

# GRAPHIC SCALE



1 inch = 100 feet

Subject Lot	Affected Lot
109	1, 2, 110, 111
110	1, 2, 109, 111, 112
111	1, 2, 3, 109, 110, 112, 113
112	2, 3, 110, 111, 113, 114
113	3, 111, 112, 114
114	112, 113
115	70, 71, 72, 116, 117
116	71, 72, 117, 118
117	72, 115, 116, 118, 119
118	116, 117, 120

Subject Lot	Affected Lot
119	117, 120, 121
120	118, 119, 121, 122
121	34, 35, 119, 120, 122
122	34, 35, 36, 120, 121
123	29, 30, 124, 125
124	29, 30, 31, 123
125	30, 31, 32, 123, 124, 126, 127
126	31, 32, 33, 124, 125, 127, 128
127	32, 33, 125, 126, 128
128	33, 126, 127

## ARCHITECTURAL DIVERSITY WITHIN SUBAREA D:

- No home two (2) lots to the left or right of the subject lot shall have the same front facade as the subject lot.
- No home directly across the street and one lot to the left or right of that lot shall have the same front facade as the subject lot. However, this requirement may be adjusted depending on specific site conditions. An example would be a home across the street facing on a different street.
- The above requirements do not apply between homes in Subarea D and Subareas A and B where the home concerned is an approved model unique to Subarea D.
- If mirror image lots with a chamfered corner line are located at the intersection of Oak Meadow Boulevard and either Oak Meadow Drive or Oaktree Drive North/South, the homes on those lots may be mirror image versions of the same model, despite that they are adjoining lots separated by Oak Meadow Boulevard provided that the homes do not front on Oak Meadow Boulevard.

REVISIONS

DATE DESCRIPTION

OAK PARK DUBLIN, LLC

DATE: 4/27/2017

FOR: PRELIMINARY/FINAL DEVELOPMENT PLAN

OAK PARK SUBAREA "D"

SINGLE FAMILY HOMES

DIVERSITY EXHIBIT



DATE

April 27, 2017

SCALE

As Noted

JOB NO.

20160307

SHEET



Carlowe- Front Illustrative Rendering

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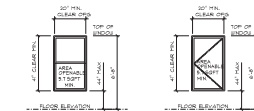
FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



Carlowe- Rear Illustrative Rendering

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FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



THE DIMENSIONED CRITERIA OF THE OPENING PERMIT FREE EGRESS FOR PERSONNEL, AND PLACES FOR EGRESS, AND SHALL BE OCCUPANTS TO RESCUE. OPERATIONS ASSUME THAT THE WINDOW IS OPENED TO THE FULLER MEASURE, WITHOUT EXCEEDING THE UNIT FOR COLLABORATION OR DESTRUCTION OF THE UNIT.

#### EGRESS WINDOW DETAIL

EXTERIOR ELEVATION NOTES:	
	STUCCO PER SPEC.
	SHAKER SIDING PER SPEC.
	BRICK PER SPEC.
	SHINGLES (30 y. DIMENSIONAL SHINGLES)
EXTERIOR FIN.	3/4\"/>

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Carlowe- Left and Front Elevation





RIGHT ELEVATION

EXTERIOR ELEVATION NOTES:	
	STUCCO PER SPEC.
	SHAKER SIDING PER SPEC.
	BRICK PER SPEC.
	SHINGLES 30 y. DIMENSIONAL SHINGLES
EXTERIOR TRIM:	3/4" x 1" PER SPEC. FRONT ONLY
PAVING:	1/2" x 1/2" PER SPEC. FRONT ONLY
ROOF:	30 YEAR
SHEDS:	1/2" x 1/2" PER SPEC.
SHEDS TYPE:	1/2" x 1/2" PER SPEC.
SURFACE COLOR:	6" x 6" x 8" STEEL RIBBED PANEL
PAVING:	PER FLOOR PLAN FOR SIZE
SHEDS:	1/2" x 1/2" PER SPEC.
SHEDS TYPE:	1/2" x 1/2" PER SPEC.

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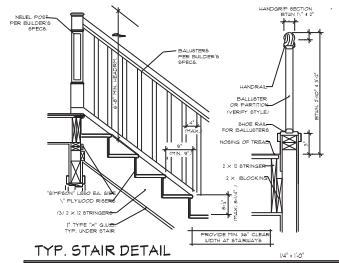
REAR ELEVATION

Carlowe- Right and Rear Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017

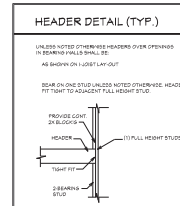
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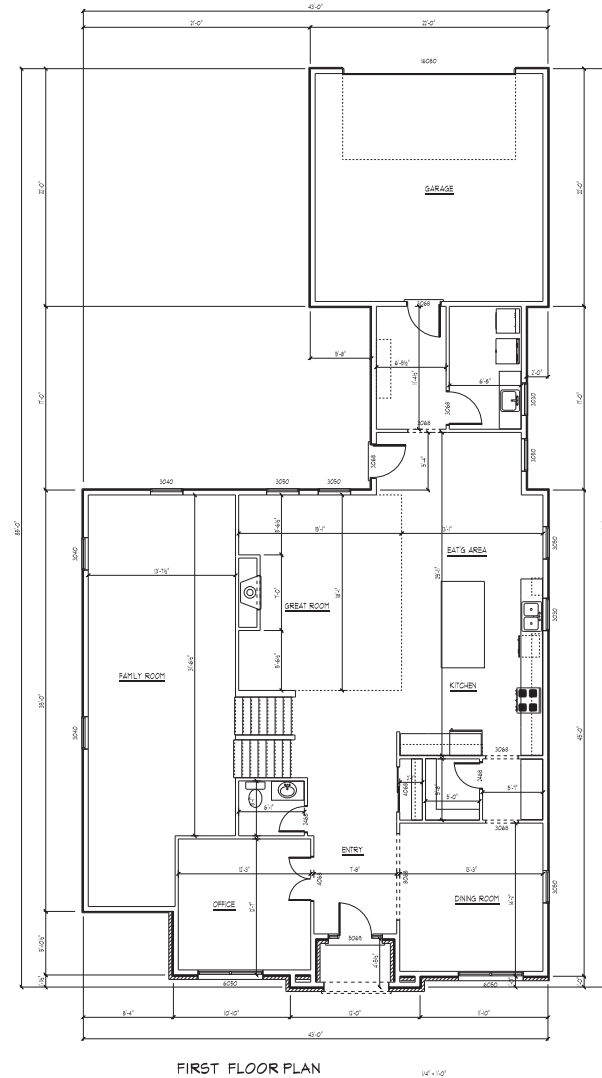
STAIR DATA	
1. MINIMUM TREAD DEPTH	11"
2. MINIMUM TREAD PROJECTION	1"
3. MINIMUM RISE/HEADROOM	7'-0"
4. MINIMUM HANDRAIL RISE/HEADROOM	8'-0"
5. MINIMUM HEADROOM HEIGHT AT CHAIR ANGLE	6'-0"
6. MINIMUM HANDRAIL HEIGHT	34"
7. MINIMUM GUARDRAIL HEIGHT	36"
8. MINIMUM BALUSTER SPACING (CLEAR DIM.)	4"
9. MINIMUM STAIR RISE/BALUSTER SPACING MAXIMUM	8" MAX. (SEE PLAN)

