



TOTAL AREA	
Name	Area
1 BR	19,021 SF
2 BR	24,672 SF
3 BR	19,864 SF
AMENITY	877 SF
COMMERCIAL	8,794 SF
CORRIDOR	9,628 SF
EL	910 SF
LOBBY	1,999 SF
MICRO	4,572 SF
STAIRS	2,124 SF
STUDIO	10,355 SF
SUPPORT	3,743 SF
TERRACE	5,739 SF
Grand total	112,298 SF

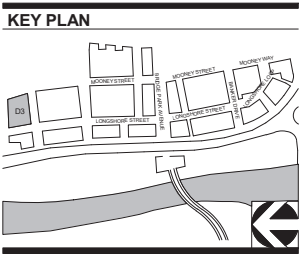
TOTAL UNIT QUANTITY	
Name	Count
1 BR	24
2 BR	21
3 BR	12
MICRO	10
STUDIO	16
Grand total	83

# BRIDGEPARK - D3

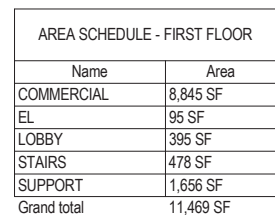
## RETAIL / RESIDENTIAL



CORRIDOR BUILDING TYPE

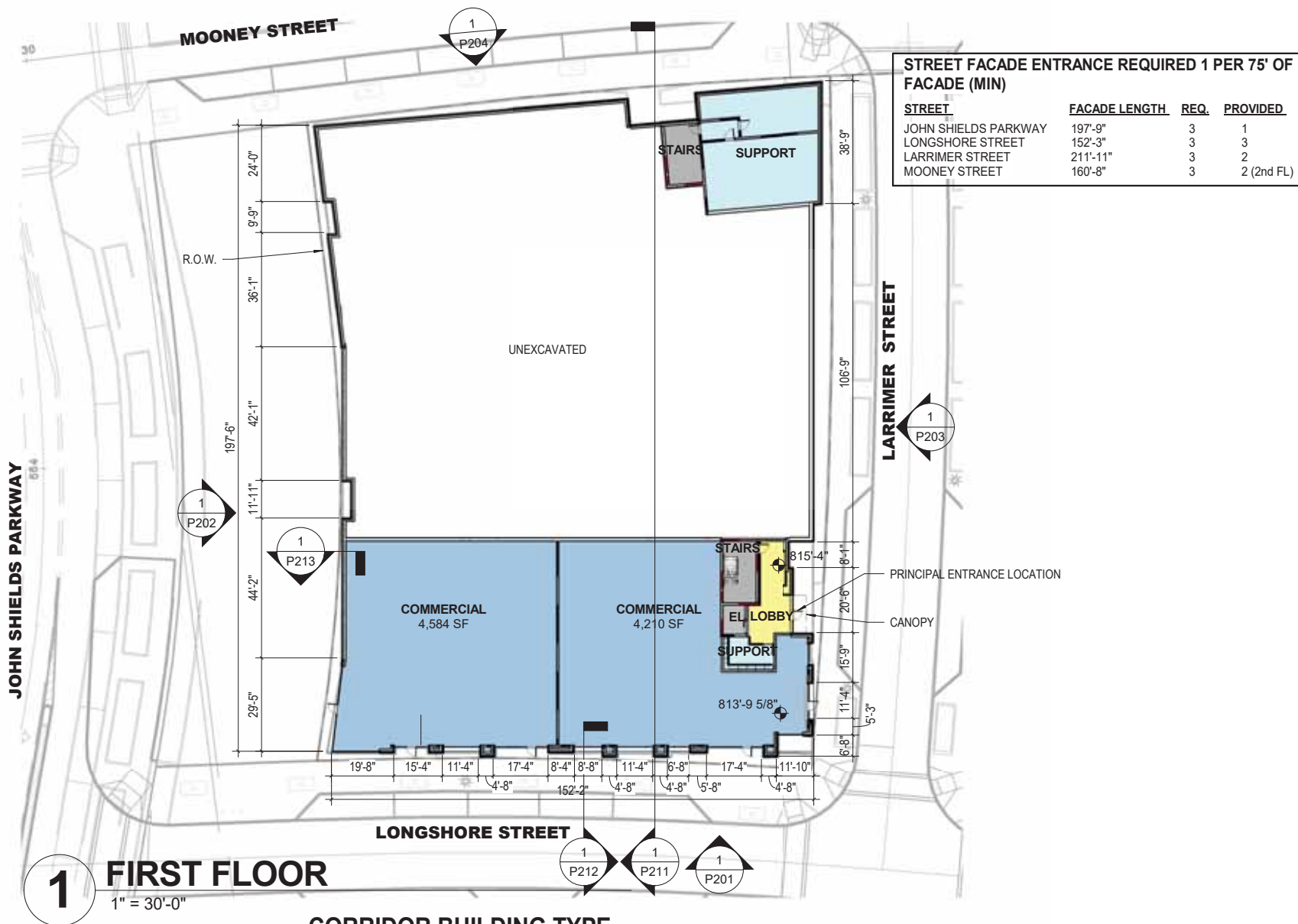
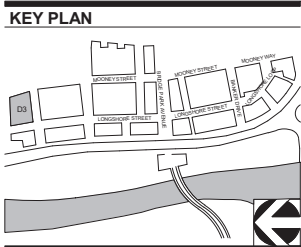


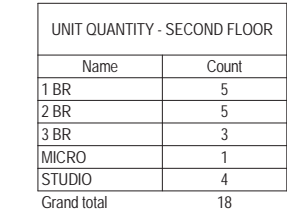
05-11-2018















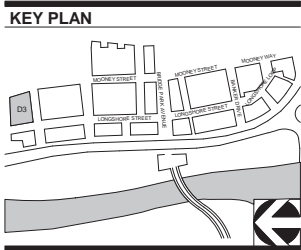
AREA SCHEDULE - FIRST FLOOR	
Name	Area
COMMERCIAL	8,845 SF
EL	95 SF
LOBBY	395 SF
STAIRS	478 SF
SUPPORT	1,656 SF
Grand total	11,469 SF

 COMMERCIAL  
 EL  
 LOBBY  
 STAIRS  
 SUPPORT





 1 BR	 STUDIO
 2 BR	 SUPPORT
 3 BR	 TERRACE
 AMENITY	
 CORRIDOR	
 EL	
 LOBBY	
 MICRO	
 STAIRS	



# 1 SECOND FLOOR

$$1'' = 30'-0''$$

JOHN SHIELDS PARKWAY

MOONEY STREET

R.O.W.

LONGSHORE STREET

## CORRIDOR BUILDING TYPE

03-28-2018

MOODY•NOLAN  
RESPONSIVE ARCHITECTURE

P102  
SECOND  
FLOOR



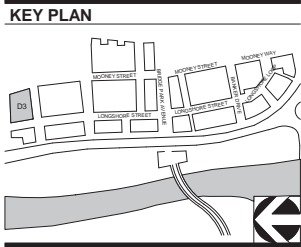


# BRIDGE PARK

DUBLIN, OH

UNIT QUANTITY - THIRD FLOOR	
Name	Count
1 BR	6
2 BR	5
3 BR	3
MICRO	3
STUDIO	4
Grand total	21

- 1 BR
- 2 BR
- 3 BR
- CORRIDOR
- EL
- LOBBY
- MICRO
- STAIRS
- STUDIO
- SUPPORT



## 1 THIRD FLOOR -

1" = 30'-0"

CORRIDOR BUILDING TYPE



03-28-2018

**MOODY•NOLAN**  
RESPONSIVE ARCHITECTURE

P103  
THIRD FLOOR

UNIT QUANTITY - FOURTH FLOOR

Name	Count
1 BR	6
2 BR	5
3 BR	3
MICRO	3
STUDIO	4
Grand total	21

- 1 BR
- 2 BR
- 3 BR
- CORRIDOR
- EL
- LOBBY
- MICRO
- STAIRS
- STUDIO
- SUPPORT

JOHN SHIELDS PARKWAY

1  
P204  
MOONEY STREET

R.O.W.

