

TOWNEPLACE SUITES

5155 Upper Metro Place, Dublin, Ohio 43017, Franklin County

MARRIOTT

Owner

Upper Metro Lodging Partners, LLP

Cincinnati, Ohio 45249
Phone: 513-683-1333
Email: subhas@keystonehotels.com

Architects

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GOP Limited

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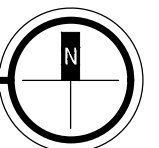
AFA Engineering, LLC

8825 Chapel Square Drive, Suite A Cincinnati, Ohio 45242
Contact: Matt Gurley Phone: 859-225-4437
Email: mgurley@afaengr.com

Stonehenge Building Group

8825 Chapel Square Drive, Suite A Cincinnati, Ohio 45249
Contact: Santosh Patel Phone: 513-266-7408
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NOT TO SCALE



PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE / REVISION DATE:	
06/29/2016	CLIENT REVIEW
07/28/2016	ART REVIEW
09/29/2016	MARRIOTT REVIEW
05/02/2017	DUBLIN ZONING REVIEW / MARRIOTT 30% REVIEW

TOWNEPLACE SUITES MARRIOTT

5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY

COVER SHEET

REV. No.	SHEET No.	DATE	SHEET TITLE	ARCHITECTURAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
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STUDIO

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costandi studio ARCHITECTURE + PLANNING

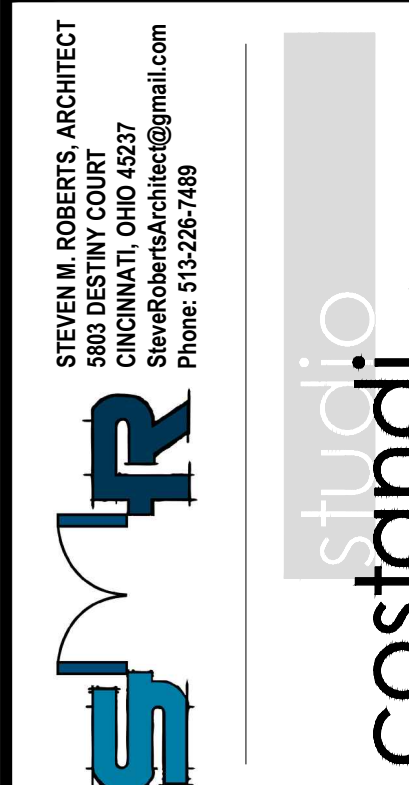
Project No. **TPSDUE**

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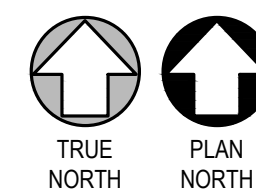
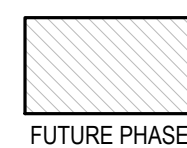
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- 05/02/2017 DUBLIN ZONING REVIEW
- MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
ARCHITECTURAL MASTER SITE
PLAN - OPTION A

Project No. **TPSDUB**

A1.1A

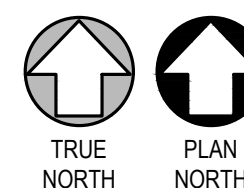
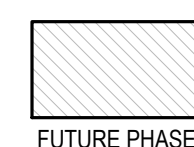
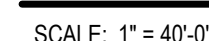


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MARRIOTT 30% REVIEW

Project No. **TPSDU**

A1.1B



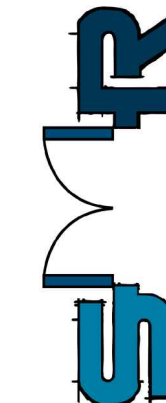
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● 05/02/2017 DUBLIN ZONING REVIEW / MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
ARCHITECTURAL SITE
DEVELOPMENT PLAN



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Project No. **TPSDUB**

A1.2

OPEN SPACE CALCULATION

TOTAL BUILDING GSF = 63,906
63,906 / 50 SF = **1,279 SF REQUIRED OPEN SPACE**

IMPERVIOUS COVERAGE

1.63± ACRES = 71,059 SF

ASPHALT (40,380 SF)	56.82%
GREEN SPACE (13,614 SF)	19.16%
BUILDING (12,726 SF)	17.91%
SIDEWALK / CURB (4,339 SF)	6.11%

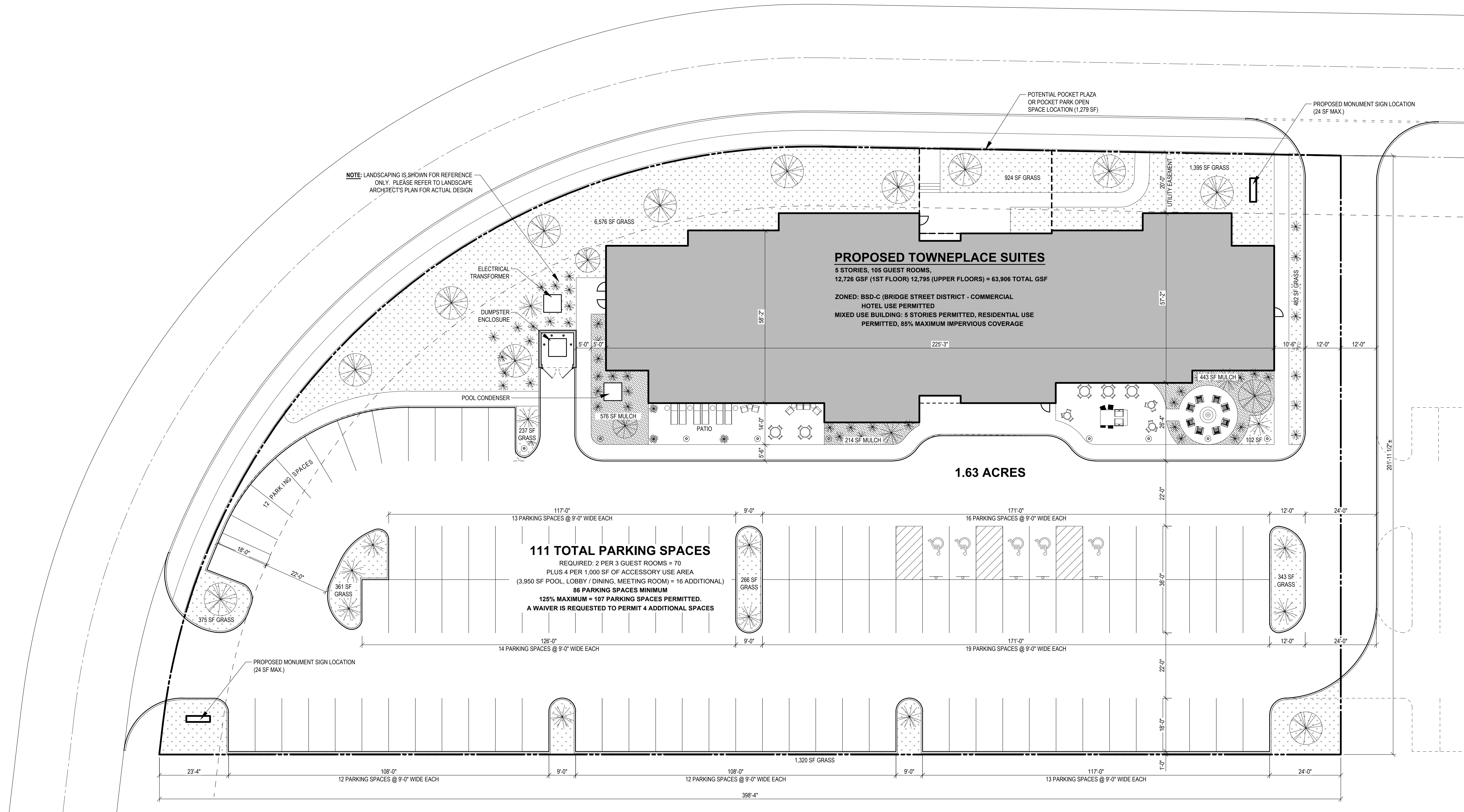
MAXIMUM 85%, AS SUBMITTED 80.84%

FRONT PROPERTY LINE COVERAGE:

LENGTH OF "SETBACK" LINE ALONG BACK
SIDE OF UTILITY EASEMENT NOT INCLUDING
SIDE / REAR YARD SETBACKS = 477'-9" +/-

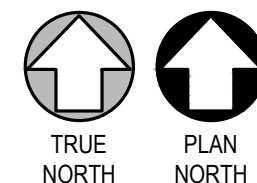
TOTAL BUILDING LENGTH = 225'-3"

FRONT PROPERTY LINE COVERAGE = 47.1%
A WAIVER IS REQUESTED FOR REDUCED FRONT PROPERTY LINE COVERAGE



ARCHITECTURAL SITE DEVELOPMENT PLAN

SCALE: 1/16" = 1'-0"



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A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
SITE DETAIL, DUMPSTER
ENCLOSURE DETAILS

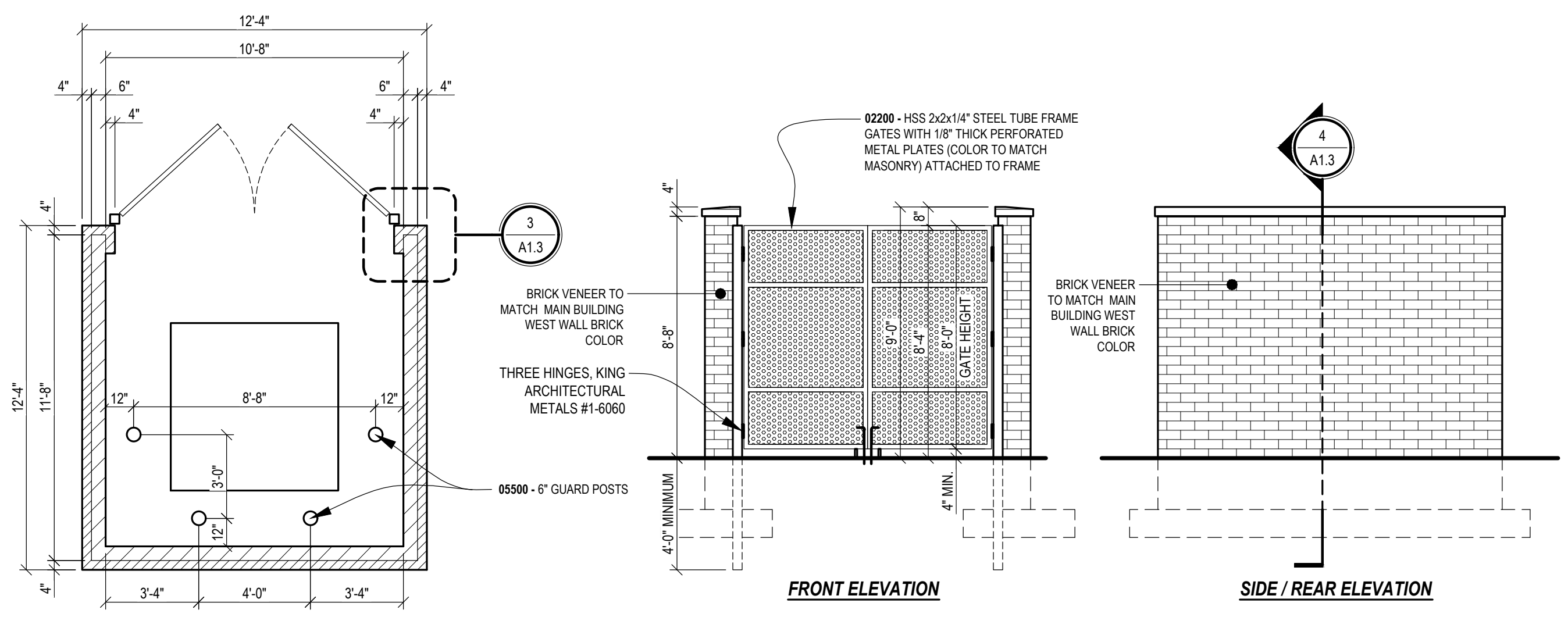
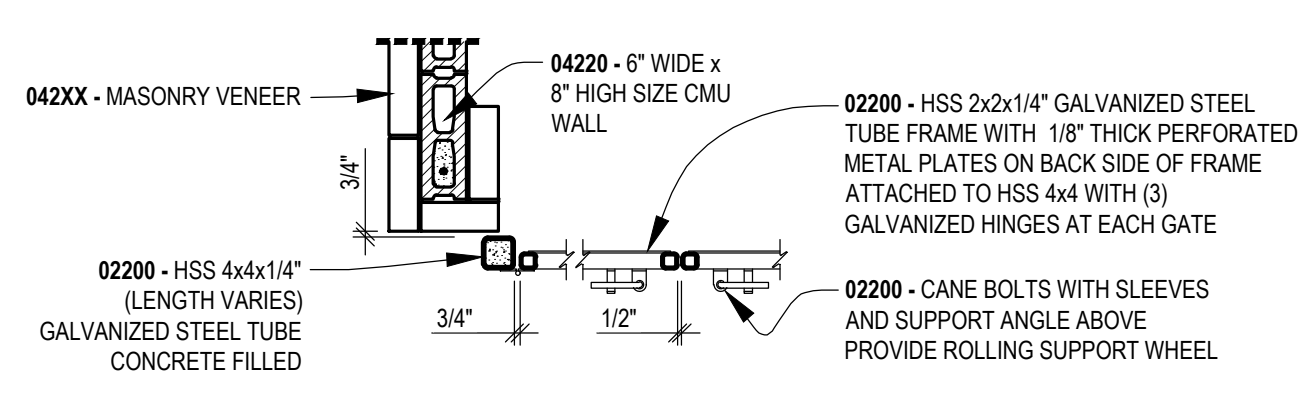
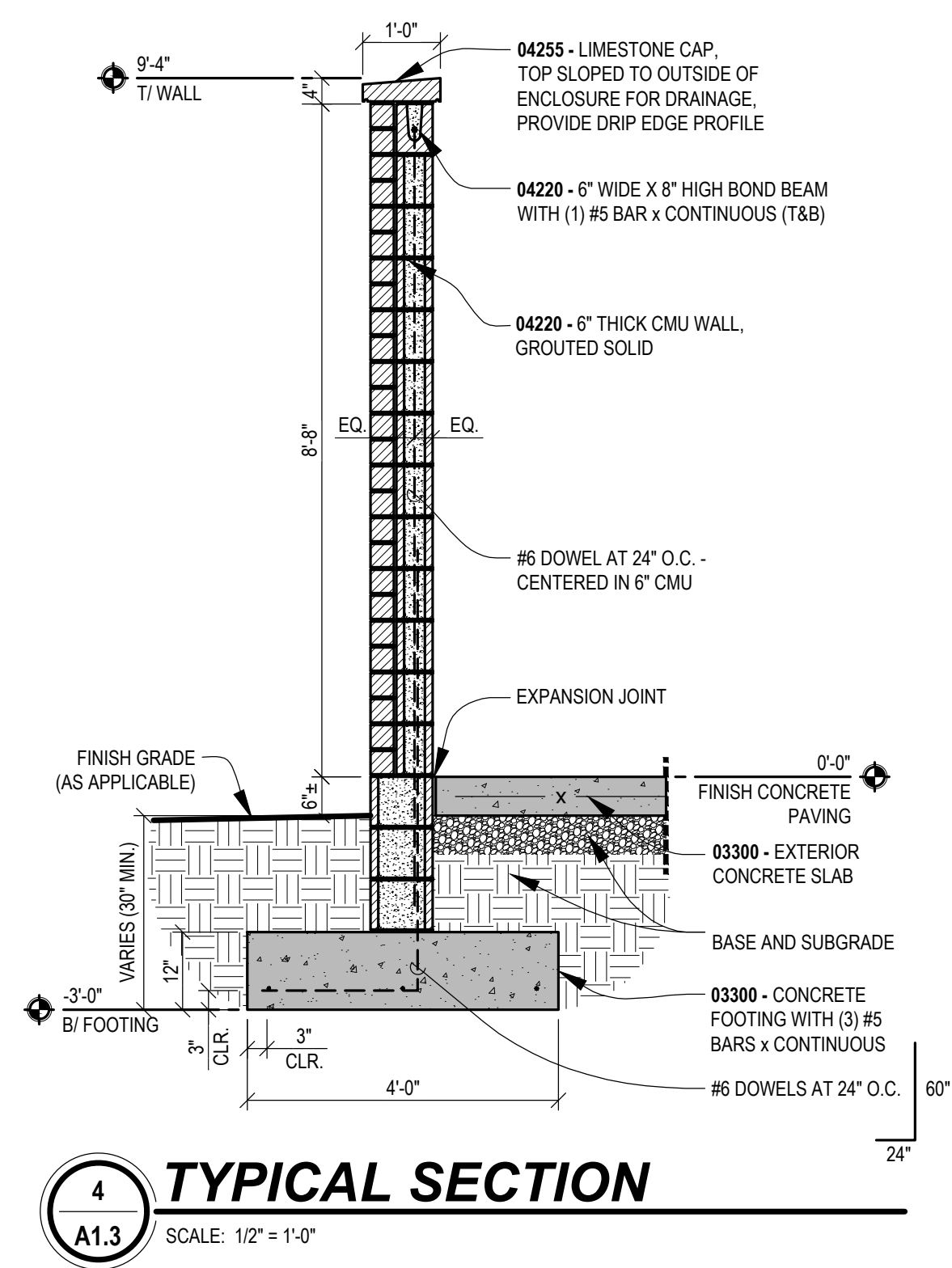


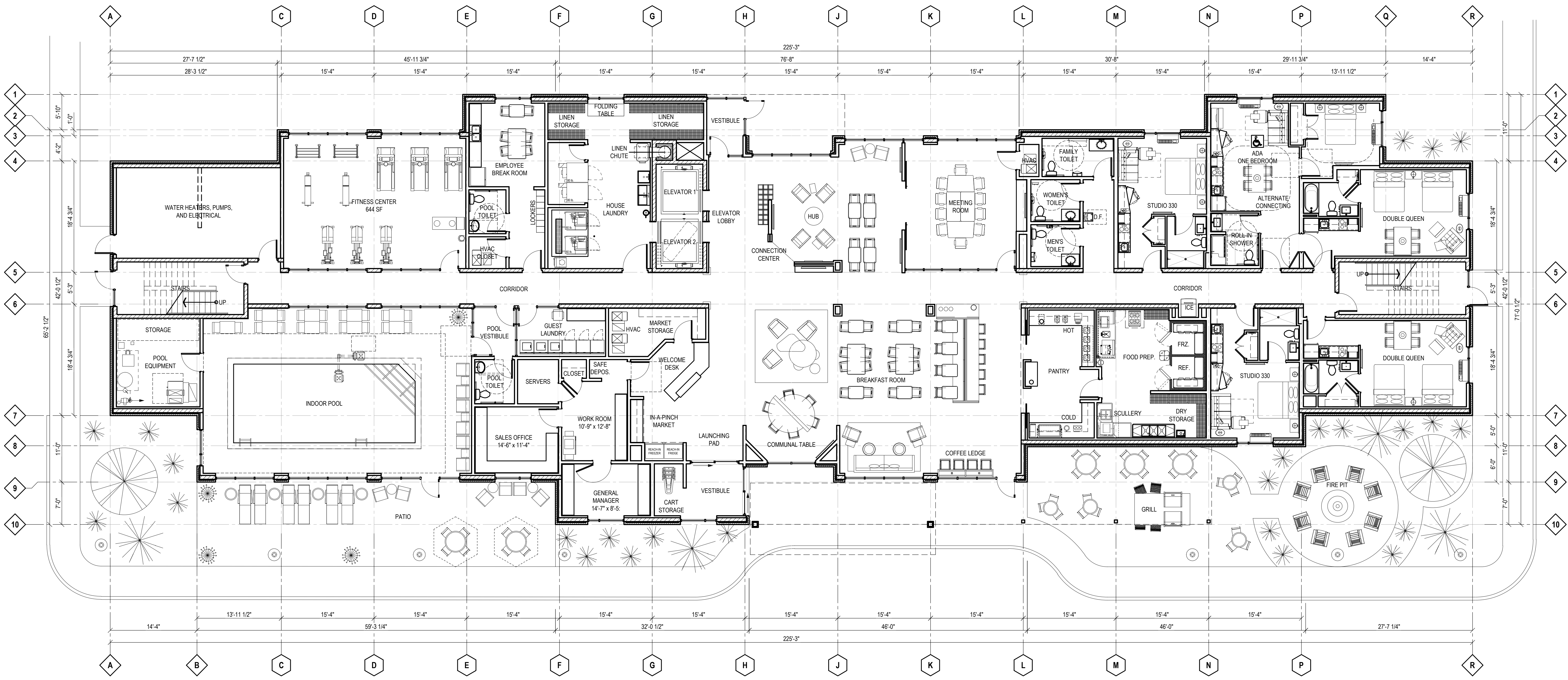
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Project No. **TPSDUB**

A1.3





ROOM DISTRIBUTION							
ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28
A3.3	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18
A3.6	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3
A3.7	ONE BEDROOM	-	2	2	2	2	8
A3.8	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1
-	TOTAL	5	25	25	25	25	105
-	SINGLE BEDDED ROOMS (ST + 1BR)						63
-	DOUBLE BEDDED ROOMS						42
ADAAG REQUIREMENTS (101-150 ROOMS)						REQUIRED	PROVIDED
GUEST ROOMS WITH MOBILITY FEATURES						5	5
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER						2	2
TOTAL GUEST ROOMS WITH MOBILITY FEATURES						7	7
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES						5	5

FIRST FLOOR PLAN (5 GUEST ROOMS, 12,726 GROSS SF)

SCALE: 1/8" = 1'-0"

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MARRIOTT

OVERALL FIRST FLOOR PLAN

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A2.1

TRUE NORTH

PLAN NORTH

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ROOM DISTRIBUTION

ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	%
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22	
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28	50.5%
A3.3	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3	
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22	
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18	40.9%
A3.6	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3	
A3.7	ONE BEDROOM	-	2	2	2	2	8	
A3.8	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1	8.6%
-	TOTAL	5	25	25	25	25	105	
-	SINGLE BEDDED ROOMS (ST + 1BR)						63	60.0%
-	DOUBLE BEDDED ROOMS						42	40.0%
ADAAG REQUIREMENTS (101-150 ROOMS)							REQUIRED	PROVIDED
GUEST ROOMS WITH MOBILITY FEATURES							5	5
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER							2	2
TOTAL GUEST ROOMS WITH MOBILITY FEATURES							7	7
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES							5	5



SECOND FLOOR PLAN (12,795 GROSS SF)

SCALE: 1/8" = 1'-0"

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5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
SECOND FLOOR PLAN



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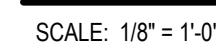
A2.2

ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	%
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22	
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28	90.5%
A3.3 	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3	
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22	
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18	49.9%
A3.6 	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3	
A3.7	ONE BEDROOM	-	2	2	2	2	8	
A3.8 	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1	8.6%
-	TOTAL	5	25	25	25	25	105	
-	SINGLE BEDED ROOMS (ST + 1BR)						63	60.0%
-	DOUBLE BEDED ROOMS						42	40.0%
ADA&A REQUIREMENTS (101-150 ROOMS)					REQUIRED	PROVIDED		
GUEST ROOMS WITH MOBILITY FEATURES					5	5		
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER					2	2		
TOTAL GUEST ROOMS WITH MOBILITY FEATURES					7	7		
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES					5	5		

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A2.3



ROOM DISTRIBUTION

ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	%
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22	50.5%
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28	
A3.3	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3	
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22	
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18	40.9%
A3.6	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3	
A3.7	ONE BEDROOM	-	2	2	2	2	8	
A3.8	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1	
-	TOTAL	5	25	25	25	25	105	
-	SINGLE BEDDED ROOMS (ST + 1BR)						63	60.0%
-	DOUBLE BEDDED ROOMS						42	40.0%
ADAAG REQUIREMENTS (101-150 ROOMS)					REQUIRED	PROVIDED		
GUEST ROOMS WITH MOBILITY FEATURES					5	5		
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER					2	2		
TOTAL GUEST ROOMS WITH MOBILITY FEATURES					7	7		
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES					5	5		



FOURTH FLOOR PLAN (25 GUEST ROOMS, 12,795 GROSS SF)

SCALE: 1/8" = 1'-0"

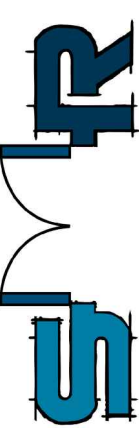
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MARRIOTT
FOURTH FLOOR PLAN



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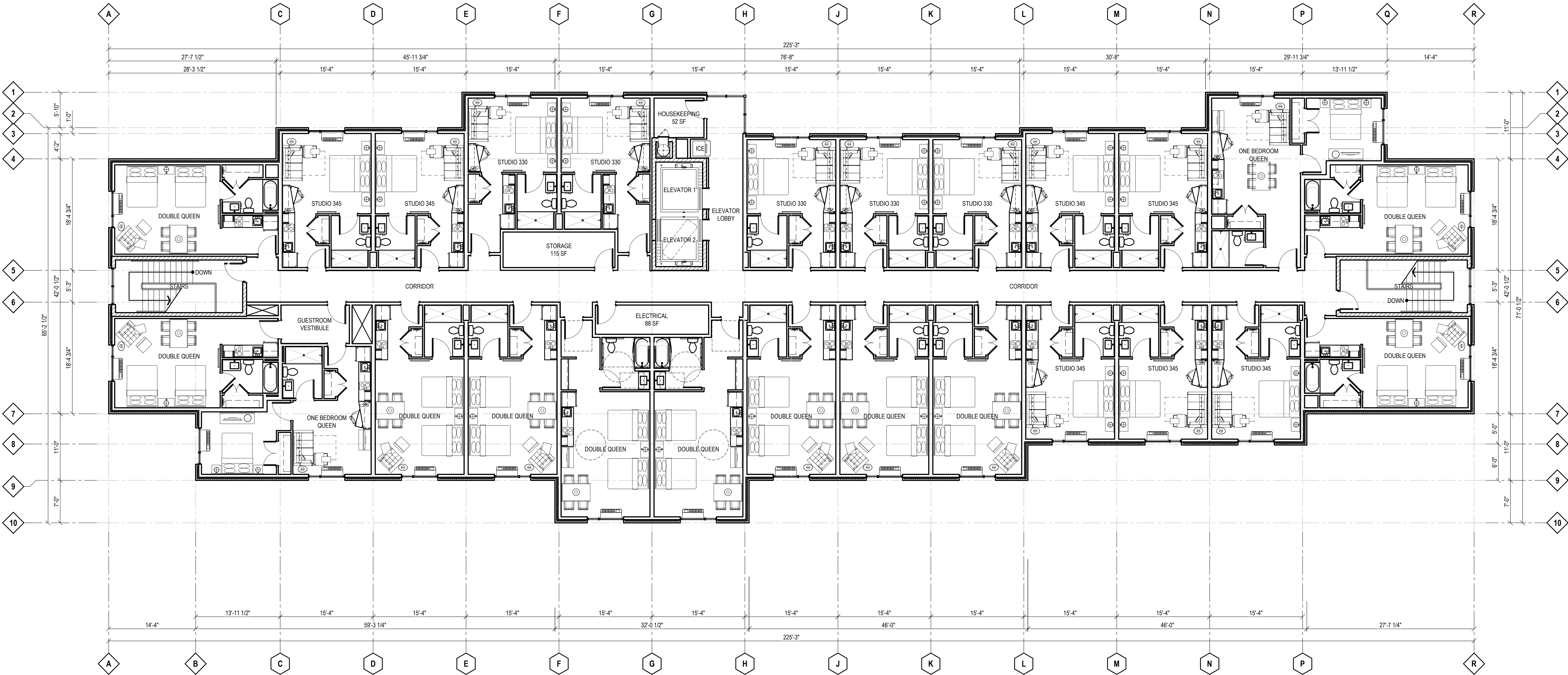
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Project No. **TPSDUB**

