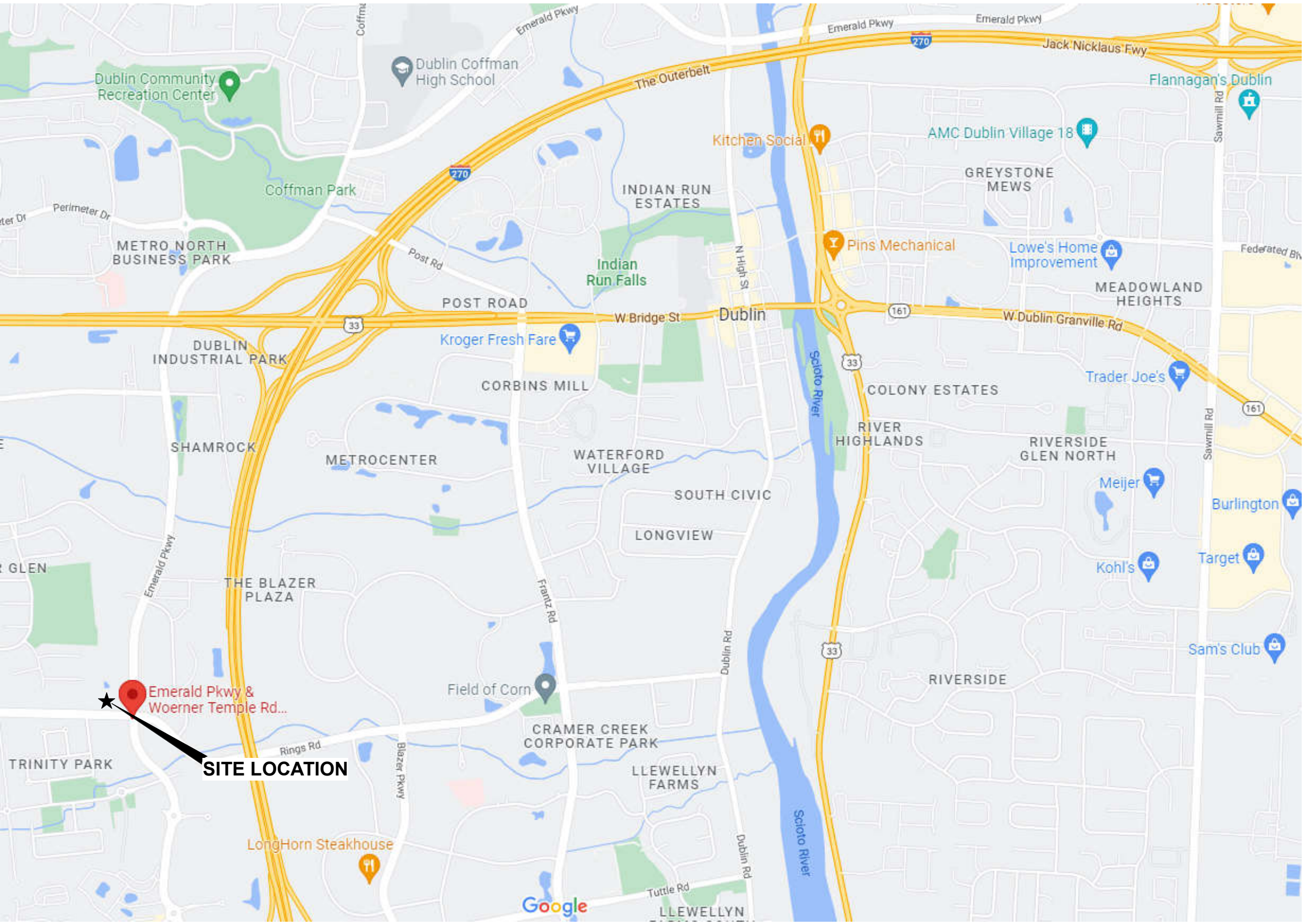


PROJECT LOCATION MAP



PROJECT DESCRIPTION

New construction of a ground-up building and interior fit-out. Building to house a law office and fitness center

BUILDING INFORMATION

Parcel ID#: 273-004511-00  
Zoning: C - Commerical  
PCD: Planned Commerce District  
No. Storeys: 01  
Use/ Occupancy Classifications: B - Business  
Construction Types: IIB  
Fire Suppression: Yes, fully sprinkled per NFPA 13  
Fire Alarm: No, not required

SF ANALYSIS:

Gross Building Area: 10,380 SF  
Law Office: 6,535 SF  
Fitness Center: 3,835 SF  
Patio: 1,088 SF

SIGNAGE

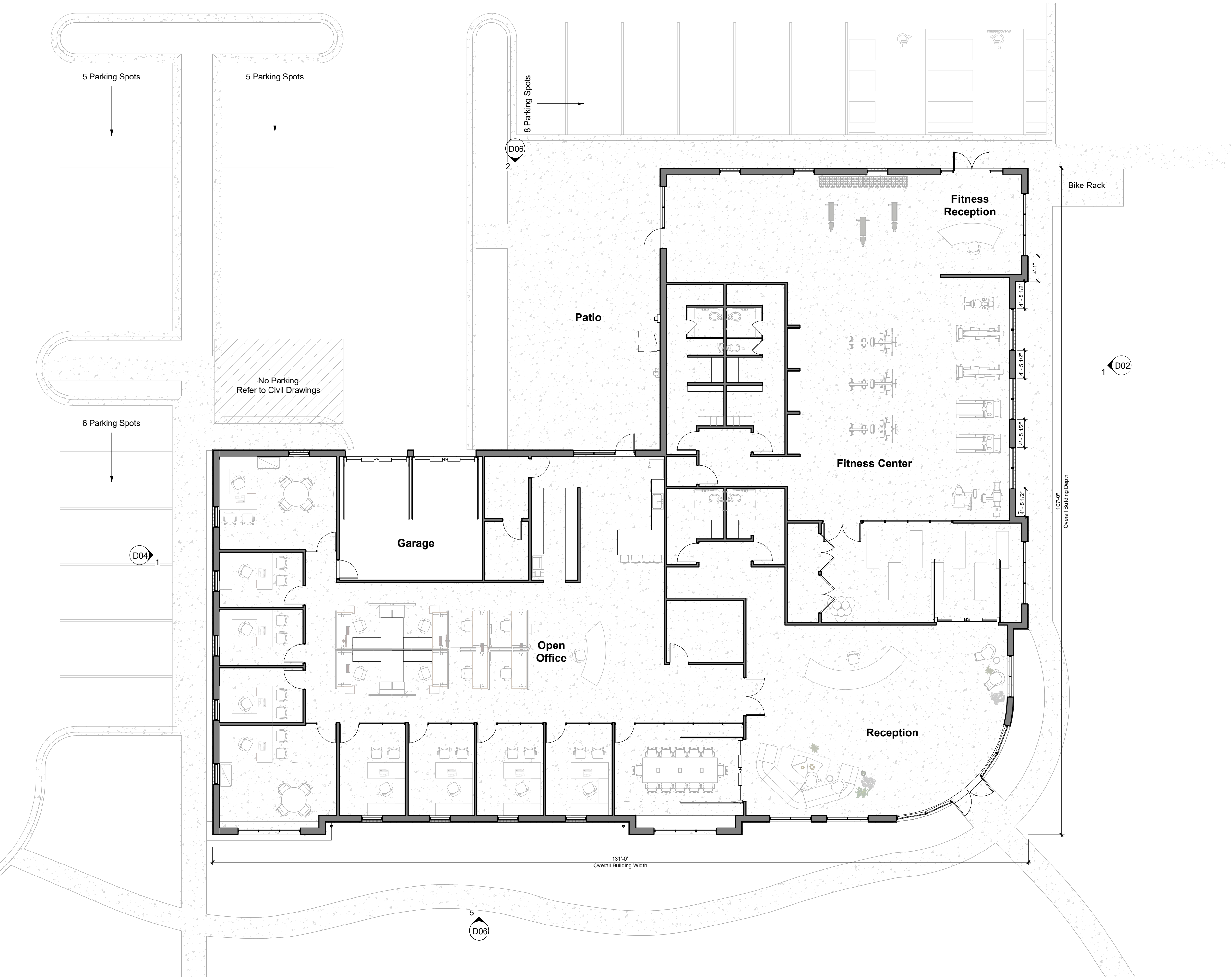
Proposed Signage Design:  
(Refer to Elevations)

- (1) Sign on South Elevation at the Main Entrance
- (1) Sign on the North Elevation at Tenant Entrance
- (1) Sign on the East Elevation for Tenant
- (1) Sign on the West Elevation for Tenant Secondary Entrance
- Final size TBD by Owner to not exceed one square foot for every lineal foot of width of the building face

Per City of Dublin Zoning Code - 153.157(A)  
(4) Number. Wall signs shall be limited in number to one per building or use. For buildings or uses on corner lots having at least 100 feet of lot frontage on each of two public rights-of-way, a second wall sign is permitted facing the second right-of-way. Each sign is limited to one square foot in area for every lineal foot of width of the building face to which the sign is attached, not exceeding the installed maximum size allowed for the use by § 153.163. The distance between the signs shall not be less than two-thirds the length of the longest elevation to which the sign is attached. The distance will be measured by two straight lines along the elevations of the building, from edge of sign to edge of sign. In no case shall two wall signs be closer than 30 feet apart. The provision for a second sign does not apply to individual tenants in a multi-tenant building.

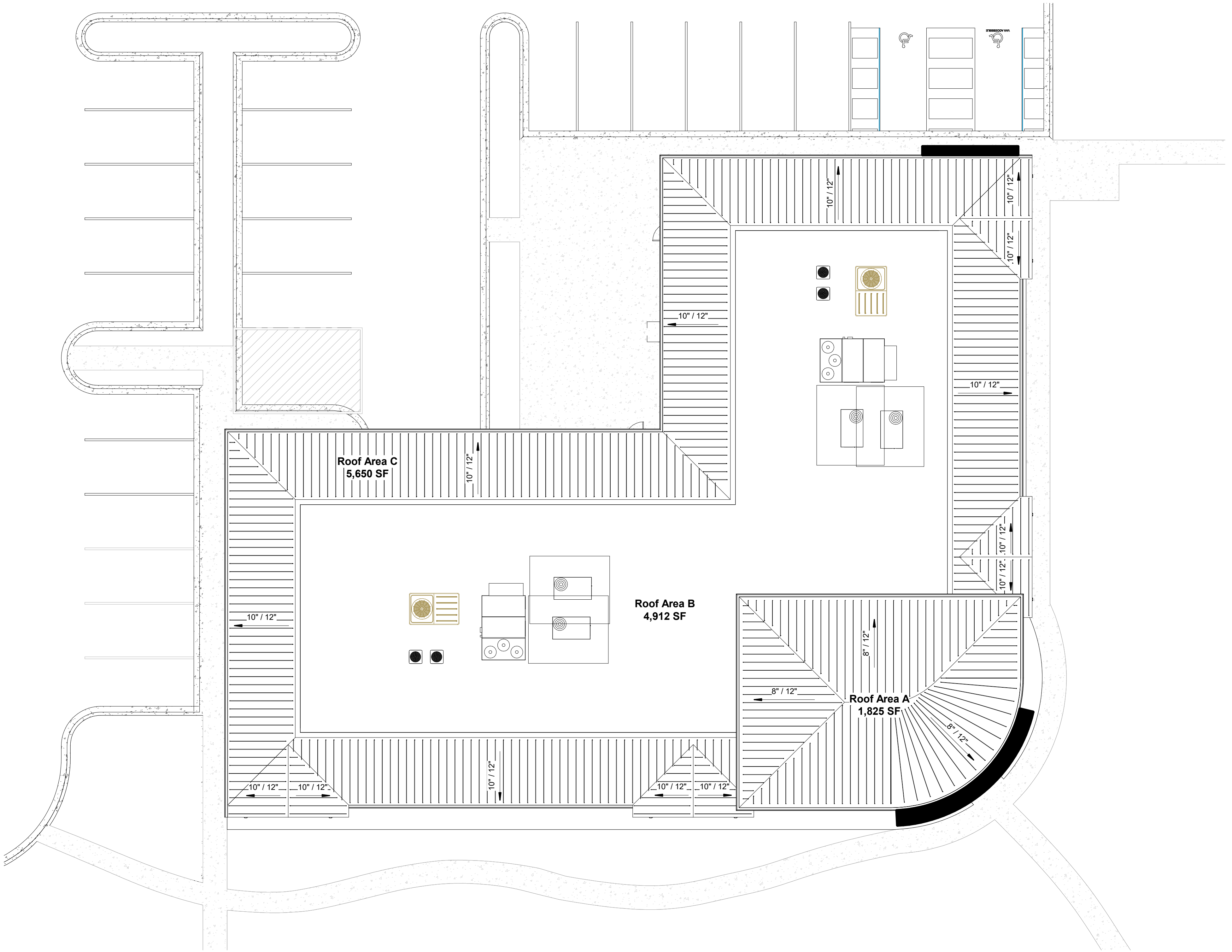
INDEX OF DRAWINGS - ARCHITECTURAL

001\_D1\_Schematic Plans  
002\_D2\_Exterior Elevations  
003\_D2.1\_Exterior Elevations  
004\_Renderings 1 - 6



1 Schematic Plan - First Floor  
Scale: 1" = 10'-0"

Note: Site shown for reference only.  
Refer to Civil drawings.



2 Schematic Roof Plan  
Scale: 1" = 10'-0"

Note: Site shown for reference only.  
Refer to Civil drawings.





1 Exterior Elevation - South  
Scale: 3/16" = 1'-0"

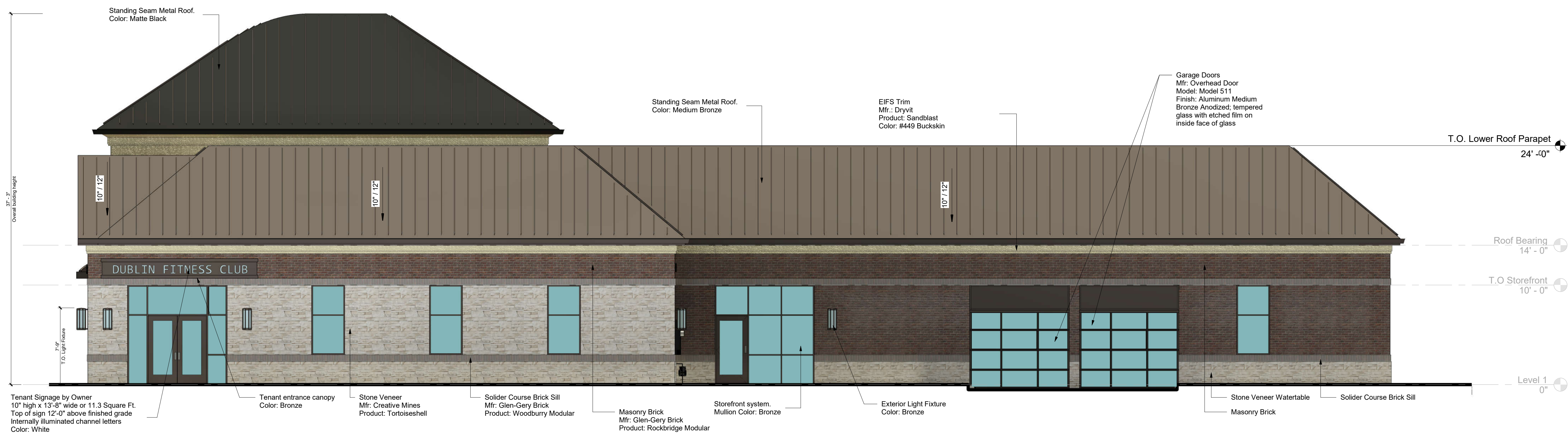
MATERIAL PERCENTAGE: SOUTH ELEVATION		
Glazing	840 SF	34%
Masonry Brick	1,000 SF	40%
Stone Veneer	200 SF	8%
EIFS	435 SF	18%
Total	2,475 SF	100%



2 Exterior Elevation - East  
Scale: 3/16" = 1'-0"

MATERIAL PERCENTAGE: EAST ELEVATION		
Glazing	710 SF	34%
Masonry Brick	600 SF	29%
Stone Veneer	390 SF	19%
EIFS	370 SF	18%
Total	2,070 SF	100%



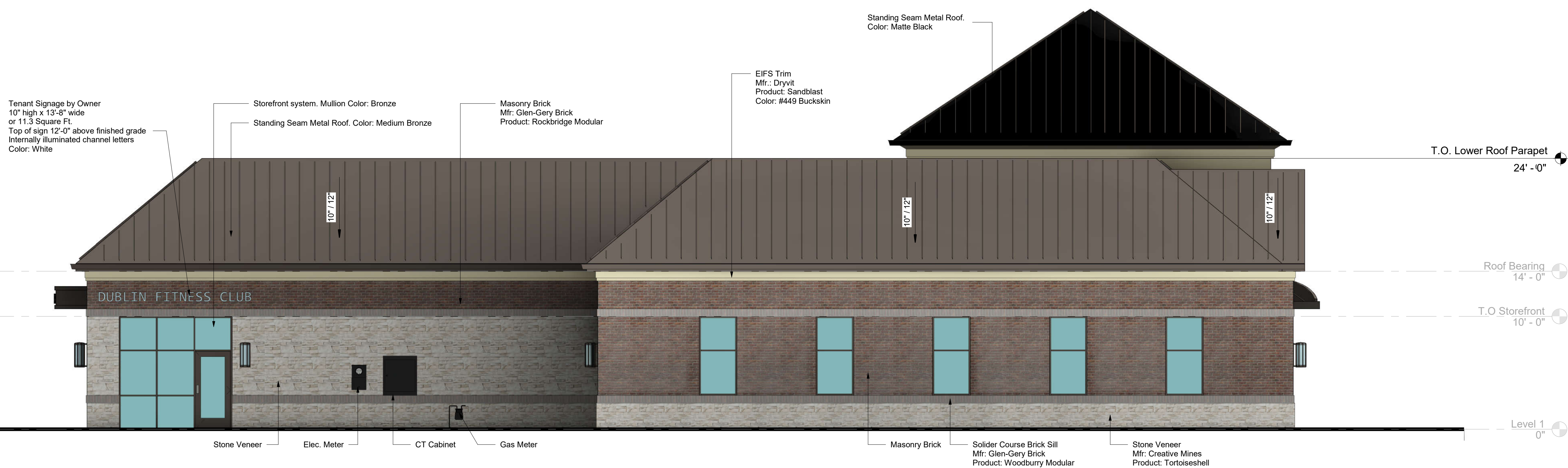


MATERIAL PERCENTAGE: NORTH ELEVATION

Glazing	500 SF	27%
Masonry Brick	850 SF	46%
Stone Veneer	490 SF	27
EIFS	0 SF	0%
Total	1,840 SF	100%

1 Exterior Elevation - North

Scale: 3/16" = 1'-0"



MATERIAL PERCENTAGE: WEST ELEVATION

Glazing	220 SF	14%
Masonry Brick	800 SF	54%
Stone Veneer	470 SF	32%
EIFS	0 SF	0%
Total	1,490 SF	100%

2 Exterior Elevation - West

Scale: 3/16" = 1'-0"