LARRIMER STREET

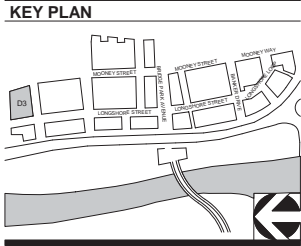
BRIDGE

LONGSHORE STREET

**1 FOURTH FLOOR**

1" = 30'-0"

**CORRIDOR BUILDING TYPE**

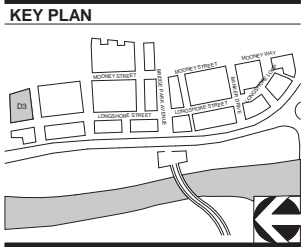


03-28-2018

UNIT QUANTITY - FIFTH FLOOR	
Name	Count
1 BR	6
2 BR	5
3 BR	3
MICRO	3
STUDIO	4
Grand total	21

- 1 BR
- 2 BR
- 3 BR
- CORRIDOR
- EL
- LOBBY
- MICRO
- STAIRS
- STUDIO
- SUPPORT

JOHN SHIELDS PARKWAY

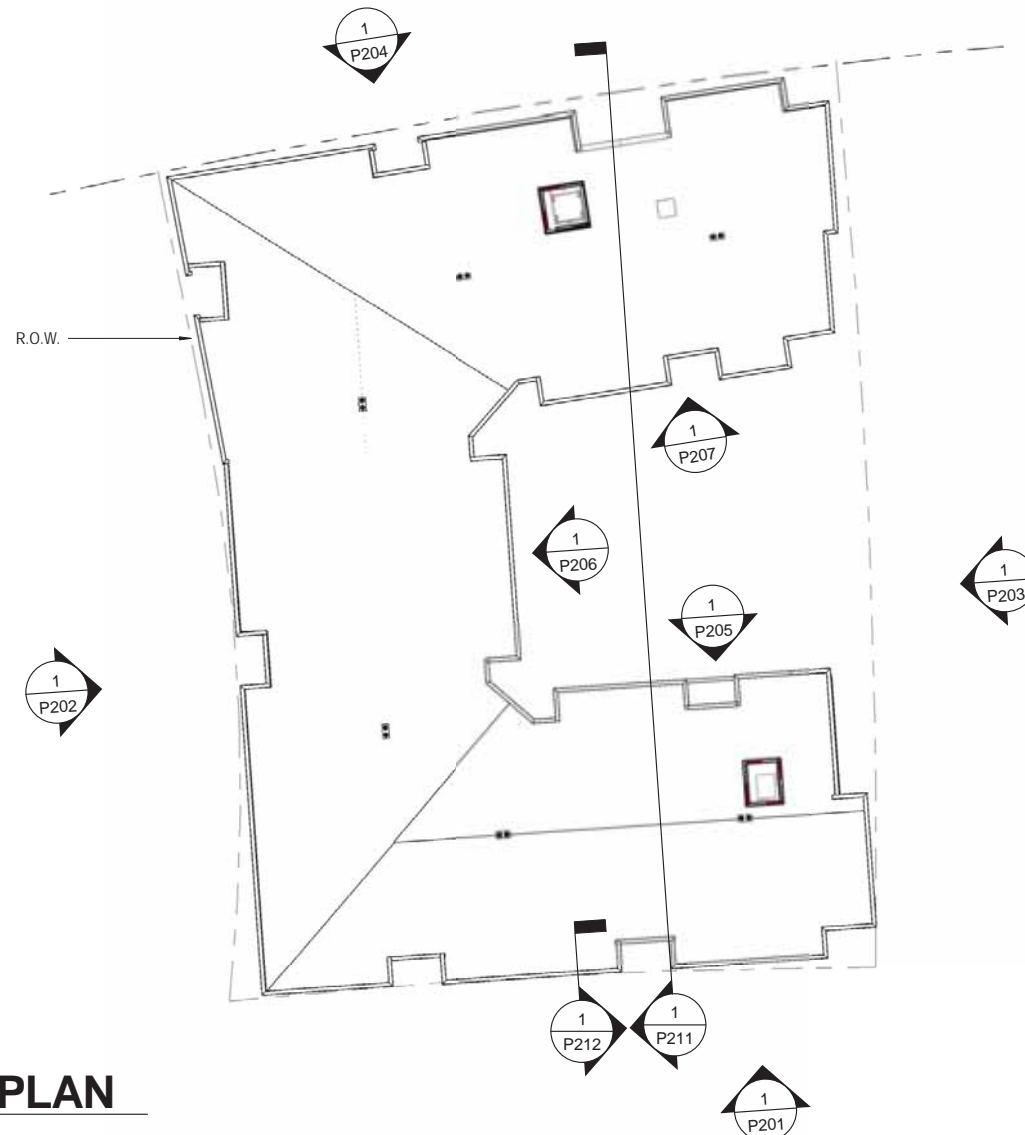
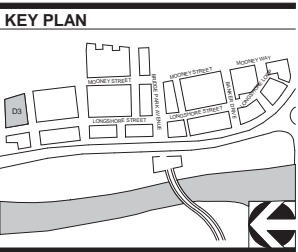


# 1 FIFTH FLOOR

1" = 30'-0"

**CORRIDOR BUILDING TYPE**

03-28-2018

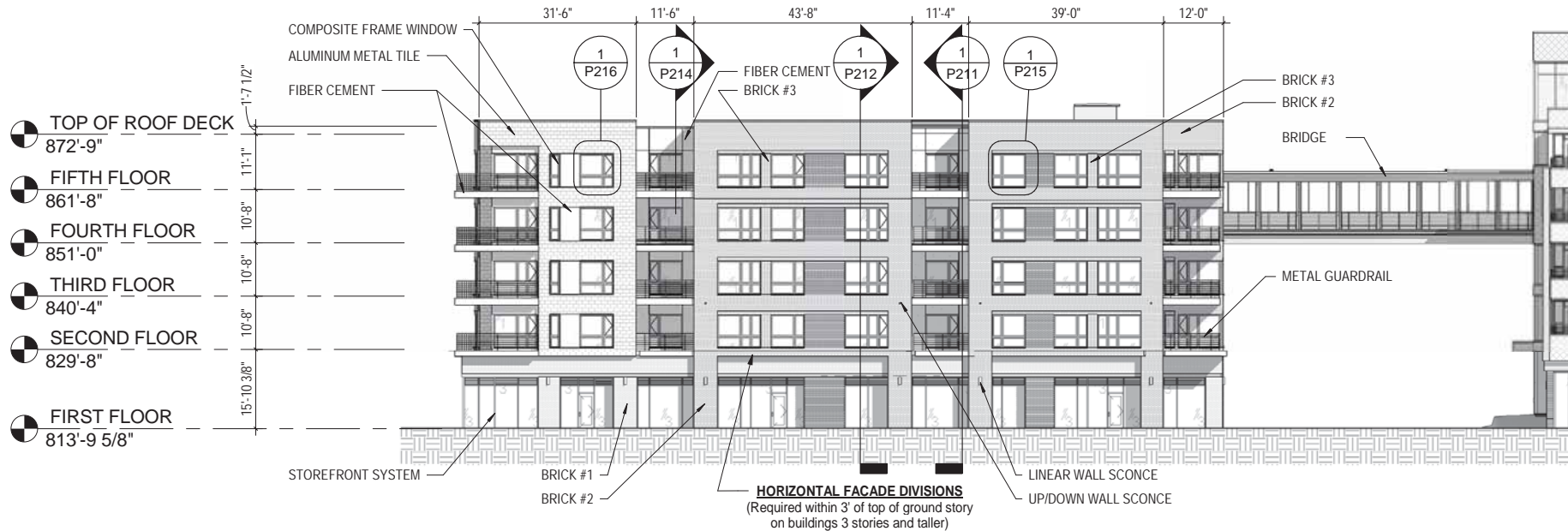

$$1'' = 30'-0''$$

### CORRIDOR BUILDING TYPE





**VERTICAL FACADE DIVISIONS**  
(45' OR LESS REQUIRED)



### STREET FACADE TRANSPARENCY - CORRIDOR BUILDING

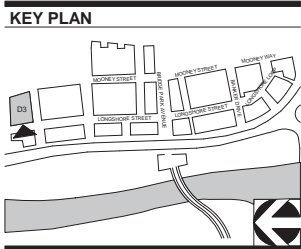
1st Story	2nd Story	3rd Story	4th Story	5th Story
Story Area: 913 sf	Story Area: 1,849 sf	Story Area: 1,849 sf	Story Area: 1,849 sf	Story Area: 1,877 sf
Transparency: 650 sf	Transparency: 630 sf	Transparency: 630 sf	Transparency: 630 sf	Transparency: 630 sf
Required: 60.0%	Required: 30%	Required: 30%	Required: 30%	Required: 30%
Provided: 71.2%	Provided: 34.1%	Provided: 34.1%	Provided: 34.1%	Provided: 33.6%

## FACADE MATERIALS - CORRIDOR BUILDING

Overall Area of Elevation:	10,358 sf
Area of Doors and Openings:	<u>-2,589 sf</u>
Net Area of Elevation:	7,769 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	4,851 sf	62.5%		
Glass	Primary	864 sf	11.1%		
		<b>5,715 sf</b>	<b>73.6%</b>	<b>80%</b>	<b>N</b>
Aluminum Metal Tile	Secondary	730 sf	9.4%		
Fiber Cement Siding	Secondary	1,049 sf	13.5%		
Misc. Materials	Secondary	275 sf	3.5%		
		<b>2,054 sf</b>	<b>26.4%</b>	<b>&lt;20%</b>	<b>N</b>

Misc. Elements: Metal Trim, Louvers, Balcony Fascias, etc.