A2.4

ROOM DISTRIBUTION

ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	%
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22	50.5%
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28	
A3.3	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3	
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22	
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18	
A3.6	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3	8.6%
A3.7	ONE BEDROOM	-	2	2	2	2	8	
A3.8	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1	
-	TOTAL	5	25	25	25	25	105	
-	SINGLE BEDDED ROOMS (ST + 1BR)						63	60.0%
-	DOUBLE BEDDED ROOMS						42	40.0%
ADAAG REQUIREMENTS (101-150 ROOMS)							REQUIRED	PROVIDED
GUEST ROOMS WITH MOBILITY FEATURES							5	5
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER							2	2
TOTAL GUEST ROOMS WITH MOBILITY FEATURES							7	7
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES							5	5



FIFTH FLOOR PLAN (25 GUEST ROOMS, 12,795 GROSS SF)

SCALE: 1/8" = 1'-0"

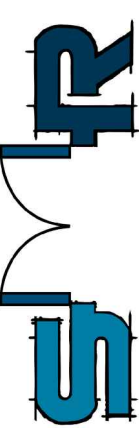
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MARRIOTT
FIFTH FLOOR PLAN



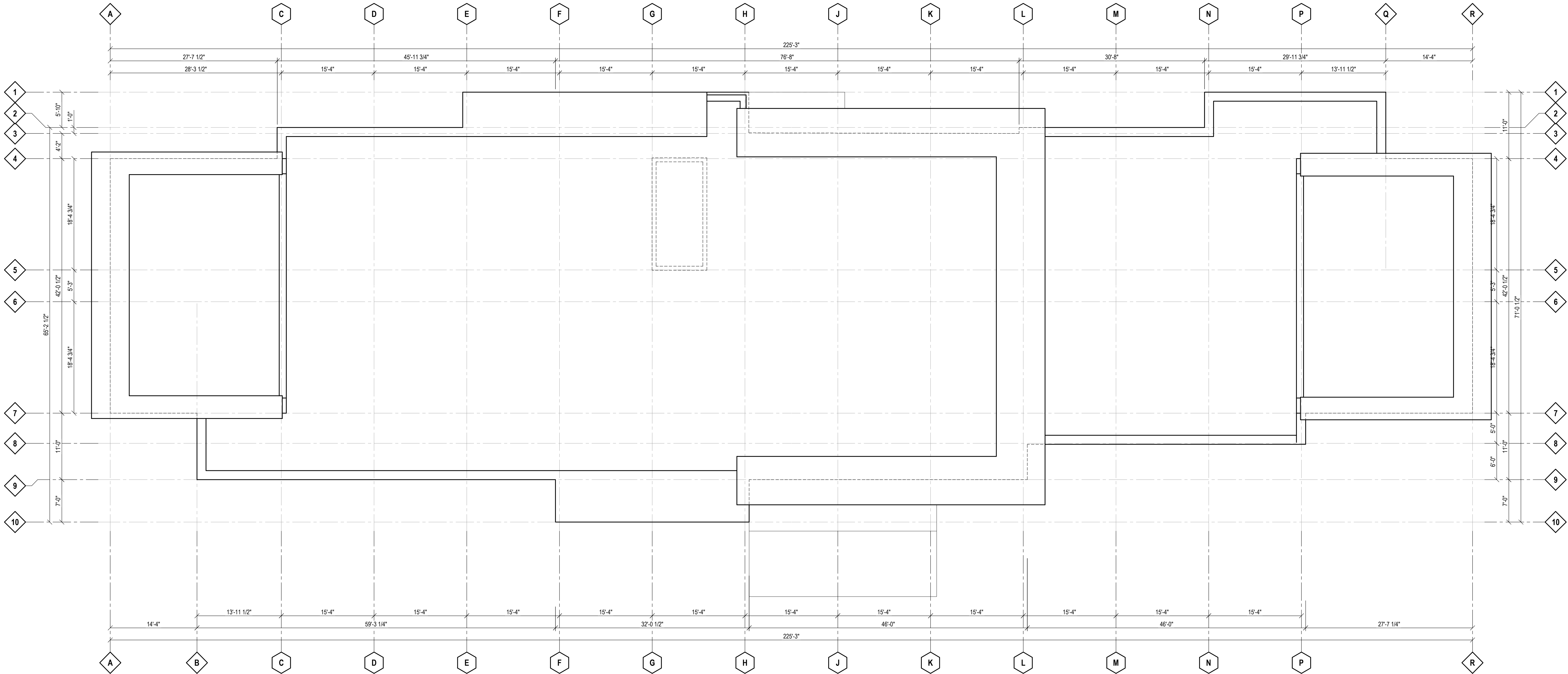
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Phone: 513-226-7489



costandi
ARCHITECTURE + PLANNING

Project No. **TPSDUB**

A2.5



ROOF PLAN

SCALE: 1/8" = 1'-0"

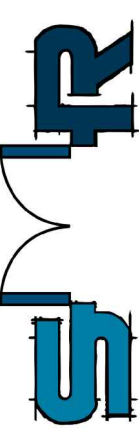
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 - 05/02/2017 DUBLIN ZONING REVIEW / MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
ROOF PLAN



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Project No. **TPSDUB**

A2.6

ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	%
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22	
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28	50.5%
A3.3 	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3	
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22	
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18	40.9%
A3.6 	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3	
A3.7	ONE BEDROOM	-	2	2	2	2	8	
A3.8 	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1	8.6%
-	TOTAL	5	25	25	25	25	105	
-	SINGLE BEDED ROOMS (ST + 1BR)						63	60.0%
-	DOUBLE BEDED ROOMS						42	40.0%
ADAAG REQUIREMENTS (101-150 ROOMS)					REQUIRED	PROVIDED		
GUEST ROOMS WITH MOBILITY FEATURES					5	5		
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER					2	2		
TOTAL GUEST ROOMS WITH MOBILITY FEATURES					7	7		
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES					5	5		

E / REVISION DATE:	
5/29/2016	CLIENT REVIEW
7/28/2016	ART REVIEW
8/29/2016	MARRIOTT REVIEW
6/02/2017	DUBLIN ZONING REVIEW / MARRIOTT 30% REVIEW

Project No. **TPSDUB**

TRUE NORTH

PLAN NORTH

SCALE: 1/8" = 1'-0"

ROOM DISTRIBUTION

ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	%
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22	50.5%
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28	
A3.3	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3	
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22	
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18	40.9%
A3.6	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3	
A3.7	ONE BEDROOM	-	2	2	2	2	8	
A3.8	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1	
-	TOTAL	5	25	25	25	25	105	
-	SINGLE BEDDED ROOMS (ST + 1BR)						63	60.0%
-	DOUBLE BEDDED ROOMS						42	40.0%
ADAAG REQUIREMENTS (101-150 ROOMS)							REQUIRED	PROVIDED
GUEST ROOMS WITH MOBILITY FEATURES							5	5
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER							2	2
TOTAL GUEST ROOMS WITH MOBILITY FEATURES							7	7
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES							5	5



SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

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07/28/2016 ART REVIEW
09/29/2016 MARRIOTT REVIEW
05/02/2017 DUBLIN ZONING REVIEW / MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
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5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
SECOND FLOOR
REFLECTED CEILING PLAN



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Project No. **TPSDUB**

A2.8

ROOM DISTRIBUTION

ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	%
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22	50.5%
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28	
A3.3	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3	
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22	
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18	40.9%
A3.6	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3	
A3.7	ONE BEDROOM	-	2	2	2	2	8	
A3.8	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1	
-	TOTAL	5	25	25	25	25	105	
-	SINGLE BEDDED ROOMS (ST + 1BR)						63	60.0%
-	DOUBLE BEDDED ROOMS						42	40.0%
ADAAG REQUIREMENTS (101-150 ROOMS)					REQUIRED	PROVIDED		
GUEST ROOMS WITH MOBILITY FEATURES					5	5		
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER					2	2		
TOTAL GUEST ROOMS WITH MOBILITY FEATURES					7	7		
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES					5	5		



THIRD FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

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05/02/2017 DUBLIN ZONING REVIEW / MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
THIRD FLOOR
REFLECTED CEILING PLAN



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A2.9

ROOM DISTRIBUTION

ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	%
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22	50.5%
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28	
A3.3	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3	
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22	
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18	40.9%
A3.6	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3	
A3.7	ONE BEDROOM	-	2	2	2	2	8	
A3.8	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1	
-	TOTAL	5	25	25	25	25	105	
-	SINGLE BEDDED ROOMS (ST + 1BR)						63	60.0%
-	DOUBLE BEDDED ROOMS						42	40.0%
ADAAG REQUIREMENTS (101-150 ROOMS)					REQUIRED	PROVIDED		
GUEST ROOMS WITH MOBILITY FEATURES					5	5		
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER					2	2		
TOTAL GUEST ROOMS WITH MOBILITY FEATURES					7	7		
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES					5	5		



FOURTH FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

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05/02/2017 DUBLIN ZONING REVIEW / MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
FOURTH FLOOR
REFLECTED CEILING PLAN



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Project No. **TPSDUB**

A2.10

ROOM DISTRIBUTION

ENLARGED PLAN SHEET	ROOM TYPE	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	%
A3.1	STUDIO 330 - SHOWER	2	5	5	5	5	22	50.5%
A3.2	STUDIO 345 - SHOWER	-	7	7	7	7	28	
A3.3	ACCESSIBLE STUDIO - ADA SHOWER	-	1	1	1	-	3	
A3.4	DOUBLE QUEEN (CTR) - SHOWER	-	5	5	5	7	22	
A3.4	DOUBLE QUEEN (END) - TUB	2	4	4	4	4	18	40.9%
A3.6	ACCESSIBLE DOUBLE QUEEN - ADA TUB	-	1	1	1	-	3	
A3.7	ONE BEDROOM	-	2	2	2	2	8	
A3.8	ACCESSIBLE ONE BEDROOM - ROLL-IN	1	-	-	-	-	1	
-	TOTAL	5	25	25	25	25	105	
-	SINGLE BEDDED ROOMS (ST + 1BR)						63	60.0%
-	DOUBLE BEDDED ROOMS						42	40.0%
ADAAG REQUIREMENTS (101-150 ROOMS)					REQUIRED	PROVIDED		
GUEST ROOMS WITH MOBILITY FEATURES					5	5		
GUEST ROOMS WITH MOBILITY FEATURES & ROLL-IN SHOWER					2	2		
TOTAL GUEST ROOMS WITH MOBILITY FEATURES					7	7		
ADDITIONAL GUEST ROOMS WITH COMMUNICATION FEATURES					5	5		



FIFTH FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

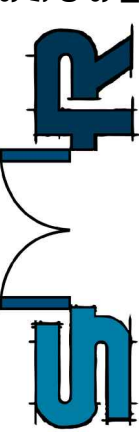
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09/29/2016 MARRIOTT REVIEW
05/02/2017 DUBLIN ZONING REVIEW / MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
FIFTH FLOOR
REFLECTED CEILING PLAN



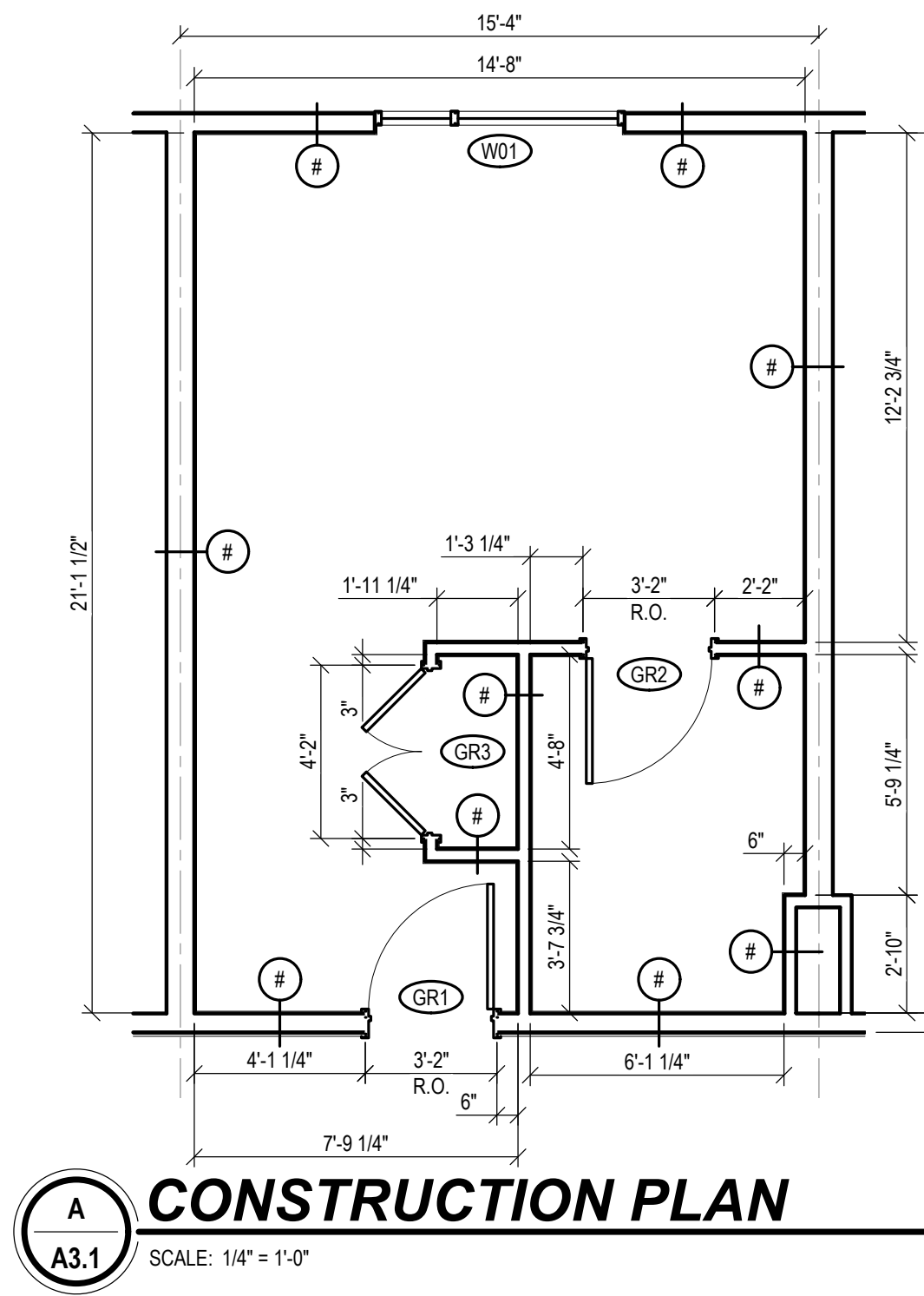
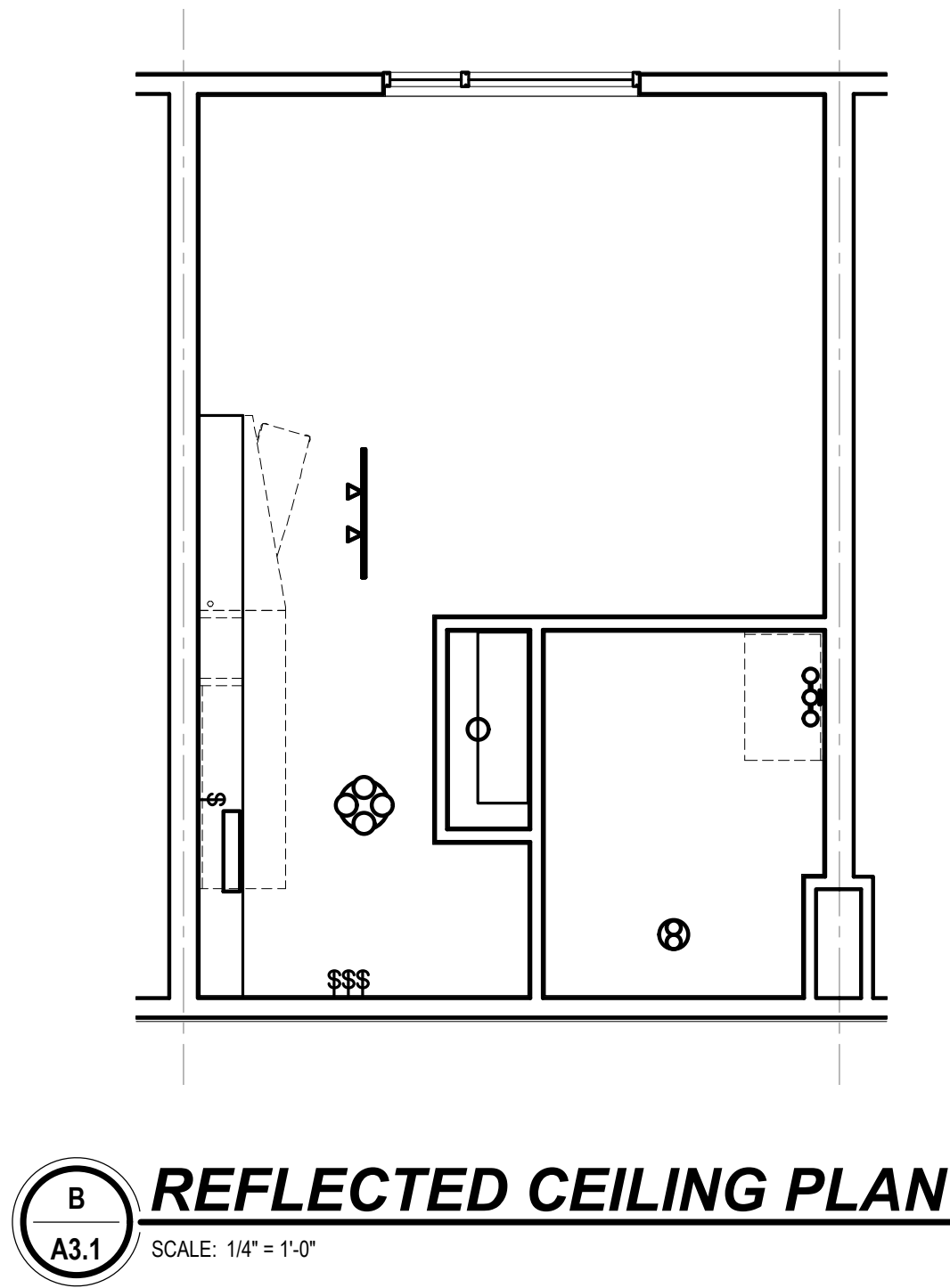
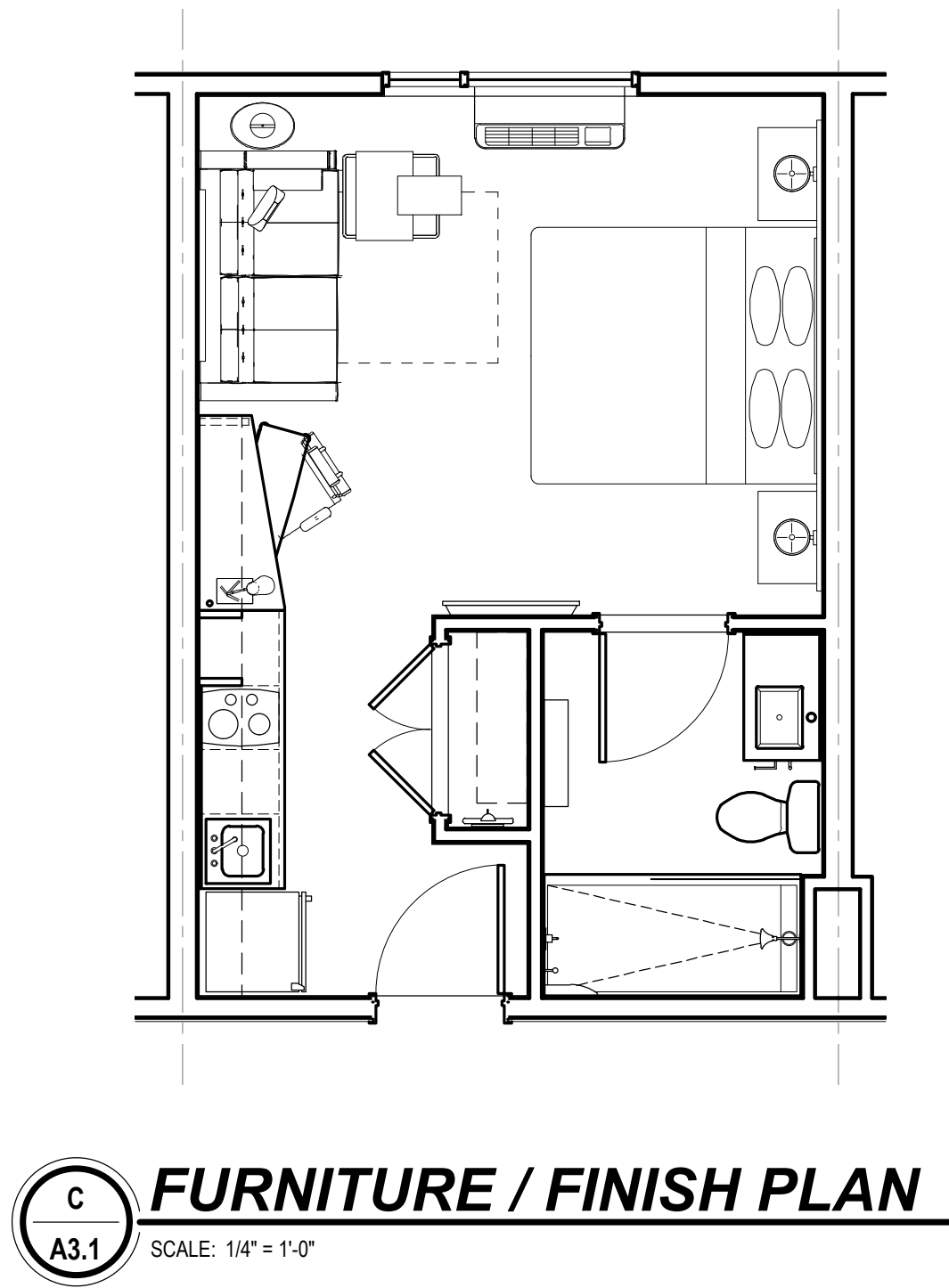
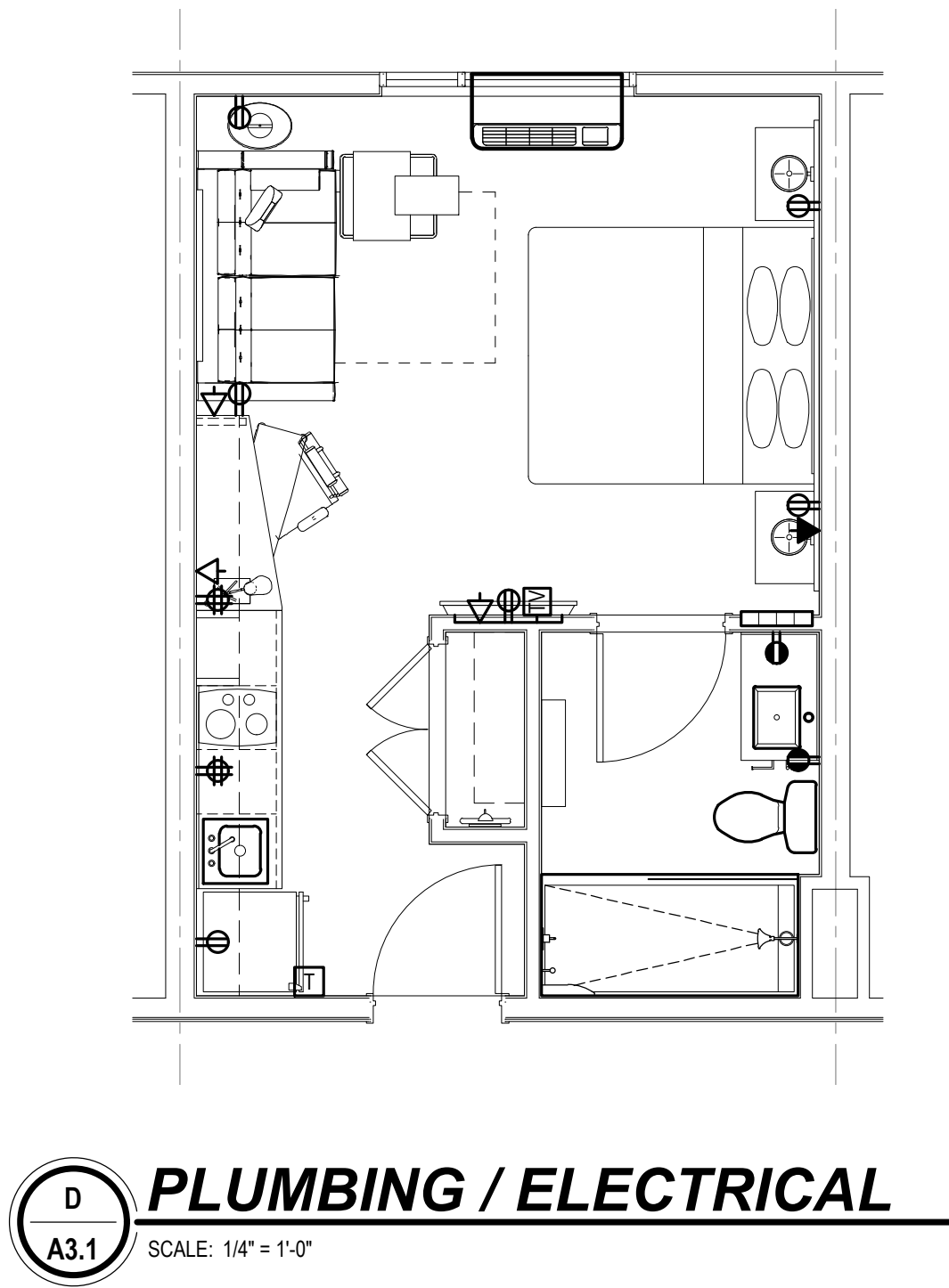
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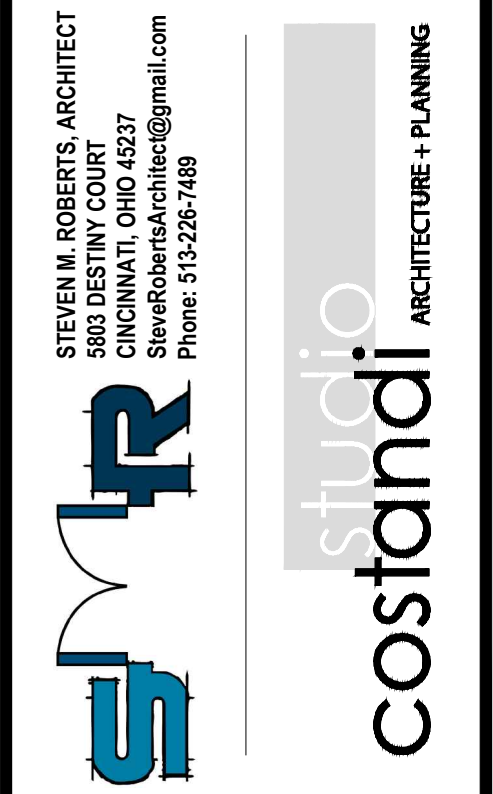
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PRELIMINARY
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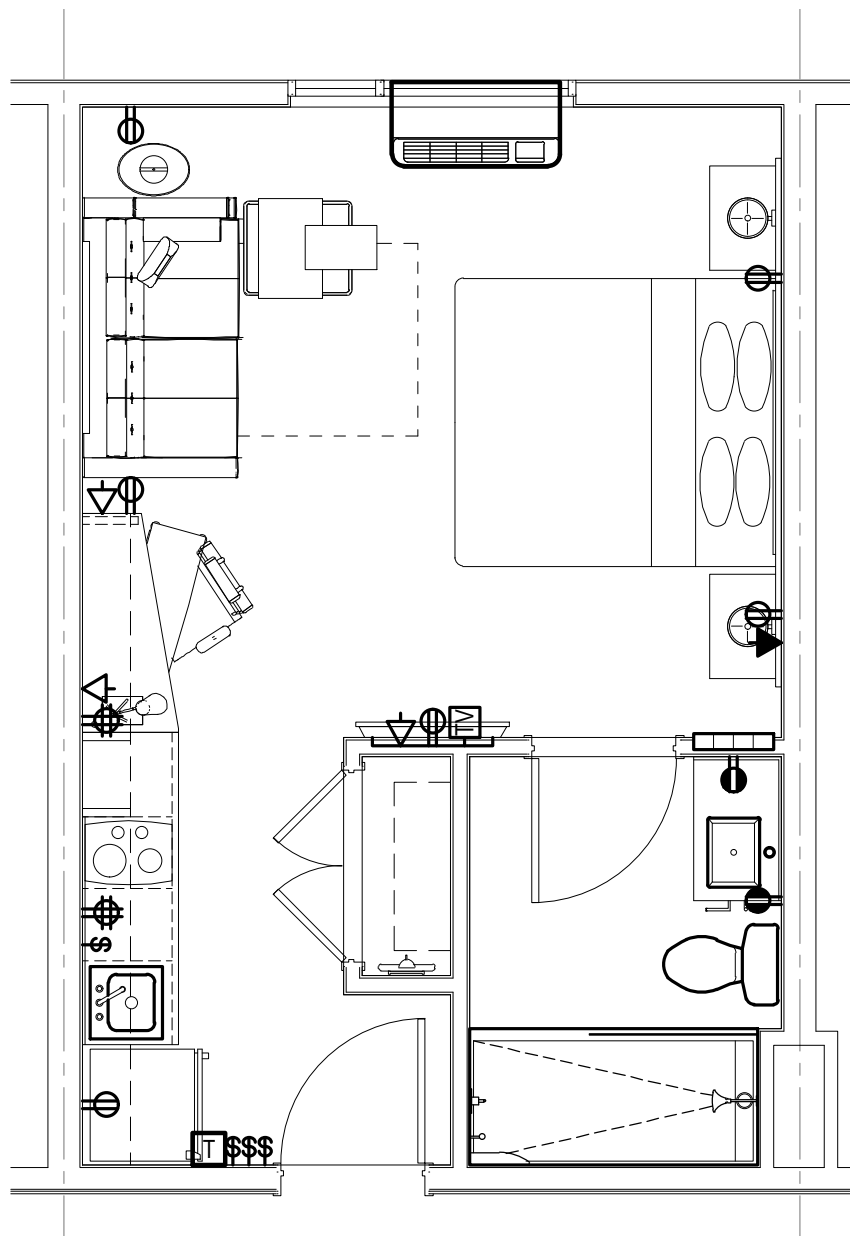
ISSUE / REVISION DATE:
06/29/2016 CLIENT REVIEW
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09/29/2016 MARRIOTT REVIEW
● 05/02/2017 DUBLIN ZONING REVIEW / MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
GUESTROOM PLANS / ELEVATIONS:
STUDIO KING 330