Shihab Law





DUBLIN FITNESS CLUB







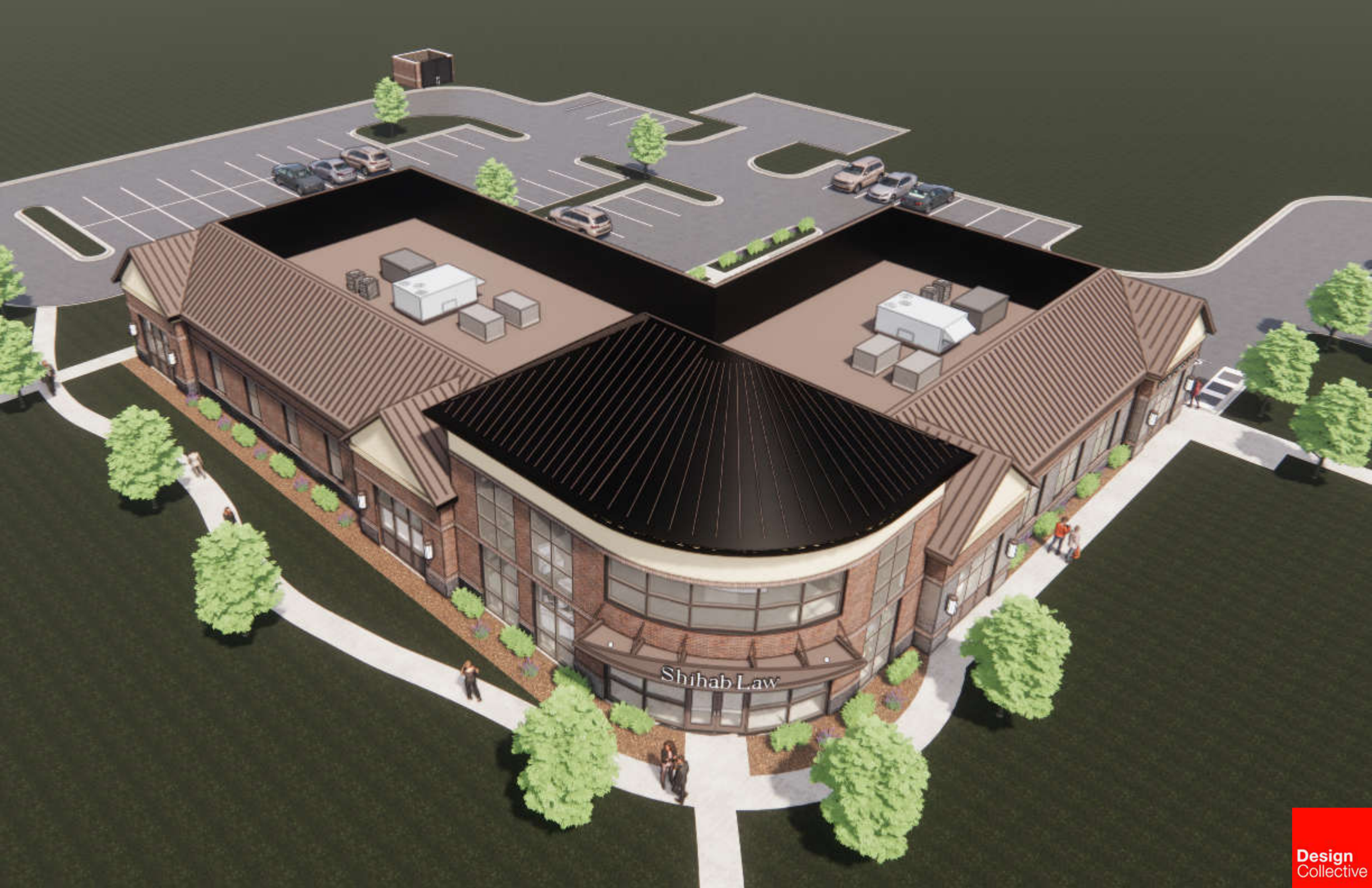






DUBLIN FITNESS CLUB







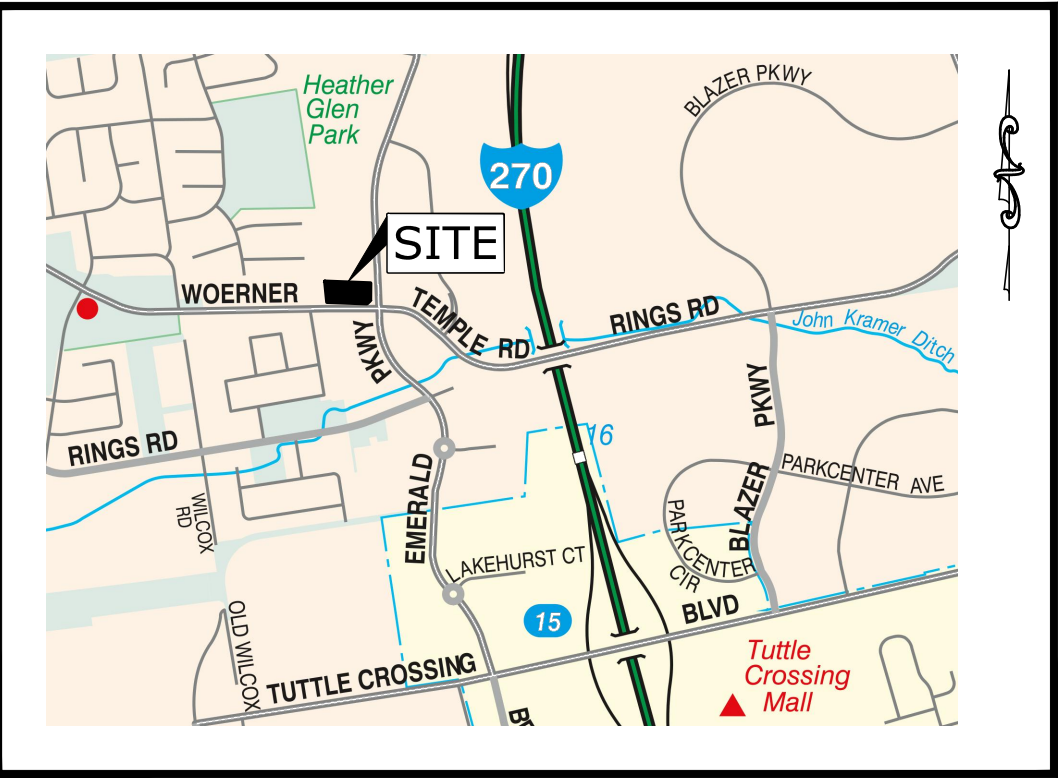
FINAL DEVELOPMENT PLAN

# SHIHAB LAW OFFICE BUILDING

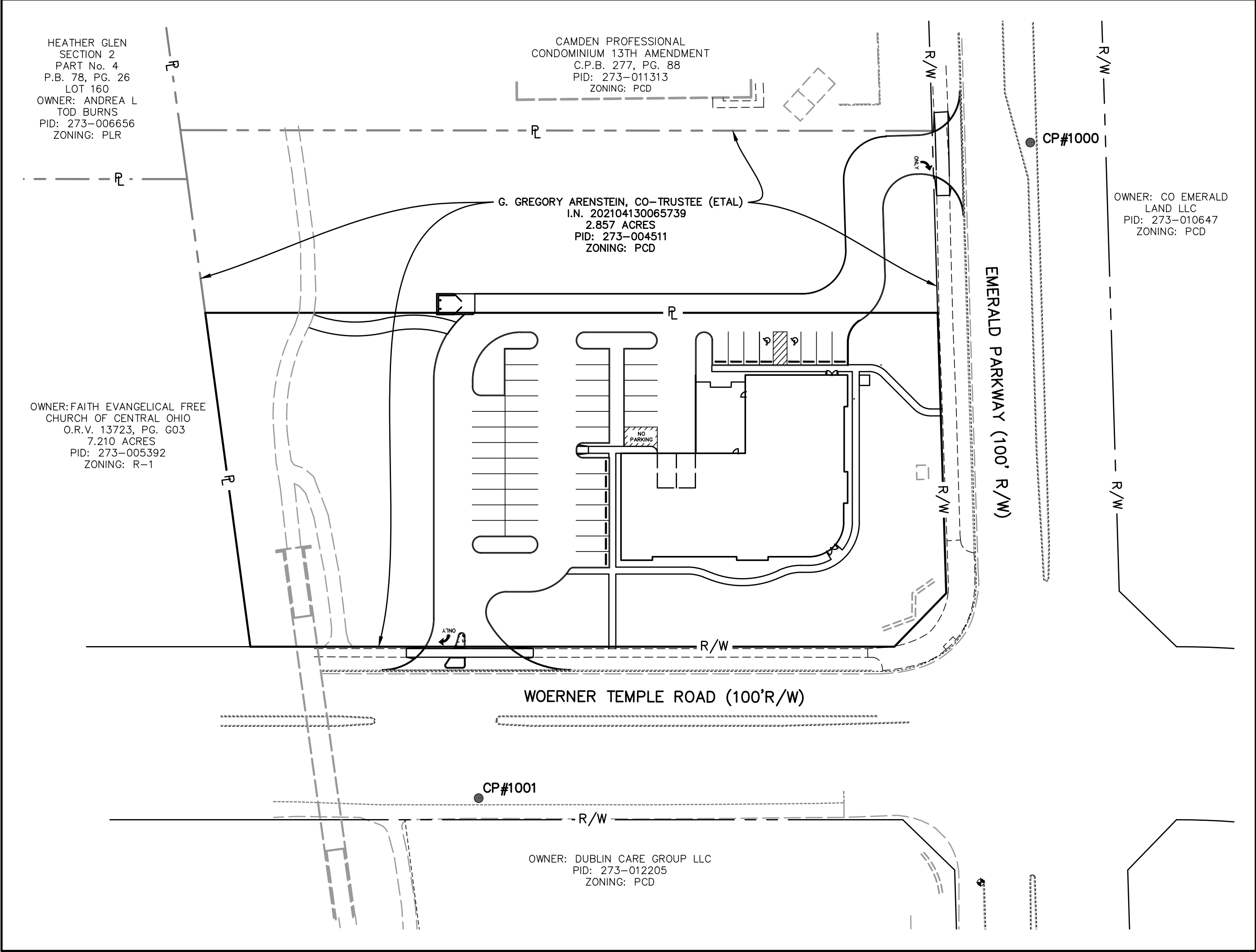
## EMERALD PARKWAY

### DUBLIN, OHIO 43016

### 2022



LOCATION MAP  
NO SCALE



#### BENCH MARKS

CP #1000	5/8" REBAR SET "IBI GROUP" N=760234.481 E=1788495.207 ELEV.=902.54
CP #1001	5/8" REBAR SET "IBI GROUP" N=759867.436 E=1788162.731 ELEV.=907.26

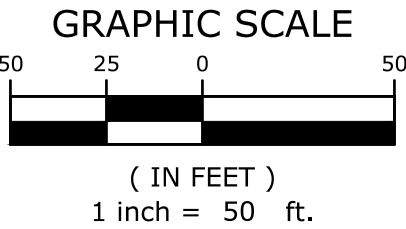
#### SITE DATA

SITE ZONING: PCD  
TAX DISTRICT/PARCEL: 273-004511 (2.857 ACRES)  
SITE AREA: 79,282 S.F. = 1.820 ACRES (TO BE SPLIT OUT OF 2.857 ACRES PARCEL)  
% LOT COVERAGE (1.820 ACRES) = 48.03%  
% LOT COVERAGE (1.037 ACRES) = 14.29%  
2.857 ACRES


#### INDEX OF SHEETS

TITLE SHEET.....	1
EXISTING CONDITIONS & DEMOLITION PLAN .....	2
SITE DIMENSION PLAN .....	3
UTILITY PLAN .....	4
GRADING PLAN .....	5
STORM PROFILES .....	6
AUTOTURN EXHIBIT .....	7

#### INDEX MAP

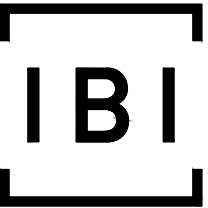


**UNDERGROUND UTILITIES**  
Contact Two Working Days  
Before You Dig

  
OHIO811, 8-1-1, or 1-800-362-2764  
(Non-members must be called directly)

**APPLICANT/DEVELOPER:**  
**THE LAW FIRM OF SHIHAB & ASSOCIATES, CO., LPA**  
65 E. STATE ST., SUITE 1550  
COLUMBUS, OH 43215  
CONTACT: GUS SHIHAB  
PHONE: (877) 479-4872

**ENGINEER:**  
**IBI GROUP**  
8101 NORTH HIGH ST. SUITE 100  
COLUMBUS, OH 43235  
CONTACT: ERIC CHENEVEY  
PHONE: (614) 818-4900 x2041  
FAX: (614) 818-4901  
ERIC.CHENEVEY@IBIGROUP.COM



**IBI GROUP**  
8101 North High Street, Suite 100  
Columbus, OH 43235  
tel 614 818 4900  
fax 614 818 4901

REVISION:

SUBMISSION:

- ☐ PRELIMINARY ENGINEERING SET
- ☒ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

**SHIHAB LAW  
OFFICE BUILDING**  
EMERALD PARKWAY  
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI NO.: 141124

DATE: NOVEMBER 21 2022

SCALE:

SHEET TITLE:

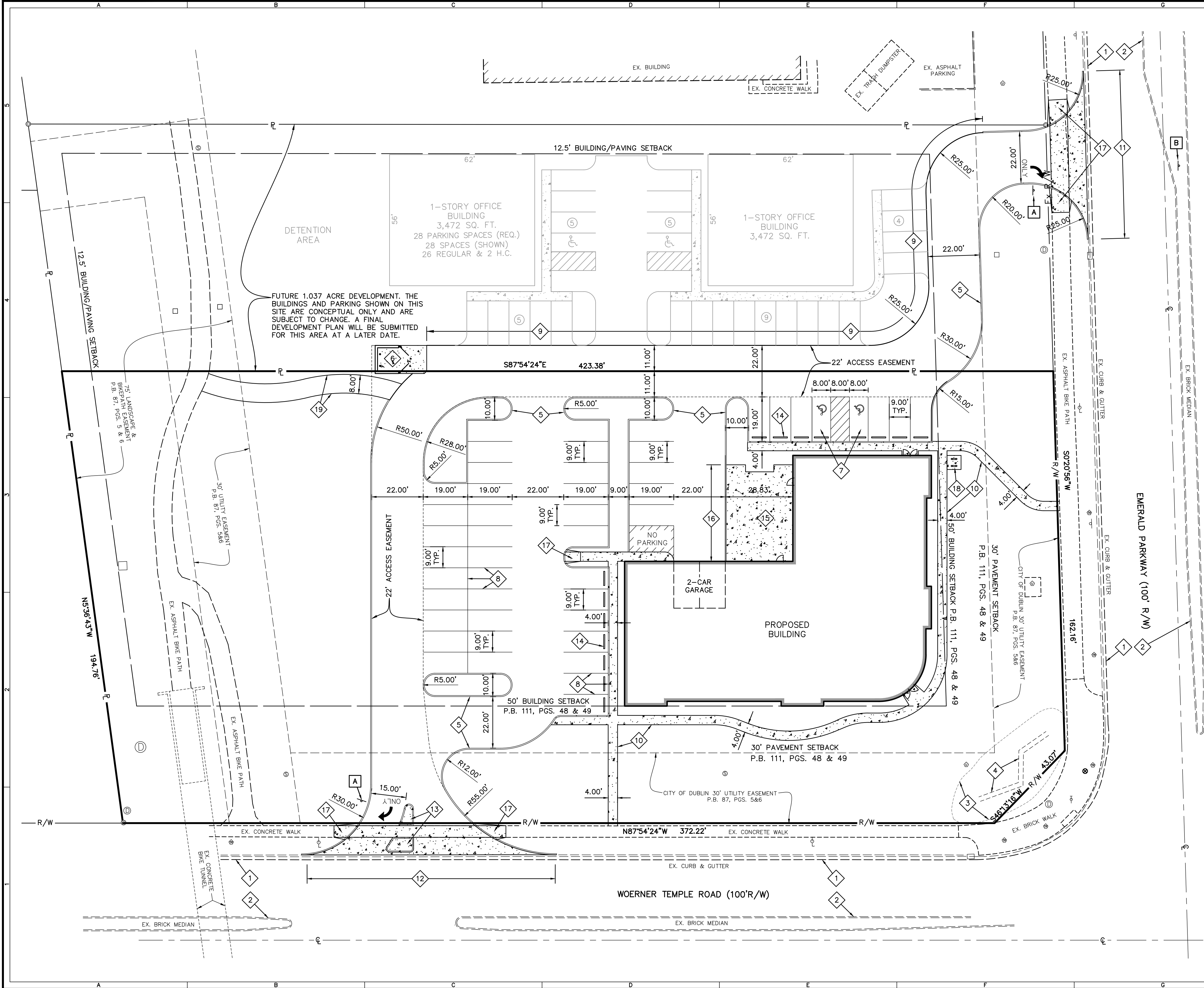
TITLE SHEET

SHEET NO.: 1 / 7









- CODED NOTES**
- EXISTING CURB AND GUTTER
  - EXISTING CURB
  - EXISTING LANDSCAPE AREA
  - EXISTING STONE WALL
  - PROPOSED STRAIGHT 18" CONCRETE CURB PER STD. DWG. RD-11
  - PROPOSED DUMPSTER ENCLOSURE TO BE SHARED WITH FUTURE 1.037 ACRE SITE
  - PROPOSED ADA PARKING STALL
  - PROPOSED PARKING SPACE STRIPING
  - NO CURB TO BE PROVIDED ALONG PAVEMENT EDGE ON ADJACENT PROPERTY
  - PROPOSED CONCRETE WALK
  - SAWCUT EXISTING CURB AND CONSTRUCT DRIVE WAY APPROACH PER STD. DWG. RD-07
  - EXISTING DROP CURB. CONSTRUCT DRIVE WAY APPROACH PER STD. DWG. RD-07
  - PROPOSED CONCRETE MEDIAN TO PREVENT LEFT TURN MOVEMENTS FROM SITE
  - PROPOSED WHEEL STOP (TYP.)
  - PROPOSED PATIO
  - ASPHALT PAVEMENT TO BE FLUSH WITH PATIO
  - PROPOSED CURB RAMP TYPE C PER STD. DWG. PD-06
  - PROPOSED BIKE RACK
  - PROPOSED SHARED USE PATH (STANDARD) PER STD. DWG. RD-06

**SITE DATA**

TAX DISTRICT/PARCEL: 273-004511 (2.857 ACRES)

SITE AREA: 79,282 S.F. = 1.820 ACRES (TO BE SPLIT OUT OF 2.857 ACRES PARCEL)

**LOT COVERAGE**

BUILDING =	10,380 S.F.
PARKING LOT =	21,495 S.F.
SIDEWALK/PATIO =	3,496 S.F.
EXISTING S.U.P. =	2,047 S.F.
PROPOSED S.U.P. =	659 S.F.
	38,077 S.F.

% LOT COVERAGE = 38,077/79,282 = 48.03%

**VEHICLE PARKING**

REQUIRED: 1 SPACE PER 250 S.F.  
REQUIRED PARKING = 10,380/ 250 = 42  
PROVIDED PARKING = 45 (STANDARD SPACE)  
2 (ADA SPACE)  
2 (GARAGE SPACE)  
49

- SITE PLAN LEGEND**
- SIGN
- EX. SANITARY LINE
- EX. STORM SEWER LINE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- UTILITY BOX
- LIGHT POLE
- COMMUNICATION BOX
- MAIL BOX
- SANITARY MANHOLE
- SANITARY CLEANOUT
- BENCHMARK
- GAS LINE
- WATER LINE
- GAS METER
- IRON PIN FOUND (AS NOTED)
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND COMMUNICATION LINE
- OVERHEAD POWER LINE
- UNDERGROUND FIBER OPTIC LINE
- PROPOSED CONCRETE

**LEGEND - PROPOSED TRAFFIC SIGNS**

NOTE: SIGNS ARE TO BE MOUNTED ON ITEM 630 ~ 2" SQUARE GALVANIZED POST, POWDER COATED BLACK (BREAKAWAY). BOTTOM OF SIGN TO BE A MINIMUM 7" FROM GROUND.

R-27A-24  
A

R3-2-30  
B

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 20 ft.

