

PROJECT NUMBER

23-124

91 S. High Street

DUBLIN, OH 43017

RETAIL TO RESTAURANT CONVERSION PROJECT

OWNER

Dustin Snow

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7739 Sudbrook Sq. New Albany, OH 43054

GUNZELMAN architecture + interiors, LLC
333 STEWART AVE, COLUMBUS, OHIO 43206
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PROJECT ARCHITECTS

PRATER ENGINEERING ASSOCIATES, INC.
6130 WILCOX ROAD, DUBLIN, OH 43016
P: 614-766-4896
MEP ENGINEER

ELHERS ENGINEERING
STRUCTURAL ENGINEER

WASSERSTROM
FOOD SERVICE EQUIPMENT CONSULTANT

91 S. High Street

ABBREVIATIONS LEGEND

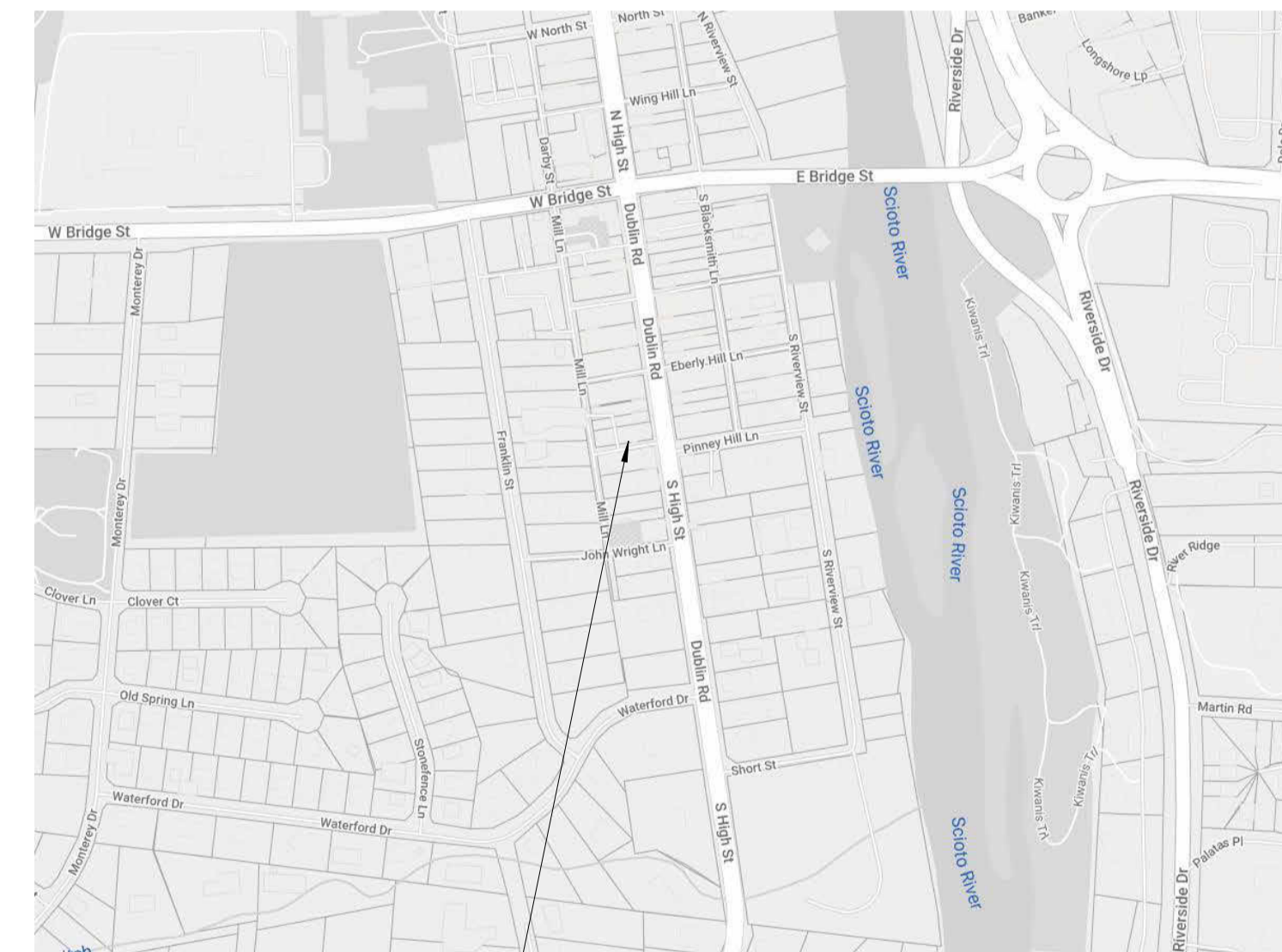
ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
A/C	AIR CONDITIONING	NIC	NOT IN CONTRACT
AFF	ABOVE FINISH FLOOR	NO	NUMBER
ARCH	ARCHITECT OR ARCHITECTURAL	NOM	NOMINAL
ALUM	ALUMINUM	NTS	NOT TO SCALE
APPROX @ &	APPROXIMATE AT AND	O.C.	ON CENTER
BD	BOARD	S.D.	OUTSIDE DIAMETER
BLDG	BUILDING	OPNG	OPENING
B.O.	BY OTHERS	OPP	OPPOSITE
BI	BOTTOM OF	PL	PLATE
CAB	CABINET	PLAS	PLASTER
CFM	CUBIC FEET PER MINUTE	PLAM	PLASTIC LAMINATE
CL	CLOSET	PLYWD	PLYWOOD
CLG	CEILING	POL	POLISHED
CLR	CLEAR	PR	PAIR
COL	COLUMN	PR	PRESSURE TREATED
CONC	CONCRETE	PTD	PAINTED
C.T.	CERAMIC TILE	R	RISER OR RADIUS
DIA	DIAMETER	R.A.	RETURN AIR
DN	DOWN	RAD	RADIATOR
DTL	DETAIL	RE:	REFER TO
DW	DISHWASHER	REF	REFRIGERATOR
DWG	DRAWING	REQD	REQUIRED
EA	EACH	REV	REVISED OR REVISION
ELEC	ELECTRICAL	RM	ROOM
EL	ELEVATION	R.O.	ROUGH OPENING
ENCL	ENCLOSURE	S.C.	SOLID CORE
EQ	EQUAL	SCHED	SCHEDULE
EQUIP	EQUIPMENT	SECT	SECTION
EXIST	EXISTING	SF	SQUARE FEET
FF	FINISH FLOOR	SHT	SHEET
FIN	FINISH	SIM	SIMILAR
FIXT	FIXTURE	SPEC	SPECIFICATIONS
FLR	FLOOR	S.S.	STAINLESS STEEL
F.R.	FIRE-RETARDANT OR FIRE-RATED	STD	STANDARD
FT	FOOT OR FEET	STL	STEEL
GA	GAUGE OR GAGE	STRUCT	STRUCTURAL
GAVL	GALVANIZED	T	TREAD
GC	GENERAL CONTRACTOR	TEL	TELEPHONE
GFI	GROUND FAULT INTERRUPTER	T&G	TONGUE AND GROOVE
GWB	GYPSON WALL BOARD	T.O.	TOP OF
H.C.	HOLLOW CORE	T.O.B.	TOP OF BEAM
H.M.	HOLLOW METAL	T.O.C.	TOP OF CONCRETE
HOR	HORIZONTAL	T.O.S.	TOP OF SLAB
HR	HOUR	T.O.W.	TOP OF WALL
HT	HEIGHT	TYP	TYPICAL
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	T/	TOP OF
I.D.	INSIDE DIAMETER	UON	UNLESS OTHERWISE NOTED
IN	INCH OR INCHES	W/	WITH
INCL	INCLUDING	W/O	WITHOUT
LAM	LAMINATED	WC	WATER CLOSET
LAV	LAVATORY	WD	WOOD
	LENGTH OVERALL	WR	WATER RESISTANT
		WWF	WELDED WIRE FABRIC
MATL	MATERIAL		
MAX	MAXIMUM		
MECH	MECHANICAL		
MFR	MANUFACTURER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
M.O.	MASONRY OPENING		
MTL	METAL		

ARCHITECTURAL SYMBOLS LEGEND

	BUILDING SECTION REFERENCE SHOWING DWG. NO. OVER SHEET NO.
	EXTERIOR ELEVATION REFERENCE SHOWING DWG. NO. OVER SHEET NO.
	INTERIOR ELEVATION(S) REFERENCE SHOWING DWG. NO(S). AND SHEET NO.
	DETAIL SECTION REFERENCE SHOWING DWG. NO. OVER SHEET NO.
	DETAIL REFERENCE SHOWING DWG. NO. OVER SHEET NO.
	PLAN DATUM SHOWING REFERENCE SURFACE AND ELEVATION HEIGHT
	SECTION OR ELEVATION DATUM REFERENCE SHOWING REFERENCE HT & EL
	DOOR INDICATOR SHOWING DOOR TYPE
	WINDOW INDICATOR SHOWING WINDOW TYPE
	WALL INDICATOR SHOWING WALL TYPE
	REVISION INDICATOR SHOWING REVISION NO.
	NOTE INDICATOR SHOWING NOTE NO.
	CENTERLINE
	HIDDEN LINE ABOVE
	HIDDEN LINE BELOW
	DIMENSION TO OR FROM INDICATED SURFACE
	DIMENSION TO OR FROM CENTER LINE
	CLEAR DIMENSION TO OR FROM FINISH SURFACE

ARCHITECTURAL MATERIALS LEGEND

	BRICK MASONRY
	CONCRETE MASONRY UNITS, (CMU)
	CONCRETE
	RIGID INSULATION
	THERMAL OR SOUND ATTENUATION BATT INSULATION
	UNDISTURBED EARTH
	DISTURBED EARTH OR FILL
	SOLID WOOD
	PLYWOOD OR WOOD PANEL PRODUCT
	SPRAY APPLIED INSULATION



PROJECT LOCATION:
91 S. HIGH STREET

DRAWING SCHEDULE			
SHEET NO.	SHEET TITLE	ARB APPLICATION	UPDATED ARB APPLICATION
GENERAL			
G-0.0	TITLE SHEET		
CIVIL			
1/3	SITE PLAN		
2/3	EXISTING CONDITIONS PLAN		
3/3	LANDSCAPE PLANS		
ARCHITECTURAL			
A-0.1	SITE PLAN		
A-0.2	CODE DATA AND LIFE SAFETY PLAN		
A-0.3	WALL TYPES AND PROJECT NOTES		
A-1.0	EXISTING CONDITIONS AND DEMOLITION PLANS		
A-1.1	NEW CONSTRUCTION PLANS		
A-1.2	ROOF PLAN		
A-2.0	EXTERIOR ELEVATIONS		
A-3.0	EXTERIOR DETAILS		
A-5.0	DOOR SCHEDULES AND DETAILS		
A-6.0	CARPENTRY AND FINISH DETAILS		
A-8.0	PERSPECTIVE MASSING STUDIES		
A-8.1	BASIS OF DESIGN PRODUCT DATA		
A-8.2	BASIS OF DESIGN PRODUCT DATA		
A-9.0	SPECIFICATIONS		
A-9.1	SPECIFICATIONS		
A-9.2	SPECIFICATIONS		

PHASE :
ARB Application

DATE : 06/30/2023

REVISIONS

DATE

PHASE :
ARB Application

DATE : 06/30/2023

A-0.1

LEGAL DESCRIPTION:
91 S HIGH ST
VILLAGE OF DUBLIN
55.70 MID PT LOT 134

SITE ADDRESS: 91 S HIGH ST, DUBLIN OH 43017
TOTAL LOT AREA: 0.2 ACRES, 8,693 SF
ZONING CLASSIFICATION: BSC-HC: HISTORIC SOUTH
PARCEL #: 273-000104-00

ZONING REQUIREMENT AND DATA SUMMARY

PROJECT DESCRIPTION: Change of use at an existing one-story building from retail to restaurant uses. No change in building footprint proposed. New work includes addition of accessible parking space, painting of building exterior with colors from ARB preapproved list, and addition of rooftop HVAC equipment to serve new restaurant kitchen.

EXISTING USE: Retail, General
PROPOSED USE: Eating and Drinking (PERMITTED PER TABLE 153.172A)

GROSS BUILDING FOOTPRINT AREA: 1457 SF (EXISTING AREA, NO CHANGE PROPOSED)
PROPOSED INDOOR GROSS AREA*: 1190 SF
BUILDING HEIGHT: 16'-0" (EXISTING HEIGHT, NO CHANGE PROPOSED)
SETBACKS: NO CHANGES PROPOSED

OFF-STREET PARKING CALCULATION

11 Off Street Vehicle parking spaces proposed

TABLE 153.173C: REQUIRED VEHICLE PARKING

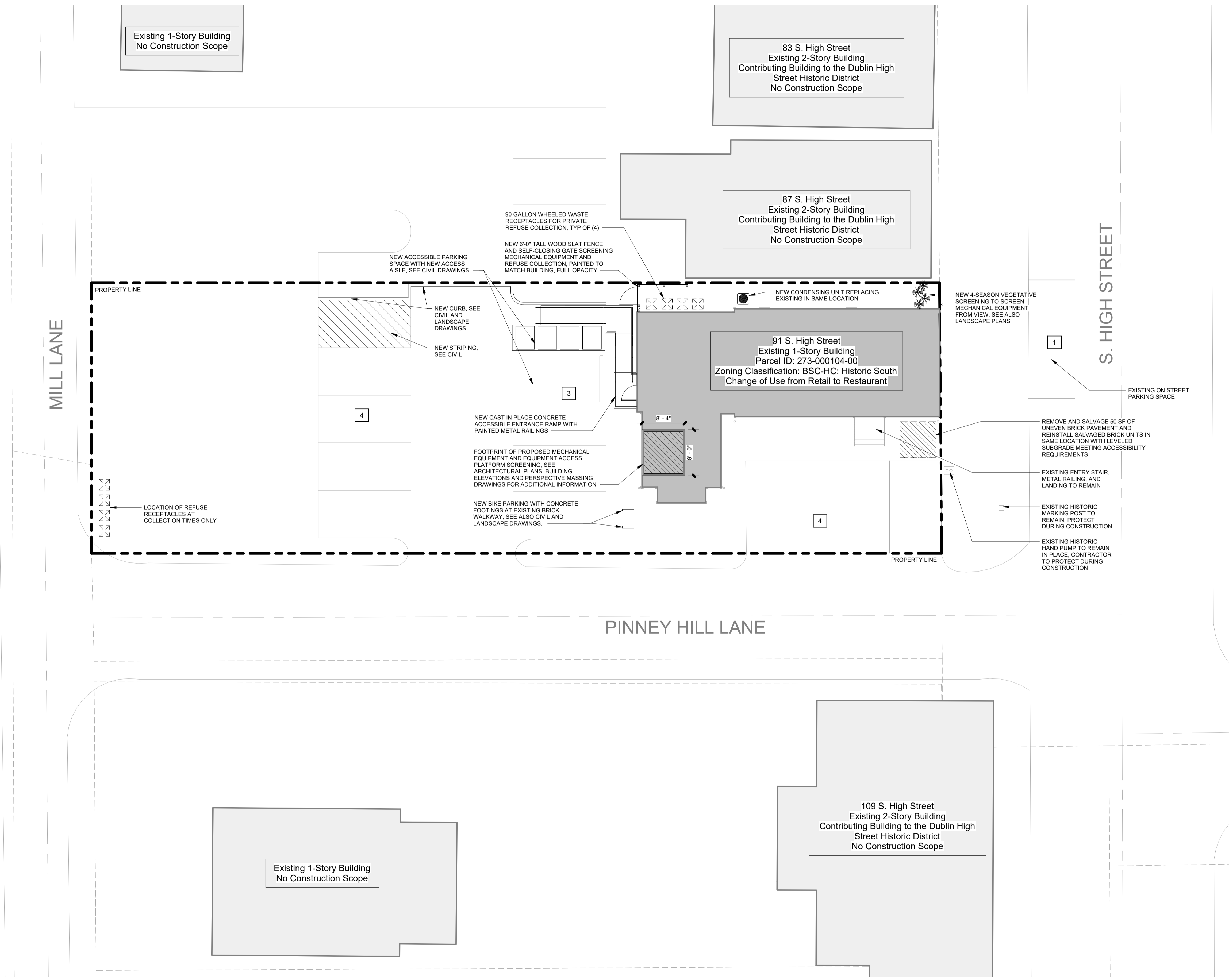
Use	Minimum Required	Maximum Permitted
Eating and Drinking	10 per 1,000 sq ft.	125% of minimum

Indoor Gross Area* = 1190 SF
 • 635 SF Dining Room & Bar
 • 475 SF Kitchen
 • 80 SF Toilet Rooms

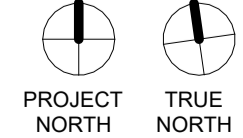
Vehicle Parking Calculation = 1190 SF @ 10 per 1000 sf = 11.9 vehicle parking spaces
 12 minimum vehicle parking spaces required

