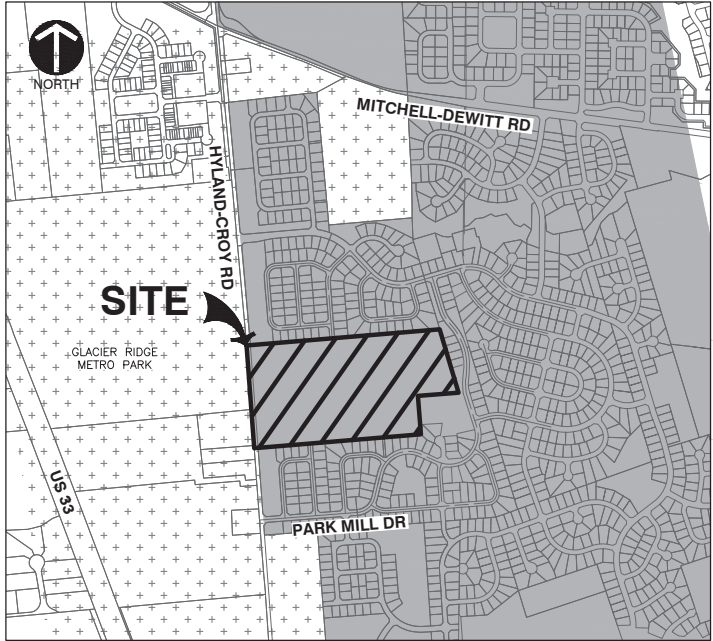




REGIONAL CONTEXT MAP
NOT TO SCALE

SITE STATISTICS

TOTAL ACREAGE:	47.36 AC
NET DEVELOPABLE ACREAGE CALCULATION	
EXISTING UTILITY EASEMENTS:	0.96 AC
RIGHT-OF-WAY (14.48% GROSS AREA)	
PROPOSED INTERNAL ROADS:	5.86 AC
WETLANDS:	0.57 AC
NET DEVELOPABLE ACREAGE:	39.97 AC
TOTAL NUMBER OF LOTS:	73
TOTAL GROSS DENSITY:	1.54 LOTS/AC
NET DENSITY:	1.83 LOTS/AC
ZONING CLASSIFICATION:	PLANNED UNIT DEVELOPMENT
OPEN SPACES (45.1%)	
RESERVE A:	3.45 AC
RESERVE B:	0.70 AC
RESERVE C:	16.53 AC
RESERVE D:	0.06 AC
RESERVE E:	0.63 AC
RESERVE F:	0.01 AC
TOTAL:	21.38 AC

DEVELOPMENT STANDARDS

FRONT YARD SETBACK MINIMUM: 20 FT
SIDE YARD SETBACK MINIMUM: 6 FT
REAR YARD SETBACK MINIMUM: 25 FT
HYLAND-CROY RD SETBACK MINIMUM: 150 FT

NOTES

- OPEN SPACE PROVIDED FOR ACTIVE/PASSIVE USE BY RESIDENTS, PRESERVATION OF NATURAL VEGETATION AND/OR STORMWATER MANAGEMENT AND LANDSCAPING.
- SANITARY SEWER AND WATER SERVICE TO BE PROVIDED BY THE CITY OF COLUMBUS AND DUBLIN AND DESIGNED PER CITY OF COLUMBUS AND DUBLIN STANDARDS.
- STREETS AND STORMWATER MANAGEMENT SHALL MEET THE STANDARDS OF THE CITY OF DUBLIN.
- THE PROPOSED BASIN SHALL HAVE A FOUNTAIN.

SHEET INDEX		
NO	DESC	TITLE
20	EX20	COVER SHEET
21	EX21	EXISTING CONDITIONS
22	EX22	SITE STAKING AND PHASING PLAN
23	EX23	SITE STAKING AND PHASING PLAN
24	EX24	UTILITY PLAN
25	EX25	UTILITY PLAN
26	EX26	GRADING PLAN
27	EX27	GRADING PLAN

REFERENCES

TOPOGRAPHIC INFORMATION IS BASED ON DATA FROM OHIO GEOGRAPHICALLY REFERENCED INFORMATION PROGRAM, ACCESSED MARCH 10, 2015.