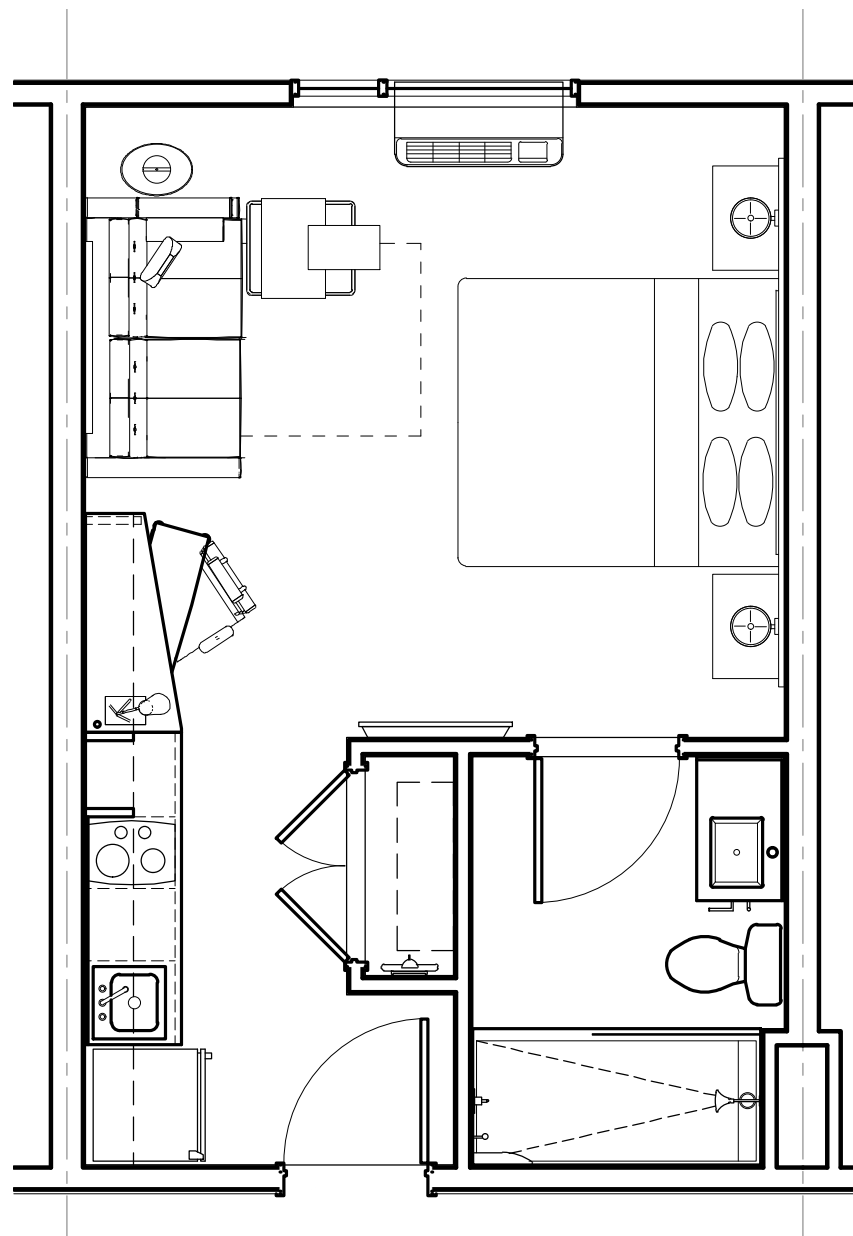


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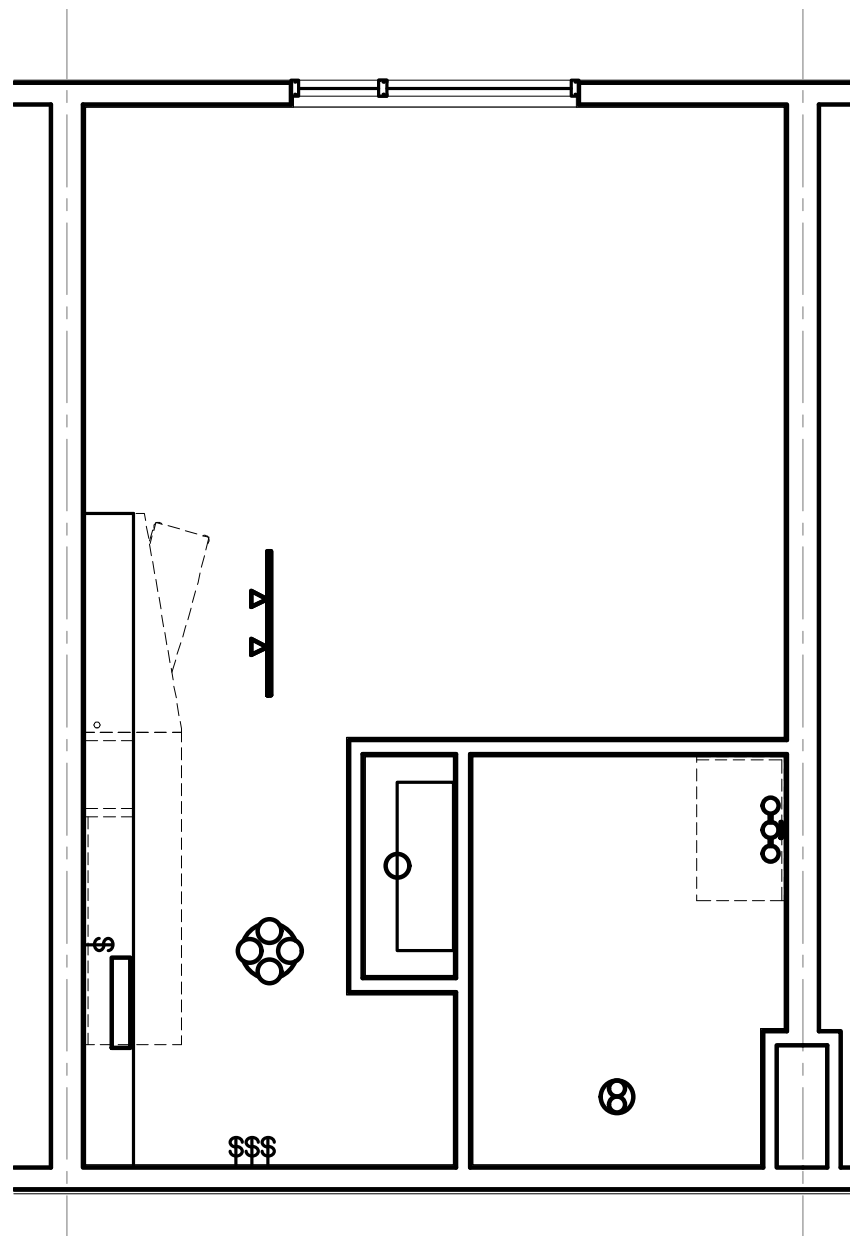
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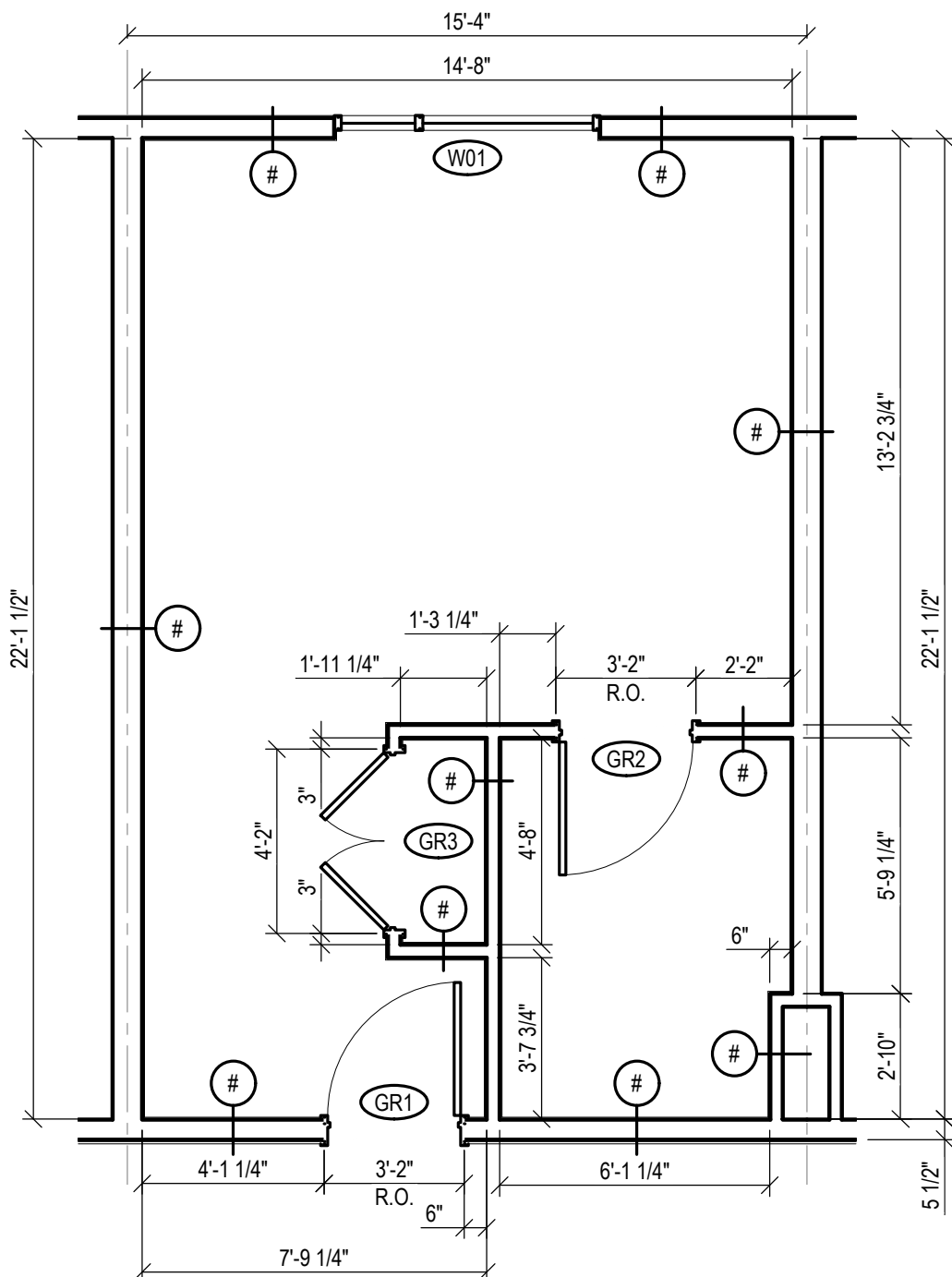
D
A3.2 **PLUMBING / ELECTRICAL**
SCALE: 1/4" = 1'-0"



C
A3.2 **FURNITURE / FINISH PLAN**
SCALE: 1/4" = 1'-0"



B
A3.2 **REFLECTED CEILING PLAN**
SCALE: 1/4" = 1'-0"



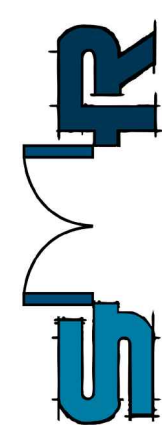
A
A3.2 **CONSTRUCTION PLAN**
SCALE: 1/4" = 1'-0"

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ISSUE / REVISION DATE:
06/29/2016 CLIENT REVIEW
07/28/2016 ART REVIEW
09/29/2016 MARRIOTT REVIEW
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MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
GUESTROOM PLANS / ELEVATIONS:
STUDIO KING 345





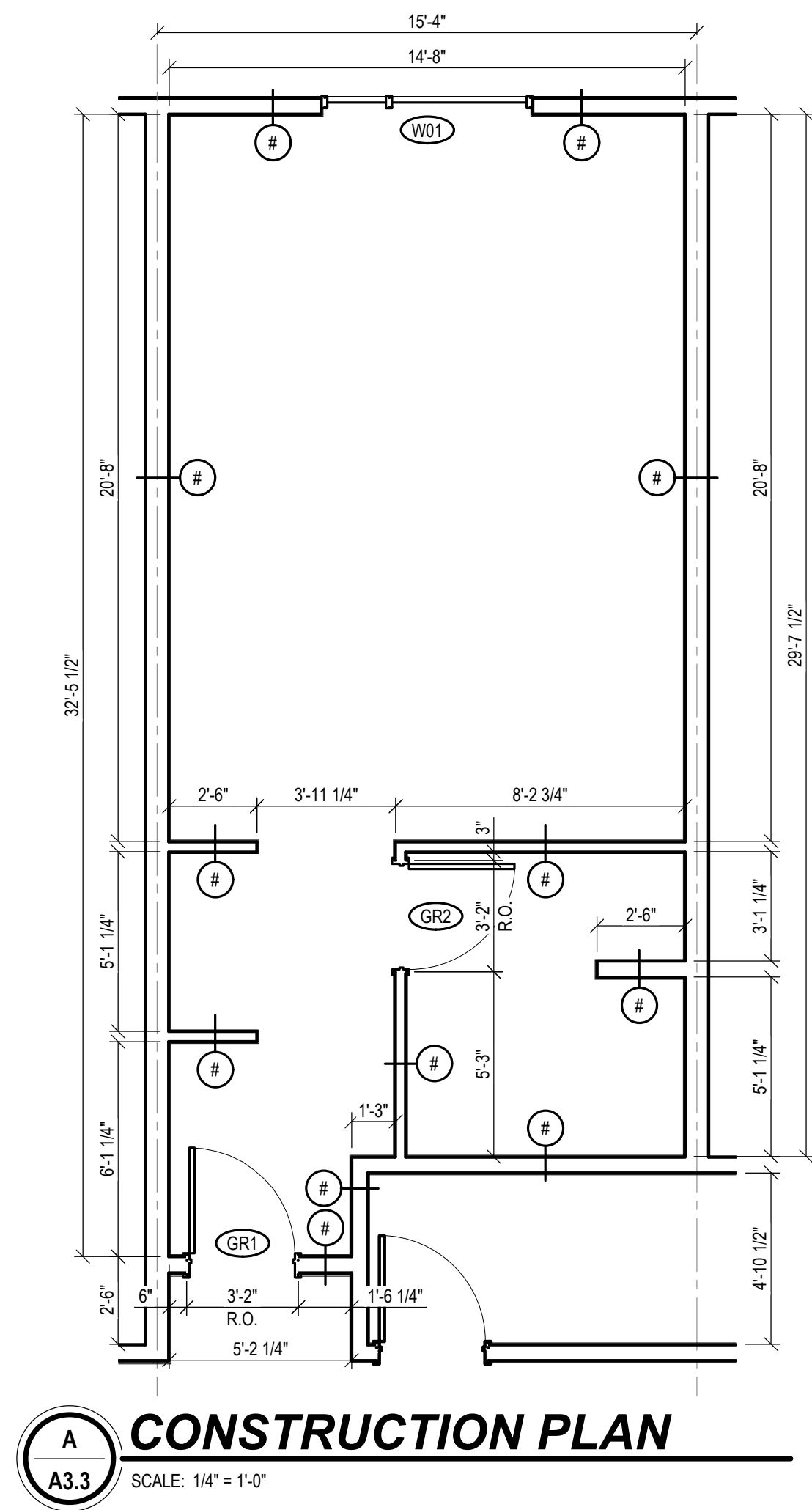
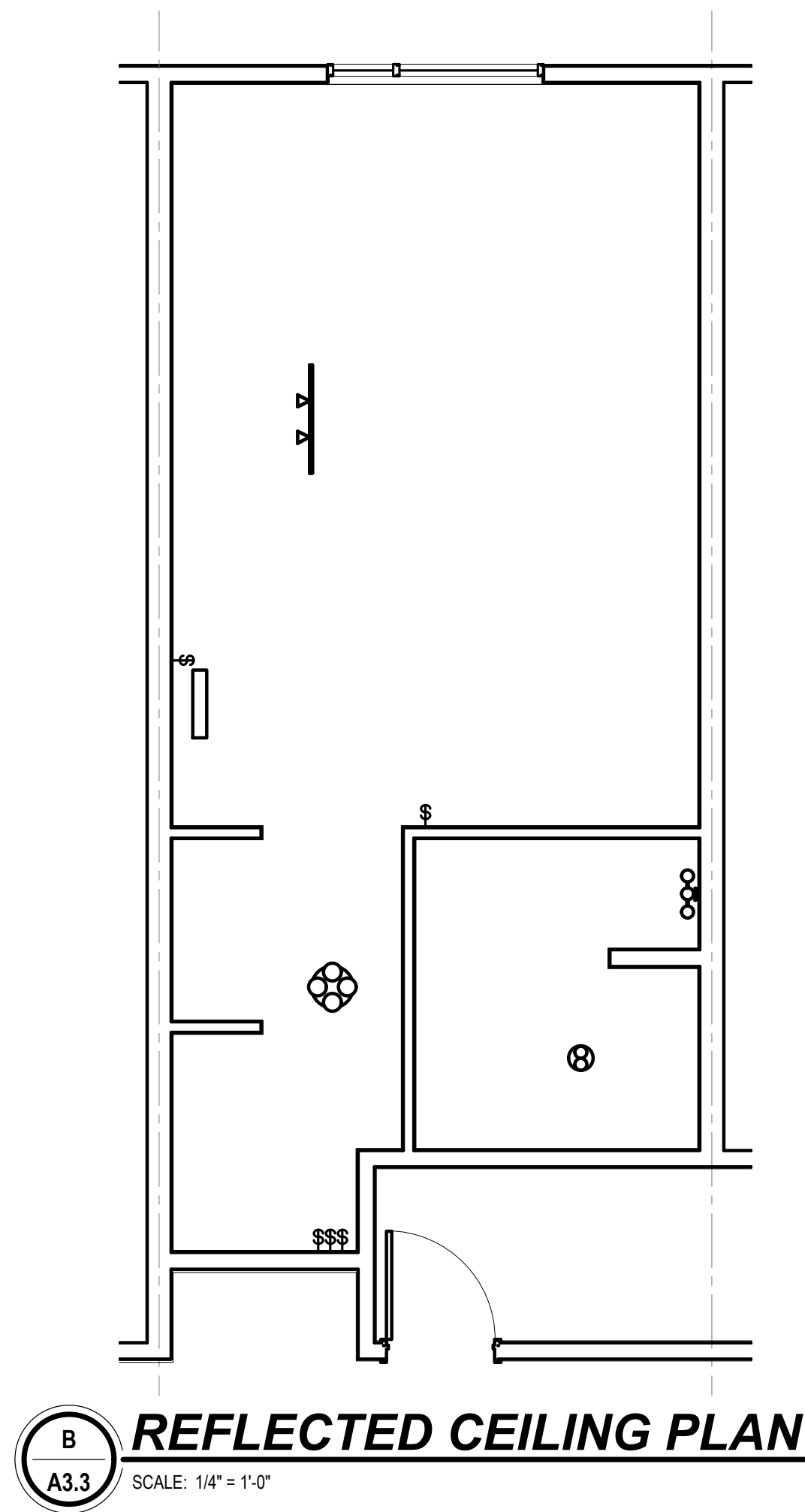
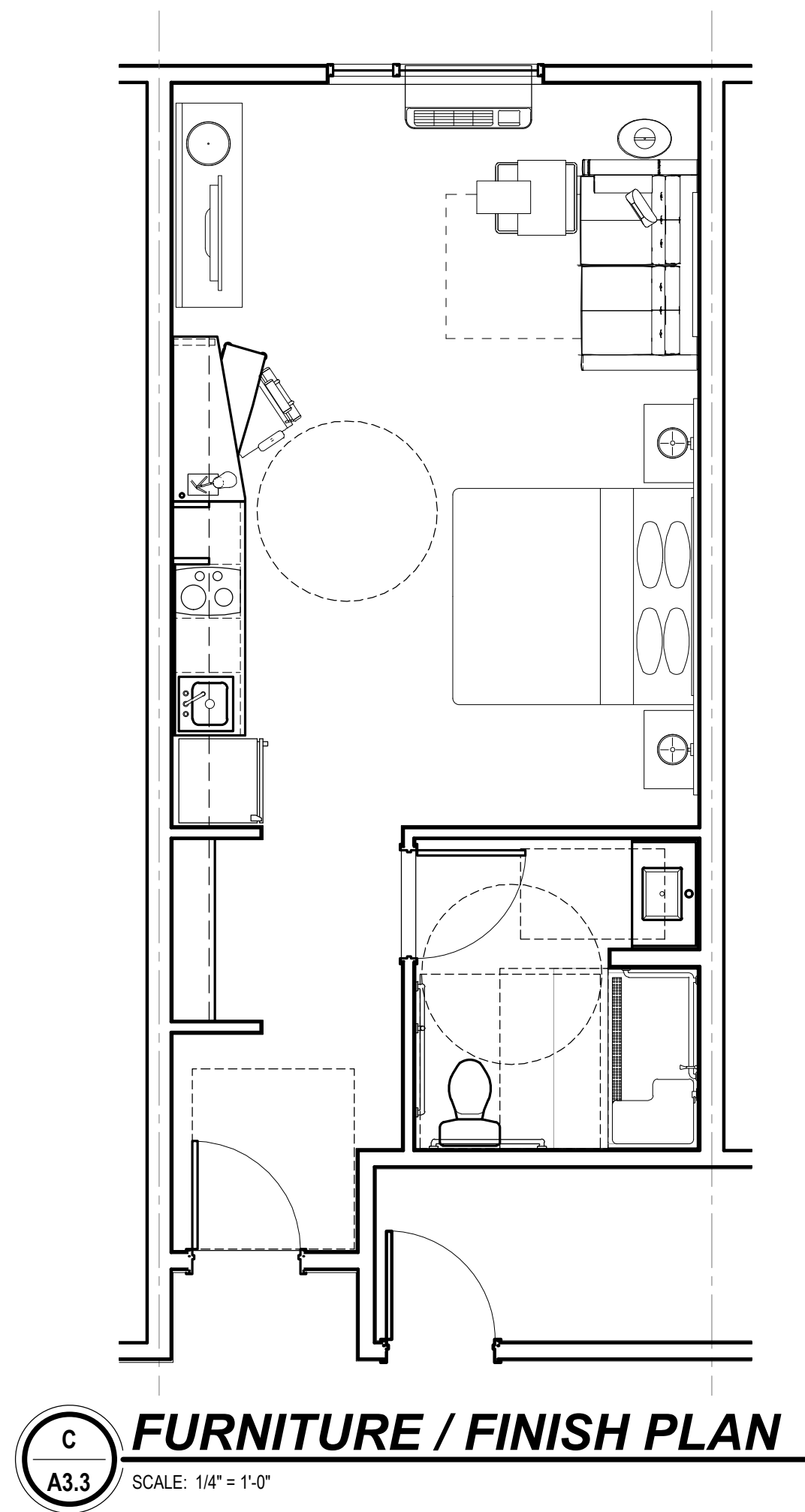
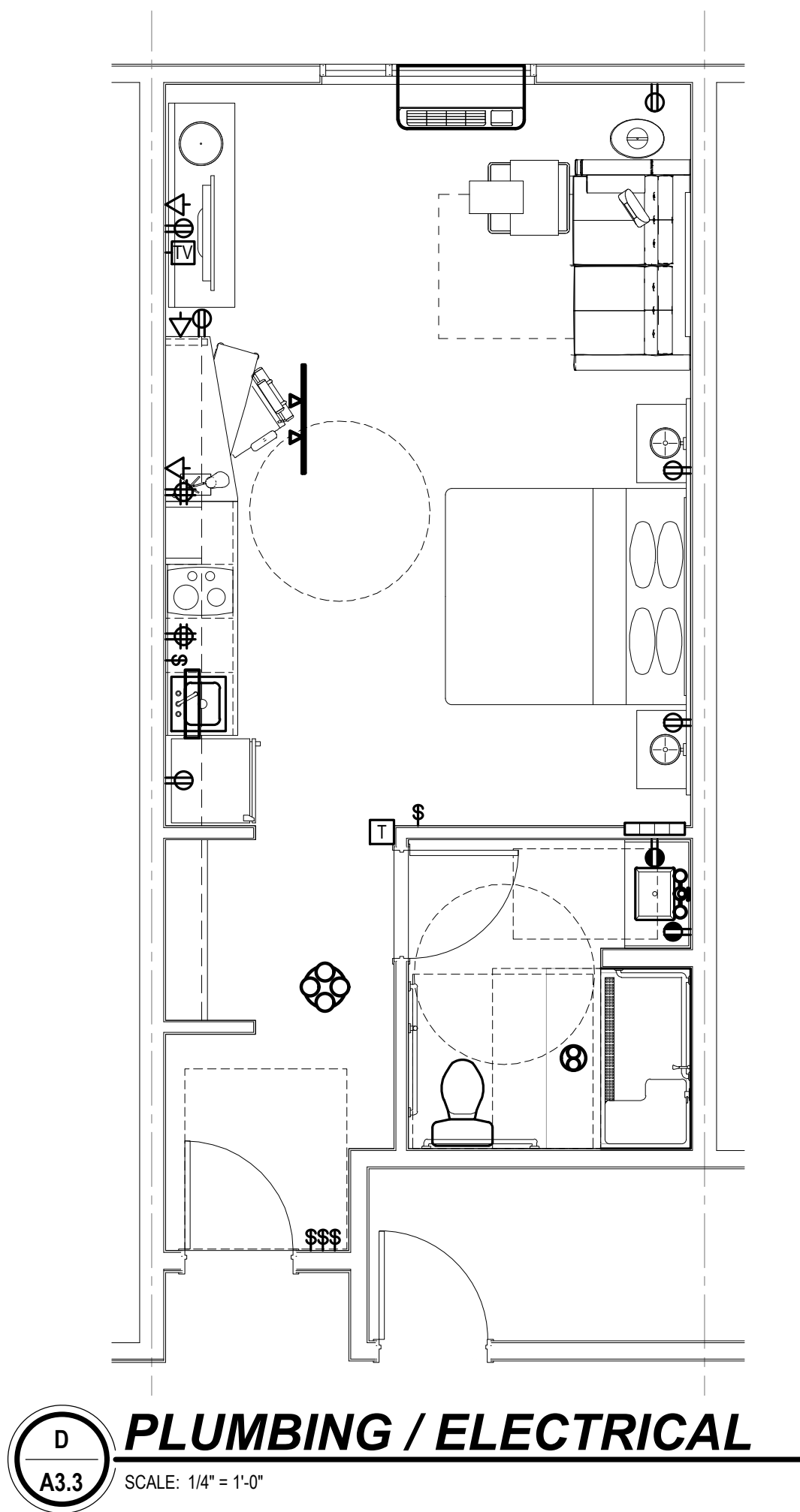
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A3.2