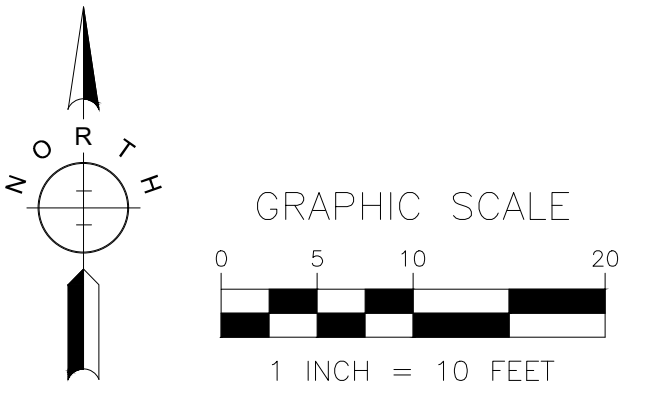
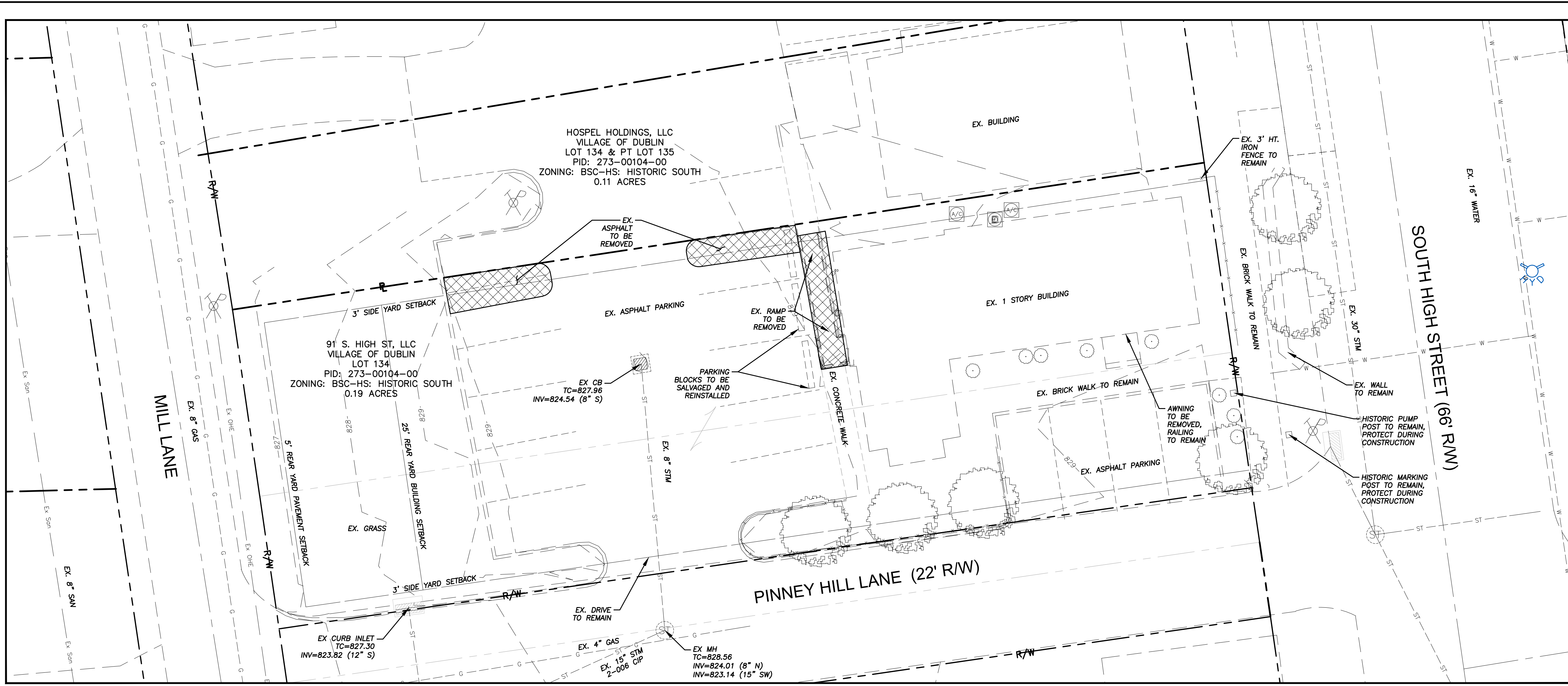
11 vehicle parking spaces to be provided on site
 1 existing street parking space at front of property

*Per 153.173 (7)(a)3, all square footage requirements for required vehicle parking are based on indoor gross floor area



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"





NOTES:

1. THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS NOT REPRESENTED, WARRANTED OR GUARANTEED TO BE COMPLETE OR ACCURATE. INVESTIGATION, LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICES, OUPS, AT 1-800-362-2764 TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
3. THE CONTRACTOR SHALL IDENTIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
4. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL, AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM LOCAL AUTHORITIES.
7. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITIONS ACTIVITIES. REFER TO THE EROSION CONTROL PLAN FOR DETAILS.
8. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIAL ARE ENCOUNTERED.
9. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, THE CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
11. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE ODOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
12. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
13. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



FRANKLIN COUNTY, OH
SITE ENGINEERING PLANS
 FOR
COAST WINE HOUSE
 91 S. HIGH STREET, DUBLIN, OH
 PROJECT NUMBER 23-124
EXISTING CONDITIONS

NO.	DATE	REVISIONS

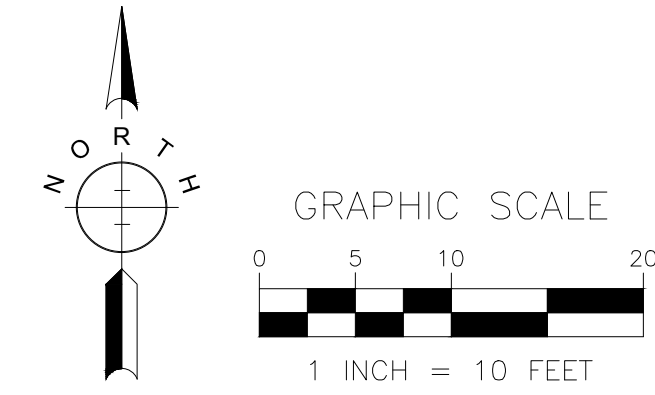
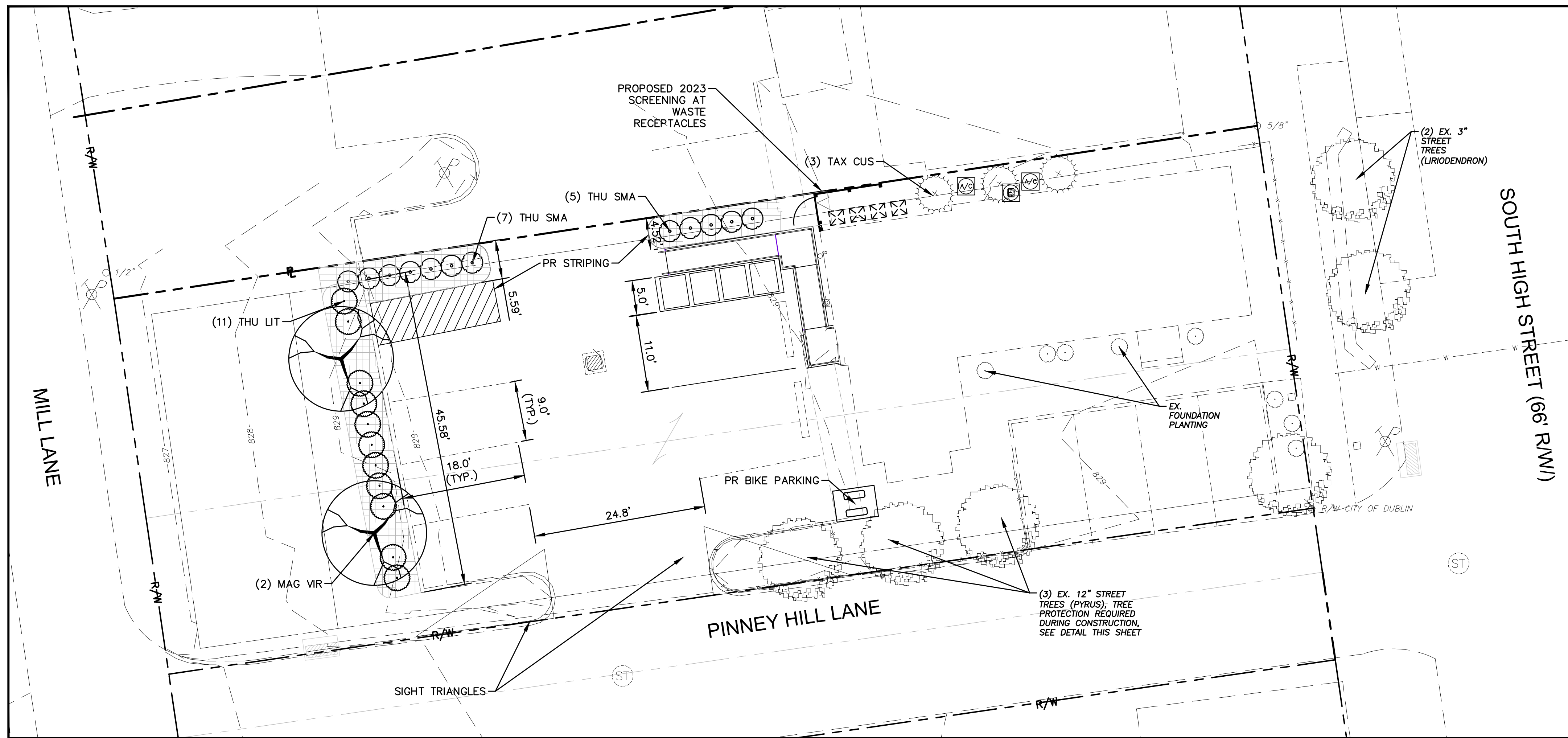
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SCALE: 1" = 10'

DATE: 07-01-2023

SHEET NO. 2/3

P:\Projects\2023\EDH01ES-23387 - Coast Wine Dublin\500-CAD\91-Civil\93-PrintSheets\Landscape Plan.dwg by: jsampson on 07/06/2023 2:15 PM ~ for PRIME AE



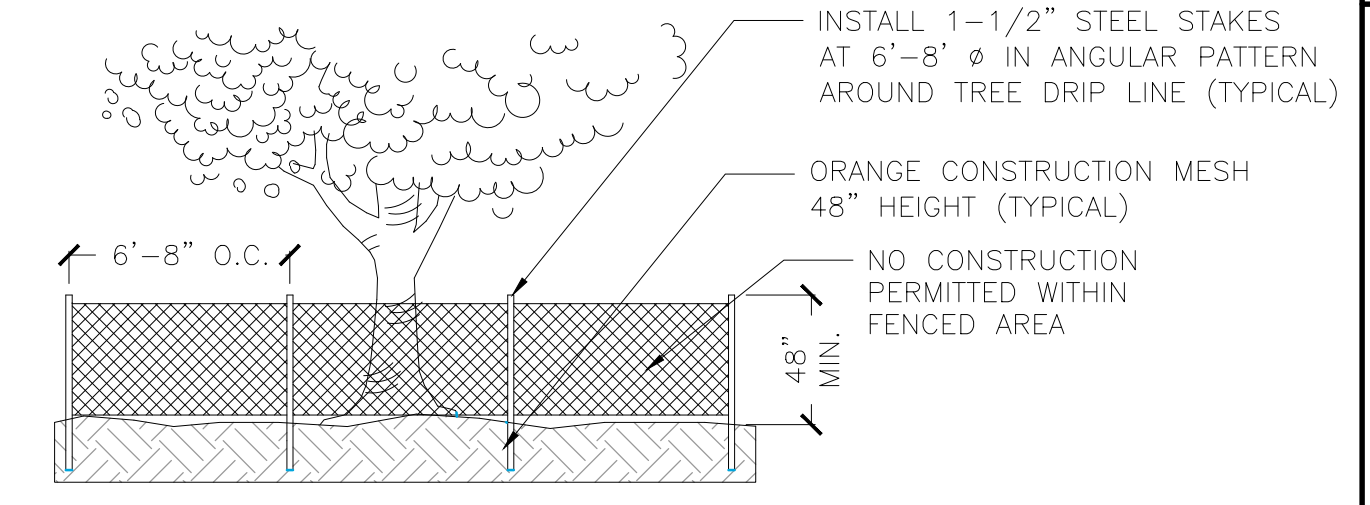
LANDSCAPE REQUIREMENTS:
CITY OF DUBLIN CODE SECTION 153.130 & 153.173

LOT COVERAGE:
PARCEL: 9,125 S.F. (0.21 AC.)
VEHICULAR USE AREA: 2,930 S.F. (32%)
BUILDING AREA: 1,190 S.F. (13%)

PARKING LOT SCREENING AND LANDSCAPING:
PERIMETER BUFFER LANDSCAPING
REQUIRED: CONTINUOUS HEDGE AND 1 TREE PER 40 L.F..
PROVIDED: CONTINUOUS HEDGE AND 1 TREE PER 40 L.F..

INTERIOR VEHICULAR USE AREA LANDSCAPING
DOES NOT APPLY - FEWER THAN 20 SPACES AND LESS THAN 6,00 S.F. OF PARKING AREA.

SERVICE STRUCTURES
ALL SERVICE STRUCTURES SHALL HAVE CONTINUOUS (100% OPACITY) SCREENING.



TREE PROTECTION DETAIL
TO BE USED ON ALL EXISTING TREES
NO SCALE

NOTES:

ALL PLANT MATERIALS TO COMPLY WITH THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK BY AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AND BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF JOB ACCEPTANCE.

CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES PRIOR TO INSTALLATION, NOTIFY ENGINEER IF FIELD CONDITIONS NECESSITATE ADJUSTMENT OF PLANT LOCATIONS.

SCREENING SHRUBS TO PROVIDE 100% OPACITY PER DUBLIN ZONING CODE, SECTION 153.

CONSULT PLANT SCHEDULE FOR PLANT SIZES AND SPECIFICATIONS.

CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANS. PLANT LIST QUANTITIES ARE FOR CONVENIENCE ONLY.

PARKING LOT AND STREET TREES SHALL HAVE A CLEAR CANOPY HEIGHT OF 6' MIN.

ALL SHRUB AND GROUND COVER BEDS TO BE MULCHED WITH A MINIMUM OF 2 INCHES OF SHREDDED HARDWOOD MULCH. MULCH PLANTING BEDS WITH SHREDDED HARDWOOD MULCH OF UNIFORM DARK BROWN COLOR. MULCH SHALL BE FREE OF TWIGS, LEAVES, DISEASE, PEST OR OTHER MATERIAL UNSIGHTLY OR INJURIOUS TO PLANTS. PULL MULCH AWAY FROM SHRUB STEMS.

CONTRACTOR SHALL PROVIDE A ONE YEAR GUARANTEE ON ALL PLANTS INSTALLED AND PROVIDE COMPLETE MAINTENANCE ON ALL WORK FROM THE DAY OF APPROVAL OF THE OWNER'S REPRESENTATIVE CONTINUING FOR A THREE MONTH DURATION AT WHICH TIME THE OWNER WILL DECLARE JOB ACCEPTANCE.

EACH PLANTING TO BE FREE FROM DISEASE, INSECT INFESTATION AND DAMAGE AND IN ALL RESPECTS BE READY FOR FIELD PLANTING.

PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND EQUAL IN DEPTH TO THE SIZE OF THE ROOT BALL AND TO BE AMENDED WITH ORGANIC SOIL CONDITIONER.

BED EDGES SHALL BE SMOOTH, CONSISTENT, HAND TRENCHED

6" DEEP AND "V" SHAPED UNLESS OTHERWISE NOTED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND THE PLANTING BED.

IN AREAS WHERE BEDROCK OR HEAVILY COMPACTED ROCK FILL IS ENCOUNTERED, THE PLANTING HOLES ARE TO BE DUG TO A MINIMUM OF THREE TIMES THE WIDTH AND ONE FOOT DEEPER THAN THE SIZE OF THE ROOT BALL. NOTIFY ENGINEER IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.

EXISTING GRASS TO BE REMOVED, IF PRESENT, AND TOPSOIL TO BE SPREAD SMOOTH AND HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO LAYING SOD OR SEEDING.

ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.

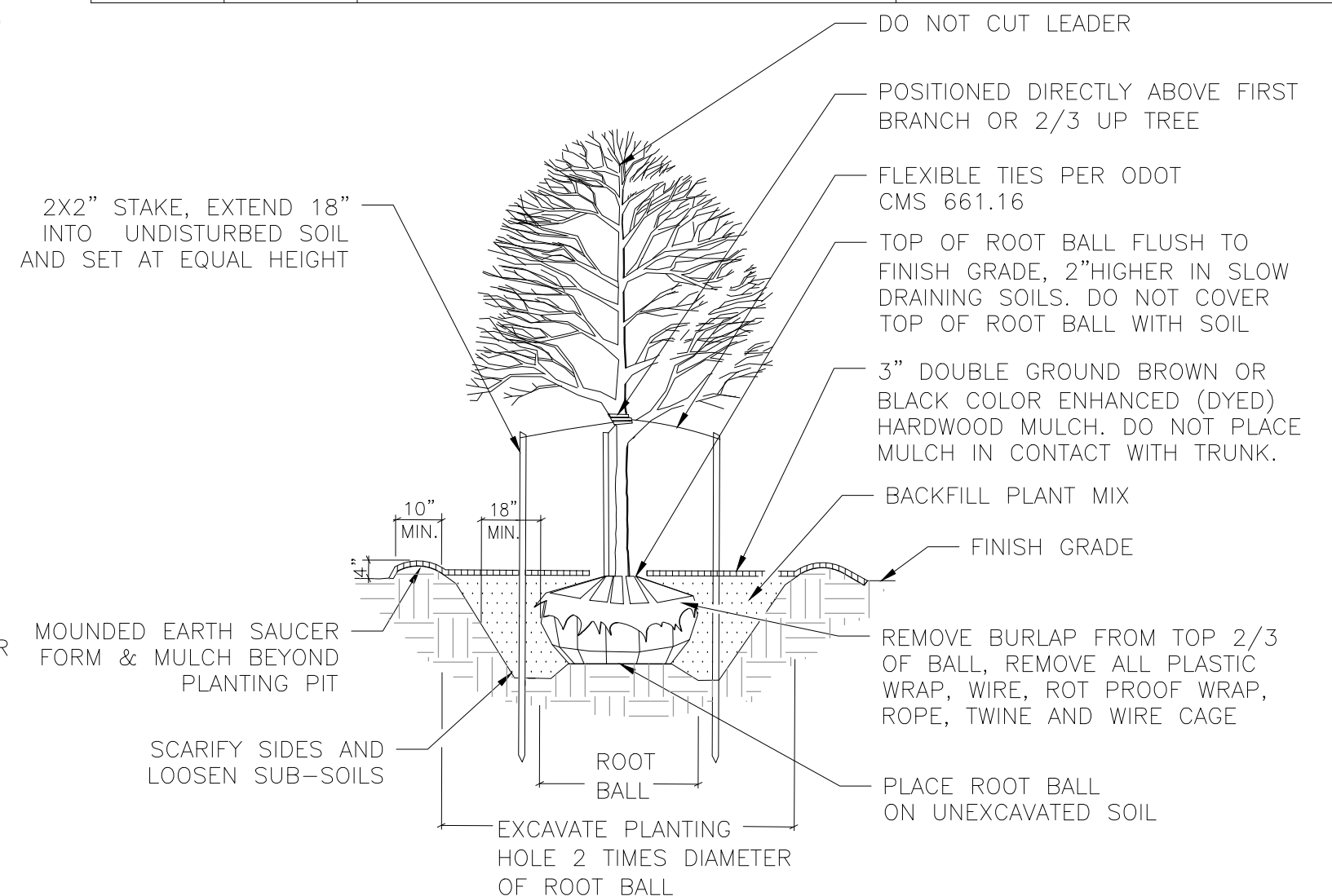
TOPSOIL IN LAWN AREA TO BE 4" IN DEPTH. TOPSOIL MIX IN PLANTING BEDS TO BE 3 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL TO A DEPTH OF 24".

