

	Date
Preliminary	000000
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**A. GENERAL NOTES**

- ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE DRAWINGS SHALL COMPLY WITH THE 2019 RCO AND THE REQUIREMENTS OF THE CITY OF DUBLIN, OHIO BUILDING DEPARTMENT
- RADON-RESISTANT CONSTRUCTION TECHNIQUES MEETING THE REQUIREMENTS OF THE CURRENT INTERNATIONAL RESIDENTIAL CODE APPENDIX F SHALL BE USED, HOWEVER IT IS NOT THE ARCHITECT'S RESPONSIBILITY TO DETERMINE IF A RADON ABATEMENT OR MITIGATION SYSTEM IS REQUIRED
- THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO DESIGN INFORMATION PRESENTED ON THESE DRAWINGS AND DOES NOT EXTEND TO METHODS OF CONSTRUCTION, MATERIALS, OR FINISHES USED IN THE FIELD
- ALL DIMENSIONS ON THIS DRAWING ARE VARIABLE TO THE EXTENT OF NORMAL DIMENSIONAL TOLERANCES IN THE FIELD AND DO NOT TAKE INTO ACCOUNT THE NORMAL AND EXPECTED SHRINKAGE AND SETTLING OF BUILDING MATERIALS
- THESE DRAWINGS ARE ABBREVIATED AND ARE NOT INTENDED TO SPECIFY ALL DETAILS NECESSARY FOR CONSTRUCTION. THE BUILDER AND OWNER WORKING TOGETHER WILL MAKE ALL DECISIONS AND SELECTIONS NECESSARY FOR CONSTRUCTION
- THE OWNER AND HIS CONTRACTOR ARE RESPONSIBLE FOR CONSTRUCTING A STRUCTURALLY SOUND AND WEATHERPROOF FINISHED BUILDING.

**B. MECHANICAL AND ELECTRICAL**

- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS WILL BE DESIGNED AND INSTALLED BY SUBCONTRACTORS PER OWNER'S REQUIREMENTS, AND PER APPLICABLE CODES
- RCO 1102.4.1.2 TESTING: THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT MORE THAN FIVE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779 OR ASTM E287 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.
- RCO 1102.4.1.2 PROGRAMMABLE THERMOSTADT THE THERMOSTAT CONTROLLING THE PRIMARY HEATING OR COOLING SYSTEM OF THE DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES OF NOT LESS THAN 55°F TO NOT GREATER THAN 85°F. THE THERMOSTAT SHALL BE PROGRAMMED INITIALLY BY THE MANUFACTURER WITH A HEATING TEMPERATURE SETPOINT OF NOT GREATER THAN 70°F AND A COOLING TEMPERATURE SETPOINT OF NOT LESS THAN 70°F.
- RCO 1103.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:
  - ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
  - POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST
- RCO 1103.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT COMPLIES WITH THE REQUIREMENTS OF SECTION 1505 OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- RCO 1104.1 LIGHTING EQUIPMENT (MANDATORY) NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

**C. FIRE SAFETY/FIRE-RESISTIVE CONSTRUCTION**

- ORC 302.7 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD
- ORC 314.2 SMOKE DETECTORS AND CO2 DETECTORS SHALL BE INTERCONNECTED AND SHALL BE INSTALLED IN:
  - ALL SLEEPING ROOMS
  - OUTSIDE, AND IN THE IMMEDIATE VICINITY OF, EACH SLEEPING ROOM
  - ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS
- ORC 316.1 FOAM PLASTIC MATERIALS SHALL MEET THE PROVISIONS OF THE 2019 ORC
- ORC 302.9.1 WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450
- ORC 302.9.2 ALL EXPOSED INSULATION MATERIALS INCLUDING FACINGS SHALL HAVE A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450
- ORC 302.11 FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (HORIZONTAL AND VERTICAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE
- ORC 1001.10 HEARTH EXTENSIONS SHALL EXTEND AT LEAST 16" IN FRONT OF, AND AT LEAST 8" BEYOND, EACH SIDE OF THE FIREPLACE OPENING. WHERE THE FIREPLACE OPENING IS 6 SQUARE FEET OR LARGER, THE HEARTH EXTENSION SHALL EXTEND AT LEAST 20" IN FRONT OF, AND AT LEAST 12" BEYOND, EACH SIDE OF THE FIREPLACE OPENING
- ORC 1004.1 FACTORY-BUILT FIREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127

**D. STAIRS AND GUARDS**

- ORC 311.7.5.1 STAIRS SHALL HAVE 8 1/4" MAXIMUM RISER HEIGHT 3" MINIMUM TREAD DEPTH AND SHALL MEET ALL OTHER REQUIREMENTS OF THE 2019 RCO AND THE CITY OF DUBLIN, OHIO BUILDING DEPARTMENT
- ORC 311.7.8 HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS
- ORC 311.7.8.1 HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38"
- ORC 311.7.8.5 THE HANDGRIP PORTION OF ALL HANDRAILS SHALL MEET THE SPECIFIC REQUIREMENTS OF THIS SECTION OR PROVIDE EQUIVALENT GRASPABILITY
- ORC 312.1 PORCHES, BALCONIES, OR RAISED SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" HIGH. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" HIGH.
- ORC 312.1.3 REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER OR MORE.

**E. MOISTURE AND VENTILATION**

- ORC 317.1 MAINTAIN 18" CLEAR BETWEEN BOTTOM OF FLOOR JOISTS AND THE TOP OF CRAWL SPACE FLOOR AND 12" CLEAR BETWEEN BOTTOM OF WOOD GIRDERS AND THE TOP OF CRAWL SPACE FLOOR
- ORC 401.3 THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET
- ORC 806.2 ROOF VENTILATION: THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED NOT MORE THAN 3' BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED IN THE LOWER 1/2 OF THE SPACE.
- ORC 905.1.2 ALL BATHROOMS AND TOILET ROOMS TO BE PROVIDED WITH AN EXHAUST FAN FOR VENTILATION
- ORC 905.1.2 AN ICE BARRIER MUST BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND UP FROM THE EAVE'S EDGE TO A POINT NOT LESS THAN 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING

**F. EGRESS AND ACCESS**

- ORC 310.1 EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EGRESS CLEAR OPENING SHALL BE 5.7 SQUARE FEET
- ORC 310.2.2 MINIMUM ON FIRST AND SECOND FLOOR EXCEPT AT FIRST FLOOR AREA MAY BE REDUCED TO 5.0 SQUARE FEET IF SILL IS NO HIGHER THAN 44" ABOVE FINISHED GRADE.
- ORC 807.1 AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30" OR GREATER. THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22" X 30" AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION
- ORC 309.4 ELECTRIC GARAGE DOOR OPENERS SHALL CONFORM TO THE SAFETY/STOP REQUIREMENTS OF U.L. 325

**G. STRUCTURAL**

- ORC 502.7.1 JOISTS EXCEEDING A NOMINAL 2 INCHES BY 12 INCHES SHALL BE SUPPORTED LATERALLY BY BLOCKING OR BRIDGING IN ACCORDANCE WITH CODE.
- ORC 606.6.3 BEAMS AND GIRDERS SHALL HAVE MINIMUM BEARING OF AT LEAST 3 INCHES ON SOLID MASONRY. JOISTS SHALL HAVE MINIMUM BEARING OF 1 1/2 INCHES
- BUILDER TO PROVIDE ENGINEERED DRAWINGS FOR PREFABRICATED TRUSSES AND ENGINEERED LUMBER MEMBERS AT FRAMING INSPECTION

**2019 RCO CHAPTER 11 TABLE 1102.1.2 CLIMATE ZONE 5**

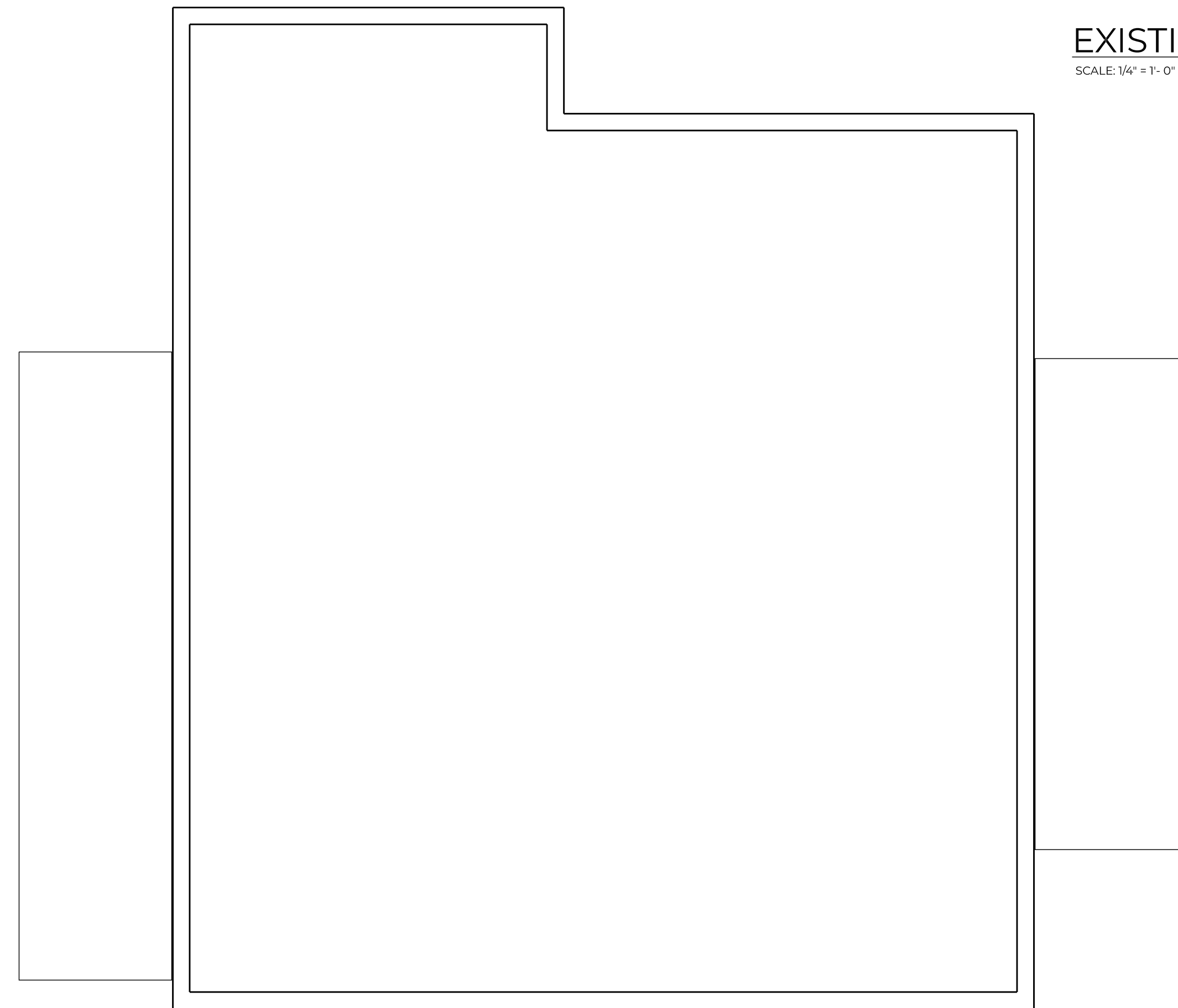
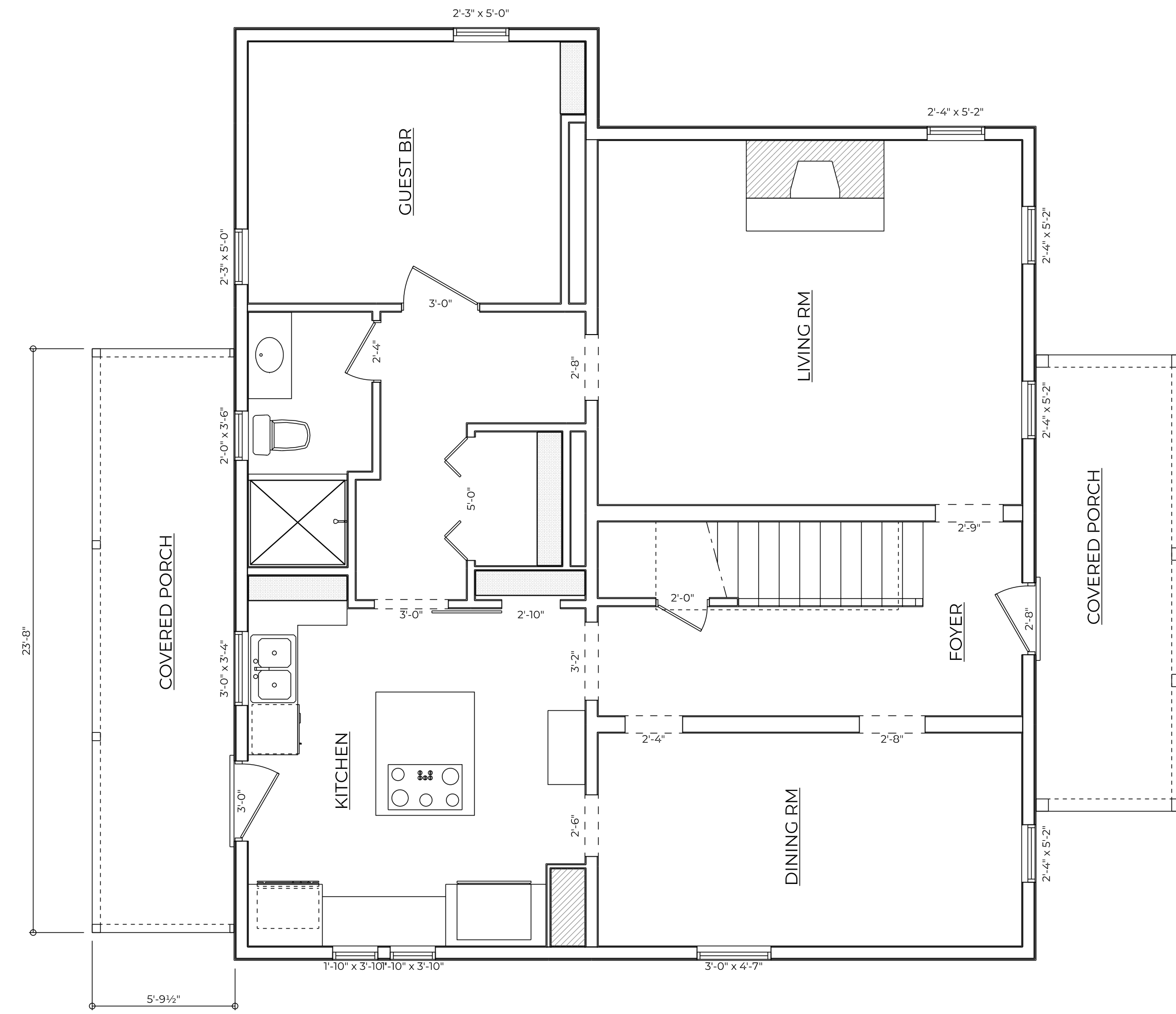
	ITEM	REQUIRED VALUES FOR ZONE 5	PROVIDED VALUES AND DESCRIPTION
1	BASEMENT WALL R-VALUE	R-10 CONTINUOUS OR R-13 CAVITY	N/A
2	CRAWL SPACE WALLS R-VALUE	R-10 CONTINUOUS OR R-13 CAVITY	R-10 FOAMBOARD (EXTERIOR) AND/OR R-13 BATT (INTERIOR)
3	CEILING R-VALUE	R-49 OR R-30 LESS THAN 500 SF	R-49 BLOWN CELLULOSE
4	WOOD-FRAMED WALLS R-VALUE	R-20 CAVITY AND/OR R-13 + R-5 OR R-2 INSULATING SHEATHING OVER STRUCTURAL SHEATHING	R-21 BATT IN 2 X 6 FRAMING AND/OR R-13 BATT IN 2 X 4 FRAMING WITH R-2 INSULATING SHEATHING OVER 7/16" STRUCTURAL SHEATHING
5	FLOORS R-VALUE	R-30 OR R-19 TO FILL CAVITY	N/A
6	SLAB R-VALUE/DEPTH	R-10 / 2 FT	N/A
7	GLAZING U-FACTOR	0.35	U-VALUE 0.35 MAX
8	SKYLIGHTS U-FACTOR	0.60	N/A
9	ATTIC SUPPLY DUCTS R-VALUE	R-8	R-8 DUCT TIGHTNESS TO BE TESTED AND VERIFIED PER RCO 1103.3
10	SUPPLY DUCTS R-VALUE	R-6	R-6 DUCT TIGHTNESS TO BE TESTED AND VERIFIED PER RCO 1103.3

