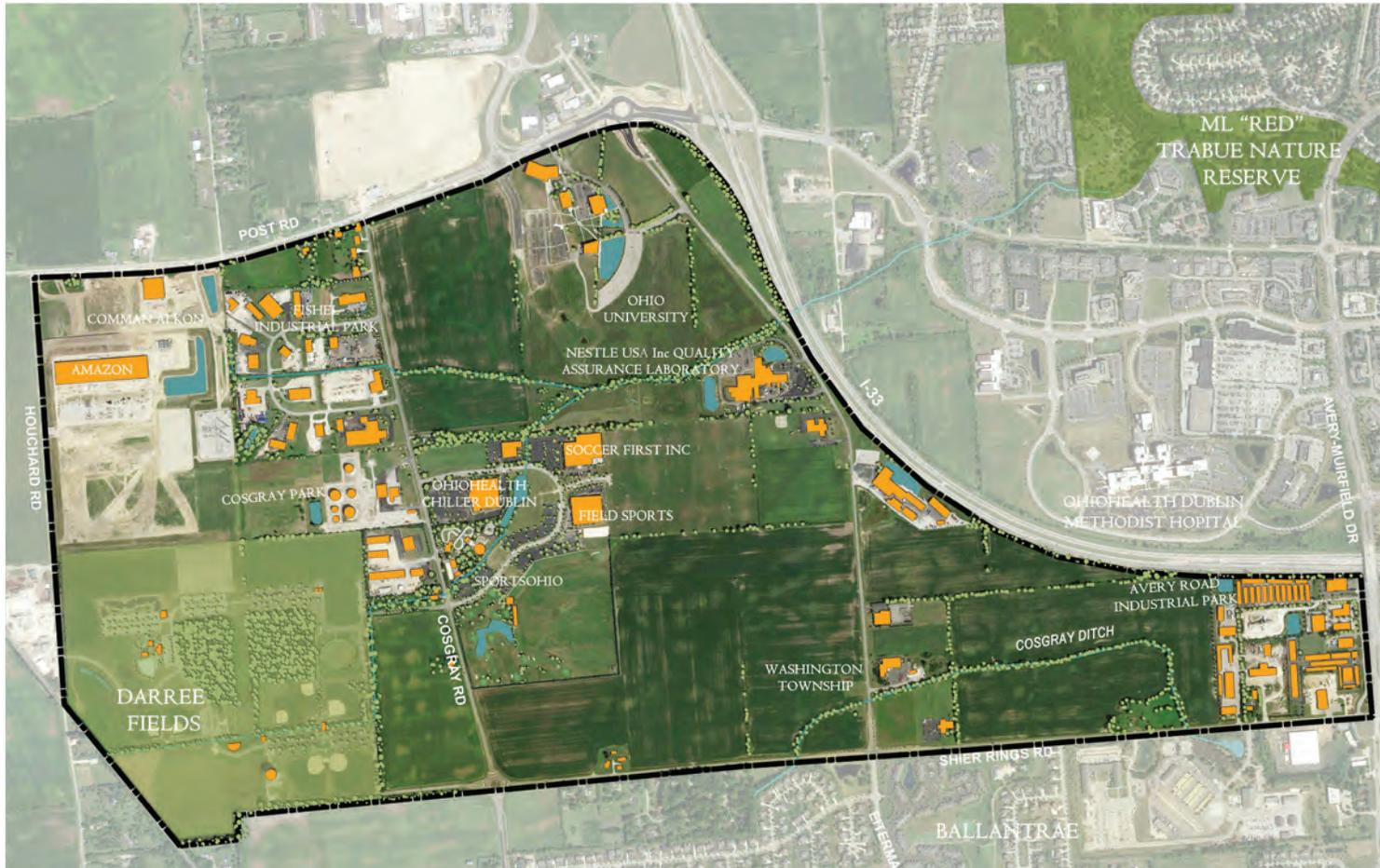
Analysis - Greenway



- Link to greater Dublin
- Walkable site

The Land

Analysis - Existing Companies and Uses



- Manufacturing
- Agriculture
- Recreation
- Nestle QA Center
- Amazon
- Ohio University and Columbus State Community College
- Sutphen
- Small businesses
- Storage
- Church and residences





Planning

Ohio University

Concepts Explored

West Innovation District - Land Use



Planning

Ohio University

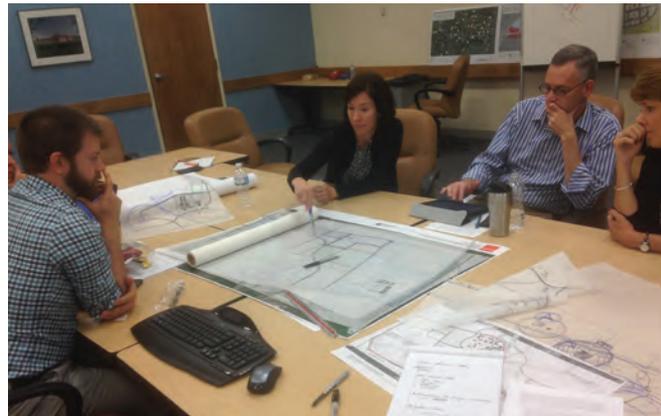


- Collaborative planning
- Anchor and catalyst
- Partnerships
- Innovation



Planning

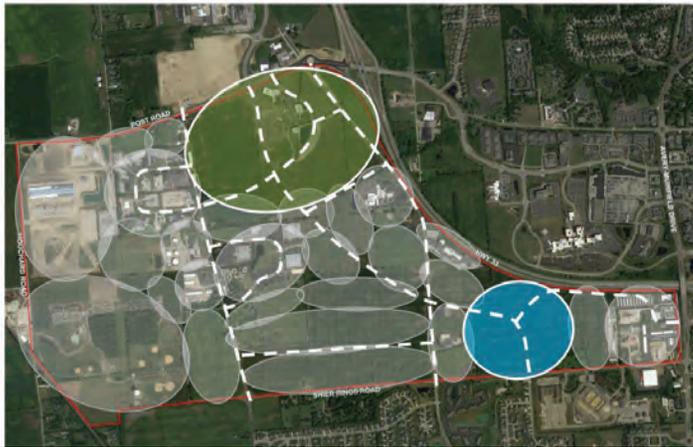
Process



- Workshops
- RTP and Centennial Campus tours
- Coordination meetings
- Open house

Planning

Concepts Explored - Core Concepts



Innovation Hub / Village

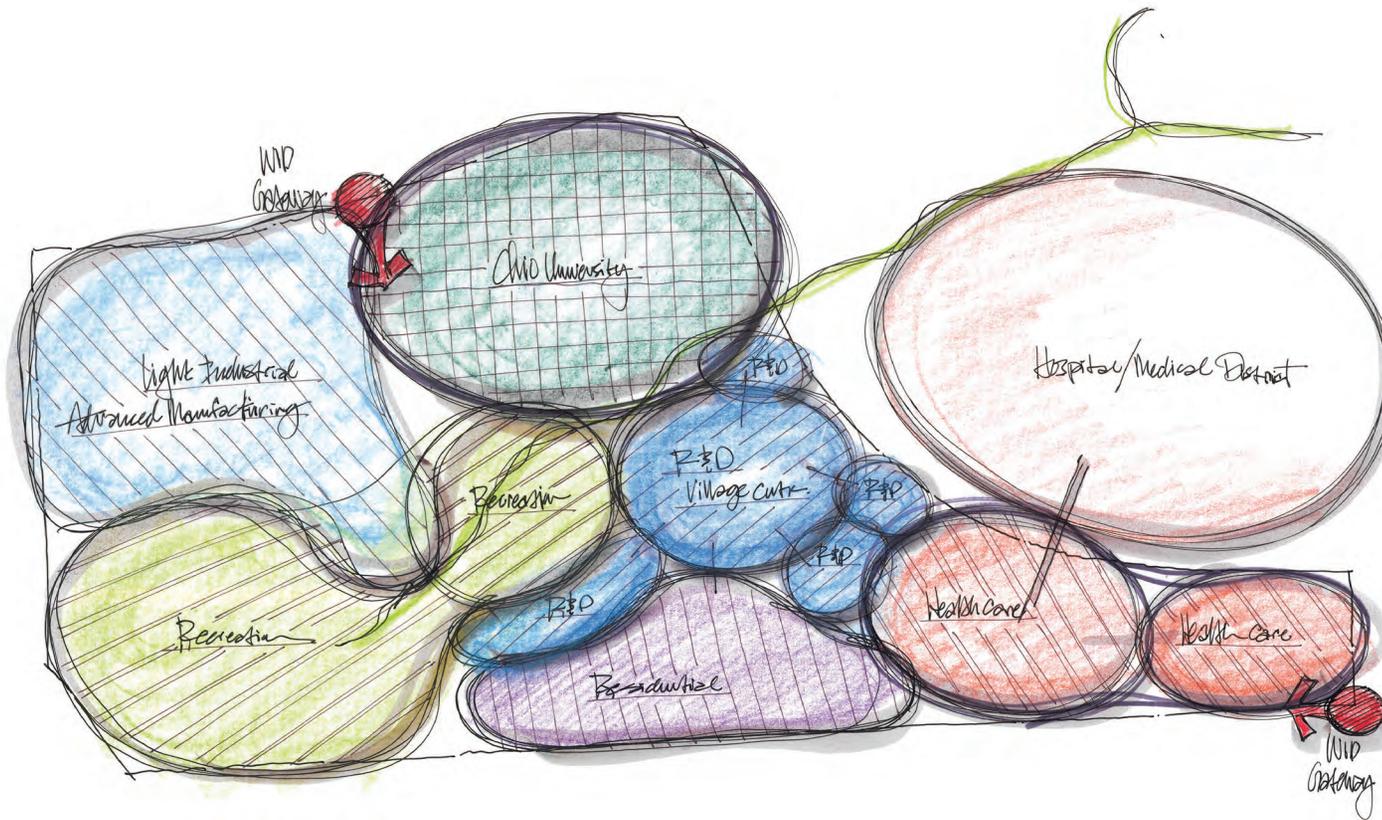
- Adjacent node
- Multi - node
- Remote node
- Imbedded node

 innovation hub

 academic campus

Planning

Concepts Explored - Concept Diagram

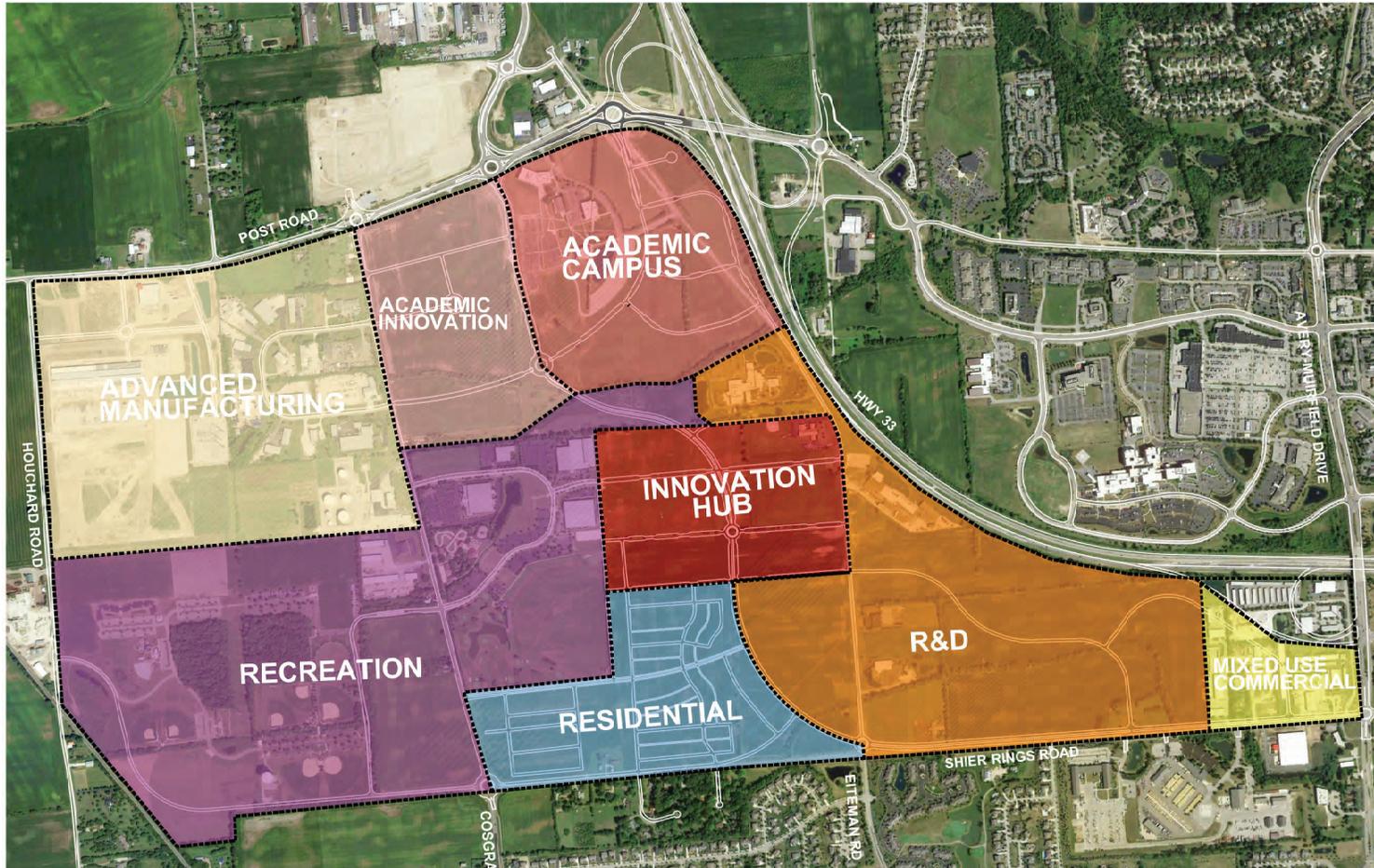


- Central hub
- Hospital connection
- Compact and walkable



Planning

West Innovation District - Land Use



KEY

- ACADEMIC CAMPUS
- INNOVATION HUB
- R&D
- ADVANCED MANUFACTURING
- ACADEMIC INNOVATION
- MIXED USE COMMERCIAL
- RESIDENTIAL
- RECREATION



Planning

Innovation Hub



- Higher density
- Start-up friendly
- Amenities
- 2-3 story buildings
- Incubator
- STEM school
- Loft residential
- Maker spaces
- Business center
- Structured parking



Planning

Innovation Hub

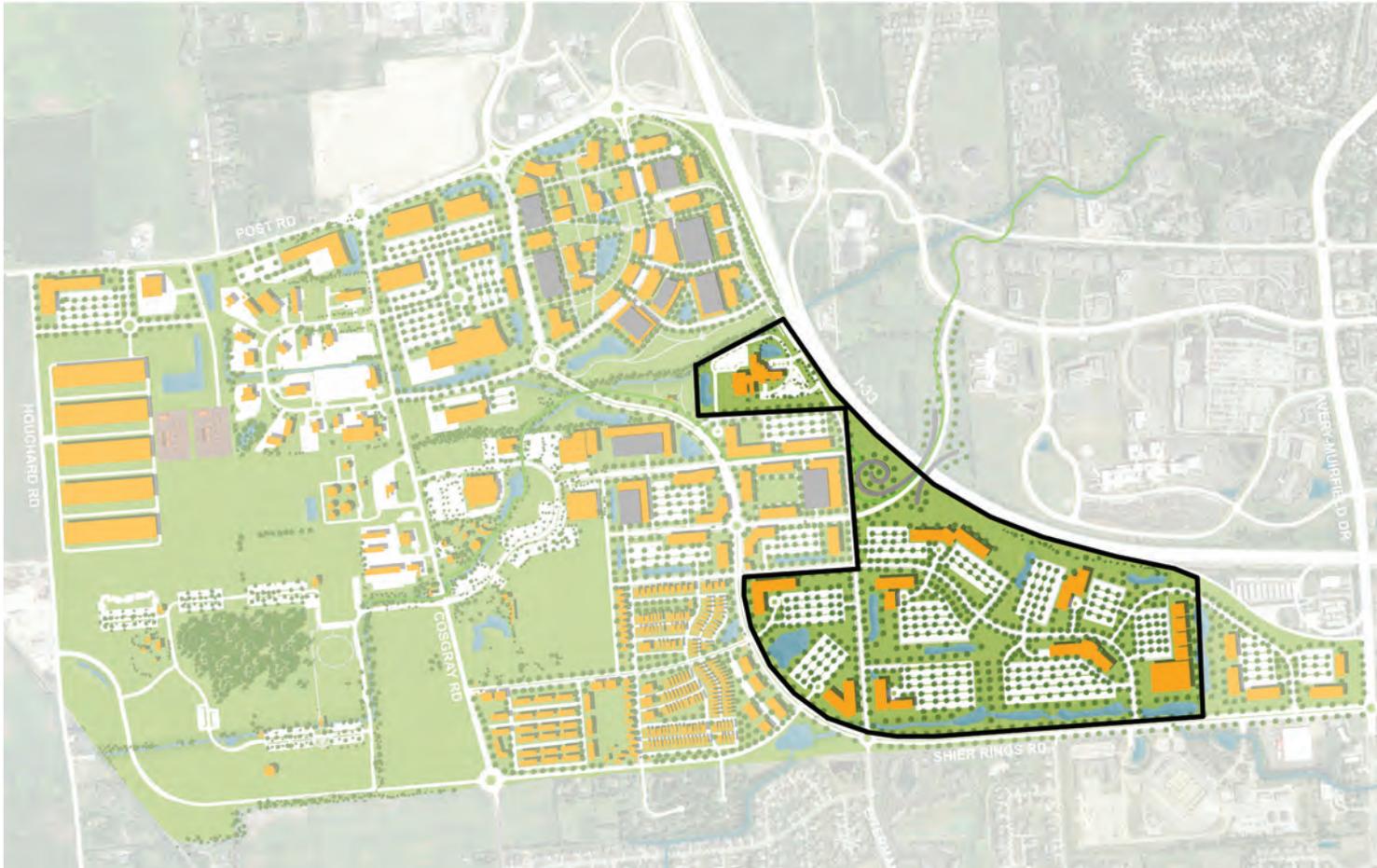


The Innovation Hub is the nucleus that defines the West Innovation District by blending many uses in a central location. It will unite the district throughout the day and evening fostering the growth of startups and established businesses alike.



