

18-040WR – HEN QUARTER

Site Location

The tenant space is located in Building C2 East of Riverside Drive at intersection with Bridge Park Avenue.

Zoning

BSD-SRN, Bridge Street District - Scioto River Neighborhood District

Property Owner

Crawford Hoying LLC

Applicant/Representative

Brian Sell, Moody Nolan

Applicable Land Use Regulations

Zoning Code Section 153.066

Request

Review and recommendation of approval for a Waiver Review to allow for a vinyl patio enclosure, a secondary material.

Staff Recommendation

Recommendation of disapproval.

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Case Manager

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Summary

A Waiver Review for the use of a non-permitted material to allow the installation of operable weather screens on the first floor of Building C2.

Zoning Map

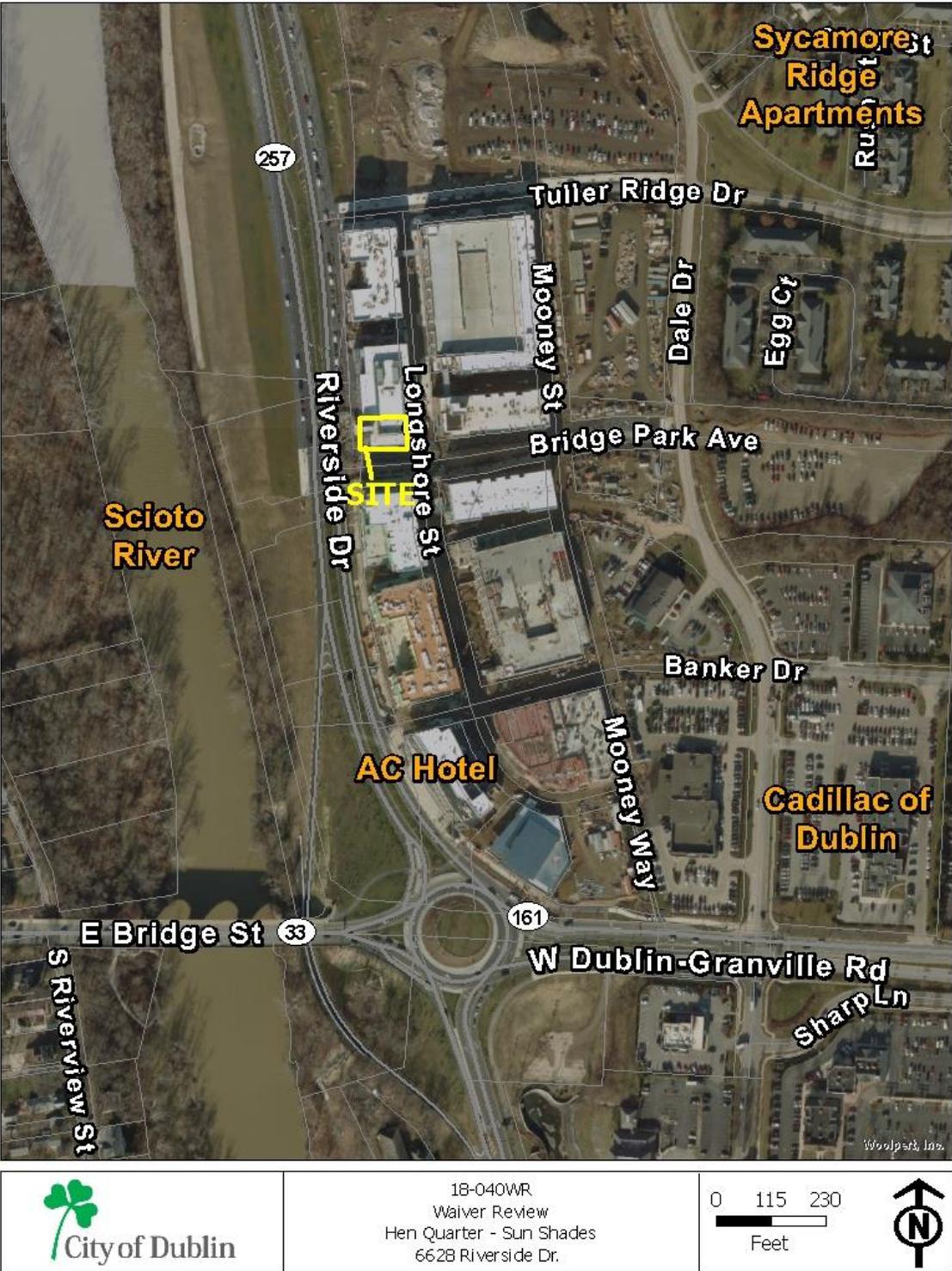


Next Steps

Upon a recommendation for the waiver from the Administrative Review Team, the application will be forwarded to the Planning and Zoning Commission who are the final reviewing body.

1. Context Map

East of Riverside Drive at intersection with Bridge Park Avenue.



2. Overview

A. Background

The Administrative Review Team reviewed and approved a patio and associated site improvements for this tenant space on April 19, 2018. The improvements included a covered patio space finished with a copper filigree design. A sun-screen is integrated into the design of the western elevation of the patio. The screen is proposed to feature a custom copper filigree to match the accent detail on the patio canopy cover.

The ART reviewed the proposal and provided feedback regarding the overall aesthetic changes of the use of the vinyl screen materials. There was significant discussion about the quality and long-term durability of the product. Additionally, with the exterior prominence of the structure along the principal frontage street the use of a lower quality material would not fit with the overall intent of the district.