SHEAR WALL / BRACING CODED NOTES:	
1. METHOD 3 BWP SHALL BE AS FOLLOWS:	
1. WALL LENGTH > 4'-0" / NEVER "D" OF FOOT	
2. WALL THICKNESS	16"
3. 8" O.C. EDGE WALLS	
4. 8" O.C. FILL WALLS	
5. METHOD 3 BWP SHALL BE AS FOLLOWS:	
6. SEE DETAIL SHEET # 21	

2x6 EXTERIOR WALLS  
2x4 INTERIOR WALLS  
UNLESS NOTED OTHERWISE



Building sqft	
First floor	1536 sqft
Family room	501 sqft
Second Floor	1548 sqft



Carlowe - Floor Plan

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017





Ardmoor- Front Illustrative Rendering

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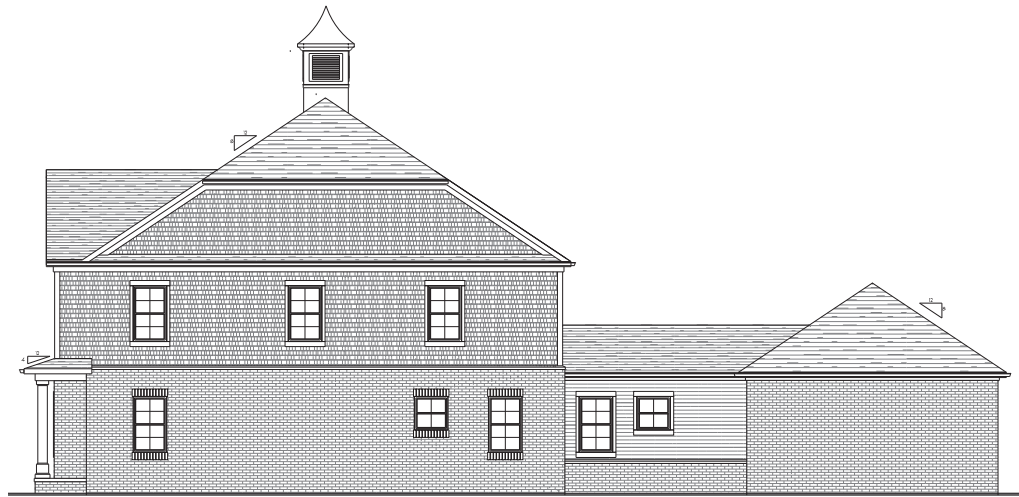


Ardmoor- Rear Illustrative Rendering

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FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017





RIGHT ELEVATION

EXTERIOR ELEVATION NOTES:	
	SIDING / PER SPEC.
	SHAKER SIDING / PER SPEC.
	BRICK / PER SPEC.
	SHINGLES / 30 y. DIMENSIONAL SHINGLES
EXTENSION TRIM:	3/4" x 6" PER SPEC. FRONT ONLY (ALLIES NOTED OTHERWISE)
FASCIA:	3/4" x 6" PER SPEC.
GUTTER:	6" OVER ALUM.
SHUTTER:	1/2" x 1" (PINE)
SHEDDING TYPE:	1/2" x 1" (PINE)
SARAGE DOOR:	6' x 8' STEEL RIBBED PANEL HSL OVERHEAD DR.
WINDO-PORT:	SEE FLOOR PLAN FOR SIZE
WINDO-PORT:	6' x 8' (PINE)
WINDO-PORT:	6' x 8' (PINE)
WINDO-PORT:	6' x 8' (PINE)

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REAR ELEVATION

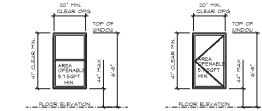
## Ardmoor- Right and Rear Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



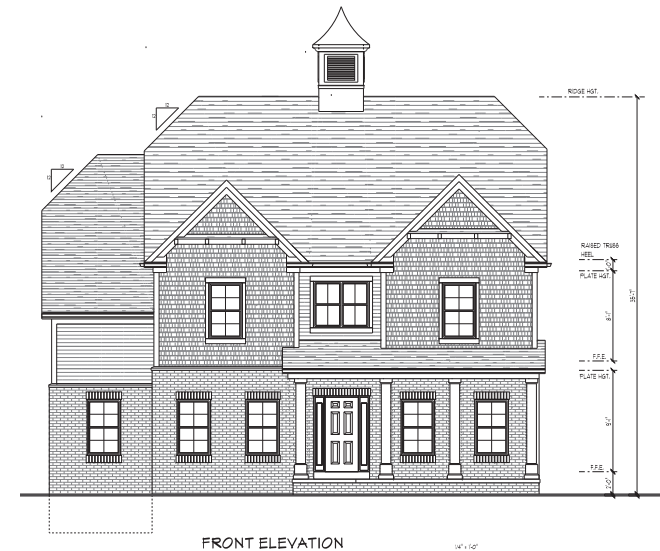
LEFT ELEVATION



THE DIMENSIONING CRITERIA OF THE OPENING PERMIT FIRE SERVICE PERSONNEL WHO ARE PACKS TO ENTER, AS WELL AS OCCUPANTS TO ESCAPE, TO BE USED. DIMENSIONS ARE NOT TO BE USED TO DETERMINE WHETHER THE WINDOW IS OPENED TO ITS FULLER FUNCTION, WITHOUT THE NEED FOR DISASSEMBLY OR DESTRUCTION OF THE UNIT.