BENCHMARKS (NAVD 88) ↕

SOURCE BENCHMARK

ALUMINUM DISK IN A CONCRETE MONUMENT, IN THE CENTERLINE OF BRAND ROAD ON THE FRANKLIN/UNION COUNTY LINE.

FCGS #6646

ELEV = 931.31

BENCHMARK #1

BENCHMARK #1 R.R. SPIKE TWIN 30" OAK ON E. P/L OF PARK PLACE 500' ± N. OF S. P/L

ELEV = 930.89

BENCHMARK #2

S.E. BOLT (ARROW BOLT) F.H. ON S. SIDE TULLYMORE DRIVE AT END PHASE LINE ON PARK PLACE E. P/L

ELEV = 927.72

OWNERS

JOHNSTON H. MEANS
7660 HYLAND-CROY RD
PLAIN CITY, OH 43064

R. OLIVER GRIFFITH AND
DEBORAH L. GRIFFITH
7540 HYLAND-CROY RD
PLAIN CITY, OH 43064

DEVELOPER

PULTE HOMES, INC
4900 TUTTLE CROSSING BOULEVARD
DUBLIN, OHIO 43016
PHONE: (614) 376-1000
CONTACT: MATT CALLAHAN
EMAIL: MATTHEW.CALLAHAN@PULTE.COM

ENGINEER/SURVEYOR

CIVIL & ENVIRONMENTAL
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250 OLD WILSON BRIDGE ROAD, SUITE 250
WORTHINGTON, OHIO 43085
PHONE: (614) 540-6633
CONTACT: MIKE REEVES
EMAIL: MREEVES@CECINC.COM



VICINITY MAP

SCALE 1"=200'



NORTH

SCALE IN FEET
0 200 400

OWNER _____ DATE _____

OWNER _____ DATE _____

APPLICANT _____ DATE _____

PLANNING AND ZONING COMMISSION SECRETARY _____ DATE _____

PLANNING AND ZONING COMMISSION _____ DATE _____

CITY COUNCIL _____ DATE _____



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PULTE HOMES - AUTUMN ROSE WOODS
CITY OF DUBLIN, UNION COUNTY, OHIO
FINAL DEVELOPMENT PLAN
COVER SHEET

DATE: MAY 2017 DRAWN BY: WDF/TJV
DWG SCALE: 1"=200' CHECKED BY: MCR
PROJECT NO: 150-620
APPROVED BY: DRAFT SHEET 20 OF 27

EX20



NORTH

SCALE IN FEET



LEGEND

	EXISTING WOOD FENCE		SIGN
	EXISTING GAS LINE		LIGHT STANDARD
	EXISTING FIBER OPTIC LINE		SEPTIC
	EXISTING OVERHEAD ELECTRIC		INLET SQUARE
	EXISTING BOUNDARY LINE		WATER BOX (WATER VALVE)
	EXISTING ADJOINING PROPERTY LINE		FIRE HYDRANT
	EXISTING CENTER LINE		WATER WELL
	EXISTING RIGHT-OF-WAY		GAS LINE MARKER
	EXISTING GRAVEL DRIVE		POWER POLE
	EXISTING EDGE OF PAVEMENT		GUY WIRE
	EXISTING STORM SEWER		TELEPHONE PEDESTAL
	EXISTING SANITARY SEWER		FIBER OPTIC MARKER
	EXISTING WATER LINE		ELECTRIC CONTROL CABINET
	EXISTING STRUCTURE		TELEPHONE BOX
	EXISTING INDEX CONTOURS		FIBER OPTIC BOX
	EXISTING INTERMEDIATE CONTOURS		TELEPHONE PULL BOX



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FINAL DEVELOPMENT PLAN
EXISTING CONDITIONS

DATE: MAY 2017 DRAWN BY: WDF/TJV DRAWING NO.:

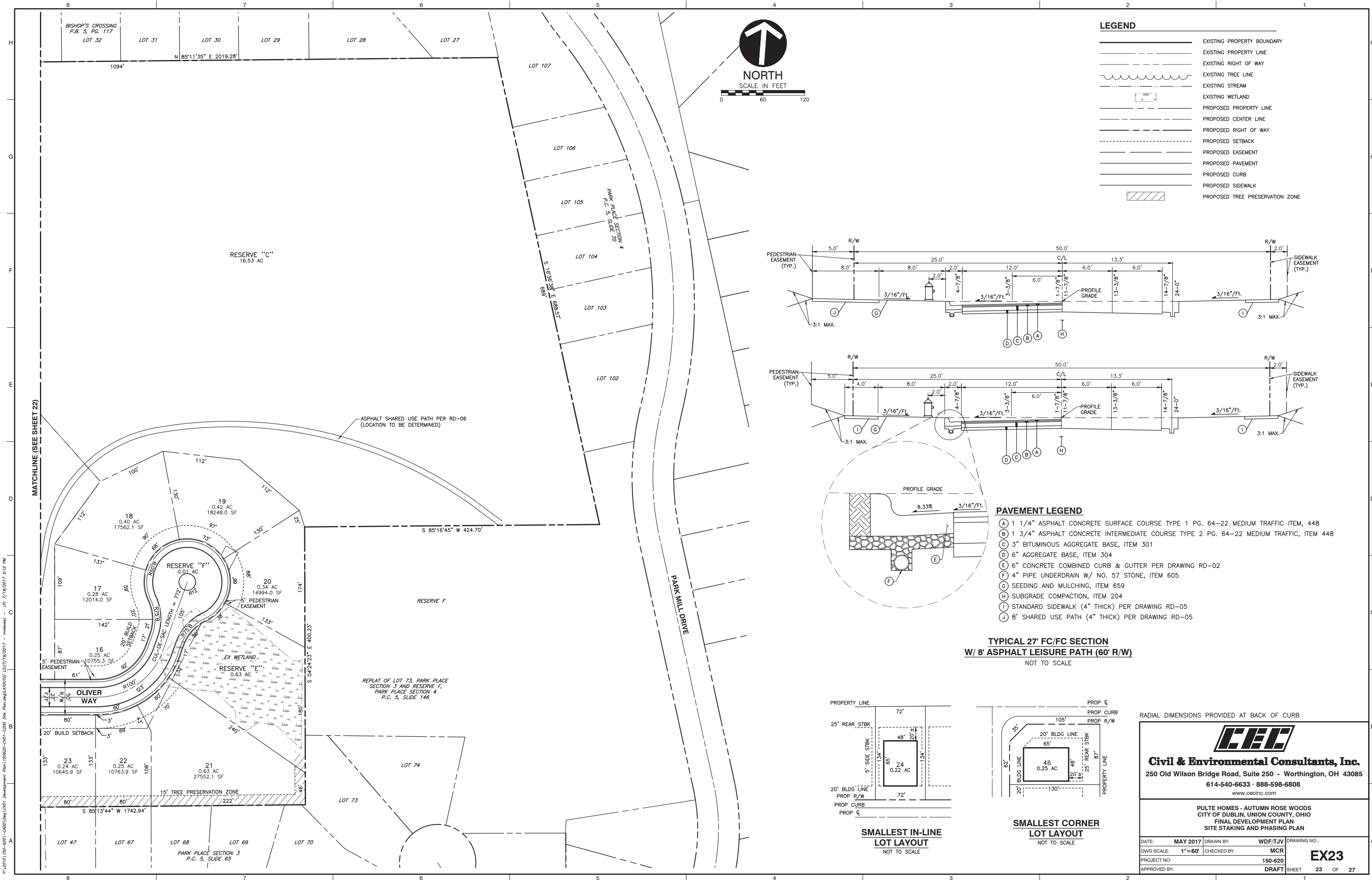
DWG SCALE: 1"=100' CHECKED BY: MCR

PROJECT NO: 150-620

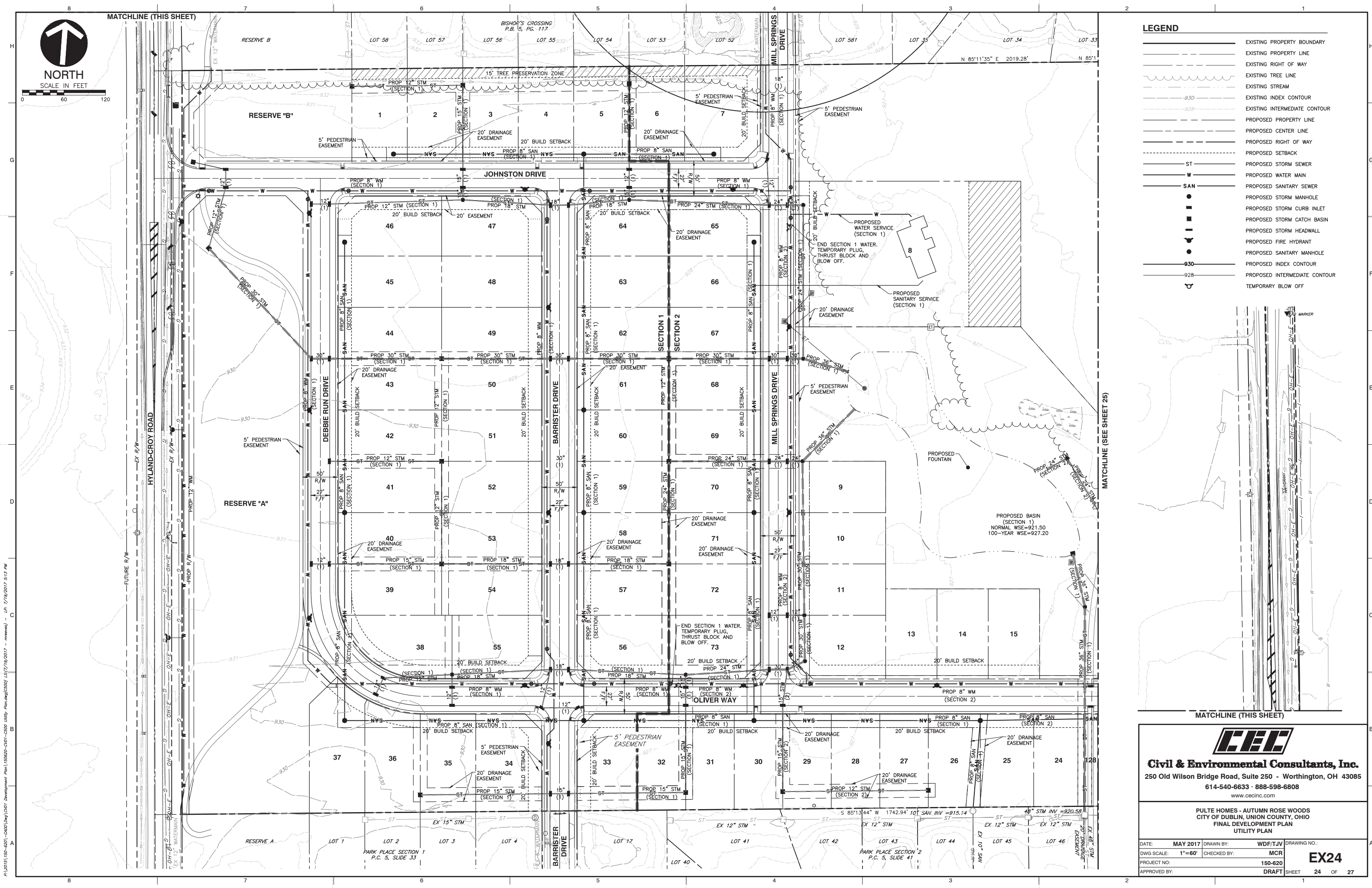
APPROVED BY: DRAFT SHEET 21 OF 27

EX21





P:\2015\150-620\150-620\DWG\150-620-CV01-C200 Site Plan.dwg(150-620-CV01-C200 Site Plan.dwg) User: jlv012 Date: 7/19/2017 5:12 PM