**ROOM LIGHT AND VENT. SCHEDULE**

ROOM NAME	FLOOR AREA SF	GLASS AREA SF	REQ'D GLASS AREA SF	VENTILATION AREA SF	REQ'D VENT AREA SF	EGRESS AREA SF	CLEAR OPENING DIMENSIONS (WIDTH X HEIGHT)
FAMILY ROOM							
MASTER BEDROOM							
KITCHEN							
DINING ROOM							

**LIGHT AND VENT NOTES**

- AREAS THAT DO NOT MEET THE MINIMUM REQUIREMENTS FOR LIGHT AND VENTILATION PER 2019 RCO WITH GLAZED AREAS ALONE SHALL BE SUPPLEMENTED BY MECHANICAL LIGHT AND VENTILATION
- DOCUMENTATION OF THE ILLUMINATION AND VENTILATION EQUIPMENT AND FIXTURES NEEDED TO MEET THE MINIMUM REQUIREMENTS SHALL BE SUPPLIED BY THE CONTRACTOR
- WHEN APPLICABLE, ALL REPLACED WINDOWS ARE CUSTOM-SIZED EXACT SIZE-FOR-SIZE IN EXISTING OPENINGS



Addition and Remodeling For  
**Phil and Julie Renaud**  
83 S. High Street  
Dublin, Ohio 43017

RTA Project Number  
**RA0422**

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EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

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EXISTING ELEVATIONS



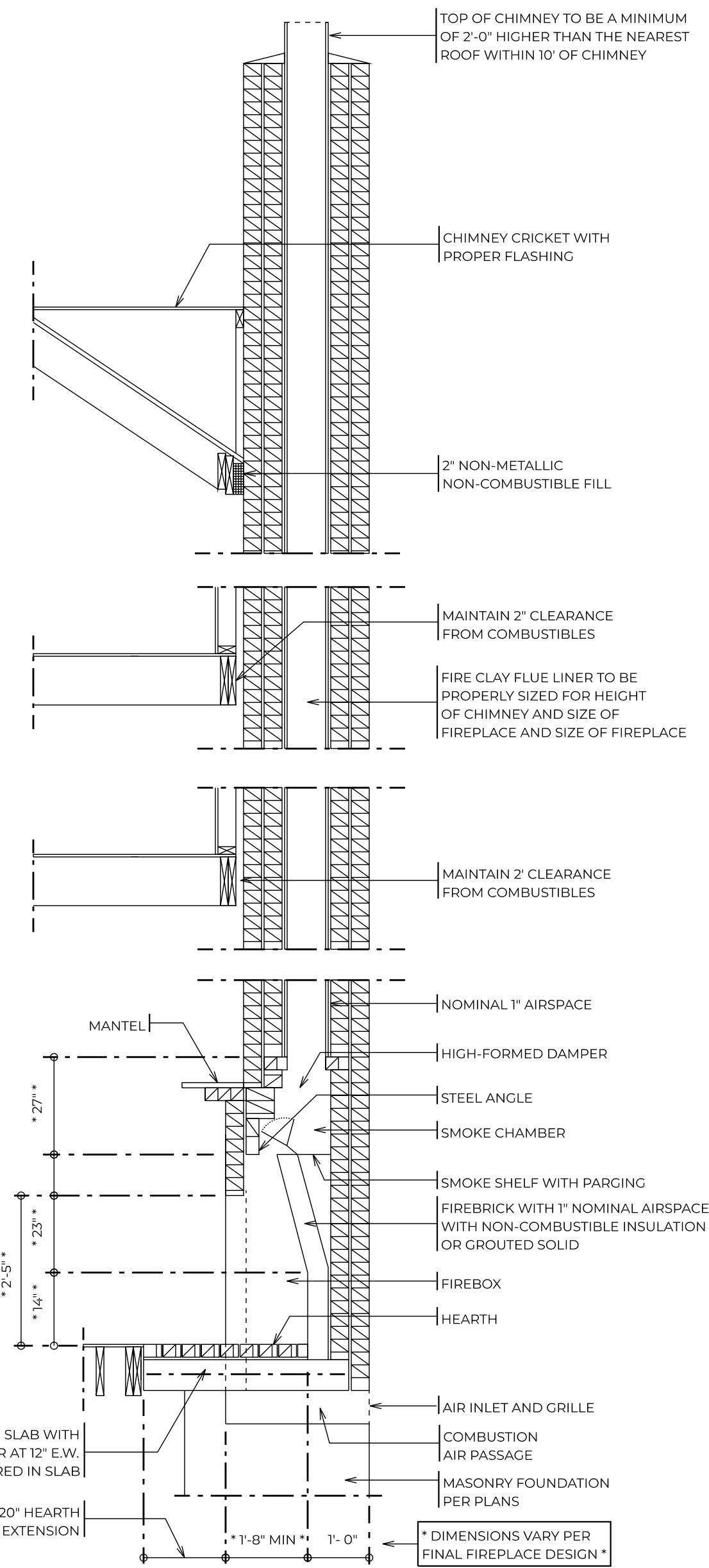
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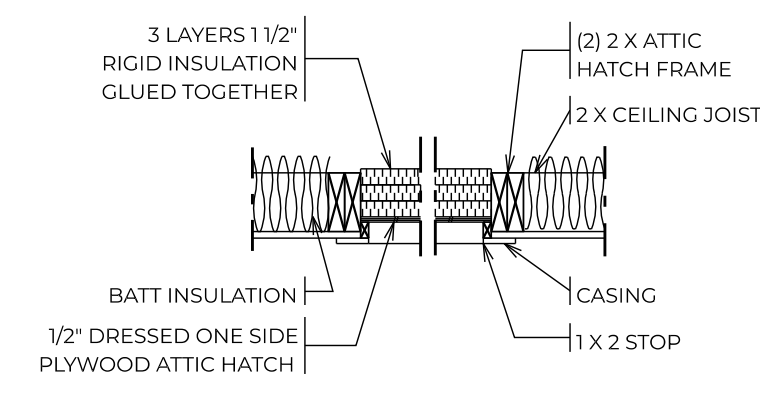
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WALL SECTIONS  
DETAILS



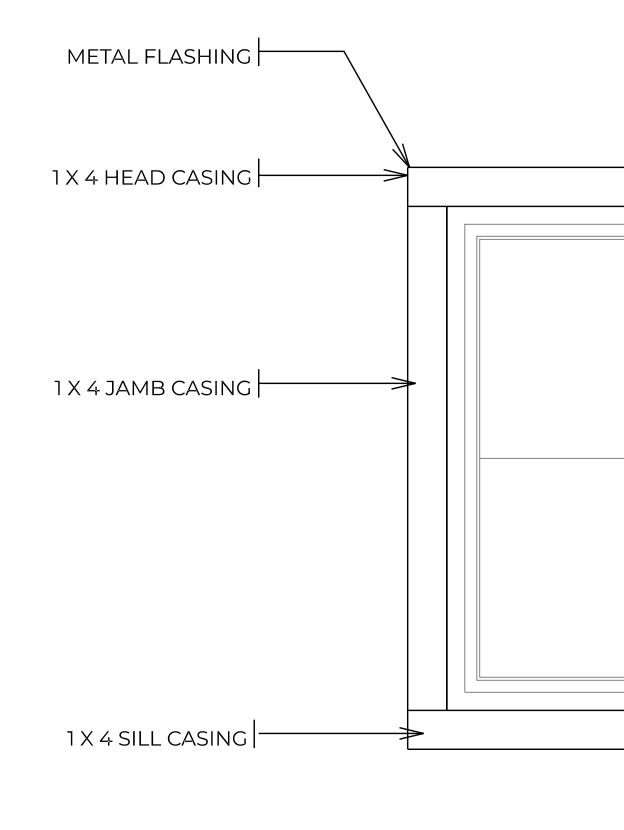
**FLUSH HEARTH MASONRY FP SECTION**

SCALE: 1/2" = 1'-0"



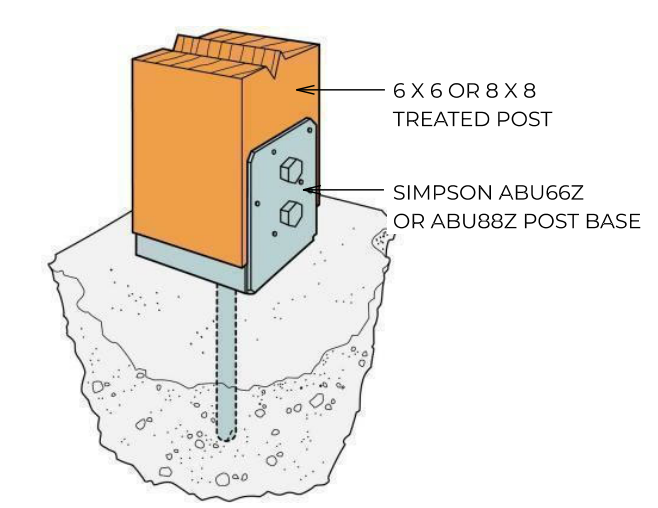
**ATTIC ACCESS DETAIL**

SCALE: 3/4" = 1'-0"



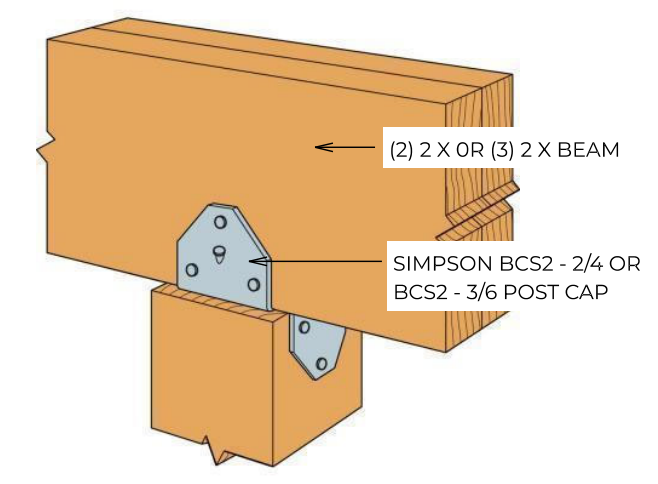
**WINDOW TRIM DETAIL**

SCALE: 3/4" = 1'-0"