Planning

Research and Development District



- Research labs and offices
- Scale up
- Testing and analytical labs
- US 33 image
- 3-4 story buildings
- Connection with hospital
- Surface parking or decks



Planning

Research and Development District



The Research and Development District is an area reserved for mature private innovative companies that desire the autonomy of their own site and require ample space for expansion.



Planning

Academic Campus District



- Ohio University
- Columbus State Community College
- Academic space and campus amenities
- Possible loft residential
- Hotel and conference center
- Possible multi generational housing



Planning

Academic Campus



The Academic Campus will be a catalyst for innovation and growth. The energy of the campus will permeate all districts and promote entrepreneurial enterprises and foster both public and private partnerships.



Planning

Academic Innovation District



- Blend of academic and advanced manufacturing
- Public/private partnerships
- Maker spaces
- Pilot manufacturing
- Proof of concept facilities / scale up
- Specialized training
- Testing and analytical labs
- Campus scale

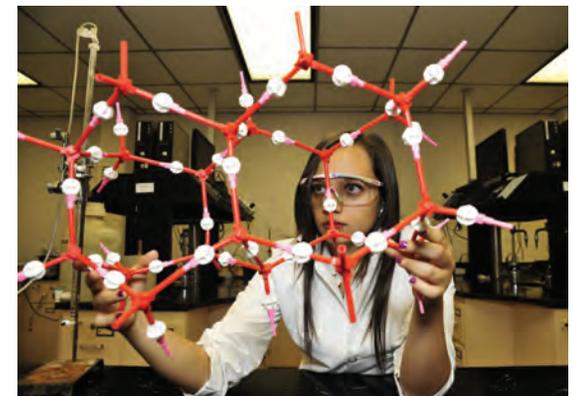
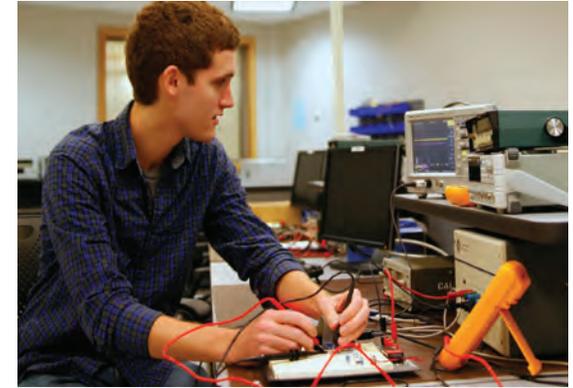


Planning

Academic Innovation District



The Academic Innovation District is the location where the private sector and academia come together to innovate. Here ideas are tested and proof of concepts will emerge from the lab, be scaled up and ready for production.



Planning

Advanced Manufacturing District



- Product and prototype development
- Manufacturing production
- Data centers/ mission critical operations
- Clean-tech



Planning

Advanced Manufacturing District



The Advanced Manufacturing District is an area dedicated to the support and production of sustainable materials, products and technologies of the future. Both large and small footprint buildings are planned.



Planning

Residential District



- Modern neighborhood
- Multi-family
- Townhomes
- Patio homes
- Single family detached
- Shared community spaces
- Community gardens



Planning

Residential District



The Residential District is a modern sustainable neighborhood offering a mix of housing that will be targeted toward career focused entrepreneurs, young families and empty nesters to conveniently engage with the West Innovation District.



Planning

Mixed Use Commercial District



- Village retail
- Commercial and business service center
- Childcare
- Fitness clubs
- Compact density
- Hotel



Planning

Mixed Use Commercial District

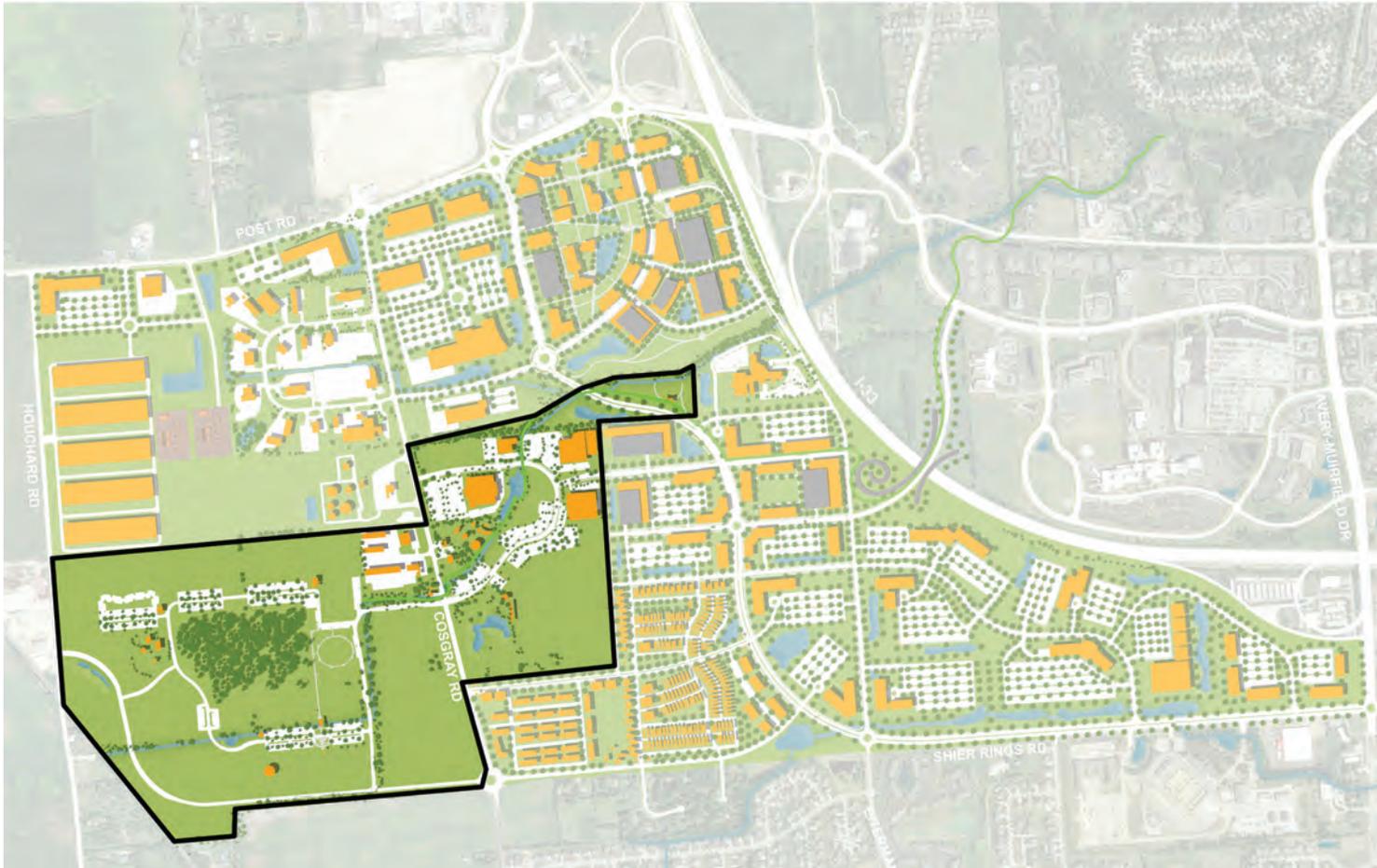


The Mixed Use Commercial District will provide services and amenities needed by the West Innovation District and the greater Dublin community.



Planning

Recreation District



- Open play fields
- Active & passive
- Greenways
- Indoor and outdoor
- Pavilions and music venues
- Host regional and national events



Planning

Recreation District

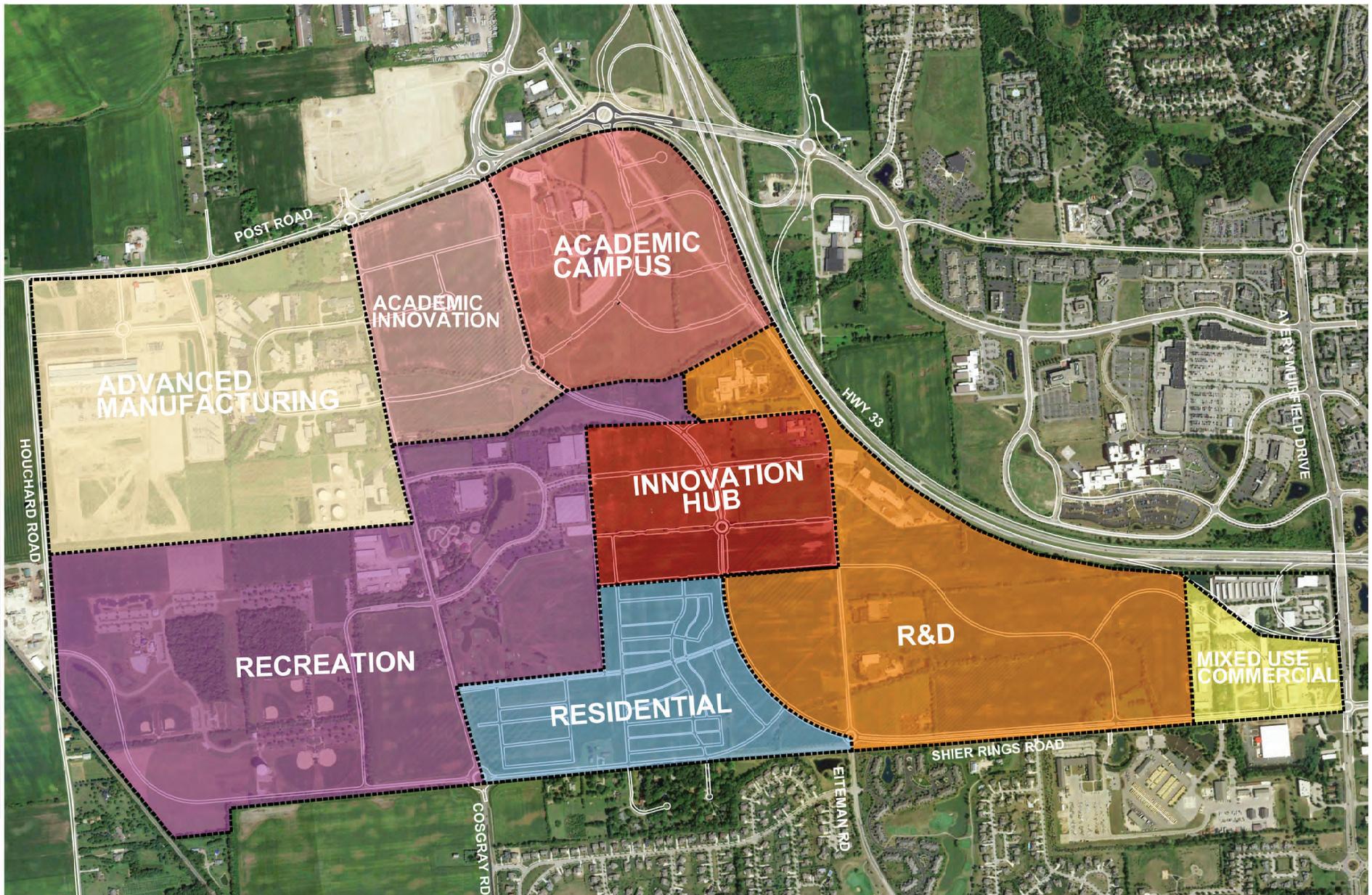


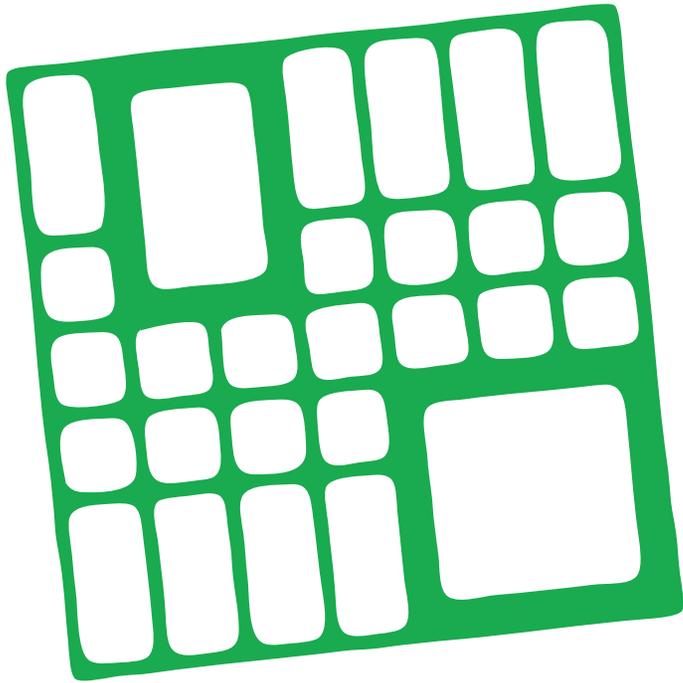
The Recreation District is where people inside and outside of the West Innovation District can enjoy recreational activities that are both active and passive with greenways, open spaces, pavilions and structured indoor facilities.



Questions

What are your comments & thoughts about the Land Use Districts that are proposed?