- LEGEND**
- EXISTING PROPERTY BOUNDARY
 - EXISTING PROPERTY LINE
 - EXISTING RIGHT OF WAY
 - EXISTING TREE LINE
 - EXISTING STREAM
 - EXISTING INDEX CONTOUR
 - EXISTING INTERMEDIATE CONTOUR
 - PROPOSED PROPERTY LINE
 - PROPOSED CENTER LINE
 - PROPOSED RIGHT OF WAY
 - PROPOSED SETBACK
 - PROPOSED STORM SEWER
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM CURB INLET
 - PROPOSED STORM CATCH BASIN
 - PROPOSED STORM HEADWALL
 - PROPOSED FIRE HYDRANT
 - PROPOSED SANITARY MANHOLE
 - PROPOSED INDEX CONTOUR
 - PROPOSED INTERMEDIATE CONTOUR
 - TEMPORARY BLOW OFF





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FINAL DEVELOPMENT PLAN
UTILITY PLAN

DATE: MAY 2017	DRAWN BY: WDF/TJV	DRAWING NO.:
DWG SCALE: 1"=60'	CHECKED BY: MCR	
PROJECT NO: 150-620		
APPROVED BY:	DRAFT	SHEET 24 OF 27

EX24

P:\2015\150-620\150-620.dwg [C:\Users\mcr\Documents\150-620.dwg] - LP: 7/19/2017 5:13 PM



SCALE IN FEET

LEGEND

	EXISTING PROPERTY BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING TREE LINE
	EXISTING STREAM
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED PROPERTY LINE
	PROPOSED CENTER LINE
	PROPOSED RIGHT OF WAY
	PROPOSED SETBACK
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED STORM MANHOLE
	PROPOSED STORM CURB INLET
	PROPOSED STORM CATCH BASIN
	PROPOSED STORM HEADWALL
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY MANHOLE
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	TEMPORARY BLOW OFF

MATCHLINE (SEE SHEET 24)

RESERVE "C"

ASPHALT SHARED USE PATH PER RD-06
(LOCATION TO BE DETERMINED)

RESERVE F

REPLAT OF LOT 73, PARK PLACE
SECTION 3 AND RESERVE F,
PARK PLACE SECTION 4
P.C. 5, SLIDE 146



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CITY OF DUBLIN, UNION COUNTY, OHIO
FINAL DEVELOPMENT PLAN
UTILITY PLAN**

DATE:	MAY 2017	DRAWN BY:	WDF/TJV	DRAWING NO.
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DWG SCALE:	1"=60'	CHECKED BY:	MCR
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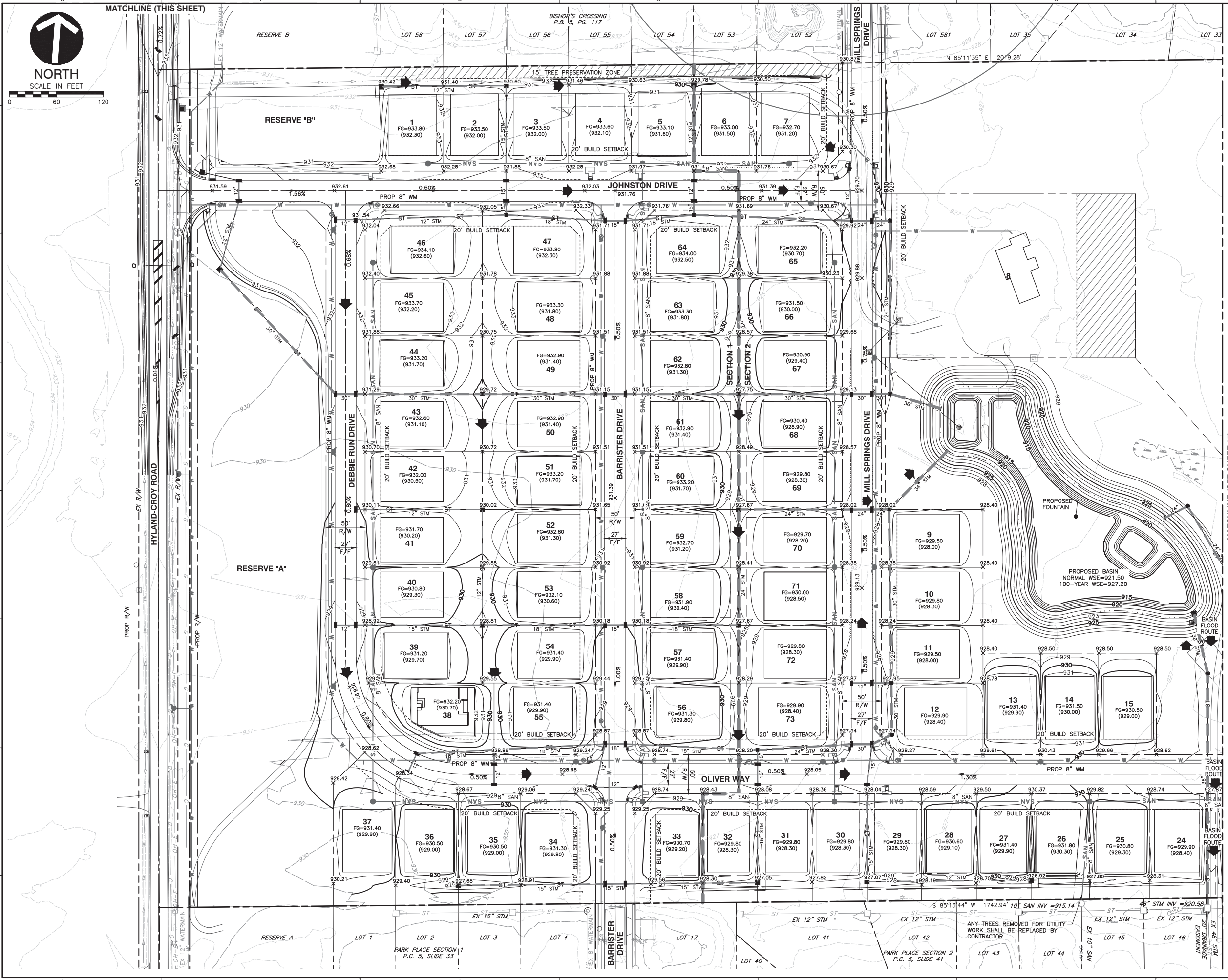
PROJECT NO:	150-620
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EX25