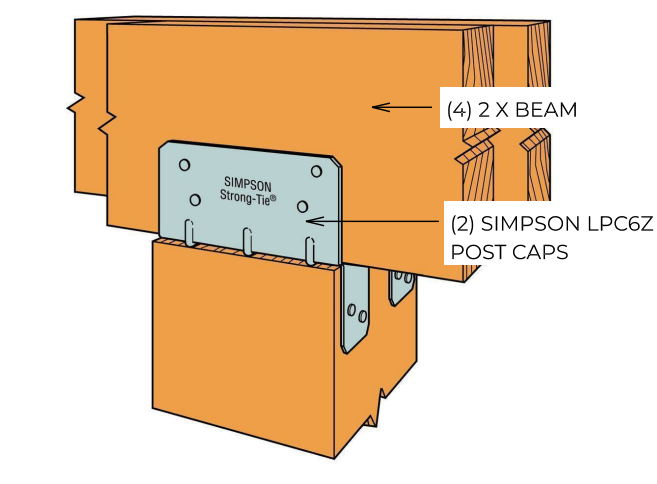
**POST BASE DETAIL**

NO SCALE



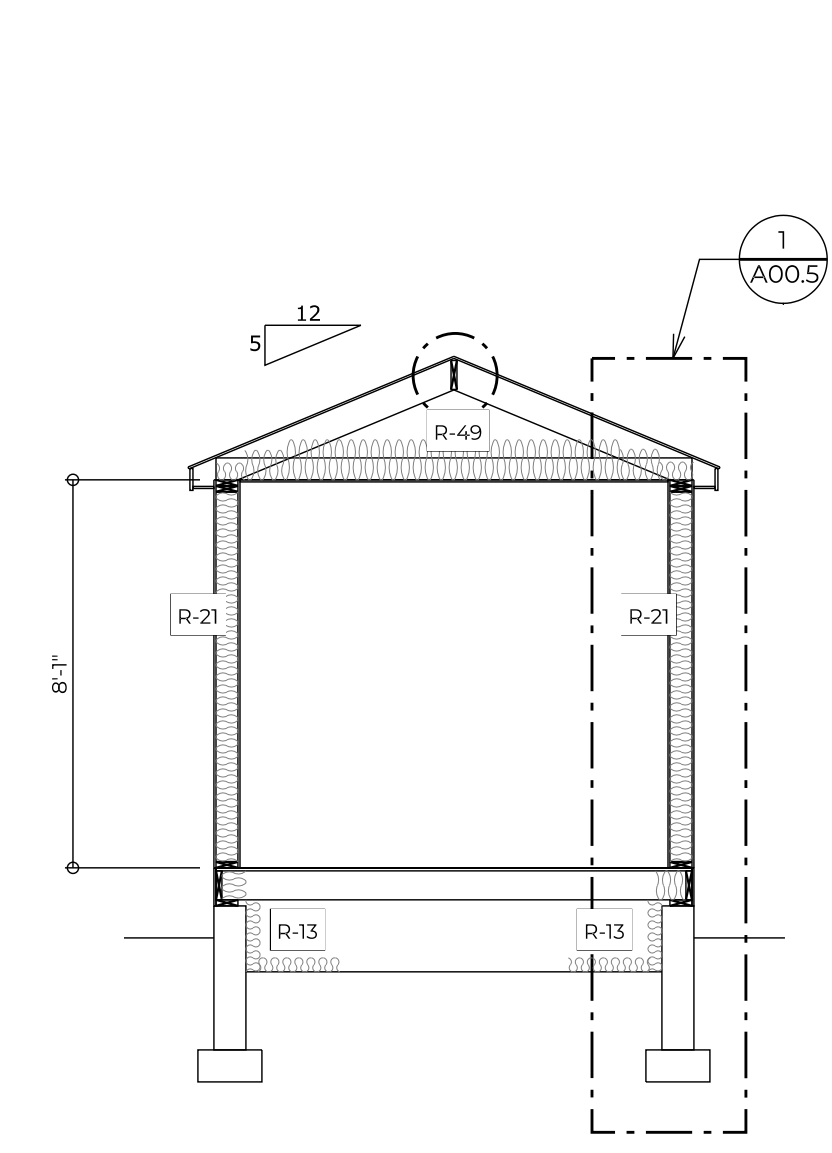
**POST TOP DETAIL**

NO SCALE



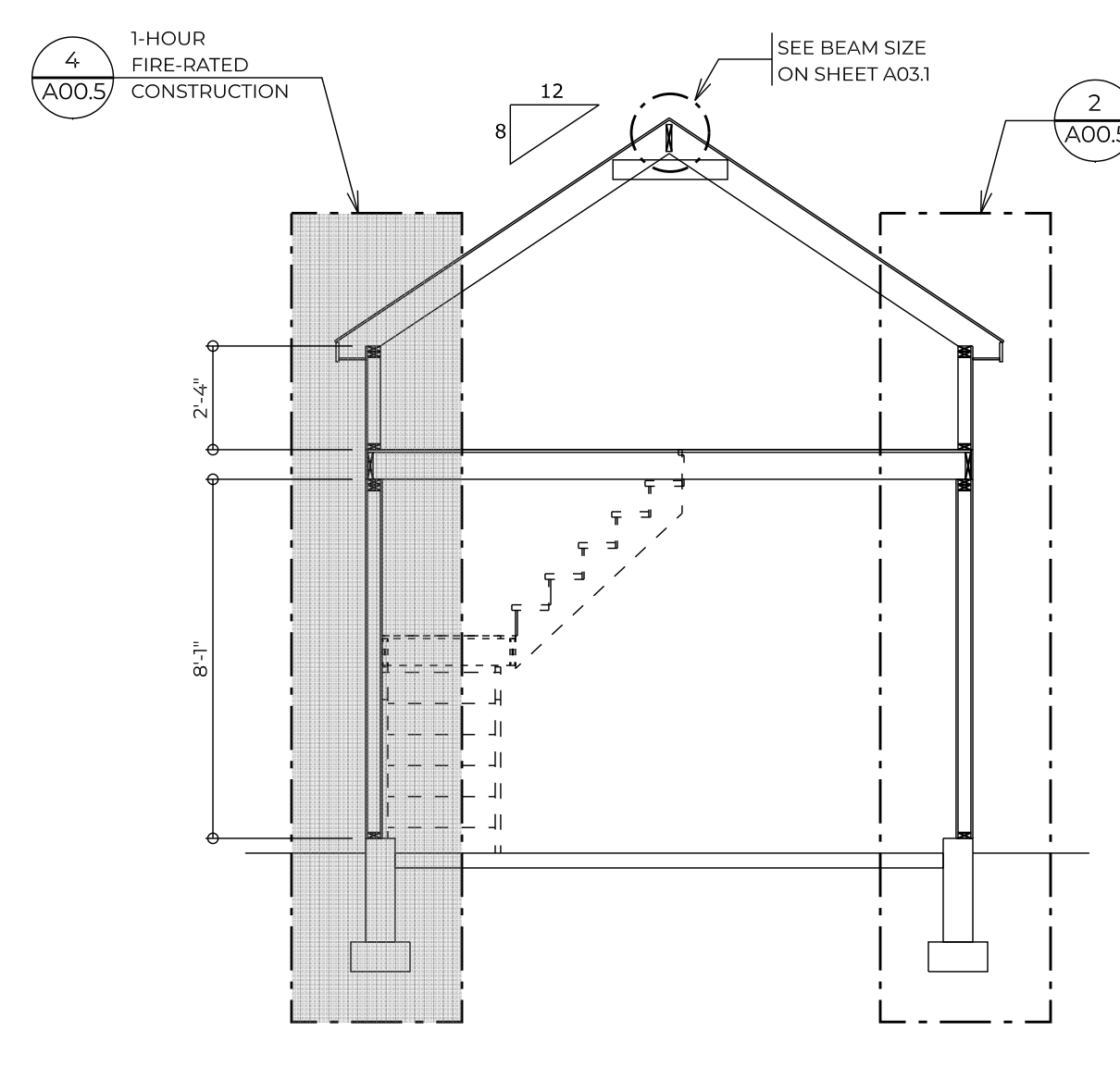
**POST TOP DETAIL**

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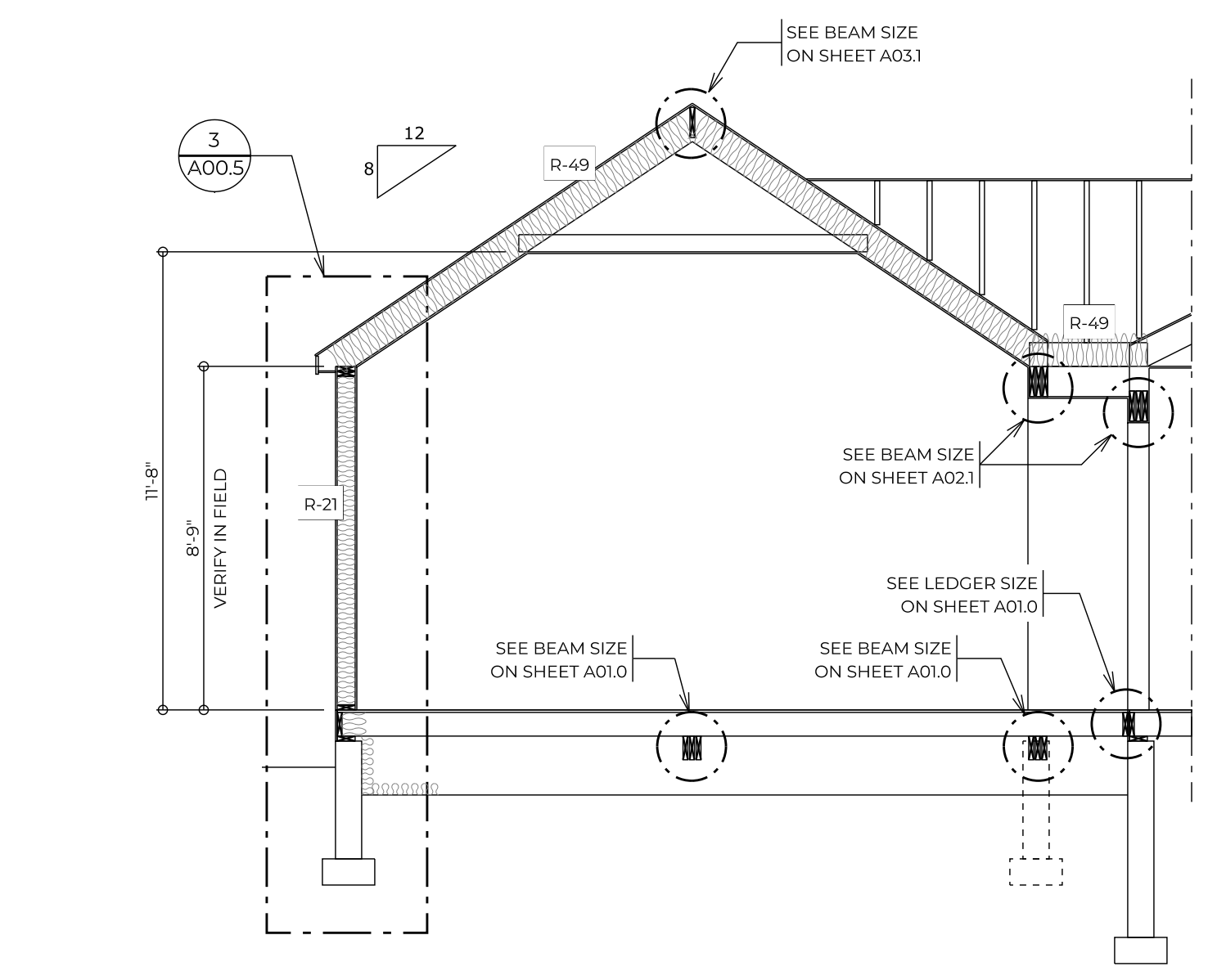
**BUILDING SECTION A**

SCALE: 1/4" = 1'-0"