## 1 WEST ELEVATION

$$3/64'' = 1'-0''$$

## CORRIDOR BUILDING TYPE

05-11-2018





Architectural elevation drawing of a building facade. The drawing includes the following callouts and dimensions:

- Materials:**
  - BRICK #1
  - BRICK #2
  - BRICK #3
  - COMPOSITE FRAME WINDOW
  - FIBER CEMENT
  - ALUMINUM METAL TILE
  - FIBER CEMENT
  - METAL GUARDRAIL
  - STOREFRONT SYSTEM
  - LINEAR WALL SCONCE
- Dimensions (Horizontal):**
  - 24'-0"
  - 9'-9"
  - 36'-2"
  - 42'-0"
  - 11'-11"
  - 74'-9"
- Dimensions (Vertical):**
  - 11'-1"
  - 10'-8"
  - 10'-9"
  - 10'-8"
  - 15'-10 3/8"
  - 58'-11 3/8"
- Floor Levels:**
  - TOP OF ROOF DECK 872'-9"
  - FIFTH FLOOR 861'-8"
  - FOURTH FLOOR 851'-0"
  - THIRD FLOOR 840'-4"
  - SECOND FLOOR 829'-8"
  - FIRST FLOOR 813'-9 5/8"
- Other Callouts:**
  - UP/DN WALL SCONCE
  - HORIZONTAL FACADE DIVISIONS (Required within 3' of top of ground story on buildings 3 stories and taller)
  - 2 P214
  - 1 P213
  - 1 P218

$$3/64'' = 1'-0''$$

1st Story	2nd Story	3rd Story	4th Story	5th Story
Story Area: 1,003 sf	Story Area: 2,377 sf	Story Area: 2,377 sf	Story Area: 2,377 sf	Story Area: 2,413 sf
Transparency: 308 sf	Transparency: 863 sf	Transparency: 863 sf	Transparency: 863 sf	Transparency: 863 sf
Required: 60.0%	Required: 30%	Required: 30%	Required: 30%	Required: 30%
Provided: 30.7%	Provided: 36.3%	Provided: 36.3%	Provided: 36.3%	Provided: 35.8%

Overall Area of Elevation:	12,272 sf
Area of Doors and Openings:	<u>-3,476 sf</u>
Net Area of Elevation:	8,796 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	4,645 sf	52.8%		
Glass	Primary	364 sf	4.1%		
		5,009 sf	56.9%	80%	N
Aluminum Metal Tile	Secondary	1,817 sf	20.7%		
Fiber Cement Siding	Secondary	1,769 sf	20.1%		
Misc. Materials	Secondary	201 sf	2.3%		
		3,787 sf	43.1%	<20%	N

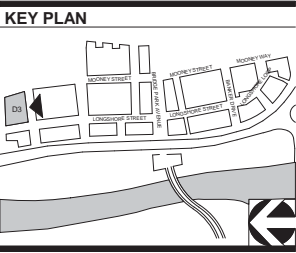
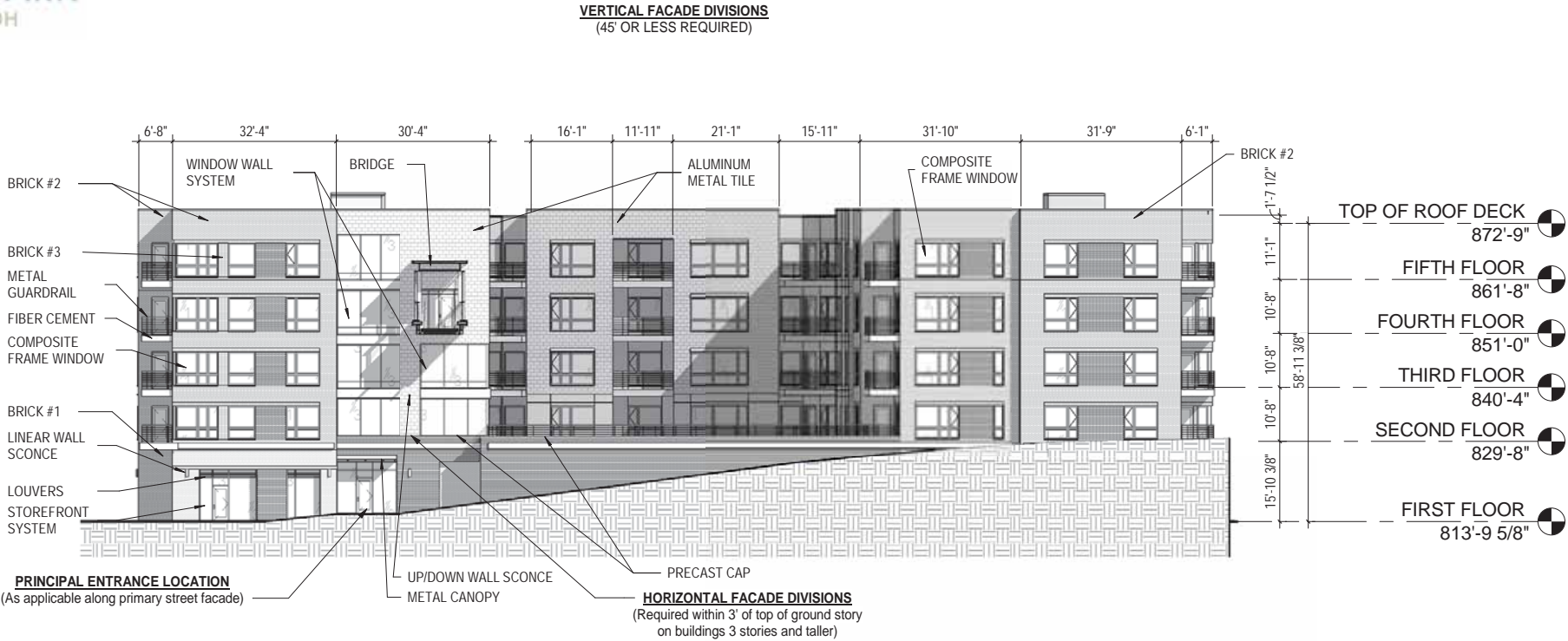
Misc. Elements: Metal Trim, Louvers, Balcony Fascias, etc.

03-28-2018



MOODY•NOLAN  
RESPONSIVE ARCHITECTURE

P202  
NORTH  
ELEVATION



STREET FACADE TRANSPARENCY - CORRIDOR BUILDING					
1st Story	2nd Story	3rd Story	4th Story	5th Story	
Story Area: 839 sf	Story Area: 2,580 sf	Story Area: 2,648 sf	Story Area: 2,547 sf	Story Area: 2,626 sf	
Transparency: 196 sf	Transparency: 944 sf	Transparency: 977 sf	Transparency: 915 sf	Transparency: 860 sf	
Required: 60.0%	Required: 30%	Required: 30%	Required: 30%	Required: 30%	
Provided: 23.4%	Provided: 36.6%	Provided: 36.9%	Provided: 35.9%	Provided: 32.8%	

