

# 18-033MPR – PENZONE PATIO

**Site Location**

Located on the west side of Village Parkway at the roundabout with Bridge Park Avenue.

**Zoning**

BSD-SCN, Bridge Street District – Sawmill Center Neighborhood

**Property Owner**

Charles Penzone

**Applicant/Representative**

Chris Meyers, Chris Meyers and Associates

**Applicable Land Use Regulations**

Zoning Code Section 153.066

**Request**

Review and approval of Minor Project Review for a patio and associated site improvements.

**Staff Recommendation**

Approval of a MPR to ART with two conditions.

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**Summary**

Proposal for a 430-square-foot patio and associated site improvements for an existing building located in the Sawmill Center Neighborhood within the Bridge Street District.

**Zoning Map**



**Next Steps**

Upon review and approval by the ART the applicant will be eligible to file for building permits.

### 1. Context Map

Located on the west side of Village Parkway at the roundabout with Bridge Park Avenue.



 <p>City of Dublin</p>	<p>18-033MPR Minor Project Review Penzone - Patio 6645 Village Parkway</p>	<p>0 150 300 Feet</p> 
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## 2. Overview

### A. Background

The ART has reviewed various Minor Projects for exterior improvements for patios within the Bridge Street District. The request of the use of a patio and associated details is similar to previous requests.

The ART reviewed this request on May 17, 2018 and expressed reservations regarding the pedestrian circulation, landscape alternation and replacement, and the mobility of the fire table. Due to the number of the unresolved items, the applicant requested to table the application until further clarification is provided.

Prior to, the ART also reviewed this request on May 3, 2018 and expressed concern with the accessibility and pedestrian circulation around the building. The ART was supportive of activating the public realm along Village Parkway and acknowledged that it generally meets the intent of the BSD. To address the ART's concern, Staff recommended the applicant update their submittal to provide a sidewalk extension around the enclosed patio space. The applicant did not provide an updated plan for ART's final review and determination.

The Planning and Zoning Commission approved a (final) Site Plan for the construction of a ±12,000-square-foot building (salon) and associated site improvements on October 13, 2016. Subsequently, on December 7, 2017 the Planning and Zoning Commission approved a Master Sign Plan to allow for three total signs for this project. The applicant was required to obtain sign permits prior to installation of signs approved as part of the Master Sign Plan, which has not occurred to-date. The salon is now open and operating.

### B. Site Characteristics

#### 1) Natural Features

No natural features are present on the site within the area impacted with the proposed improvements.

#### 2) Historic and Cultural Facilities

No historic and cultural facilities are present on the site.

#### 3) Surrounding Land Use and Development Character

- North: BSD-SCN: Commercial – Salon
- East: BSD-SCN: Commercial – Dublin Village Center
- South: BSD-SCN: Bridge Park Avenue
- West: BSD-R: Residential – Greystone Mews

#### 4) Road, Pedestrian and Bike Network

The site has frontage on Village Parkway to the east and Bridge Park Avenue to the south. Pedestrian facilities are provided along Village Parkway.

#### 5) Utilities

Public utility service is provided via Village Parkway including water, storm sewer, and sanitary sewer.

### 3. Proposal

#### 1) Summary

The proposal is to permit a 430-square-foot open and uncovered patio along Village Parkway within the site provided open space plaza on the east side of the building. The enclosed patio area is proposed approximately 20 feet from the right-of-way. The proposed patio use is consistent with the approved accessory uses within the district. The applicant has indicated the intent is to permit patrons to consume alcoholic beverages outdoors as part of the day spa experience.