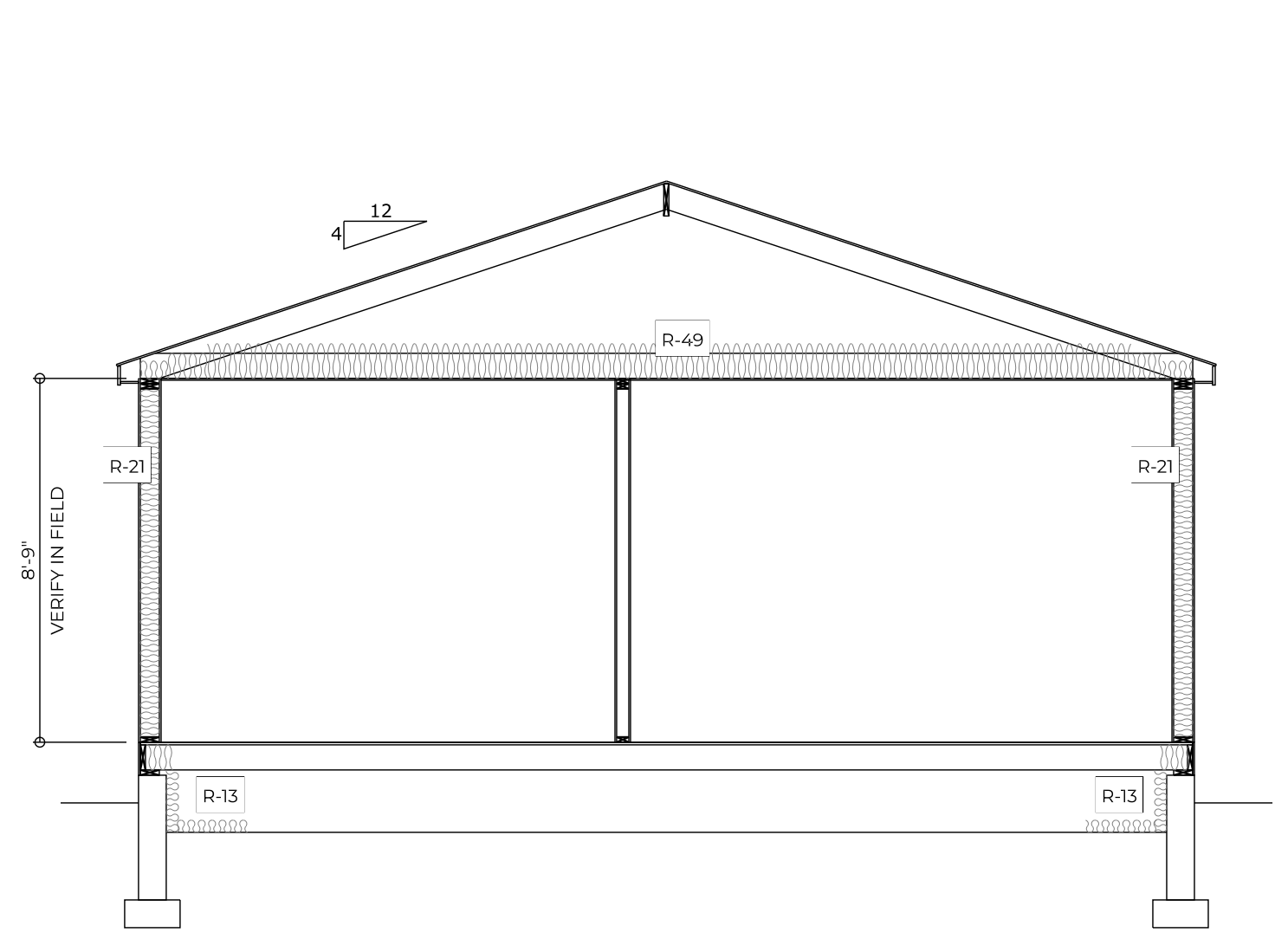
**BUILDING SECTION B**

SCALE: 1/4" = 1'-0"



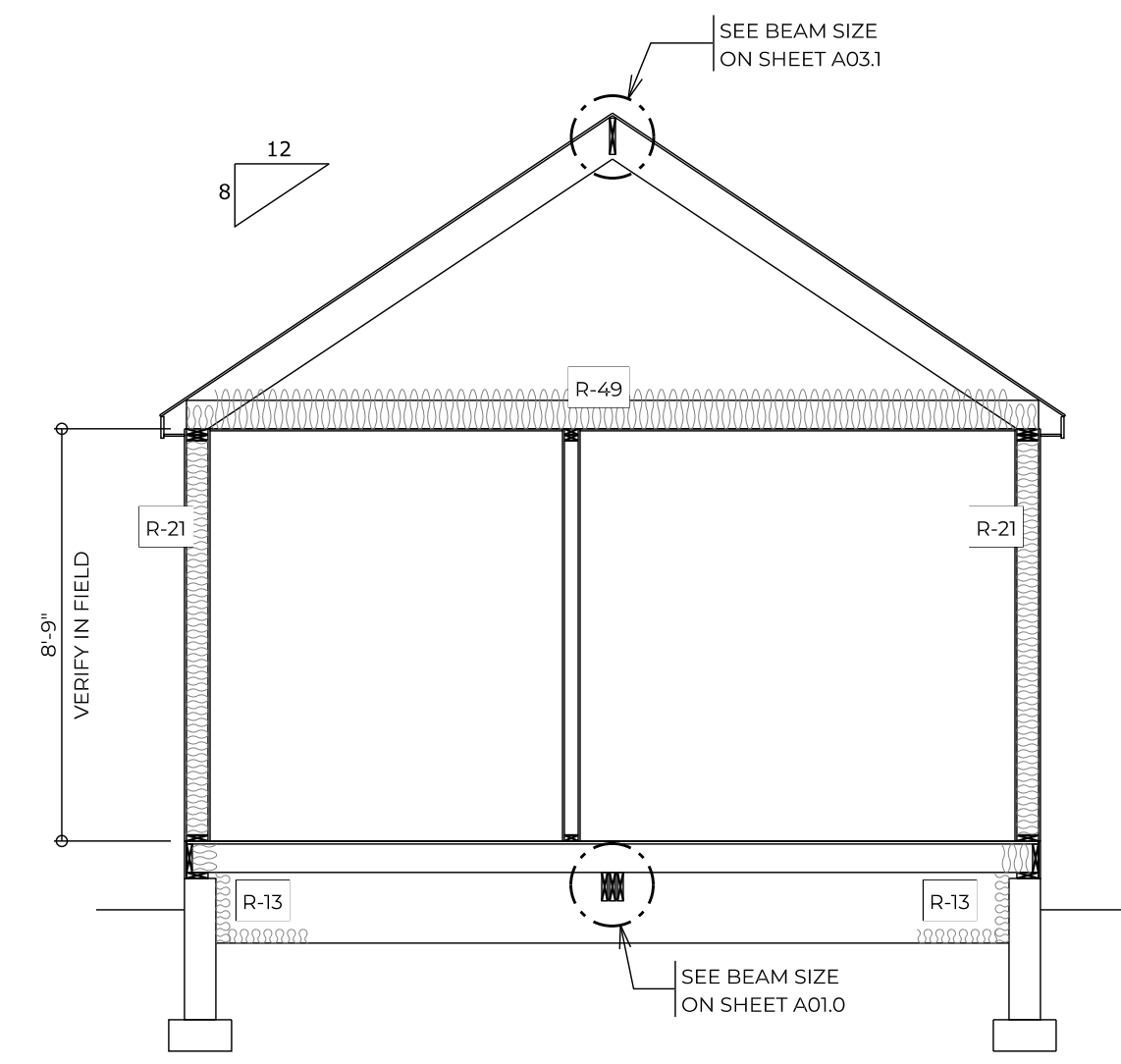
**BUILDING SECTION C**

SCALE: 1/4" = 1'-0"



**BUILDING SECTION D**

SCALE: 1/4" = 1'-0"



**BUILDING SECTION E**

SCALE: 1/4" = 1'-0"