#### EGRESS WINDOW DETAIL

EXTERIOR ELEVATION NOTES:	
	SIDING / PER SPEC.
	SHAKER SIDING / PER SPEC.
	BRICK / PER SPEC.
	SHINGLES / NO. 15 OPERATIONAL SHINGLES
EXTERIOR TRIM:	5/4" x 1" PER SPEC. FRONT ONLY
FASCIA:	1" x 4" PER SPEC. FRONT ONLY
GUTTER:	6" x 4" PER SPEC. FRONT ONLY
DOOR:	1" x 4" PER SPEC. FRONT ONLY
SHEDS THREE:	1/2" x 4" PER SPEC. FRONT ONLY
SARAGE DOOR:	6" x 6" x 6" STEEL BASED PANEL, INS. OVERHEAD DR.
POUGH POINT:	SEE FLOOR PLAN FOR SIZE
WEDGE ROOF:	20" x 4" PER SPEC. FRONT ONLY
WINDO WIND:	5/4" x 3" PER SPEC. FRONT ONLY



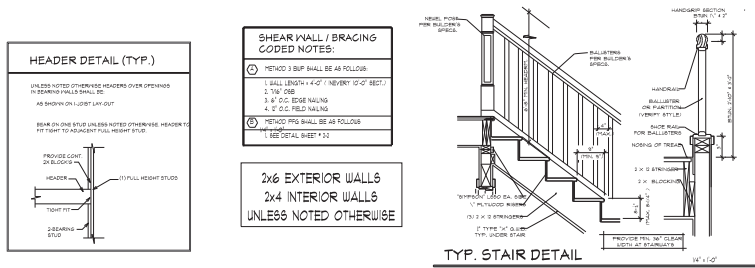
FRONT ELEVATION

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### Ardmoor- Left and Front Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

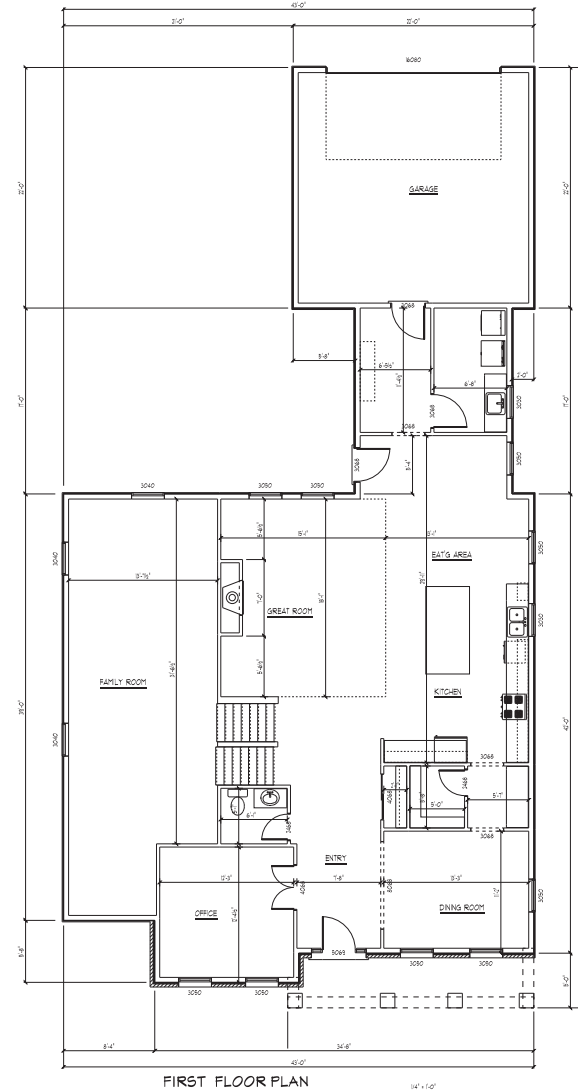
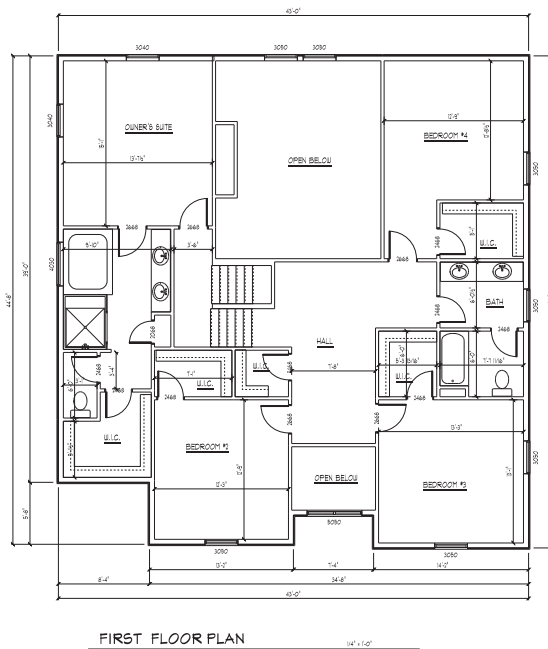
March 27, 2017