ALL SEEDING INSTALLATION SHALL CONFORM TO ODOT SPECIFICATIONS. SEED AT 6 LBS/1000 SF WITH THE FOLLOWING SEED MIXTURE:
KENTUCKY BLUEGRASS 30%
CREEPING FESCUE 30%
ANNUAL RYEGRASS 20%
PERENNIAL RYEGRASS 10%

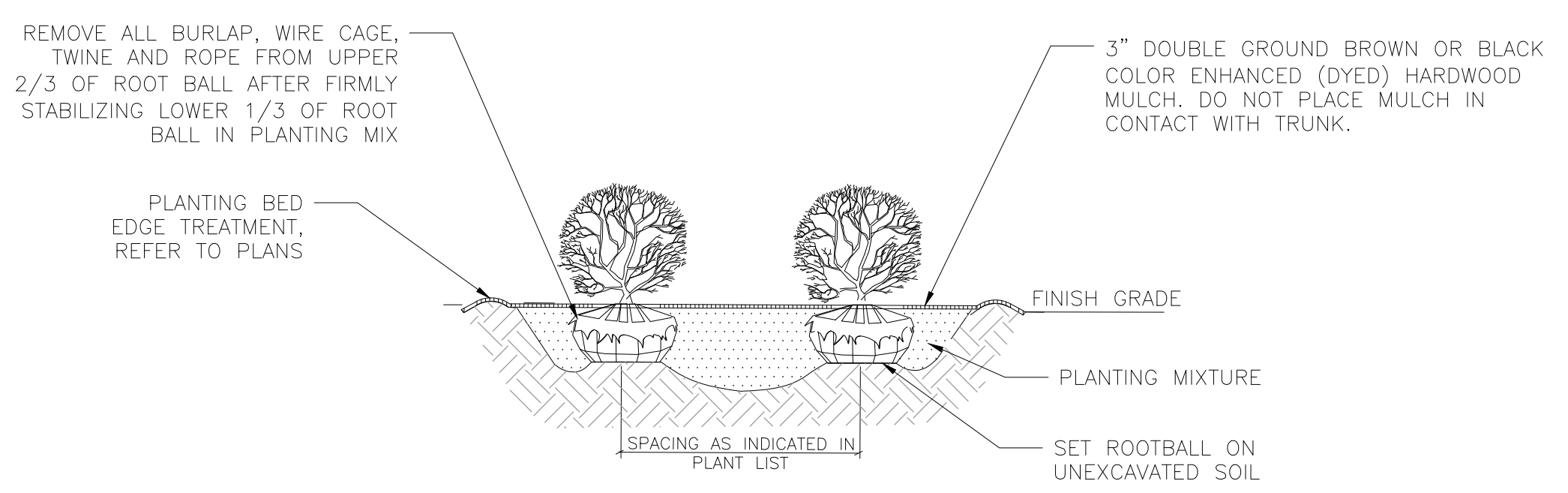
ALL TREES, SHRUBS, GROUND COVER AND LAWNS TO BE FERTILIZED WITH A COMMERCIAL GRADE FERTILIZER CONSISTING OF FAST AND SLOW RELEASE NITROGEN. SEED AREAS TO BE COVERED WITH CLEAN OAT OR WHEAT STRAW WELL SEASONED BEFORE BAILING, FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED NOXIOUS WEEDS.

CONTRACTOR SHALL THOROUGHLY WATER ALL PLANTS AT TIME OF INSTALLATION AND AS NEEDED UNTIL PROJECT ACCEPTANCE BY OWNER.

PLANT LIST									
KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	CONDITION	DECID./EV.	REMARKS	
TREES									
MAG VIR	⊗	MAGNOLIA VIRGINIANA	HOPHORNBEAM	1	2.5" CAL.	B&B	D		
SHRUBS									
TAX CUS	⊗	TAXUS CUSPIDATA 'CAPITATA'	JAPANESE YEW	3	42"	B&B	E		
THU SMA	⊗	TJUUA OCCIDENTALIS 'SMARAGD'	SMARAGD ARBORVITAE	12	6-7'	B&B	E	3.0' O.C.	
THU LIT	⊗	THUJA OCCIDENTALIS 'LITTLE GIANT'	LITTLE GIANT ARBORVITAE	11	#3	CONT.	E	24" MIN. HT., 3.0' O.C.	



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



NOTES:
ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND FORM.
SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS THEY BORE TO EXISTING GRADE IN THE PREVIOUSLY PLANTED CONDITION.

MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)
NOT TO SCALE

PRIME
8415 PULSAR PLACE | SUITE 300
COLUMBUS, OH 43240
P 614-839-0250 | F 614-839-0251

FRANKLIN COUNTY, OH
SITE ENGINEERING PLANS
FOR
COAST WINE HOUSE
91 S. HIGH STREET, DUBLIN, OH
PROJECT NUMBER 23-124
SITE PLAN

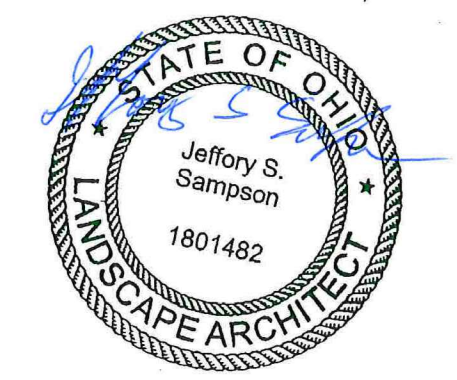
NO.	DATE	REVISIONS

DRAWN BY: JS
CHECKED BY: SF

SCALE: 1" = 10'

DATE: 07-01-2023

SHEET NO. 3/3



LEGAL DESCRIPTION:
91 S HIGH ST
VILLAGE OF DUBLIN
55.70 MID PT LOT 134

SITE ADDRESS: 91 S HIGH ST, DUBLIN OH 43017
TOTAL LOT AREA: 0.2 ACRES, 8,693 SF
ZONING CLASSIFICATION: BSC-HC: HISTORIC SOUTH
PARCEL #: 273-000104-00

ZONING REQUIREMENT AND DATA SUMMARY

PROJECT DESCRIPTION: Change of use at an existing one-story building from retail to restaurant uses. No change in building footprint proposed. New work includes addition of accessible parking space, painting of building exterior with colors from ARB preapproved list, and addition of rooftop HVAC equipment to serve new restaurant kitchen.

EXISTING USE: Retail, General
PROPOSED USE: Eating and Drinking (PERMITTED PER TABLE 153.172A)

GROSS BUILDING FOOTPRINT AREA: 1457 SF (EXISTING AREA, NO CHANGE PROPOSED)
PROPOSED INDOOR GROSS AREA*: 1190 SF
BUILDING HEIGHT: 16'-0" (EXISTING HEIGHT, NO CHANGE PROPOSED)
SETBACKS: NO CHANGES PROPOSED

OFF-STREET PARKING CALCULATION

11 Off Street Vehicle parking spaces proposed

TABLE 153.173C: REQUIRED VEHICLE PARKING

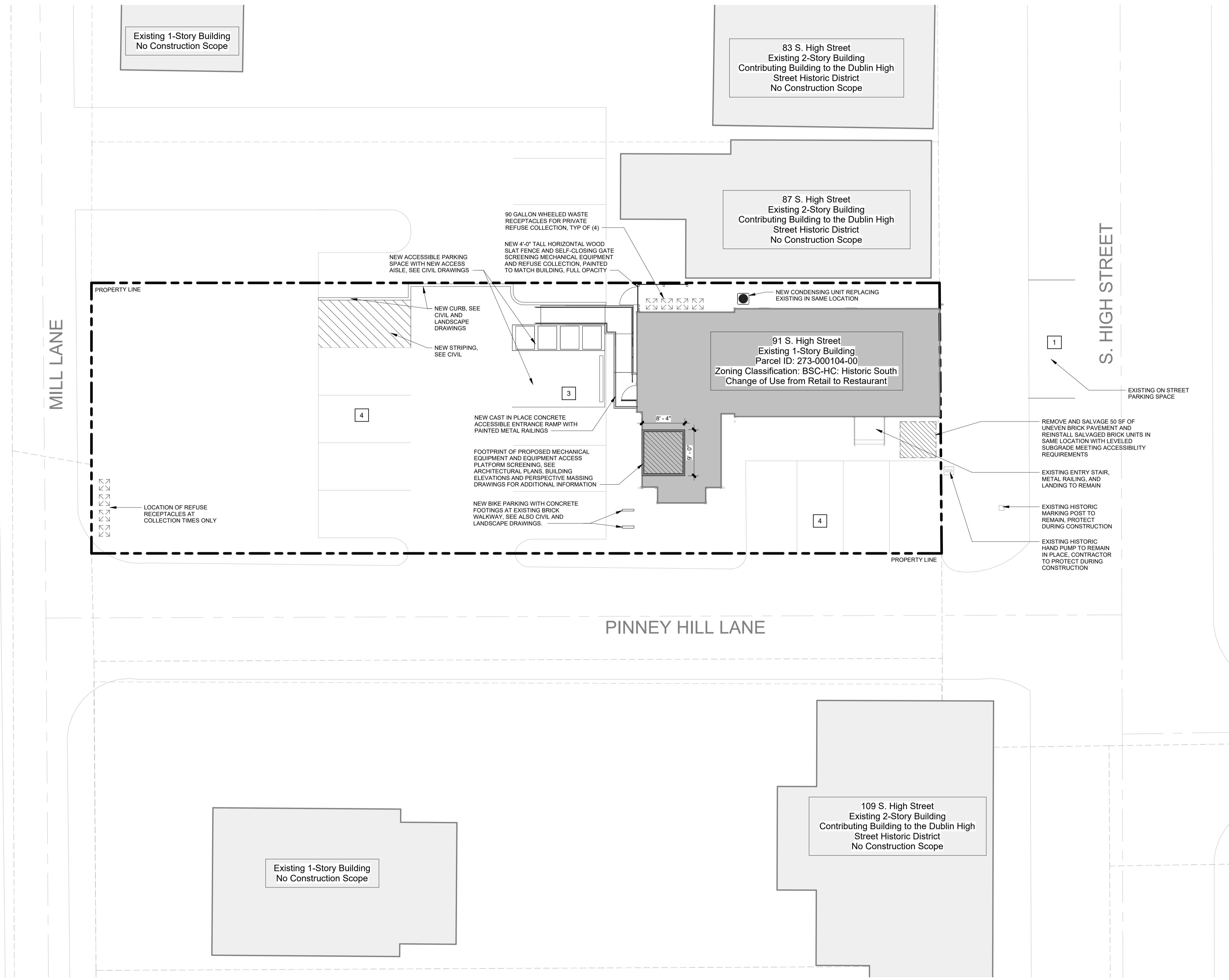
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Indoor Gross Area* = 1190 SF
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 • 475 SF Kitchen
 • 80 SF Toilet Rooms

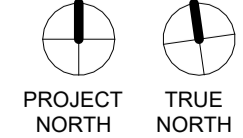
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 12 minimum vehicle parking spaces required

11 vehicle parking spaces to be provided on site
 1 existing street parking space at front of property

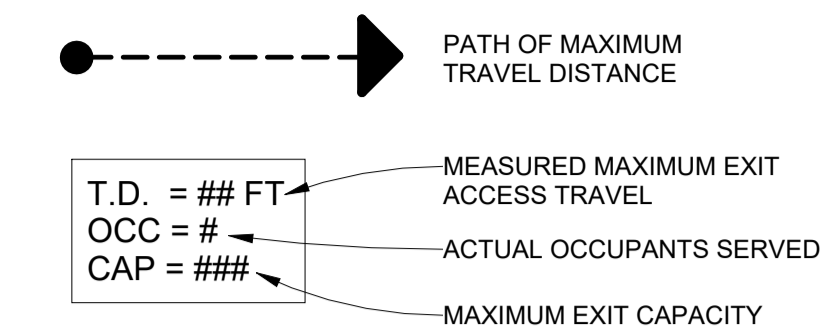
*Per 153.173 (7)(a)3, all square footage requirements for required vehicle parking are based on indoor gross floor area



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"



CODE PLAN LEGEND



CODE REQUIREMENTS AND ANALYSIS

PROJECT DESCRIPTION: Alteration of existing building to change use of building from retail and salon business to restaurant.
 BUILDING ADDRESS: 91 S. High Street
 YEAR CONSTRUCTED: 1840s
 AHJ: CITY OF DUBLIN
 AREA OF BUILDING: 1457 SF
APPLICABLE CODES:
 2017 OHIO BUILDING CODE 2017 OHIO MECHANICAL CODE
 2017 OHIO PLUMBING CODE 2017 OHIO FIRE CODE
 2012 INTERNATIONAL ENERGY CODE 2010 ASHRAE 90.1
 2015 INTERNATIONAL FUEL GAS CODE 2017 NATIONAL ELECTRIC CODE, NFPA 70

CHAPTER 3: USE AND OCCUPANCY
 EXISTING BUILDING USE: MIXED USE, NON-SEPARATED
 - GROUP M MERCHANTILE (309.1: RETAIL STORE)
 - GROUP B BUSINESS (304.1: BEAUTY SHOP)

PROPOSED BUILDING USE:
 - GROUP A-2 ASSEMBLY (303.3: RESTAURANTS)

CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS
TYPE V-B, NON-SPRINKLERED, A-2 OCCUPANCY

EXISTING BUILDING HEIGHT: 18 FEET, 1 STORY; NO HEIGHT CHANGE PROPOSED
 EXISTING BUILDING AREA: 1,457 SF; NO AREA CHANGES PROPOSED

ALLOWABLE HEIGHT AND TABULAR AREA

USES	HEIGHT	STORIES	TABLE 504.3	TABLE 504.4	TABLE 506.2
A-2	40'-0"	1	440	440	6,000 SF

(PROPOSED OCCUPANCY COMPLIES WITH HEIGHT AND AREA LIMITS FOR V-B CONSTRUCTION TYPE)

CHAPTER 6: TYPE OF CONSTRUCTION

CONSTRUCTION TYPE:	EXISTING TYPE V-B (OBC TABLE 601)	REQUIRED FIRE RATING IN HRS (F.R.R.)
COMPONENT		
STRUCTURAL FRAME	0 HRS	(NO CHANGES)
BEARING WALLS (EXT)	0 HRS	(NO CHANGES)
BEARING WALLS (INT)	0 HRS	(NO CHANGES)
NON BEARING WALL (EXT)	Varies, see Table 602	
NON BEARING WALL (INT)	0 HRS	(NEW WALLS TO COMPLY)
FLOOR	0 HRS	(NO CHANGES)
ROOF	0 HRS	(NO CHANGES)

TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS

GROUPS A-2, TYPE V-B	FIRE SEP. DISTANCE	RATING	COMMENT
X < 5		1	NOT APPLICABLE
5 ≤ X < 10		1	COMPLIES, SEE WALL TYPE 'B'
10 ≤ X < 30		0	NOT APPLICABLE
X ≥ 30		0	EXST. EXTERIOR WALLS COMPLY, NO WORK

CHAPTER 9: FIRE PROTECTION SYSTEMS
 FIRE SUPPRESSION: NONE EXISTING, NO CHANGES PROPOSED
 SUPPRESSION NOT REQUIRED PER OBC 903

FIRE ALARM: NONE EXISTING IN TENANT SPACE, NO CHANGES PROPOSED
 FIRE ALARM SYSTEM NOT REQUIRED PER OBC 907

CHAPTER 10: MEANS OF EGRESS
 OCCUPANT LOAD CALCULATIONS

FLOOR AREAS WITHOUT FIXED SEATING (TABLE 1004.1.2)

FUNCTION OF SPACE	FACTOR	AREA	OCC. LOAD
Dining Room and Bar	15 net	440	29
Kitchen	200 gross	475	3

FLOOR AREAS WITH FIXED SEATING (SECTION 1004.4)

SEATING AREA	FACTOR	LENGTH	OCC. LOAD
Dining Room East Banquet	1 occ. / 24"	20'-0"	10
Dining Room West Banquet	1 occ. / 24"	13'-0"	7

TOTAL OCCUPANCY OF TENANT SPACE: 49 OCCUPANTS

CHAPTER 11: ACCESSIBILITY - SEE CH. 3411

CHAPTER 13: ENERGY EFFICIENCY
 1301.1.1 Criteria - Buildings shall be designed and constructed in accordance with the International Energy Conservation Code - (2012 IECC REFERENCED IN OBC CH 35)

IECC C101.4.2 Historic Buildings: Any building or structure that is listed in the State or National Register of Historic Places, designated as a historic property under local or state designation law or survey, certified as a contributing resource with a National Register listed or locally designated historic district, ... are exempt from this code.

(BUILDING IS LISTED ON NATIONAL REGISTER OF HISTORIC PLACES AND IS A CONTRIBUTING RESOURCE TO HISTORIC DISTRICT; STRUCTURE IS EXEMPT FROM REQUIREMENTS OF IECC PER C101.4.2)

CHAPTER 29: PLUMBING
 OBC TABLE 2902.1 Minimum Number of Required Plumbing Fixtures.