**IBI GROUP**  
8101 North High Street, Suite 100  
Columbus, OH 43235  
tel 614 818 4900  
fax 614 818 4901

REVISION:

SUBMISSION:

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**SHIHAB LAW OFFICE BUILDING**  
EMERALD PARKWAY  
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI NO.: 141124

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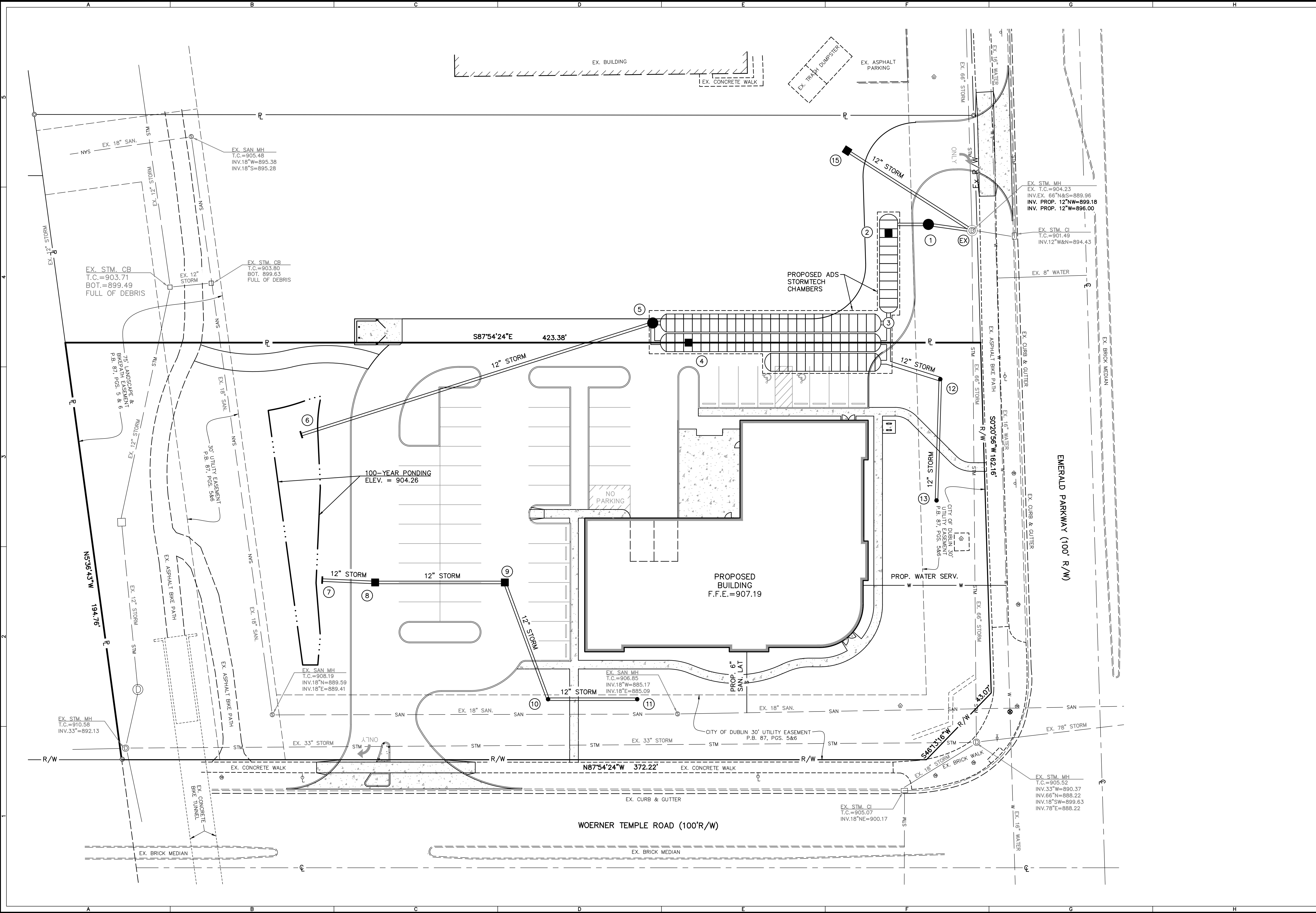
SCALE:

SHEET TITLE:

**SITE DIMENSION PLAN**

SHEET NO.: 3/7





GRAPHIC SCALE

2010020

( IN FEET )

1 inch = 20 ft.

IBI

IBI GROUP

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Columbus, OH 43235

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fax 614 818 4901

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SHIHAB LAW OFFICE  
BUILDING

EMERALD PARKWAY  
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI NO.: 141124

DATE: NOVEMBER 21 2022

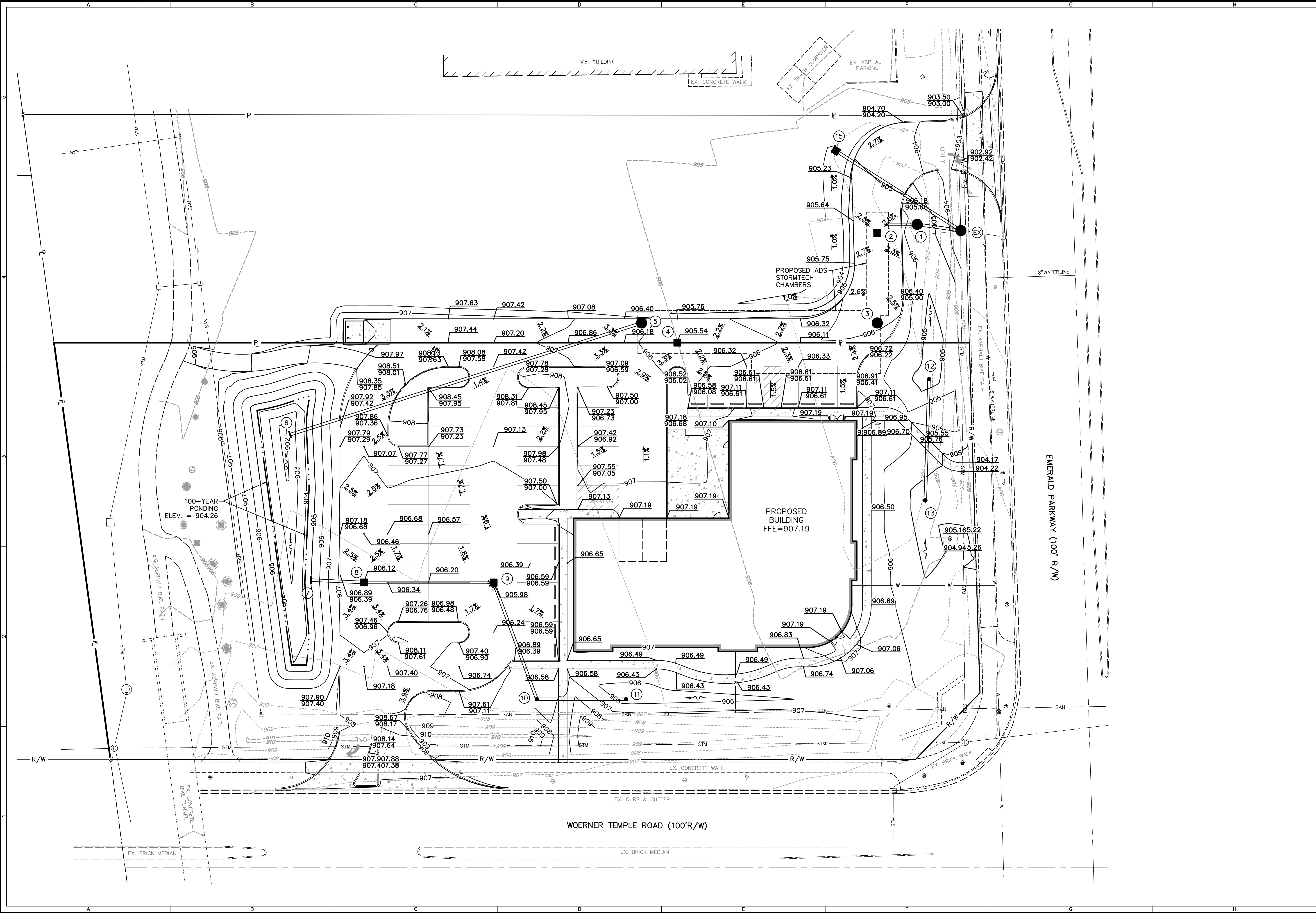
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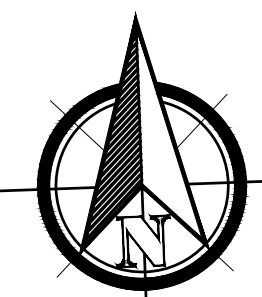
SHEET TITLE:

SITE UTILITY PLAN

SHEET NO.: 4/7







GRAPHIC SCALE

( IN FEET )

1 inch = 20 ft.



**IBI GROUP**  
3100 Maple Ridge Road, Suite 100  
Dublin, OH 43017  
Tel: 614.338.8800  
Fax: 614.338.9000  
Email: info@ibigroup.com  
www.ibigroup.com

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  - ☐ AS-BUILT DOCUMENT SET
- STAMP:

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PROJECT LOCATION

**SHIHAB LAW OFFICE BUILDING**

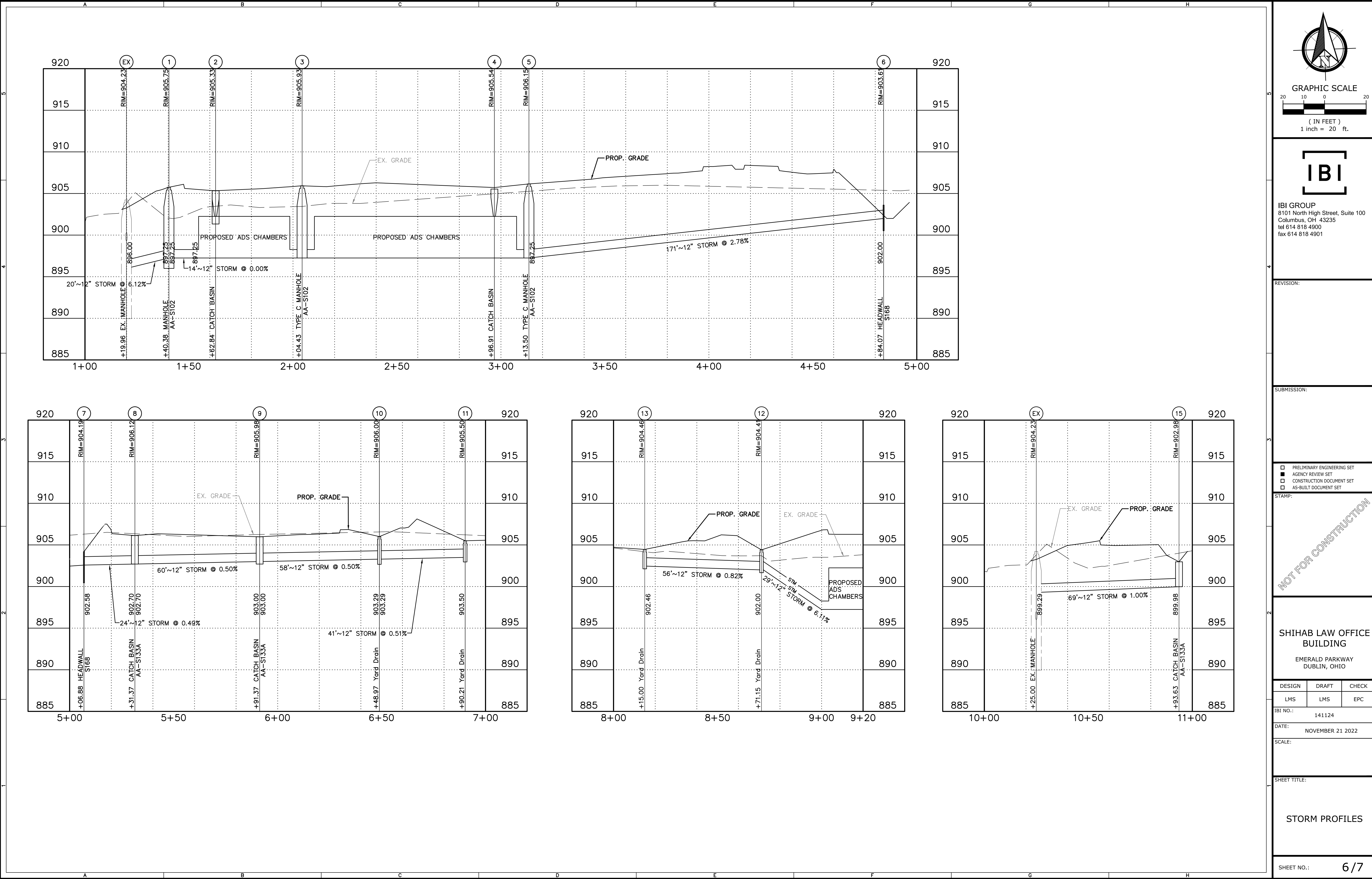
EMERALD PARKWAY  
DUBLIN, OHIO

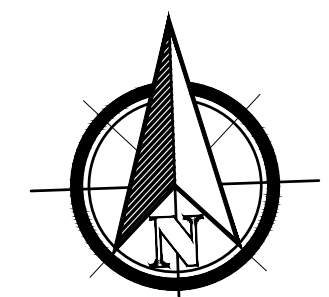
DESIGN	DRAFT	CHECK
Design	DMR	CHK
IBI NO.: 141124		
DATE: NOVEMBER 21 2022		
SCALE:		
SHEET TITLE:		

**SITE GRADING PLAN**


SHEET NO.: 5/7







GRAPHIC SCALE  
( IN FEET )  
1 inch = 20 ft.



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REVISION:

SUBMISSION:

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☐ AGENCY REVIEW SET

☐ CONSTRUCTION DOCUMENT SET

☐ AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE  
BUILDING

EMERALD PARKWAY  
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI NO.: 141124

DATE: NOVEMBER 21 2022

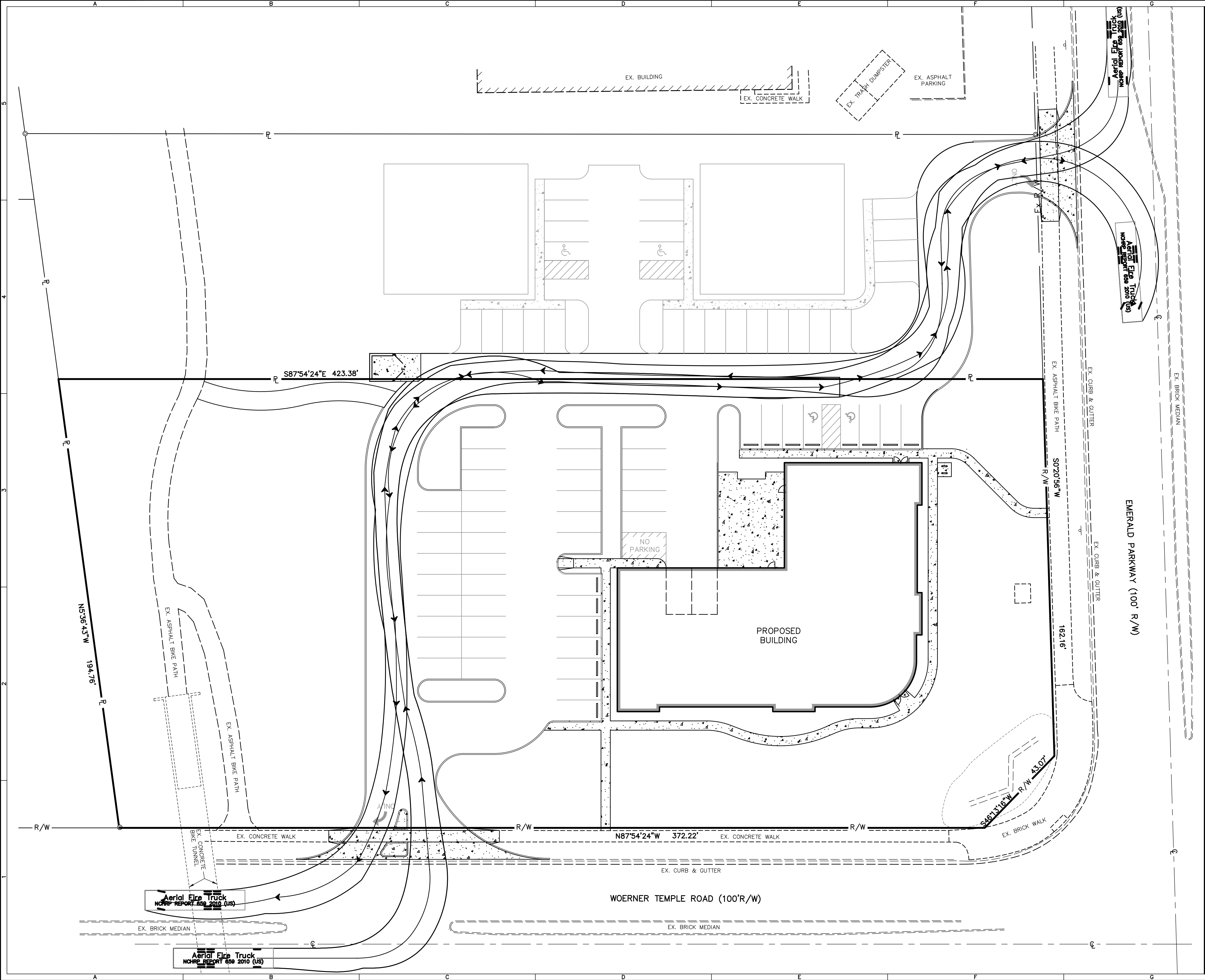
SCALE:

SHEET TITLE:

STORM PROFILES

SHEET NO.: 6/7





**VEHICLE USED IN ANALYSIS**

Aerial Fire Truck

Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 20 ft.

**[ IBI ]**

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Columbus, OH 43235  
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fax 614 818 4901

REVISION:

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**SHIHAB LAW OFFICE  
BUILDING**

EMERALD PARKWAY  
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI NO.: 141124

DATE: NOVEMBER 21 2022

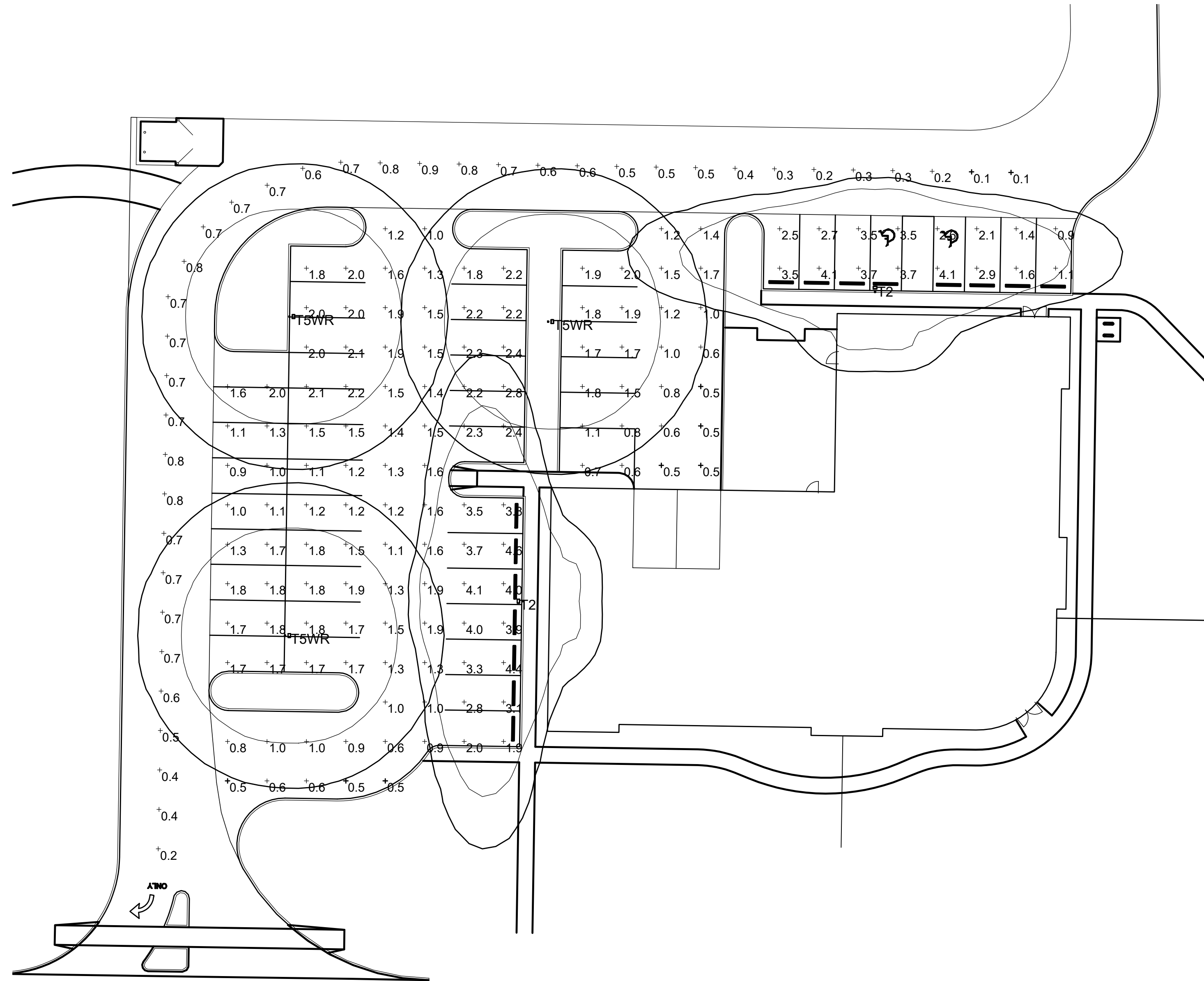
SCALE:

SHEET TITLE:

AUTOTURN EXHIBIT

SHEET NO.: 7 / 7





SITE PHOTOMETRY  
NOT TO SCALE

### VMX-II LED Specifications



MODEL	OPTICS	LEDs	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VMX-II	T1 Type 1	48LC	3 350mA	3K 3000K	UNV 120-277V	AM Arm Mount	BZ Bronze	PCR-120 PCR-208	WSC-6 WSC-20	UPMA-S UPMA-R
	T2 Type 2	64LC	5 500mA	4K 4000K	5 347V	SAM Straight Arm Mount (90°)	SBK Black	PCR-240 PCR-277	WSC-20 WSC-40	UPMA-R UPMA-S
	T3 Type 3	96LC	7 700mA	5K 5000K	5 347V	TSWR Tempered Glass Mount (90°)	SBK Black	PCR-240 PCR-277	WSC-20 WSC-40	UPMA-R UPMA-S
	T4 Type 4		10 1000mA	5K 5000K		UAM Universal Arm Mount (90°)	WH White	PCR-240 PCR-277	WSC-20 WSC-40	UPMA-R UPMA-S
	T5A Type 5A Adjustable					MAF Master Arm Mount (90°)	SWH White	PCR-240 PCR-277	WSC-20 WSC-40	UPMA-R UPMA-S
	T5 Type 5					KM Knockout Mount	GP Grey	PCR-240 PCR-277	WSC-20 WSC-40	UPMA-R UPMA-S
	TSW Type 6 Wide					WM Wall Mount (Requires GAWP)	GY Grey	PCR-240 PCR-277	WSC-20 WSC-40	UPMA-R UPMA-S
	TSWR Type 6 Wide Round					AWM Adjustable Wall Mount	SL Silver	PCR-240 PCR-277	WSC-20 WSC-40	UPMA-R UPMA-S
						CC Custom Color	CC Custom Color	PCR-240 PCR-277	WSC-20 WSC-40	UPMA-R UPMA-S

VISIONAIRE LIGHTING  
VL-PA-ING-001-F37 REV. 0 CIRCABR22-03

### Features & Specifications

**Heat Sink**  
Cast aluminum heat sink with integral cooling fins for thermal management.

**Mounting Arm/Driver Compartment**  
Durable two-piece die cast aluminum driver compartment utilizes stainless steel hardware and sealed with a one-piece silicone gasket.

**Thermal Management**  
The VMX-II series provides excellent thermal management by mounting the LEDs to the substantial heat sink of the housing. This enables the Luminaire to withstand higher ambient temperatures and driver currents without degrading LED life.

**Optical System**  
The highest lumen output, LEDs are utilized in the VMX-II series. ES distribution Types I, II, III, IV, V, VWR are available. The optical system qualifies as ETL listed to meet tight frequency, glare and light pollution.

**Qual-Guard® Finish**  
The finish is Qual-Guard® textured, chemically pretreated through a multiple-stage washer, electrostatically applied, thermoset polyester powder coat finish with minimum of 0.5 milimeter thickness. Finish is oven-baked at 400° F to promote maximum adherence and finish hardness. All finishes are available in standard and custom colors. Finish is guaranteed for five (5) years.

VMX-II - ELECTRICAL LOAD (A)									
Ordering Nomenclature	System Watts	120	208	240	277	347	480		
VMX-II-TS-48LC-3	92	0.43	0.25	0.22	0.19	0.15	0.11		
VMX-II-TS-64LC-5	79	0.25	0.38	0.33	0.28	0.22	0.10		
VMX-II-TS-96LC-7	106	0.88	0.51	0.44	0.38	0.31	0.22		
VMX-II-TS-48LC-10	161	1.34	0.77	0.67	0.58	0.46	0.34		
VMX-II-TS-64LC-5	79	0.38	0.54	0.29	0.25	0.20	0.10		
VMX-II-TS-64LC-6	107	0.89	0.51	0.45	0.39	0.31	0.22		
VMX-II-TS-64LC-10	142	1.18	0.69	0.59	0.51	0.41	0.30		
VMX-II-TS-64LC-10	216	1.62	1.05	0.91	0.79	0.63	0.45		
VMX-II-TS-96LC-5	97	0.75	0.42	0.36	0.31	0.25	0.15		
VMX-II-TS-96LC-6	132	1.10	0.63	0.55	0.48	0.38	0.28		
VMX-II-TS-96LC-7	177	1.48	0.85	0.74	0.64	0.51	0.37		
VMX-II-TS-96LC-10	272	2.27	1.31	1.13	0.98	0.78	0.57		
VMX-II-TS-96LC-5	194	0.97	0.50	0.43	0.38	0.30	0.22		
VMX-II-TS-96LC-6	157	1.31	0.75	0.65	0.57	0.45	0.33		
VMX-II-TS-96LC-7	212	1.77	1.02	0.88	0.77	0.61	0.44		

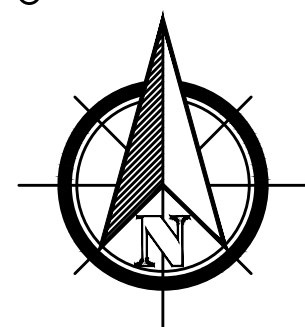
VISIONAIRE LIGHTING  
VL-PA-ING-001-F37 REV. 0 CIRCABR22-03

Symbol	Label	Quantity	Manufacturer	Description	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	T2	2	Visionaire Lighting LLC	31.5 in L x 15 in W x 11.75 in H	1	VMX-II_T2_64LC_3_4K.ies	9265	0.95	70
□	T5WR	3	Visionaire Lighting LLC	31.5 in L x 15 in W x 11.75 in H	1	VMX-II_T5WR_64LC_3_4K.ies	9716	0.95	70

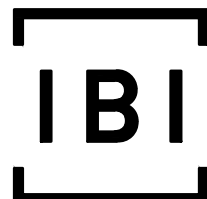
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	+	1.8 fc	4.6 fc	0.5 fc	9.2:1	3.6:1
Property Line	+	0.6 fc	0.9 fc	0.1 fc	9.0:1	6.0:1

### GENERAL NOTES

A. PARKING LOT POLE LIGHTS ARE SPECIFIED WITH A 17"-6" POLE MOUNTED ON A 30" CONCRETE BASE FOR A TOTAL MOUNTING HEIGHT OF 20'-0".



GRAPHIC SCALE  
(IN FEET)  
1 inch = 30 ft.



IBI GROUP  
8101 North High Street, Suite 100  
Columbus OH 43235 USA  
tel 614 818 4900 fax 614 818 4901  
ibigroup.com

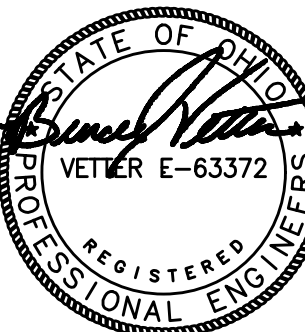
VMP  
ENGINEERING INC.  
6255 Emerald Parkway  
Dublin, Ohio 43016  
Phone: 614.408.3862  
www.VMPengineering.com

SUBMISSION:

REVISION:

10/18/22 ISLANDS

STAMP:



EMERALD PARKWAY DEVELOPMENT  
WOERNER TEMPLE ROAD & EMERALD PARKWAY  
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
BW	DC	BW

IBI GROUP NO.: 139418

DATE: SEPTEMBER 2022

SCALE:  
HORIZONTAL: 1"=30'  
VERTICAL:

SHEET TITLE:

SITE PHOTOMETRY

E1.0



GENERAL LAYOUT NOTES

1. BOUNDARY,TOPOGRAPHIC AND UTILITY SURVEY WAS PREPARED BY :  
IBI GROUP; 8101 N. HIGH STREET, SUITE 100, COLUMBUS, OH 43235; (614)  
818-4900
2. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE  
APPLICABLE UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL LAYOUT AND ADJUST AS REQUIRED FOR  
APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY LANDSCAPE  
ARCHITECT OF ANY DISCREPANCIES.
5. BROOM FINISH ON CONCRETE SHALL BE PERPENDICULAR TO TRAFFIC  
FLOW.
6. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
7. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES,  
LABOR, AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN  
TO THE LANDSCAPE ARCHITECT.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN  
IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY  
VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR  
SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES  
PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY  
RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE  
OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE  
AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONSTRUCTION NOTES

- 1
- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 2
- LANDSCAPE AREA. PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 3
- BALANCE BENCH, OR OWNER APPROVED EQUAL. AVAILABLE THROUGH WWW.FORMS-SURFACES.COM. COLOR AND FINISH BY OWNER. SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
- 4
- DECORATIVE SCREEN. FINAL STYLE BY OWNER. SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
- 5
- CORDIA BIKE RACK, OR OWNER APPROVED EQUAL. AVAILABLE THROUGH WWW.FORMS-SURFACES.COM. COLOR AND FINISH BY OWNER. SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
- 6
- MOVABLE PLANTERS WITH ANNUAL PLANTINGS. STYLE AND LOCATION BY OWNER.

GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA  
STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN  
ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR  
AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED  
HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED  
EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE  
SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN  
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BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT  
BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY  
LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE  
GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE  
PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

VICINITY MAP



SHIHAB LAW  
FIRM

WOERNER - TEMPLE & EMERALD PARKWAY  
DUBLIN, OH 43016

PREPARED FOR

SHIHAB &  
ASSOCIATES, CO., LPA

65 E. STATE STREET, SUITE 1550  
COLUMBUS, OH 43215

PREPARED BY

Faris Planning & Design

LAND PLANNING



LANDSCAPE ARCHITECTURE

4876 Cemetery Road  
p (614) 487-1964

Hilliard, OH 43026  
www.farisplanninganddesign.com

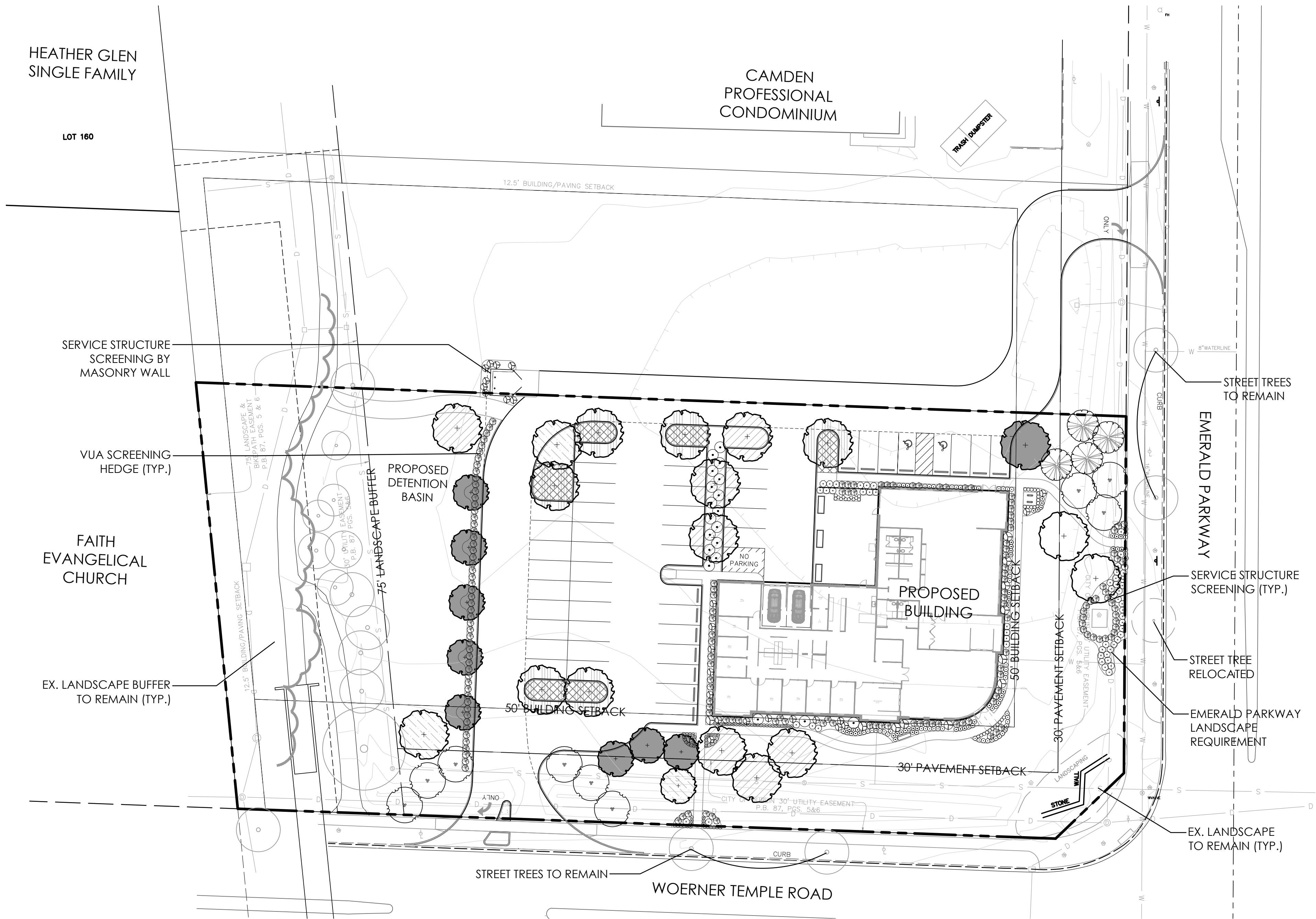
LANDSCAPE PACKAGE CONTENTS

- L-1
- LANDSCAPE REQUIREMENTS PLAN
- L-2
- OVERALL LANDSCAPE PLAN
- L-3
- LANDSCAPE ENLARGEMENT PLAN
- L-4
- TREE SURVEY (EXISTING CONDITIONS)
- L-4.1
- TREE SURVEY (PRESERVATION PLAN)
- SD-1
- SITE DETAILS I

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11/21/22

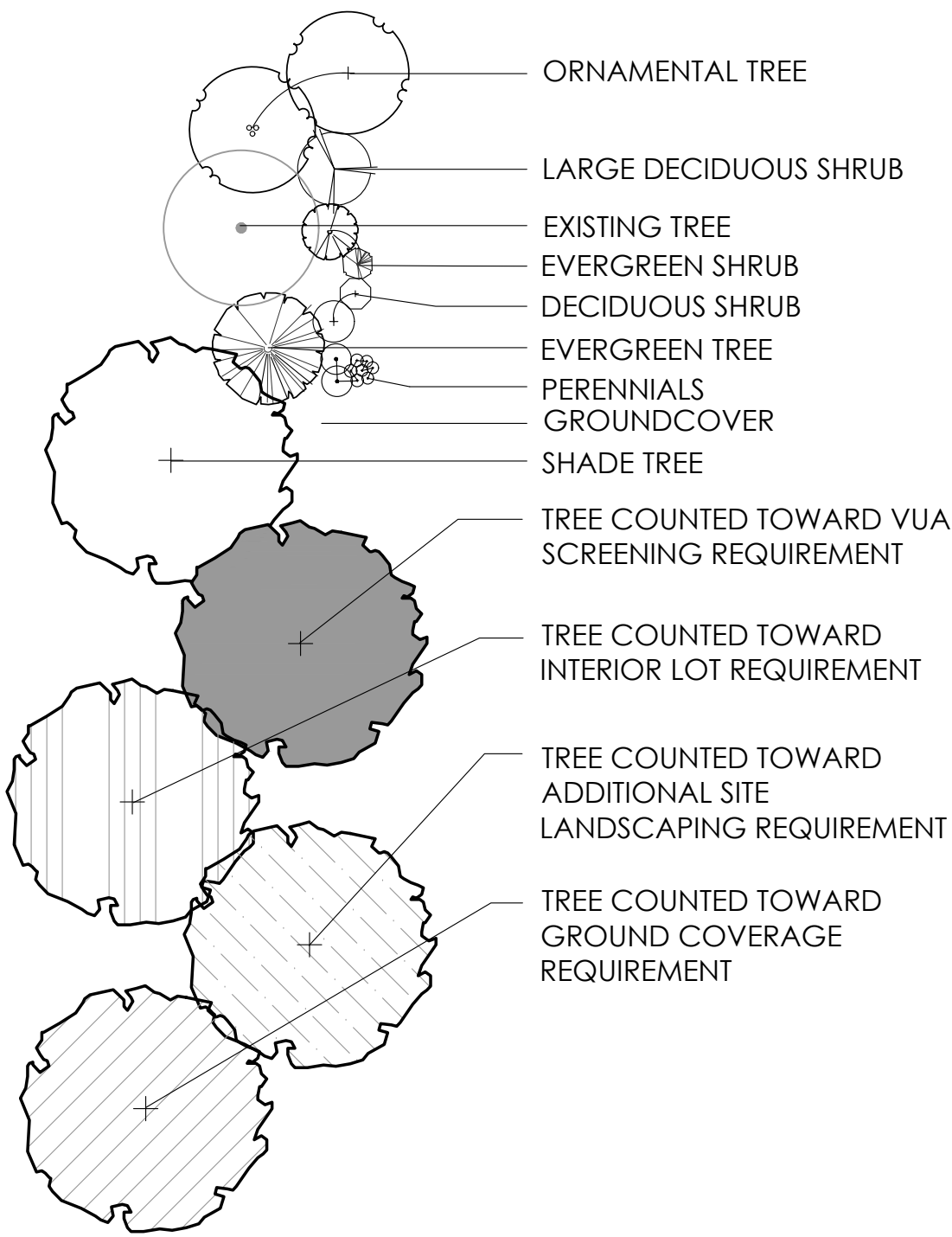
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PLANT KEY TYPICALS

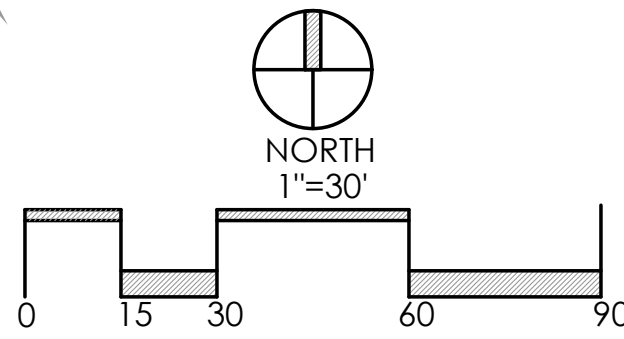
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