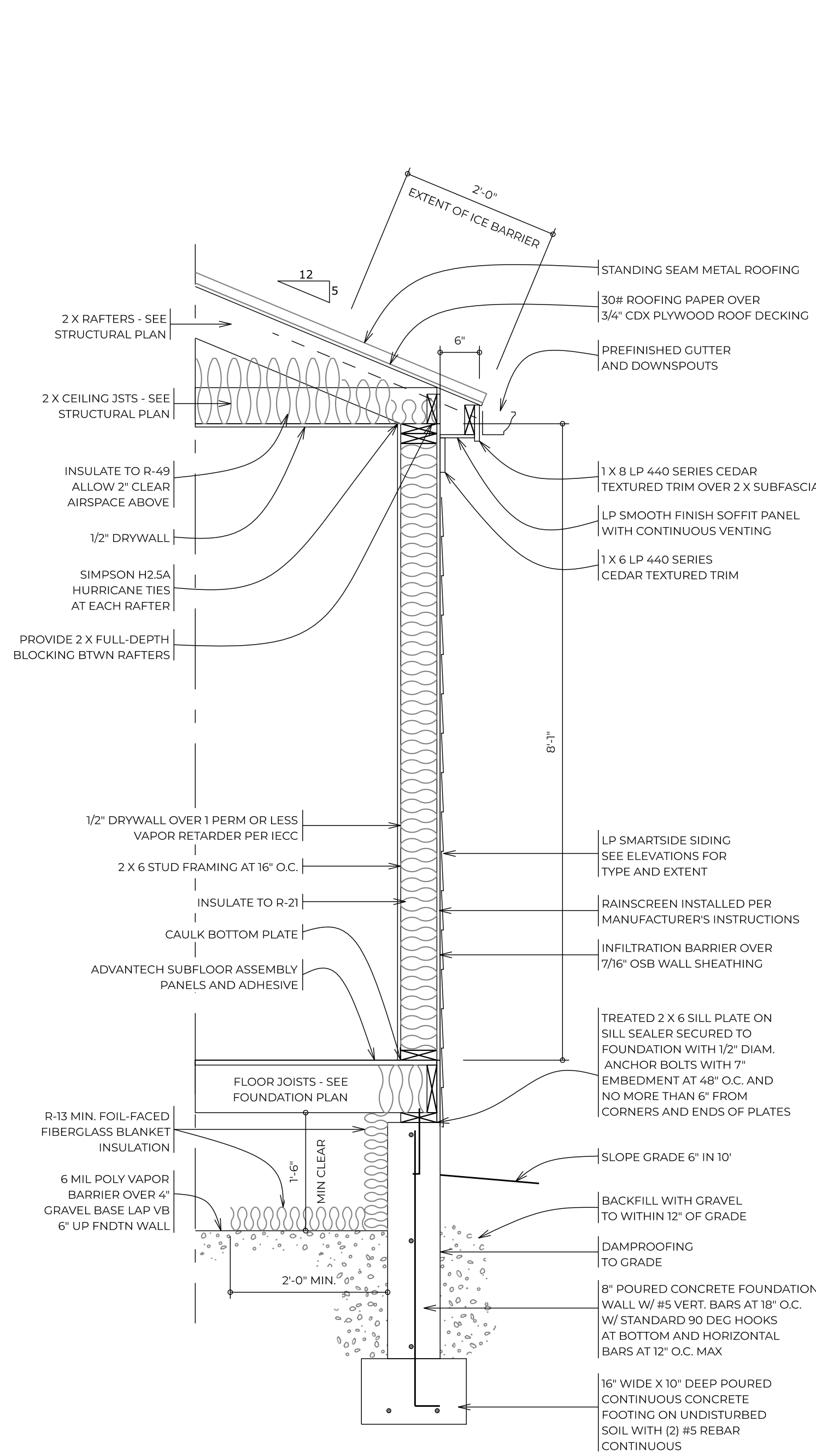


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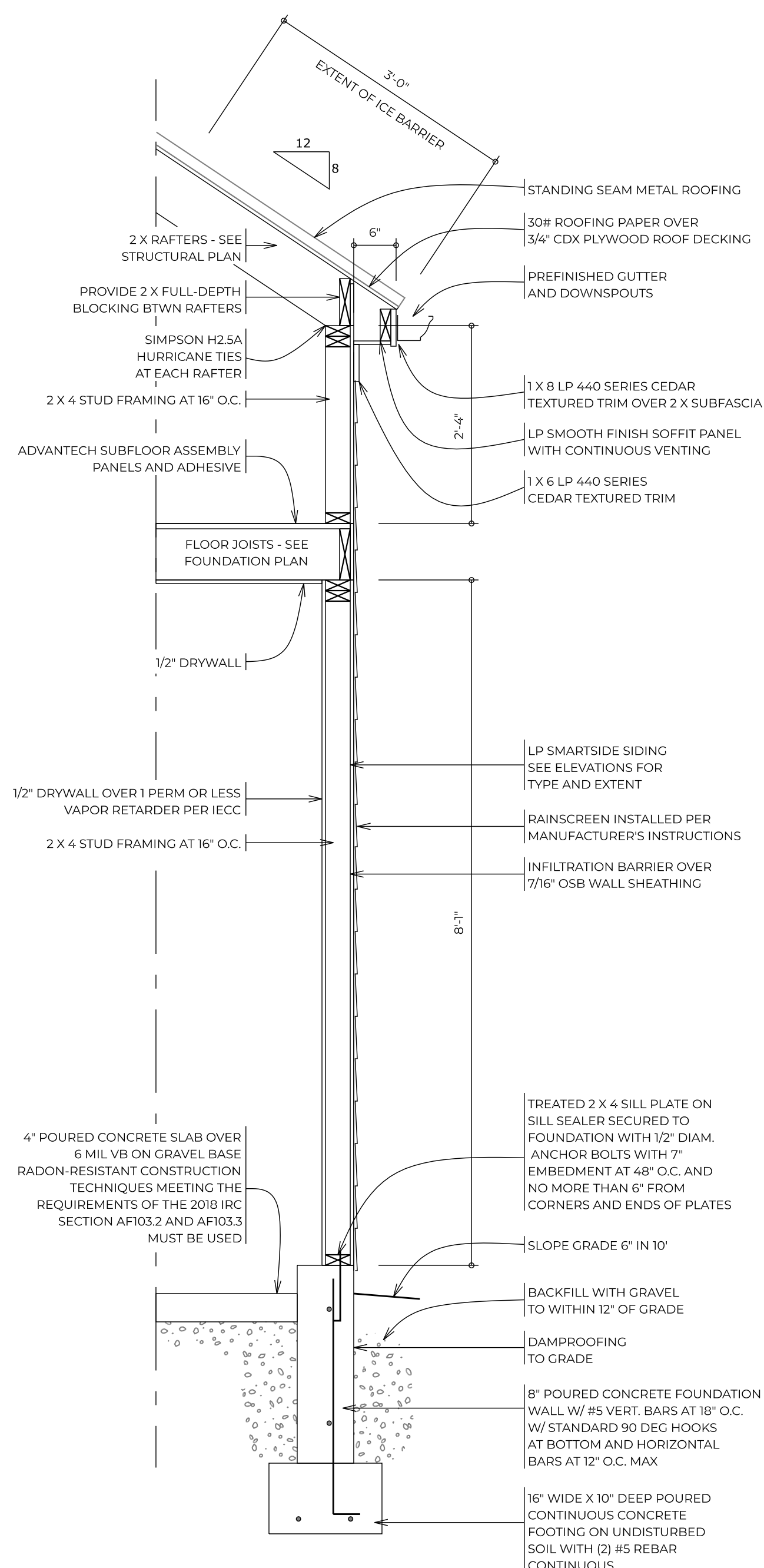
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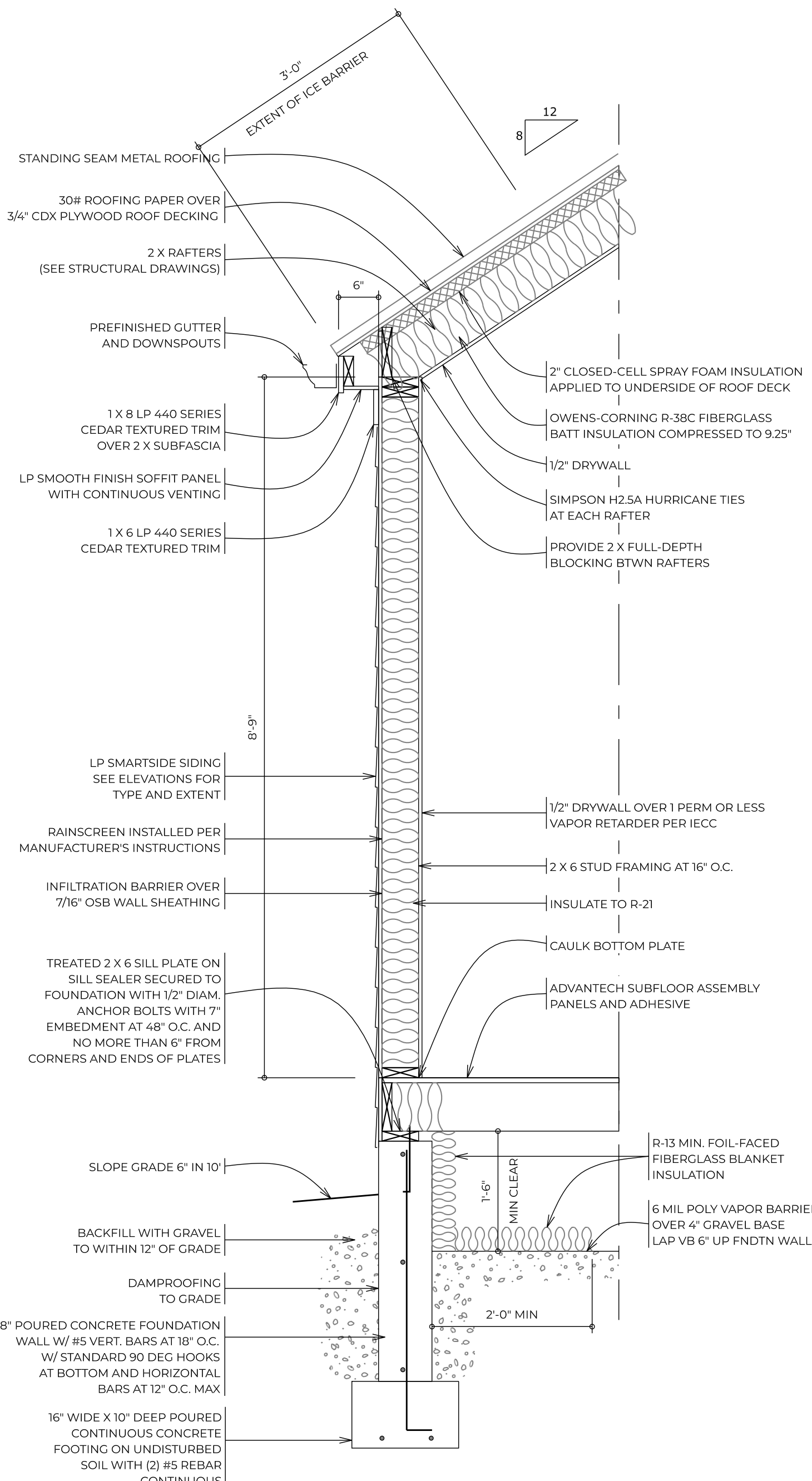
**WALL SECTION 3**

SCALE: 3/4" = 1'-0"



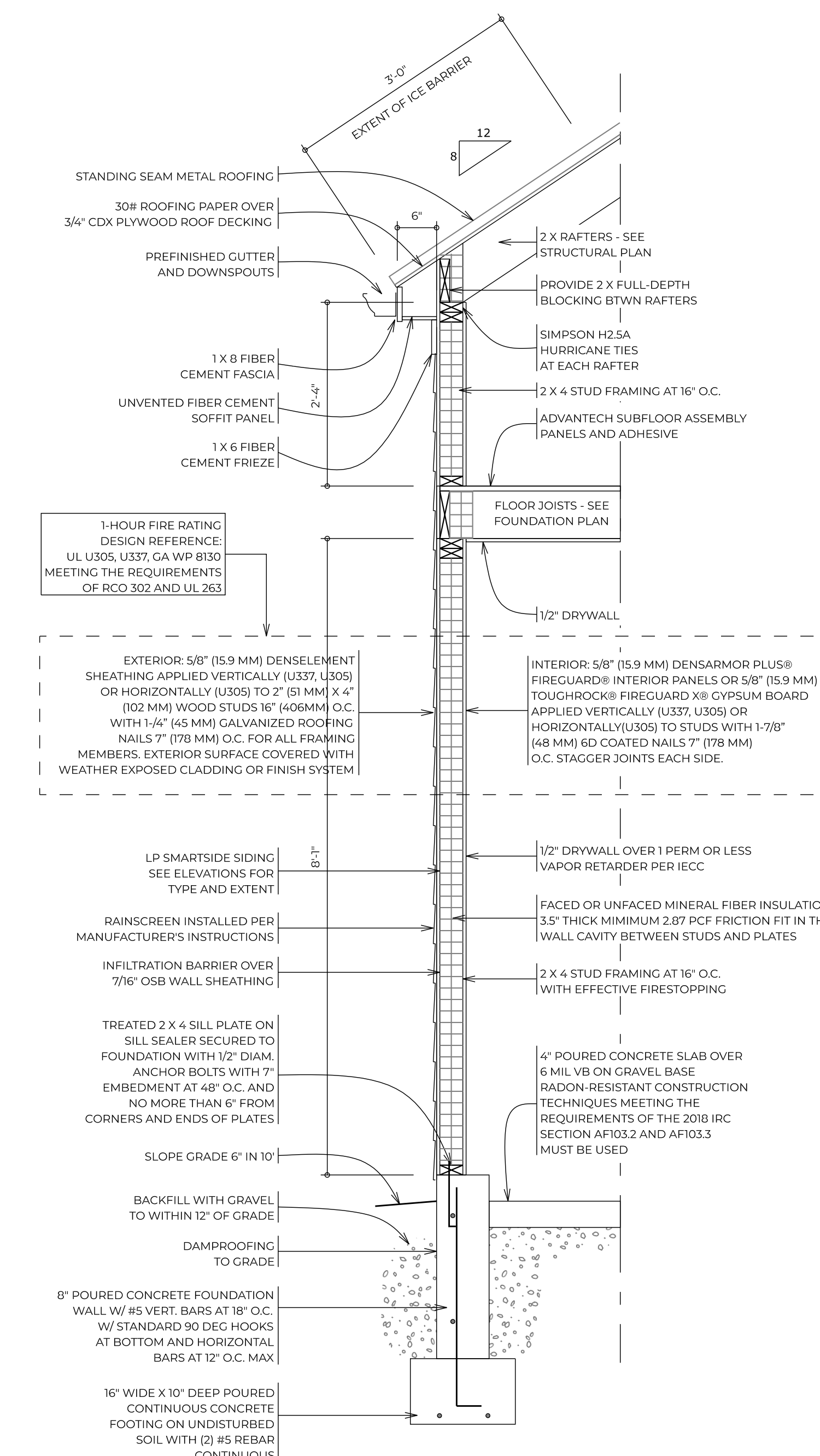
**WALL SECTION 3**

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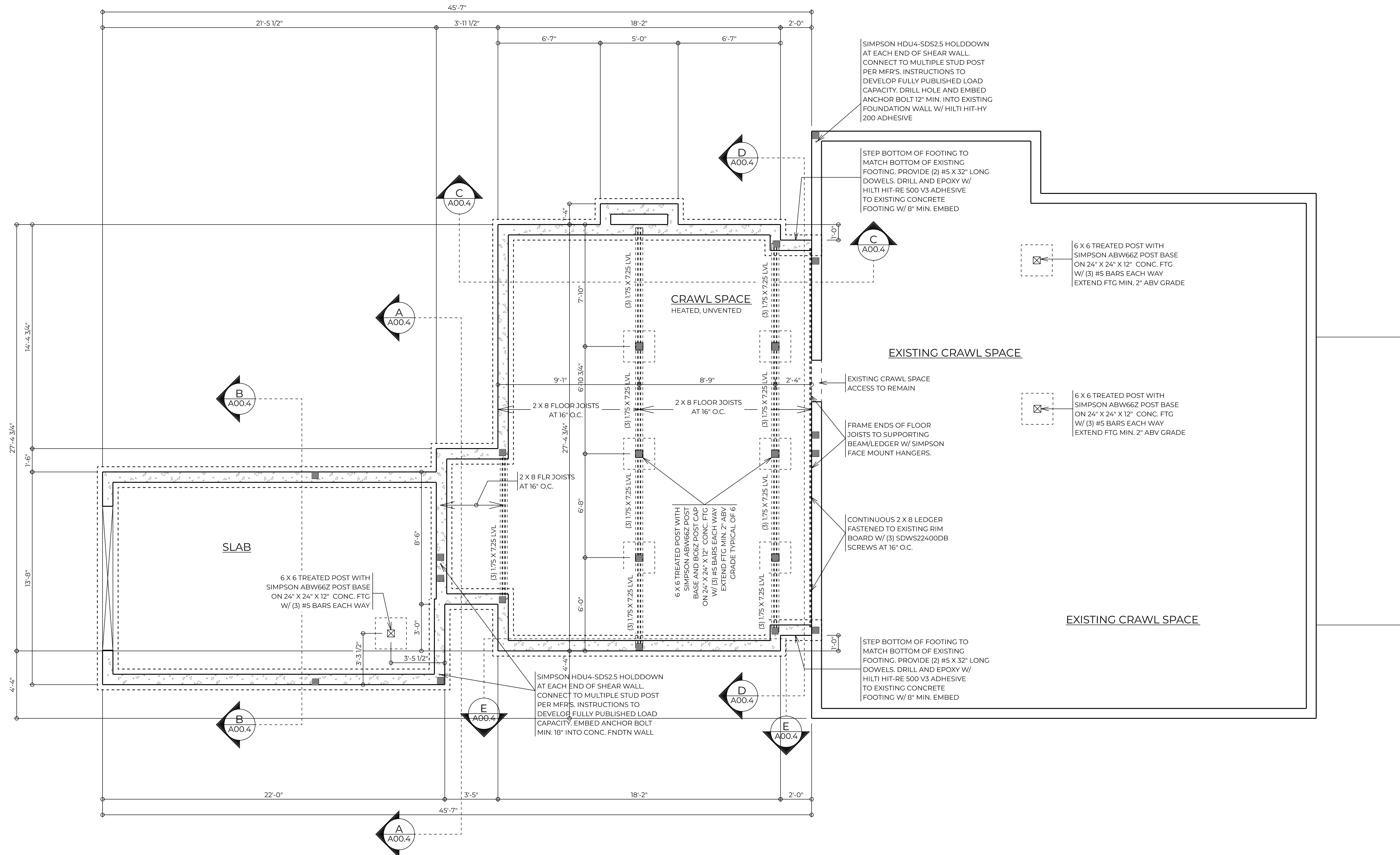
**WALL SECTION 3**

SCALE: 3/4" = 1'-0"