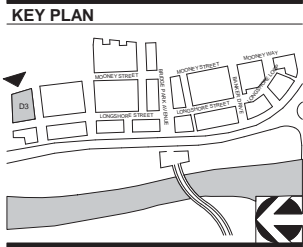
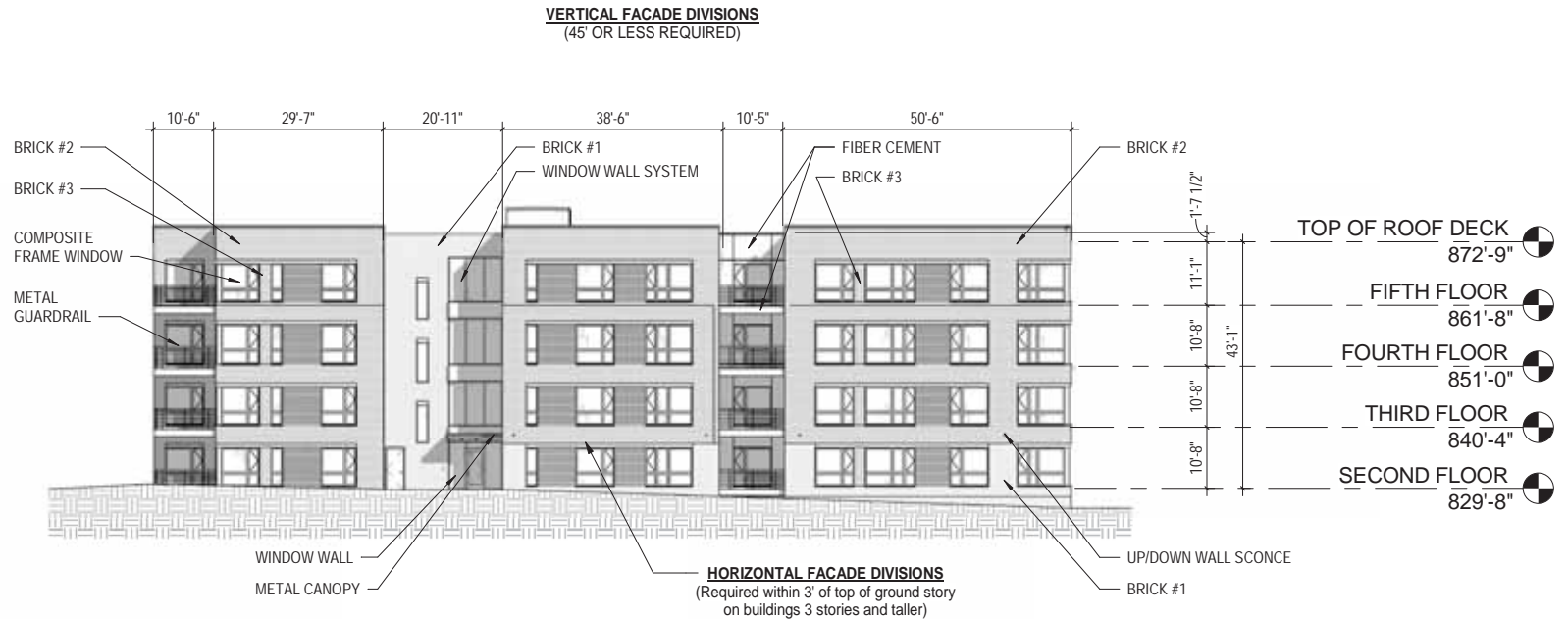
FACADE MATERIALS - CORRIDOR BUILDING					
Overall Area of Elevation:		13,010 sf			
Area of Doors and Openings:		-3,021 sf			
Net Area of Elevation:		9,989 sf			
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	5,307 sf	53.1%		
Glass	Primary	980 sf	9.8%		
		<b>6,287 sf</b>	<b>62.9%</b>	<b>80%</b>	<b>N</b>
Aluminum Metal Tile	Secondary	2,226 sf	22.3%		
Fiber Cement Siding	Secondary	1,279 sf	12.8%		
Misc. Materials	Secondary	197 sf	2.0%		
		<b>3,702 sf</b>	<b>37.1%</b>	<b>&lt;20%</b>	<b>N</b>

Misc. Elements: Metal Trim, Louvers, Balcony Fascias, etc.

**1 SOUTH ELEVATION**  
3/64" = 1'-0"

**CORRIDOR BUILDING TYPE**

05-11-2018



STREET FACADE TRANSPARENCY - CORRIDOR BUILDING				
2nd Story	3rd Story	4th Story	5th Story	
Story Area: 2,021 sf	Story Area: 2,021 sf	Story Area: 2,021 sf	Story Area: 2,039 sf	
Transparency: 618 sf	Transparency: 621 sf	Transparency: 622 sf	Transparency: 616 sf	
Required: 30%	Required: 30%	Required: 30%	Required: 30%	
Provided: 30.6%	Provided: 30.7%	Provided: 30.8%	Provided: 30.2%	

**VERTICAL FACADE DIVISIONS**  
(30' OR LESS REQUIRED)

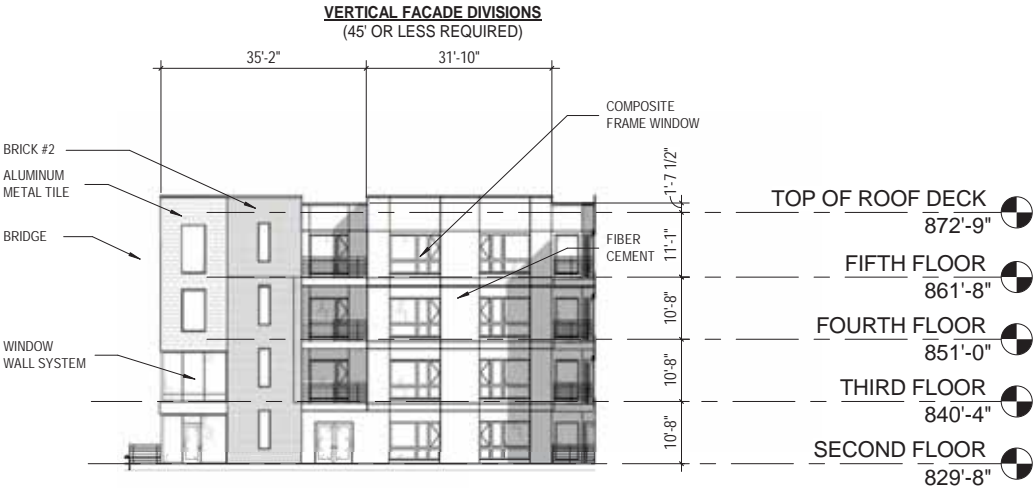
FACADE MATERIALS - CORRIDOR BUILDING					
Overall Area of Elevation:		9,265 sf			
Area of Doors and Openings:		-2,175 sf			
Net Area of Elevation:		7,090 sf			
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	5,841 sf	82.4%	80%	Y
Glass	Primary	326 sf	4.6%		
		6,167 sf	87.0%		
Aluminum Metal Tile	Secondary	0 sf	0.0%	<20%	Y
Fiber Cement Siding	Secondary	770 sf	10.9%		
Misc. Materials	Secondary	153 sf	2.1%		
		923 sf	13.0%		

Misc. Elements: Metal Trim, Louvers, Balcony Fascias, etc.

**1 EAST ELEVATION**  
3/64" = 1'-0"

**CORRIDOR BUILDING TYPE**

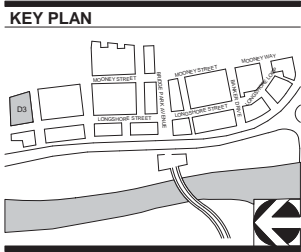
05-11-2018



STREET FACADE TRANSPARENCY - CORRIDOR BUILDING				
	2nd Story	3rd Story	4th Story	5th Story
Story Area:	923 sf	923 sf	923 sf	923 sf
Transparency:	362 sf	358 sf	288 sf	291 sf
Required:	15%	15%	15%	15%
Provided:	39.2%	38.8%	31.2%	30.6%

FACADE MATERIALS - CORRIDOR BUILDING					
Overall Area of Elevation:		3,976 sf			
Area of Doors and Openings:		-1,005 sf			
Net Area of Elevation:		2,971 sf			
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	523 sf	17.6%	80%	N
Glass	Primary	294 sf	9.9%		
		817 sf	27.5%		
Aluminum Metal Tile	Secondary	234 sf	7.9%	<20%	N
Fiber Cement Siding	Secondary	1,777 sf	59.8%		
Misc. Materials	Secondary	143 sf	4.8%		
		2,154 sf	72.5%		

Misc. Elements: Metal Trim, Louvers, Balcony Fascias, etc.