FT SHEET 25 OF 27

P:\2015\150-620\CA00\DWG\CV01 Development Plan\150620-CV01-C500 Utility Plan.dwg(C501) - LS(7/19/2017 - mreeves) - LP: 7/19/2017 5:13 PM

P:\2015\150-6201-CAD\DWG\CV01 Development Plan\150620-CV01-C300 Grading Plan.dwg [2/19/2017 5:15 PM] - LP: 1/19/2017 5:15 PM



LEGEND	
	EXISTING PROPERTY BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING TREE LINE
	EXISTING STREAM
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED PROPERTY LINE
	PROPOSED CENTER LINE
	PROPOSED RIGHT OF WAY
	PROPOSED SETBACK
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED STORM MANHOLE
	PROPOSED STORM CURB INLET
	PROPOSED STORM CATCH BASIN
	PROPOSED STORM HEADWALL
	PROPOSED FIRE HYDRANT
	PROPOSED TEMPORARY END OF LINE HYDRANT
	PROPOSED SANITARY MANHOLE
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR



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FINAL DEVELOPMENT PLAN
GRADING PLAN

DATE: MAY 2017	DRAWN BY: WDF/TJV	DRAWING NO.:
DWG SCALE: 1"=60'	CHECKED BY: MCR	
PROJECT NO: 150-620		
APPROVED BY:	DRAFT	SHEET 26 OF 27