**WALL SECTION 4**

SCALE: 3/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

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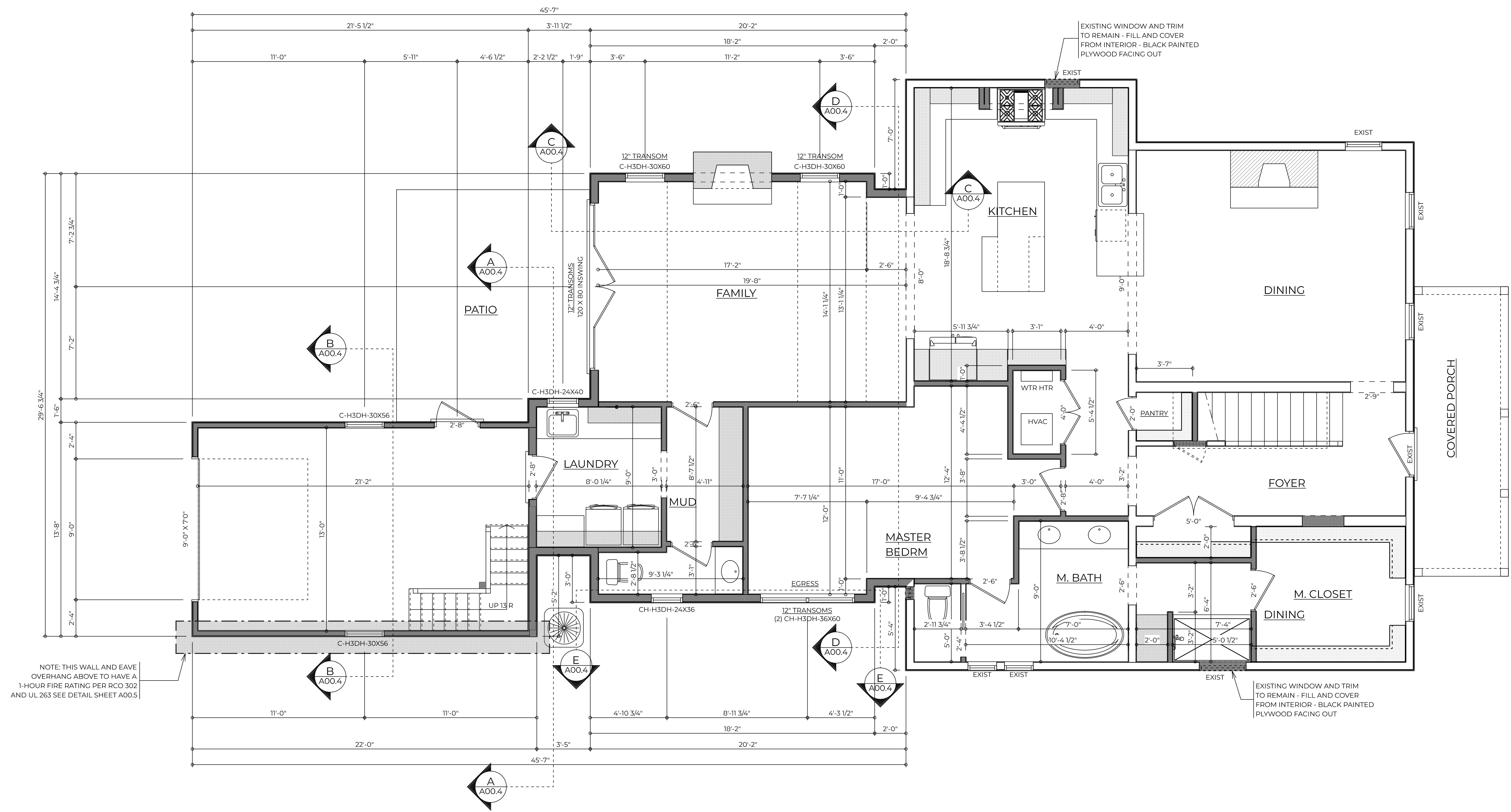
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NOTE THIS WALL AND EAVE OVERHANG ABOVE TO HAVE A 1-HOUR FIRE RATING PER RCO 302 AND UL 263 SEE DETAIL SHEET A00.5

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

1. VERIFY ALL FIELD CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS BEFORE PROCEEDING WITH WORK
2. RADON-RESISTANT CONSTRUCTION TECHNIQUES MEETING THE REQUIREMENTS PER THE 2015 INTERNATIONAL RESIDENTIAL CODE SECTIONS AF103.2 AND AF103.3 SHALL BE USED
3. NEW WINDOW AND DOOR SIZES ARE BASED ON SIERRA PACIFIC WINDOWS MODEL H3

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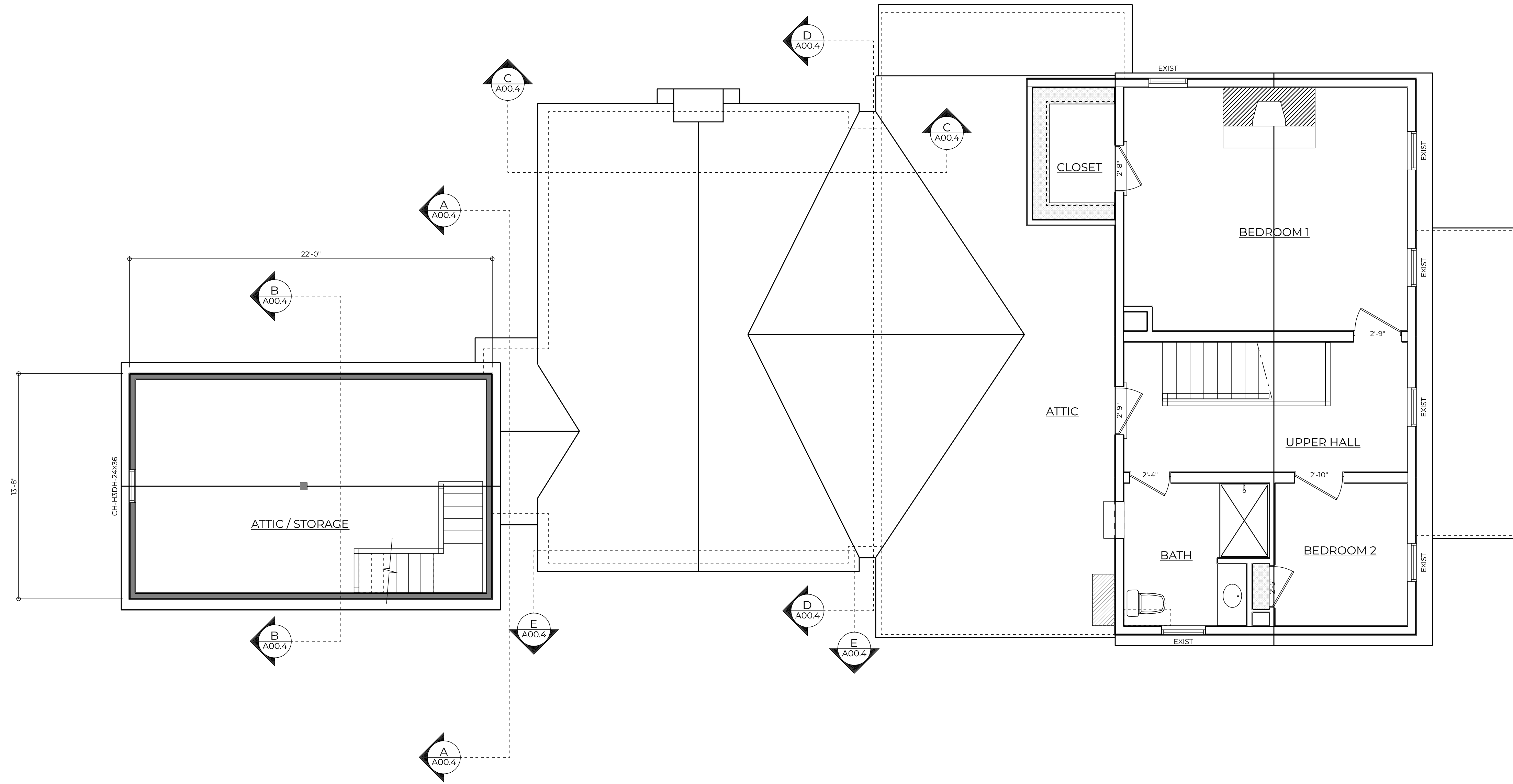
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SECOND FLOOR PLAN/ROOF PLAN

SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

- 1 VERIFY ALL FIELD CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS BEFORE PROCEEDING WITH WORK
- 2 RADON-RESISTANT CONSTRUCTION TECHNIQUES MEETING THE REQUIREMENTS OF THE 2013 INTERNATIONAL RESIDENTIAL CODE SECTIONS R103.2 AND R103.3 SHALL BE USED

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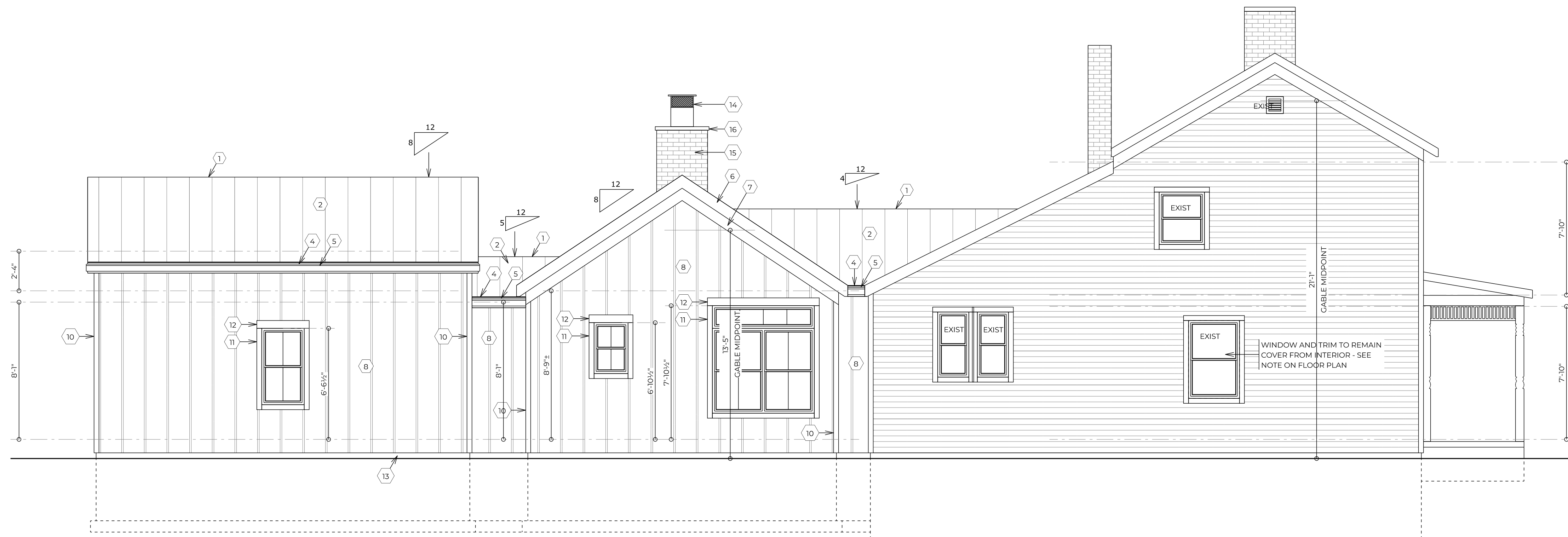




**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

- ROOF**
- 1 VENTED RIDGE CAP
  - 2 PREFINISHED STANDING SEAM METAL ROOF PANEL WIDTH SIMILAR TO EXISTING
  - 3 (NOT USED)
  - 4 LP SMARTSIDE 1 X 6 FASCIA - FIELD PAINTED
  - 5 PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS (MATCH EXISTING PROFILES)
  - 6 LP SMARTSIDE 1 X 6 RAKE
  - 7 LP SMARTSIDE 1 X 6 FRIEZE
- WALLS/TRIM**
- 8 LP SMARTSIDE BOARD AND BATTEN SIDING 16" SPACING
  - 9 (NOT USED)
  - 10 LP SMARTSIDE 1 X 4 CORNER TRIM
  - 11 LP SMARTSIDE 1 X 4 TRIM
  - 12 LP SMARTSIDE 1 X 6 TRIM
  - 13 PAINTED FOUNDATION WALL
- MISC**
- 14 METAL FLUE CAP (PROVIDED BY FIREPLACE MANUFACTURER)
  - 15 BRICK CHIMNEY - BRICK TO MATCH EXISTING CHIMNEYS AS CLOSELY AS POSSIBLE
  - 16 CUT STONE CHIMNEY CAP
  - 17 GAS LANTERN