USE: A-2, Restaurant

WCs	LAVS	TUB/SHOWERS	DF *	SERV SINK
1 per 75	1 per 75	1 per 200	None Required	1 per 500

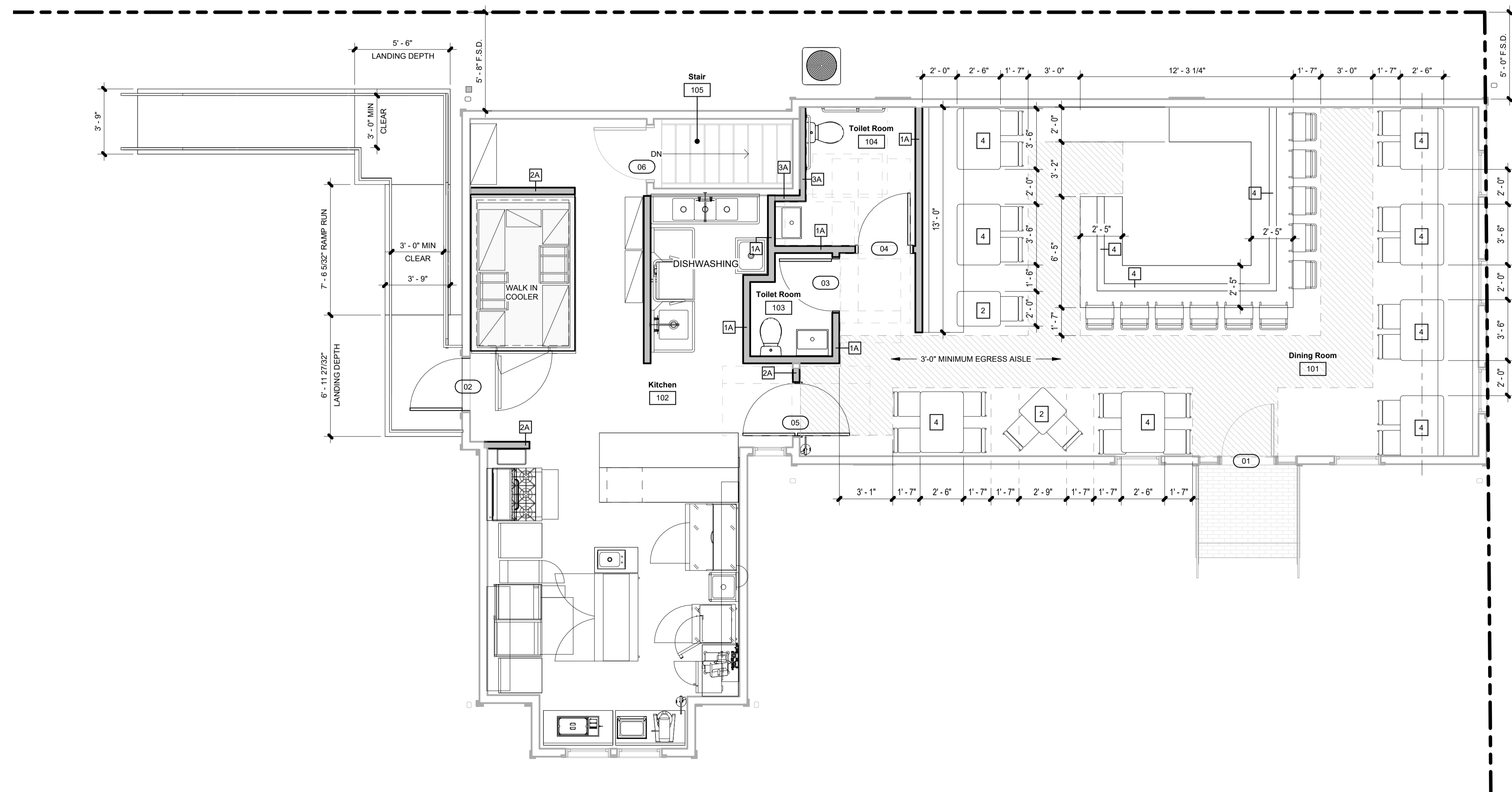
Occupants: 49 Total
FIXTURES PROVIDED: 2 WATER CLOSETS, 2 LAVATORY, 1 SERVICE SINK

*(See Section 410 of the plumbing code for Drinking Fountain exceptions)
 OPC Section 410.4 Substitution
 Where restaurants provide drinking water in a container free of charge, drinking fountains shall not be required in those restaurants. In other occupancies, where water dispensers are provided, drinking fountains shall not be required.
(WATER TO BE PROVIDED BY RESTAURANT FREE OF CHARGE)

CHAPTER 34: EXISTING BUILDINGS AND STRUCTURES
 Section 3401.1.1 Compliance:
 Compliance shall be demonstrated by meeting the requirements of one of the following:
 1. Chapters 2 through 33 of this code; or
 2. Sections 3403 through 3411; or
 3. Section 3412 Compliance Alternatives.
(COMPLIANCE SHALL BE DEMONSTRATED BY OPTION #2, 3403-3411)

3401.1.1.1 Energy Code Compliance:
 Alterations, repairs, additions and changes of occupancy to, or relocation of, existing buildings and structures shall also comply with the provisions for alterations, repairs, additions and changes of occupancy or relocation in the International Energy Conservation Code, and the ASHRAE 90.1 as referenced in Chapter 35.
(STRUCTURE IS EXEMPT FROM REQUIREMENTS OF IECC PER IECC C101.4.2.)

3411 Accessibility for Existing Buildings
 3411.4.2 Complete Change of Occupancy: Where an entire building undergoes a change of occupancy, it shall comply with Section 3411.4.1 and shall have all of the following accessible features:
 1. At least one accessible building entrance.
(COMPLIES)
 2. At least one accessible route from an accessible building entrance to primary function areas.
(COMPLIES)
 3. Signage complying with Section 1111.
(COMPLIES)
 4. Accessible parking, where parking is being provided.
(COMPLIES)
 5. At least one accessible passenger loading zone, when loading zones are provided.
(NOT APPLICABLE)
 6. At least one accessible route connecting accessible parking and accessible passenger loading zones to an accessible entrance.
(COMPLIES)



1 EGRESS AND BUILDING CODE DIAGRAM
 SCALE: 1/4" = 1'-0"



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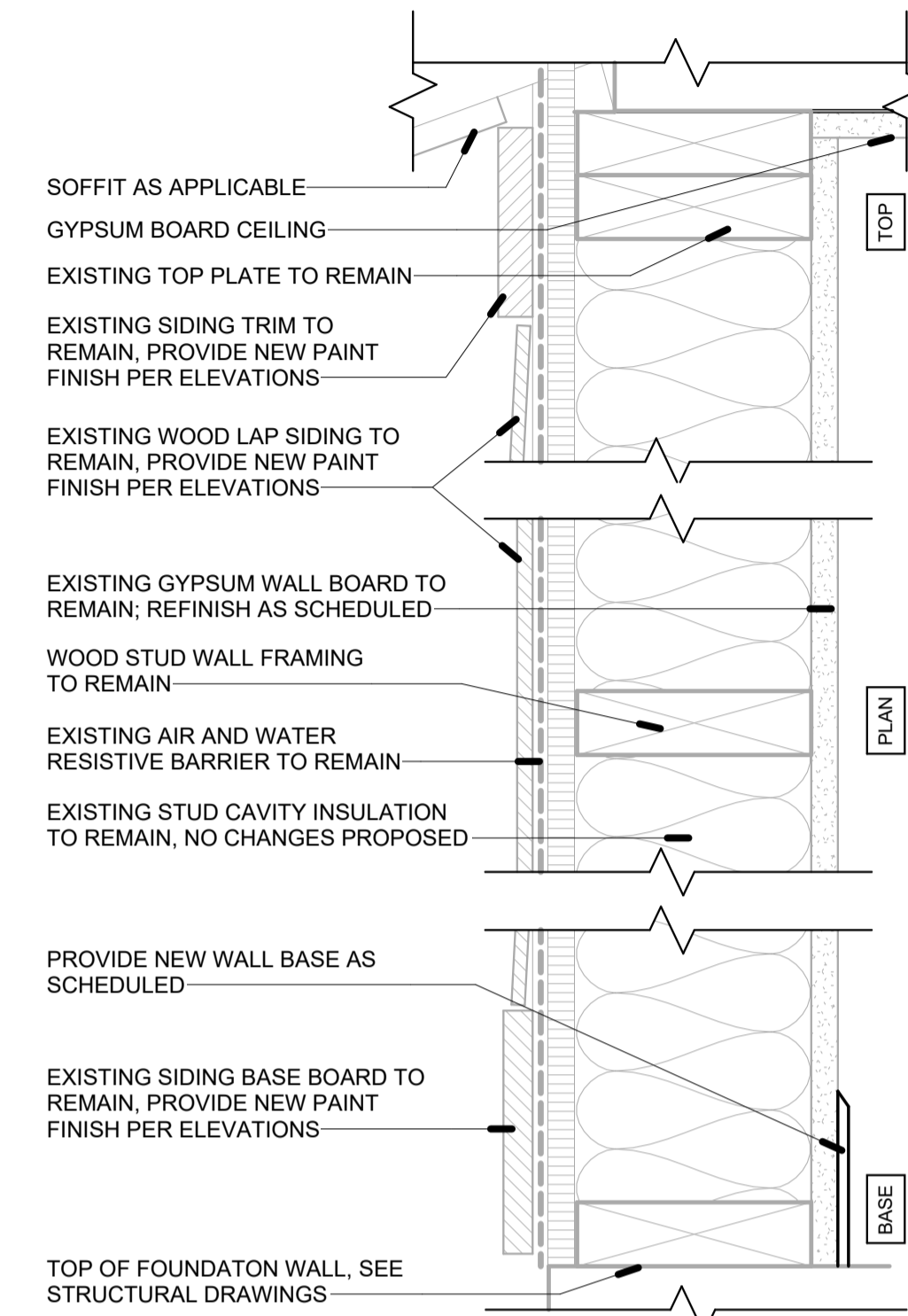
A-0.2

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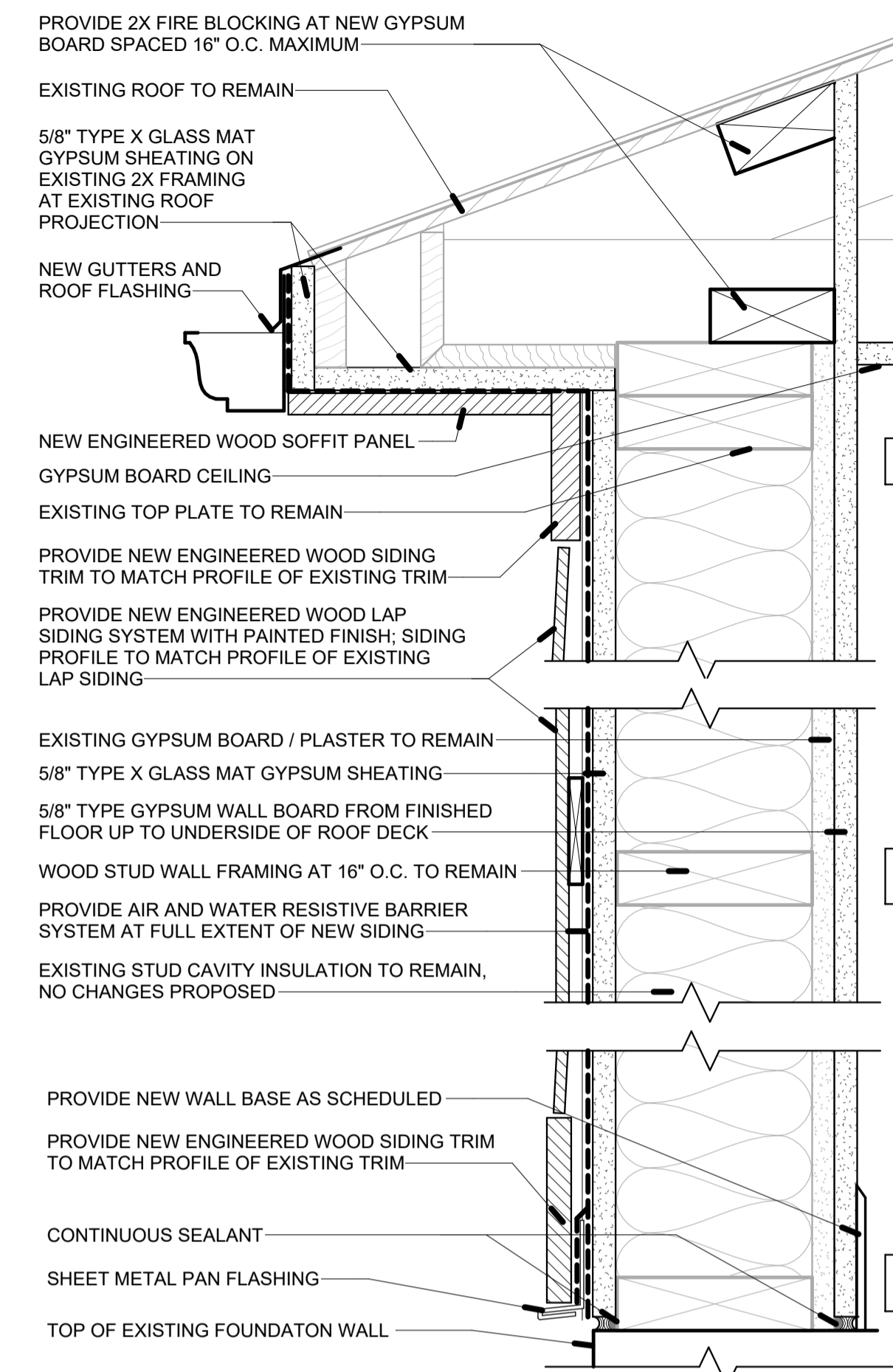
DATE
1 10/28/2021

WALL AND PARTITION NOTES

1. ALL SEAMS BETWEEN THE LAYERS OF GYPSUM BOARD IN MULTI-LAYER PARTITIONS SHOULD BE STAGGERED AND TAPED. THE ENTIRE PERIMETER OF THE OUTER LAYER OF GYPSUM BOARD SHOULD BE SEALED AIRTIGHT WITH RESILIENT SEALANT.
2. AT PARTITIONS INDICATED TO HAVE ACOUSTIC DESIGNS, CONTRACTOR TO SEPARATE ELECTRICAL ROUGH-IN BOXES BY 24" MINIMUM, SEAL ALL BOX OPENINGS WITH 1/8" THICK MINIMUM CLAY PACKING MATERIAL, AND CAULK ALL JOINTS BETWEEN THE ELECTRICAL ROUGH-IN BOXES AND THE GYPSUM BOARD. SEE ACOUSTIC DETAILS ON SHEET A-7.0
3. PROVIDE PAINTABLE RESILIENT SEALANT AT ALL PENETRATIONS IN PARTITIONS. SEE ACOUSTIC DETAILS ON SHEET A-7.0
4. GYPSUM WALL BOARD INSTALLED AS PART OF PARTITIONS WITH LINEAR PLAN GEOMETRY TO BE 5/8" THICK UNLESS NOTED OTHERWISE
5. WHERE WALL TILE IS INSTALLED FRAMED PARTITIONS, PROVIDE STUD SPACING AT NO GREATER THAN 16" ON CENTER AND PROVIDE FRAMING DESIGNED TO PROVIDE LATERAL DEFELECTION OF NO MORE THAN L/360 WHEN STUDS ARE INSTALLED BETWEEN FLOOR AND DECK ABOVE
6. FOR PARTITIONS SUPPORTING WALL MOUNTED CASEWORK, AV DISPLAY SCREENS, OR SIMILAR ITEMS, PROVIDE IN-WALL BLOCKING AT MOUNTING HEIGHTS SHOWN ON DRAWINGS. IF MOUNTING HEIGHTS ARE NOT NOTED, SUBMIT R.F.I. TO OWNER AND ARCHITECT
7. GENERAL CONTRACTOR TO COORDINATE STUD DEPTHS BETWEEN TRADES TO ENSURE ALL CONDUITS, PIPES, DRAIN LINES, CABLES, AND SIMILAR ITEMS ARE CONCEALED WITHIN OR BEHIND STUD CAVITIES IN SPACES BELOW FINISHED CEILINGS UNLESS OTHER DRAWINGS SPECIFICALLY INDICATE THAT ABOVE REFERENCED ITEMS ARE INTENDED TO BE EXPOSED TO VIEW. IF CONDUITS, PIPES, DRAIN LINES, CABLES, OR SIMILAR ITEMS DO NOT FIT WITHIN MINIMUM STUD SIZES INDICATED ON PARTITION TYPE DETAILS, CONTRACTOR TO PROVIDE WIDER STUD CAVITY AS REQUIRED.