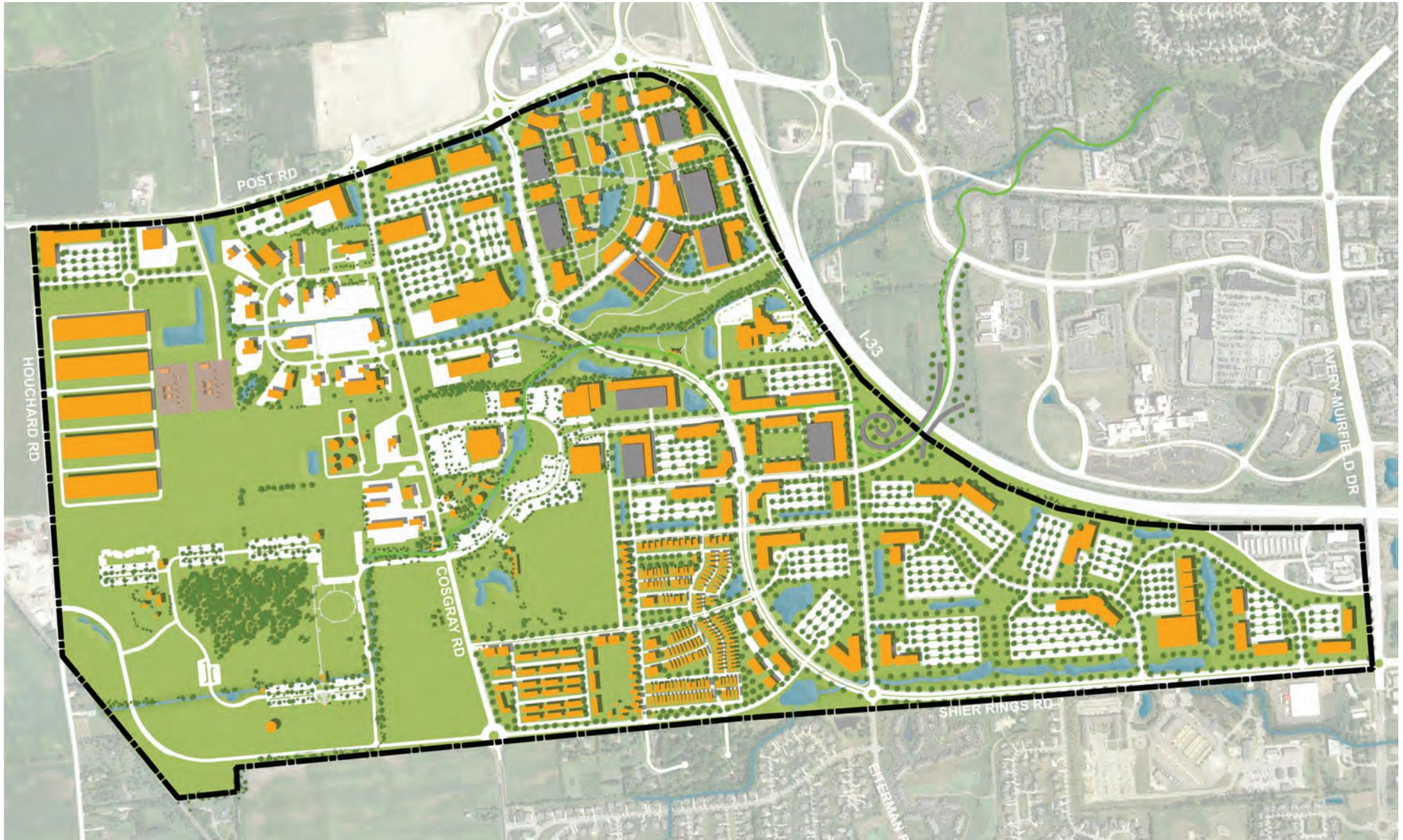


Master Plan

Master Plan Concept
Systems
Placemaking
Implementation
Metrics

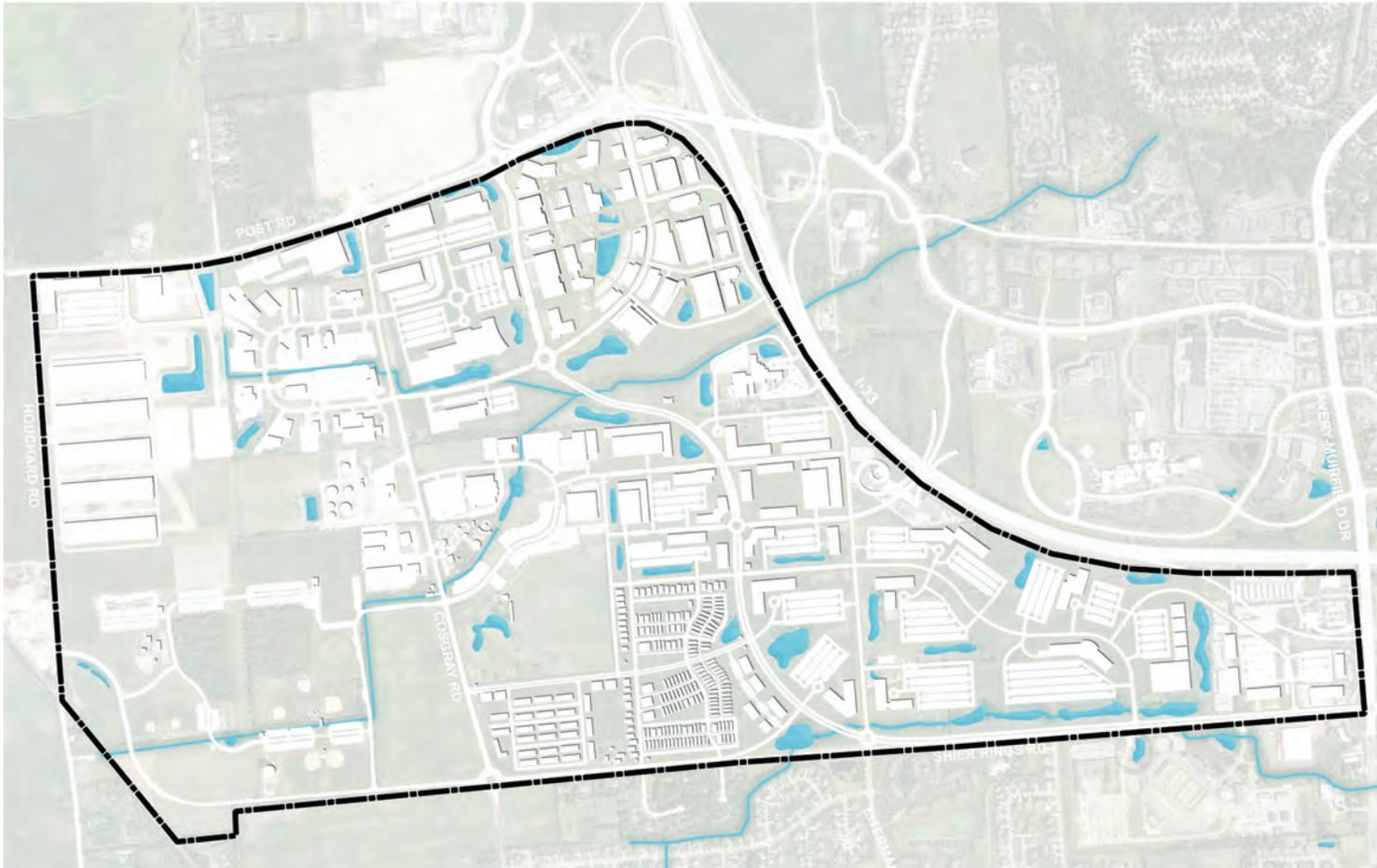


Master Plan



Master Plan

Systems - Hydrology

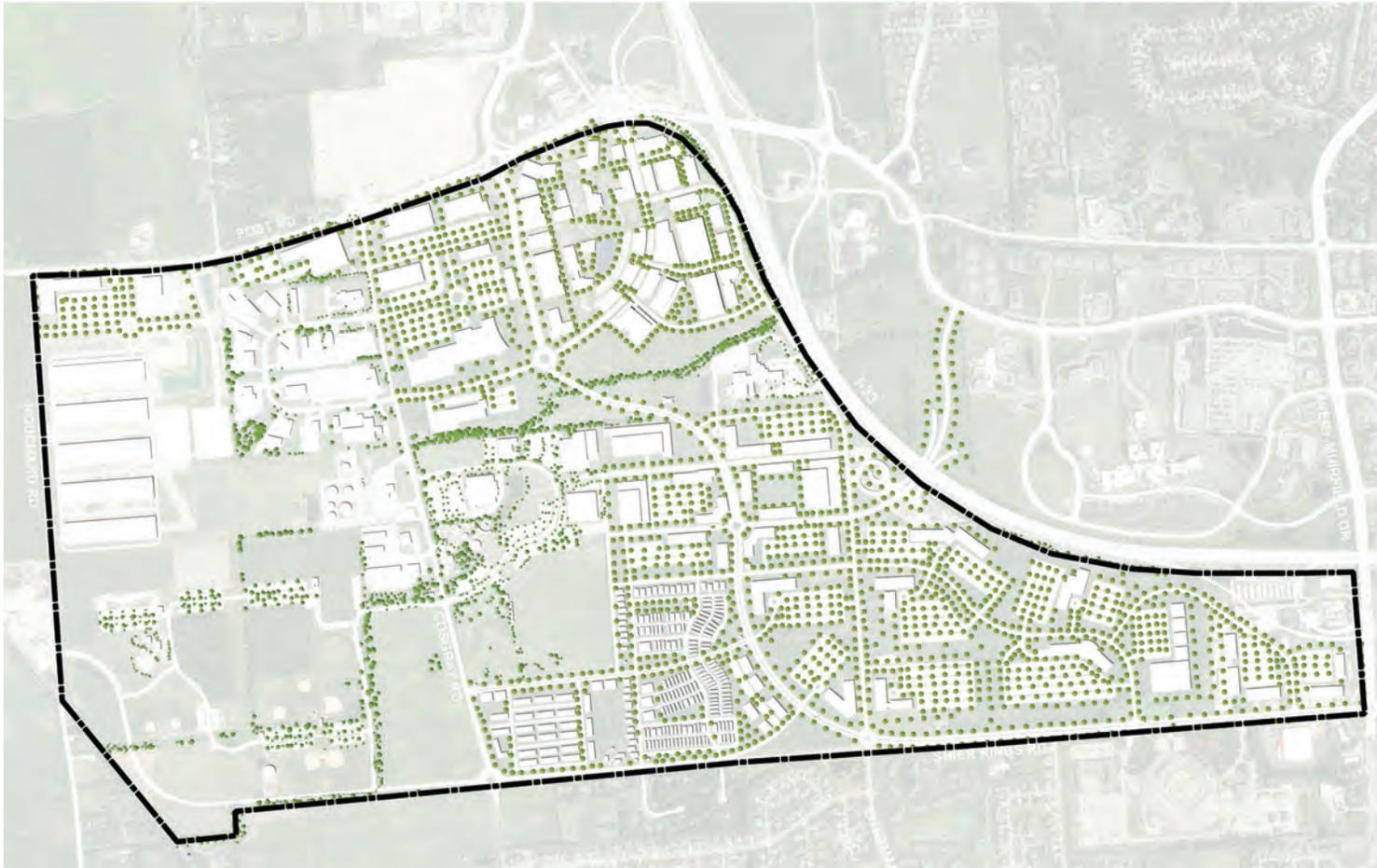


- Manage the water path
- Demonstration
- Water features



Master Plan

Systems - Vegetation

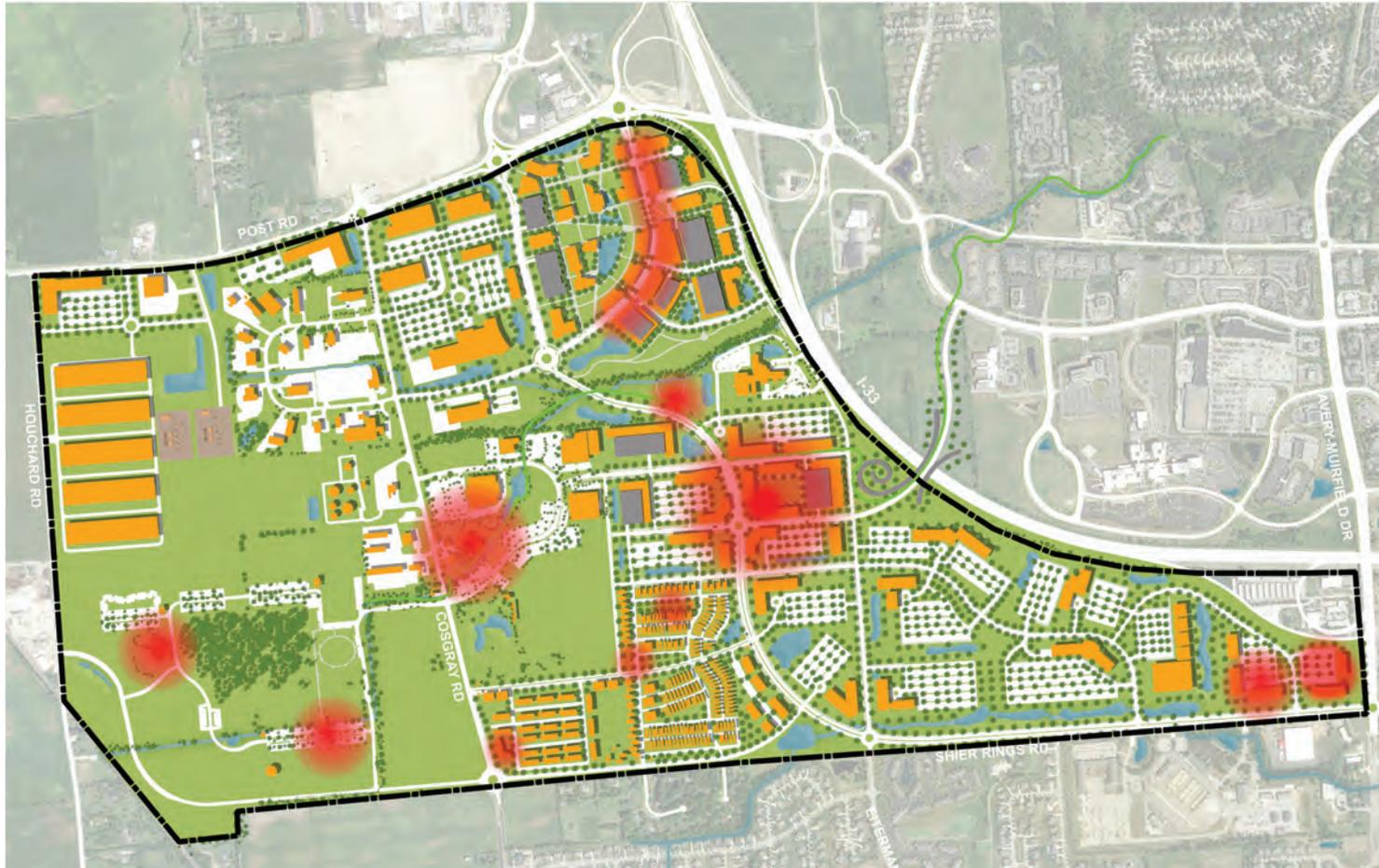


- Framing of spaces
- Sustainability
- Distinction factor



Master Plan

Systems - Social

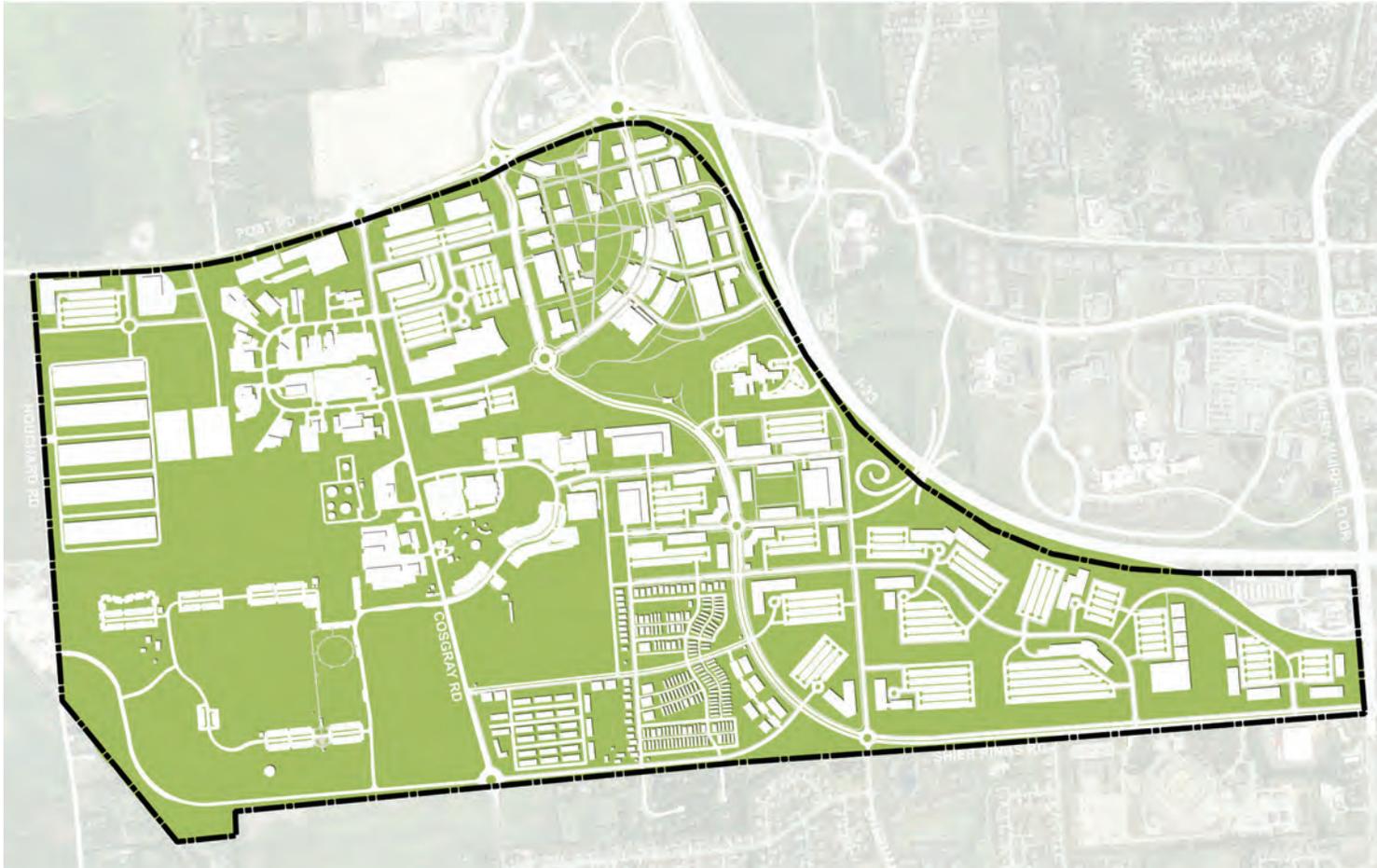


- Intentional program
- Walkable link
- Collaborative
- Multi-generational
- Extension of work