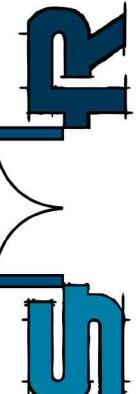


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09/29/2016 MARRIOTT REVIEW
● 05/02/2017 DUBLIN ZONING REVIEW /
MARRIOTT 30% REVIEW

A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
GUESTROOM PLANS / ELEVATIONS:
ADA STUDIO KING

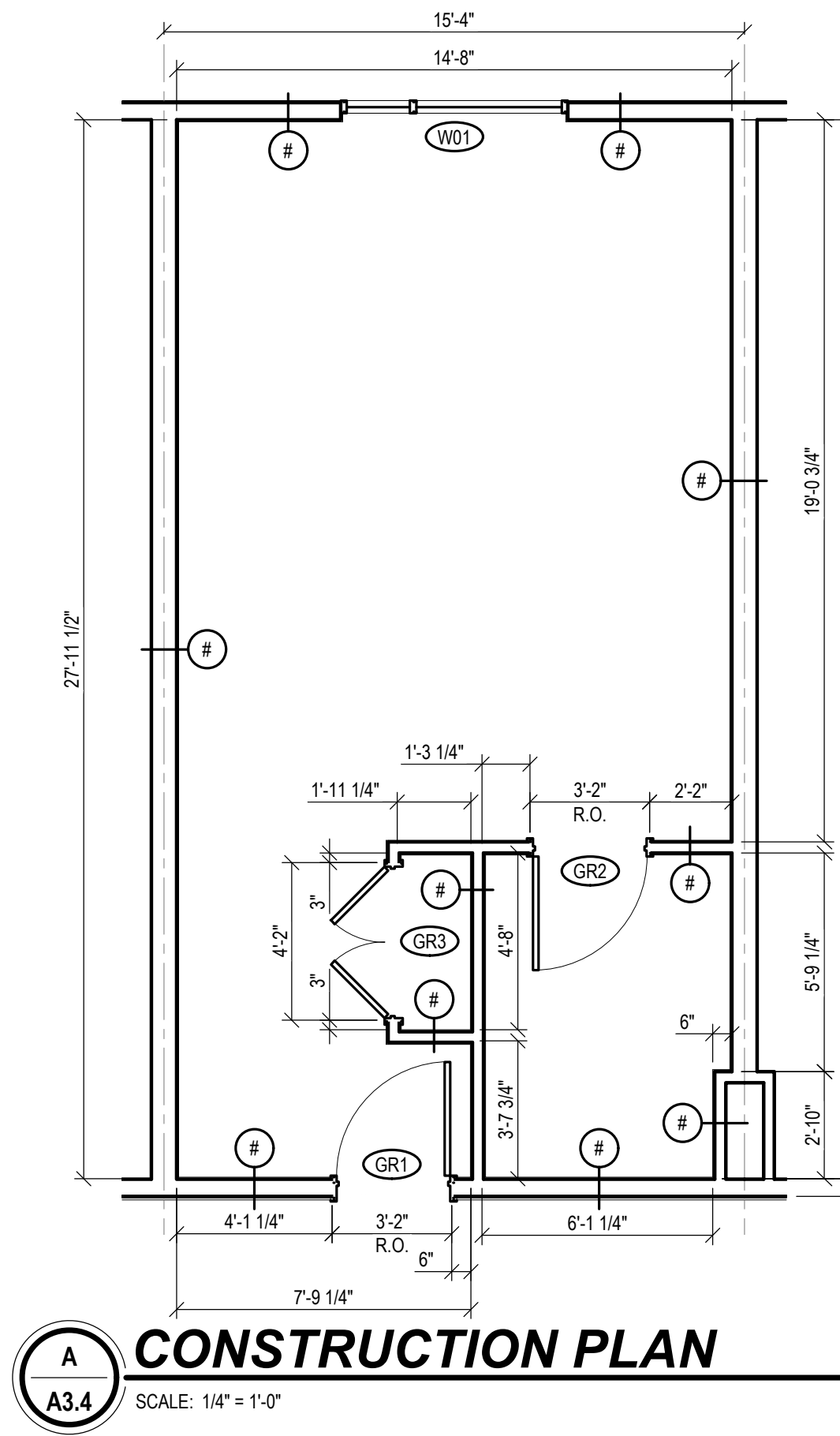
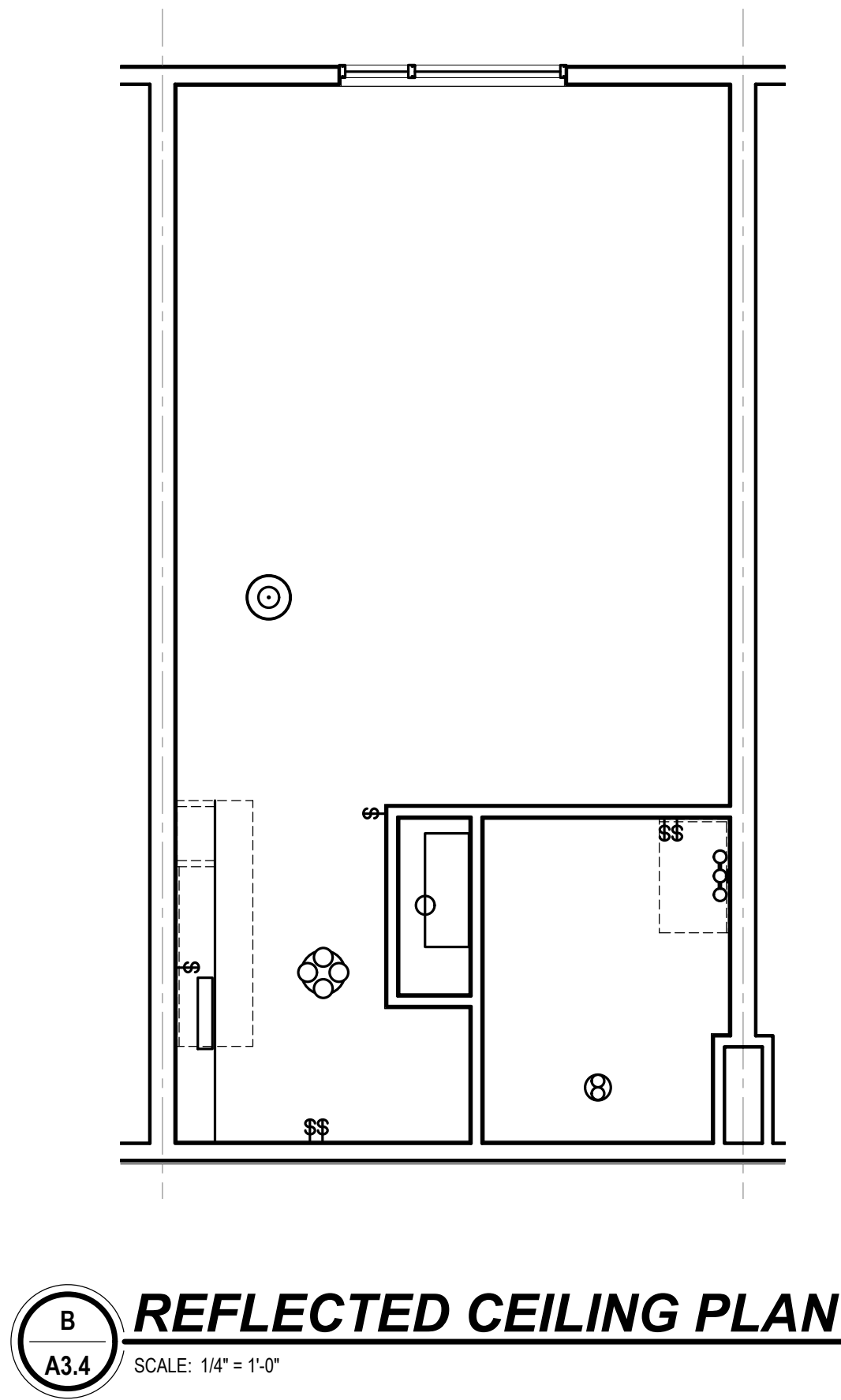
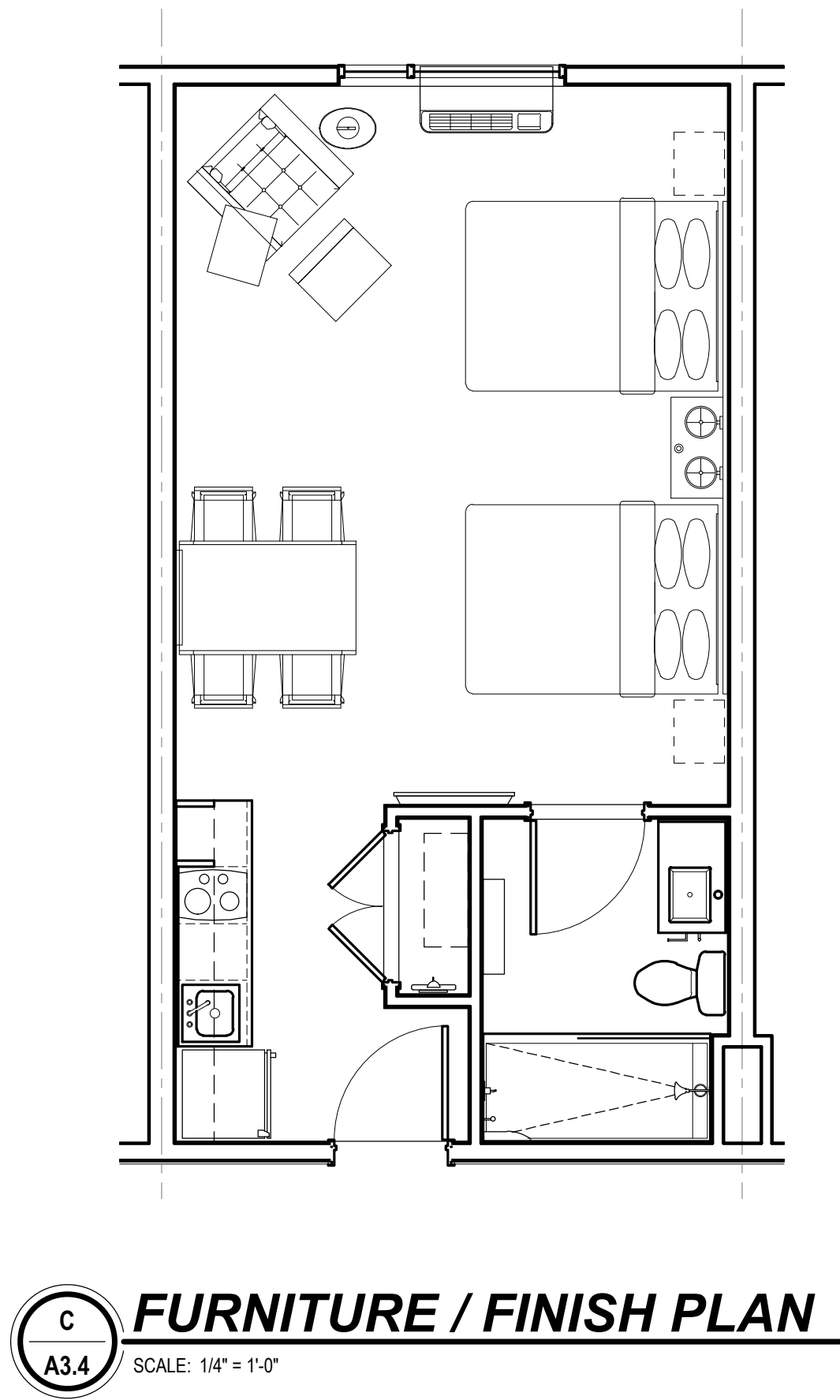
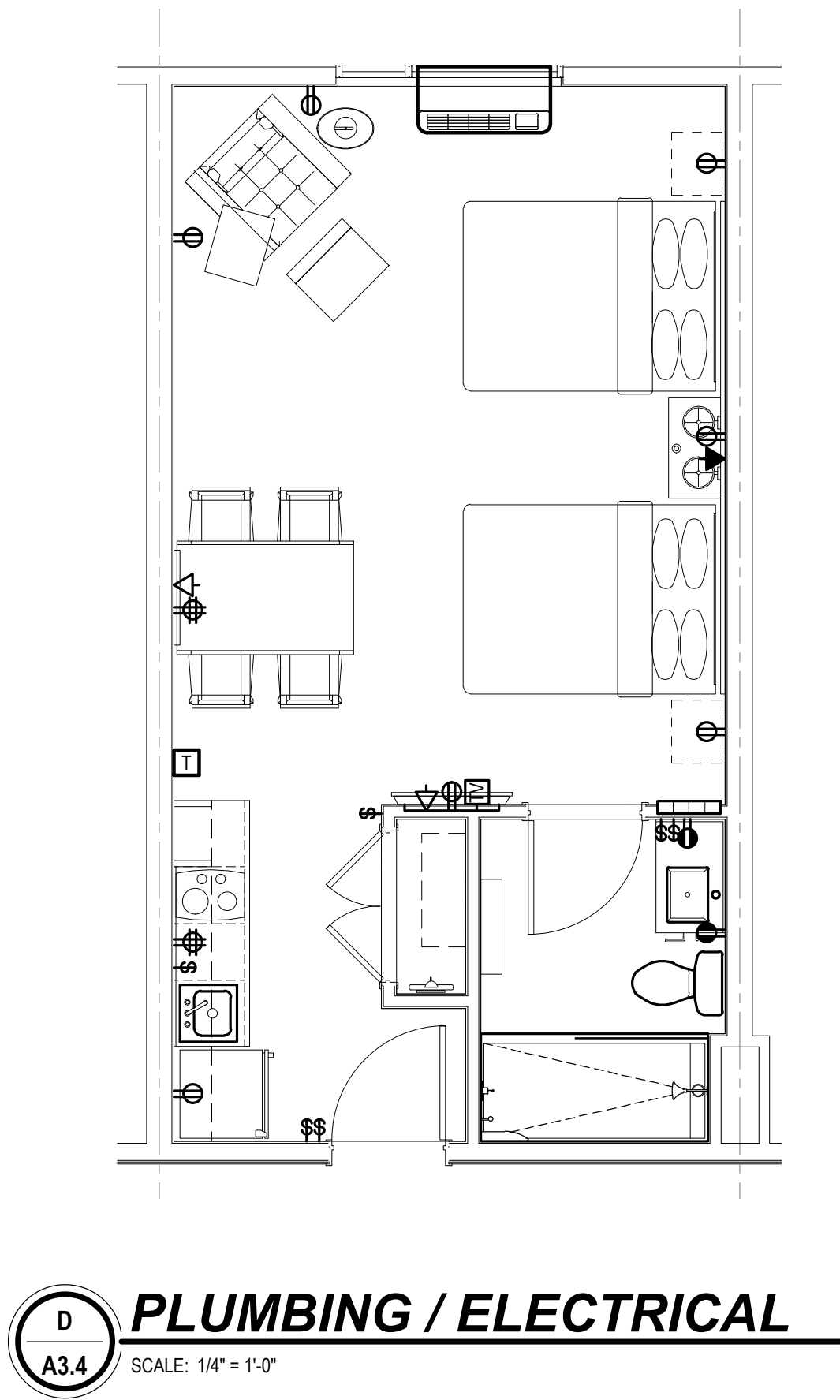

CITY OF DUBLIN


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A3.3



PRELIMINARY

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A CUSTOM DESIGN FOR A NEW PROPOSED:

TOWNEPLACE SUITES

5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY

MARRIOTT

GUESTROOM PLANS / ELEVATIONS:

DOUBLE QUEEN (CENTER)

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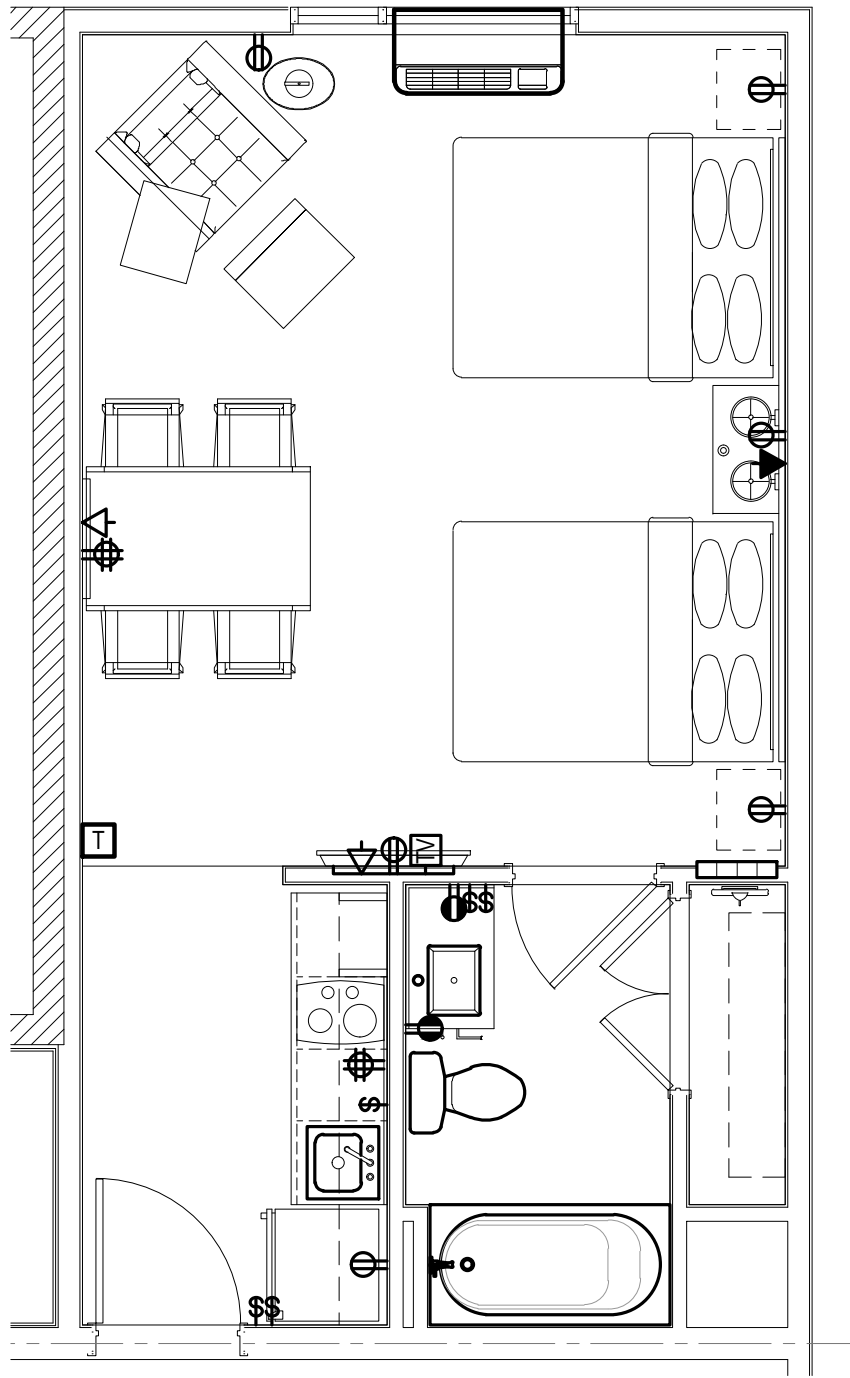
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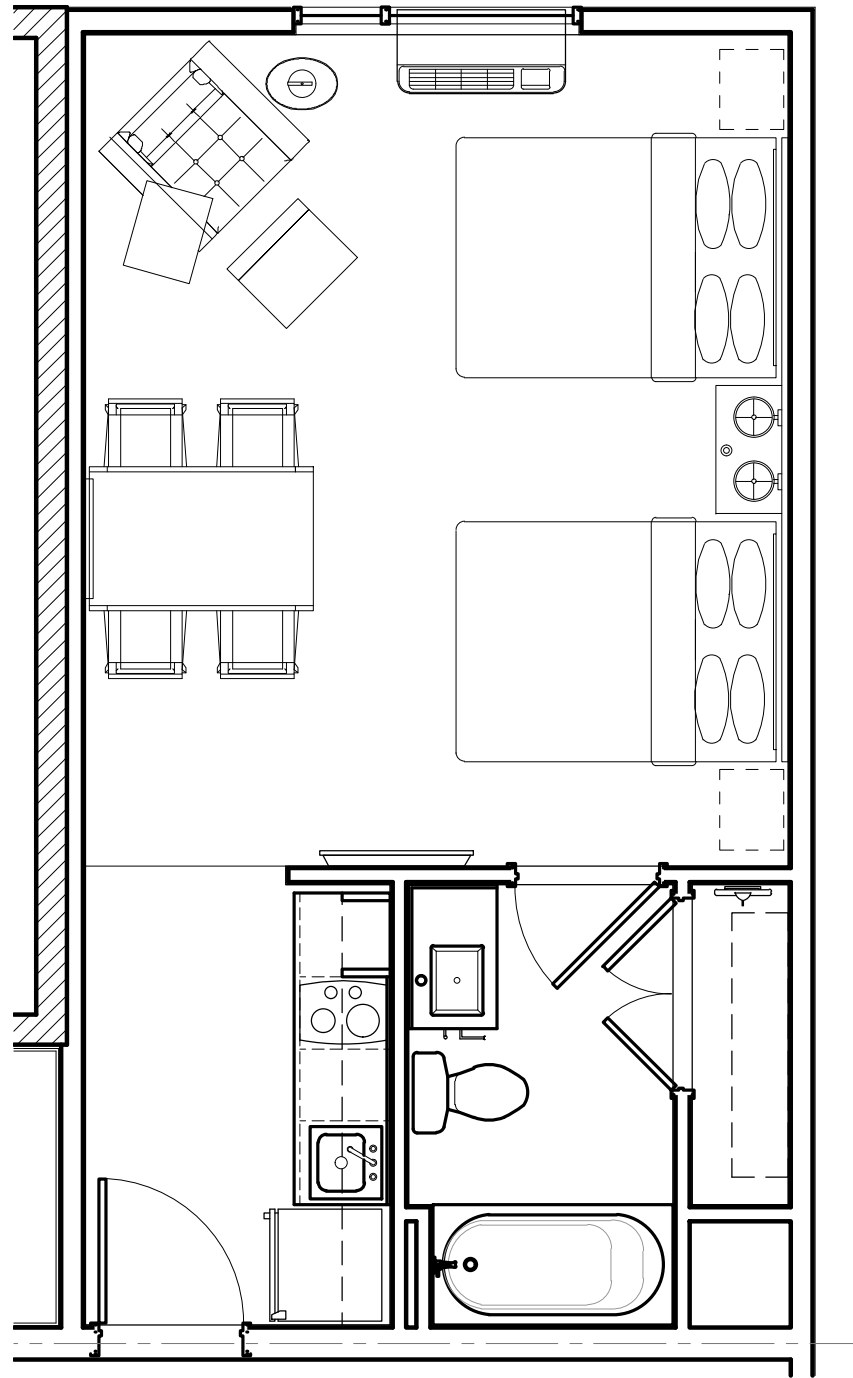
Project No.