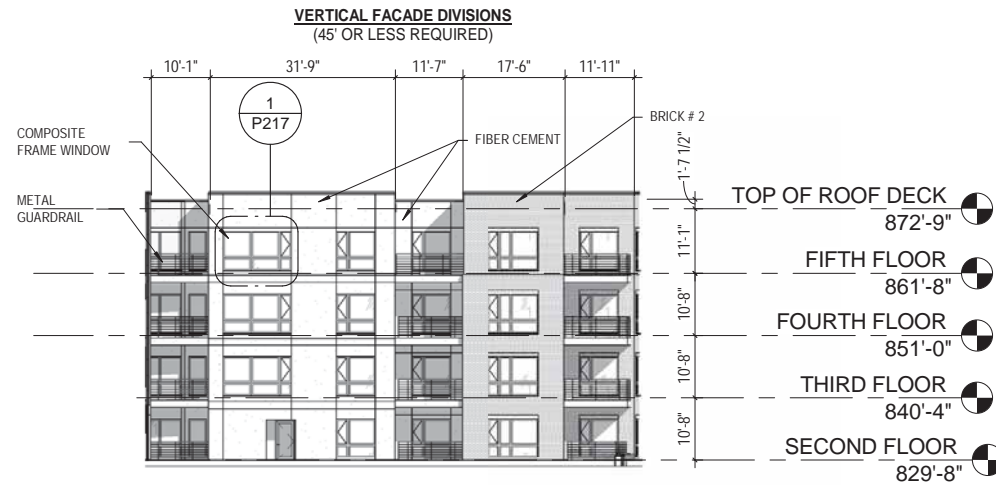
# 1 WEST TERRACE ELEVATION

3/64" = 1'-0"

CORRIDOR BUILDING TYPE

05-11-2018

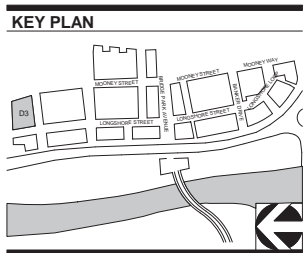




<b><u>STREET FACADE TRANSPARENCY - CORRIDOR BUILDING</u></b>				
<b>2nd Story</b>	<b>3rd Story</b>	<b>4th Story</b>	<b>5th Story</b>	
Story Area: 1,120 sf	Story Area: 1,120 sf	Story Area: 1,120 sf	Story Area: 1,165 sf	
Transparency: 315 sf	Transparency: 368 sf	Transparency: 368 sf	Transparency: 368 sf	
Required: 15%	Required: 15%	Required: 15%	Required: 15%	
Provided: 28.1%	Provided: 32.8%	Provided: 32.8%	Provided: 31.6%	

FAÇADE MATERIALS - CORRIDOR BUILDING					
Overall Area of Elevation:		5,145 sf			
Area of Doors and Openings:		<u>-1,499 sf</u>			
Net Area of Elevation:		3,646 sf			
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	1,468 sf	40.3%		
Glass	Primary	0 sf	0.0%		
		<b>1,468 sf</b>	<b>40.3%</b>	<b>80%</b>	<b>N</b>
Aluminum Metal Tile	Secondary	0 sf	0.0%		
Fiber Cement Siding	Secondary	1,974 sf	54.1%		
Misc. Materials	Secondary	204 sf	5.6%		
		<b>2,178 sf</b>	<b>59.7%</b>	<b>&lt;20%</b>	<b>N</b>

Misc. Elements: Metal Trim, Louvers, Balcony Fascias, etc.



# 1 EAST TERRACE ELEVATION

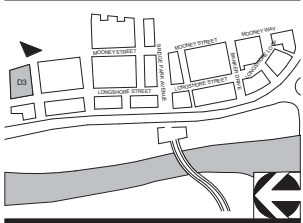
$$3/64'' = 1'-0''$$

## CORRIDOR BUILDING TYPE

05-11-2018



**KEY PLAN**



**CORRIDOR BUILDING TYPE**

05-11-2018

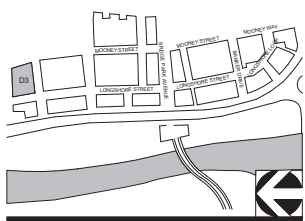




**RENDERING TO BE UPDATED**

An architectural rendering of a modern multi-story residential building. The building features a dark, textured facade with large windows and balconies. A prominent feature is a series of cantilevered balconies on one side. A pedestrian bridge with a glass railing connects this building to another structure on the right. In the foreground, there is a public square with a fountain, where several people are walking. The scene is set on a wet street, suggesting recent rain, with cars parked along the curb and trees in the background. The sky is blue with some clouds.