LANDSCAPE REQUIREMENTS

REQUIREMENT	REQUIRED	PROVIDED
153.133 (A)(4) PROPERTY PERIMETER REQUIREMENTS	ANY RESIDENTIAL ZONE ADJOINING AN OFFICE OR BUSINESS ZONE, OR VICE VERSA.  1 TREE/40 LINEAL FEET OF BOUNDARY, OFT, PLUS CONTINUOUS 6' HGT. PLANTING, HEDGE, FENCE, WALL OR EARTH MOUND. TREES TO BE FROM GROUP 'A' OR 'B'.  4.8 TREES REQUIRED FOR ±194.76 LINEAL FEET ALONG WESTERN BOUNDARY	EXISTING LANDSCAPE BUFFER ZONE ALONG WESTERN PROPERTY PROVIDED.
153.133 (A)(5) VEHICULAR USE AREA PERIMETER REQUIREMENTS	ANY PUBLIC OR PRIVATE STREET RIGHT OF WAY, ACCESS ROAD, OR SERVICE ROAD ADJOINS ANY VUA OUTSIDE OF CB OR CCC ZONE, OR VICE VERSA  1 TREE/40 LINEAL FEET OF BOUNDARY OF VUA PLUS A 3.5 FOOT AVERAGE HEIGHT CONTINUOUS PLANTING HEDGE, FENCE, WALL OR EARTH MOUND. TREES TO BE FROM GROUP 'A', 'B', OR 'C'.  ± 30 LINEAL FEET ALONG EASTERN BOUNDARY = .75 TREES  ± 101 LINEAL FEET ALONG SOUTHERN BOUNDARY = 2.5 TREES  ± 193 LINEAL FEET ALONG WESTERN BOUNDARY = 4.8 TREES	1 TREE AND EXISTING 3.5' HGT. MOUND PROVIDED ALONG EASTERN BOUNDARY  3 TREES AND EXISTING 3.5' HGT. MOUND PROVIDED ALONG SOUTHERN BOUNDARY  5 TREES AND 3.5' HEIGHT HEDGE PROVIDED ALONG WESTERN BOUNDARY
153.133 (B)(2) INTERIOR LANDSCAPING FOR VEHICULAR USE AREAS	FOR EACH 100 SF OF VEHICULAR USE AREA, A MINIMUM TOTAL OF 5% OF LANDSCAPED AREA SHALL BE PROVIDED. (1) DECIDUOUS TREE PER ISLAND REQUIRED WITH GROUND COVER. NO AREA TO BE LARGER THAN 350 SF AND NO LESS THAN 112 SF. TREES TO BE FROM GROUP 'A' OR 'B'.  ±20,998.76 SF VUA X 5% = ±1,050 SF REQUIRED	±1,082 SF PROVIDED. NO AREA LARGER THAN 350 SF AND NO LESS THAN 112 SF. 
153.133 (B)(3) TREE PLANTING REQUIREMENT (GROUND COVERAGE)	THERE SHALL BE (1) TREE FOR EVERY 5,000 SF OF GROUND COVERAGE. GROUND COVERAGE INCLUDES STRUCTURES AND VUA AREAS. TREES MUST BE 2" CAL. AT INSTALLATION. TREES TO BE FROM GROUP 'A' OR 'B'.  ±31,347.76 SF TOTAL GROUND COVERAGE = 6.26 TREES	7 TREES PROVIDED
153.133 (C) SCREENING FOR SERVICE STRUCTURES	SERVICE STRUCTURES SHALL BE SCREENED IN ALL ZONING DISTRICTS. DUMPSTER AND TRANSFORMER TO BE SCREENED.	DUMPSTER TO BE SCREENED BY MASONRY WALL (SEE ARCHITECTURAL DRAWINGS FOR MORE INFORMATION). TRANSFORMER TO BE SCREENED BY EVERGREEN HEDGE.
153.133 (D) ADDITIONAL SITE LANDSCAPING REQUIREMENTS	THERE SHALL BE TREE PLANTINGS EQUAL TO ONE INCH IN TREE SIZE FOR EVERY 1,500 SF OF BUILDING GROUND COVERAGE, OR FRACTION THEREOF.  BUILDING COVERAGE = ±10,349 SF  LOT WIDTH 91 FEET OR MORE AND BUILDING SETBACK OF 20 FEET OR MORE. 2 LARGE TREES PLUS 1 TREE OF ANY SIZE REQUIRED.	7 INCHES PROVIDED  2 LARGE TREES AND 1 TREE ANY SIZE PROVIDED
PLANNED COMMERCIAL DISTRICT	REQUIRED	PROVIDED
4. LANDSCAPING (C)	STREET TREES ON EACH SIDE OF AN ENTRY DRIVE SHALL BE SET BACK (20) FEET FROM CURB TO ACCENTUATE ENTRY/EXIT POINTS	EXISTING STREET TREES PROVIDED.  RELOCATE 1 EXISTING TREE TO PROPOSED LOCATION.
4. LANDSCAPING (D)	AREA SPECIFIC LANDSCAPING REQUIREMENTS ARE CONTAINED WITHIN EACH SUBAREA STANDARD.  PROJECT SITE LOCATED IN SUBAREA 'C'	LANDSCAPING PROVIDED TO MEET SUB AREA 'C' REQUIREMENTS.
(C) 3.10 LANDSCAPING (2)	THE LANDSCAPING ALONG EMERALD PARKWAY AND RINGS/WOERNER TEMPLE SHALL BE LANDSCAPED AS SHOWN ON EXHIBIT K WHICH CONFORMS WITH THE EMERALD PARKWAY LANDSCAPE PLAN.	SHADE, ORNAMENTAL, DECIDUOUS, EVERGREEN TREES, AND SHRUBS PROVIDED ALONG EMERALD PARKWAY.  ORNAMENTAL TREES PROVIDED ALONG WOERNER TEMPLE ROAD.

PRELIMINARY  
NOT FOR CONSTRUCTION



REVISIONS

LANDSCAPE REQUIREMENTS PLAN

WOERNER-TEMPLE ROAD  
PREPARED FOR  
SHIHAB & ASSOCIATES, CO., LPA  
65 E. STATE STREET, SUITE 1550  
COLUMBUS, OH 43215

Paris Planning & Design  
LAND PLANNING LANDSCAPE ARCHITECTURE  
4876 Cemetery Road  
p. (614) 467-1164  
www.parisplanninganddesign.com

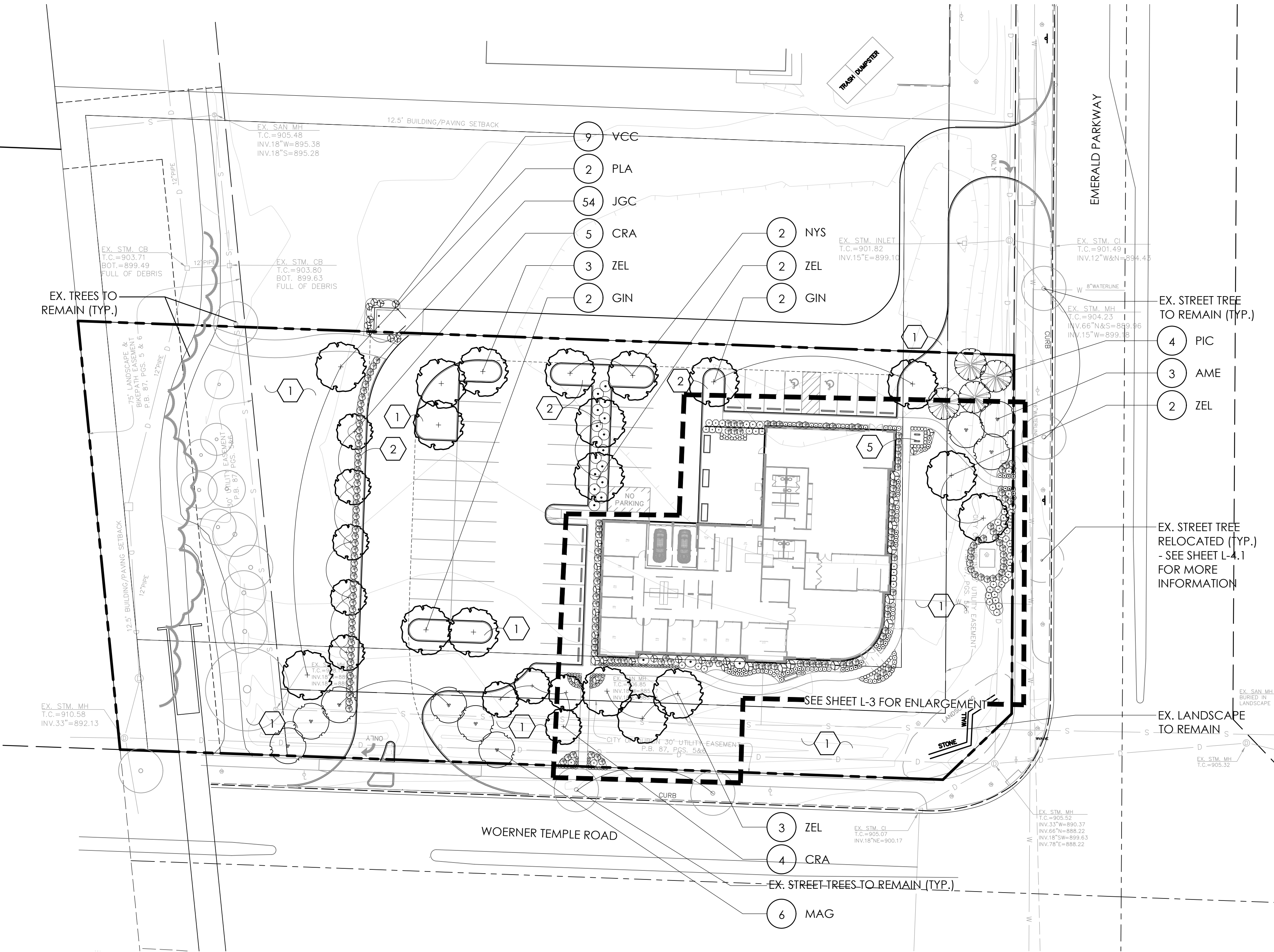
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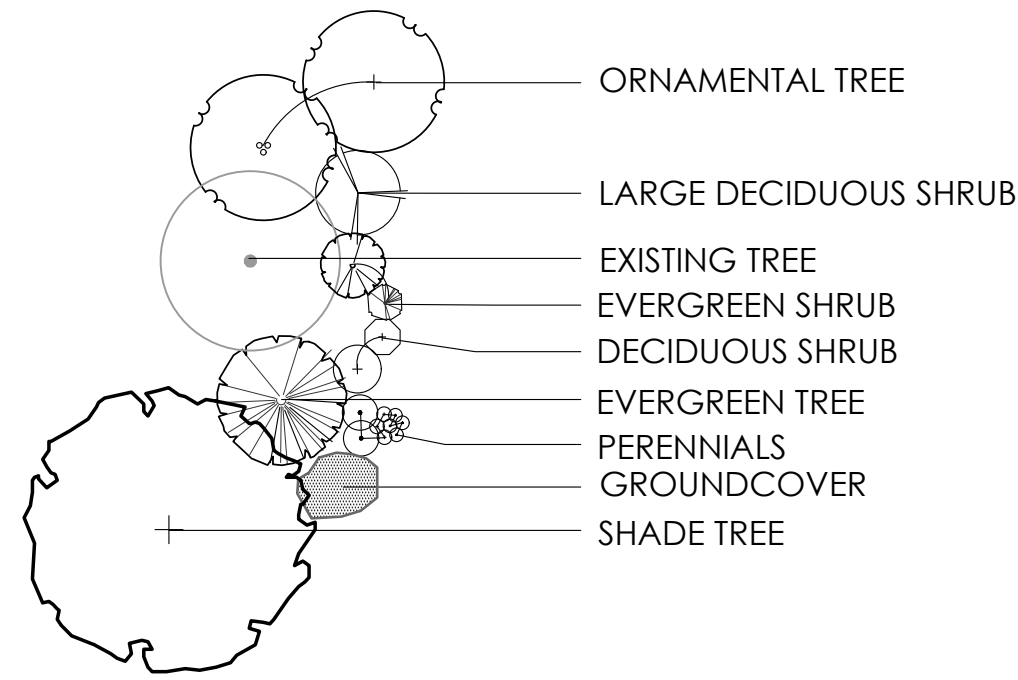
## PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
DECIDUOUS TREES						
4	GIN	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY® MAIDENHAIR TREE	2" CAL.	B&B	
2	NYS	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE TUPELO BLACKGUM	2" CAL.	B&B	
2	PLA	PLATANUS ACE EXCLAMATION	EXCLAMATION LONDON PLANETREE	2" CAL.	B&B	
10	ZEL	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO ZELKOVA	2" CAL.	B&B	
EVERGREEN TREES						
4	PIC	PICEA MEYERI	MEYER'S BLUE SPRUCE	6-7' HGT.	B&B	
ORNAMENTAL TREES						
3	AME	AMELANCHIER X GRANDIFLORA 'ROBIN HILL'	ROBIN HILL SERVICEBERRY	1.5" CAL.	B&B	TREE FORM
9	CRA	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	1.5" CAL.	B&B	TREE FORM
6	MAG	MAGNOLIA VIRGINIANA 'JIM WILSON'	MOONGLOW SWEETBAY MAGNOLIA	1.5" CAL.	B&B	TREE FORM
DECIDUOUS SHRUBS						
9	VCC	VIBURNUM CARLESII 'CAYUGA'	CAYUGA KOREANSPICE VIBURNUM	24" HGT.	B&B	
EVERGREEN SHRUBS						
54	JGC	JUNIPERUS CHI GOLD COAST	GOLD COAST JUNIPER	24" HGT.	B&B	

## PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



## CONSTRUCTION NOTES

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
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- 
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- 

## GENERAL PLANTING NOTES:

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- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
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- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

## REVISIONS


## OVERALL LANDSCAPE PLAN

## WOERNER-TEMPLE ROAD

PREPARED FOR  
SHIHAB & ASSOCIATES, CO., LPA  
65 E. STATE STREET, SUITE 1550  
COLUMBUS, OH 43215

## Paris Planning & Design

LAND PLANNING  
LANDSCAPE ARCHITECTURE  
4876 Cemetery Road  
p. 614.467.1764  
[www.parisplanninganddesign.com](http://www.parisplanninganddesign.com)

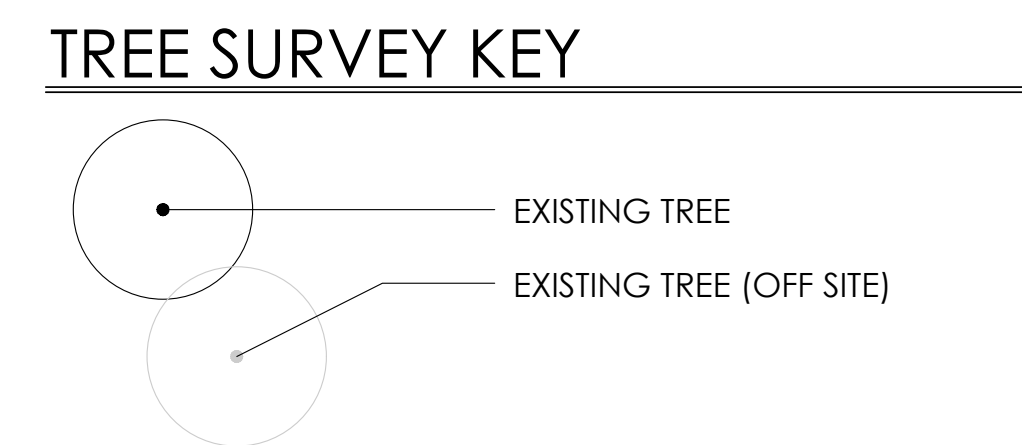
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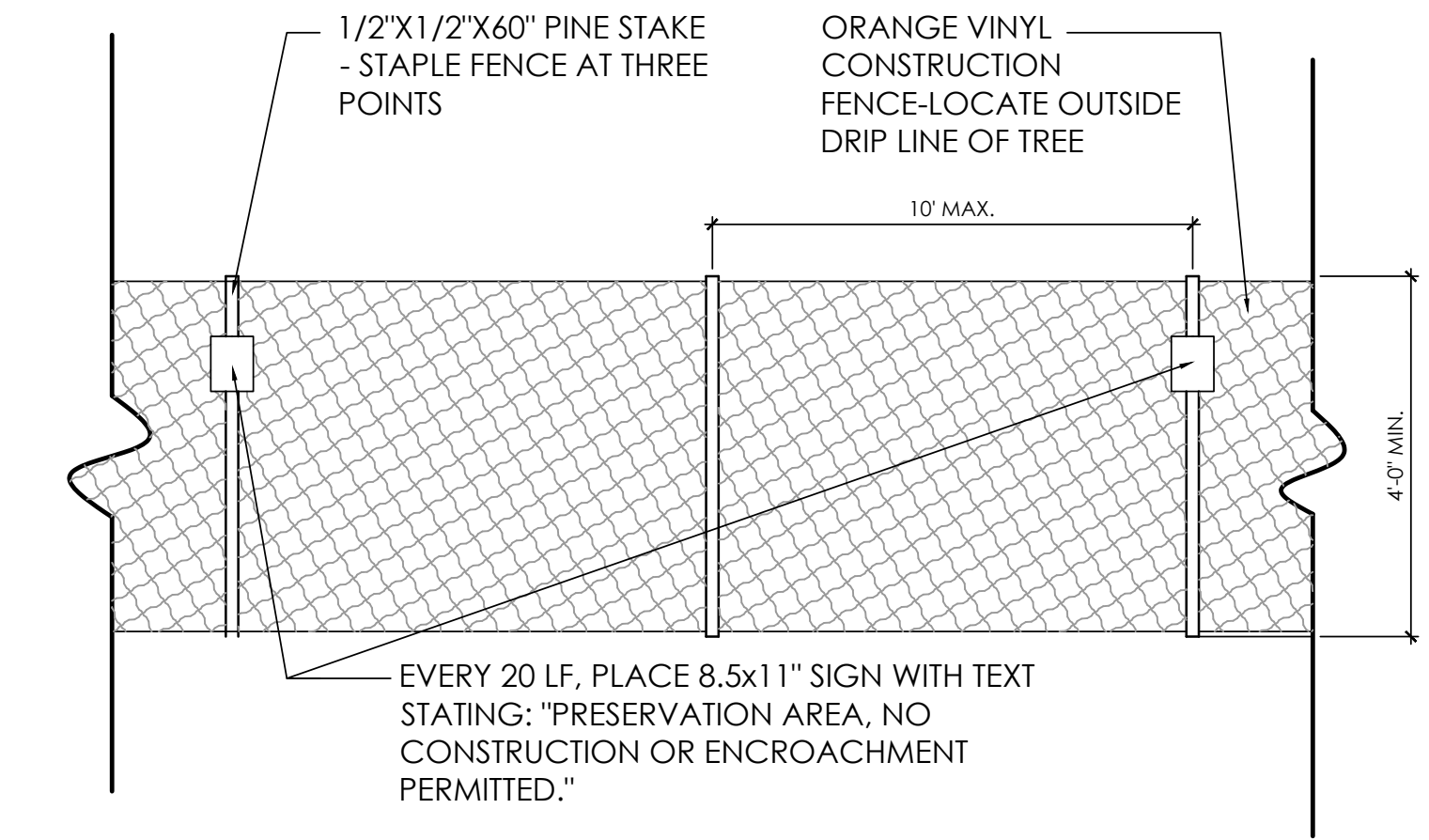
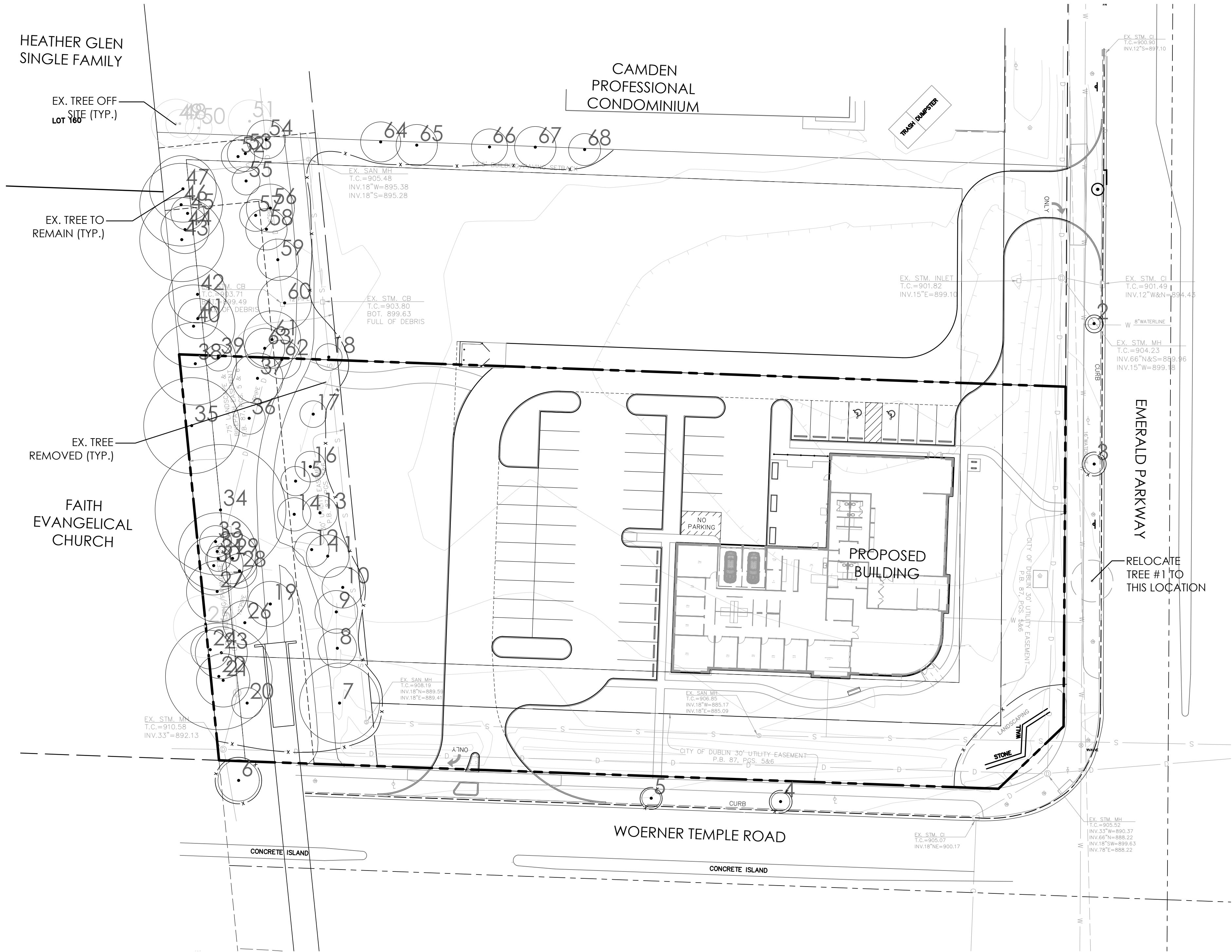
1"=30'