In February 2017, the Planning and Zoning Commission approved the use of a vinyl enclosure (16-080WR) for a tenant's patio space on the north and west elevation of Building C2 (Cap City Diner). During their discussion, the Commission stated that the approval of the waiver was unique to the individual circumstances of this case. The approval included five conditions including the manufacturer's specifications for the material, use and replacement standards, as well as a re-approval requirement.

In 2015, the Commission reviewed and approved the (final) Development and Site Plans for the four buildings associated with C Block, the second portion of the first phase of the Bridge Park Development. The project proposal includes approximately 213 apartment units, 61,800 square feet of office, 47,000 square feet of commercial (retail, restaurant), and an 869-space parking garage.

B. Site Characteristics

1) Natural Features

No natural features are present on the site.

2) Historic and Cultural Facilities

No historic and cultural facilities are present on the site.

3) Surrounding Land Use and Development Character

- North: BSD-SRN, Mixed use – Restaurant
- East: BSD-SRN, Mixed use – Parking structure
- South: BSD-SRN: Mixed use – Commercial
- West: BSD-P – Park – (Future) Riverside Crossing Park

4) Road, Pedestrian and Bike Network

The site has frontage on Bridge Park Avenue to the south, Longshore to the east, and Riverside Drive to the west. Pedestrian facilities are provided throughout the site. Bicycle accommodations are provided throughout the district along the Bridge Park Avenue cycle-track.

5) Utilities

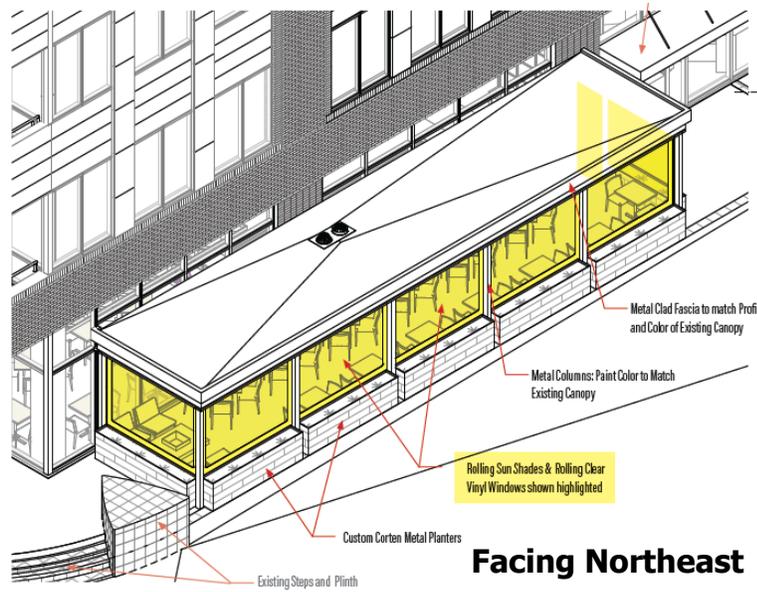
Public utility service is provided via Riverside Drive and West Dublin Granville Road including water, storm sewer, and sanitary sewer. Sanitary also extends through the development via Bridge Park Avenue.

C. Proposal

This is a request for approval of a Waiver Review for use of a non-permitted material to allow the installation of operable vinyl weather screens on the first floor of Building C2 within Bridge Park Development. The proposed clear vinyl window is manufactured by Corradi USA with a charcoal fabric frame (SergeFerrari Preconstraint 502 Satin). The applicant is proposing a Phifer Solar Fabric Sun Shade (Phifer Sheerweave V22 Charcoal/Grey 10% open) that is only for temporary use during certain times of day.

3. Site Plan

The proposed site plan shows the locations of the proposed material highlighted in yellow.



3. Criteria Analysis

A. Waiver Review Analysis

- 1) **The need for the Waiver is caused by unique conditions outside the control of the owner/lessee.**

Criteria not met. There are no unique conditions to this property. The property is located in a highly visible area and adjacent to a principal frontage street.

- 1) **The Waiver will generally meet the spirit and intent of the BSD Plan and supports the commonly accepted principles of walkable urbanism.**

Criteria not met. The proposed material does not conform with the principles of walkable urbanism, specifically that the buildings have a range of high-quality architectural styles that reinforce the unique identity of the Scioto River Neighborhood district, nor is it architecture that reflects Dublin's commitment to high quality and enduring character.

- 2) The Waiver is not being requested solely to reduce cost or as a matter of general convenience.**
Criteria not met. Other materials could be considered that would conform to the building materials requirement. There is no indication in the application to show that this request is not to reduce cost or as a matter of general convenience.
- 3) The Waiver will ensure that the development is of equal or greater development quality with respect to design, material, and other similar development features than without the Waiver.**
Criteria not met. The use of the window panel system constructed of acrylic fabric clear vinyl is not considered a material of equal or greater quality to brick, stone, and glass.
- 4) The requested modification would better be addressed through the Waiver rather than an amendment to the requirements of this Chapter.**
Criteria met. The requirements of this chapter should not be amended to include vinyl acrylic fabric.
- 5) For Development Plans, the other Development Plan elements not affected by the Waiver will be generally consistent with §153.060(A) and §153.061(A).**
Criteria not applicable. A Development Plan is not a part of this application.
- 6) For Site Plan reviews and Minor Project Reviews, the Waiver does not have the effect of authorizing any use or open space type that is not otherwise permitted in that BSD zoning district.**
Criteria not applicable. No changes to uses or open space are included as part of this application.

4. Recommendation

Staff Recommendation

The proposed Waiver Review is not consistent with all of the applicable review criteria.

Disapproval is recommended.

Should the ART or ultimately, the Planning and Zoning Commission, vote to approve this Waiver request, Planning suggests incorporating similar conditions as were approved for the Cap City case in 2017.