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STAIR DATA	
1. MINIMUM HEAD CLEARANCE	6'-8"
2. MINIMUM TREAD DEPTH	10"
3. MAXIMUM RISE	7-1/2"
4. MAXIMUM RUN	11'-0"
5. MAXIMUM OVERHANG	4"
6. MAXIMUM OVERHANG	4"
7. MAXIMUM OVERHANG	4"
8. MAXIMUM OVERHANG	4"
9. MAXIMUM OVERHANG	4"
10. MAXIMUM OVERHANG	4"
11. MAXIMUM OVERHANG	4"
12. MAXIMUM OVERHANG	4"
13. MAXIMUM OVERHANG	4"
14. MAXIMUM OVERHANG	4"
15. MAXIMUM OVERHANG	4"
16. MAXIMUM OVERHANG	4"
17. MAXIMUM OVERHANG	4"
18. MAXIMUM OVERHANG	4"
19. MAXIMUM OVERHANG	4"
20. MAXIMUM OVERHANG	4"

Building sqft	
First floor	1596 sqft
Family room	501 sqft
Second Floor	1548 sqft



## Ardmoor- Floor Plan

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



Ashleigh- Front Illustrative Rendering

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FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017





Ashleigh- Rear Illustrative Rendering

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FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



FRONT ELEVATION

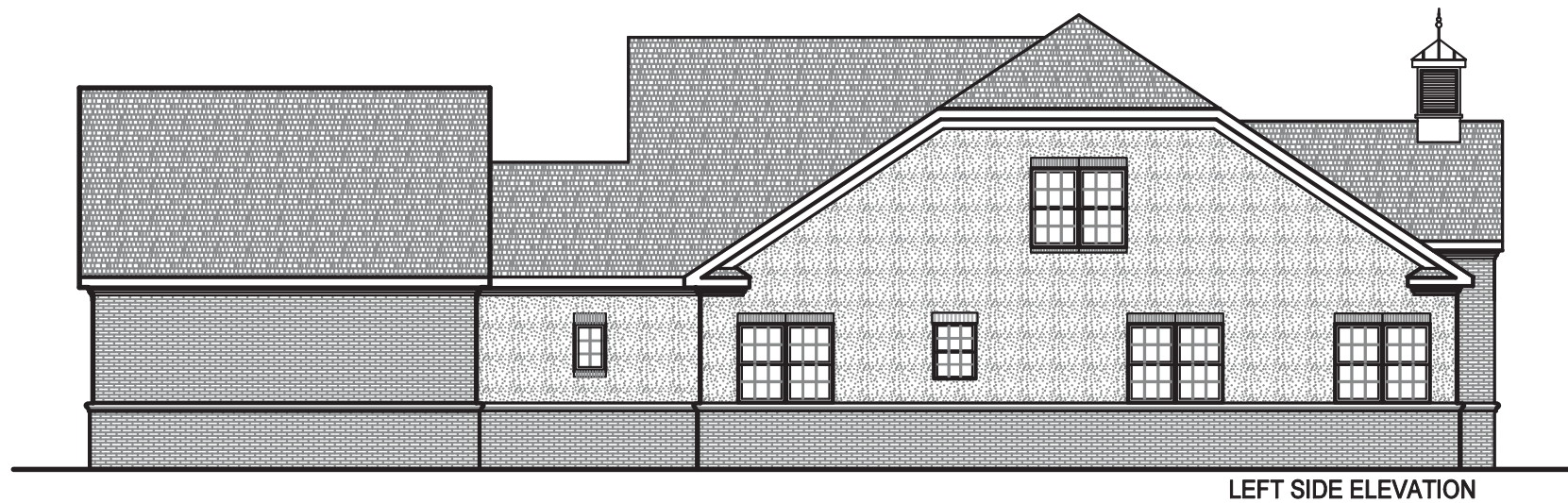
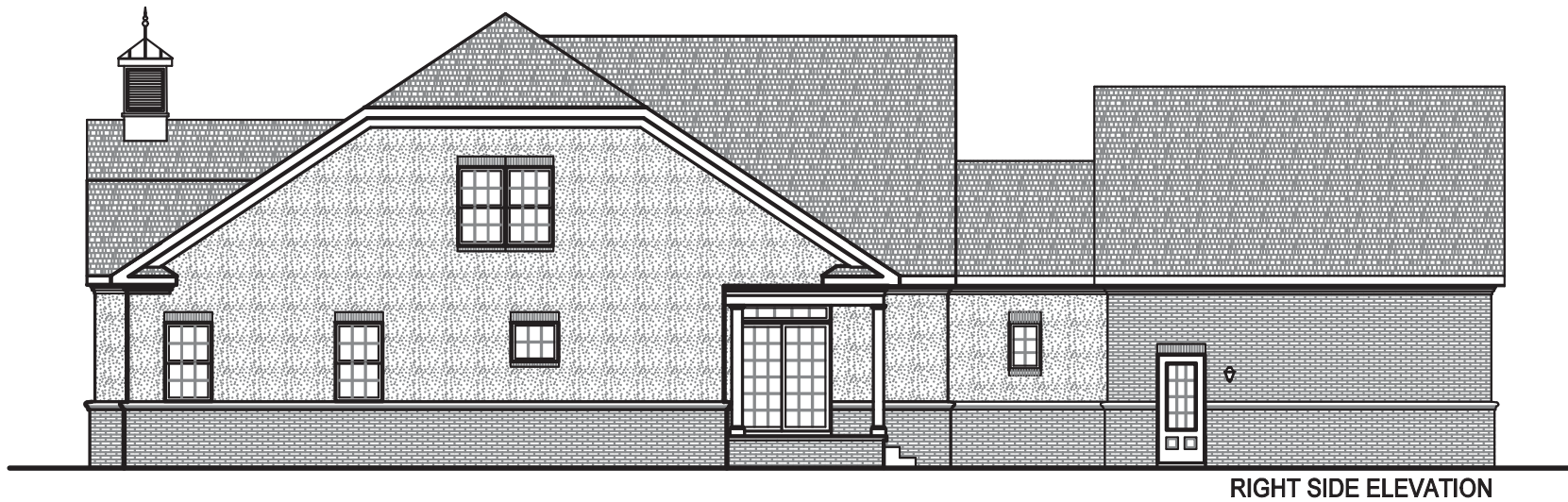