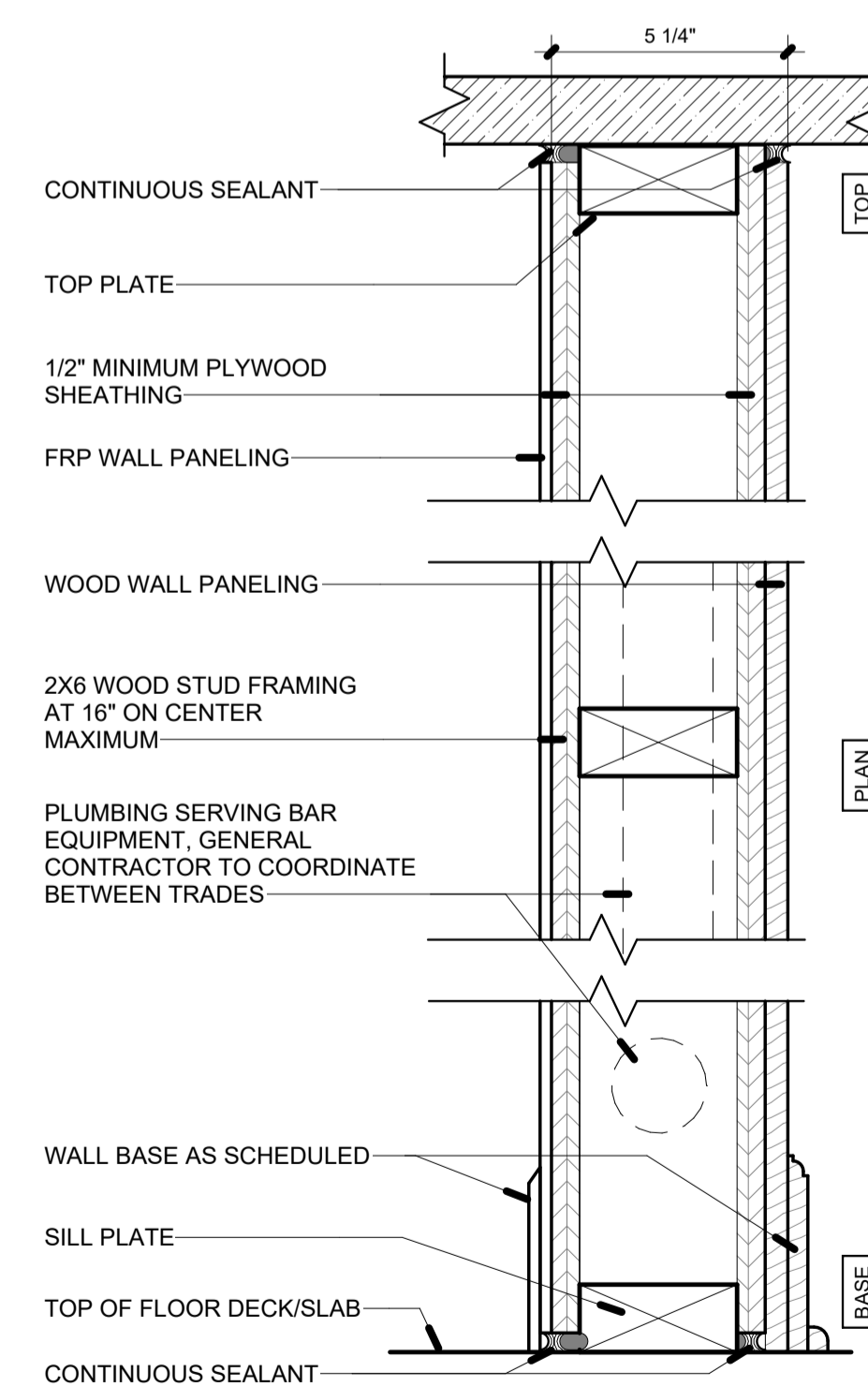


A TYPE A - EXISTING EXTERIOR WALL ASSEMBLY

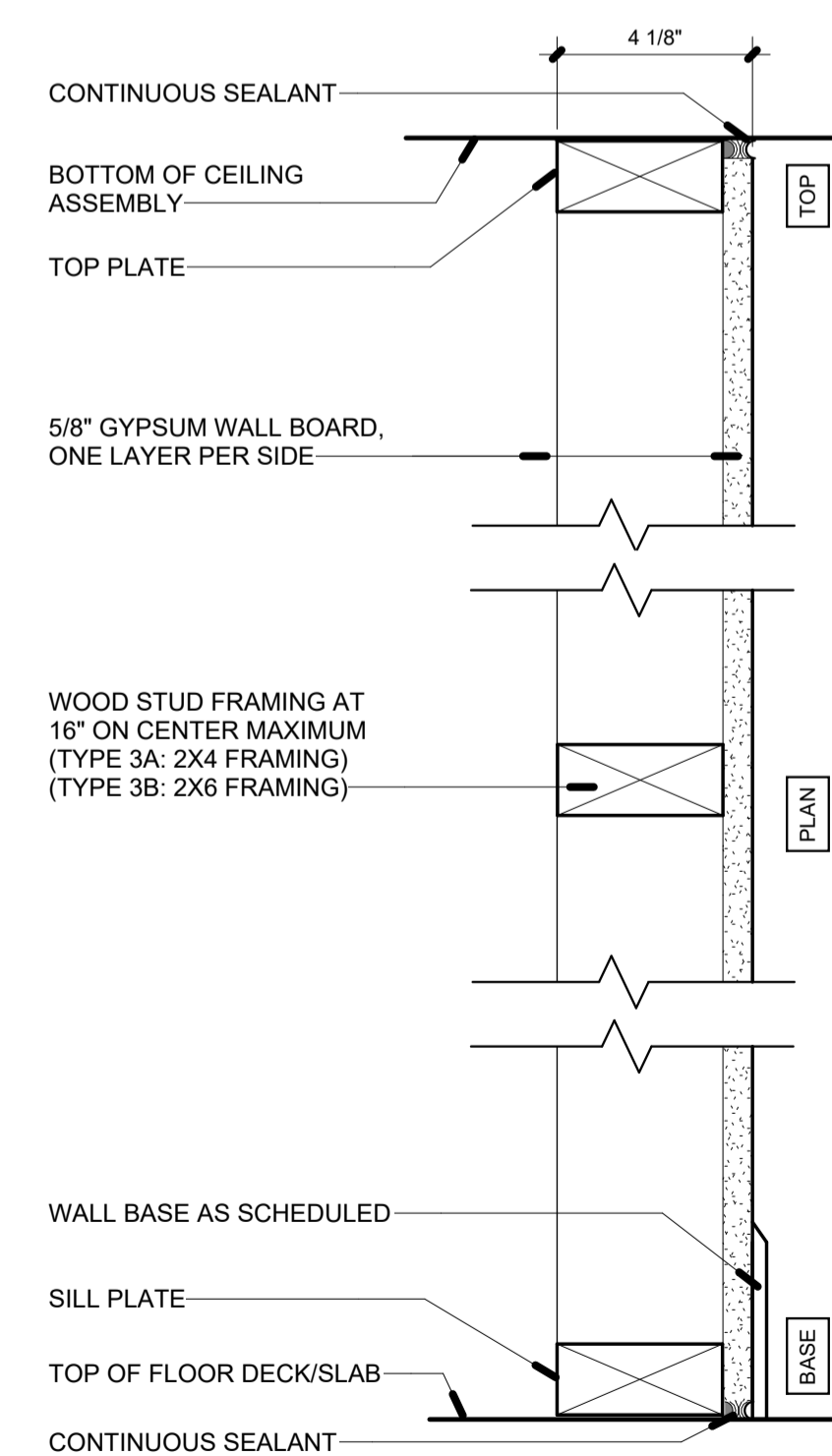


B TYPE B - 1-HOUR FIRE RESISTANCE RATED EXTERIOR WALL ASSEMBLY

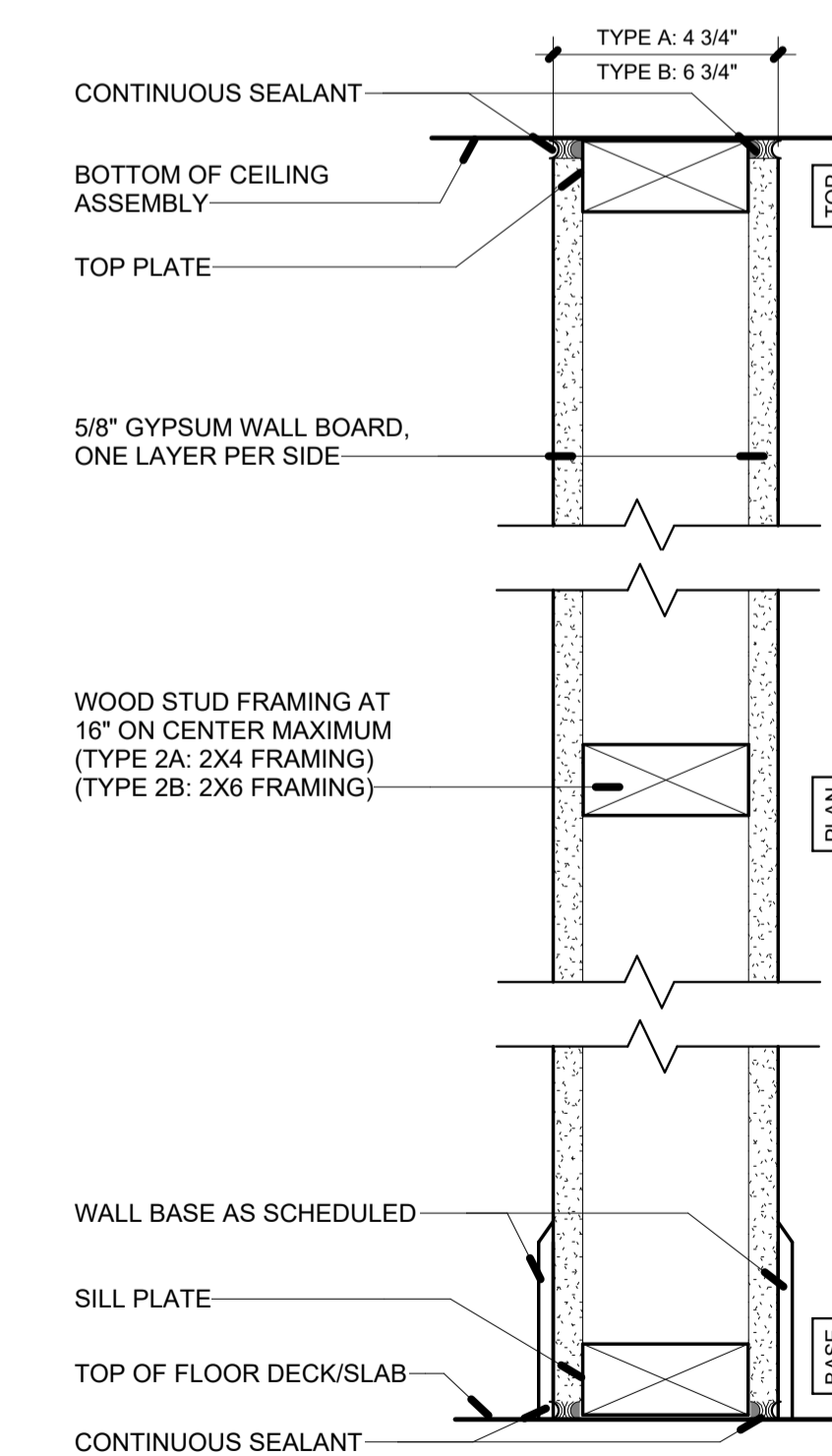
2 WALL TYPES - EXTERIOR
SCALE: 3" = 1'-0"



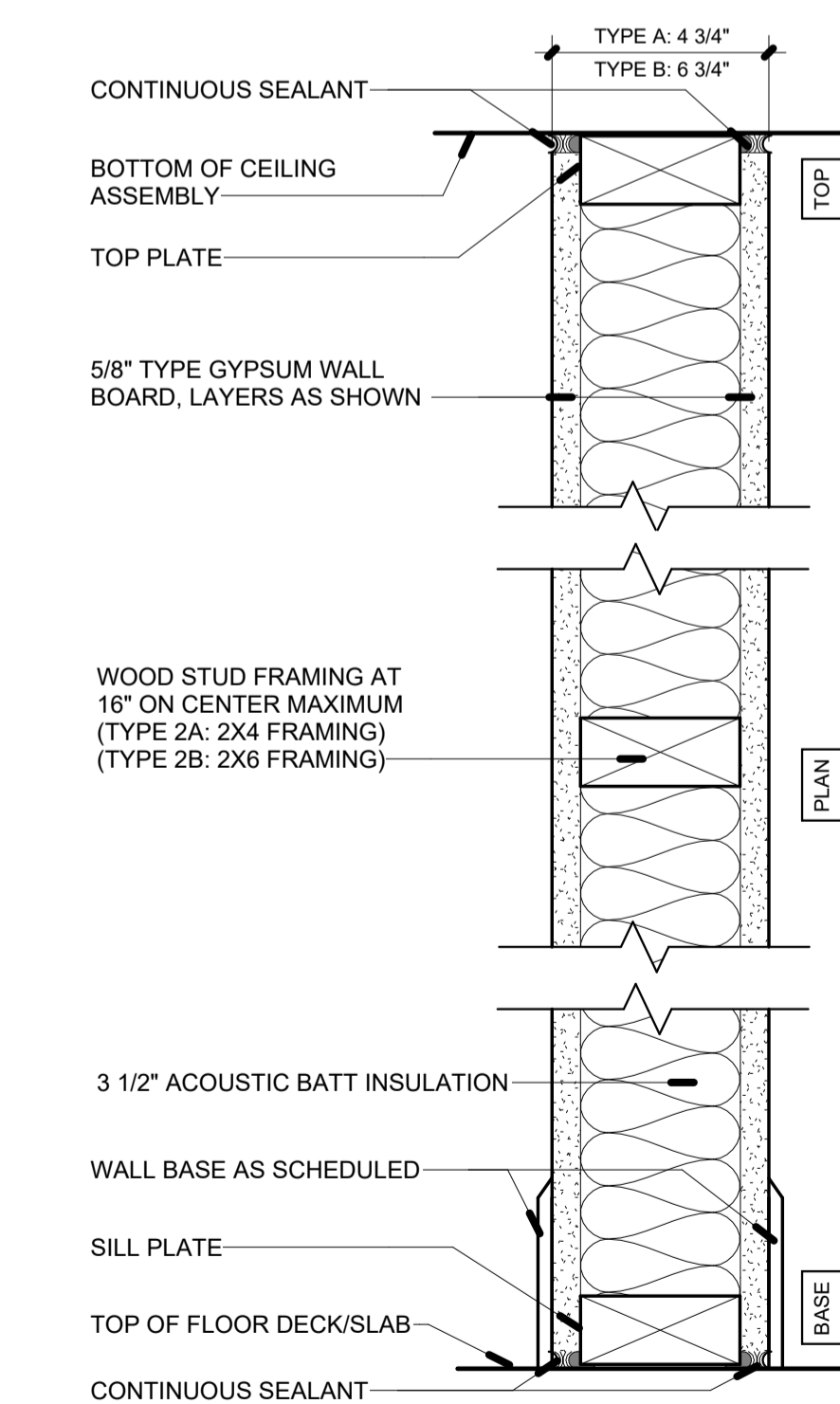
4 TYPE 4 - BAR DIE WALL



3B **3A** TYPE 3 - SINGLE SIDED PARTITION



2B **2A** TYPE 2 - BALANCED PARTITION



1B **1A** TYPE 1 - ACOUSTIC PARTITION

1 WALL TYPES - INTERIOR
SCALE: 3" = 1'-0"



LOOKING NORTH FROM PINNEY HILL LANE TOWARD SOUTH BUILDING FACADE; METAL AND FABRIC AWNING PICTURED TO BE REMOVED



LOOKING WEST FROM EAST SIDEWALK ON S. HIGH STREET TOWARD EAST BUILDING FACADE



LOOKING SOUTHWEST FROM WEST SIDEWALK ON S. HIGH STREET TOWARD NORTH AND EAST BUILDING FACADES



LOOKING NORTH WEST FROM PINNEY HILL LANE TOWARD SOUTH AND EAST BUILDING FACADES; METAL AND FABRIC AWNING PICTURED TO BE REMOVED



LOOKING NORTH EAST FROM PINNEY HILL LANE TOWARD SOUTH AND WEST BUILDING FACADES AND EXISTING PATIO



LOOKING NORTH FROM PINNEY HILL LANE TOWARD SOUTH BUILDING FACADE AND EXISTING PATIO



LOOKING WEST EXISTING SIDEWALK AT WEST BUILDING FACADE TOWARD EXISTING PARKING LOT AND MILL LANE BEYOND



LOOKING EAST FROM EXISTING PARKING LOT TOWARD NORTH BUILDING FACADE



LOOKING EAST FROM EXISTING PARKING LOT TOWARD WEST BUILDING FACADE, EXISTING RAMP, AND EXISTING SURFACE PARKING LOT

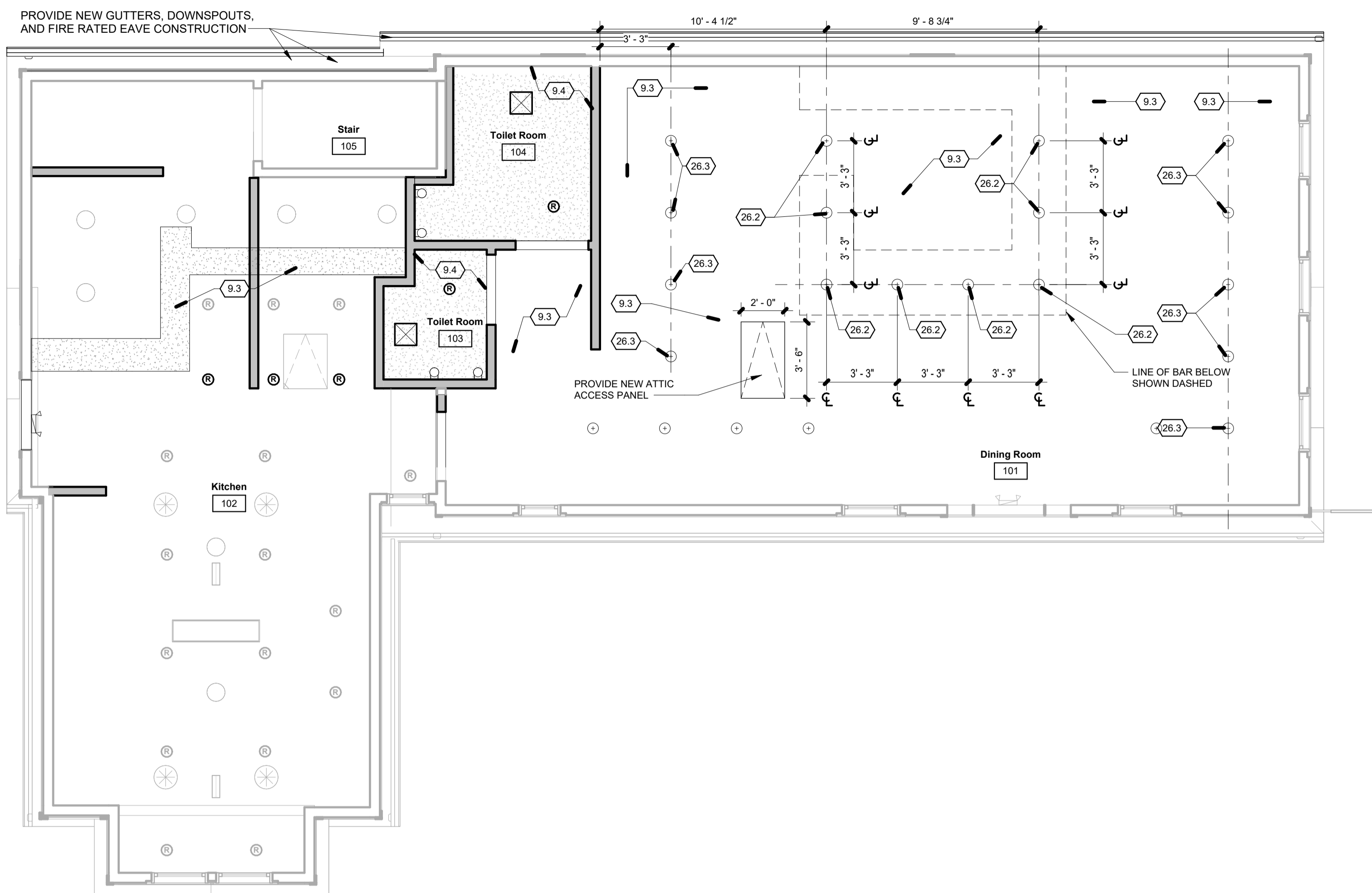
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REFLECTED CEILING PLAN LEGEND