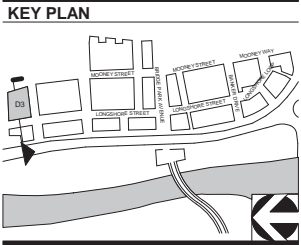
## KEY PLAN



05-11-2018

MOODY•NOLAN  
RESPONSIVE ARCHITECTURE

P210  
SOUTHWEST  
VIEW

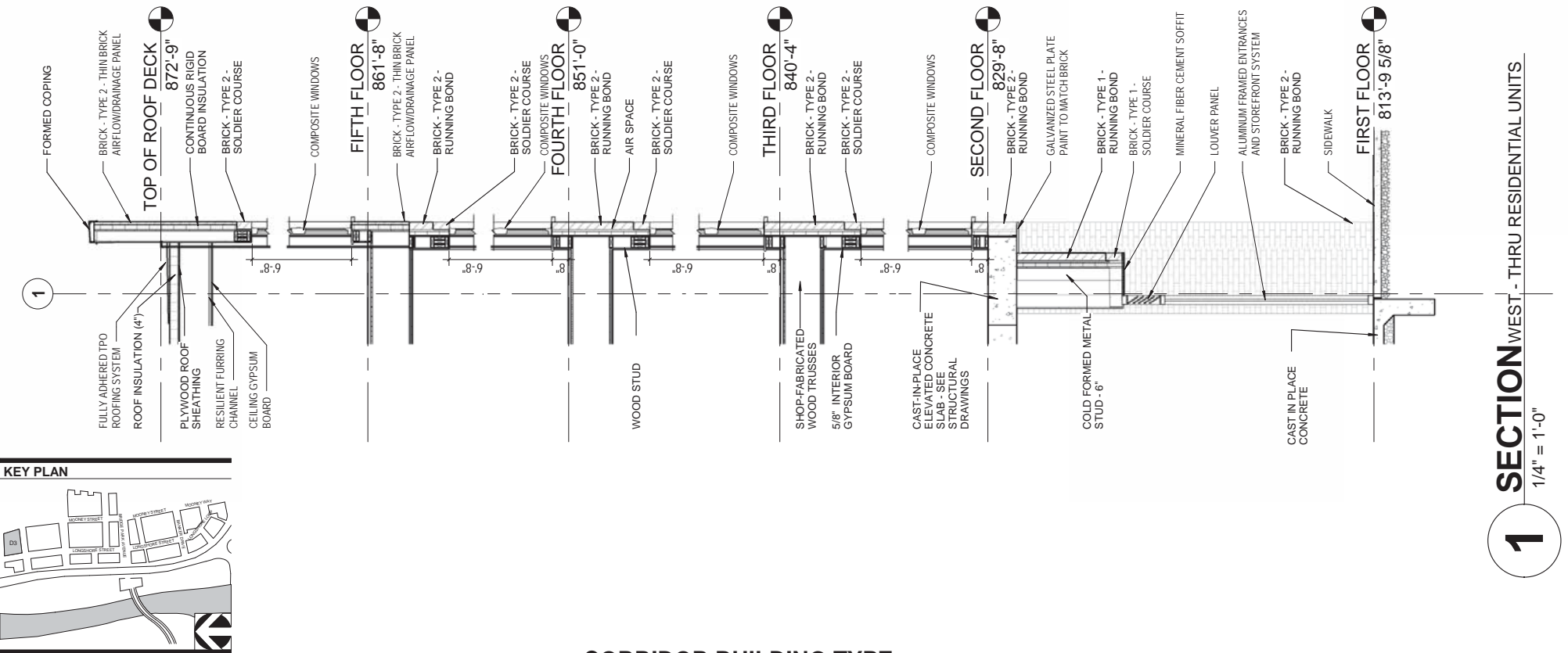


## BUILDING SECTION

$$1/16'' = 1'-0''$$

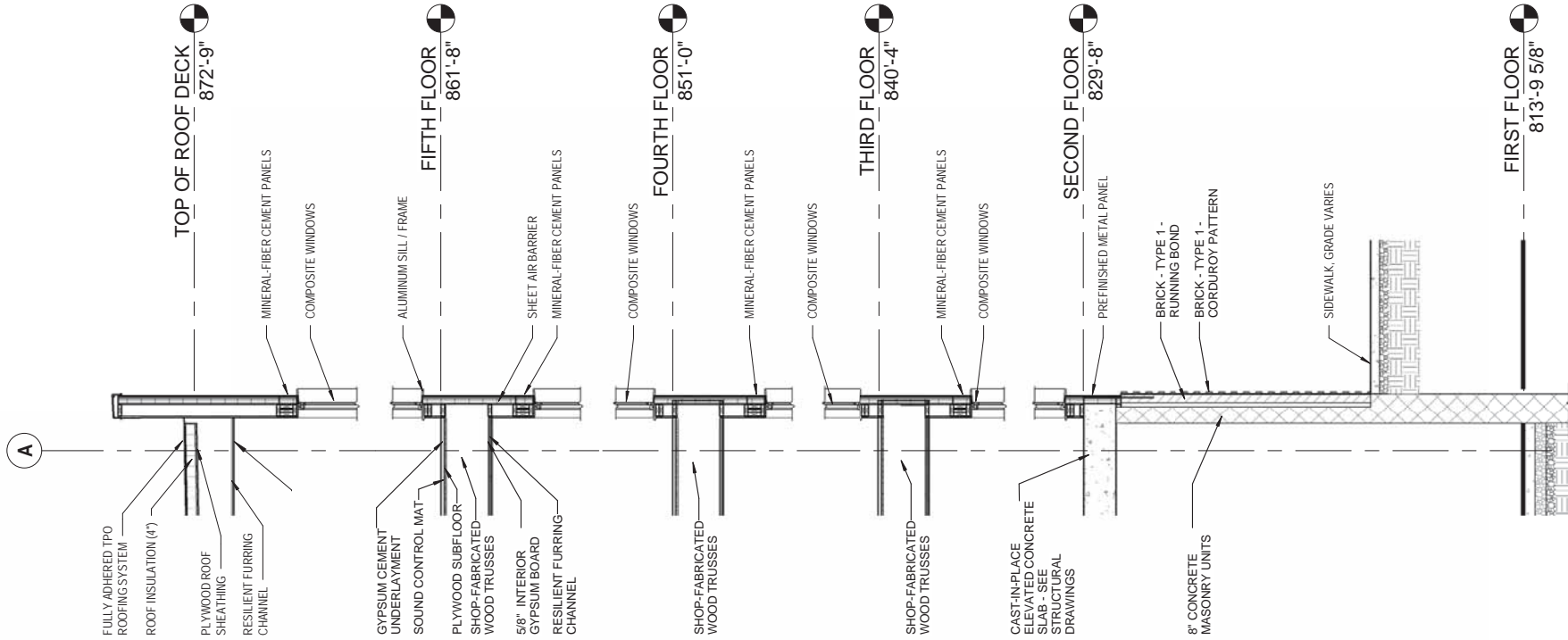
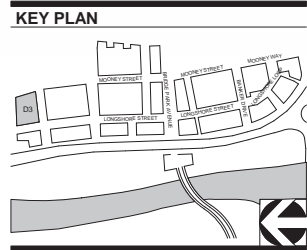
## CORRIDOR BUILDING TYPE





CORRIDOR BUILDING TYPE

05-11-2018

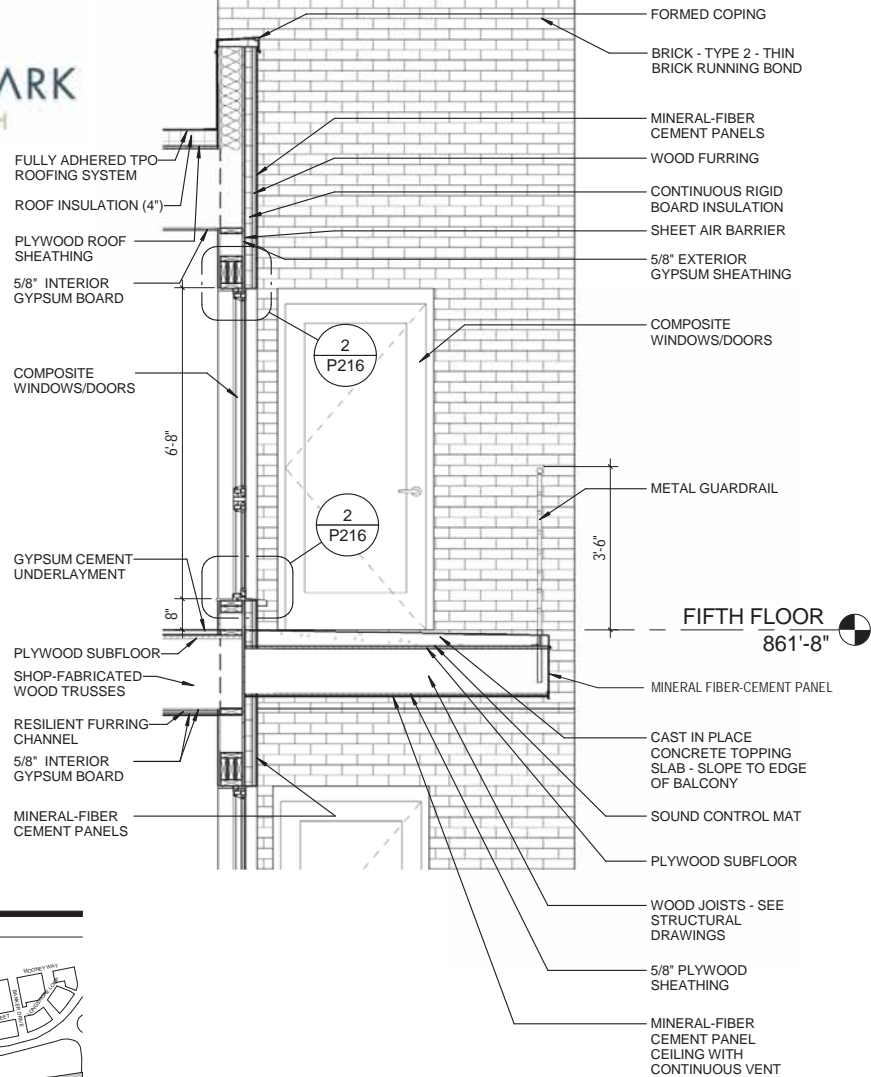


## CORRIDOR BUILDING TYPE

**SECTION** NORTH - THRU RESIDENTIAL UNITS  
1/4" = 1'-0"

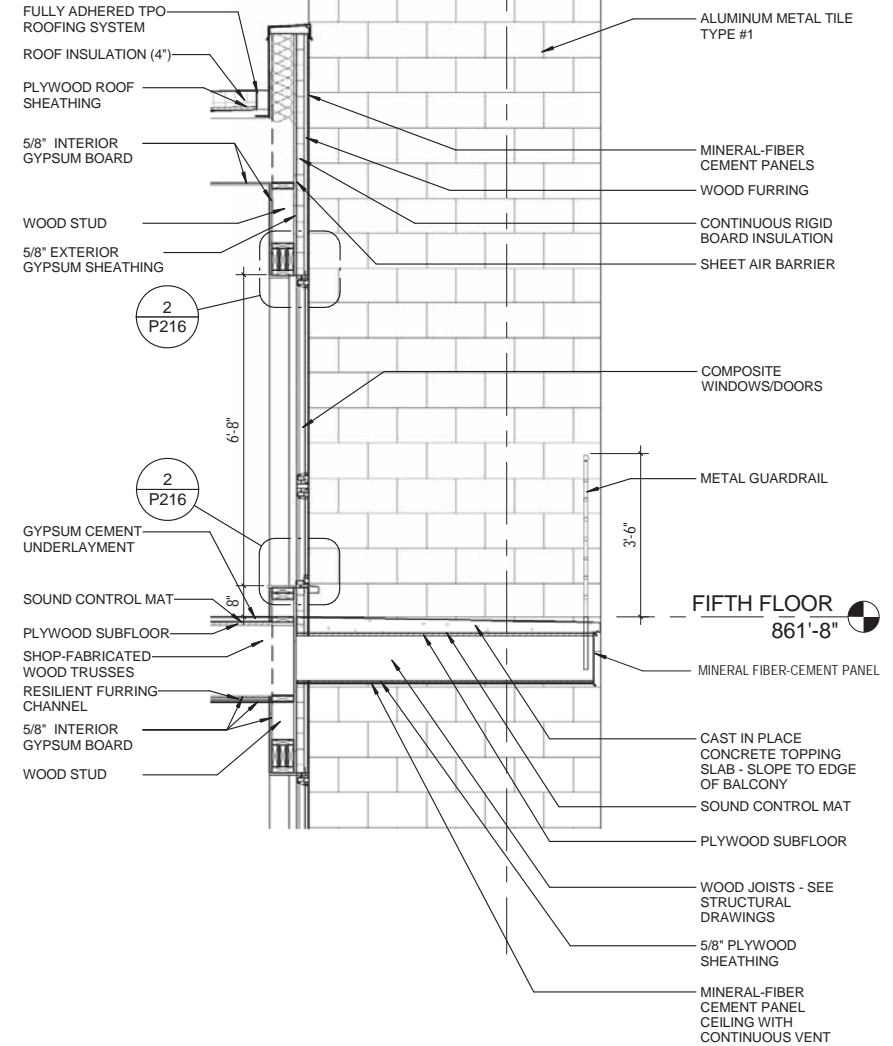
**1**

03-28-2018



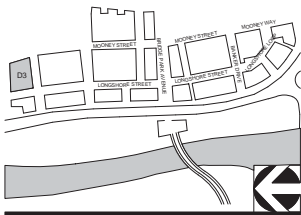
**1 SECTION** WEST BALCONIES  
3/8" = 1'-0"