REAR ELEVATION

Ashleigh- Front and Rear Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

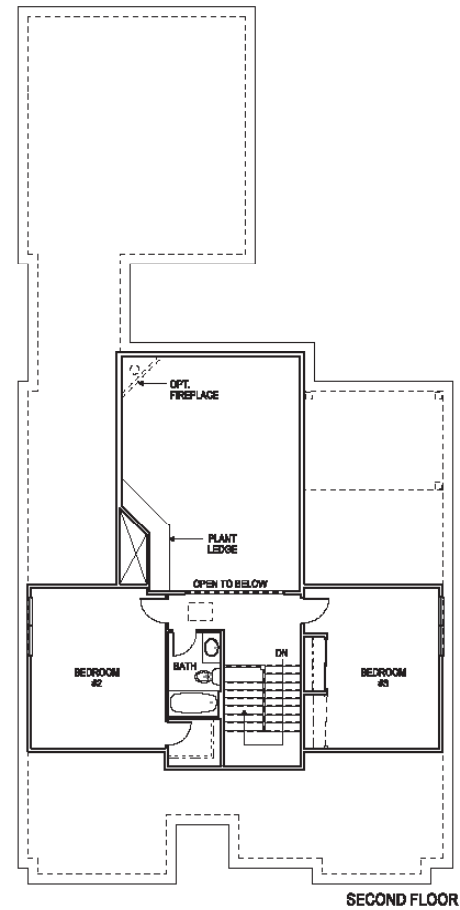
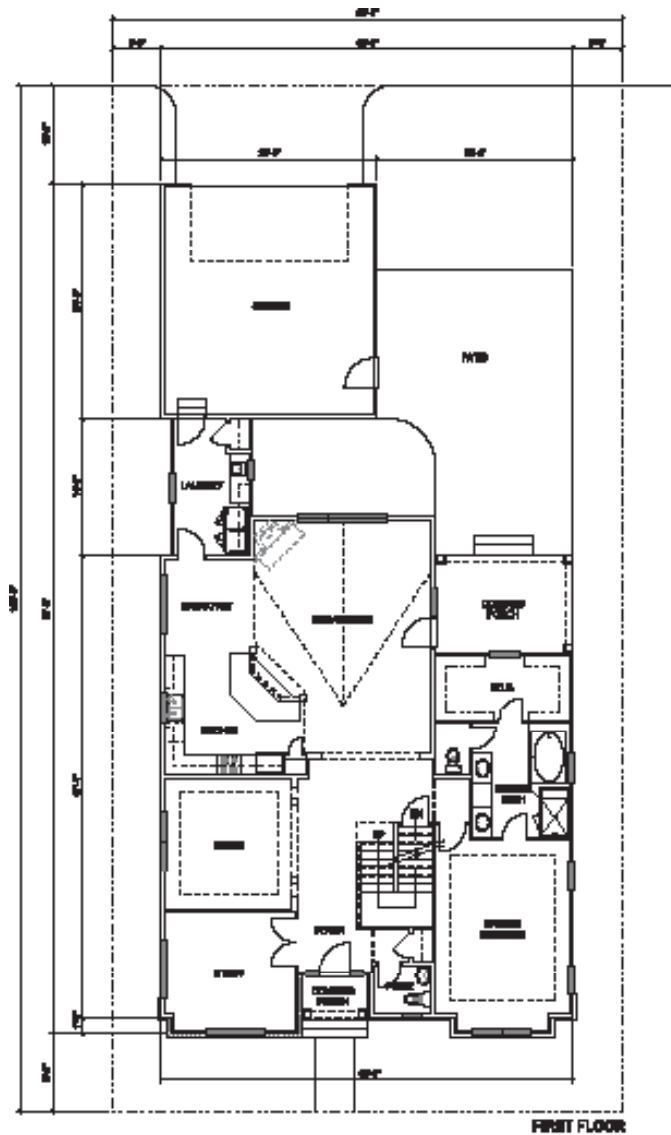
March 27, 2017



Ashleigh- Right and Left Side Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



# Ashleigh- Floor Plan

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017





Augusta- Front Illustrative Rendering

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



Augusta- Rear Illustrative Rendering

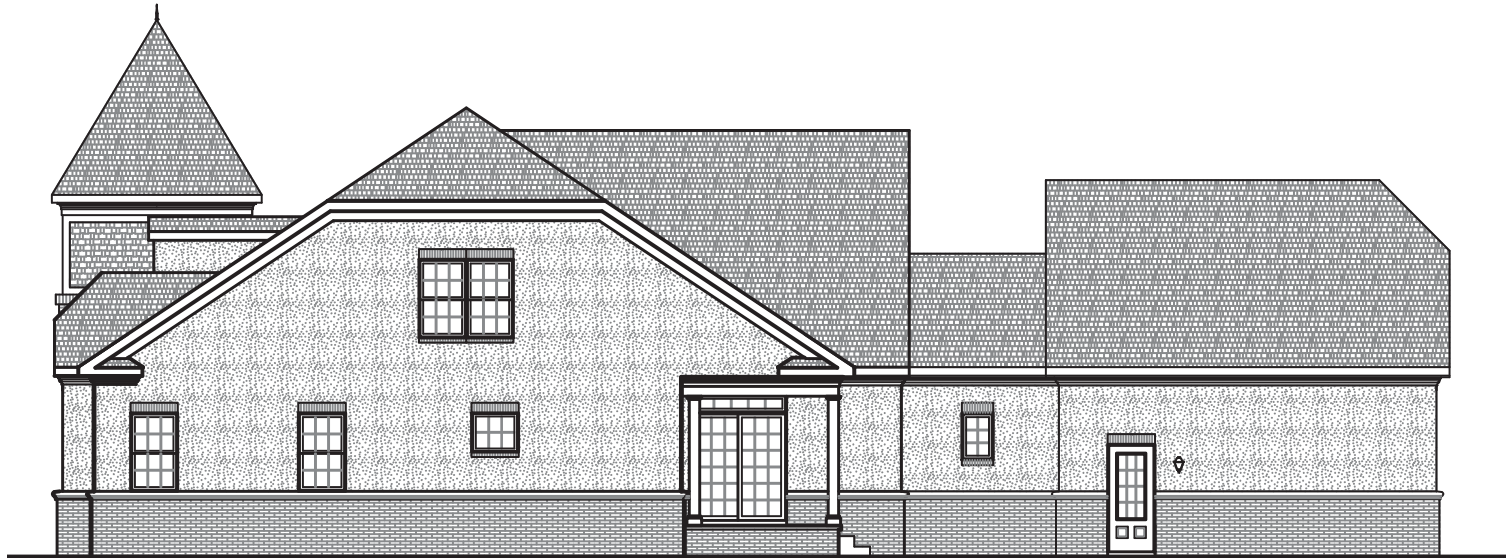
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FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