NORTH

PRELIMINARY  
NOT FOR CONSTRUCTION

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<div>WOERNER-TEMPLE ROAD</div> <div>PREPARED FOR</div> <div>SHIHAB &amp; ASSOCIATES, CO., LPA</div> <div>65 E. STATE STREET, SUITE 1550</div> <div>COLUMBUS, OH 43215</div>		<div><div>Faris Planning &amp; Design</div><div>LAND PLANNING • LANDSCAPE ARCHITECTURE</div><div>4876 Cemetery Road</div><div>Hilliard, OH 43026</div><div>p (614) 487-1964</div><div>www.farisplanninganddesign.com</div></div>											
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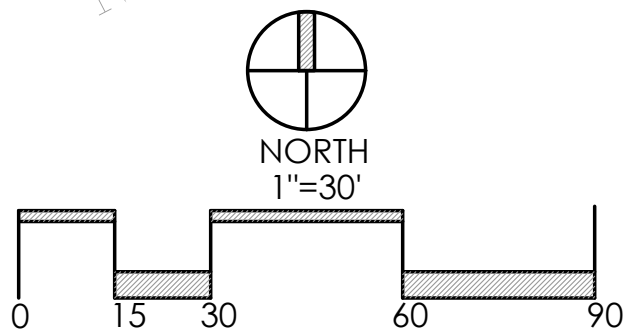




1 TREE PROTECTION FENCE  
N.T.S. 05-2809

TREE SURVEY KEY

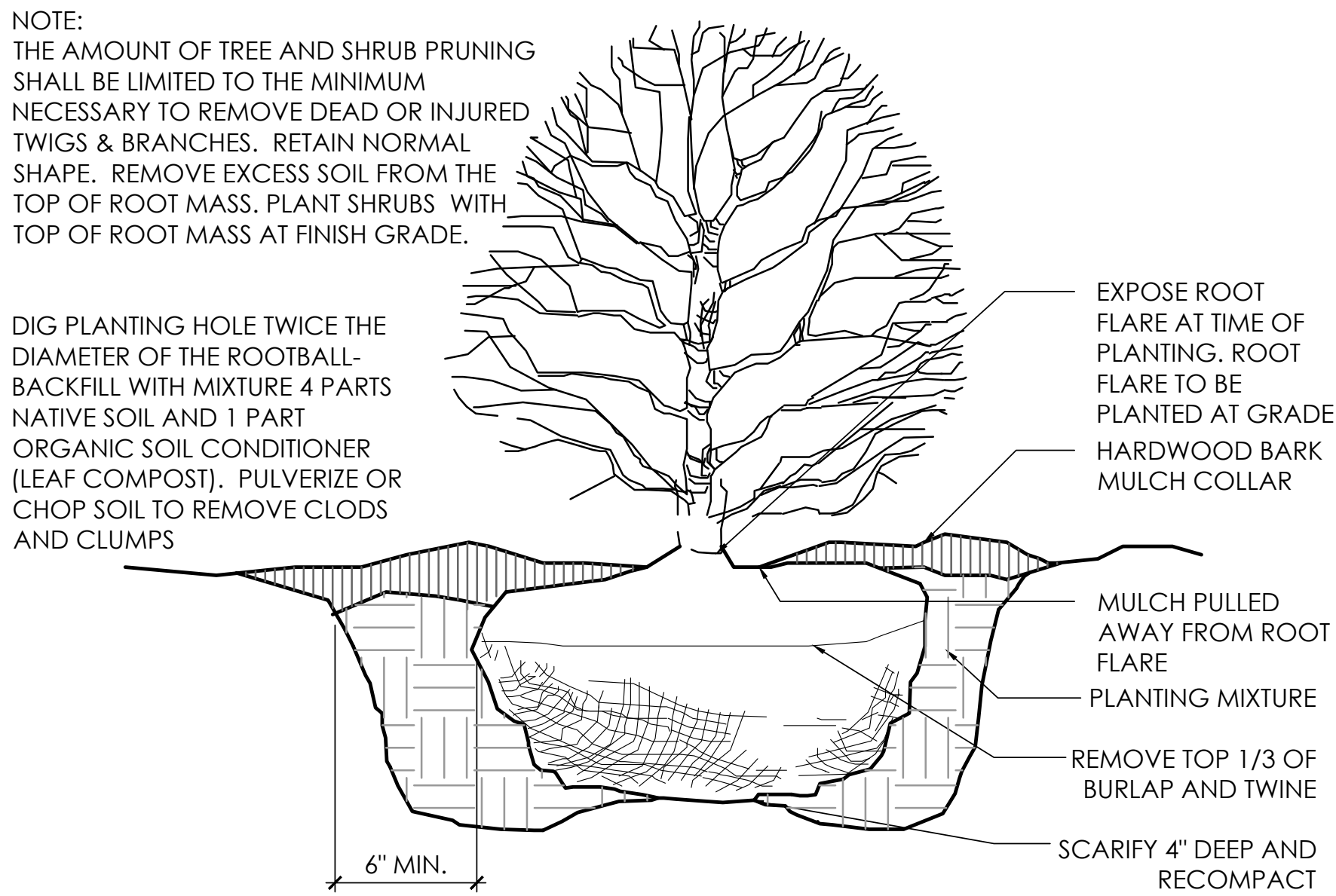
- EXISTING TREE TO REMAIN
- EXISTING TREE (OFF SITE)
- EXISTING TREE (RELOCATED)
- TREE PROTECTION FENCE  
SEE DETAIL 1, THIS SHEET



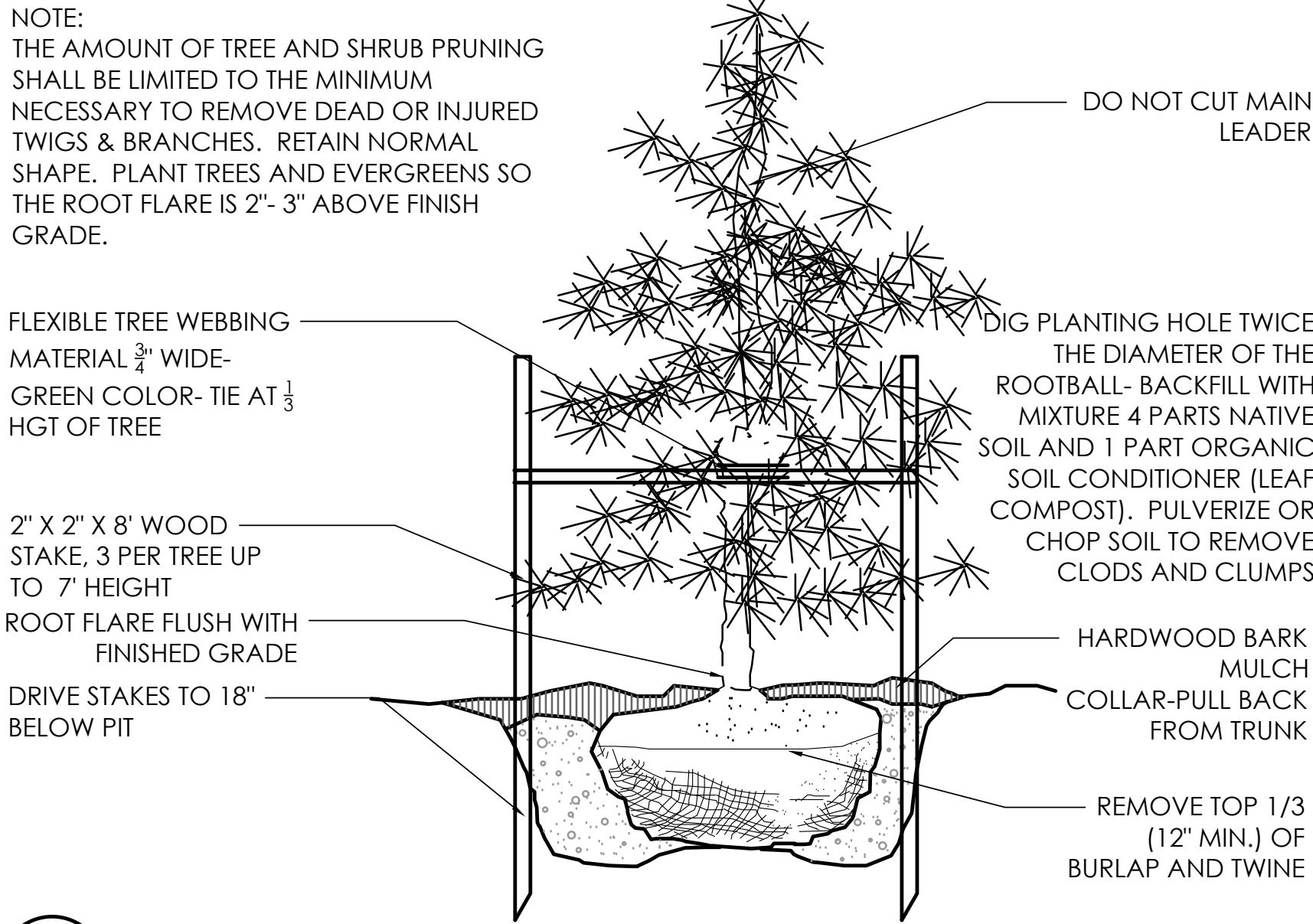
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REVISIONS	
TREE SURVEY (PRESERVATION)	
WOERNER-TEMPLE ROAD PREPARED FOR SHIHAB & ASSOCIATES, CO., LPA 65 E. STATE STREET, SUITE 1550 COLUMBUS, OH 43215	
Paris Planning & Design LAND PLANNING • LANDSCAPE ARCHITECTURE 4876 Cemetery Road p. 614.467.1764 www.parisplanninganddesign.com Hilliard, OH 43026	
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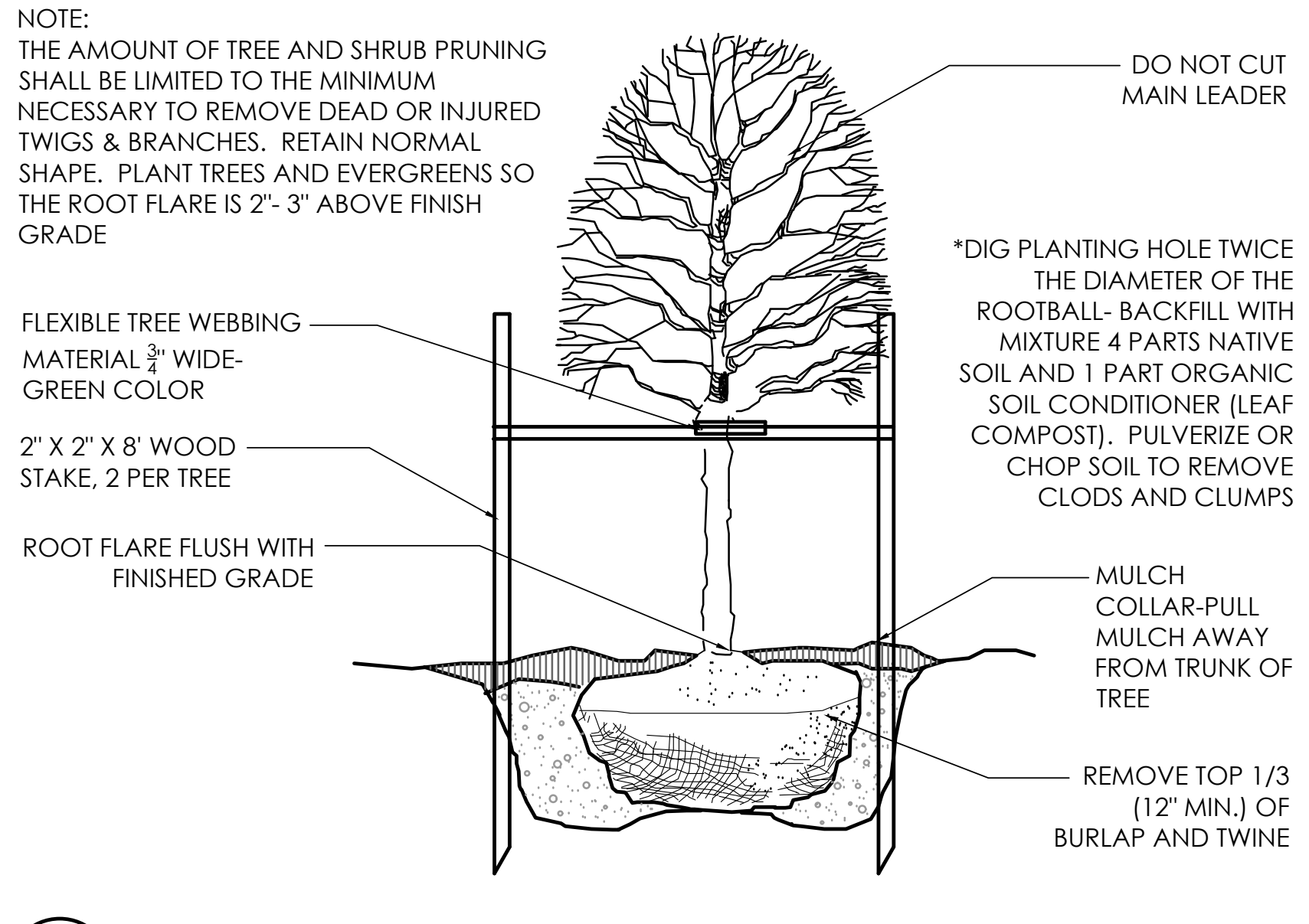




3 SHRUB PLANTING DETAIL  
N.T.S. 01-1300



2 EVERGREEN TREE UNDER 7' HGT.  
N.T.S. 01-1100



1 DECIDUOUS TREE  
N.T.S. 01-1001



6 BIKE RACK (OR OWNER APPROVED EQUAL)  
SCALE: N.T.S.

NOTE:  
- CORDIA BIKE RACK. AVAILABLE THROUGH FORMS AND SURFACES. [WWW.FORMS-SURFACES.COM](http://WWW.FORMS-SURFACES.COM)  
- COLOR AND FINISH BY OWNER.  
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION.



5 BENCH (OR OWNER APPROVED EQUAL)  
SCALE: N.T.S.

NOTE:  
- BALANCE BENCH. AVAILABLE THROUGH FORMS AND SURFACES. [WWW.FORMS-SURFACES.COM](http://WWW.FORMS-SURFACES.COM)  
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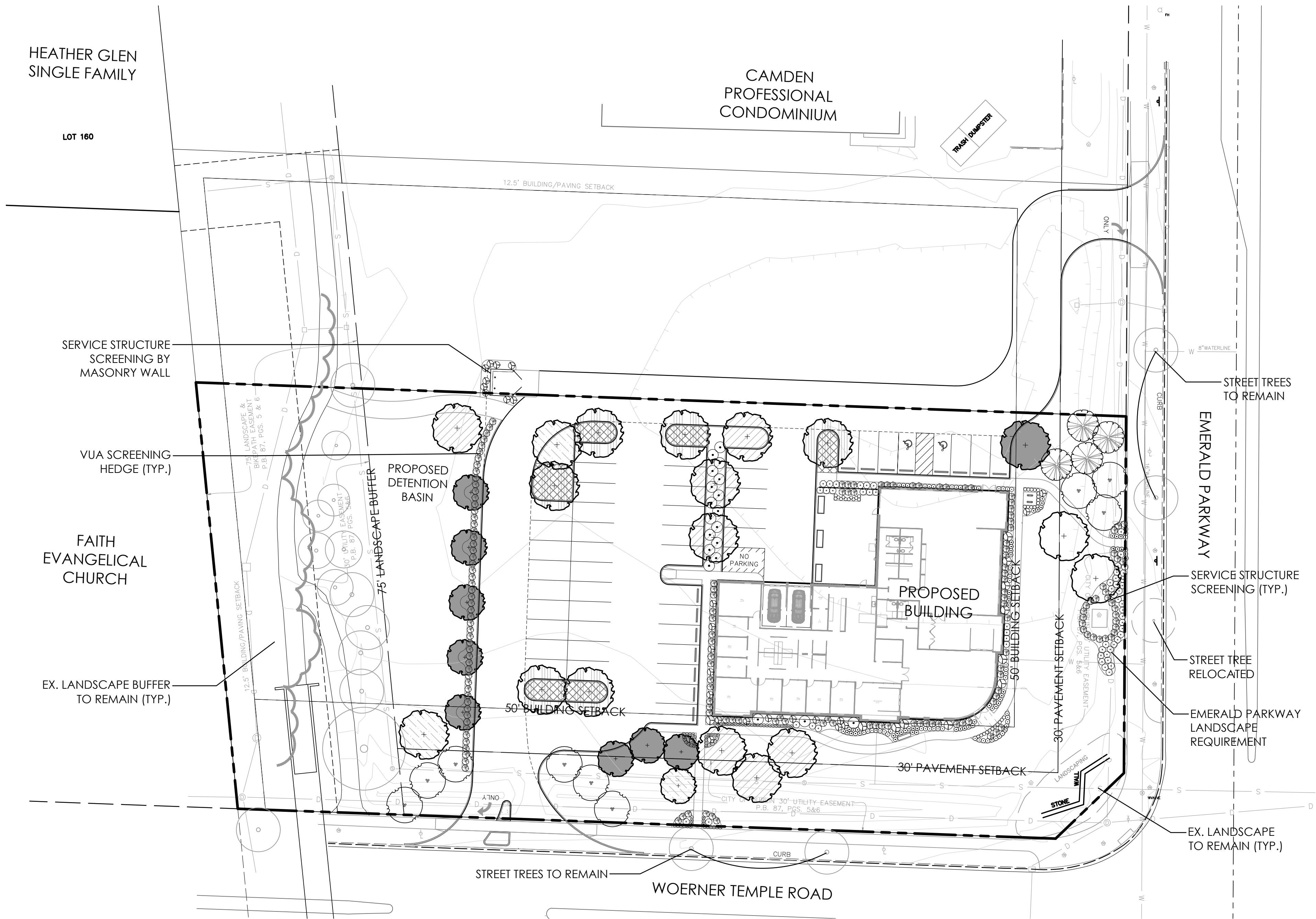
4 6' HEIGHT DECORATIVE SCREENING (OR OWNER APPROVED EQUAL)  
SCALE: N.T.S.