Master Plan

Systems - Open Spaces

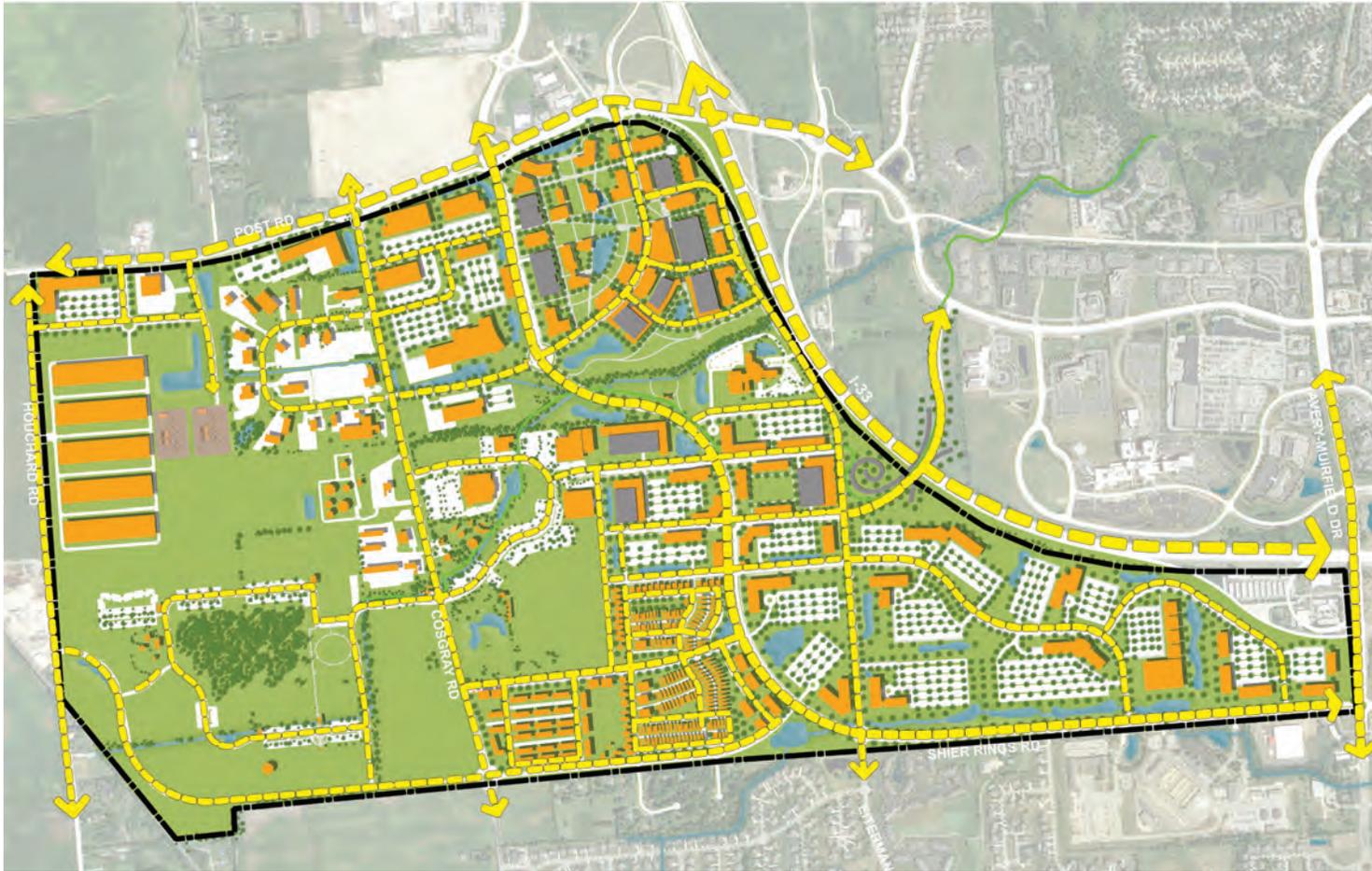


- Balance of density / open space
- View sheds
- Context to central Ohio
- Memorable spaces
- Public art



Planning

Systems - Vehicular

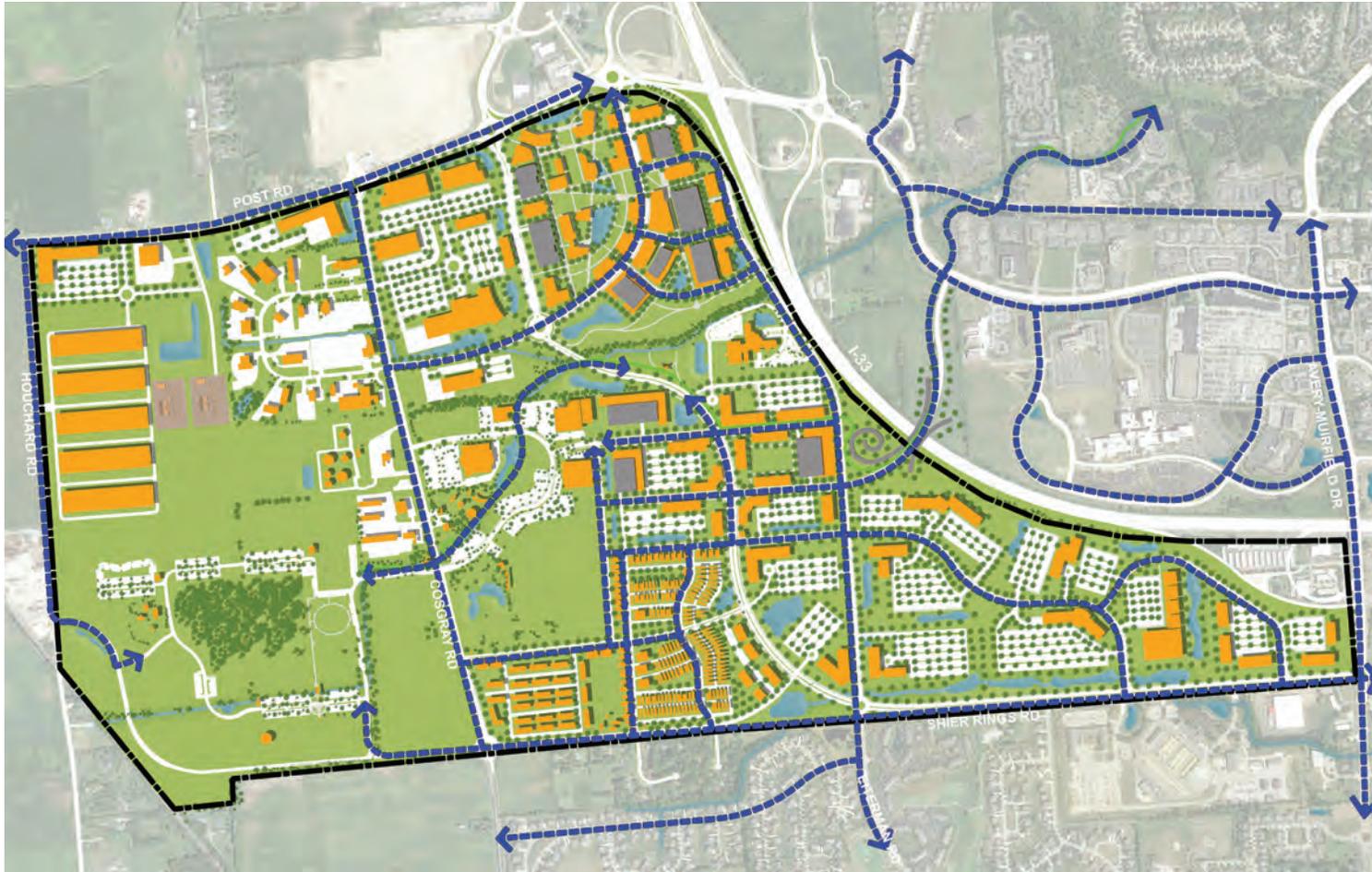


- Connectivity is key
- North south flow
- Multi - modal
- Future proof
- Sustainable
- Utility corridors



Planning

Systems - Bike

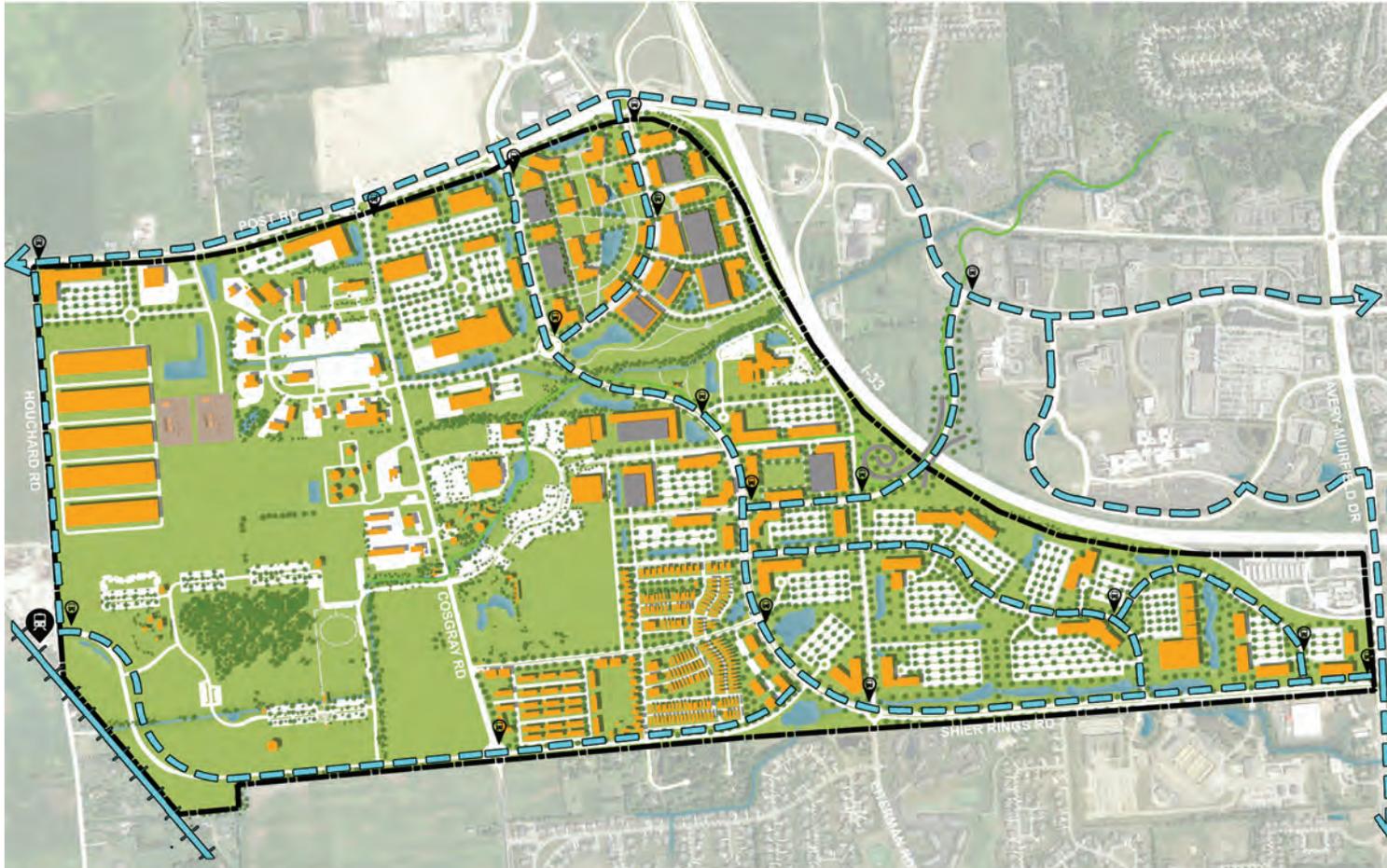


- Bike share program
- Bike lanes & paths
- Covered parking
- Lockers
- Bus compatible
- Link to regional trails



Planning

Systems - Public

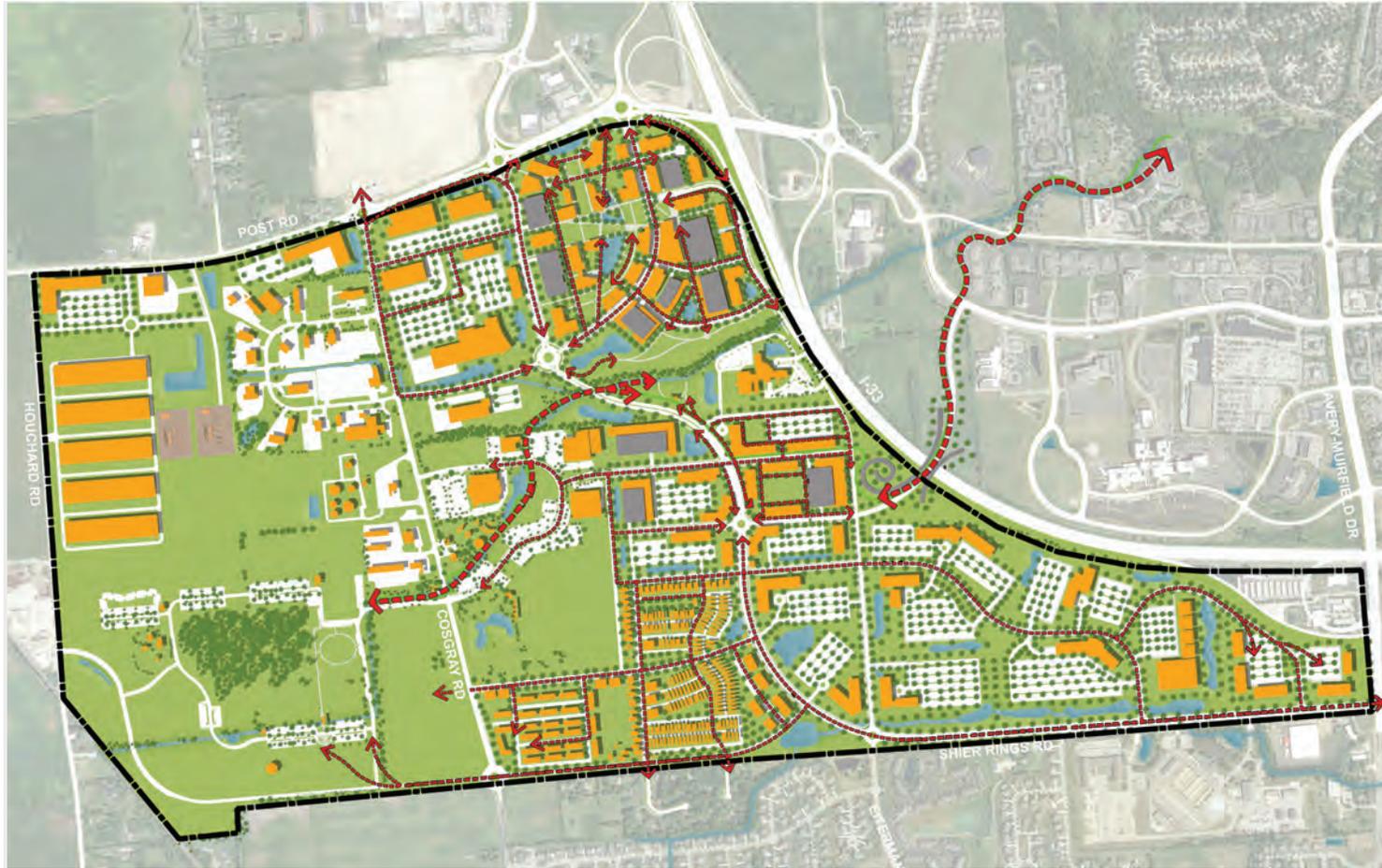


- Inward and outward connectivity
- Central Ohio / Dublin bus system
- WID shuttle
- High tech buses and stops
- Light rail capable