Augusta- Front and Rear Elevation





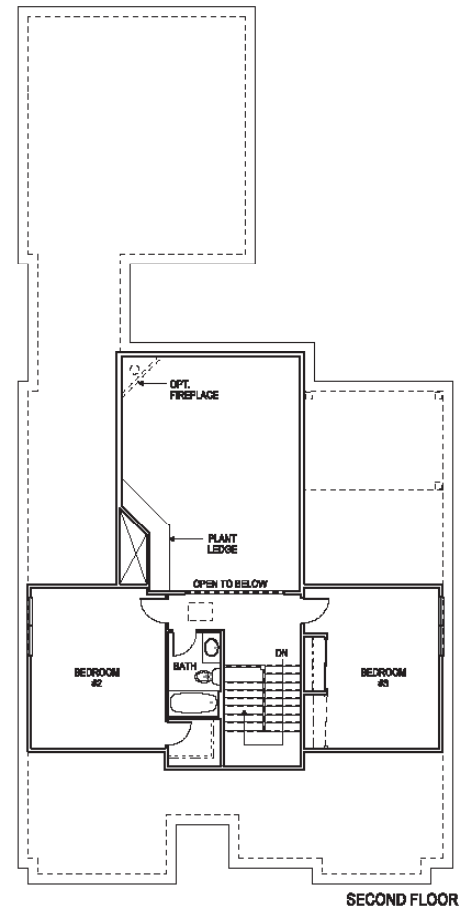
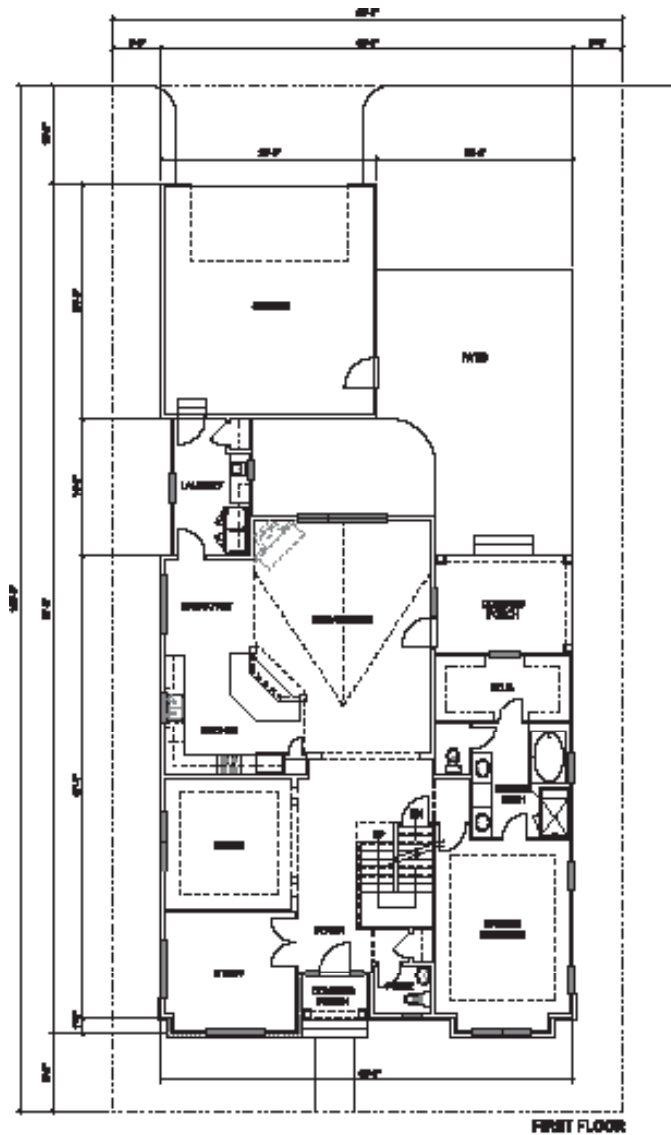
LEFT SIDE ELEVATION

Augusta- Right and Left Side Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017





## Augusta- Floor Plan

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



The Ashbourne- Front Elevation

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FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