TPSDUB

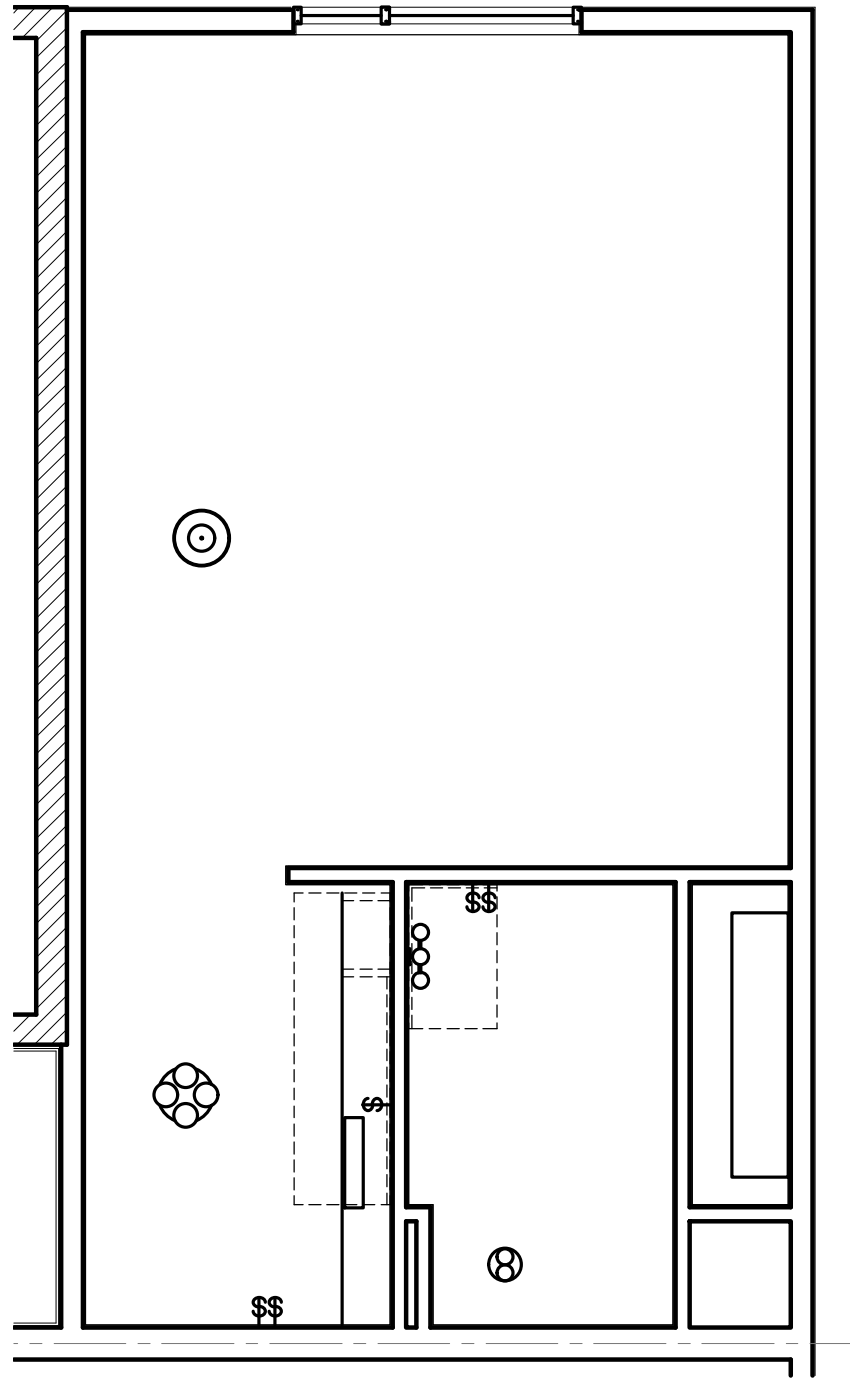
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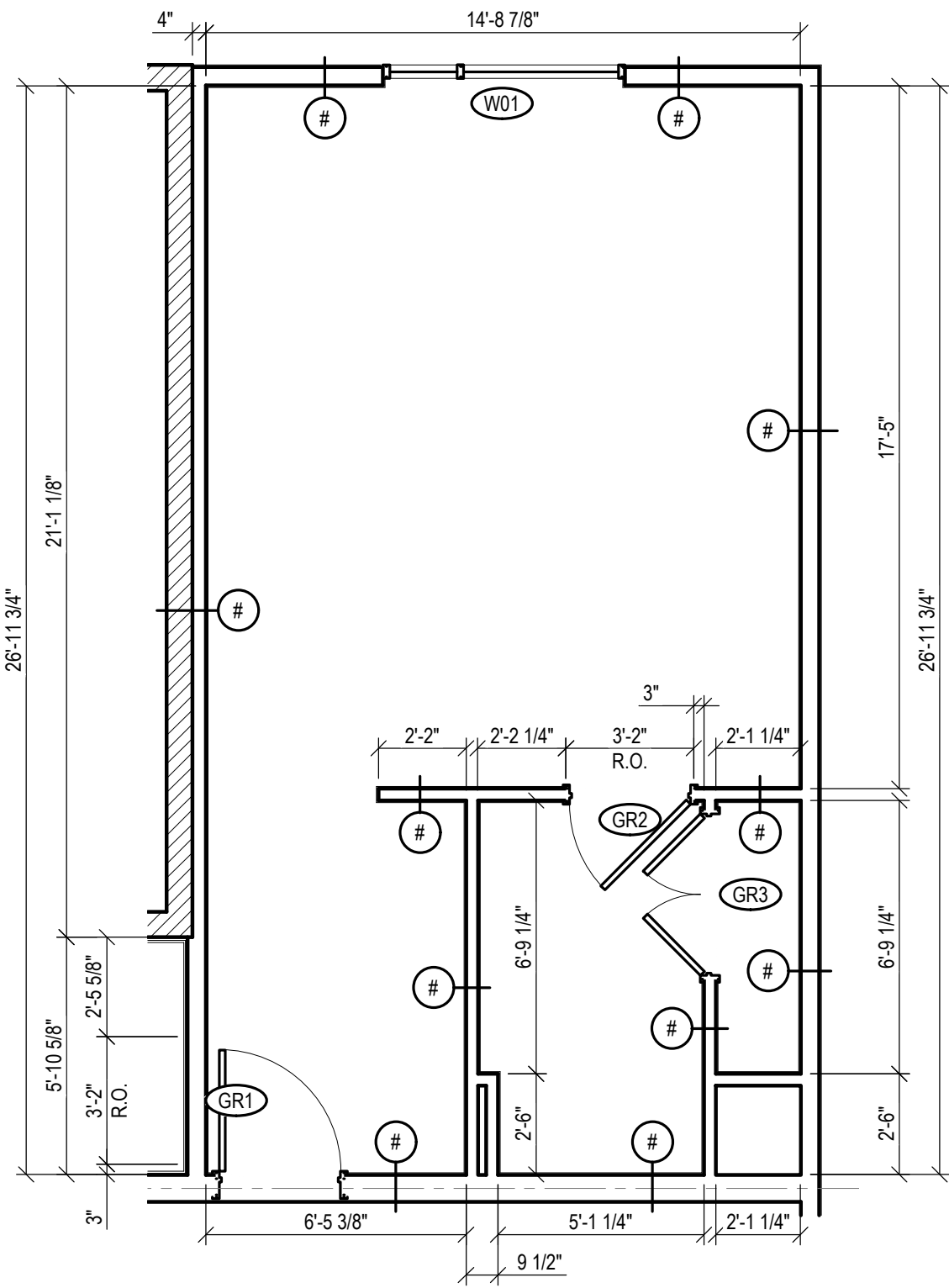
D
A3.5 **PLUMBING / ELECTRICAL**
SCALE: 1/4" = 1'-0"



C
A3.5 **FURNITURE / FINISH PLAN**
SCALE: 1/4" = 1'-0"



B
A3.5 **REFLECTED CEILING PLAN**
SCALE: 1/4" = 1'-0"



A
A3.5 **CONSTRUCTION PLAN**
SCALE: 1/4" = 1'-0"

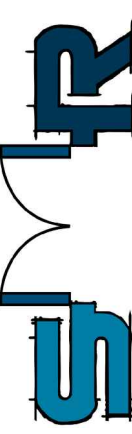
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TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
GUESTROOM PLANS / ELEVATIONS:
DOUBLE QUEEN (END)



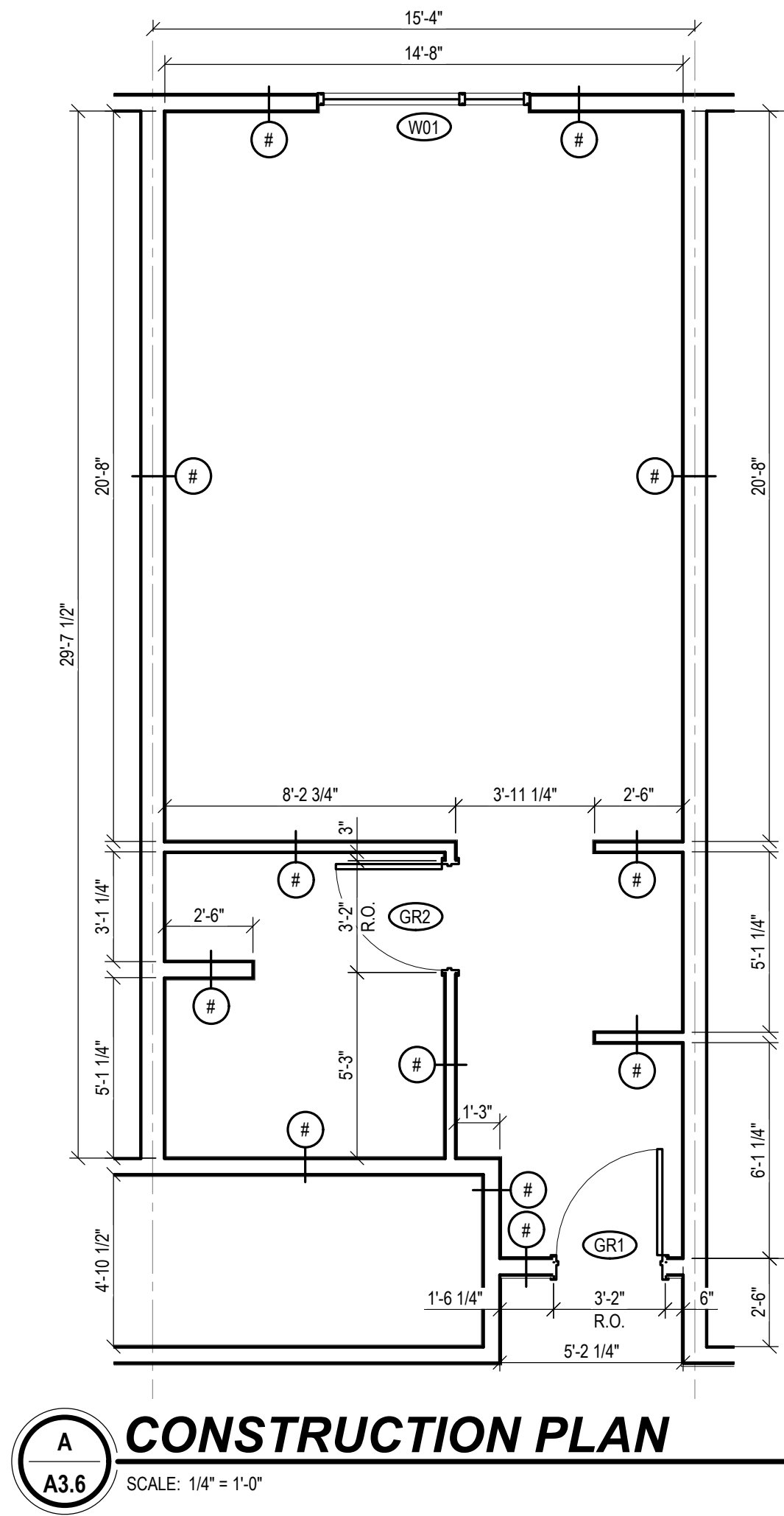
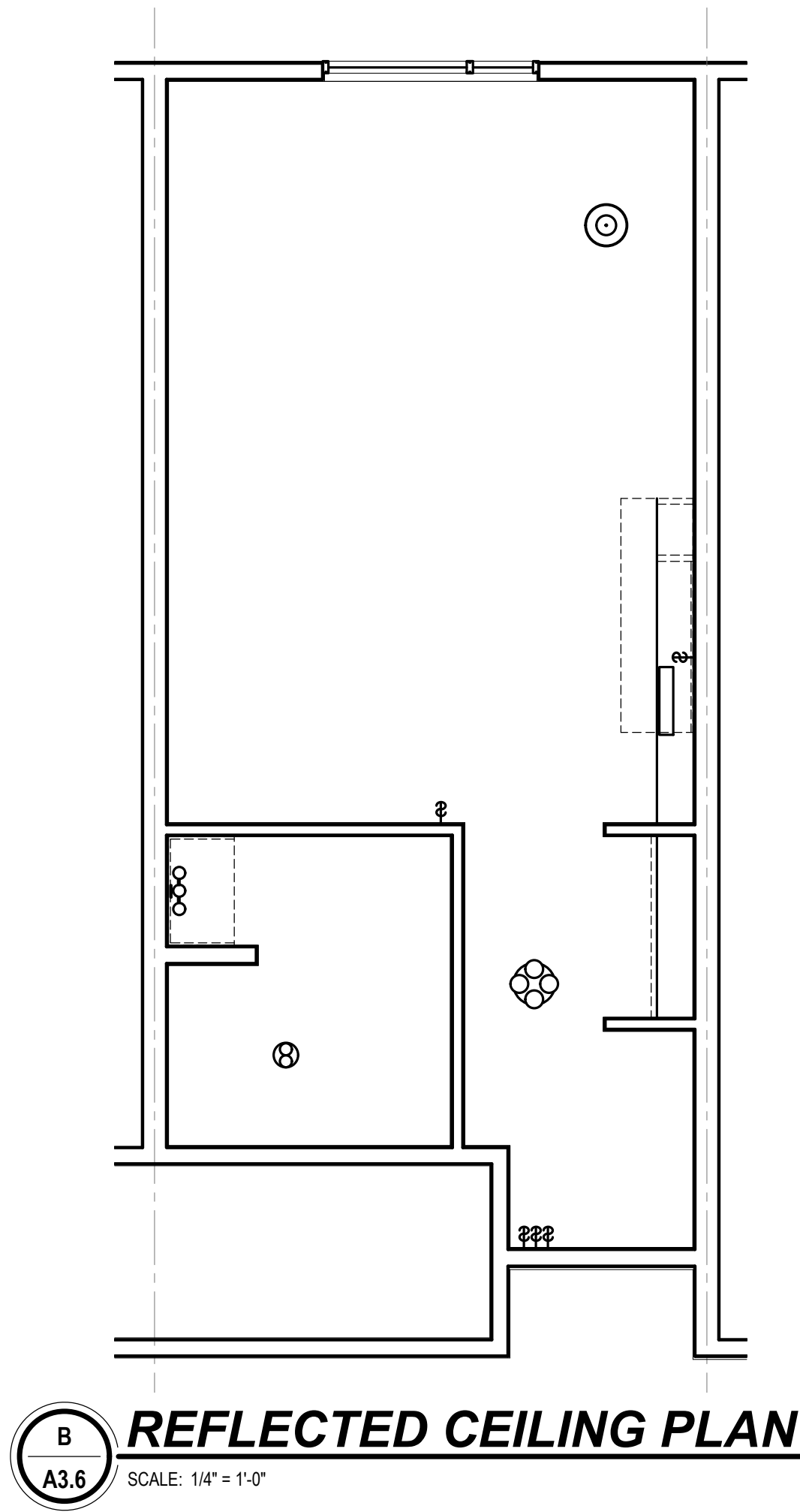
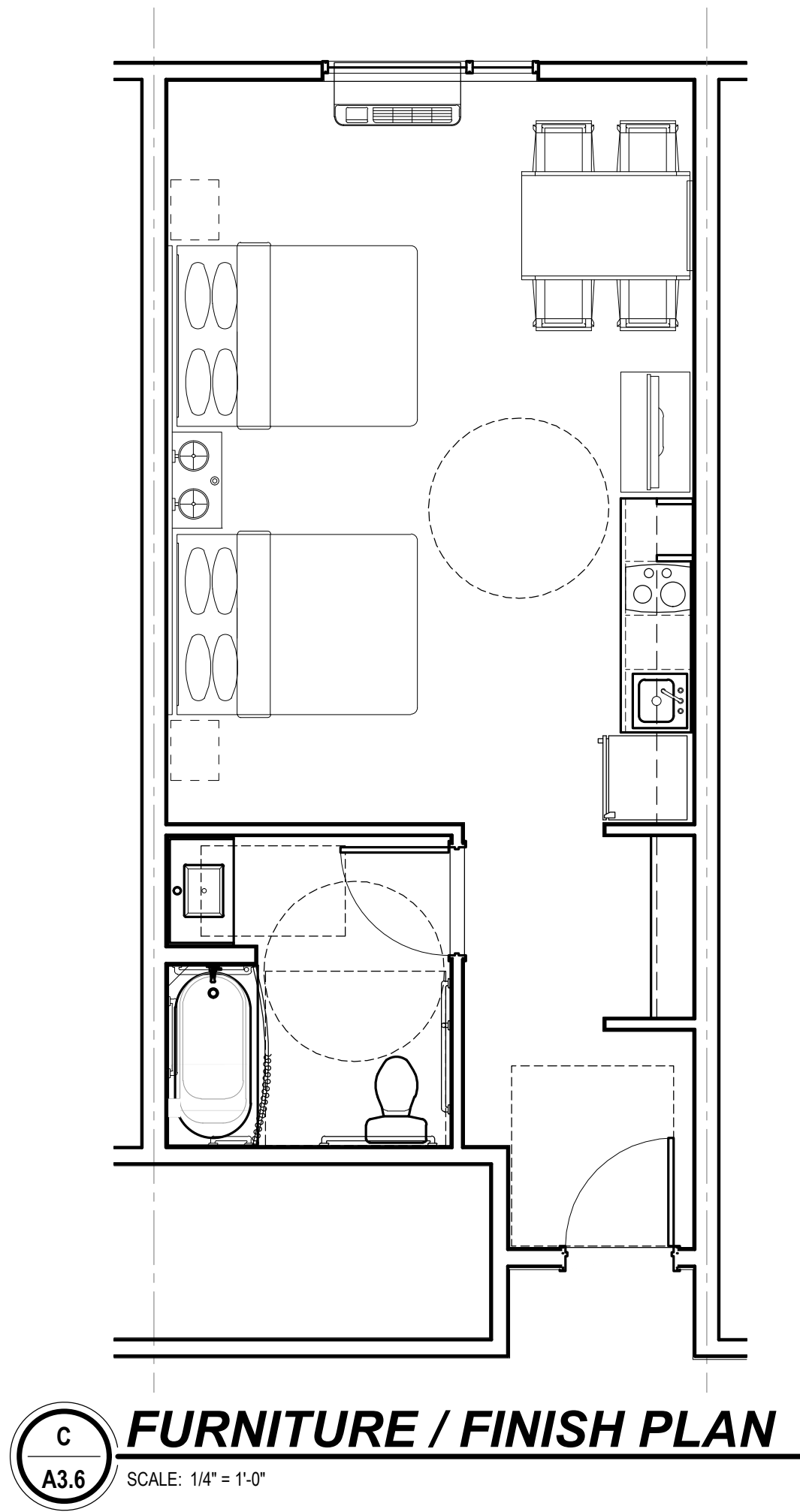
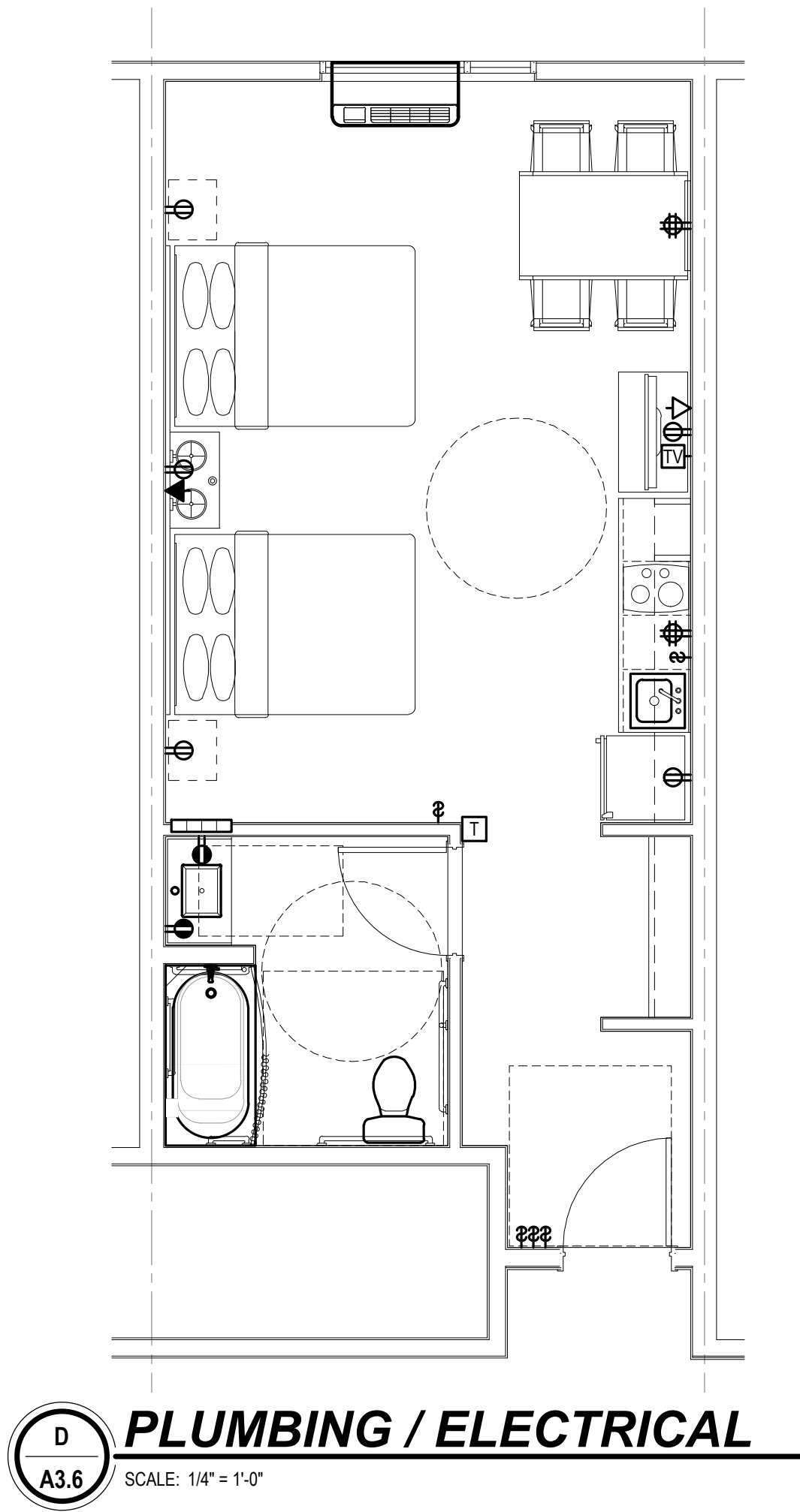
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Project No. **TPSDUB**

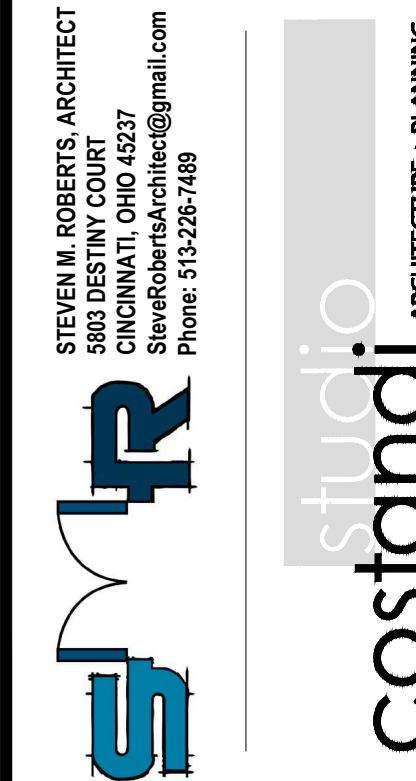
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PRELIMINARY
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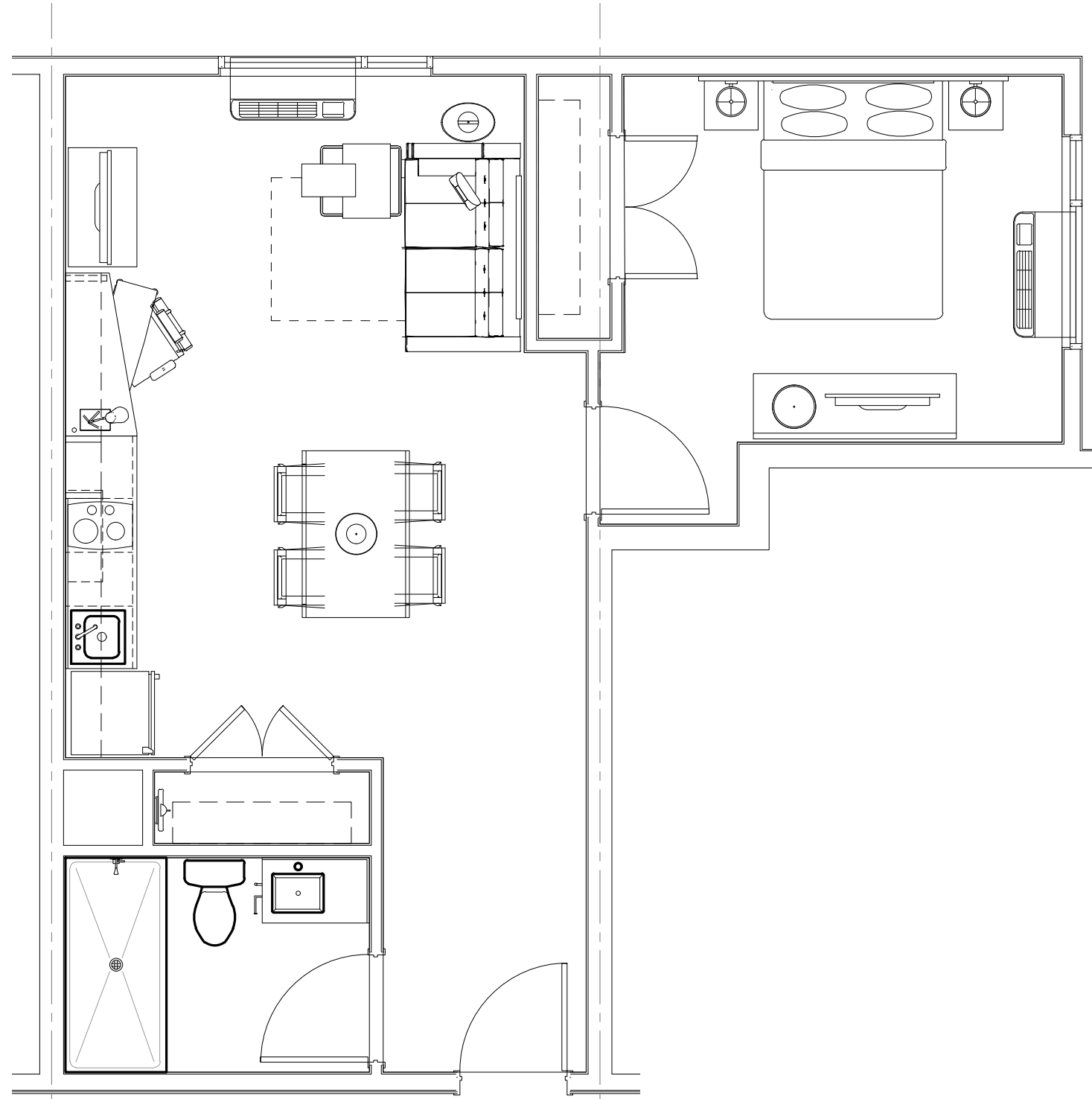
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TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
GUESTROOM PLANS / ELEVATIONS:
ADA DOUBLE QUEEN