Planning

Systems - Pedestrian

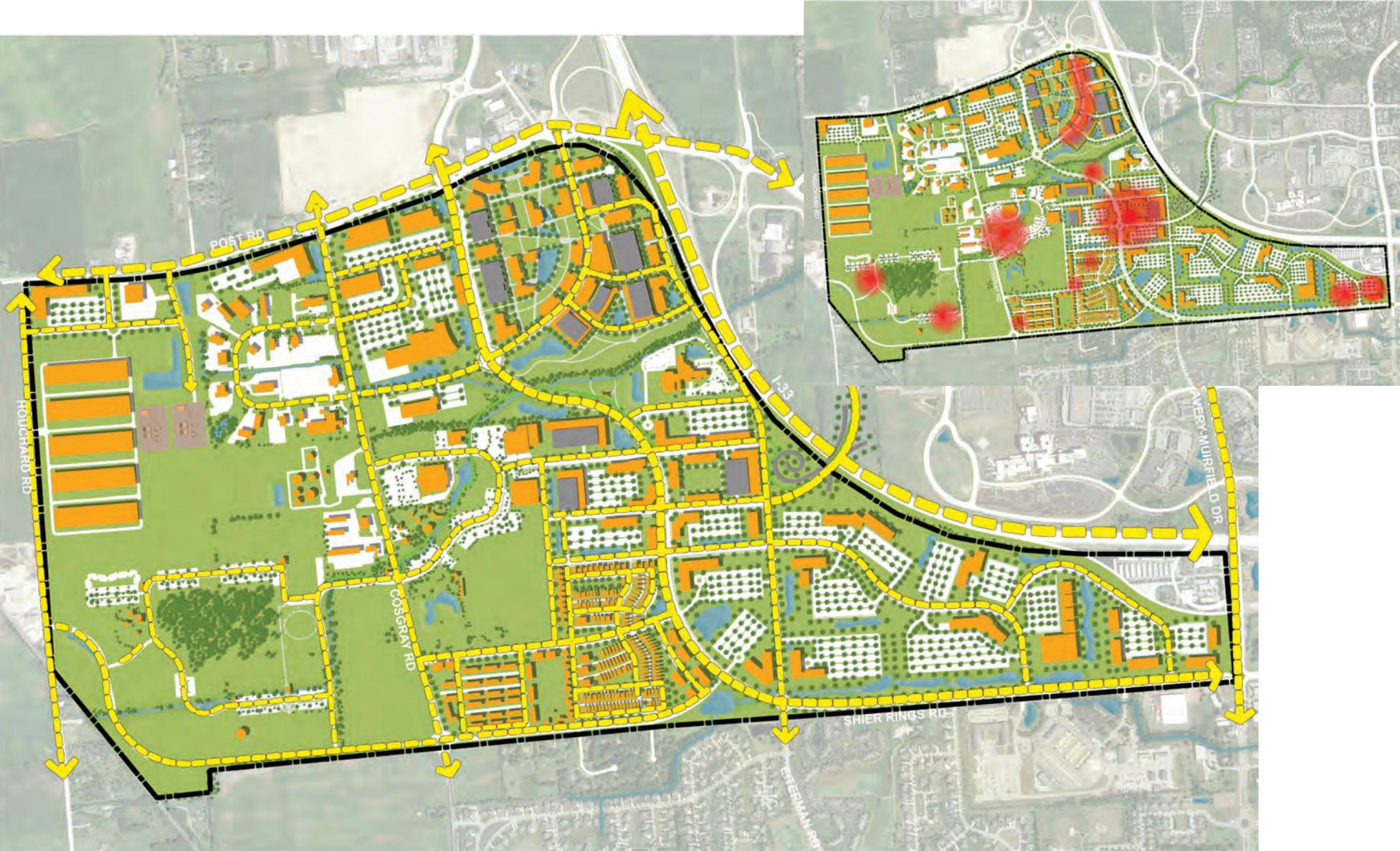


- Connectivity is key
- Walkable
- Jogging trails
- Smart trails
- Greenway link



Questions

What are your comments & thoughts on proposed open spaces, social spaces and circulation?



Master Plan

Placemaking - Live



The West Innovation District is more than a workplace for Dublin. It will become a vibrant location for life activities that the talented next generation workforce will seek for themselves and their families.



Master Plan

Placemaking - Work



The West Innovation District will employ a diverse range of talent through multiple business sectors that will thrive through a relationship with top notch educational institutions and will contribute a positive economic impact to the area.



Master Plan

Placemaking - Play



The West Innovation District will integrate recreational areas and lifestyle amenities to provide a convenient place for the next generation workforce and their families to enjoy while improving the overall well being of the community.



Master Plan

Placemaking - Create



The West Innovation District will attract makers and artists from the region with its academic offerings, maker spaces, programs and startup incubation spaces. Some of these innovators will be become entrepreneurs, thus creating a loop of innovation.



Master Plan

Placemaking - Learn

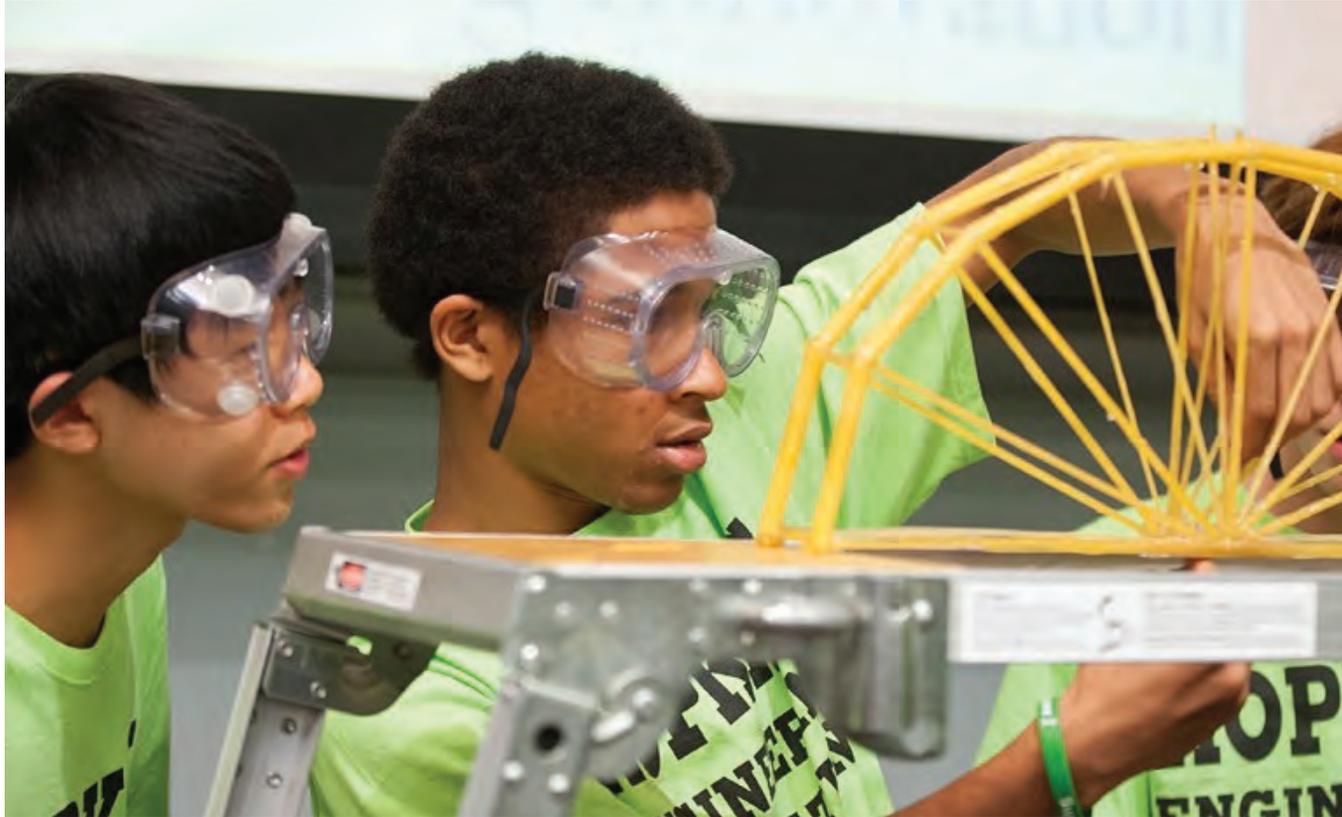


With Ohio University, Columbus State Community College, and a STEM high school/middle school, the West Innovation District is poised to be a place of interdisciplinary learning that fosters an environment of innovation and progress.



Master Plan

Placemaking - Inspire



The West Innovation District will be a place that inspires young inquisitive minds to pursue science and mathematics. Here young students will be exposed to professors, innovative companies and seasoned professionals who can encourage and challenge them.



Master Plan

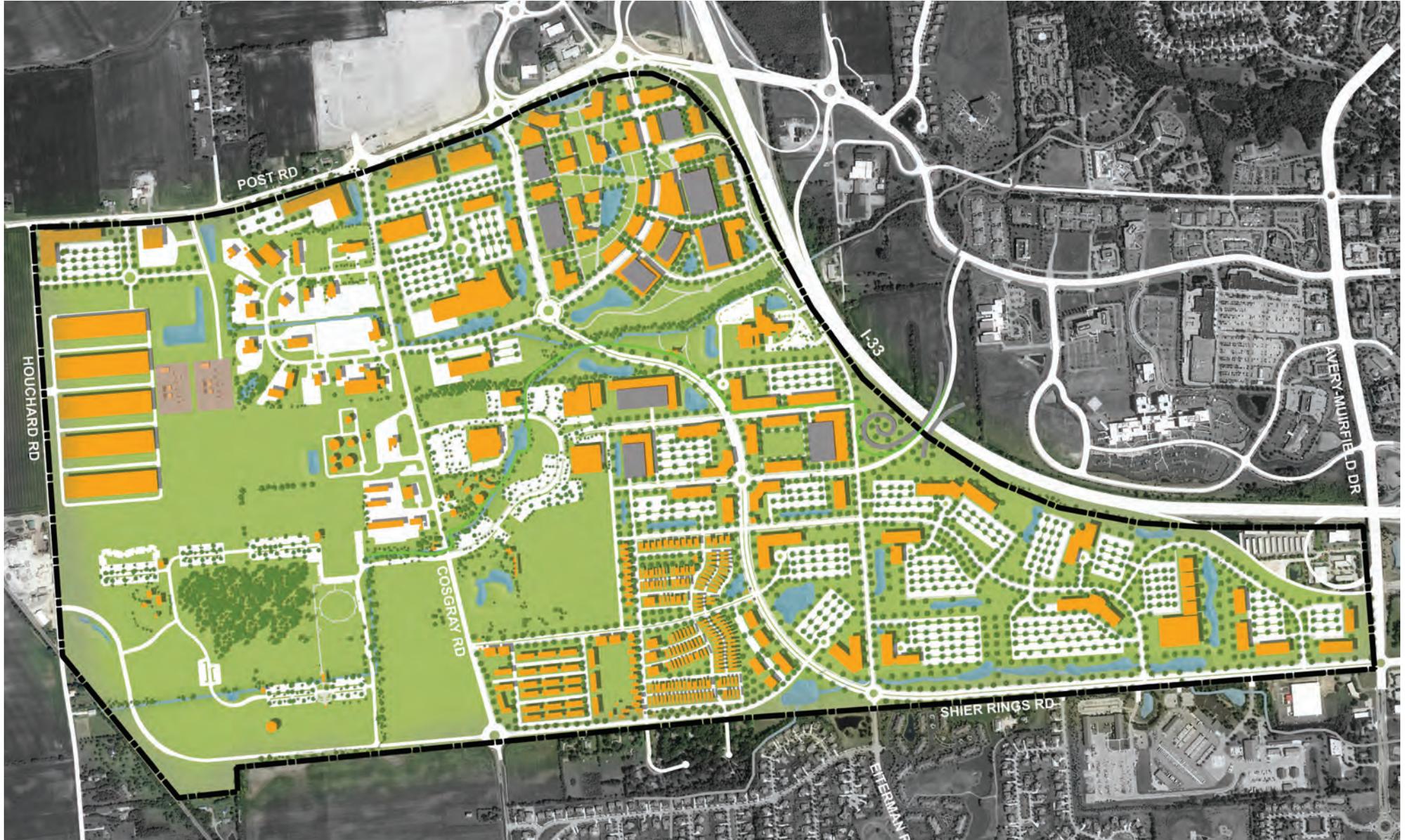
Placemaking - Transform



The West Innovation District is intentionally planned with collision points in mind for young and old, students and faculty, entrepreneurs and businesses to create a melting pot of ideas that spark innovation. As a result, it is equipped to transform Dublin, as well as Central Ohio.

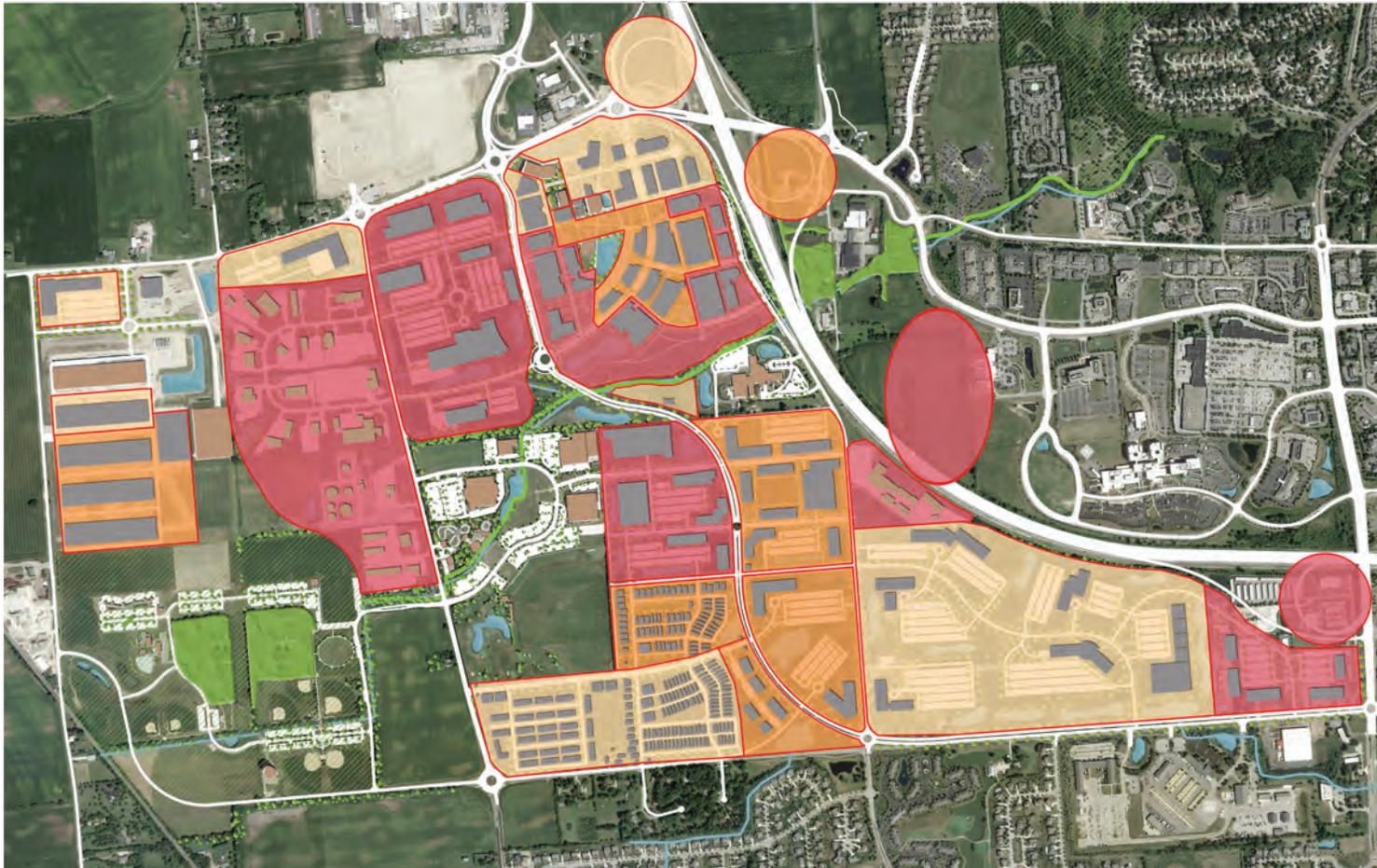


Master Plan



Master Plan

Implementation - Phasing



KEY:

SHORT-RANGE	
MID-RANGE	
LONG-RANGE	



Metrics

1 | Capacity + Investment



2 | Jobs + Wages



Master Plan

Metrics - Capacity + Investment

	Capacity	Investment
Academic Campus	2,249,800 sf	\$506,205,000
Academic Innovation District	911,200 sf	\$164,016,000
Innovation Hub	1,382,900 sf	\$193,606,000
Advanced Manufacturing District	328,200 sf	\$45,948,000
Research and Development District	1,195,000 sf	\$268,875,000
Mixed-Use Commercial District	123,000 sf	\$13,530,000
Parking Garages		\$180,000,000
Total	6,190,100 sf	\$1,372,180,000*

*Does not include: escalation, FFE, impact fees, soft cost, land cost



Master Plan

Metrics - Jobs + Wages

	Jobs	Wages
Academic Campus	1,200	\$90,000,000
Academic Innovation District	1,800	\$135,000,000
Innovation Hub	3,670	\$256,900,000
Advanced Manufacturing District	650	\$35,750,000
Research and Development District	3,500	\$280,000,000
Mixed-Use Commercial District	180	\$4,500,000
Total	11,000	\$802,150,000*

*2% estimated income tax withholdings \$16,043,000





Discussion

- What aspects of the Master Plan do you feel are best?
- What needs further study or refinement before proceeding with a Community Plan Amendment process?