The Ashbourne- Rear Elevation

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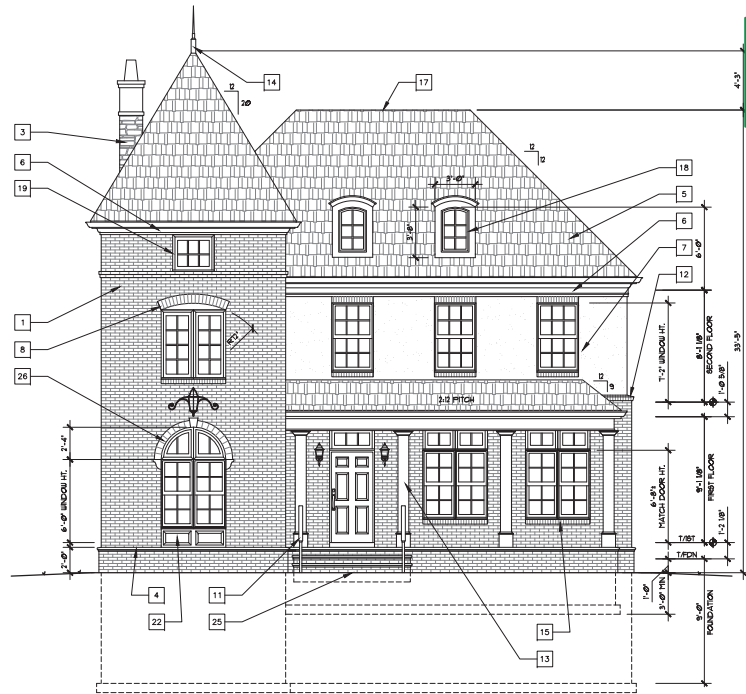
FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



MATERIAL SPEC	
BRICK VENEER	TRIANGLE BRICK (OVERSIZED) STYLE - KEY WEST
BRICK ACCENT	TRIANGLE BRICK (OVERSIZED) STYLE - CHARLESTON
STUCCO	PAREX - IVORY
DRY SHINGLES	OAK RIDGE PRO 40 - TERRA COTTA
ACCENT STONE VENEER	DUTCH QUALITY STONE OHIO TAN LESTONE
MORTAR	S 133
GUTTER	ALCOA - CAMBO
TRIM PAINT	BENJAMIN MOORE COLOR 941 NAVALO WHITE

ELEVATION CODED NOTES	
1	BRICK VENEER
2	STUCCO
3	CULTURED STONE VENEER
4	BRICK WATER TABLE WITH BRICK ROLLOK
5	30 YR DIMENSIONAL SHINGLES (3499)
6	SEE EAVE DETAILS FOR TRIM DESCRIPTIONS
7	WINDOW TRIM, BRICKOYD WITH TUN BRICK ROLLOK BILL AND SOLDIER HEADER
8	WINDOW TRIM, BRICKOYD W/ ARCHED SOLDIER HEADER AND BRICK ROLLOK BILL
9	GARAGE DOOR TRIM, BRICK SOLDIER HEADER
10	CARRIAGE STYLE STEEL INSULATED GARAGE DOOR
11	METAL RAILING
12	BRICK ROLLOK
13	PORCH COLUMNS, SEE PORCH DETAILS SHEET 8
14	DECORATIVE METAL SPIRE
15	WINDOW TRIM, BRICKOYD W/ SOLDIER COURSE HEADER AND ROLLOK BILL
16	STUCCO CHIMNEY CAP WITH EPS TRIM, SEE DETAIL
17	CONTINUOUS RIDGE VENT, TYPICAL
18	2006 ARCH WINDOW W/ BRICKOYD, TYP. AT DORMERS
19	3624 TRANSOM WINDOW TYP. AT TOP TOWER WINDOWS
20	4x6 BRACKET W/ 2x4x10 BEARING BLOCK
21	FILASTER AND FALK BRACKETS
22	WOOD TRIM RAISED PANEL
23	24 x 24 SQUARE x 60 TALL PRE-FAB CUPOLA WITH METAL ROOF AND SPIRE
24	1/8 SHIRT TRIM FREEZE, STUCCO IN GABLE FIELD
25	CONC. BEERS W/ BRICK VENEER AND CAST STONE TREAD CAP, TYP.
26	6" FALK LESTONE (EPS) HEADER WITH KEY AND CORBELS
27	STANDING BEAM METAL AT DORMER BARREL ROOF
28	20x8 GLASS BLOCK BASEMENT WINDOW WITH GALVANIZED WINDOW WELL
29	1/8 SHIRT TRIM FREEZE WITH 8x8 CORBELS
30	CRICKET, EXTEND 8" BEYOND CHASE ON EACH SIDE



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



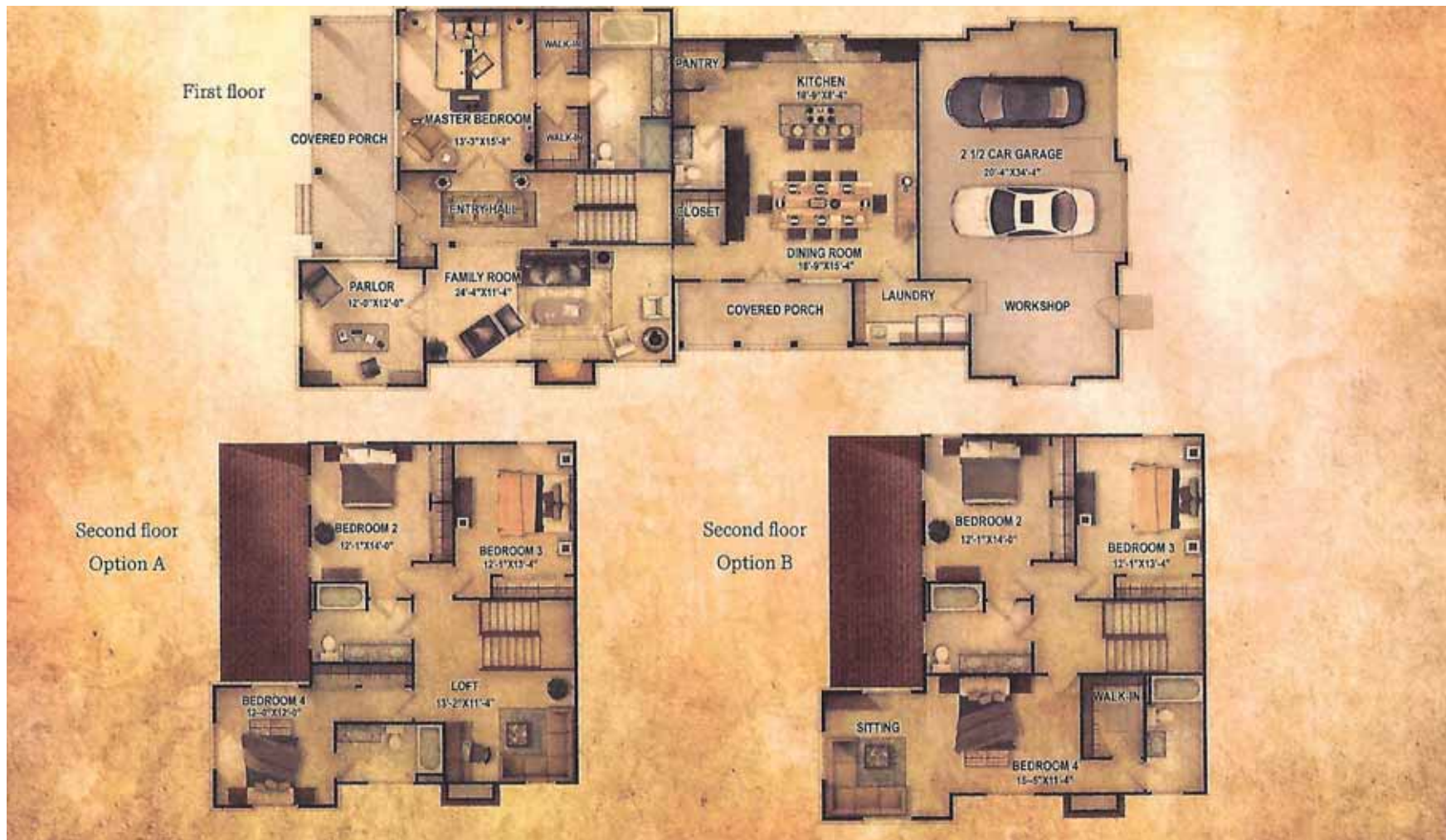
RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