**CORRIDOR BUILDING TYPE**

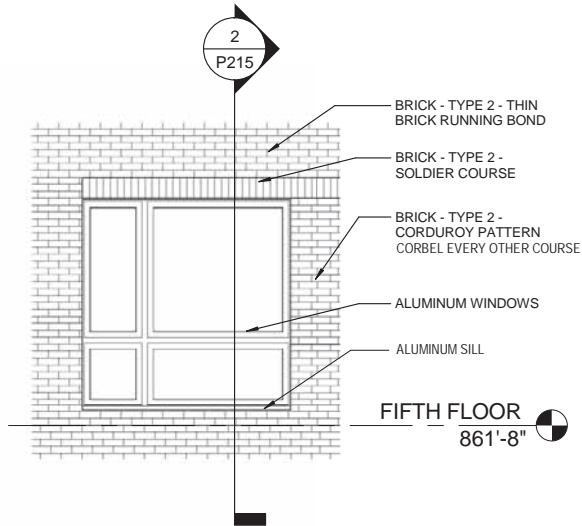


**2 SECTION** NORTH BALCONIES  
3/8" = 1'-0"

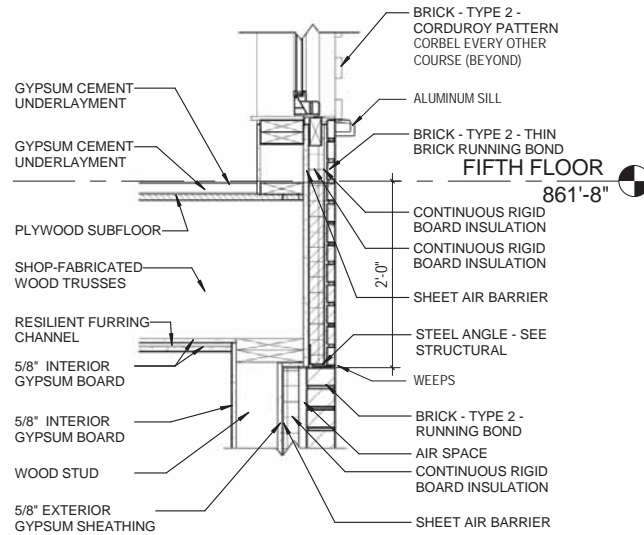
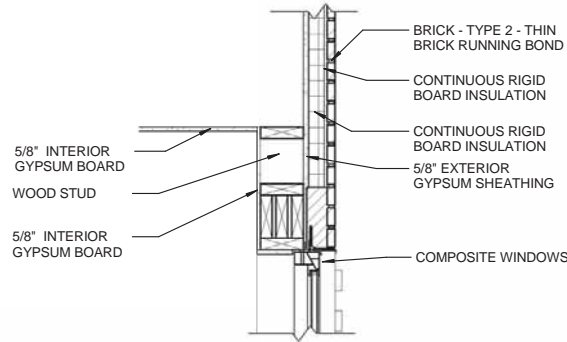
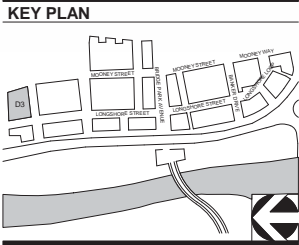
**KEY PLAN**



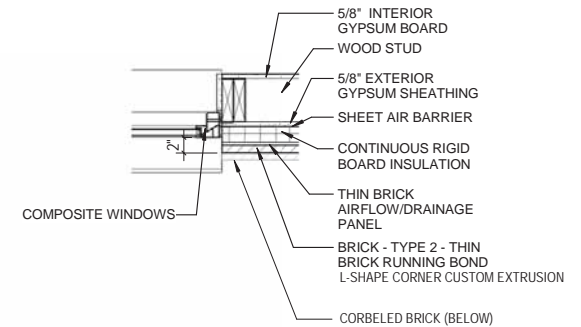
03-28-2018



**1 ELEVATION WINDOW #1**  
1/4" = 1'-0"



**2 DETAIL WINDOW #1 SILL & HEAD**  
3/4" = 1'-0" REF: 1 / P215

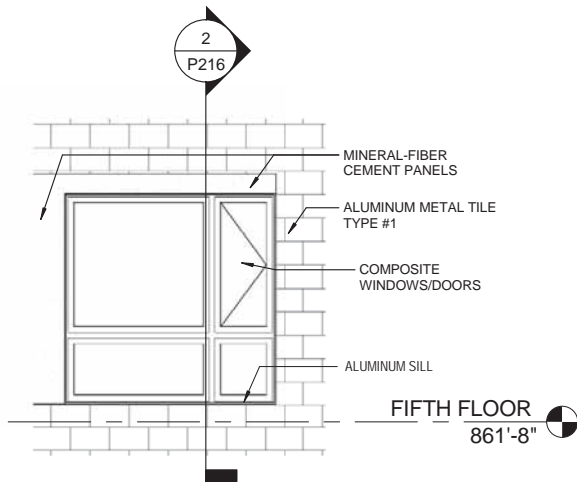


**3 DETAIL WINDOW #2 JAMB1**  
3/4" = 1'-0"

**CORRIDOR BUILDING TYPE**

03-28-2018

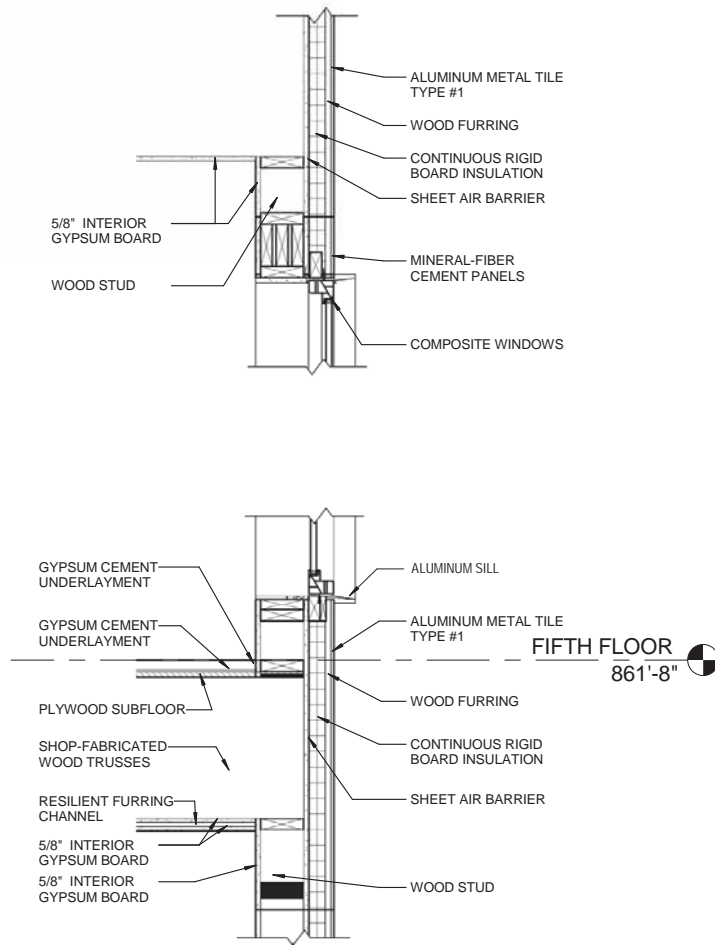
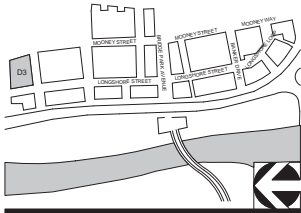