- Next steps: zoning code, plan amendment process





OHIO
UNIVERSITY

DUBLIN FRAMEWORK PLAN

Dublin City Council
Session

Work

October 17th, 2016



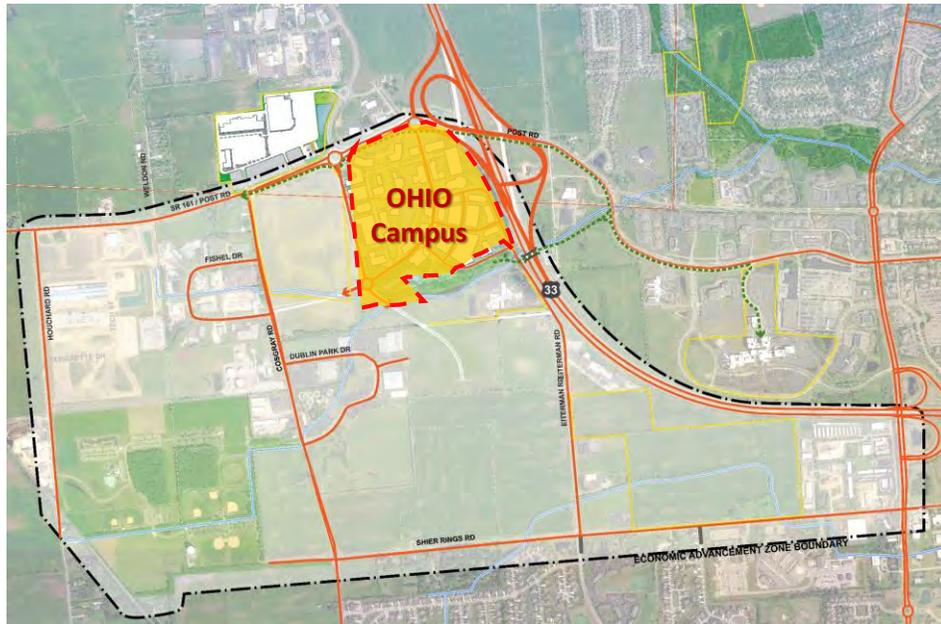
City of Dublin

OHIO, USA

City of Dublin: West Innovation District



West Innovation District



Dublin Campus Context

OHIO-Dublin: Existing Campus



The Dublin Framework Plan is a **planning tool** that **guides the future development** of Ohio University's Dublin Campus. It illustrates the campus **district vision** and creates a comprehensive approach to guide future development. The plan is guided by the University's **strategic vision plans** including the Innovation Strategy and OHIO for Ohio. The Framework Plan establishes the **sense of place** sharing attributes that are necessary to provide a **vibrant campus district environment** within the **City of Dublin's West Innovation District**.

1. Engagement with City

Staff, City Council, PZC

2. Framework Plan Details

Physical Framework

Roadways

Architecture

Landscape

3. Phasing and Next Steps

Maximize Immediate Impact



OHIO
UNIVERSITY



City of Dublin
OHIO, USA

City Engagement

1. City Staff
Through OHIO planning process

2. City of Dublin
Council, Community, PZC

3. Future Approval
PZC, Council, OHIO



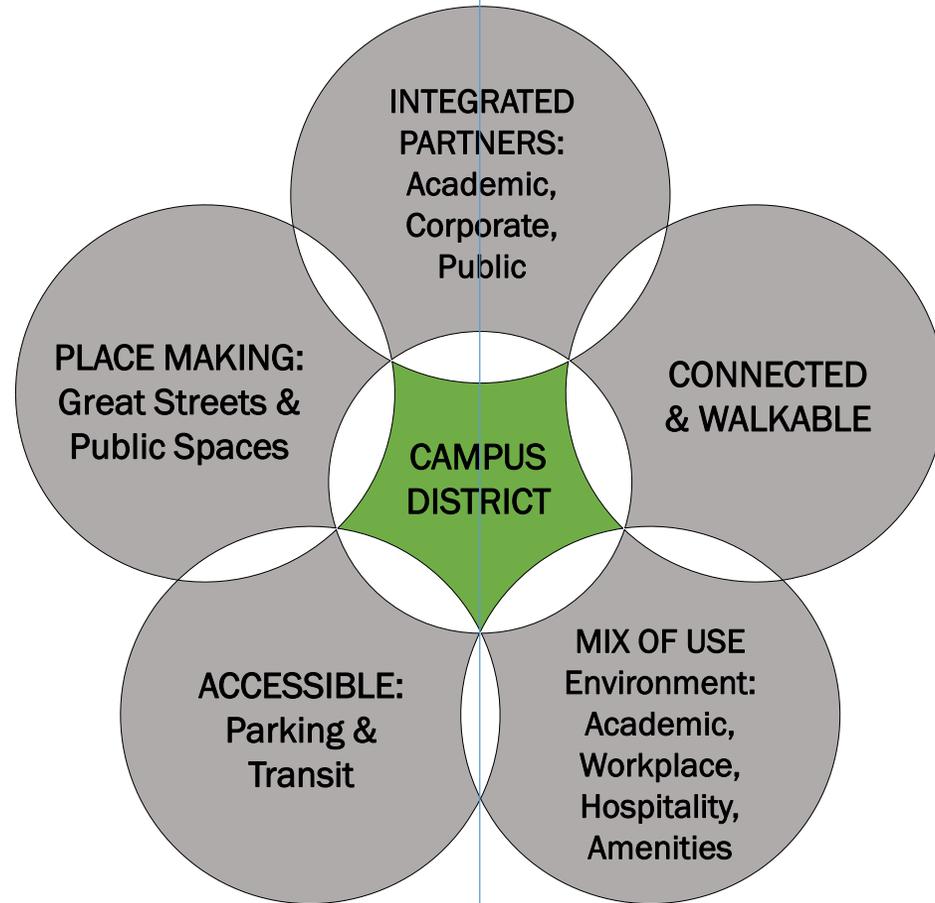
2016

2017

What is your vision for what a campus brings to the West Innovation District?

Knowledge Community:

LIVE LEARN WORK PLAY CREATE





Dublin Framework Plan

- Centered on creating a pedestrian-friendly, walkable campus district
- Established with a central place that creates strong physical connections and supports a diverse mix of uses
- Comprised of elements that are intended to support a vibrant knowledge community
- Implemented in phased approach
- Flexible Framework with key important elements that support knowledge community:
 - Complete Street Network
 - Open Space
 - Central Places
 - Strong Physical Connections
 - Dense Mix of Uses fostering collaboration and opportunities for inter-disciplinary interactions and strategic partnerships

Existing Conditions



Proposed Framework Plan



KEY ELEMENTS IN THE PLAN



Complete Streets

Architecture:
Existing and New

Mixed Use Environment

Connections: Informal and
Formal Green Space



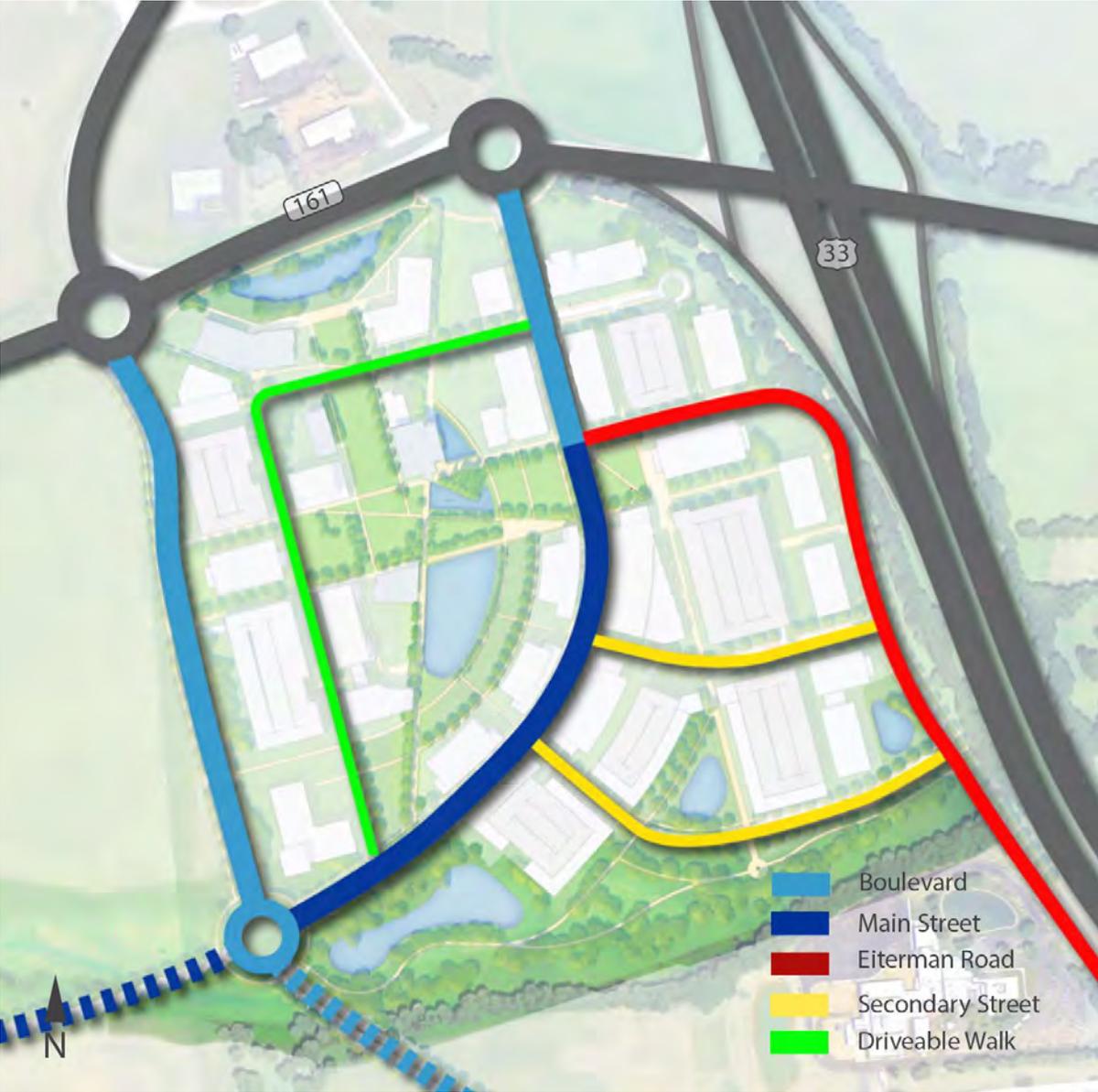
Dublin Framework Plan

Key design element: Complete Streets

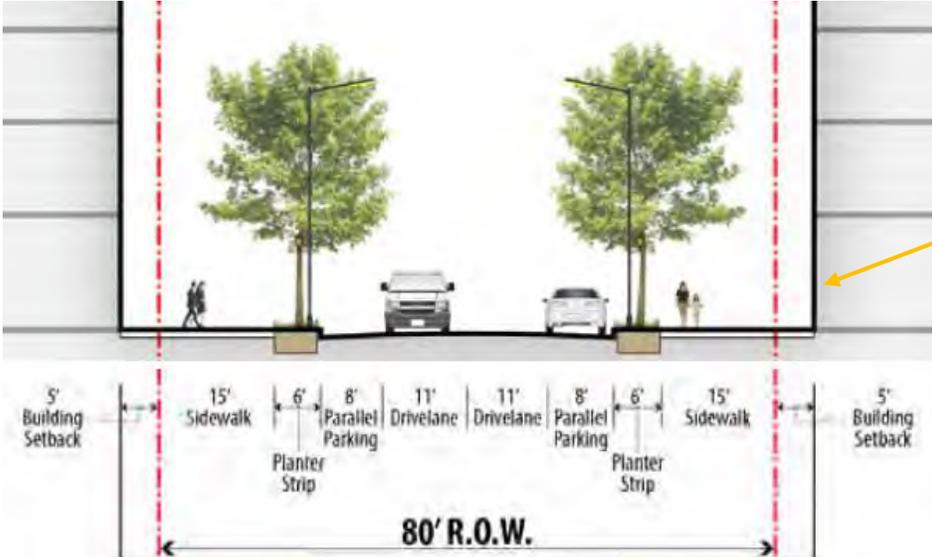
- Complete streets balance a variety of uses to support safe access for all users
- Accommodations for all uses, pedestrian, motor vehicle, bicycle, public transit, service, accessibility
- Examples: Pedestrian infrastructure, traffic calming measures, center medians, landscaping, bike lanes, transit stops

- Main Street
- Boulevard
- Secondary Street
- Drivable Walk
- Eiterman Road

Complete Street Network: Main Street



Main organizing element of campus. Intimate mixed use street with small shops, campus amenities, and potential residential. Key location at end of campus which ties into City’s WID plan for centralized area of activity for the district



First floor active uses

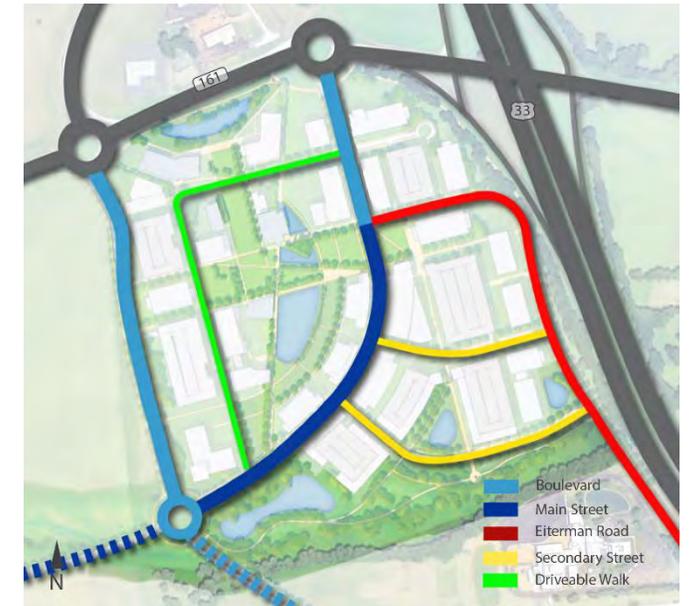


Wide sidewalks for outdoor gathering/business

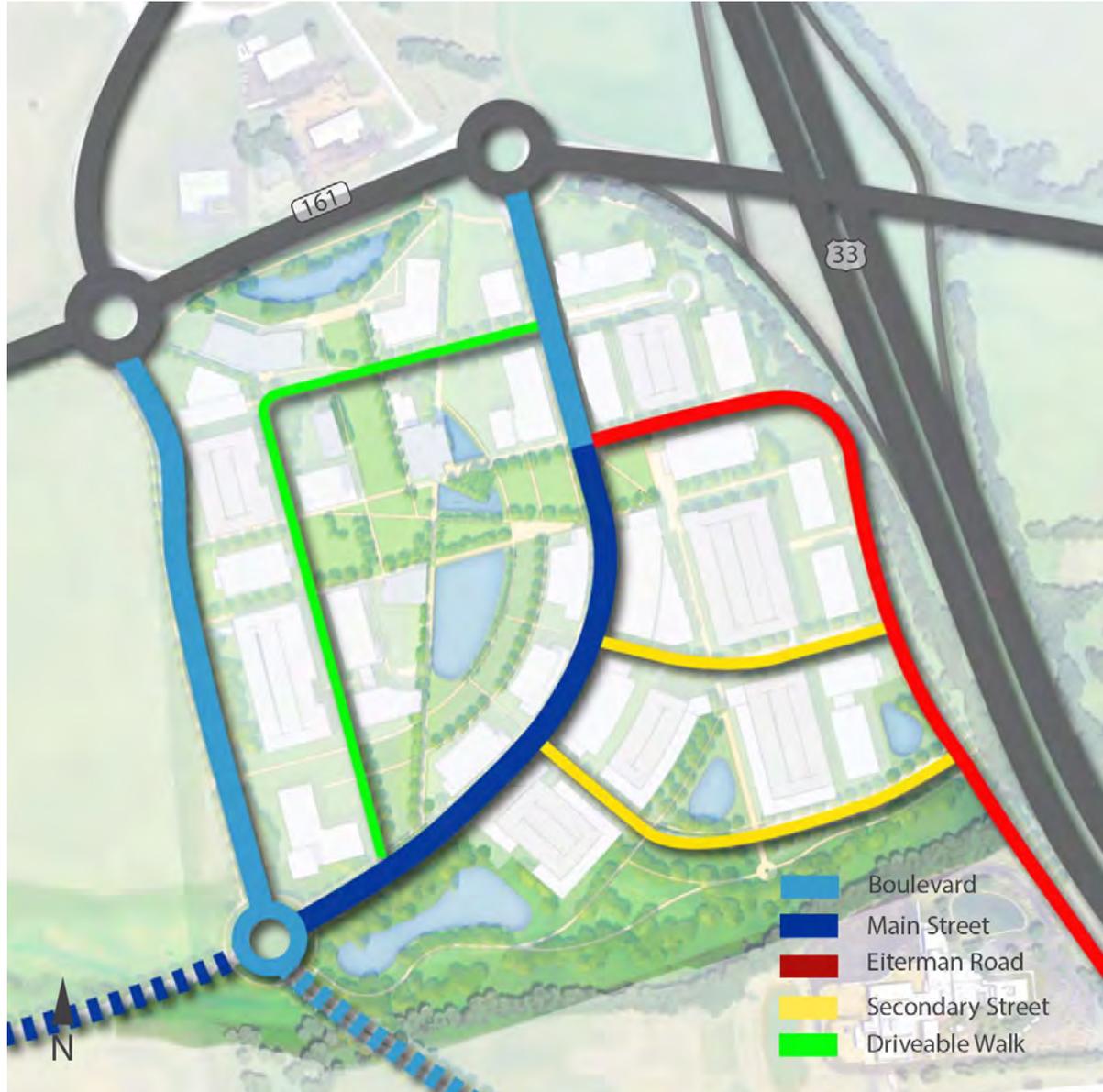
Complete Street Network: **Main Street**