EX26

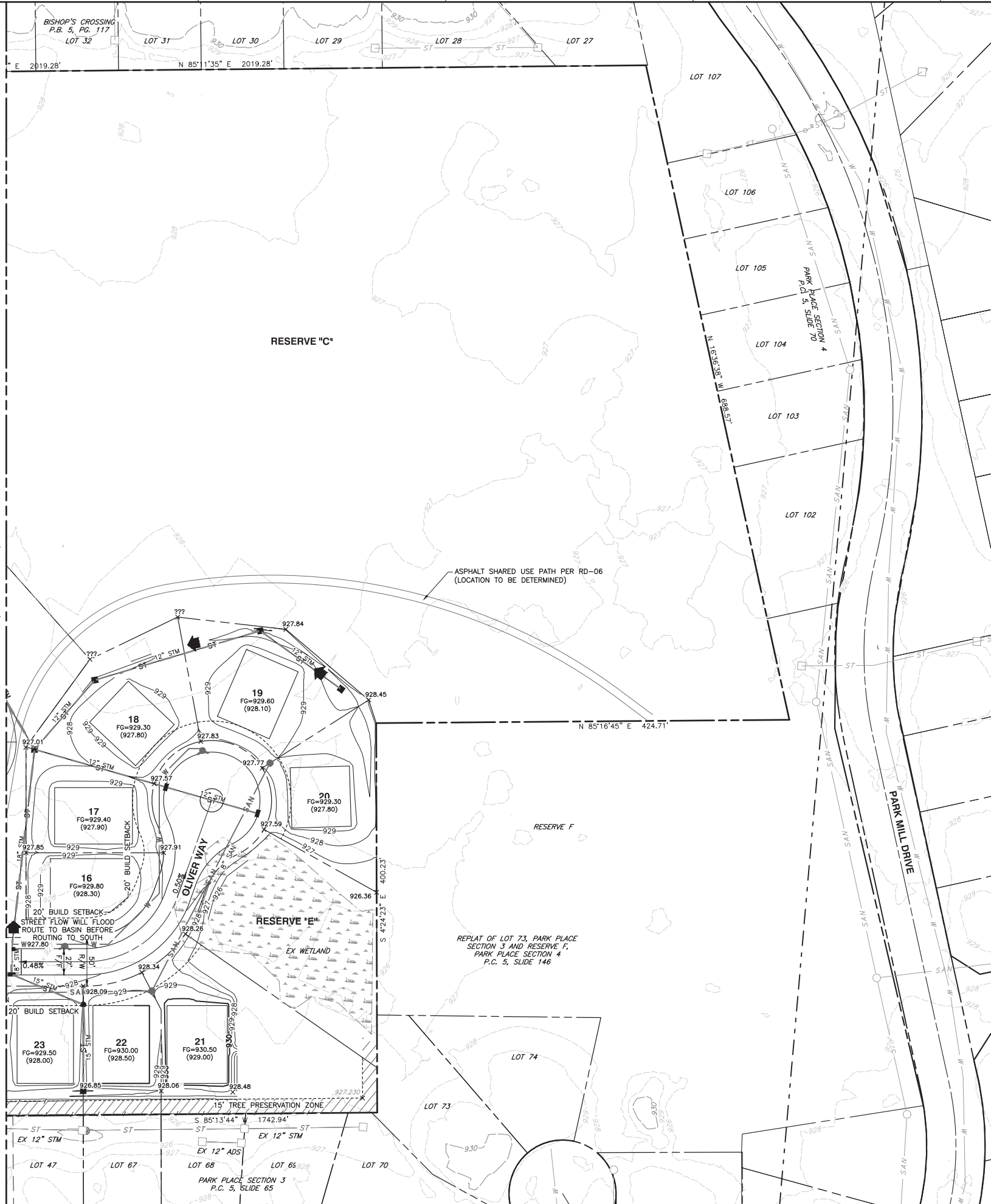
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NORTH
SCALE IN FEET

0 60 120

MATCHLINE (SEE SHEET 26)



LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING TREE LINE
- EXISTING STREAM
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED PROPERTY LINE
- PROPOSED CENTER LINE
- PROPOSED RIGHT OF WAY
- PROPOSED SETBACK
- ST PROPOSED STORM SEWER
- W PROPOSED WATER MAIN
- SAN PROPOSED SANITARY SEWER
- PROPOSED STORM MANHOLE
- PROPOSED STORM CURB INLET
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM HEADWALL
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY MANHOLE
- 930 PROPOSED INDEX CONTOUR
- 928 PROPOSED INTERMEDIATE CONTOUR



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GRADING PLAN

DATE: MAY 2017	DRAWN BY: WDF/TJV	DRAWING NO.:
DWG SCALE: 1"=60'	CHECKED BY: MCR	
PROJECT NO: 150-620		
APPROVED BY:	DRAFT	SHEET 27 OF 27

EX27