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

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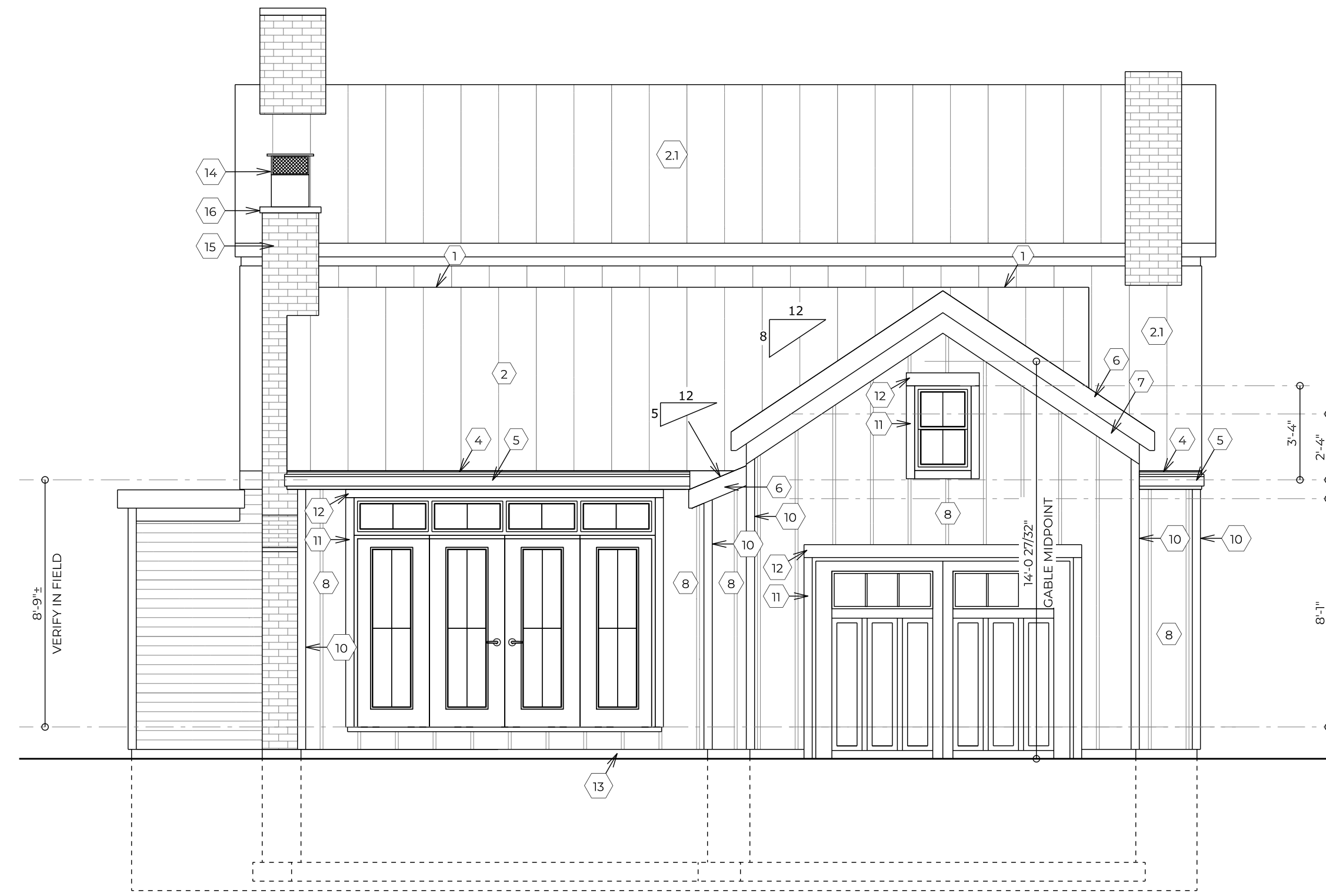
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FRONT ELEVATION  
LEFT ELEVATION

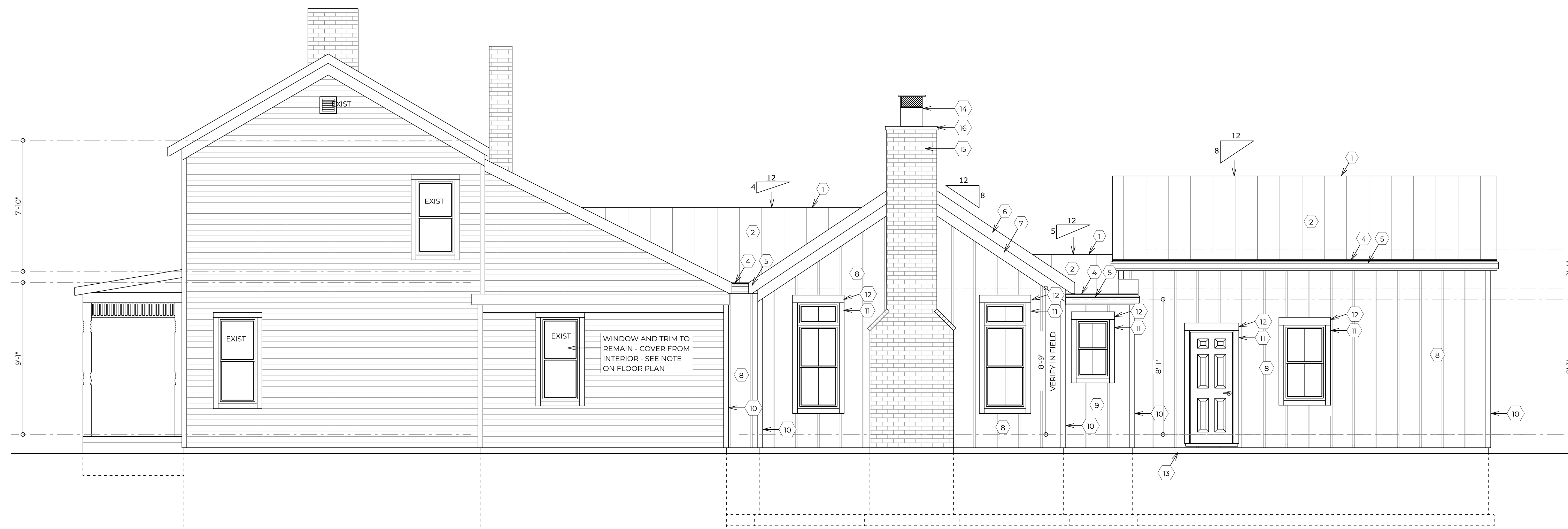


REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- ROOF**
- 1 VENTED RIDGE CAP
  - 2 PREFINISHED STANDING SEAM METAL ROOF PANEL WIDTH SIMILAR TO EXISTING
  - 21 PREFINISHED STANDING SEAM METAL ROOF PANEL WIDTH SIMILAR TO EXISTING TO REPLACE EXISTING METAL ROOFING
  - 3 (NOT USED)
  - 4 LP SMARTSIDE 1 X 6 FASCIA - FIELD PAINTED (SMOOTH TEXTURE)
  - 5 PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS (MATCH EXISTING PROFILES)
  - 6 LP SMARTSIDE 1 X 6 RAKE (SMOOTH TEXTURE)
  - 7 LP SMARTSIDE 1 X 6 FRIEZE (SMOOTH TEXTURE)
- WALLS/TRIM**
- 8 LP SMARTSIDE BOARD AND BATTEN SIDING 16" PANEL WIDTH 1" THICK X 15" WIDE BATTENS (SMOOTH TEXTURE)
  - 9 (NOT USED)
  - 10 LP SMARTSIDE 1 X 4 CORNER TRIM (SMOOTH TEXTURE)
  - 11 LP SMARTSIDE 1 X 4 TRIM (SMOOTH TEXTURE)
  - 12 LP SMARTSIDE 1 X 6 TRIM (SMOOTH TEXTURE)
  - 13 PAINTED POURED CONCRETE FOUNDATION WALL (SEE FOUNDATION PLAN)
- MISC**
- 14 METAL FLUE CAP (PROVIDED BY FIREPLACE MANUFACTURER)
  - 15 BRICK CHIMNEY - BRICK TO MATCH EXISTING CHIMNEYS AS CLOSELY AS POSSIBLE
  - 16 CUT STONE CHIMNEY CAP
  - 17 GAS LANTERN



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

Addition and Remodeling For  
**Phil and Julie Renaud**  
83 S. High Street  
Dublin, Ohio 43017

RTA Project Number

**RA0422**

	Date
Preliminary	000000
Bidding	000000
Progress	032423

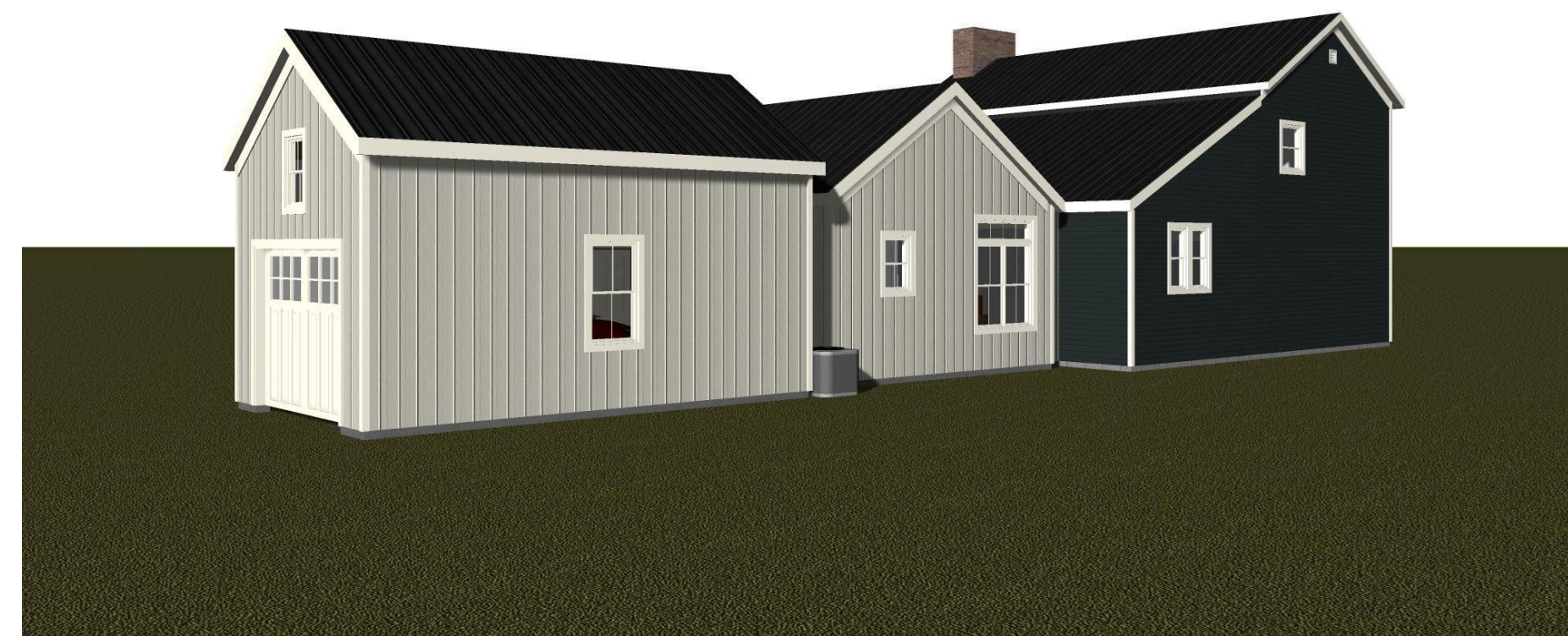
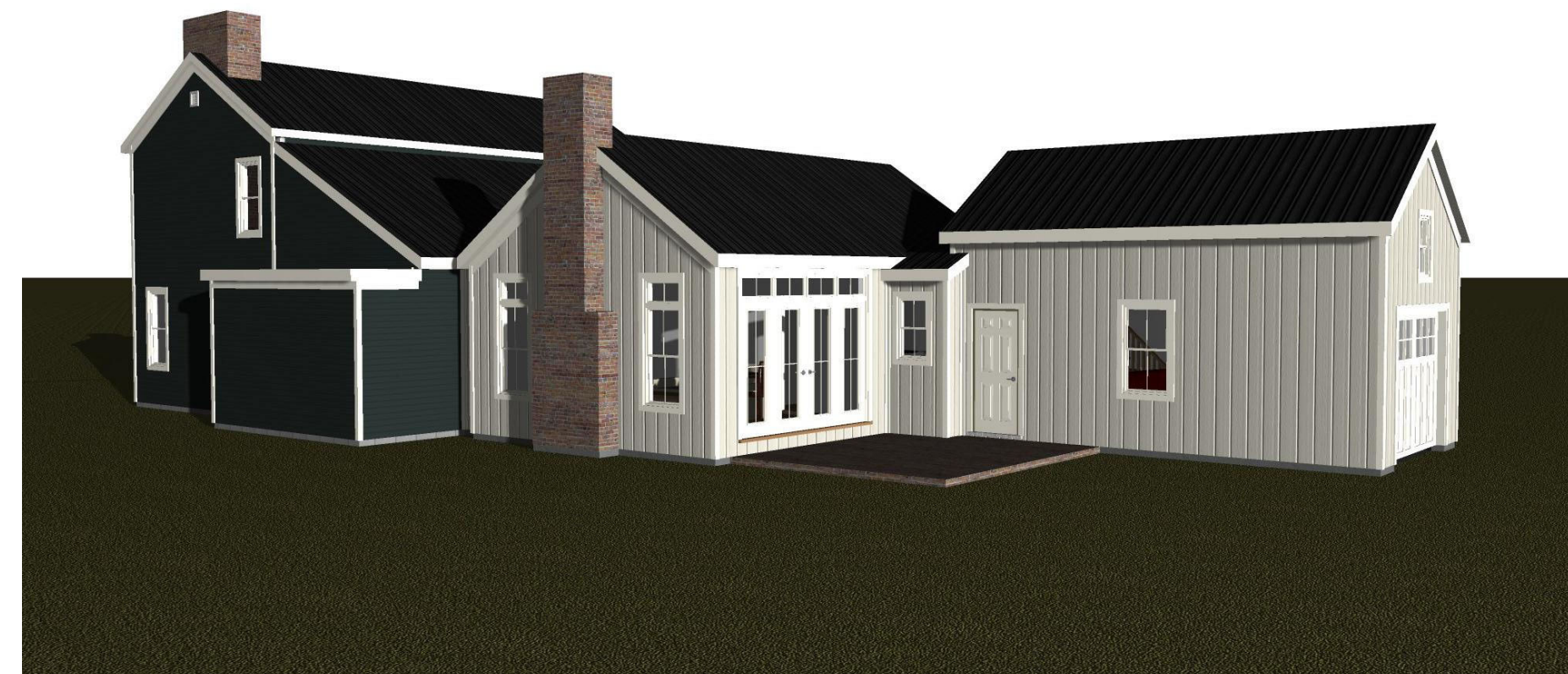
Revision	Date
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REAR ELEVATION  
RIGHT ELEVATION