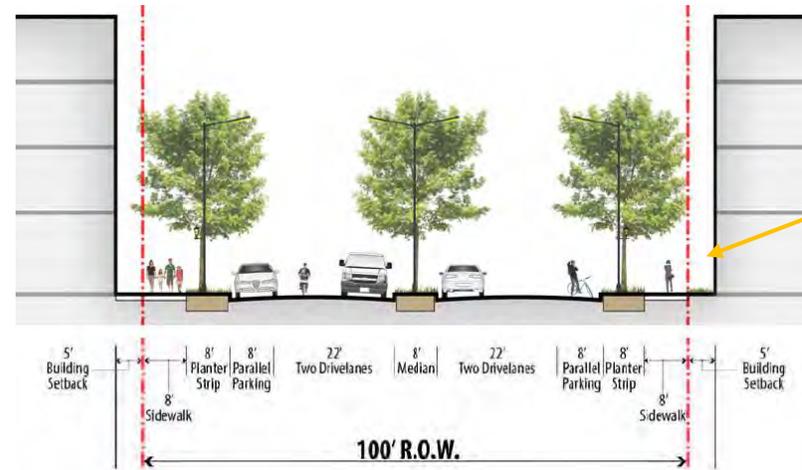
- Main streets are the center of activity for their communities
- Orientates a contemporary campus district and creates a sense of place
- Opportunities for private development to support campus and community



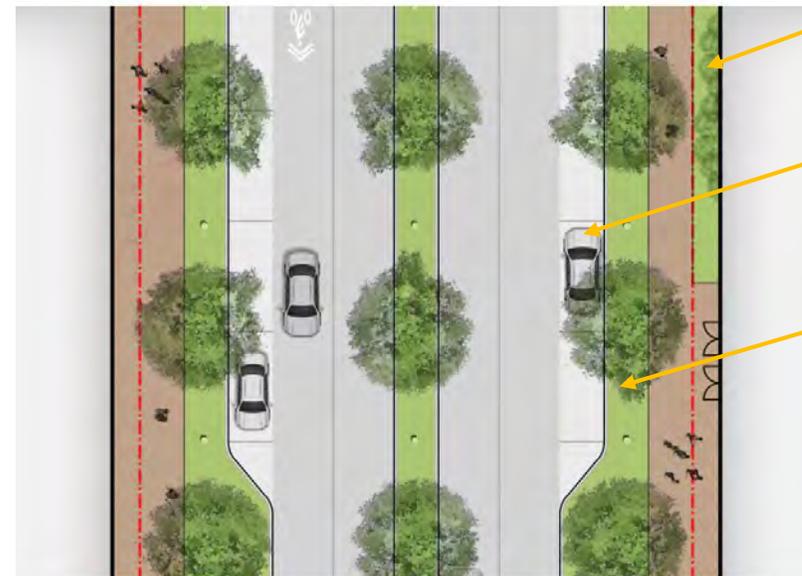
Complete Street Network: Boulevard



Creates an inviting entrance to campus, accommodates high traffic volumes at slower speeds



First floor active uses

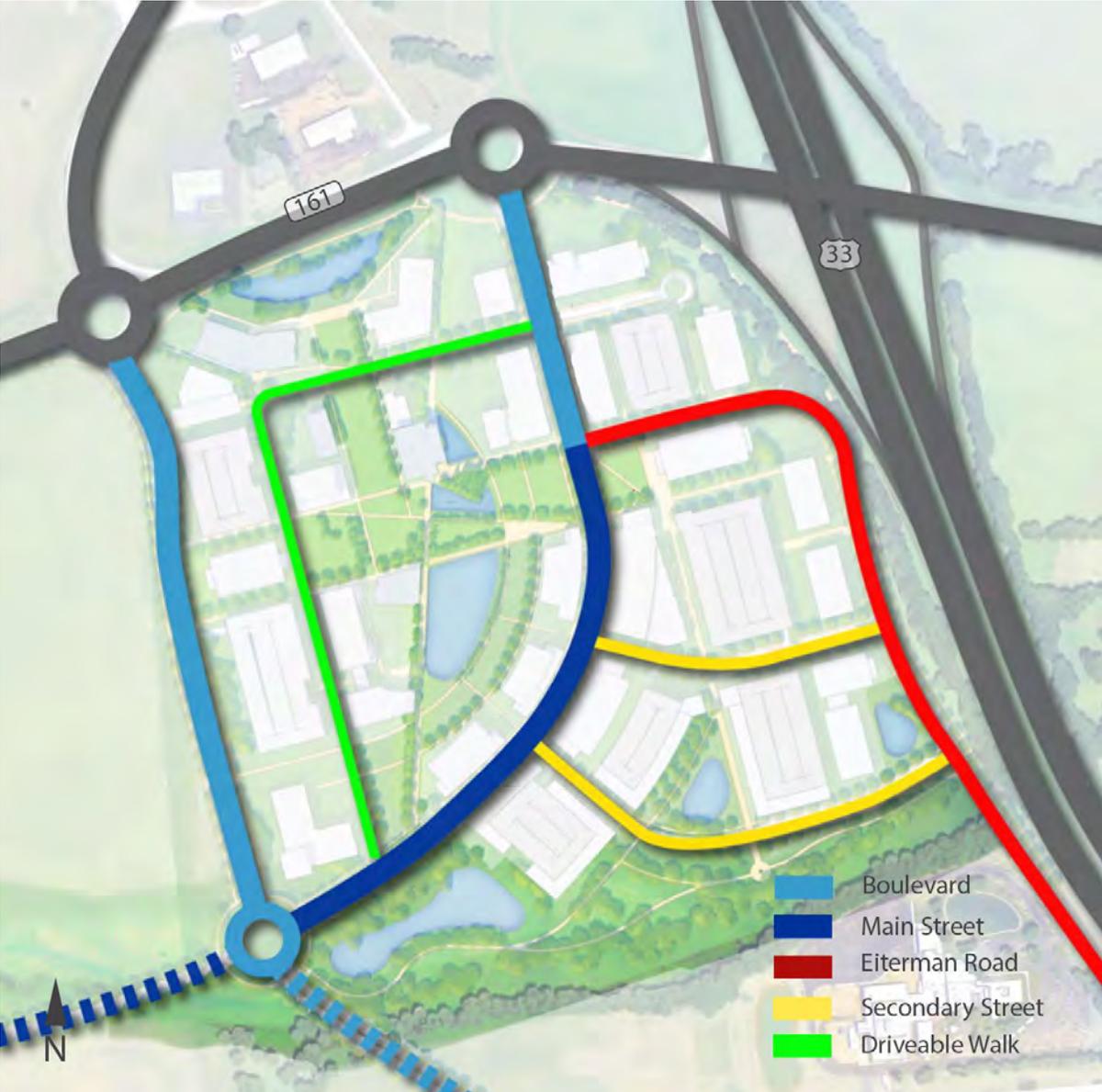


Building setback

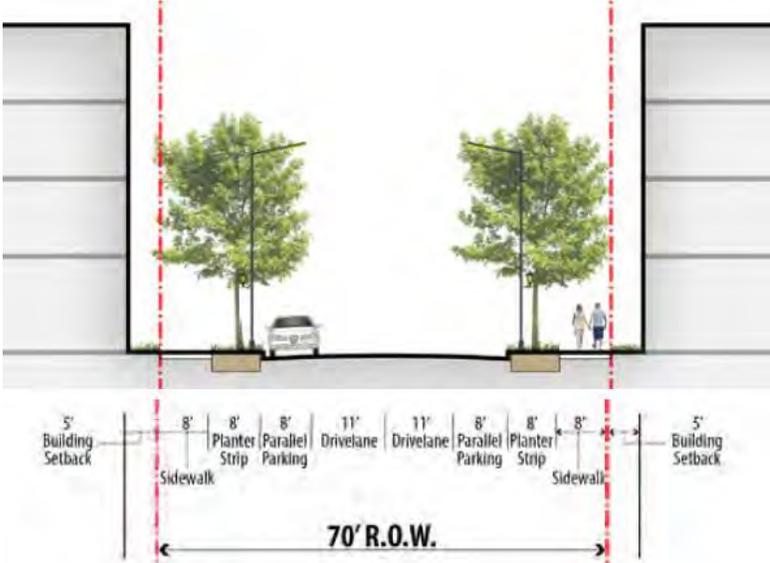
On Street Parking

Landscaped median & Planter Strips

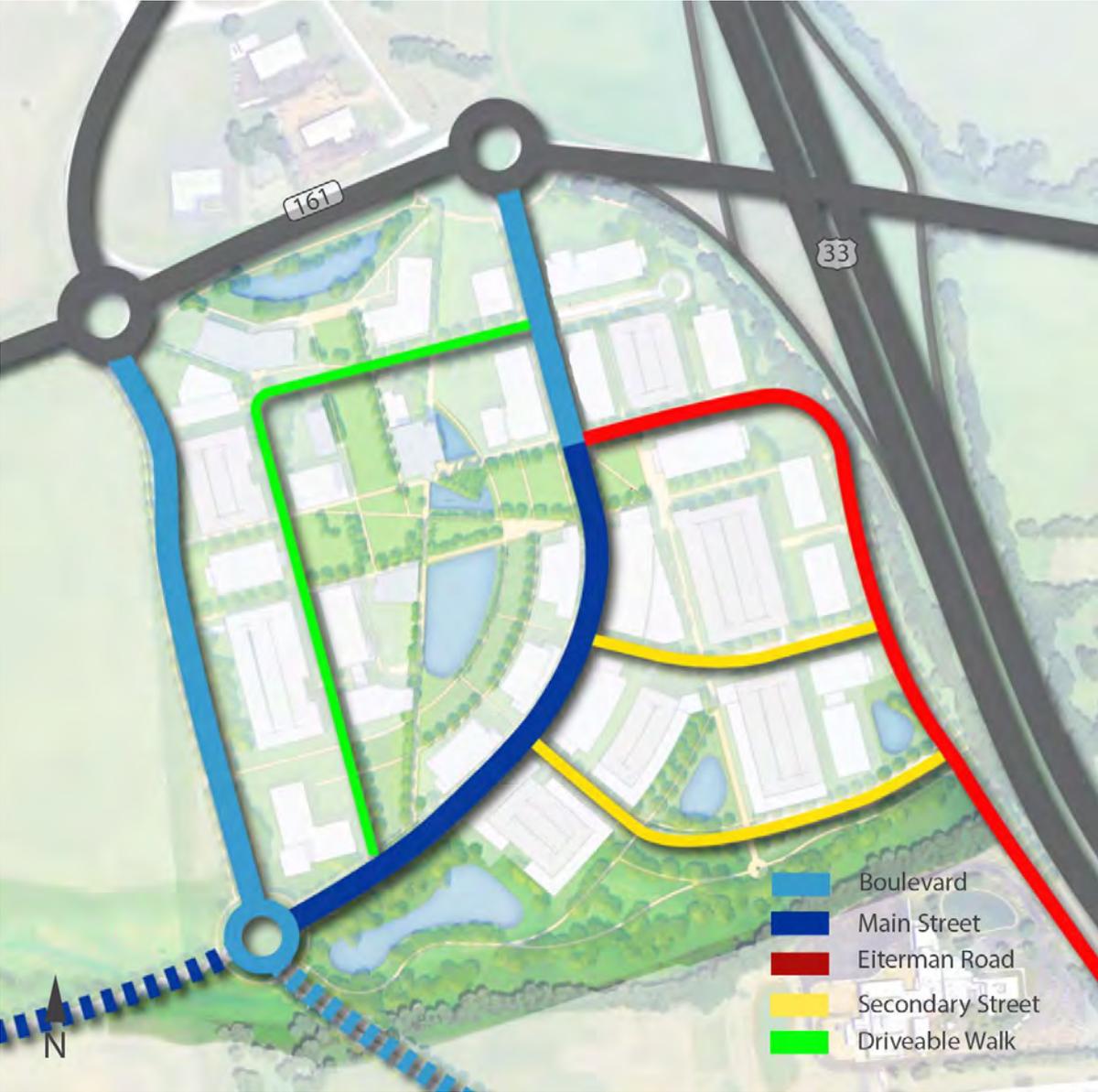
Complete Street Network: Eiterman Road



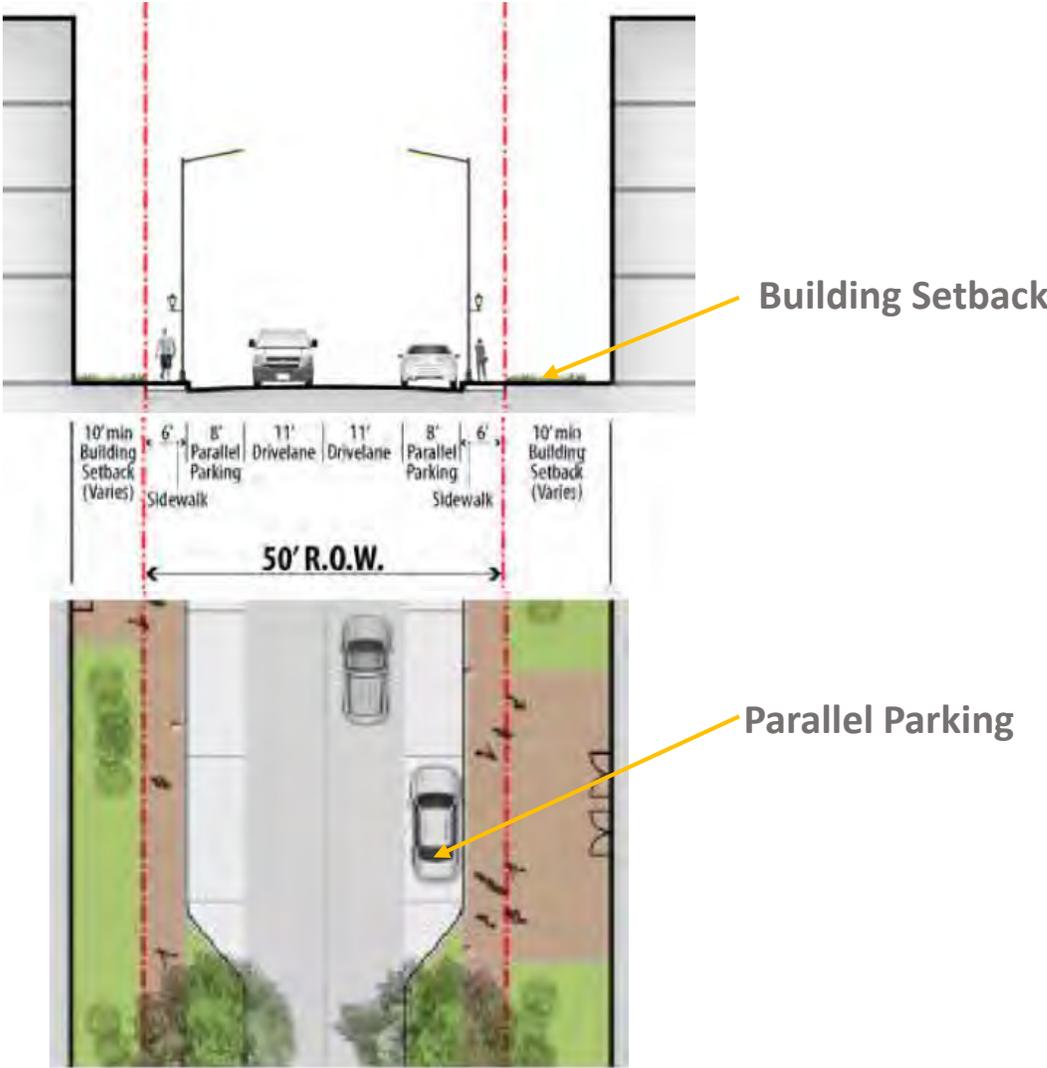
Two lane street that allows through traffic to be routed around the campus