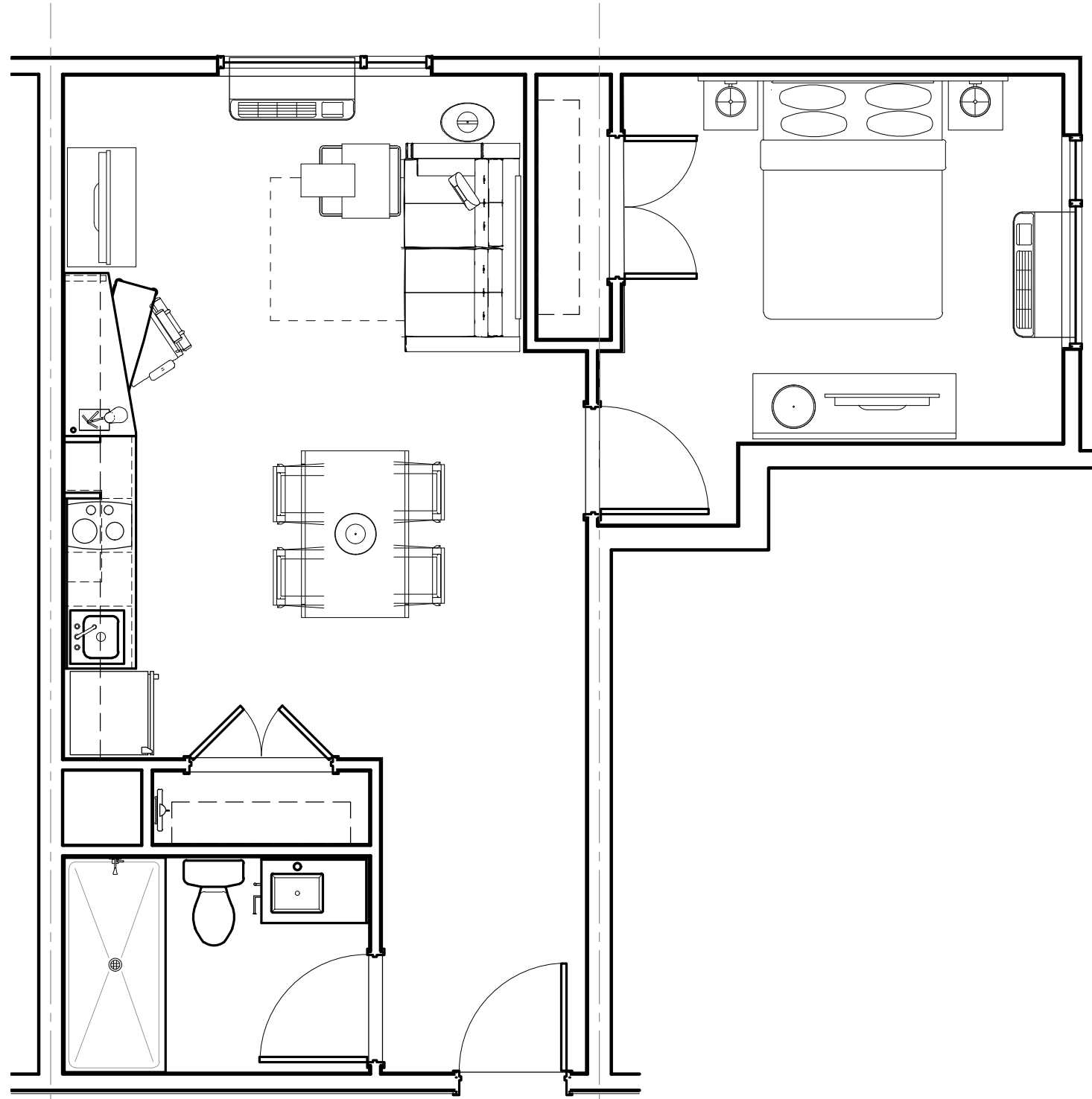


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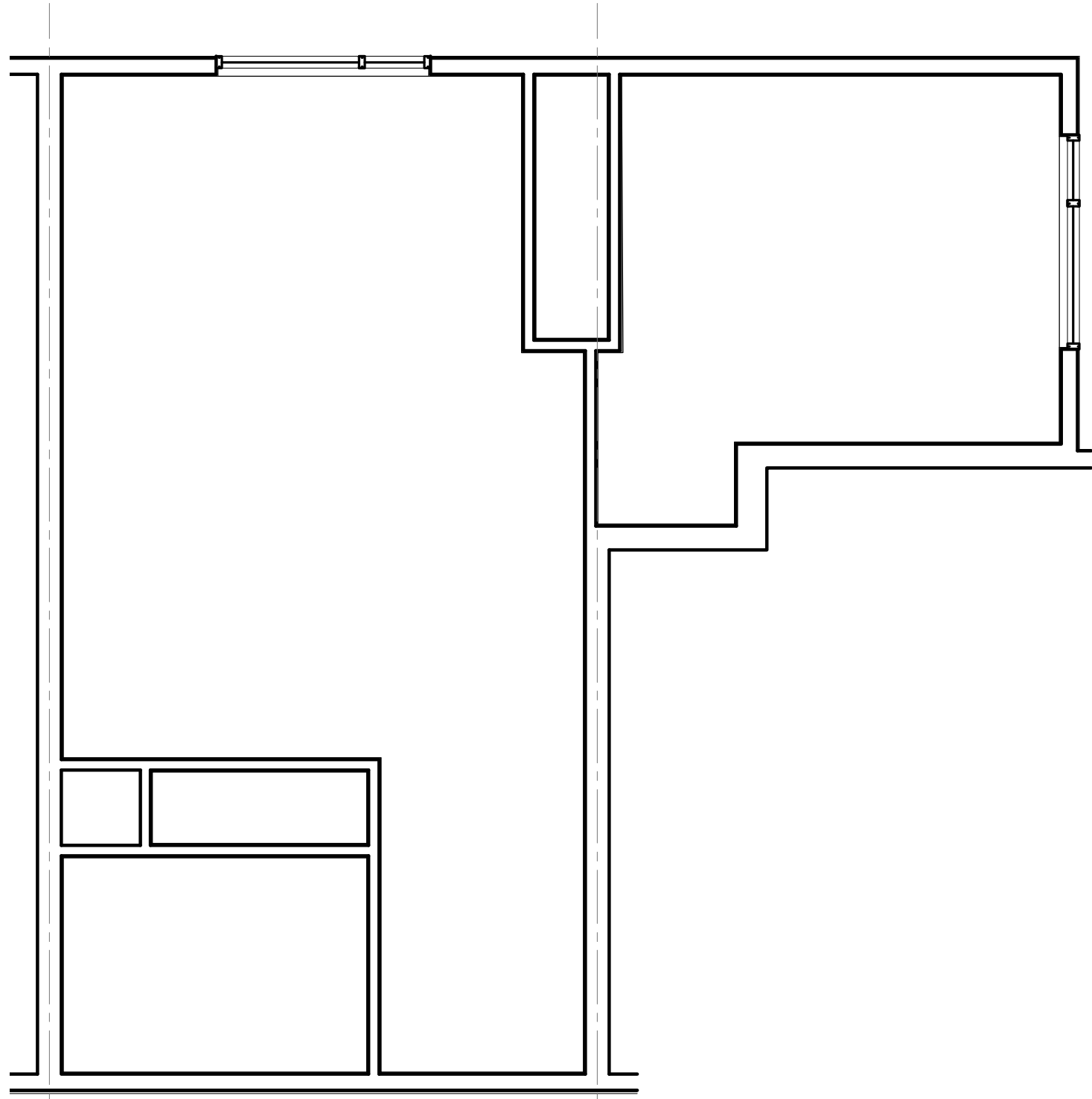
A3.6



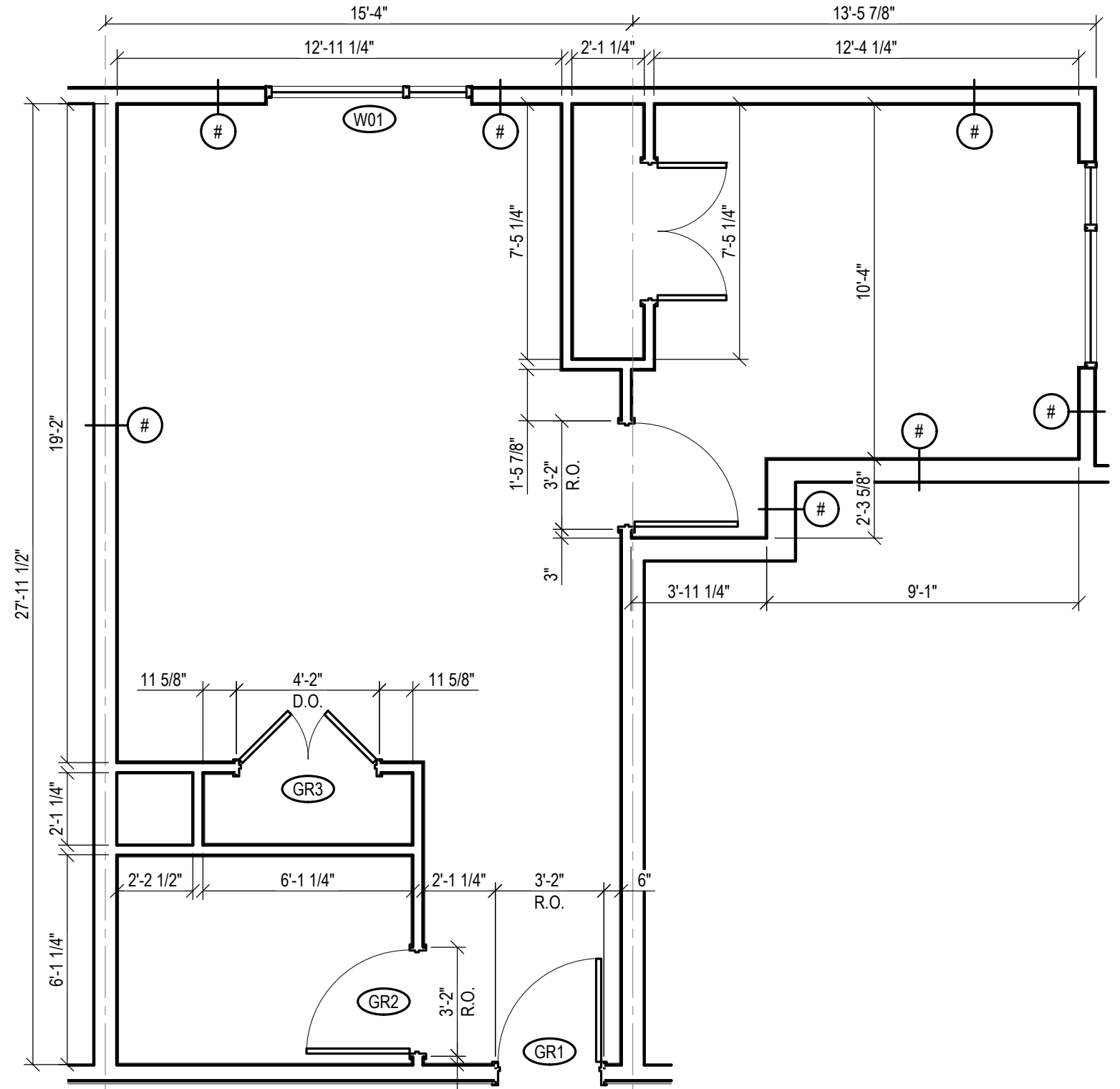
D **PLUMBING / ELECTRICAL - OPTION 1**
A3.7 SCALE: 1/4" = 1'-0"



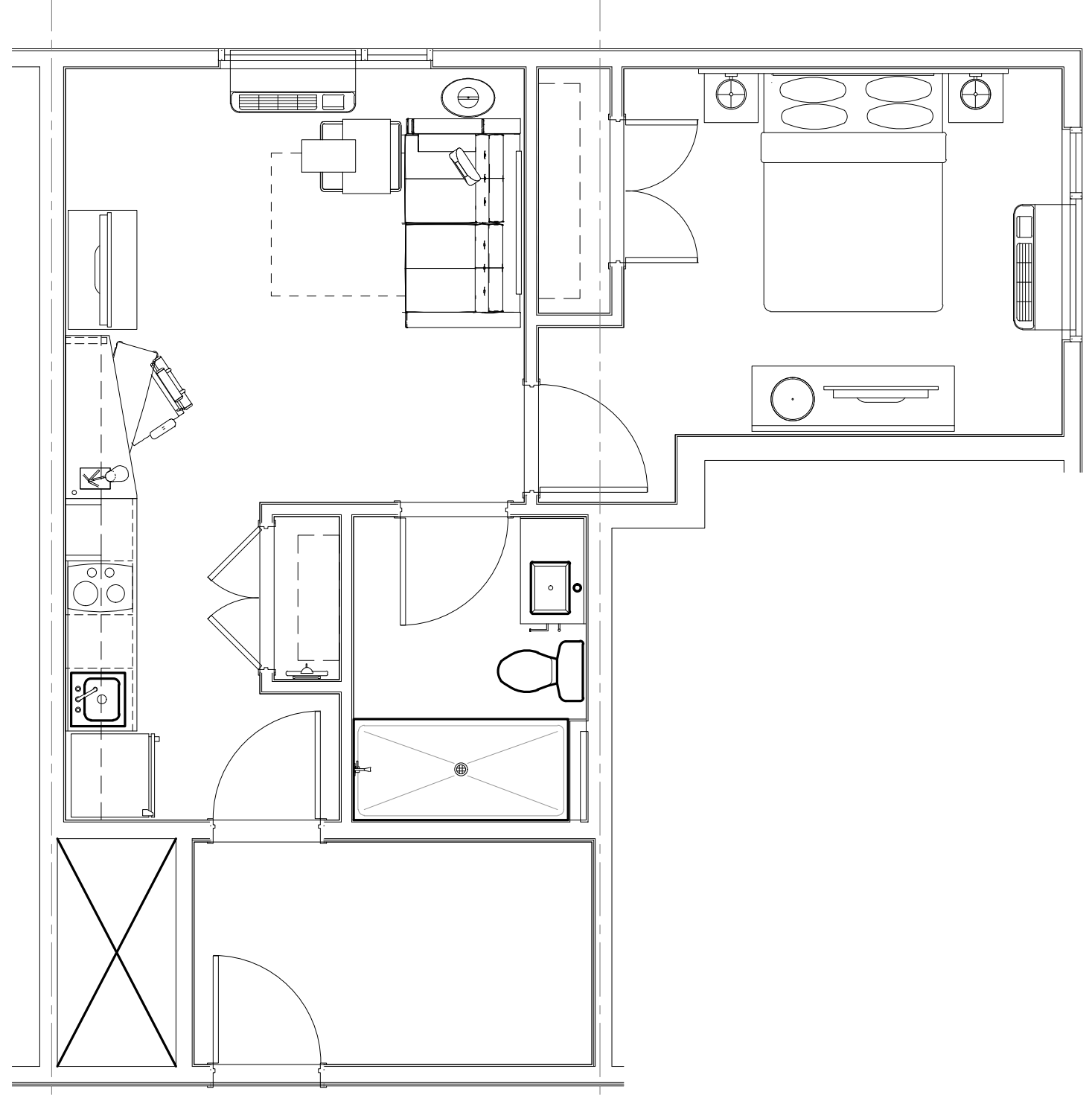
C **FURNITURE / FINISH PLAN - OPTION 1**
A3.7 SCALE: 1/4" = 1'-0"



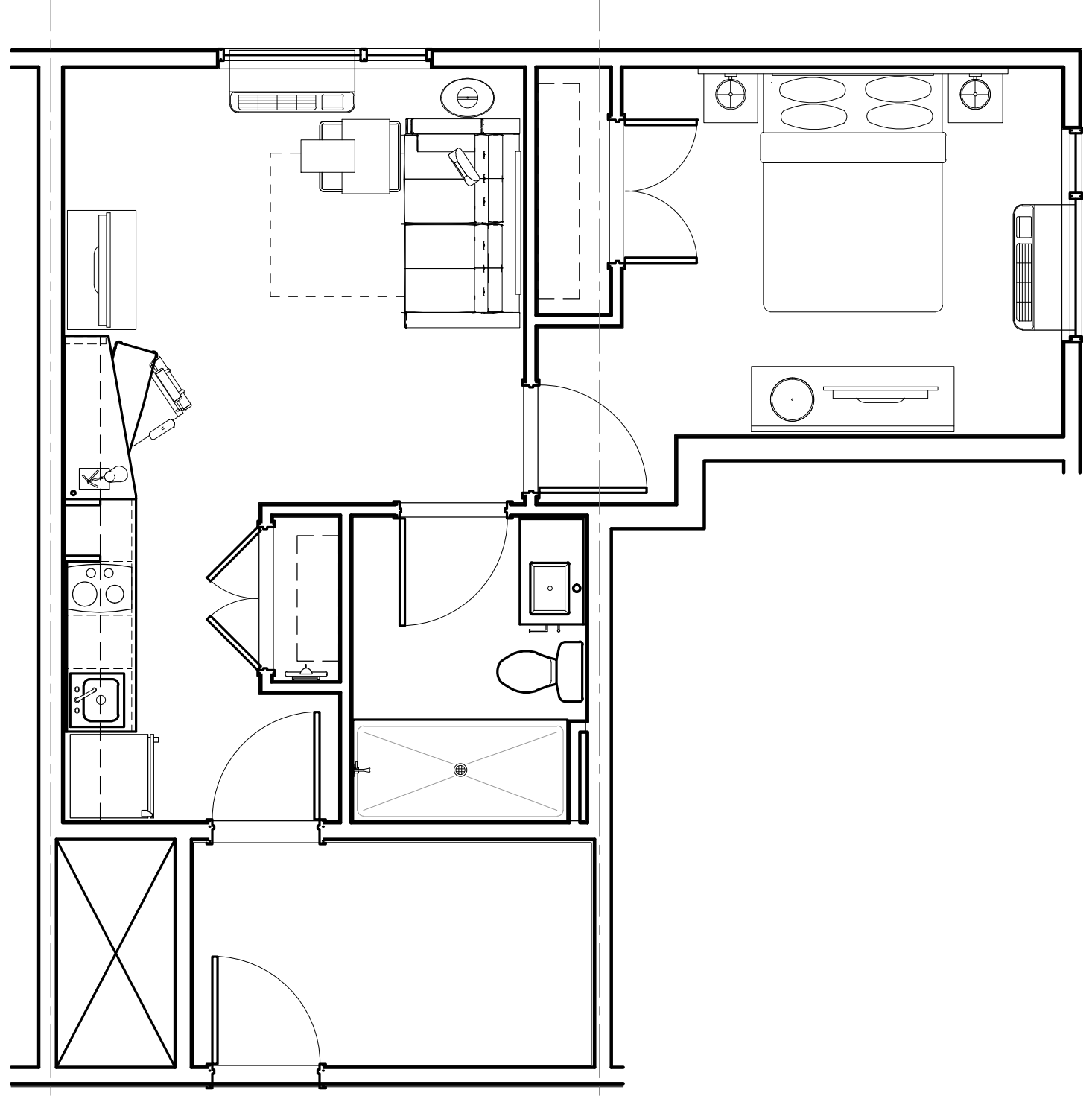
B **REFLECTED CEILING PLAN - OPTION 1**
A3.7 SCALE: 1/4" = 1'-0"



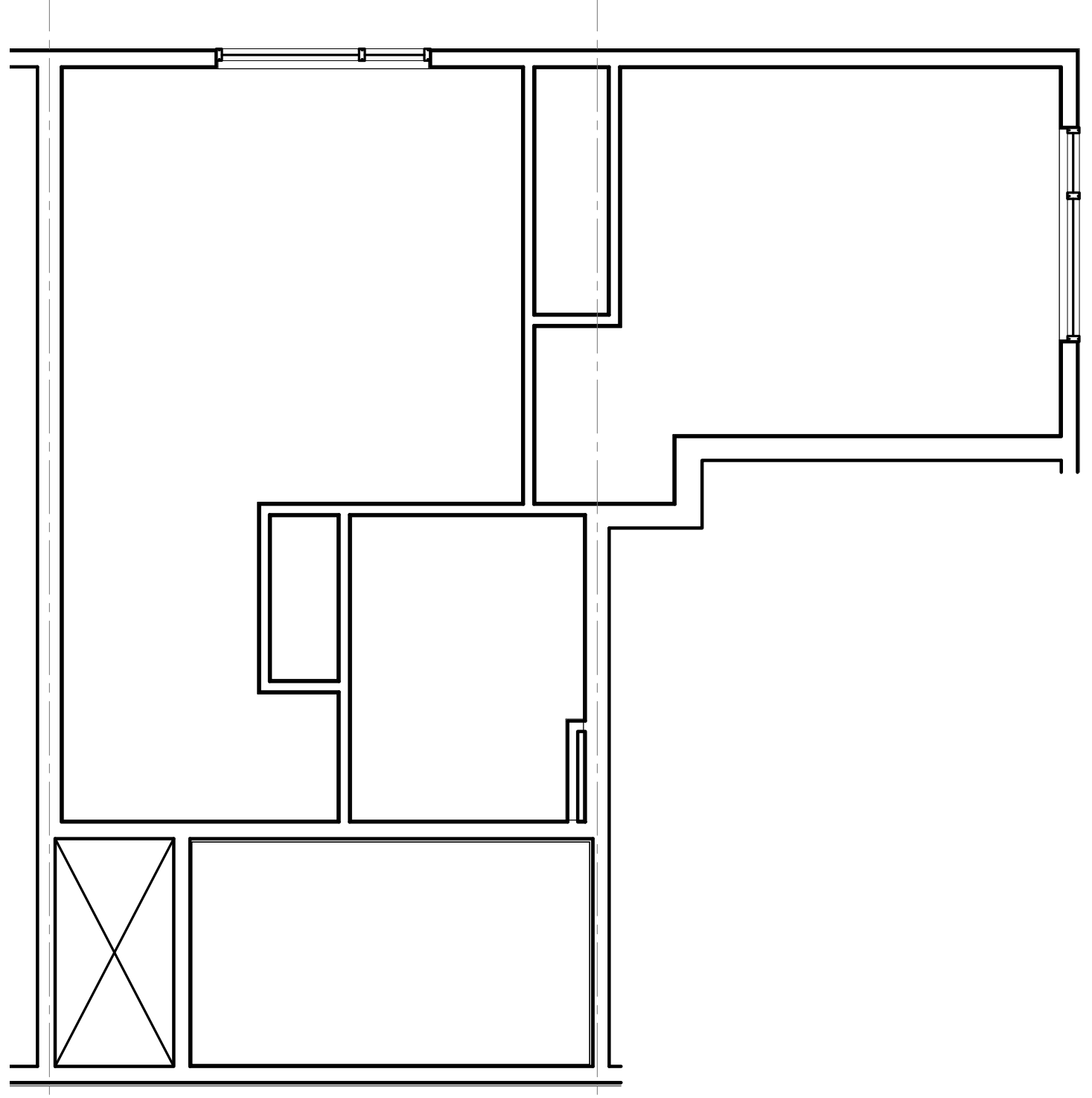
A **CONSTRUCTION PLAN - OPTION 1**
A3.7 SCALE: 1/4" = 1'-0"



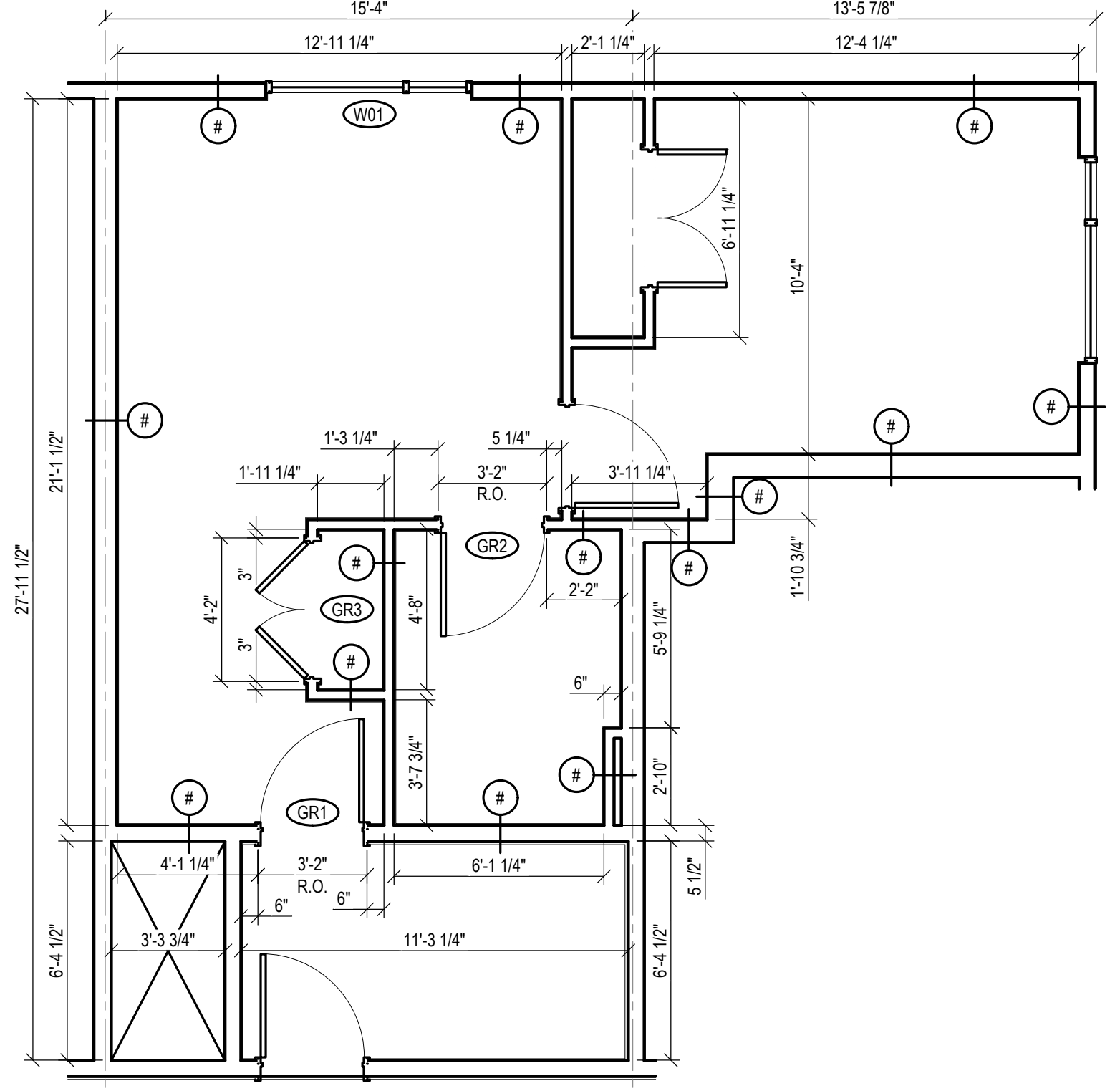
D **PLUMBING / ELECTRICAL - OPTION 2**
A3.7 SCALE: 1/4" = 1'-0"