Project Title and Address:  
 Renaud Residence  
 Remodeling and Addition  
 83 S. High Street  
 Dublin, Ohio 43017

Owners:  
 Phil and Julie Renaud  
 7534 King George Drive  
 New Albany, Ohio  
 jseel1066@gmail.com  
 614-578-1015

Project Representative:  
 Richard Taylor, AIA  
 Richard Taylor Architects, LLC  
 48 S. High Street Suite B  
 Dublin, Ohio 43017  
 rich@rtastudio.com  
 614-766-7257

**SHEET INDEX**

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Addition and Remodeling For  
**Phil and Julie  
 Renaud**  
 83 S. High Street  
 Dublin, Ohio 43017

RTA Project Number  
**RA0422**

	Date
Preliminary	000000
Bidding	000000
Progress	020123

Revision	Date
	000000

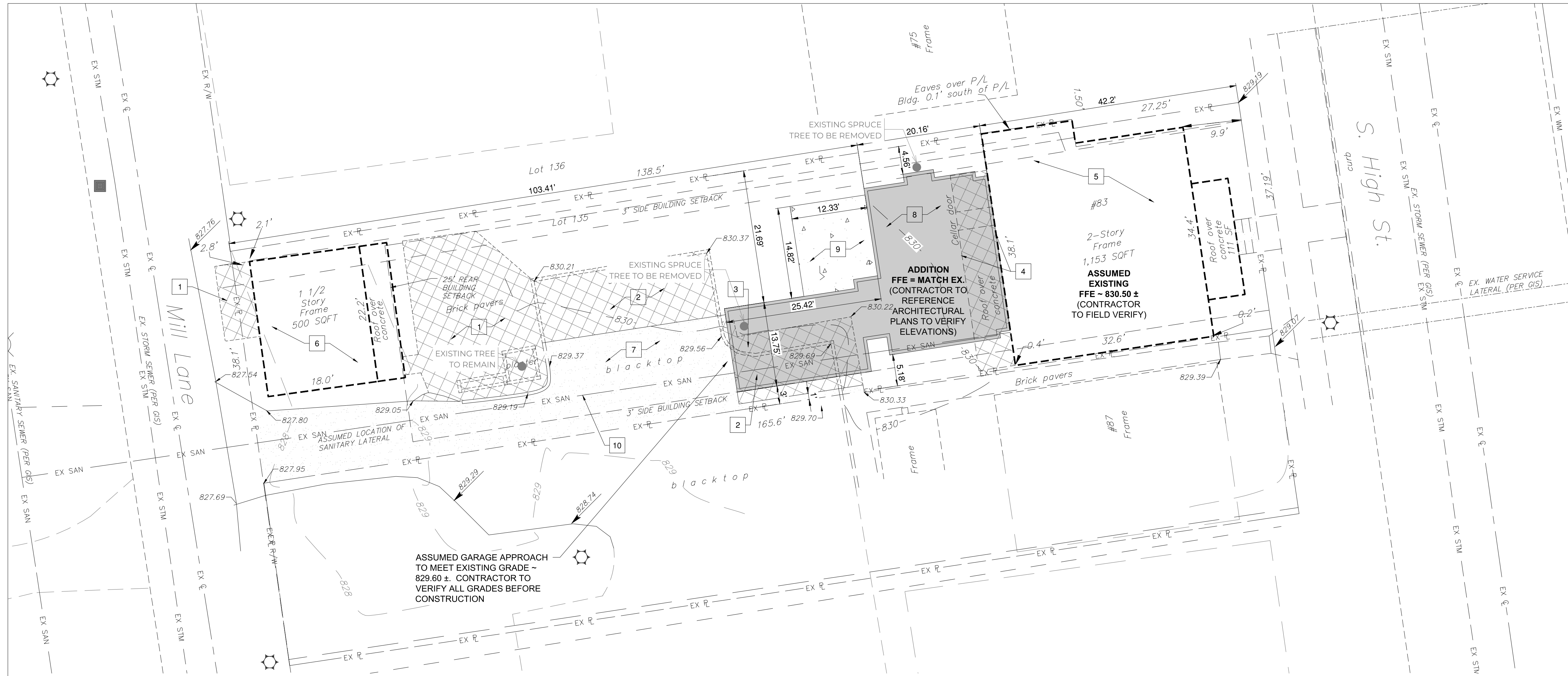
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COVER PAGE

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**GENERAL NOTES**

THE INFORMATION DEPICTED ON THESE CONSTRUCTION DOCUMENTS IS AS ACCURATE AS POSSIBLE WITH REGARD TO THE INFORMATION PROVIDED BY THE SURVEYOR AND ARCHITECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING AND PROPOSED GRADES AND UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE AND THE BUILDING DESIGNER IMMEDIATELY OF ANY DISCREPANCY FOUND BETWEEN THE FIELD CONDITIONS AND THESE PLANS.

ALL PROPOSED SPOT ELEVATIONS AND CONTOURS SHOWN ON THE PLAN ARE PROPOSED FINISHED GRADES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST SUBGRADE ELEVATIONS ACCORDINGLY TO ENSURE POSITIVE DRAINAGE AWAY FROM FOUNDATIONS TO MEET OR EXCEED STATE AND/OR LOCAL REQUIREMENTS. THE GRADE FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.

CONTRACTOR TO INSTALL ALL NECESSARY EROSION CONTROL MEASURES PRIOR TO THE START OF ANY GRADING ACTIVITIES. PERMANENT EROSION CONTROL TURF ESTABLISHMENT, AND SOIL STABILIZATION IS THE RESPONSIBILITY OF THE CONTRACTOR.

ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND LOCAL REQUIREMENTS. CONTRACTORS MUST COMPLY WITH CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES. ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE ACQUIRED. ALL WORK SHALL MEET JURISDICTIONAL REQUIREMENTS AND SPECIFICATIONS.

CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC RIGHT OF WAY OR ADJOINING PROPERTIES.

THE INFORMATION CONTAINED ON THIS PLAN DENOTE SITE RELATED IMPROVEMENTS WHICH CONTAIN ARCHITECTURAL STRUCTURES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING INFORMATION SHOWN COORDINATE WITH THE ARCHITECTURAL PLANS BEFORE CONSTRUCTION. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE AND THE BUILDING DESIGNER IMMEDIATELY OF ANY DISCREPANCY FOUND BETWEEN PLANS.

**SITE DATA**

**SITE ADDRESS:**  
83 S HIGH STREET., DUBLIN OH 43017

**OWNER:**  
PHILIP S RENAUD (PER CITY GIS)

**PARCEL:**  
273-000007

**SITE AREA:**  
0.145 AC. (6,332 SQFT)

**ZONING (153.020):**  
HD-HS: HISTORIC DISTRICT - HISTORIC SOUTH

**SETBACKS:**

BUILDINGS  
FRONT: 0'  
REAR: 25'  
SIDE: 3'

**IMPERVIOUS AREA (WITHIN SITE P/L):**

CODE MAX. = 65% (6,332\*0.65 = 4,115 SF)  
EX. HOUSE (INCL. DECKS/ PORCHES): 1,264 SQFT (1,153+111)  
EX. DETACHED GARAGE: 500 SQFT  
PROP. HOUSE ADDITION: 891 SQFT  
TOTAL HOUSE / GARAGE = 2,655 SF

EX. IMPERVIOUS PAVEMENT (REMAINING): 962 SQFT  
EX. IMPERVIOUS WALKS (REMAINING): 20 SQFT  
PROP. IMPERVIOUS (PATIO): 177 SQFT  
TOTAL PAVMT/ WALK COVERAGE = 1,159 SQFT

**PROPOSED COVERAGE = 60.2% ((2,655+1,159)/6,332)**

**KEYED NOTES**

- 1 EXISTING HARDSCAPE TO BE REMOVED
- 2 EXISTING ASPHALT PAVEMENT TO BE REMOVED
- 3 EXISTING SIDEWALK TO BE REMOVED.
- 4 EXISTING ROOFED PORCH TO BE REMOVED
- 5 EXISTING HOUSE TO REMAIN
- 6 EXISTING DETACHED GARAGE TO REMAIN
- 7 EXISTING PAVEMENT TO REMAIN
- 8 PROPOSED HOUSE ADDITION
- 9 PROPOSED PATIO
- 10 ASSUMED LOCATION OF EXISTING SANITARY LATERAL. CONTRACTOR TO FIELD VERIFY LOCATION BEFORE CONSTRUCTION. CONTRACTOR TO REMOVE / RE-ROUTE AS NEEDED FOR THE CONSTRUCTION OF HOUSE ADDITION.

**PLAN LEGEND**

---850---	EXISTING CONTOURS
820.49	EXISTING SPOT GRADE
[Solid Grey Box]	PROPOSED HOUSE ADDITION
[Dotted Pattern Box]	EXISTING PAVEMENT TO REMAIN
[Cross-hatch Pattern Box]	PROPOSED PATIO
[Diagonal Line Pattern Box]	EXISTING PAVEMENT, WALKS, PORCHES TO BE REMOVED.

**BASIS OF INFORMATION**

ALL EXISTING CONDITIONS, TOPOGRAPHY, & EASEMENTS ARE AS TAKEN FROM A SURVEY PROVIDED BY PATRIDGE SURVEYING.  
**NOTE - THE LOCATION OF EXISTING UTILITIES HAVE NOT BEEN PROVIDED/ SURVEYED. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON CITY OF DUBLIN GIS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.**

**CONTACT INFORMATION**

**ARCHITECT**  
RICHARD TAYLOR  
RICHARD TAYLOR ARCHITECTS  
48 S. HIGH ST SUITE B  
DUBLIN, OH 43017  
(614) 766-7257

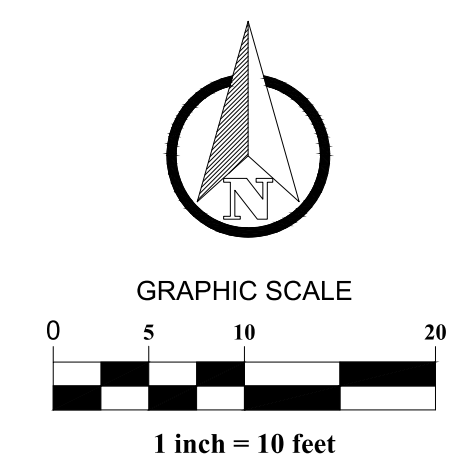
**SURVEYOR**  
BOB PATRIDGE  
PATRIDGE SURVEYING LLC  
9464 DUBLIN ROAD  
POWELL, OH 43065  
(614) 799-0031

**UTILITY NOTE TO CONTRACTOR**

THE LOCATION OF EXISTING UTILITIES ARE UNKNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES AND PROPERLY DISCONNECT/ TERMINATE SERVICE BEFORE DEMOLITION / CONSTRUCTION. CONTRACTOR TO COORDINATE WITH ALL SERVICE PROVIDERS, DETERMINE POINTS OF CONNECTION, ROUTING AND LOCATION OF WHERE UTILITIES WILL ENTER THE BUILDING BEFORE CONSTRUCTION.

**GRADING NOTE TO CONTRACTOR**

LIMITED TOPOGRAPHY WAS PROVIDED BY THE SURVEYOR. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING AND PROPOSED GRADES BEFORE CONSTRUCTION. CONTRACTOR SHALL REFERENCE THE ARCHITECTURAL PLANS TO VERIFY ALL ELEVATIONS SHOWN ON THIS PLAN. ANY ADJUSTMENTS TO PROPOSED ELEVATIONS IS THE RESPONSIBILITY OF THE CONTRACTOR.



PLANS PREPARED FOR:

PLANS PREPARED BY:

**brock engineering**  
NATHAN HARRINGTON  
E: NHARRINGTON@BRACKENG.COM  
P: 614.506.3662

**SITE GRADING PLAN**

RENAUD RESIDENCE

83 S HIGH STREET., DUBLIN OHIO 43017

REVISIONS NO.	DATE	DESCRIPTION

DATE:  
02/09/2023  
JOB NO.: 2023-06  
DESIGN: NBH  
CHECKED: NBH

SHEET NO.

1/1