○	CEILING-MOUNTED LIGHT FIXTURE
⊙	RECESSED CEILING-MOUNTED DOWNLIGHT
⊖	PENDANT LIGHT FIXTURE
□	WALL MOUNTED SCONCE LIGHT FIXTURE
▬	SURFACE-MOUNTED OR UNDERCABINET STRIP LIGHT
●	UNDERCABINET RECESSED "PUCK" LIGHT
⊗	CEILING EXHAUST FAN, SEE HVAC DRAWINGS
⊛	CEILING RECESSED AUDIO SPEAKER
⊙	CIRCULAR HVAC DIFFUSER, SEE HVAC DRAWINGS
▭	EXISTING GYPSUM / PLASTER CEILING
▨	NEW OR REPAIRED GYPSUM CEILING

- NOTES:**
- SEE ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SPECIFICATION AND CIRCUITING, AND OTHER ELECTRICAL INFORMATION
 - WHERE A SINGLE LIGHT IS SHOWN ON REFLECTED CEILING PLANS IN A ROOM, CONTRACTOR TO LOCATE THE LIGHT WITHIN THE CENTER OF THE ROOM IN BOTH DIRECTIONS UNLESS NOTED OTHERWISE
 - WHERE LIGHT FIXTURES ARE GRAPHICALLY SHOWN BETWEEN PARTITIONS, CENTER LIGHT FIXTURES BETWEEN PARTITIONS UNLESS DIMENSIONS OR NOTES INDICATE OTHERWISE



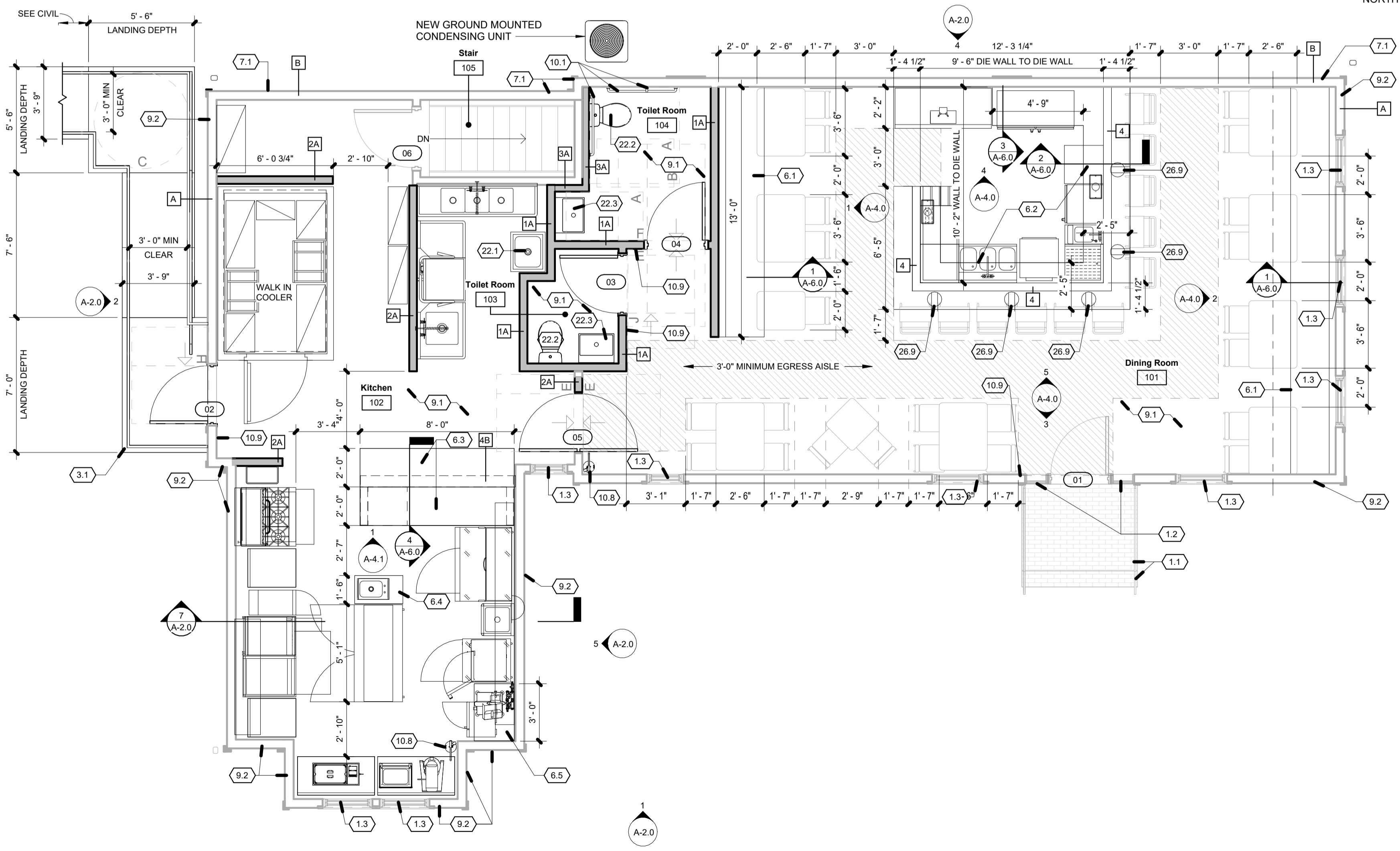
GENERAL PLAN NOTES

- ALL ELEMENTS OF CONSTRUCTION ARE TO BE NEW UNLESS NOTED OTHERWISE
- FINISH NOTES:
 - A. ALL GYPSUM WALL BOARD PARTITIONS TO BE PROVIDED WITH A LEVEL 4 FINISH
 - B. ALL FINISHES INSTALLED SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450
 - C. FINAL COLORS AND PRODUCTS FOR FLOOR, WALL, AND MILLWORK FINISHES ARE TO BE SELECTED BY THE OWNER
 - D. WHERE TILE IS TO BE INSTALLED ON PARTITIONS, CONTRACTOR TO PROVIDE MOISTURE RESISTANT BACKER BOARD
- INSULATION NOTES:
 - A. INSULATION PROVIDED THROUGHOUT THE PROJECT SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450
- DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE
- SEE SHEET A-1.1 FOR REFLECTED CEILING PLANS AND SEE SHEET A-5.0 FOR DOOR DETAILS AND DOOR SCHEDULE

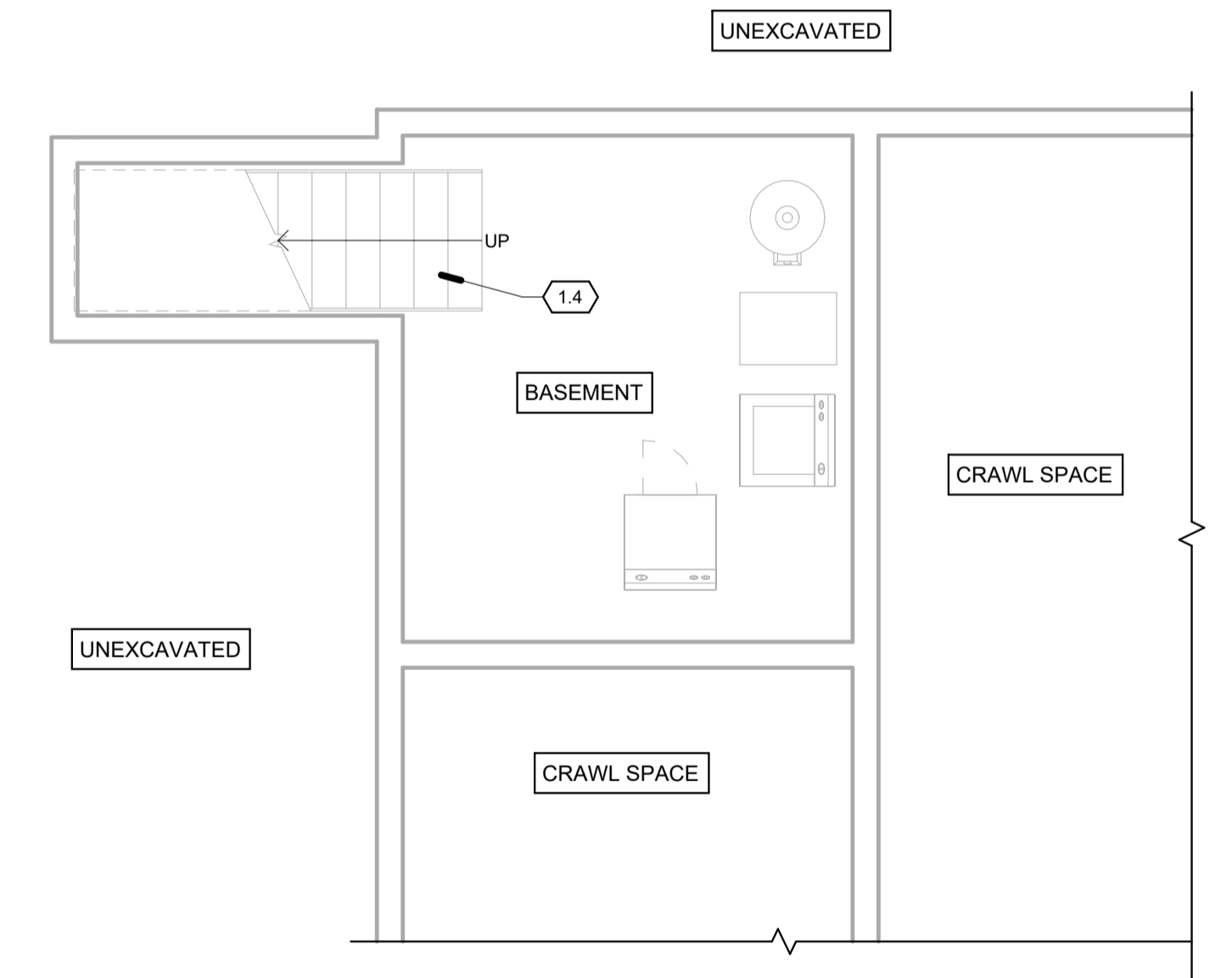
NEW WORK CEILING PLAN KEYED NOTES

NO.	NOTE
9.3	REPAIR GYPSUM CEILING WHERE PARTITIONS HAVE BEEN DEMOLISHED; FEATHER AND FINISH TO MATCH EXISTING CEILING
9.4	PROVIDE NEW GYPSUM WALL BOARD CEILING SUSPENDED BELOW EXISTING ROOF TRUSS FRAMING
26.2	PROVIDE PENDANT LIGHT FIXTURE ALIGNED WITH BARTOP CENTERLINE
26.3	PROVIDE PENDANT LIGHT FIXTURE

1 1ST FLOOR REFLECTED CEILING PLAN - NEW CONSTRUCTION
SCALE: 1/4" = 1'-0"



1 1ST FLOOR PLAN - NEW CONSTRUCTION
SCALE: 1/4" = 1'-0"



2 BASEMENT FLOOR PLAN - NEW CONSTRUCTION
SCALE: 1/4" = 1'-0"

NEW WORK PLAN LEGEND

▬	PARTITION TYPE, SEE A-0.3
▬	PROVIDE NEW WALL CONSTRUCTION
▬	PARTITION TYPE, SEE A-0.3
▬	EXISTING WALL CONSTRUCTION TO REMAIN
⌢	DOOR TAG, SEE DOOR SCHEDULE
⌢	DOOR AND FRAME

EXISTING ELEMENTS TO REMAIN

NO.	NOTE
1.1	EXISTING BRICK STAIR, BRICK LANDING, AND METAL RAILING TO REMAIN
1.2	EXISTING WOOD DOOR AND WOOD FRAME SIDE LITES TO REMAIN IN PLACE
1.3	EXISTING WOOD WINDOW TO REMAIN; INTERIOR TRIM TO BE RE-FINISHED, EXTERIOR APPEARANCE TO REMAIN UNCHANGED
1.4	EXISTING WOOD STAIR TO REMAIN IN PLACE

NEW WORK FLOOR PLAN KEYED NOTES

NO.	NOTE
3.1	PROVIDE CAST IN PLACE CONCRETE RAMP AND INTERMEDIATE LANDINGS DOWN TO GRADE. SEE ALSO CIVIL DRAWINGS
6.1	PROVIDE CUSTOM BUILT BANQUET MILLWORK TO EXTENT SHOWN
6.2	PROVIDE CUSTOM BUILT BAR MILLWORK. GENERAL CONTRACTOR TO COORDINATE MILLWORK WITH BAR EQUIPMENT AND PLUMBING BETWEEN TRADES
6.3	PROVIDE SOLID SURFACE KITCHEN PASS COUNTERTOP
6.4	PROVIDE SOLID SURFACE COUNTERTOP AND BASE WITH SINK OPENING, COORDINATE WITH KITCHEN EQUIPMENT AND PLUMBING SCOPE
6.5	PROVIDE SOLID SURFACE COUNTERTOP AND OPEN FRONT BASE CABINET WITH MICROWAVE SHELF
7.1	PROVIDE ENGINEERED WOOD SIDING AND 8" TYPE X GLASS MAT SHEATHING AT EXTERIOR SIDE OF EXISTING WOOD STUD FRAMED EXTERIOR WALL. PROVIDE 5/8" TYPE X GYPSUM BOARD AT INTERIOR SIDE OF WALL; SEE WALL ASSEMBLY DIAGRAM, FULL LENGTH OF EXISTING WALL
9.1	PROVIDE NEW FLOOR FINISHES THROUGHOUT ROOM. SEE FINISH SCHEDULE
9.2	PROVIDE NEW PAINT FINISHES AT FULL EXTENT OF BUILDING FACADE WITH AHJ'S PRE-APPROVED PAINT COLORS AT EXISTING EXTERIOR SIDING. SCRAPE, PRIME, AND PREPARE EXISTING WOOD SUBSTRATES FOR NEW PAINT FINISHES PER AHJ'S HISTORIC DESIGN STANDARDS
10.1	PROVIDE WALL MOUNTED STAINLESS STEEL GRAB BARS AND IN WALL BLOCKING
10.8	PROVIDE FIRE EXTINGUISHER AND WALL MOUNTED BRACKET
10.9	PROVIDE WALL MOUNTED INTERIOR SIGNAGE. SEE SIGNAGE SCHEDULE
22.1	PROVIDE UTILITY SINK. SEE PLUMBING DRAWINGS
22.2	PROVIDE WATER CLOSET. SEE PLUMBING DRAWINGS
22.3	PROVIDE WALL HUNG LAVATORY. SEE PLUMBING DRAWINGS
26.9	PROVIDE RECESSED WALL OUTLET AT PATRON SIDE OF BAR DIE WALL

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NEW CONSTRUCTION PLANS
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A-1.1

GENERAL PLAN NOTES

1. ALL ELEMENTS OF CONSTRUCTION ARE TO BE NEW UNLESS NOTED OTHERWISE
2. FINISH NOTES:
 - A. ALL GYPSUM WALL BOARD PARTITIONS TO BE PROVIDED WITH A LEVEL 4 FINISH
 - B. ALL FINISHES INSTALLED SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450
 - C. FINAL COLORS AND PRODUCTS FOR FLOOR, WALL, AND MILLWORK FINISHES ARE TO BE SELECTED BY THE OWNER
 - D. WHERE TILE IS TO BE INSTALLED ON PARTITIONS, CONTRACTOR TO PROVIDE MOISTURE RESISTANT BACKER BOARD
3. INSULATION NOTES:
 - A. INSULATION PROVIDED THROUGHOUT THE PROJECT SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450
4. DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE
5. SEE SHEET A-1.1 FOR REFLECTED CEILING PLANS AND SEE SHEET A-5.0 FOR DOOR DETAILS AND DOOR SCHEDULE