C **FURNITURE / FINISH PLAN - OPTION 2**
A3.7 SCALE: 1/4" = 1'-0"



B **REFLECTED CEILING PLAN - OPTION 2**
A3.7 SCALE: 1/4" = 1'-0"



A **CONSTRUCTION PLAN - OPTION 2**
A3.7 SCALE: 1/4" = 1'-0"

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A CUSTOM DESIGN FOR A NEW PROPOSED:
TOWNEPLACE SUITES
5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
GUESTROOM PLANS / ELEVATIONS:
ONE BEDROOM QUEEN

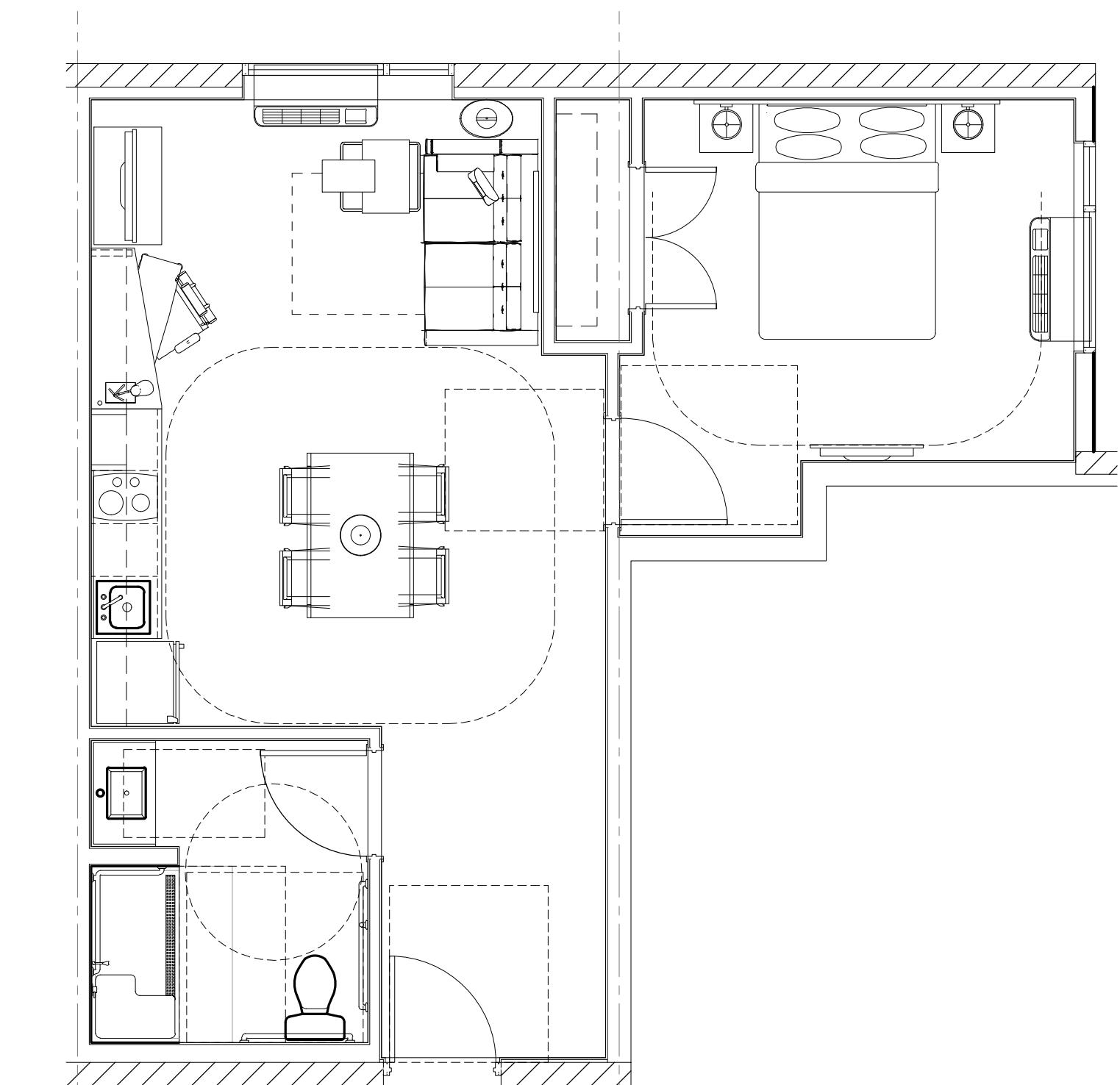


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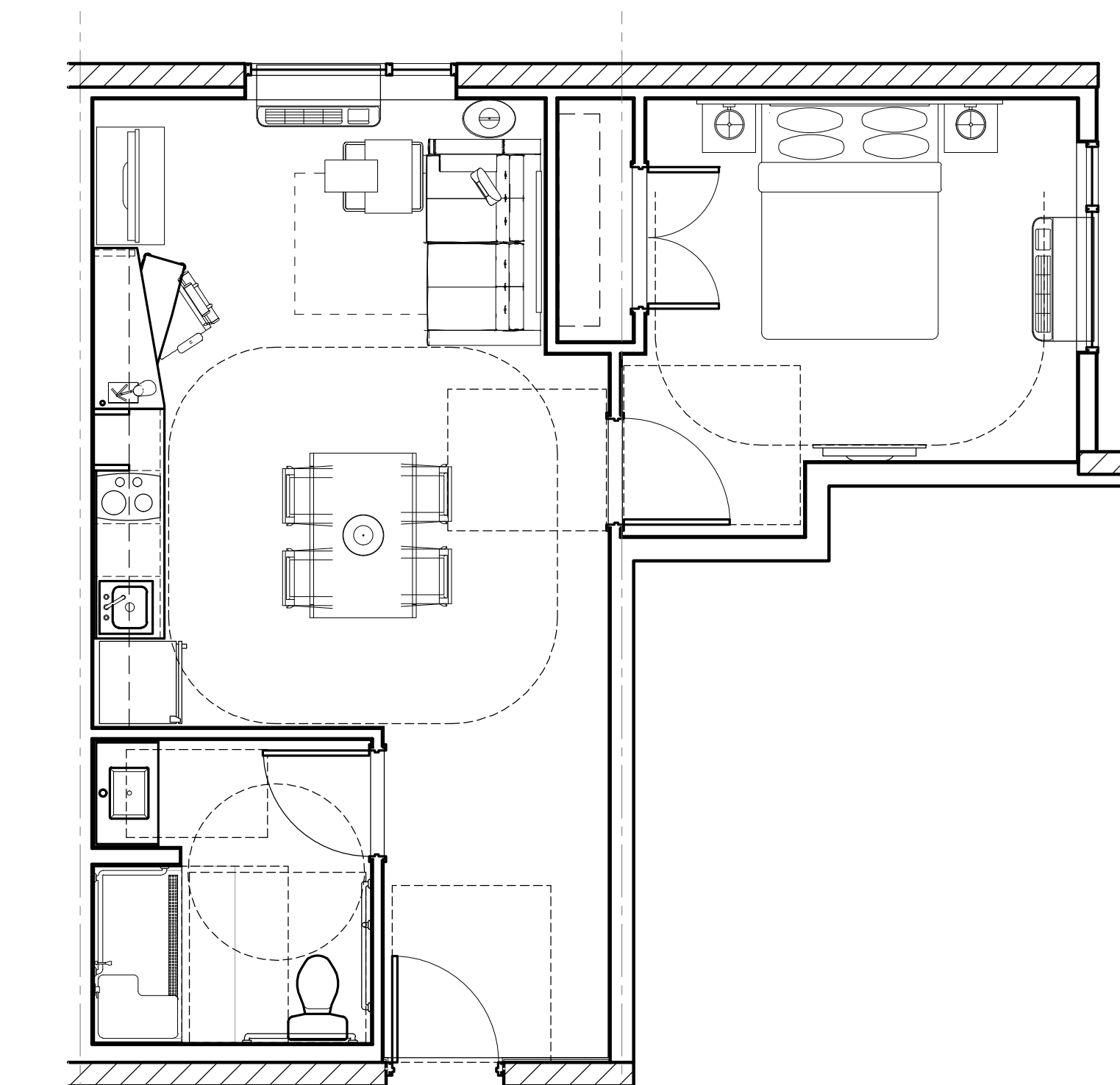
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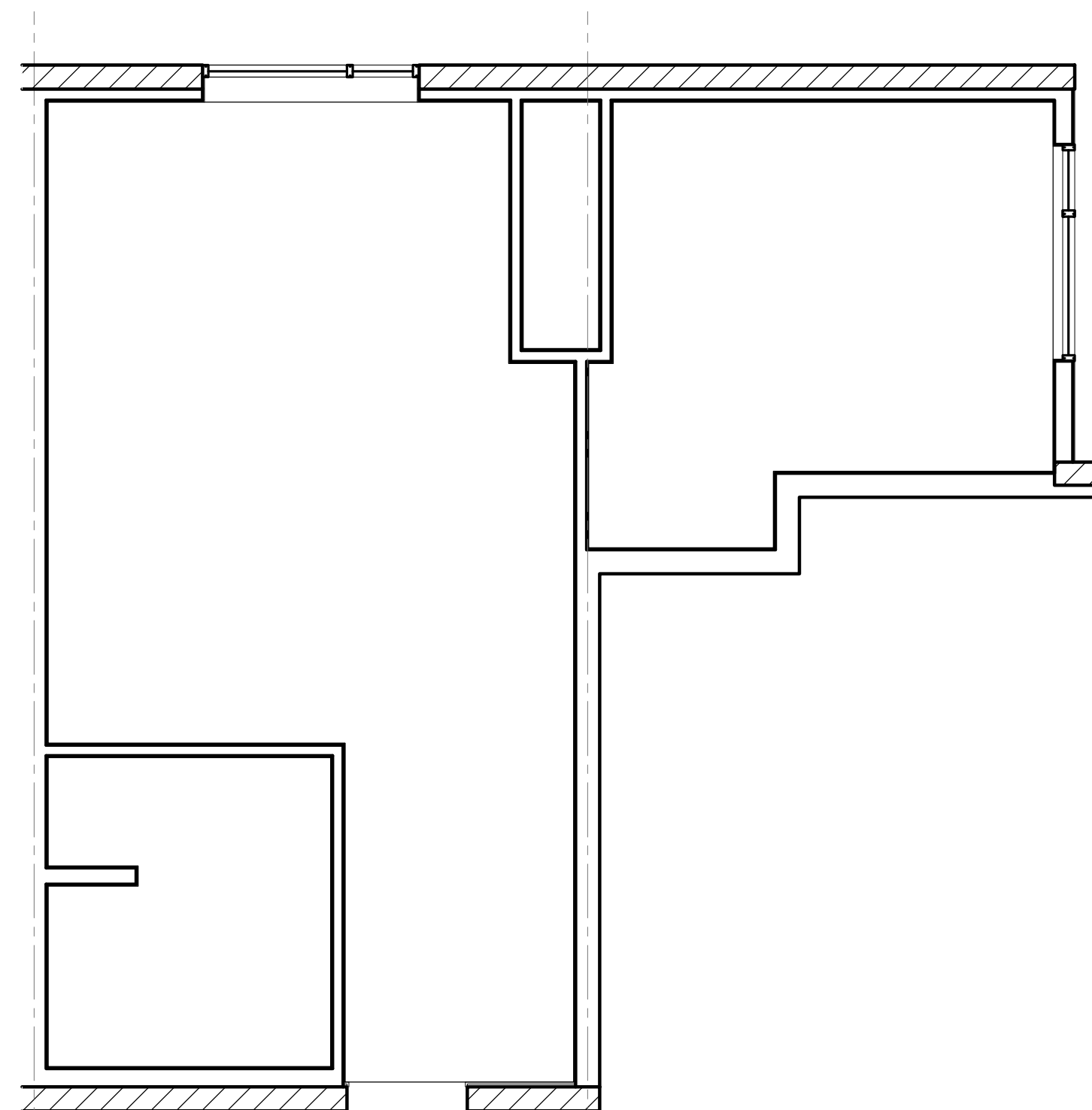
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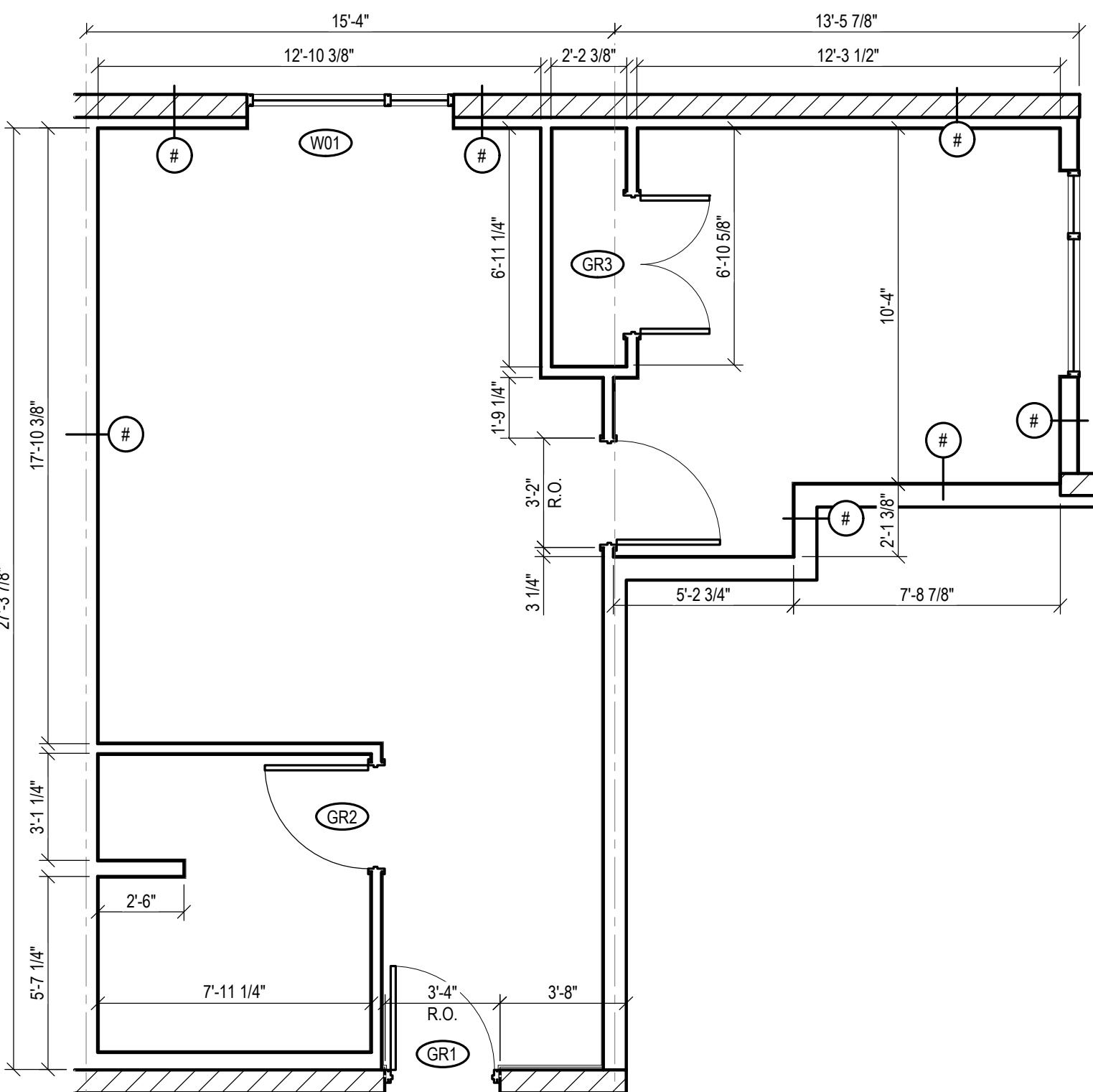
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A3.8 **PLUMBING / ELECTRICAL**
SCALE: 1/4" = 1'-0"



C
A3.8 **FURNITURE / FINISH PLAN**
SCALE: 1/4" = 1'-0"



B
A3.8 **REFLECTED CEILING PLAN**
SCALE: 1/4" = 1'-0"



A
A3.8 **CONSTRUCTION PLAN**
SCALE: 1/4" = 1'-0"

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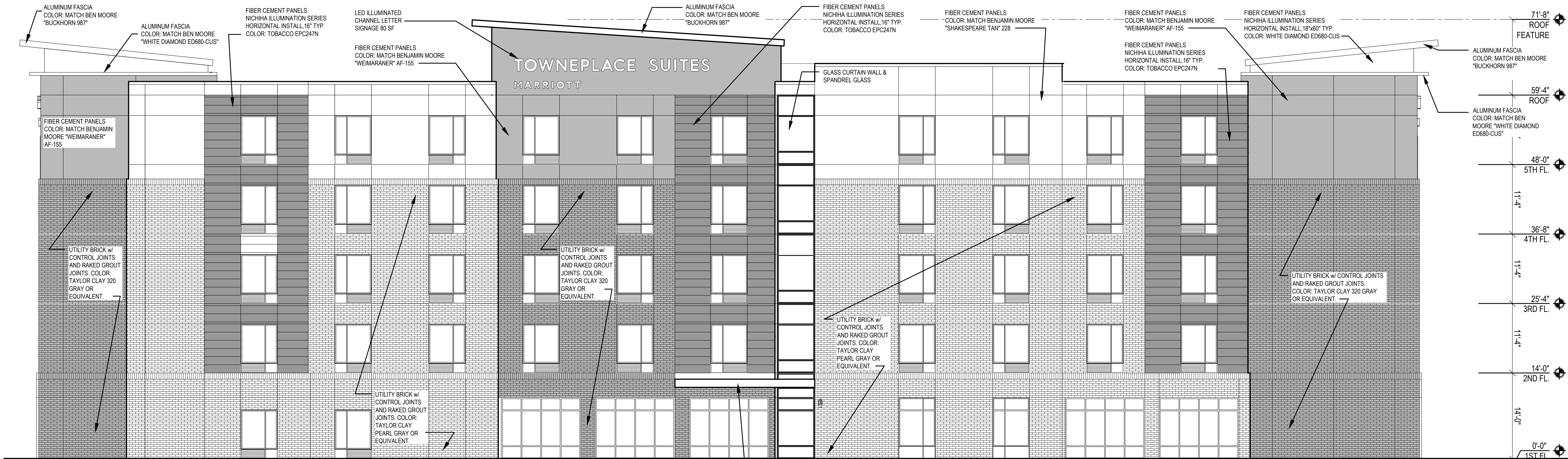
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A CUSTOM DESIGN FOR A NEW PROPOSED:
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5155 UPPER METRO PLACE, DUBLIN, OHIO 43017, FRANKLIN COUNTY
MARRIOTT
GUESTROOM PLANS / ELEVATIONS:
ADA ONE BEDROOM QUEEN



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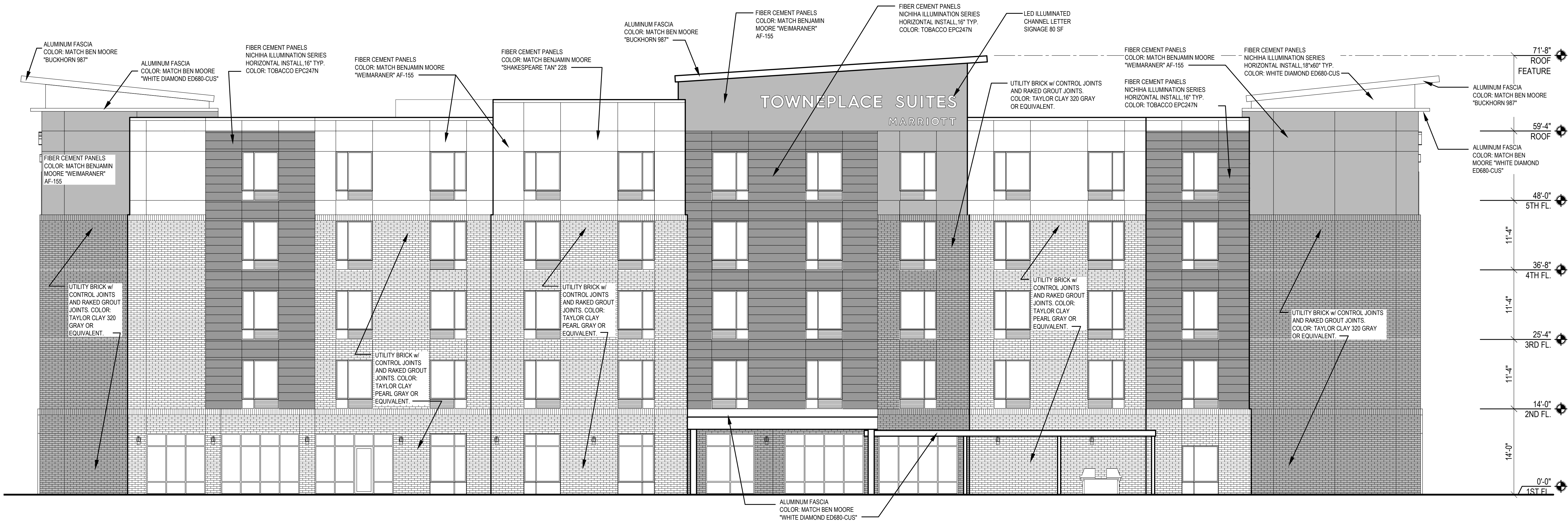
A3.8



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

REFER TO SHEET A5.2 FOR FACADE MATERIAL PERCENTAGE SUMMARY



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

REFER TO SHEET A5.2 FOR FACADE MATERIAL PERCENTAGE SUMMARY

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A CUSTOM DESIGN FOR A NEW PROPOSED:

TOWNEPLACE SUITES

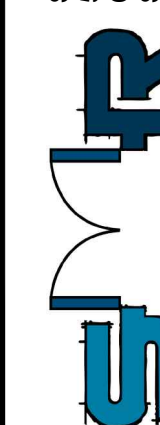
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NORTH AND SOUTH ELEVATIONS



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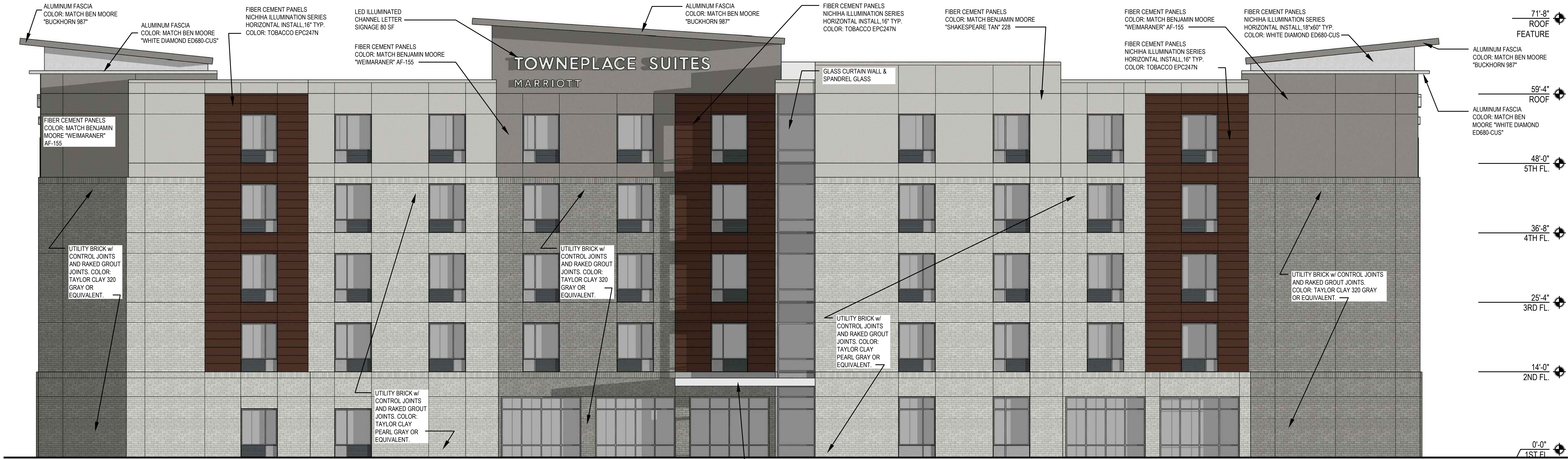


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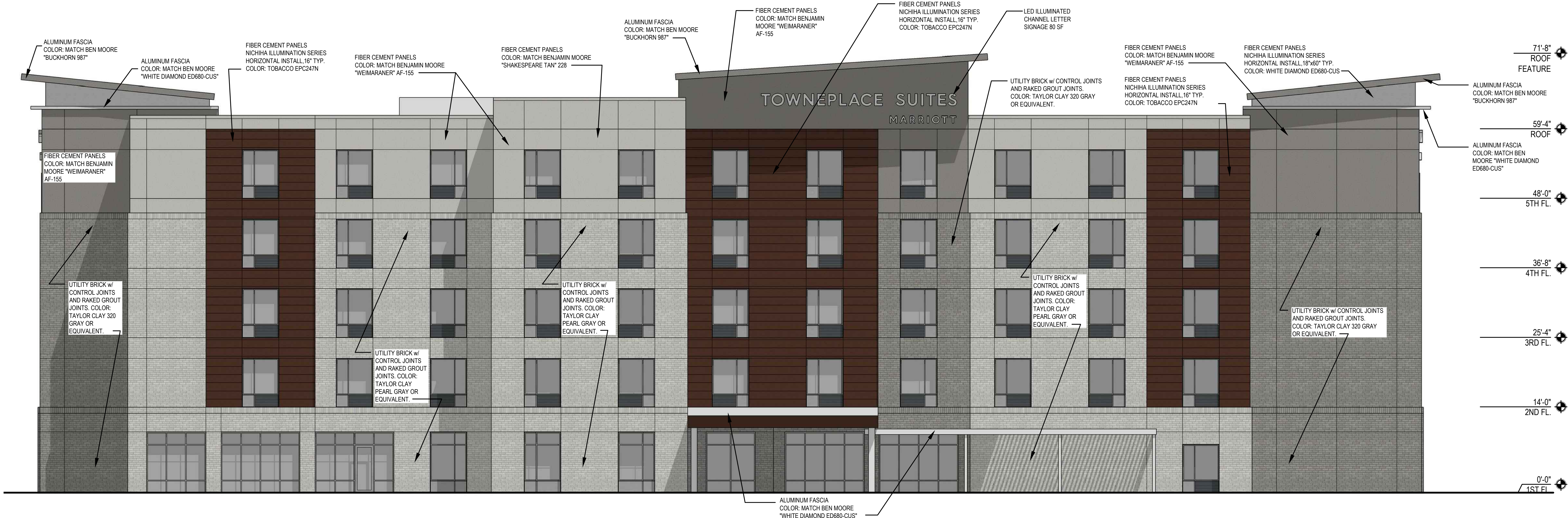
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NORTH ELEVATION

SCALE: 1/8" = 1'-0"

REFER TO SHEET A5.2 FOR FACADE MATERIAL PERCENTAGE SUMMARY



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

REFER TO SHEET A5.2 FOR FACADE MATERIAL PERCENTAGE SUMMARY

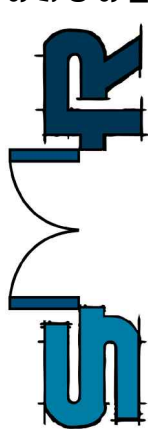
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A CUSTOM DESIGN FOR A NEW PROPOSED:
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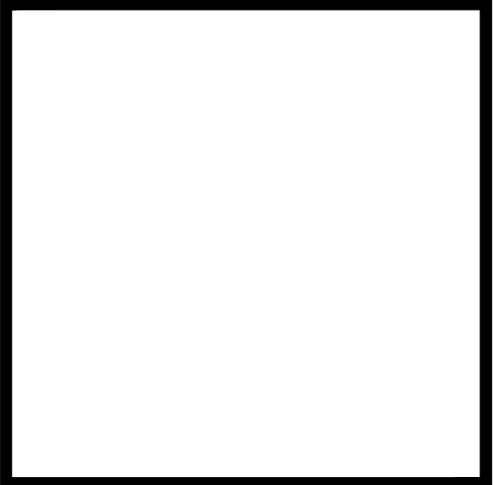


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A5.1

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A CUSTOM DESIGN FOR A NEW PROPOSED:

TOWNEPLACE SUITES

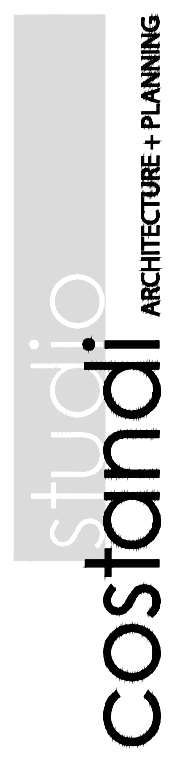
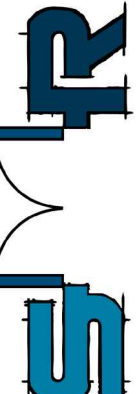
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EAST AND WEST ELEVATIONS



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PRIMARY vs SECONDARY MATERIALS

NOTE: ALL PUNCHED (SMALLER) WINDOWS ARE NOT INCLUDED IN CALCULATIONS OF FACADE AREAS.