NOTE:  
- POSTS AND RAILS TO BE PRESSURE TREATED  
- CLADDING TO BE CEDAR OR COMPOSITE. FINAL PANEL SELECTION BY OWNER.  
- ALL STRUCTURE MEMBERS TO BE STAINED/PAINTED TO COMPLIMENT ARCHITECTURE OF BUILDING.

PRELIMINARY  
NOT FOR CONSTRUCTION

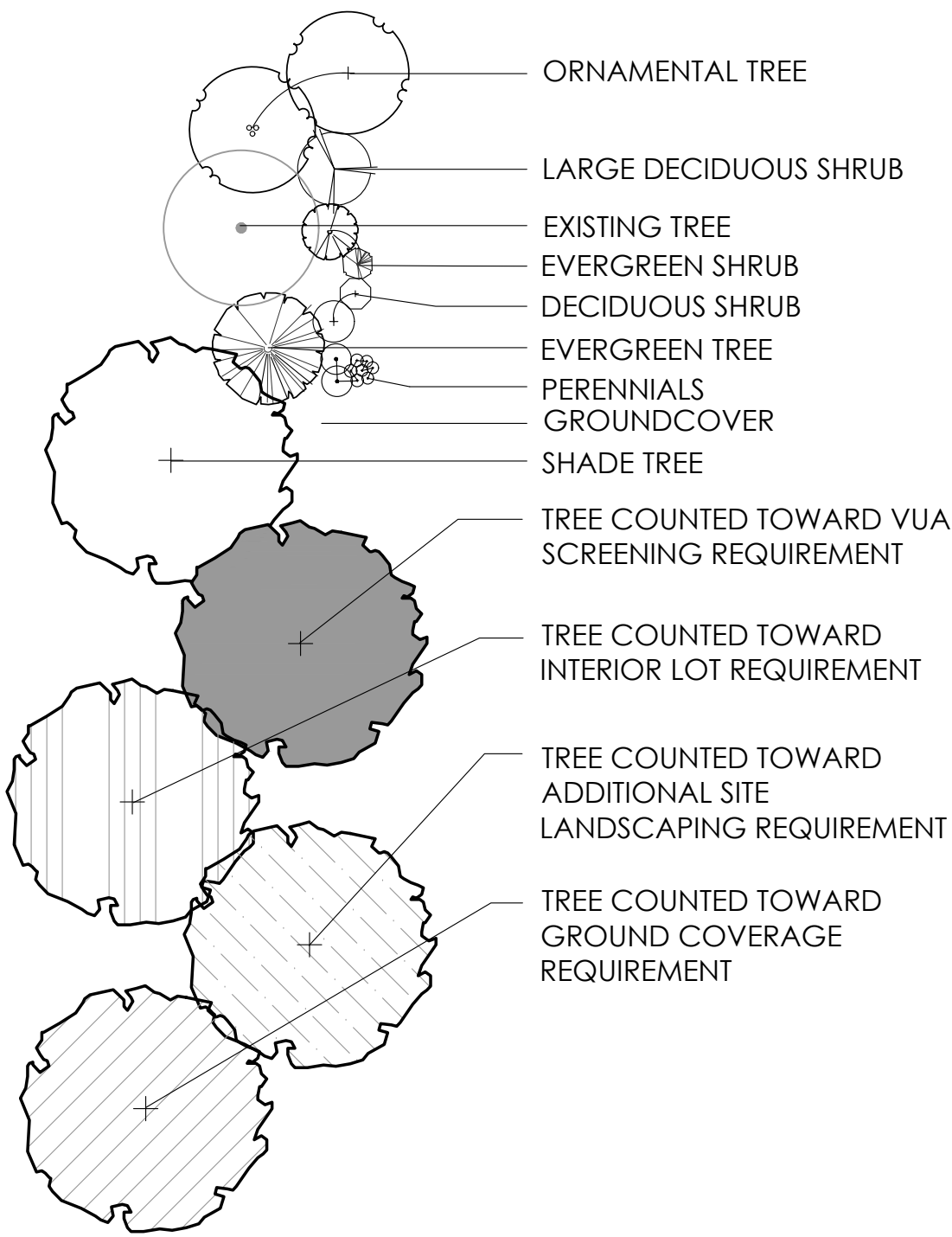
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SITE DETAILS I	
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Paris Planning & Design LANDSCAPE ARCHITECTURE Hilliard, OH 43026 4876 Cemetery Road p (614) 467-1964 <a href="http://www.parisplanninganddesign.com">www.parisplanninganddesign.com</a>	
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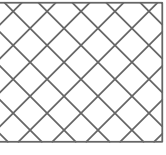


PLANT KEY TYPICALS

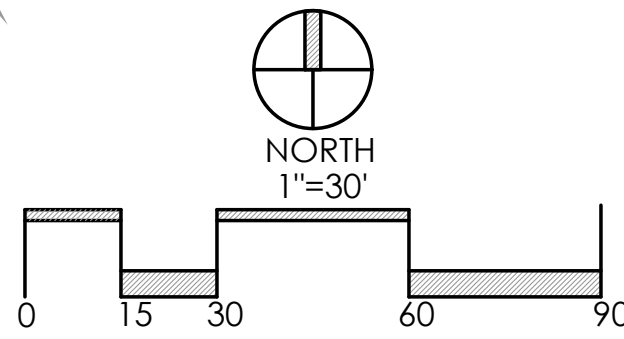
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



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153.133 (B)(3) TREE PLANTING REQUIREMENT (GROUND COVERAGE)	THERE SHALL BE (1) TREE FOR EVERY 5,000 SF OF GROUND COVERAGE. GROUND COVERAGE INCLUDES STRUCTURES AND VUA AREAS. TREES MUST BE 2" CAL. AT INSTALLATION. TREES TO BE FROM GROUP 'A' OR 'B'.  ±31,347.76 SF TOTAL GROUND COVERAGE = 6.26 TREES	7 TREES PROVIDED
153.133 (C) SCREENING FOR SERVICE STRUCTURES	SERVICE STRUCTURES SHALL BE SCREENED IN ALL ZONING DISTRICTS. DUMPSTER AND TRANSFORMER TO BE SCREENED.	DUMPSTER TO BE SCREENED BY MASONRY WALL (SEE ARCHITECTURAL DRAWINGS FOR MORE INFORMATION). TRANSFORMER TO BE SCREENED BY EVERGREEN HEDGE.
153.133 (D) ADDITIONAL SITE LANDSCAPING REQUIREMENTS	THERE SHALL BE TREE PLANTINGS EQUAL TO ONE INCH IN TREE SIZE FOR EVERY 1,500 SF OF BUILDING GROUND COVERAGE, OR FRACTION THEREOF.  BUILDING COVERAGE = ±10,349 SF  LOT WIDTH 91 FEET OR MORE AND BUILDING SETBACK OF 20 FEET OR MORE. 2 LARGE TREES PLUS 1 TREE OF ANY SIZE REQUIRED.	7 INCHES PROVIDED  2 LARGE TREES AND 1 TREE ANY SIZE PROVIDED
PLANNED COMMERCIAL DISTRICT	REQUIRED	PROVIDED
4. LANDSCAPING (C)	STREET TREES ON EACH SIDE OF AN ENTRY DRIVE SHALL BE SET BACK (20) FEET FROM CURB TO ACCENTUATE ENTRY/EXIT POINTS	EXISTING STREET TREES PROVIDED.  RELOCATE 1 EXISTING TREE TO PROPOSED LOCATION.
4. LANDSCAPING (D)	AREA SPECIFIC LANDSCAPING REQUIREMENTS ARE CONTAINED WITHIN EACH SUBAREA STANDARD.  PROJECT SITE LOCATED IN SUBAREA 'C'	LANDSCAPING PROVIDED TO MEET SUB AREA 'C' REQUIREMENTS.
(C) 3.10 LANDSCAPING (2)	THE LANDSCAPING ALONG EMERALD PARKWAY AND RINGS/WOERNER TEMPLE SHALL BE LANDSCAPED AS SHOWN ON EXHIBIT K WHICH CONFORMS WITH THE EMERALD PARKWAY LANDSCAPE PLAN.	SHADE, ORNAMENTAL, DECIDUOUS, EVERGREEN TREES, AND SHRUBS PROVIDED ALONG EMERALD PARKWAY.  ORNAMENTAL TREES PROVIDED ALONG WOERNER TEMPLE ROAD.

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REVISIONS

LANDSCAPE REQUIREMENTS PLAN

WOERNER-TEMPLE ROAD  
PREPARED FOR  
SHIHAB & ASSOCIATES, CO., LPA  
65 E. STATE STREET, SUITE 1550  
COLUMBUS, OH 43215

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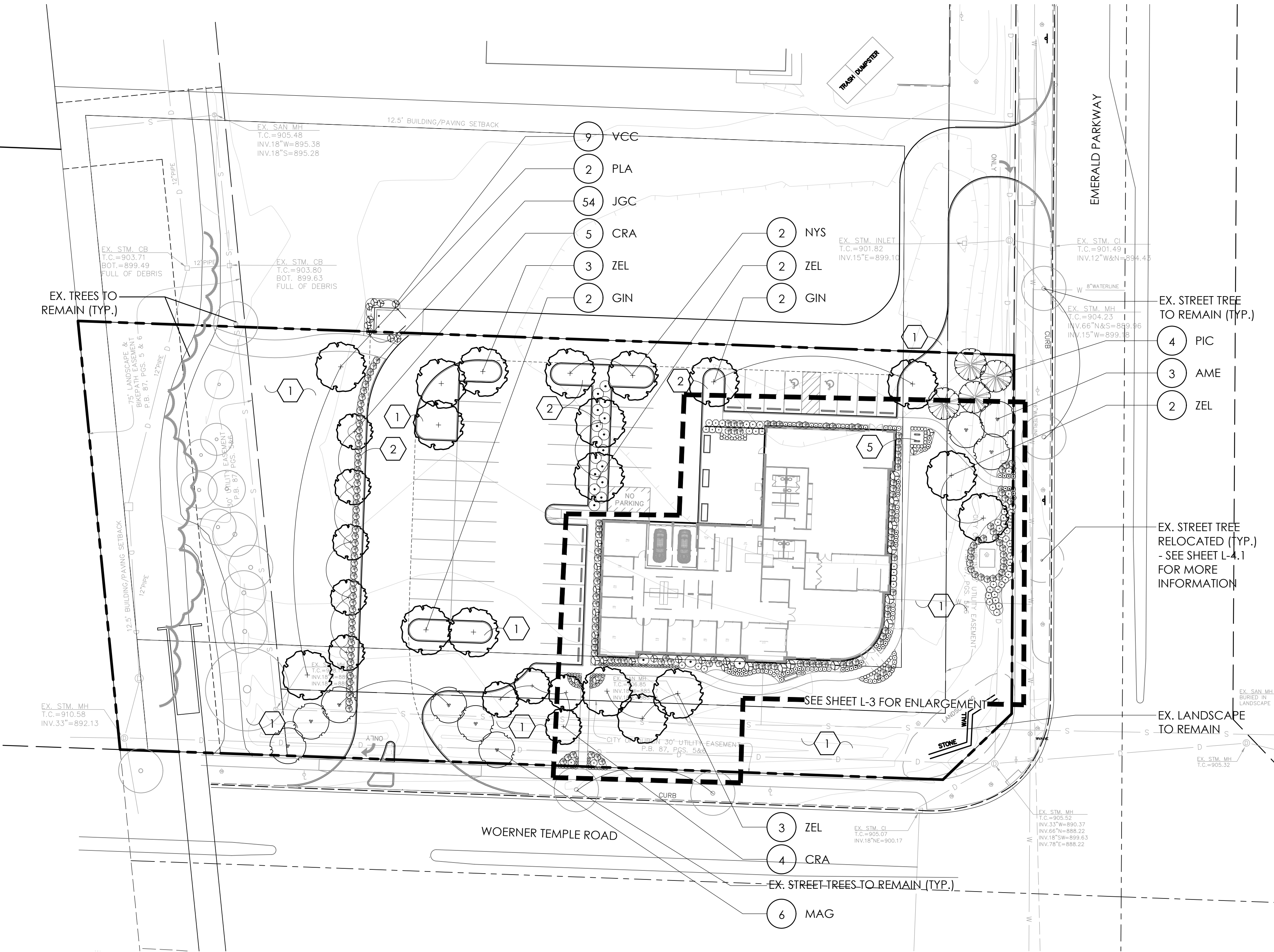
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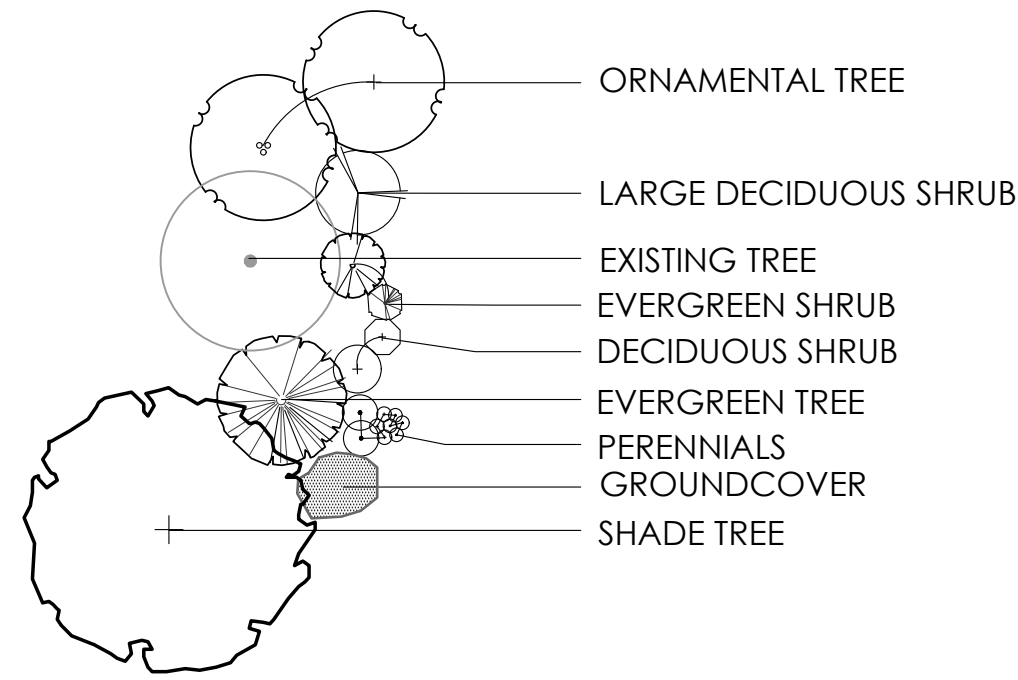
## PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
DECIDUOUS TREES						
4	GIN	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY® MAIDENHAIR TREE	2" CAL.	B&B	
2	NYS	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE TUPELO BLACKGUM	2" CAL.	B&B	
2	PLA	PLATANUS ACE EXCLAMATION	EXCLAMATION LONDON PLANETREE	2" CAL.	B&B	
10	ZEL	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO ZELKOVA	2" CAL.	B&B	
EVERGREEN TREES						
4	PIC	PICEA MEYERI	MEYER'S BLUE SPRUCE	6-7' HGT.	B&B	
ORNAMENTAL TREES						
3	AME	AMELANCHIER X GRANDIFLORA 'ROBIN HILL'	ROBIN HILL SERVICEBERRY	1.5" CAL.	B&B	TREE FORM
9	CRA	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	1.5" CAL.	B&B	TREE FORM
6	MAG	MAGNOLIA VIRGINIANA 'JIM WILSON'	MOONGLOW SWEETBAY MAGNOLIA	1.5" CAL.	B&B	TREE FORM
DECIDUOUS SHRUBS						
9	VCC	VIBURNUM CARLESII 'CAYUGA'	CAYUGA KOREANSPICE VIBURNUM	24" HGT.	B&B	
EVERGREEN SHRUBS						
54	JGC	JUNIPERUS CHI GOLD COAST	GOLD COAST JUNIPER	24" HGT.	B&B	

## PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



## CONSTRUCTION NOTES

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA. PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES. CORDIA BIKE RACK, OR OWNER APPROVED EQUAL. AVAILABLE THROUGH [WWW.FORMS-SURFACES.COM](http://WWW.FORMS-SURFACES.COM). COLOR AND FINISH BY OWNER. SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
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## GENERAL PLANTING NOTES:

- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

## REVISIONS

## OVERALL LANDSCAPE PLAN

## WOERNER-TEMPLE ROAD

PREPARED FOR  
SHIHAB & ASSOCIATES, CO., LPA  
65 E. STATE STREET, SUITE 1550  
COLUMBUS, OH 43215

## Paris Planning & Design

LAND PLANNING  
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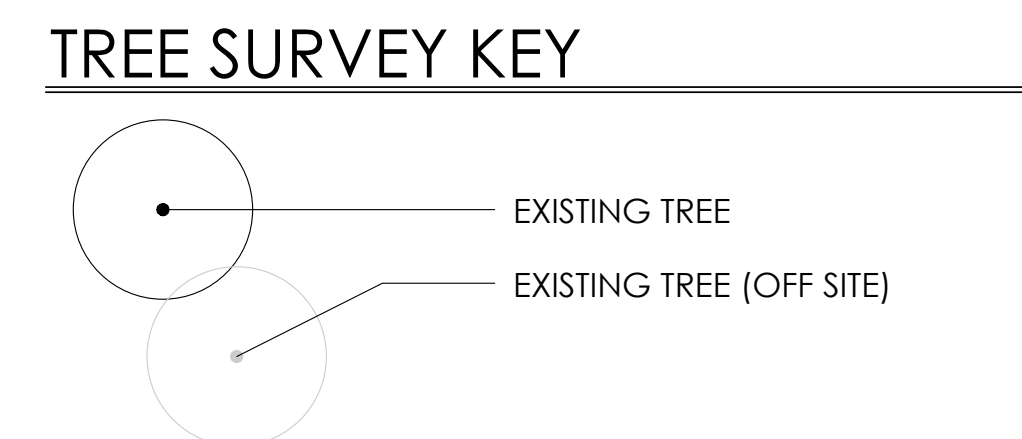
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<div style="display: flex; justify-content: space-between;"> <div> <p><b>Paris Planning &amp; Design</b></p> <hr/> <p>LAND PLANNING • LANDSCAPE ARCHITECTURE</p> <p>4876 Cemetery Road p (614) 487-1964</p> </div> <div> <p>LANDSCAPE ARCHITECTURE Hilliard, OH 43026 <a href="http://www.parisplanninganddesign.com">www.parisplanninganddesign.com</a></p> </div> </div>		<p><b>WOERNER-TEMPLE ROAD</b></p> <p>PREPARED FOR</p> <p><b>SHIHAB &amp; ASSOCIATES, CO., LPA</b></p> <p>65 E. STATE STREET, SUITE 1550 COLUMBUS, OH 43215</p>		<p><b>LANDSCAPE ENLARGEMENT</b></p>	
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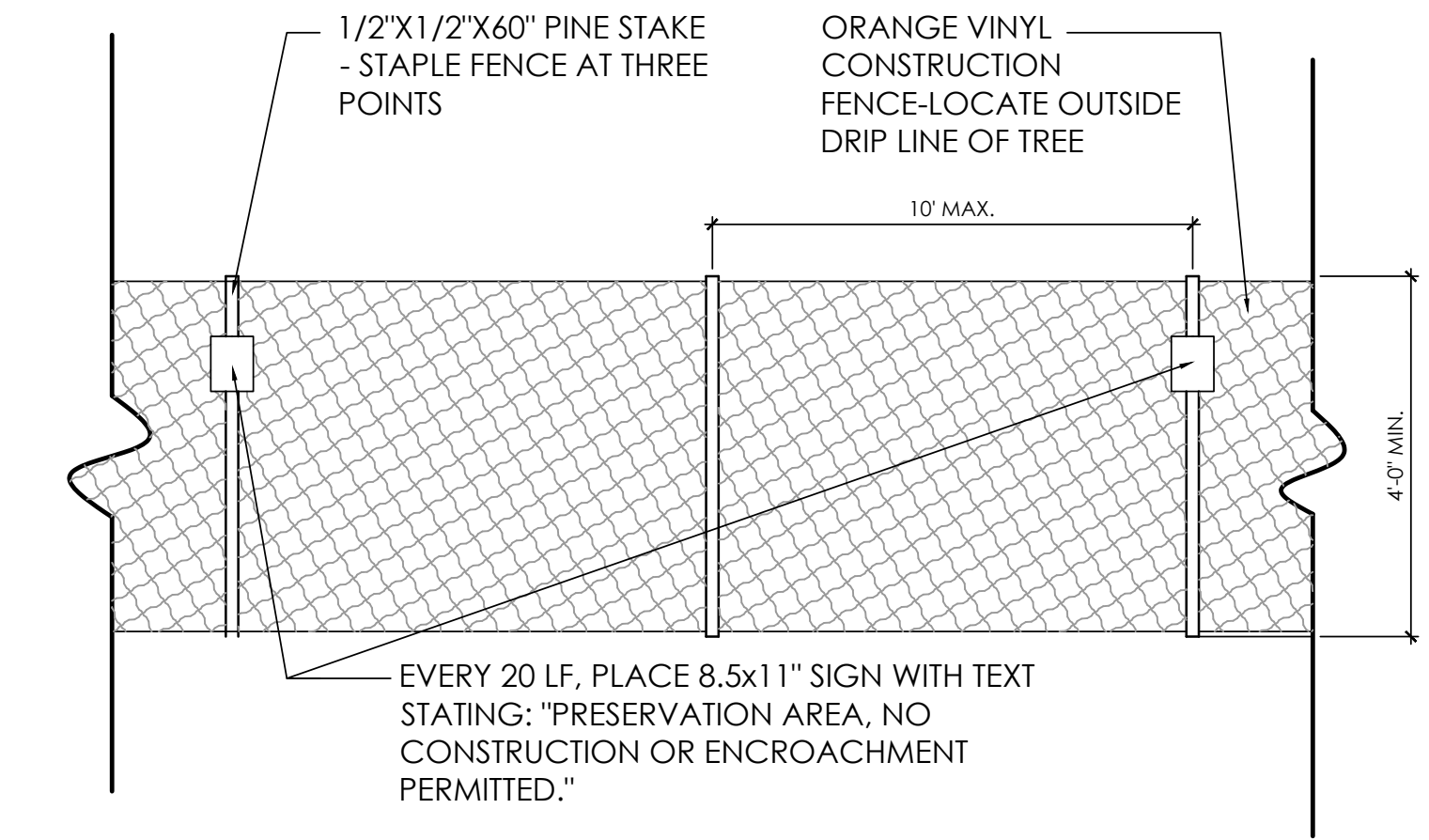
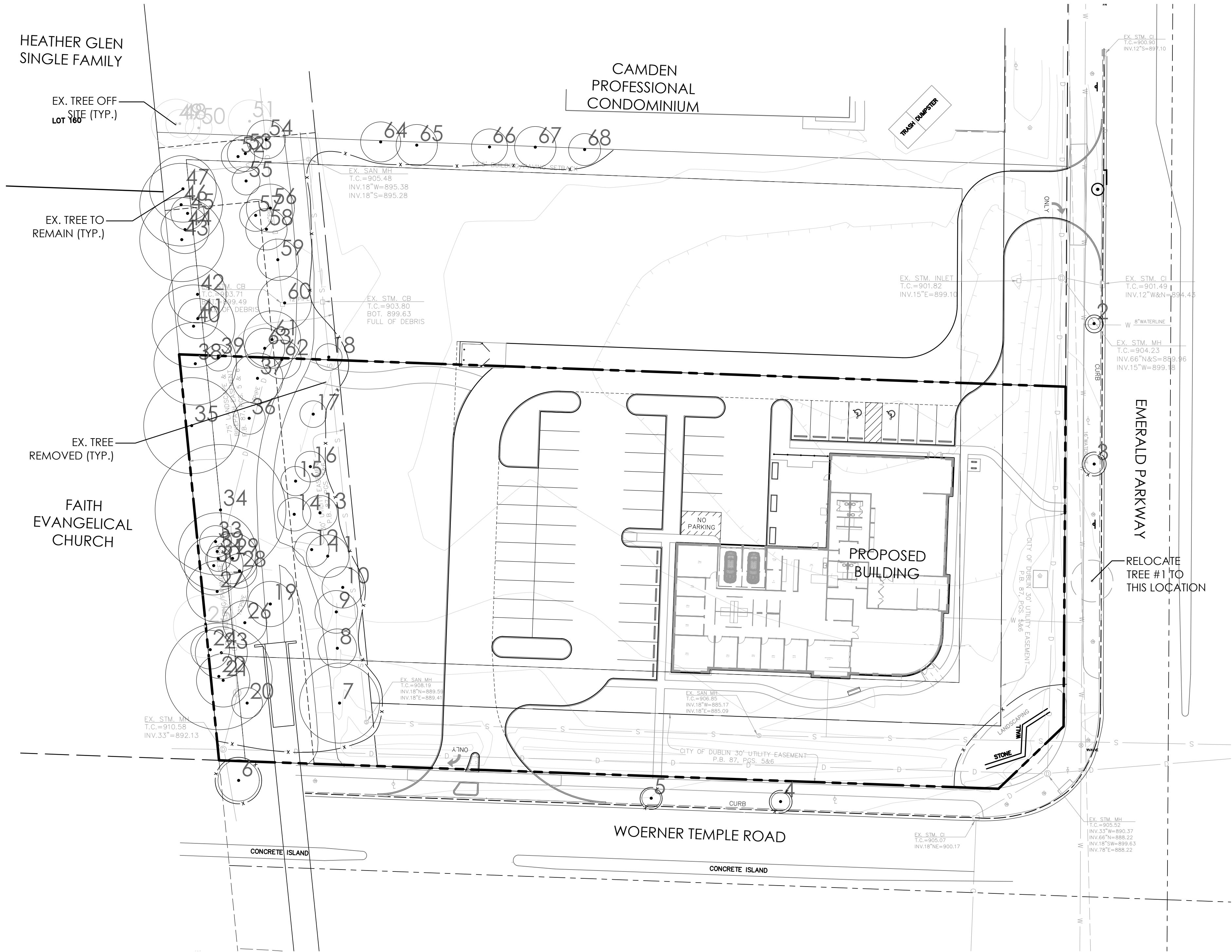
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NORTH  
1"=30'

0 15 30 60 90

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<p><b>L-4</b></p>							

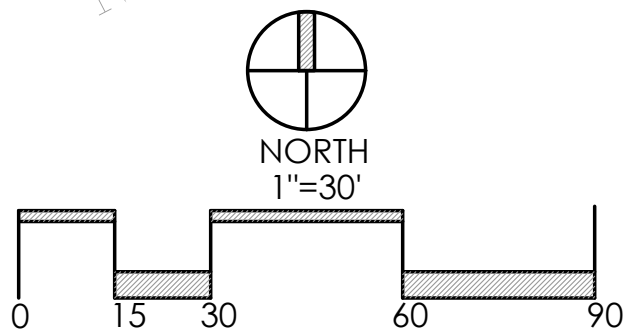




1 TREE PROTECTION FENCE  
N.T.S. 05-2809

TREE SURVEY KEY

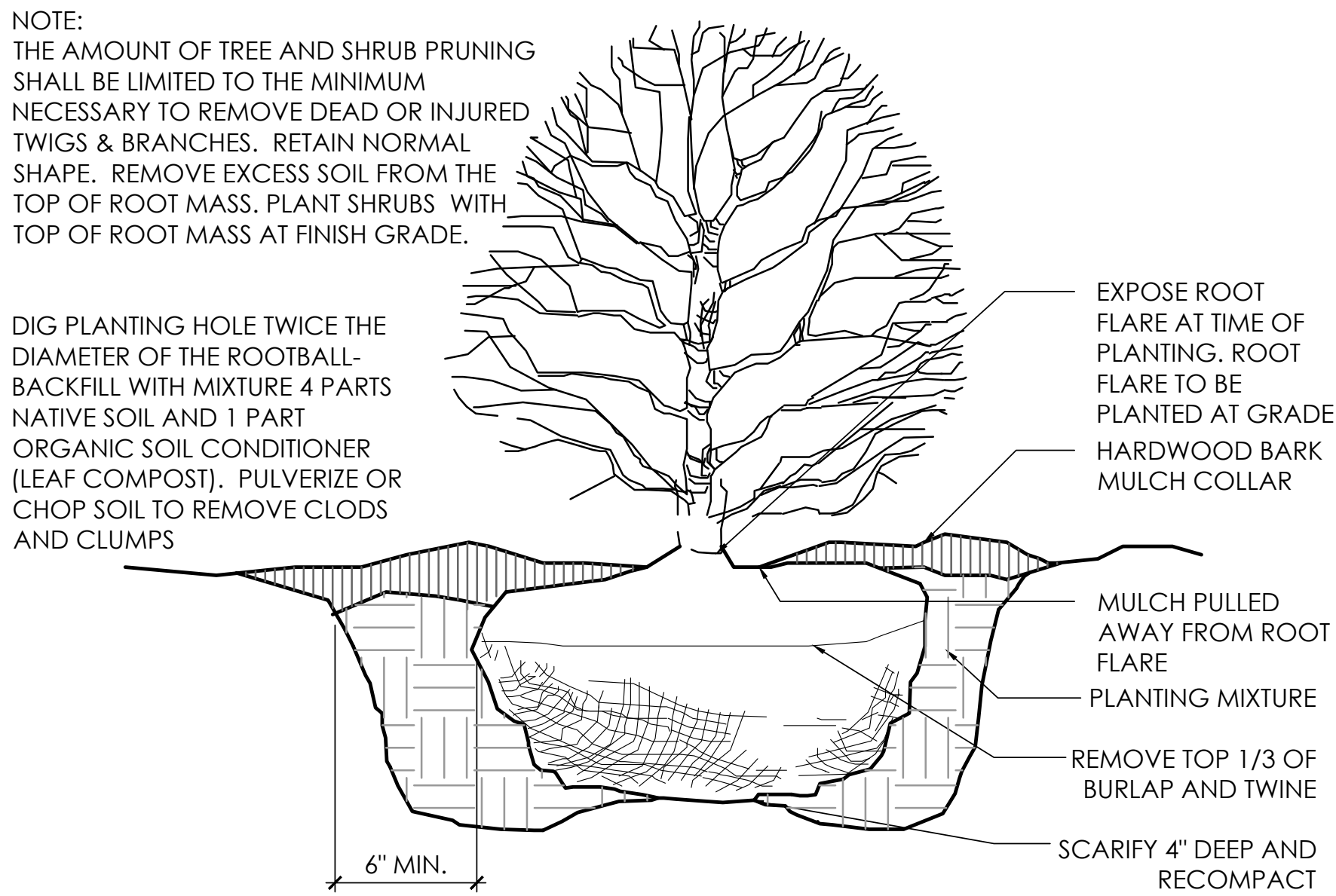
- EXISTING TREE TO REMAIN
- EXISTING TREE (OFF SITE)
- EXISTING TREE (RELOCATED)
- TREE PROTECTION FENCE  
SEE DETAIL 1, THIS SHEET



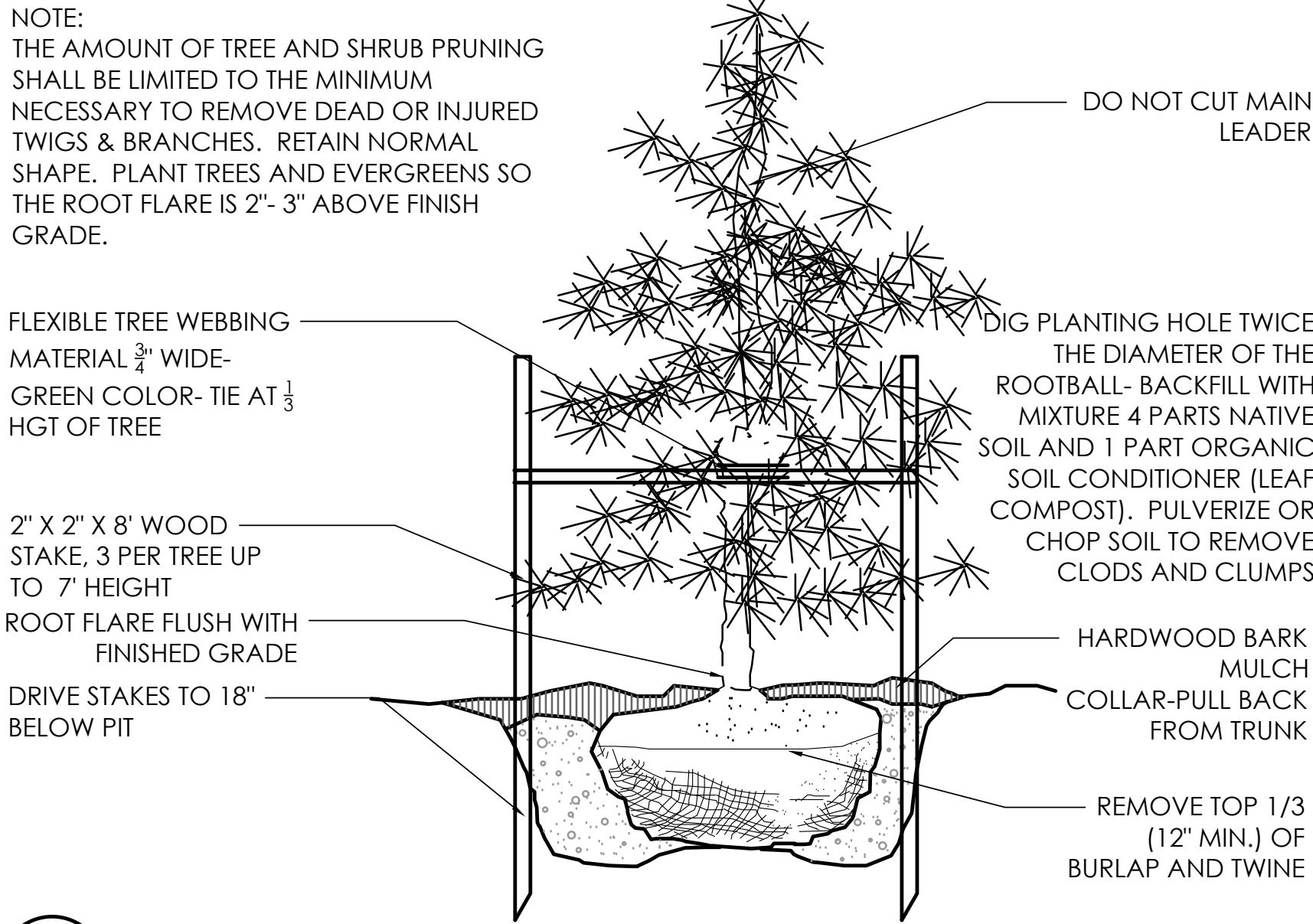
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REVISIONS	
TREE SURVEY (PRESERVATION)	
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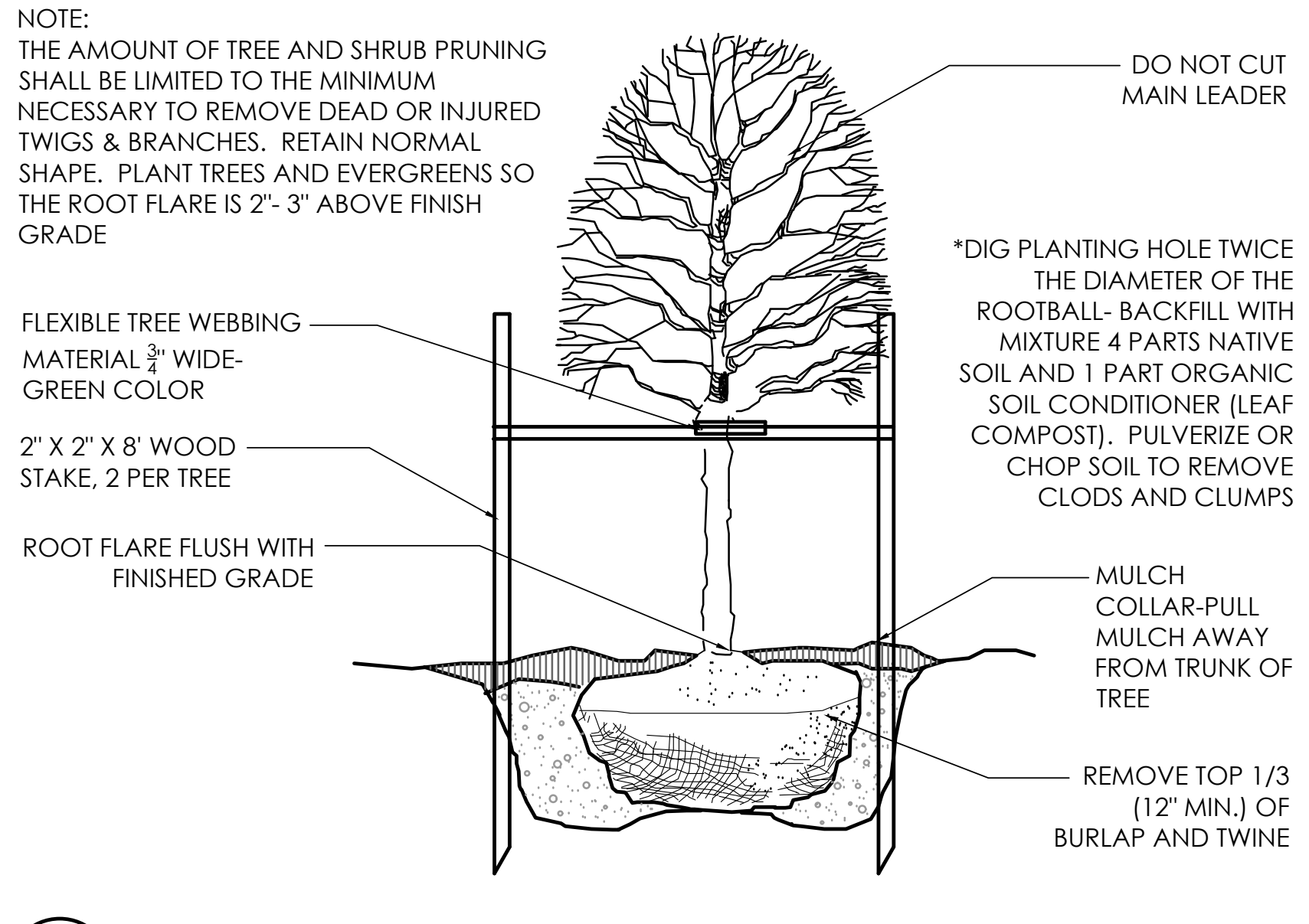




3 SHRUB PLANTING DETAIL  
N.T.S. 01-1300



2 EVERGREEN TREE UNDER 7' HGT.  
N.T.S. 01-1100



1 DECIDUOUS TREE  
N.T.S. 01-1001



6 BIKE RACK (OR OWNER APPROVED EQUAL)  
SCALE: N.T.S.

NOTE:  
- CORDIA BIKE RACK. AVAILABLE THROUGH FORMS AND SURFACES. [WWW.FORMS-SURFACES.COM](http://WWW.FORMS-SURFACES.COM)  
- COLOR AND FINISH BY OWNER.  
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION.



5 BENCH (OR OWNER APPROVED EQUAL)  
SCALE: N.T.S.

NOTE:  
- BALANCE BENCH. AVAILABLE THROUGH FORMS AND SURFACES. [WWW.FORMS-SURFACES.COM](http://WWW.FORMS-SURFACES.COM)  
- COLOR AND FINISH BY OWNER.  
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION.



4 6' HEIGHT DECORATIVE SCREENING (OR OWNER APPROVED EQUAL)  
SCALE: N.T.S.

NOTE:  
- POSTS AND RAILS TO BE PRESSURE TREATED  
- CLADDING TO BE CEDAR OR COMPOSITE. FINAL PANEL SELECTION BY OWNER.  
- ALL STRUCTURE MEMBERS TO BE STAINED/PAINTED TO COMPLIMENT ARCHITECTURE OF BUILDING.

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REVISIONS	
SITE DETAILS I	
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