## ELEVATION WINDOW #2

$$1/4'' = 1'-0''$$

## KEY PLAN

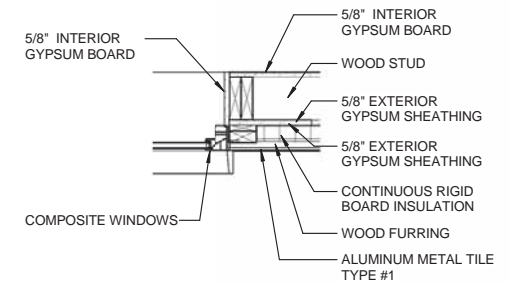


## DETAIL WINDOW #2 SILL & HEAD

$$3/4'' = 1'-0''$$

REF: 1 / P214

## DETAIL WINDOW #2 JAMB

$$\overline{3/4'' = 1'-0''}$$


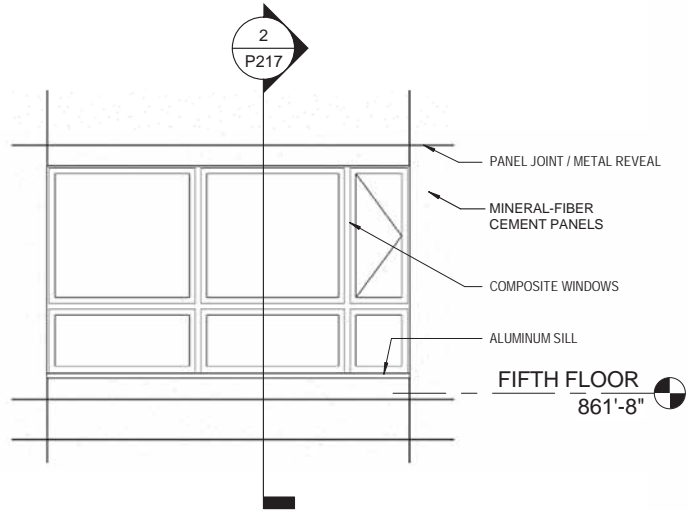
## CORRIDOR BUILDING TYPE

03-28-2018

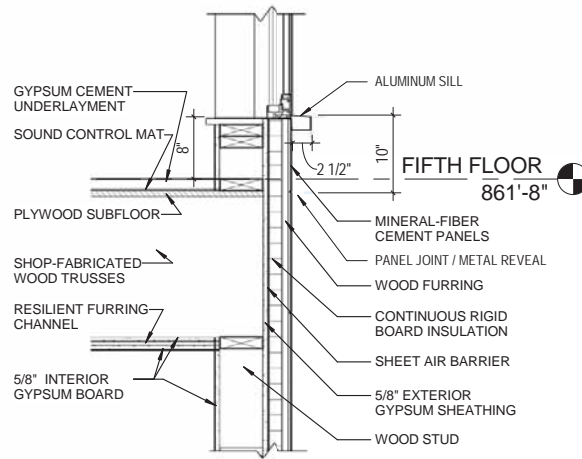
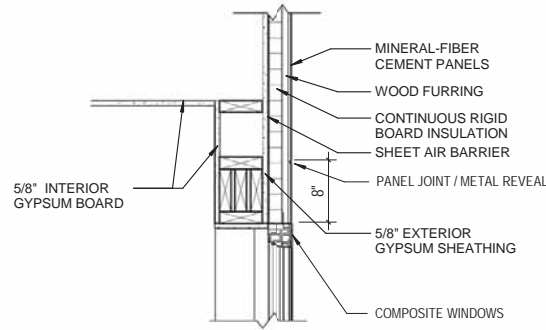
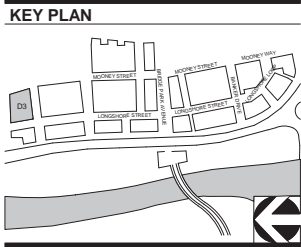


## P216

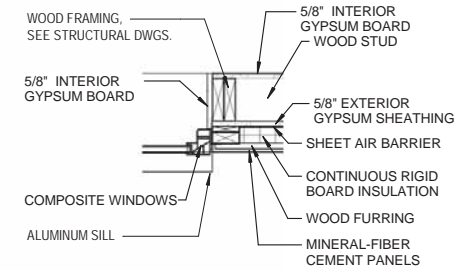
### WINDOW DETAILS



**1 ELEVATION** WINDOW #3  
1/4" = 1'-0"



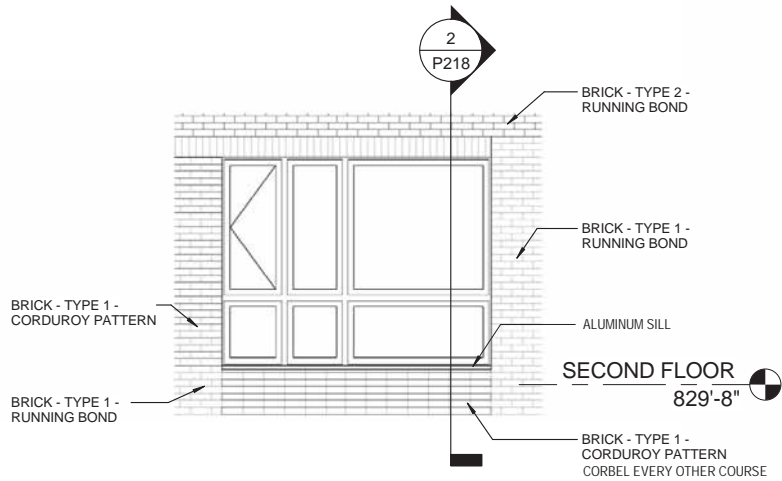
**2 DETAIL** WINDOW #3 HEAD & SILL  
3/4" = 1'-0" REF: 1 / P217



**3 DETAIL** WINDOW #3 JAMB  
3/4" = 1'-0"

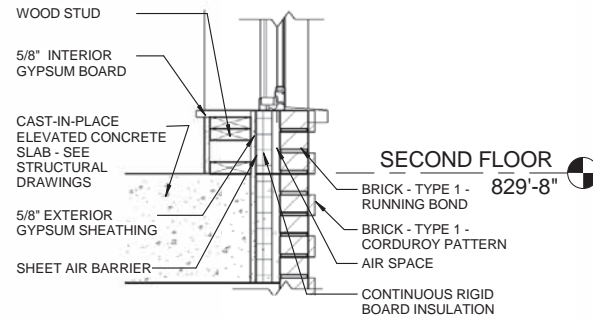
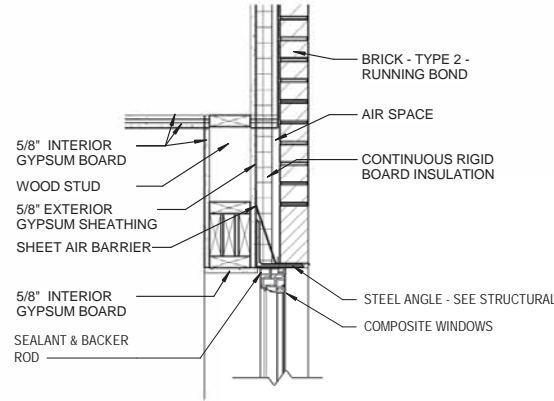
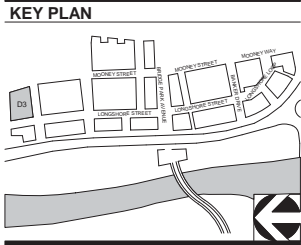
**CORRIDOR BUILDING TYPE**

03-28-2018



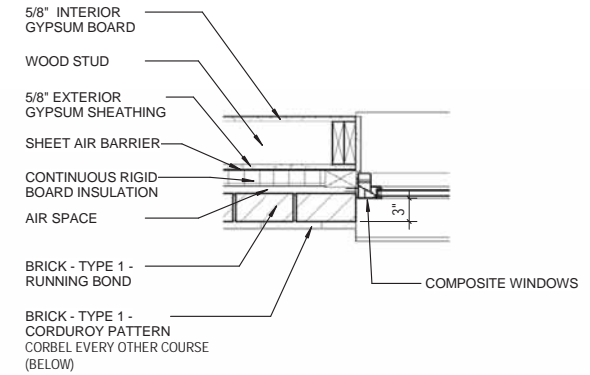
# 1 ELEVATION WINDOW #4

1/4" = 1'-0"



## 2 DETAIL WINDOW #4 SILL & HEAD

3/4" = 1'-0" REF: 1 / P218



## 3 DETAIL WINDOW #4 JAMB

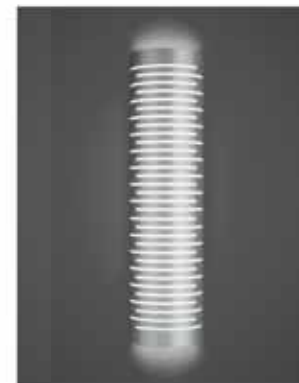
3/4" = 1'-0"

CORRIDOR BUILDING TYPE

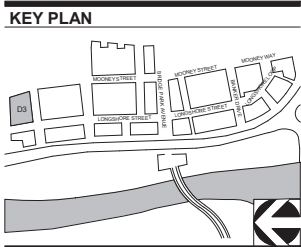
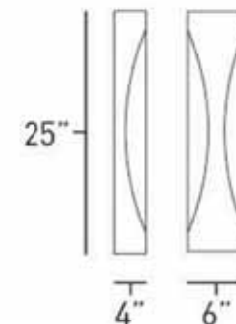
03-28-2018



UP/DOWN WASH FIXTURE



LINEAR FIXTURE



1

## LIGHT FIXTURE DETAILS

1/8" = 1'-0"

CORRIDOR BUILDING TYPE

03-28-2018