NORTH (PUBLIC STREET) FACADE:	EAST (SIDE) FACADE:
PRIMARY MATERIAL: BRICK MASONRY & CURTAIN WALL = ± 6648 + 1035sf = 7683sf = 62%	PRIMARY MATERIAL: BRICK MASONRY = ± 2167sf = 54%
SECONDARY MATERIALS: FIBER CEMENT PANELS & ALUM TRIM = ± 4779sf = 38%	SECONDARY MATERIALS: FIBER CEMENT PANELS & ALUM TRIM = ± 1868sf = 46%

SOUTH (PARKING LOT) FACADE:	WEST (SIDE) FACADE:
PRIMARY MATERIAL: BRICK MASONRY+ STOREFRONT = ± 6264+693sf = 6957sf = 57%	PRIMARY MATERIAL: BRICK MASONRY = ± 2268sf =59%
SECONDARY MATERIALS: FIBER CEMENT PANELS & ALUM TRIM = ± 5179SF = 43%	SECONDARY MATERIALS: FIBER CEMENT PANELS & ALUM = ± 1588sf = 41%

TRANSPARENCY

NOTE: ALL NON-STREET FACING FACADES MEET MIN. 15% TRANSPARENCY ON GROUND AND UPPER LEVELS.

NORTH (PUBLIC STREET) FACADE:	WEST (PUBLIC STREET) FACADE:
GROUND LEVEL FACADE AREA (2' ABOVE SIDEWALK) = ±2700sf GLAZING BETWEEN 2' AND 8' HEIGHT FROM SIDEWALK = +573sf PERCENTAGE = 23.4%	GROUND LEVEL FACADE AREA (2' ABOVE SIDEWALK) = ±852sf GLAZING BETWEEN 2' AND 8' HEIGHT FROM SIDEWALK = +68sf PERCENTAGE = 8%
UPPER LEVEL FACADE AREA (ea floor) = ±2545sf GLAZING = ±409sf PERCENTAGE = 16%	UPPER LEVEL FACADE AREA (ea floor) = ±789sf GLAZING = ±144sf PERCENTAGE = 18%

EXTERIOR FACADE MATERIAL PERCENTAGES

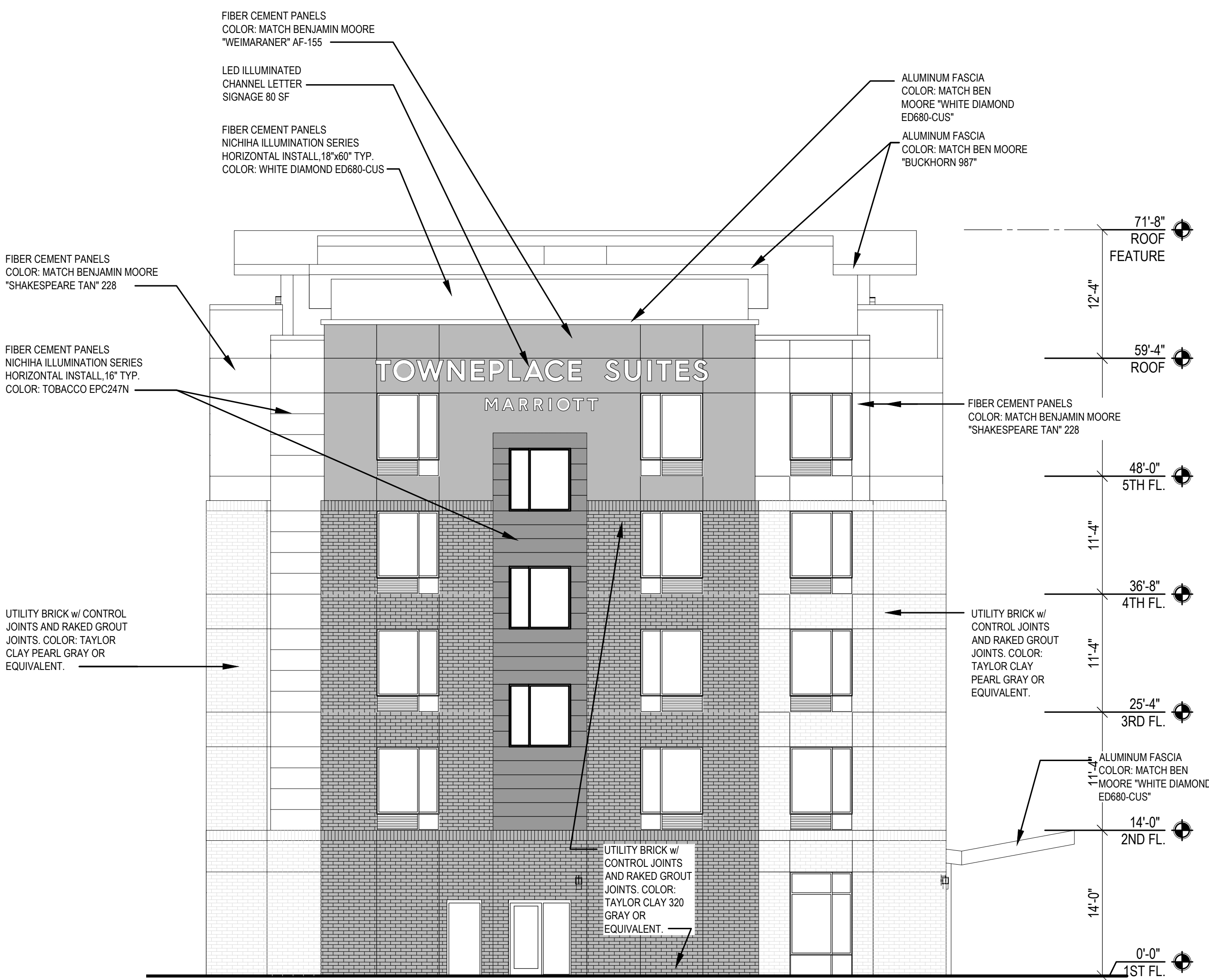
SCALE:



EAST ELEVATION

SCALE: 1/8" = 1'-0"

REFER TO CHART ABOVE FOR FACADE MATERIAL PERCENTAGE SUMMARY
REFER TO ADJACENT WEST ELEVATION FOR MATCHING NOTATION



WEST ELEVATION

SCALE: 1/8" = 1'-0"

REFER TO CHART ABOVE FOR FACADE MATERIAL PERCENTAGE SUMMARY

PRIMARY vs SECONDARY MATERIALS

NOTE: ALL PUNCHED (SMALLER) WINDOWS ARE NOT INCLUDED IN CALCULATIONS OF FACADE AREAS.

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SECONDARY MATERIALS:
FIBER CEMENT PANELS & ALUM TRIM = ± 1868sf = 46%

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SECONDARY MATERIALS:
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WEST (SIDE) FACADE:

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SECONDARY MATERIALS:
FIBER CEMENT PANELS & ALUM = ± 1588sf = 41%

TRANSPARENCY

NOTE: ALL NON-STREET FACING FACADES MEET MIN. 15% TRANSPARENCY ON GROUND AND UPPER LEVELS.

NORTH (PUBLIC STREET) FACADE:

GROUND LEVEL FACADE AREA (2' ABOVE SIDEWALK) = ±2700sf
GLAZING BETWEEN 2' AND 8' HEIGHT FROM SIDEWALK = +573sf
PERCENTAGE = 23.4%

UPPER LEVEL FACADE AREA (ea floor) = +2545sf
GLAZING = +409sf
PERCENTAGE = 16%

WEST (PUBLIC STREET) FACADE:

GROUND LEVEL FACADE AREA (2' ABOVE SIDEWALK) = ±852sf
GLAZING BETWEEN 2' AND 8' HEIGHT FROM SIDEWALK = +68sf
PERCENTAGE = 8%

UPPER LEVEL FACADE AREA (ea floor) = +789sf
GLAZING = +144sf
PERCENTAGE = 18%

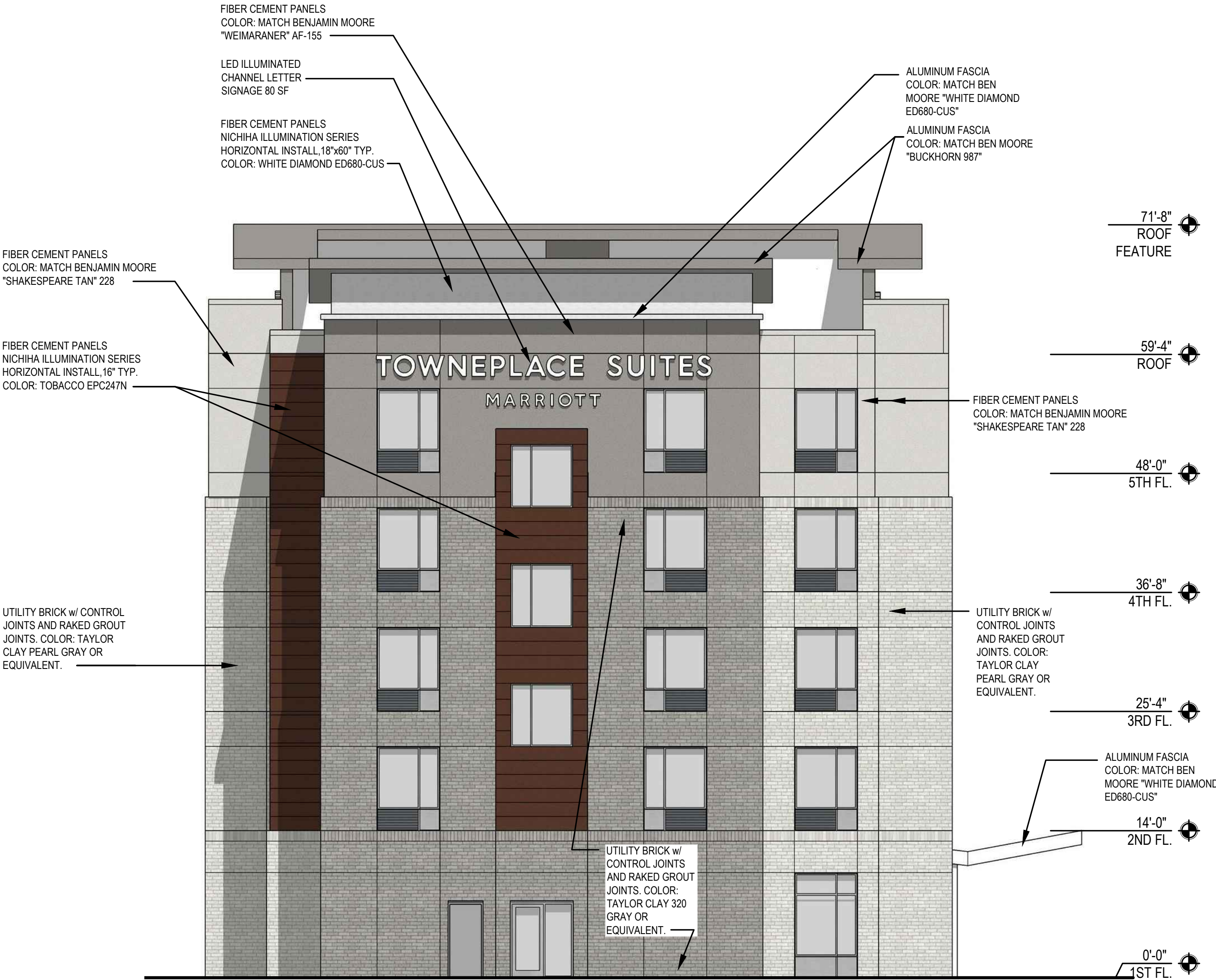
EXTERIOR FACADE MATERIAL PERCENTAGES



EAST ELEVATION

SCALE: 1/8" = 1'-0"

REFER TO CHART ABOVE FOR FACADE MATERIAL PERCENTAGE SUMMARY
REFER TO ADJACENT WEST ELEVATION FOR MATCHING NOTATION



WEST ELEVATION

SCALE: 1/8" = 1'-0"

REFER TO CHART ABOVE FOR FACADE MATERIAL PERCENTAGE SUMMARY



VIEW FROM NORTHWEST



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST



VIEW FROM SOUTHWEST

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A CUSTOM DESIGN FOR A NEW PROPOSED:
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EXTERIOR RENDERINGS



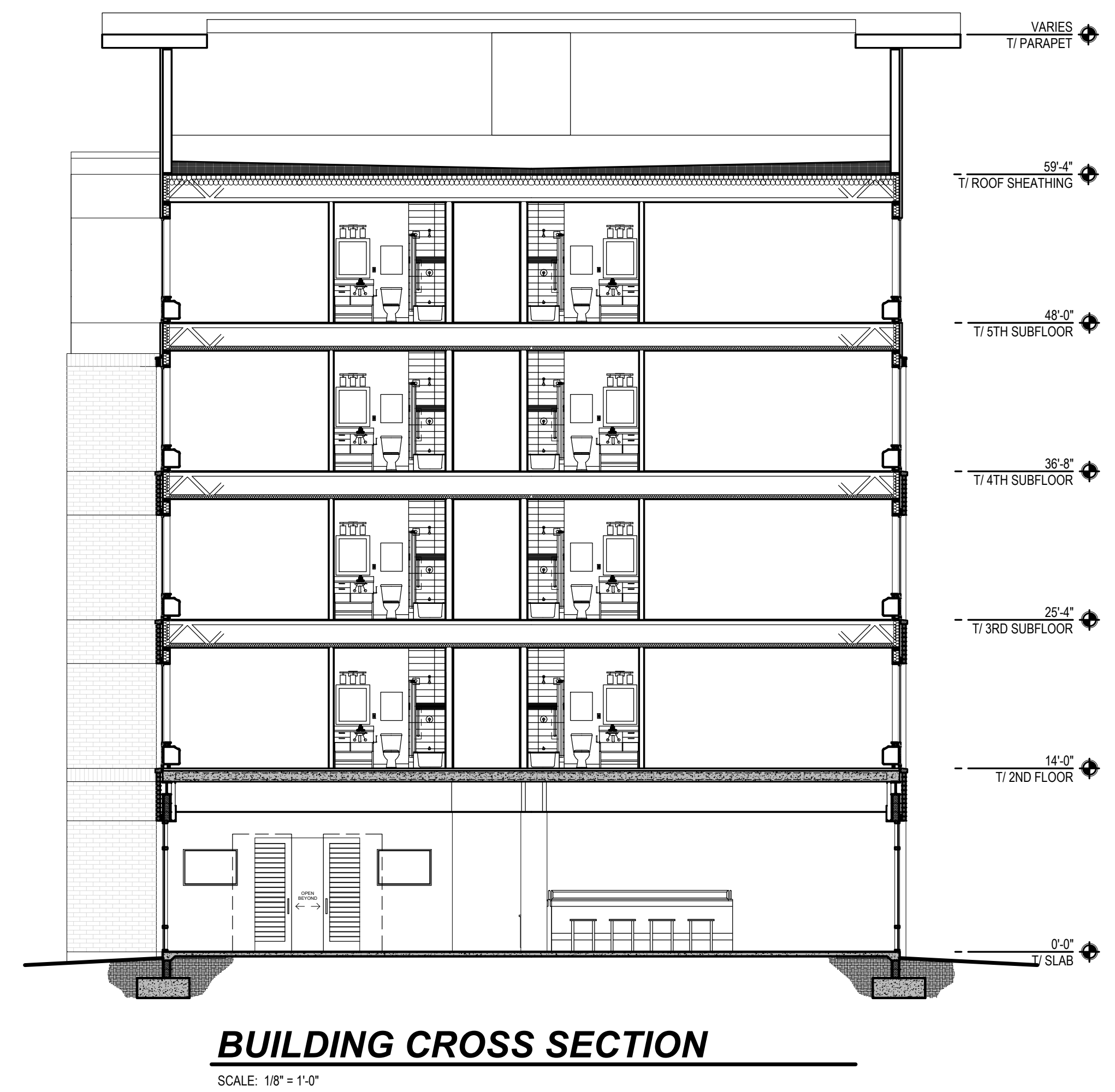
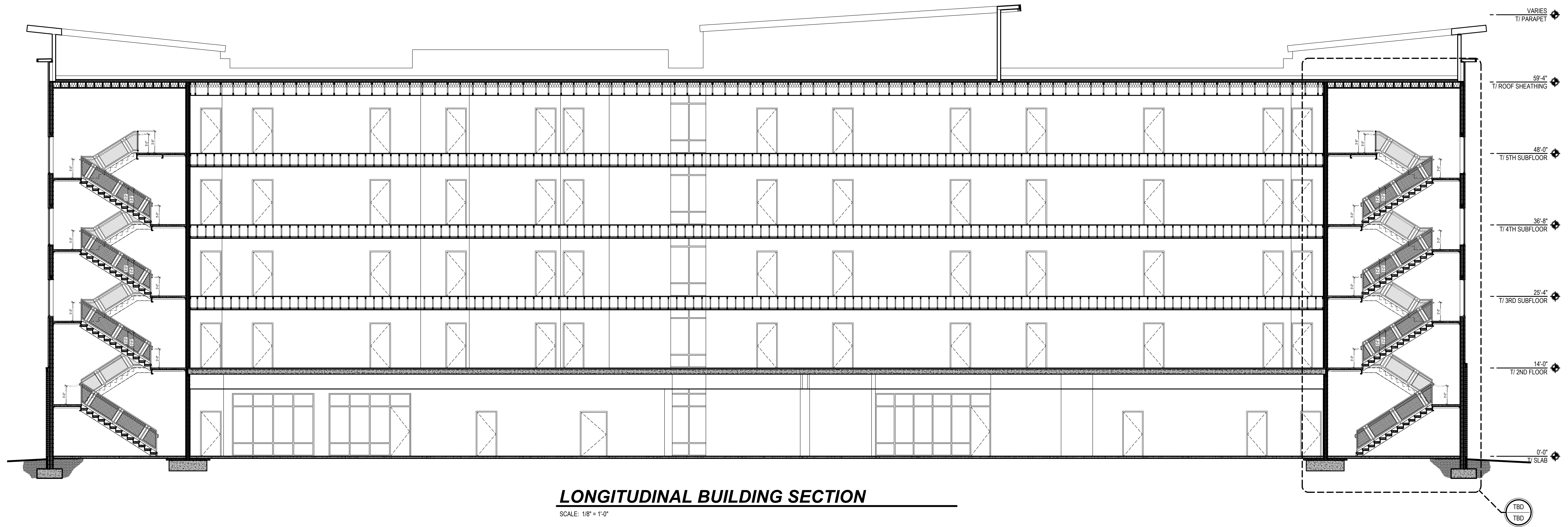
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A5.3



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A CUSTOM DESIGN FOR A NEW PROPOSED:
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BUILDING SECTIONS

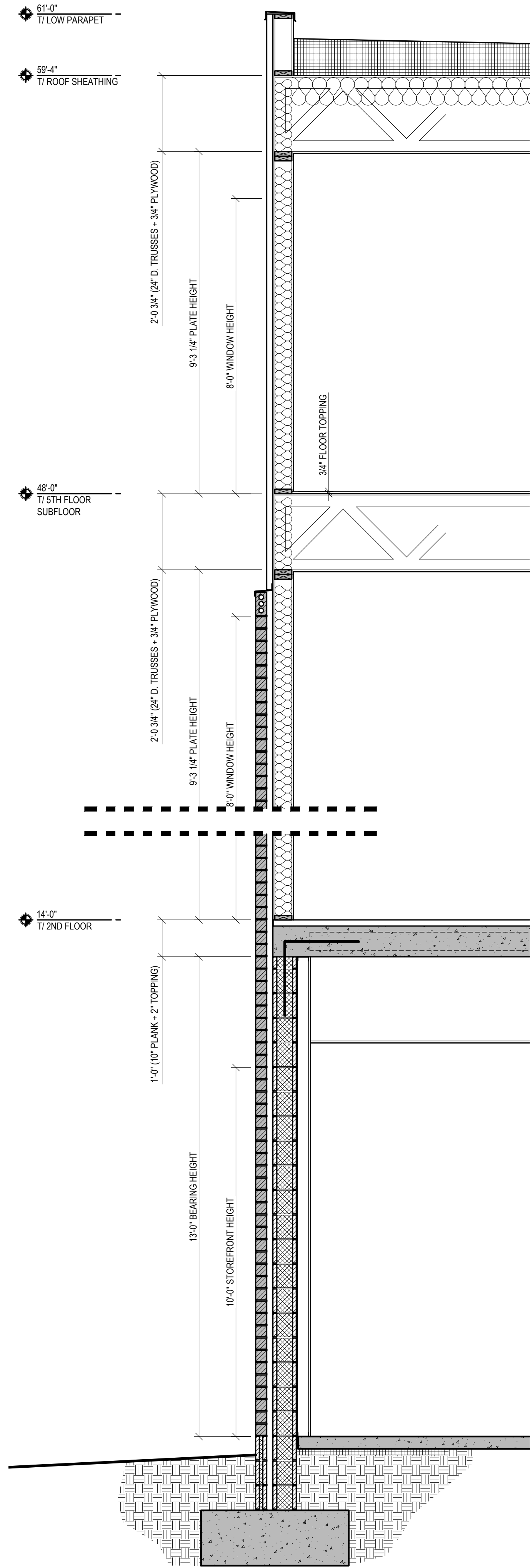


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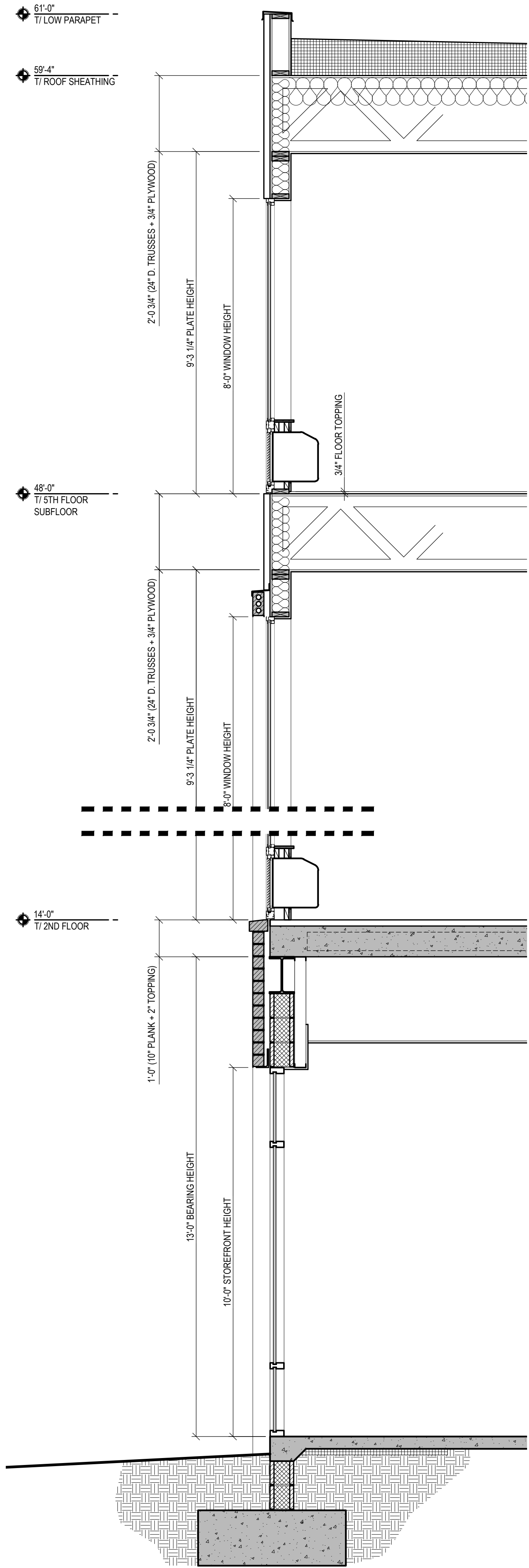
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A6.1



TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"



WINDOW WALL SECTION

SCALE: 1/2" = 1'-0"

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A CUSTOM DESIGN FOR A NEW PROPOSED:

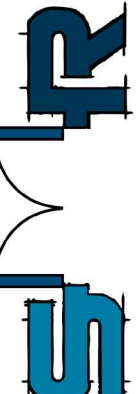
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WALL SECTIONS

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A6.2