## The Ashbourne- Front and Right Side Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017





The Ashbourne- Floor Plan



The Castletroy- Front Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



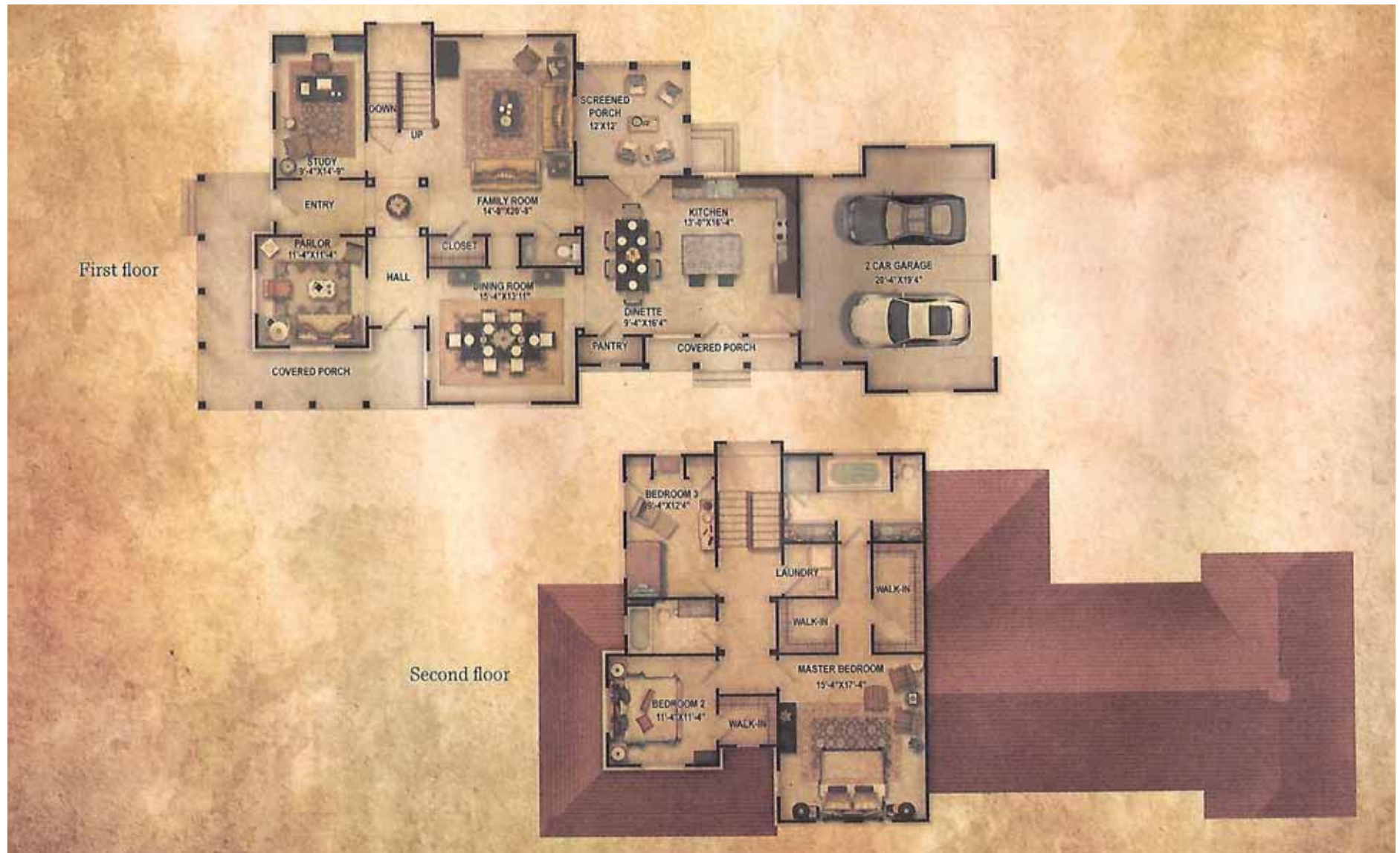


The Castletroy- Rear Elevation

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FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



The Castletroy- Floor Plan





Note: Calculations include building footprint, driveways and anticipated patios.