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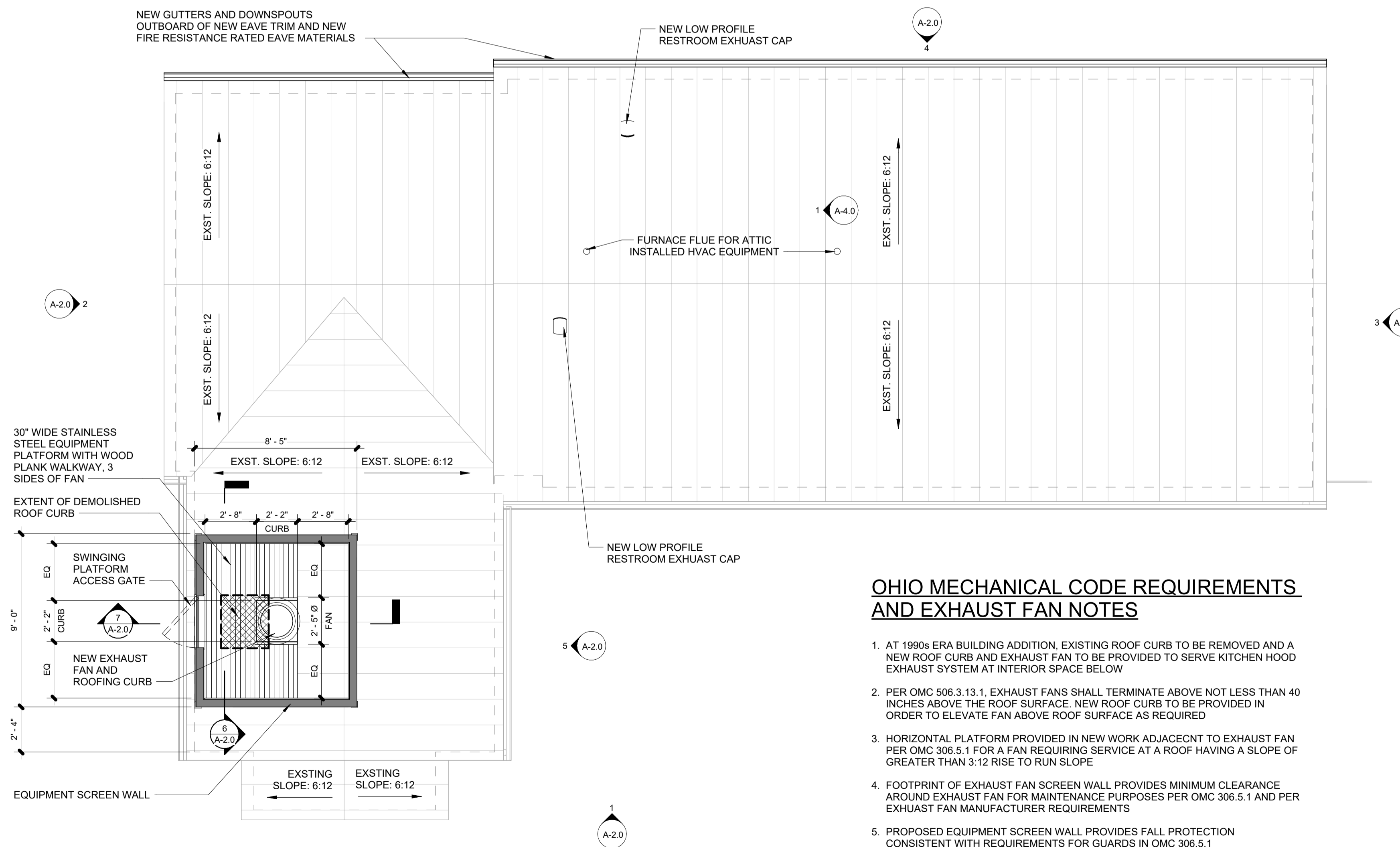
ROOF PLAN

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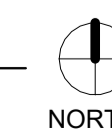
A-1.2

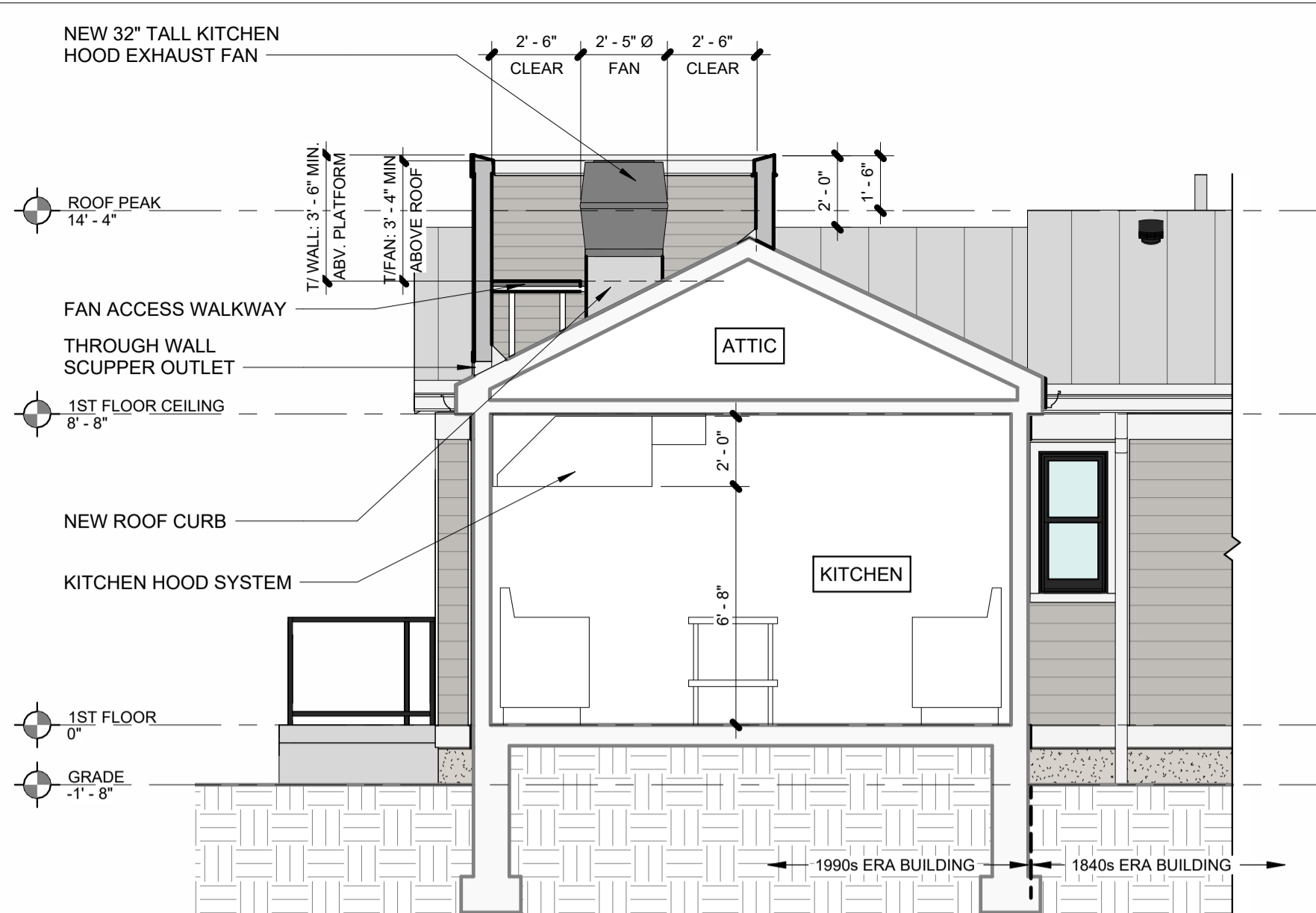


OHIO MECHANICAL CODE REQUIREMENTS AND EXHAUST FAN NOTES

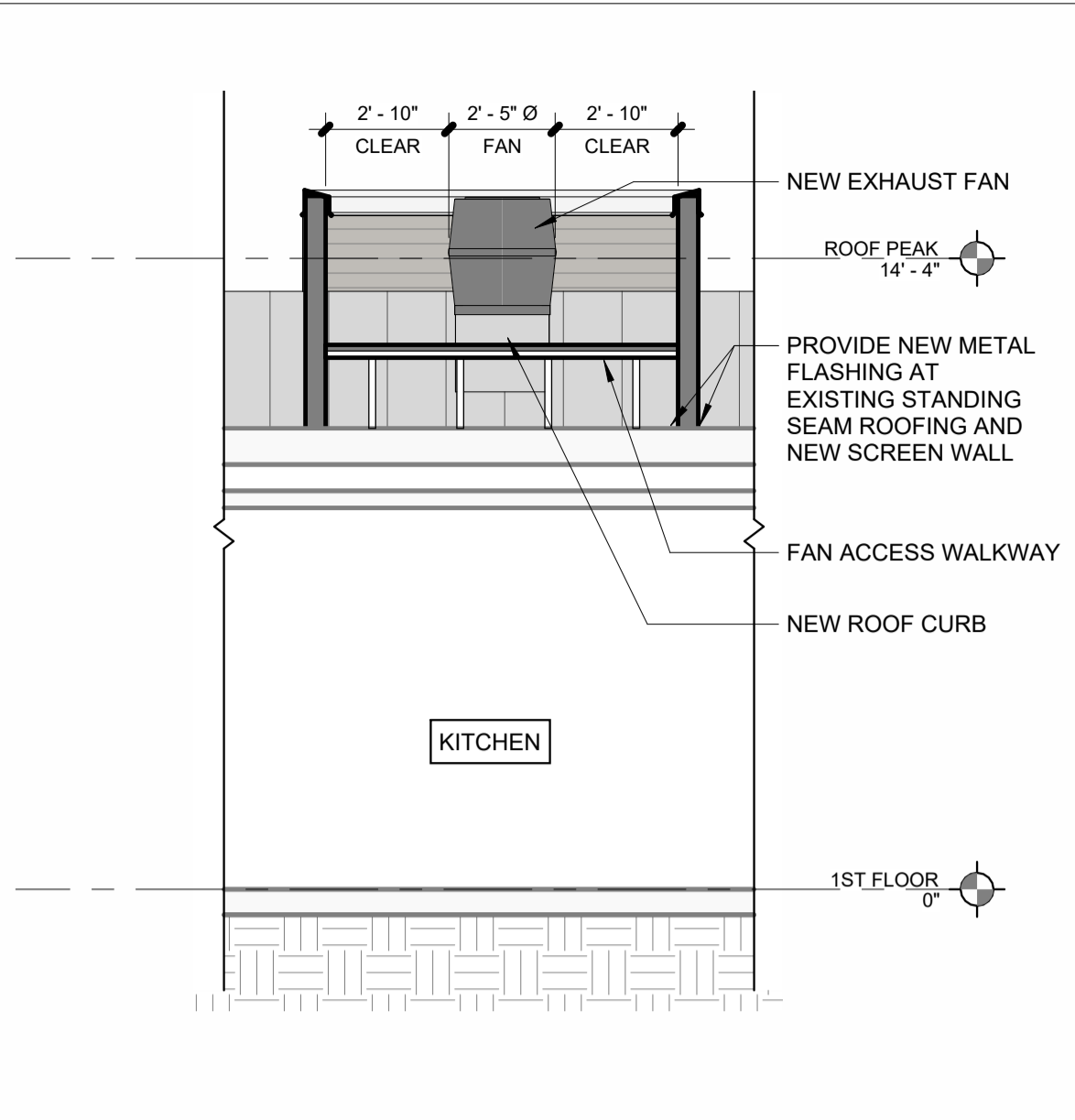
1. AT 1990s ERA BUILDING ADDITION, EXISTING ROOF CURB TO BE REMOVED AND A NEW ROOF CURB AND EXHAUST FAN TO BE PROVIDED TO SERVE KITCHEN HOOD EXHAUST SYSTEM AT INTERIOR SPACE BELOW
2. PER OMC 306.3.13.1, EXHAUST FANS SHALL TERMINATE ABOVE NOT LESS THAN 40 INCHES ABOVE THE ROOF SURFACE. NEW ROOF CURB TO BE PROVIDED IN ORDER TO ELEVATE FAN ABOVE ROOF SURFACE AS REQUIRED
3. HORIZONTAL PLATFORM PROVIDED IN NEW WORK ADJACENT TO EXHAUST FAN PER OMC 306.5.1 FOR A FAN REQUIRING SERVICE AT A ROOF HAVING A SLOPE OF GREATER THAN 3:12 RISE TO RUN SLOPE
4. FOOTPRINT OF EXHAUST FAN SCREEN WALL PROVIDES MINIMUM CLEARANCE AROUND EXHAUST FAN FOR MAINTENANCE PURPOSES PER OMC 306.5.1 AND PER EXHAUST FAN MANUFACTURER REQUIREMENTS
5. PROPOSED EQUIPMENT SCREEN WALL PROVIDES FALL PROTECTION CONSISTENT WITH REQUIREMENTS FOR GUARDS IN OMC 306.5.1

1 ROOF PLAN - EXISTING CONDITIONS AND NEW WORK
SCALE: 1/4" = 1'-0"

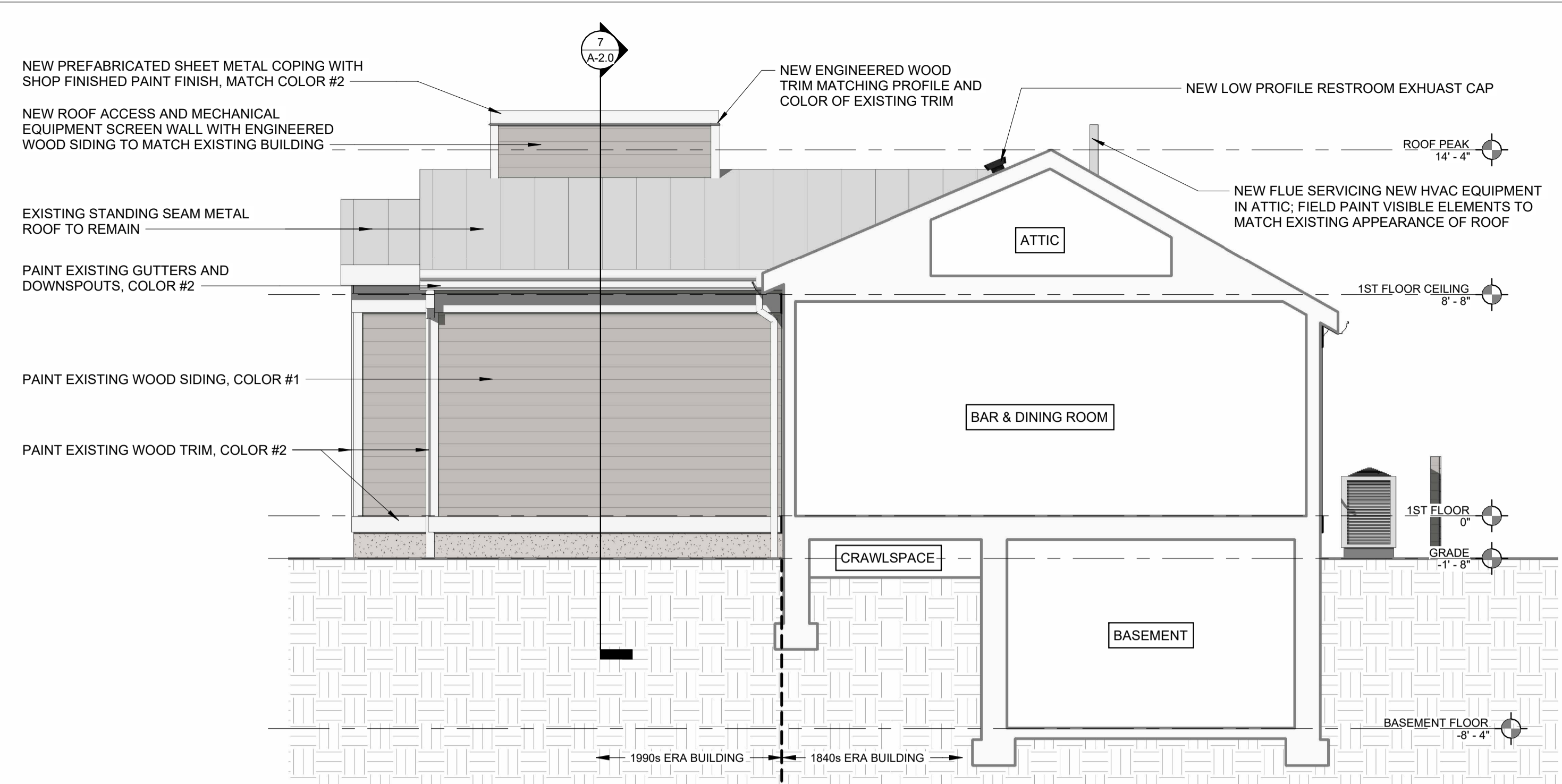




7 PARTIAL BUILDING SECTION - EXHAUST FAN SCREENING
SCALE: 1/4" = 1'-0"



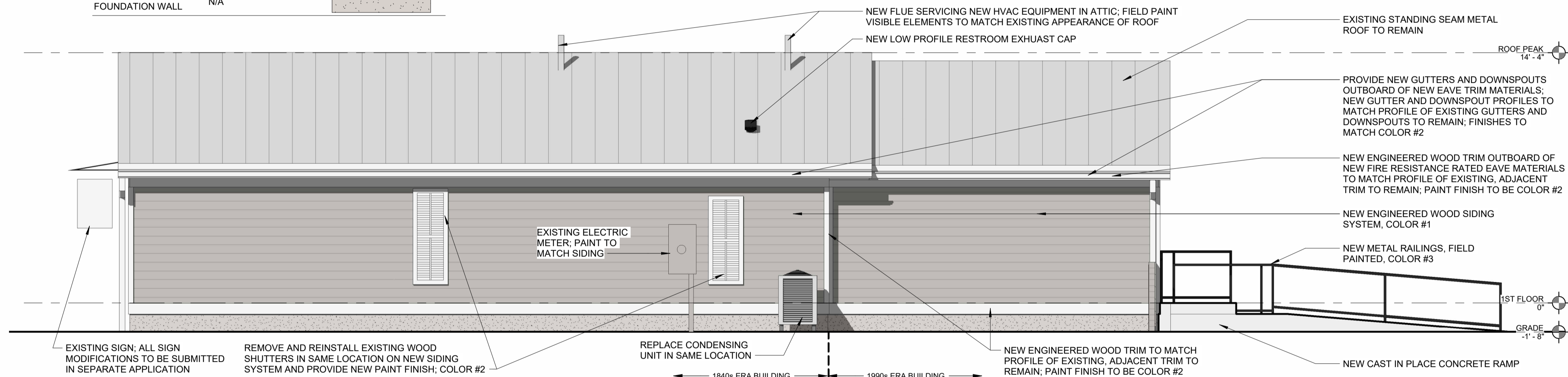
6 SCREENING & PLATFORM SECTION
SCALE: 1/4" = 1'-0"