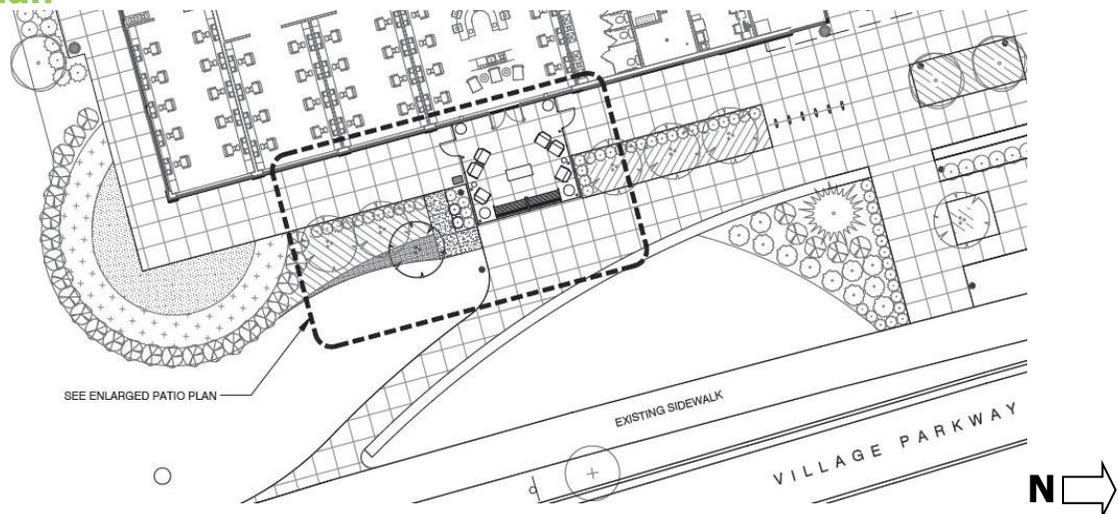
#### 2) Details

The patio space is located within an existing hardscape and landscape area along the east side of the building. The space is proposed to be open and uncovered with a 36-inch tall black, aluminum fence enclosure to meet the requirements by the State of Ohio, Division of Liquor Control. There will be six, 10-foot tall, black metal posts to allow for the suspension of catenary lights along aircraft cable system.

The applicant is proposing six movable lounge chairs and two stationary benches. The area is proposed to be accented with amenities including planters, side tables, waste receptacle, and mobile fire table. The applicant should coordinate with the Washington Township Fire Department on the final location and details associated with the operation a mobile fire pit.

The location of the patio enclosure, in the context of the site, limits pedestrian access around the full extent of the building. To address the ART's concerns and meet the BSD Code – Walkability Standards, the applicant has amended their design to provide a four-foot wide sidewalk extension around the enclosed patio. The path must meet the ADA requirements of an egress slope not to exceed five percent, and a slope across not exceed two percent. The proposal alters the landscape plan to ensure the existing plants are relocated, and all accent lighting is maintained. As proposed, interior modifications are required to eliminate the east exit as a viable exit in the event of a fire.

### 4. Site Plan



## 5. Criteria Analysis

### A. Minor Project Review Analysis [§153.066]

- a) **The Minor Project Review is substantially similar to the approved Site Plan.**  
Criteria Met. The proposal is consistent with the approved site plan for this site. No alterations to the shell building are proposed with this application.
- b) **The Minor Project Review is consistent with the approved Development Plan.**  
Criteria Met. The proposal is consistent with the approved development plan for this application, and meets all applicable Zoning Code requirements.
- c) **Internal circulation system and driveways provide safe and efficient access for all.**  
Criteria Met with Condition. No alterations within the right-of-way are proposed. Bicycle, and vehicular circulation is not impacted with this proposal. Pedestrian circulation is impacted by the proposal; however, maintains full circulation around the building. The applicant is required to provide verification the path meets the slope requirements for accessibility in accordance with the Americans with Disabilities Act.
- d) **Relationship of buildings and structures to each other provides for development integrated with the surrounding area, and maintains the image of Dublin as a high quality community with a commitment to exemplary quality and design.**  
Criteria Met. The proposed patio is integrated with the main structure with coordinated design elements including material, color, and high quality furnishing.
- e) **Open space suitability and natural feature preservation.**  
Criteria Met. The amenities incorporated meet the requirements of the BSD defined by the 'Comfort and Convince' aspects in the Walkability Standards.
- f) **The scale and design of the proposed development allows for the adequate provision of services.**  
Criteria Met with Condition. The proposed site alternations do not impede the ability to provide adequate provision of public services. The applicant should work with the Washington Township Fire Department to ensure the safe location and operation of the fire pit.
- g) **Adequate stormwater management facilities are provided.**  
Not Applicable. The proposal does not increase the impervious surface area associated with the site.
- h) **Phased development is able to be considered as independent phases.**  
Not Applicable. No phases are proposed as part of this proposal.

- i) **The application demonstrates consistency with commonly accepted principles of walkable urbanism, the Bridge Street District Vision Principles, Community Plan, and other related policy documents.**  
Criteria Met. The proposal is consistent with the Community Plan and the Bridge Street District zoning regulations; and is consistent with the character of the building, and adjacent structures.

## 6. Recommendation

### Minor Project Review

The proposal complies with all applicable review criteria with conditions and is consistent with existing development character of the area. **Approval** is recommend with two conditions:

- 1) That the applicant coordinate with the Washington Township Fire Department to ensure safe siting and operation of the fire pit; and,
- 2) That the applicant provide verification at Building Permitting the pedestrian paths slope is in compliance with the Americans with Disabilities Act.