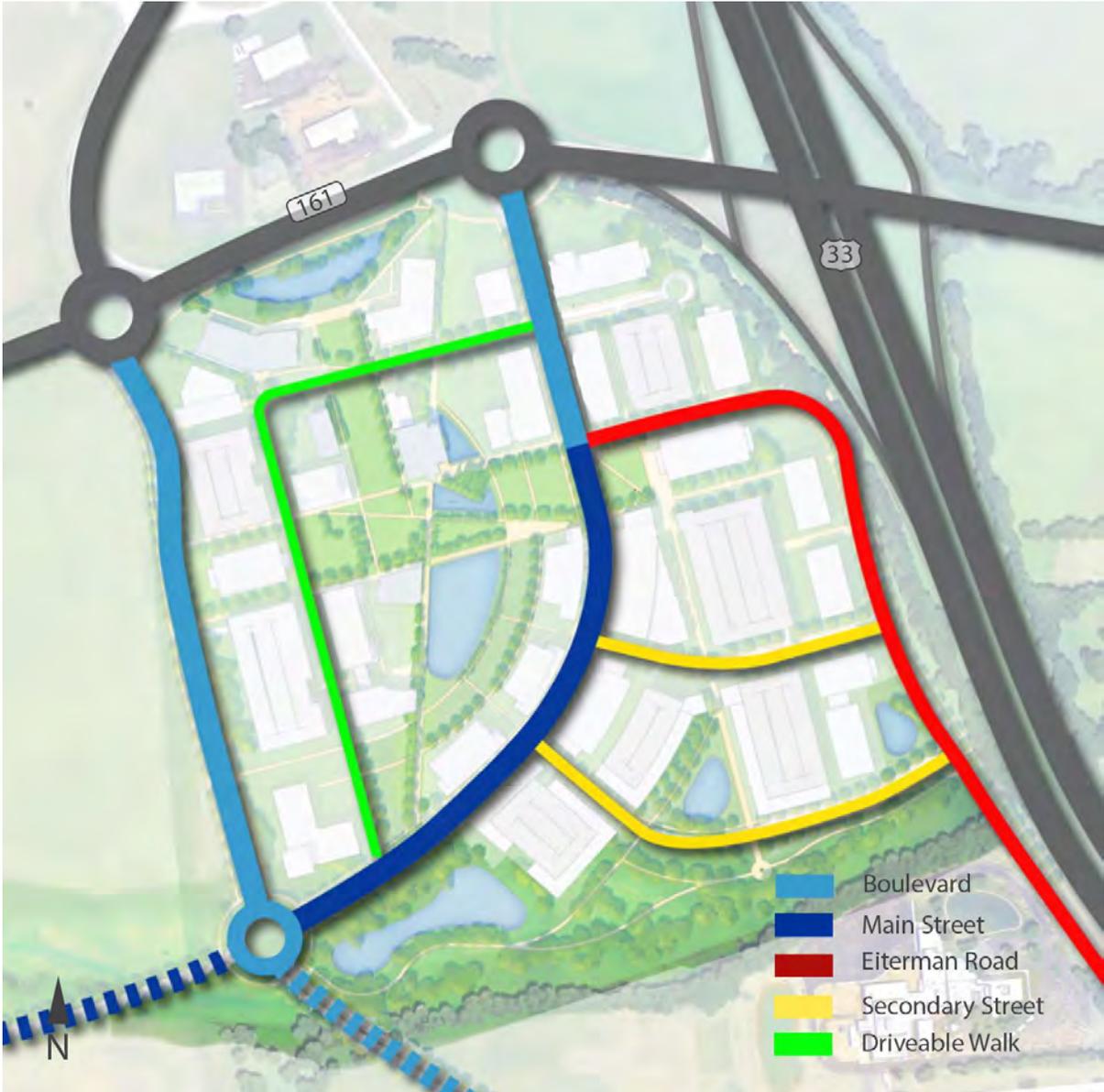
Complete Street Network: **Secondary Street**



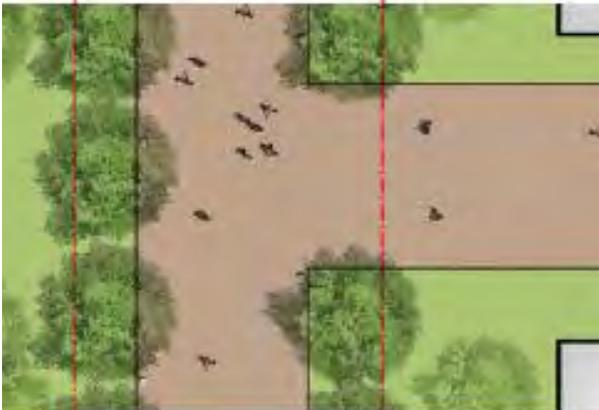
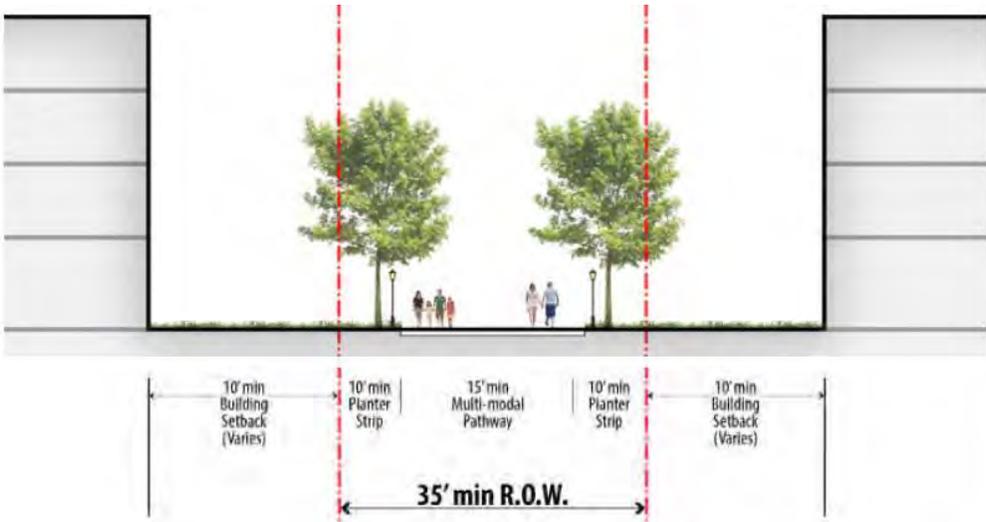
Two lane street with parallel parking, lighting, and signage



Complete Street Network: Drivable Walk



Primarily used for pedestrian needs, but can be used for access to a parking structure or limited service access



Dublin Framework Plan

Key design element: Complete Streets

Your thoughts on
Complete Streets for
the Campus District?



Dublin Framework Plan

Key design element: Architecture



Existing Architecture

Signature Buildings

Frontages to define open space and streets

Screened and integrated parking structures

Support Mix of Uses

Building Character

Create an identity that complements the location while still maintaining unique attributes that are important to the Ohio University identity.



- A variety of scale and building forms within a public district are fundamental to design vibrancy
- Buildings can be used to create frontages that frame open spaces as well as take advantage of views from major roadways
- Upper level setbacks reduce the appearance of bulky buildings on the street
- Canopies can be used at entrances to create visual interest to the public
- Directional and building signage should be complementary to the campus brand, while integrated across the entire area



Building Frontages

- Building frontages clearly define the 'public realm' whether it be open space or streetscape
- Building frontages are established to maintain pedestrian interest at the ground level



Integrated Parking

- Parking garages should be embedded within the street block and concealed behind a building liner
- Facades should be well-designed and architecturally compatible with their surroundings
- When exposed to the public realm, parking should be architecturally compatible to the surrounding context





Site Typologies

-  **Highway View Sites** - High visibility, clear address, direct access to parking
-  **Main Street Sites** - Clear sense of address, vibrant retail and amenity setting, direct access to parking
-  **Iconic Sites** - community oriented sites
-  **Core Sites**— pedestrian, ranges of visibility, address and direct access to parking



Development Parcels

- Development areas are formed by the road network and open space network
- Each development parcel allows for flexibility with specific parcels fronting the Main Street





Dublin Framework Plan

Key design element: Architecture

What key elements do you want to see in the Architecture?

Dublin Framework Plan

Key design element:
Open Space & Connections



Gateway

Open Space

Visibility and Views

Sustainable Landscaping

Informal and Recreation



Open Space Network

- Open spaces are an important tool for defining “place”
- A combination of formal open spaces (defined by buildings) and informal open spaces (edges of campus) facilitate activity and interaction and are important in defining a campus environment





Visibility and Views

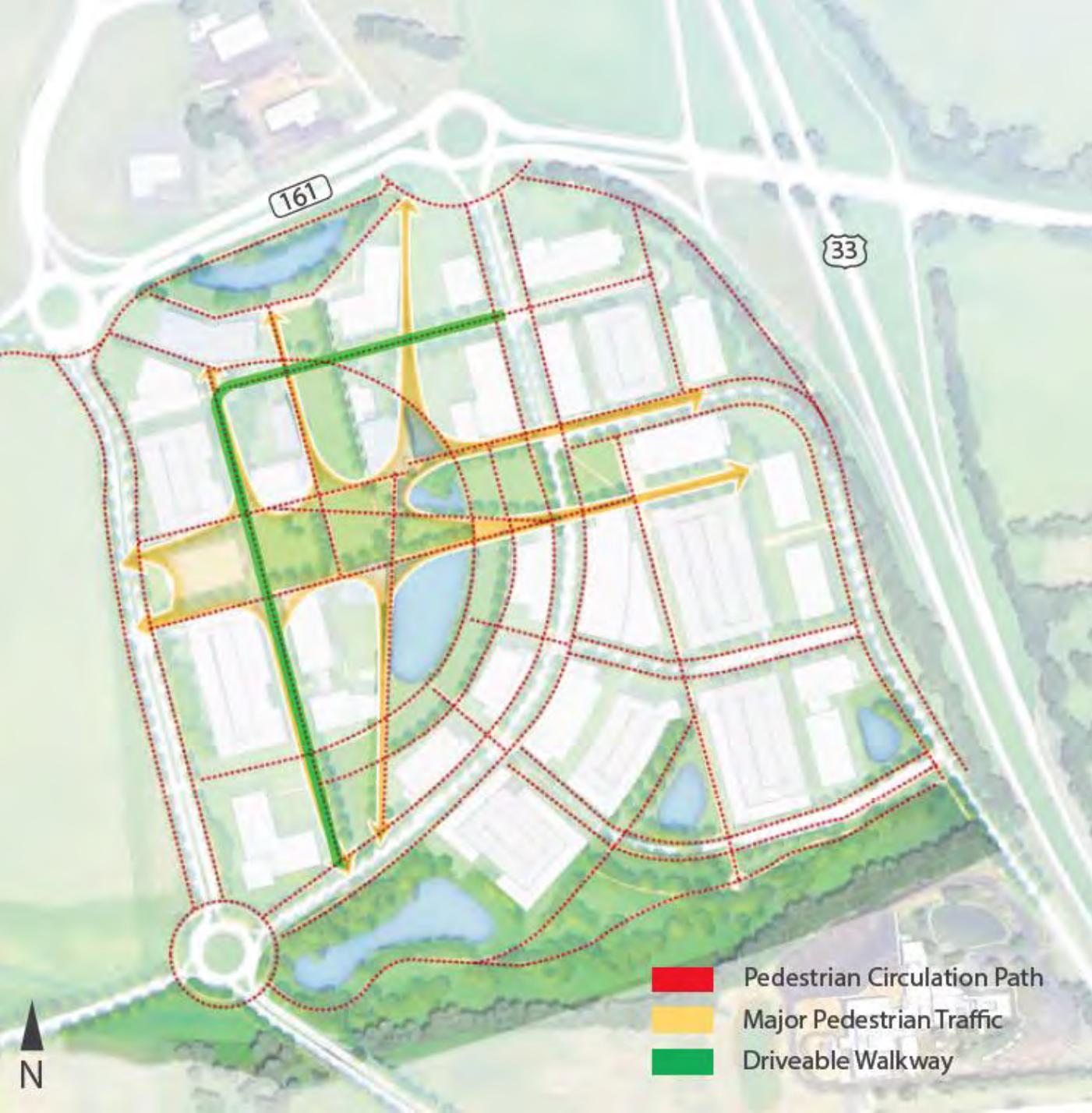
- Visibility into the site is important so that the activity happening within the campus can be seen by those passing by
- Key campus visibility is from Post Road and the highway (33)
- Key views into the campus core are through careful placement of roads, buildings, and open spaces





Landscape Guidelines

- Sustainable landscape and streetscape strategies provide opportunities to address stormwater management
- Manage water close to the source/harvest/re-use rainwater
 - wetland/stream bed area
 - Hardscape: porous/permeable paving
 - Bio-retention features to filter runoff from hardscape areas
 - Green roofs
- Urban Garden to complement health and wellness campus (outdoor labs/opportunity for community/campus to come together.)
- Other opportunities could include:
 - Constructed wetlands for water quality improvement
 - Water-wise garden design
 - Landscape irrigation with gray water
- Heat reduction with shade trees: which also tie back to OHIO-Athens



Pathways and Crossings

- Pedestrian pathways should be designed to provide reasonably direct and accessible connections between buildings and other parts of campus
- Connections should be formed through open space and street networks
- Pedestrian connections should be considered in context with routes to other areas in the West Innovation District



Dublin Framework Plan

Key design element:
Open Space & Connections

Open space
considerations
you don't want to
be lost?

Dublin Framework Plan

Key design element:
Mixed Use Environment



Hospitality

Public Partners

Academic

Vibrant Core: Small Shops & Amenities, Academic, Companies

Corporate

Residential

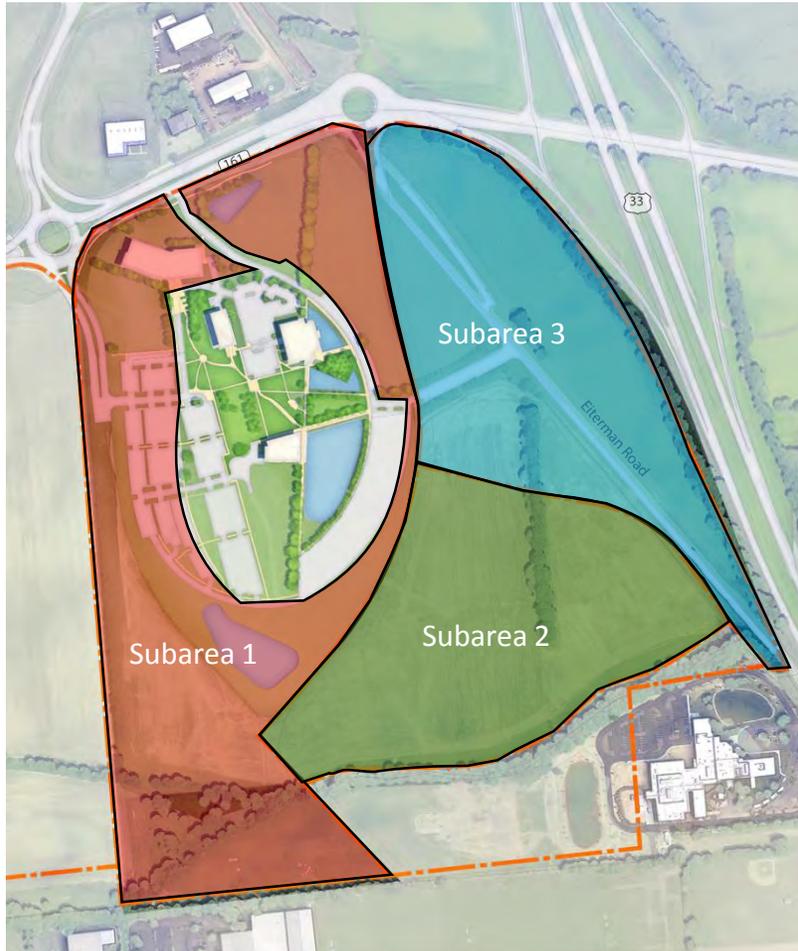




Programmatic Themes

1. Health and Wellness programs
2. University programs
 - that may be offered at Dublin to expand outreach
 - Emerging or new Ohio academic programs
3. Central Ohio Partnership opportunities such as with City of Dublin and Ohio Health
4. Academic Partners such as Columbus State
5. Uses that support the above to provide for a vibrant campus

Sub Areas



Existing Sub Area



Example Sub Area

- Existing Sub Area Map per economic development agreement follows previous West Innovation District road network
- Campus Framework proposes a central main street spine
- Campus framework proposes more development opportunities than originally conceived in the agreement
- Subareas can be re-aligned to work within the new framework, this is to be worked through still

Phasing Example



195K GSF
(Existing Campus)



812K GSF
(Buildings Only)



1.3M GSF
(Buildings Only)



2.3M GSF
(Buildings Only)



Flexible Phasing

- The Dublin campus is intended to be built-out over time
- Early phases should be focused at the core of the site and along the “Main Street” to maximize activity and density as soon as possible

 Existing Development

 Phase 1

 Phase 2

 Phase 3



Dublin Framework Plan

Key design element:
Mixed Use

What kind of
mixed use
elements would
you like to see on
the campus?



Establish a Vibrant Community

identity, sharing of resources, a central place

Encourage Proximity and Walkability

compact, pedestrian oriented, smart growth

Create Connections

open spaces, complete streets, integration

Enable a Mixed-Use Environment

live/work/learn/play/create

Accommodate Varying Initiatives

support the University's Strategic Plan, flexible spaces

Next Steps

1. City Of Dublin
 Refine from Tonight's Feedback
 Bring to PZC for vote
 Bring bac to you for vote

2. Zoning Legislation
 West Innovation District

3. Final Approvals
 OHIO University
 City of Dublin