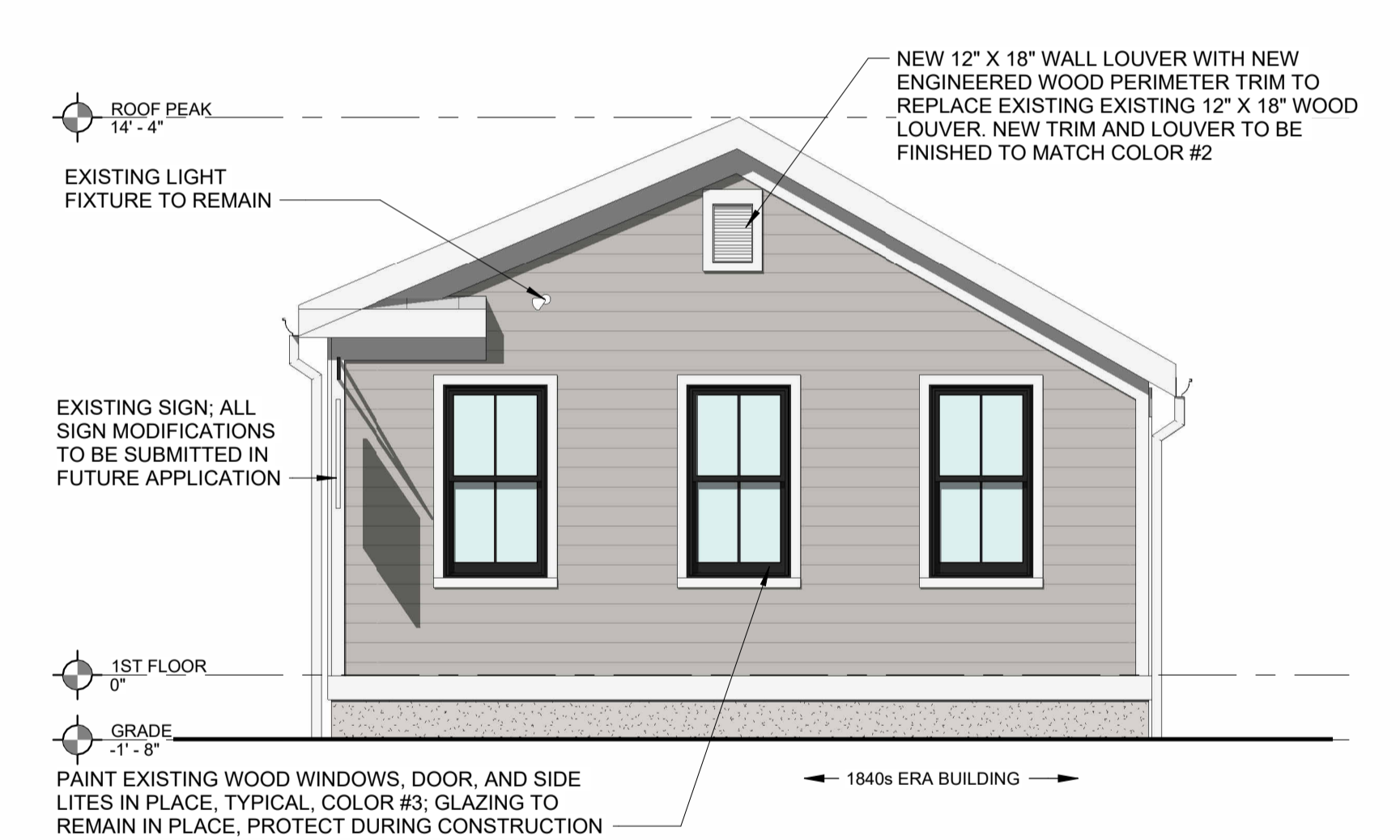
5 EAST BUILDING ELEVATION & BUILDING SECTION - LOOKING WEST
SCALE: 1/4" = 1'-0"

EXTERIOR PAINT COLOR LEGEND

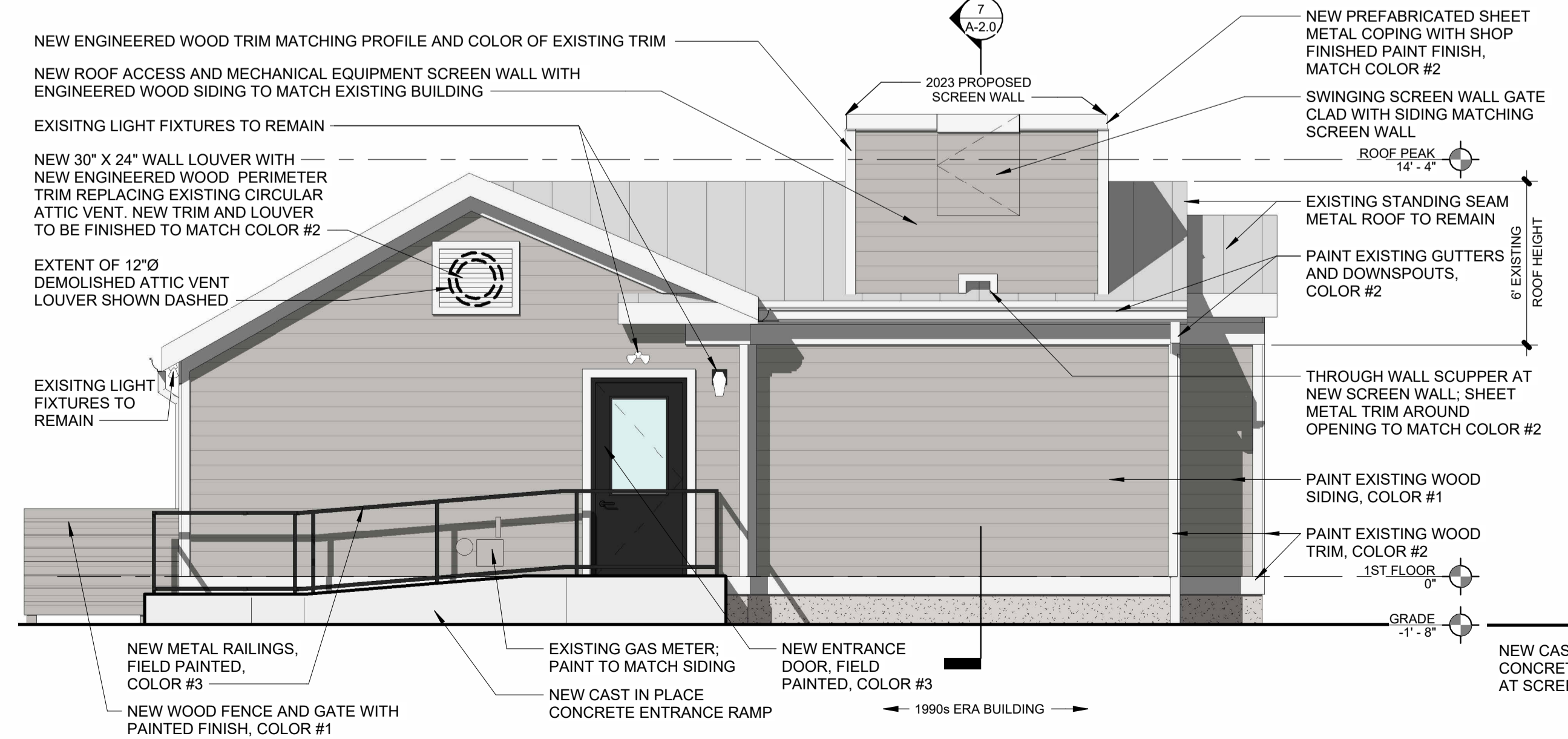
DESIGNATION	PRODUCT DATA	DRAWING COLOR
PAINT COLOR #1	SW7647 'Crushed Ice'	[Color swatch]
PAINT COLOR #2	SW7005 'Pure White'	[Color swatch]
PAINT COLOR #3	SW7069 'Iron Ore'	[Color swatch]
EXISTING STANDING SEAM METAL ROOF	N/A	[Color swatch]
EXISTING STONE FOUNDATION WALL	N/A	[Color swatch]



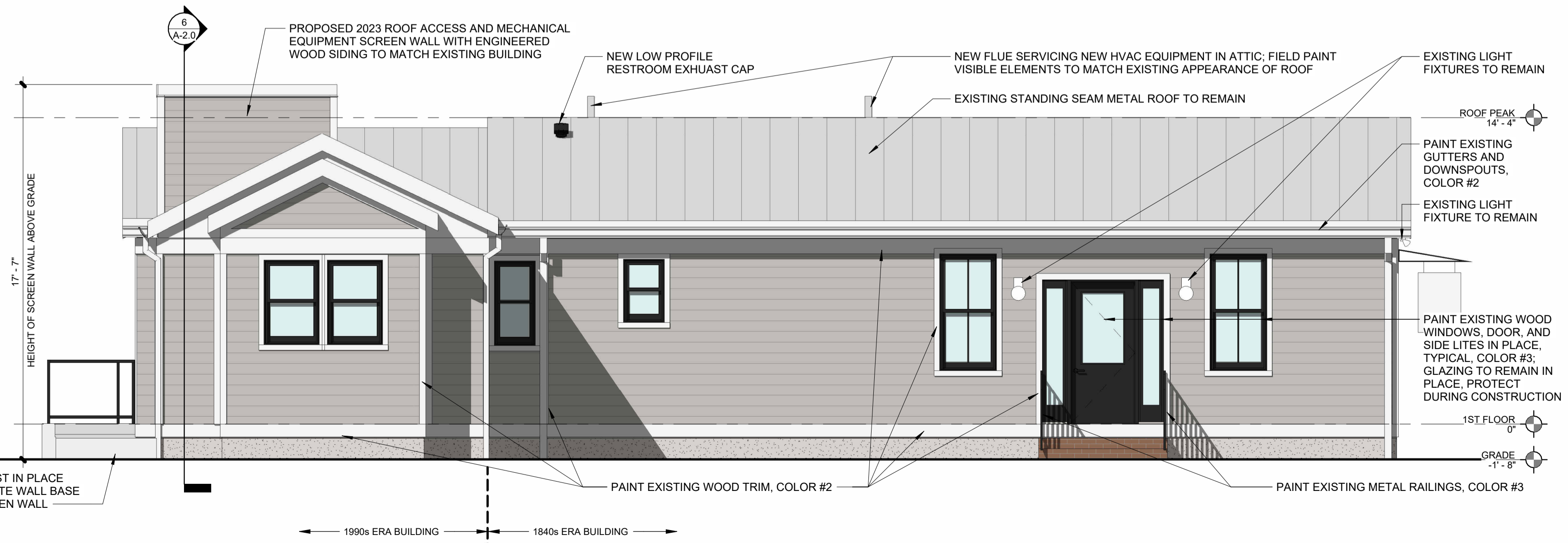
4 NORTH BUILDING ELEVATION - LOOKING SOUTH
SCALE: 1/4" = 1'-0"



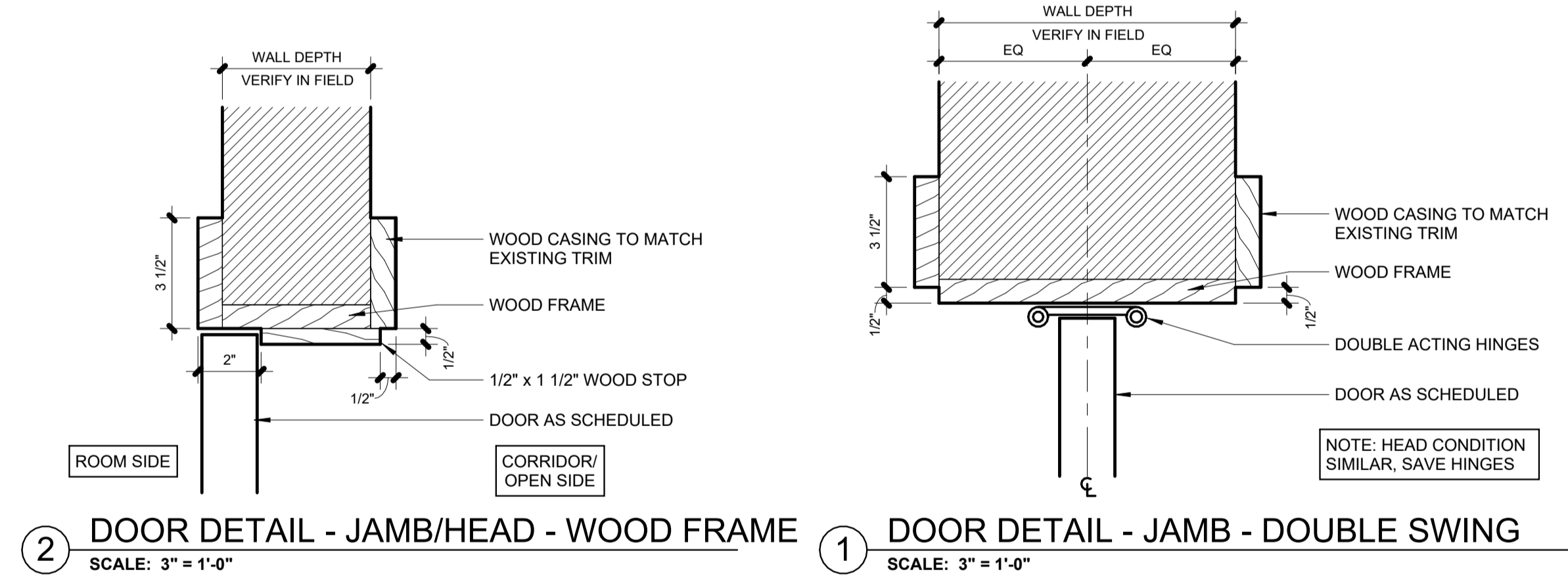
3 EAST BUILDING ELEVATION - LOOKING WEST
SCALE: 1/4" = 1'-0"



2 WEST BUILDING ELEVATION - LOOKING EAST
SCALE: 1/4" = 1'-0"

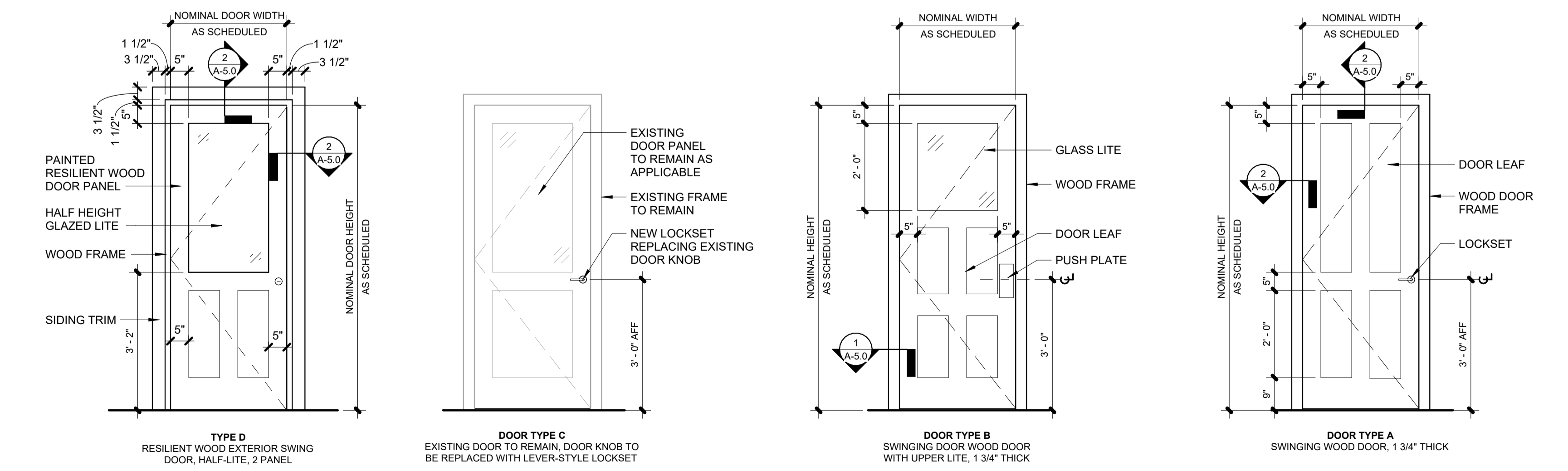


1 SOUTH BUILDING ELEVATION - LOOKING NORTH
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE												
GENERAL NOTES												
A. MACHINE ALL DOORS TO RECEIVE OPERATING HARDWARE.												
B. SEE PLANS FOR SWING DIRECTION AND DOOR HANDEDNESS												
NO.	NEW / EXISTING	NOMINAL SIZE		DOOR TYPE	FRAME		DOOR		HARDWARE			REMARKS
		WIDTH	HEIGHT		MATL.	MATL.	OPERATION	SET	FUNCTION	ACCESSORIES		
01	EXISTING	3'-0"	6'-8"	C	PAINTED WOOD	PAINTED WOOD	SINGLE SWING					i
02	NEW	3'-0"	6'-8"	D	PAINTED WOOD	PAINTED RESILIENT WOOD	SINGLE SWING			ENTRY		ii
03	NEW	3'-0"	6'-8"	A	PAINTED HOLLOW METAL	PAINTED WOOD	SINGLE SWING			PRIVACY	OCCUPANCY INDICATOR	iii
04	NEW	3'-0"	6'-8"	A	PAINTED HOLLOW METAL	PAINTED WOOD	SINGLE SWING			PRIVACY	OCCUPANCY INDICATOR	iii
05	NEW	3'-0"	6'-8"	B	PAINTED WOOD	PAINTED WOOD	DOUBLE-ACTING SWING			PASSAGE	DOUBLE ACTION HINGES	iii
06	EXISTING	3'-0"	6'-8"	C	PAINTED WOOD	PAINTED WOOD	SINGLE SWING					iv

DOOR SCHEDULE REMARKS:
 i. EXISTING EXTERIOR DOOR TO REMAIN IN PLACE
 ii. NEW EXTERIOR DOOR REPLACING DEMOLISHED DOOR AT EXISTING EXTERIOR WALL OPENING
 iii. NEW INTERIOR DOOR AT NEW LOCATION
 iv. EXISTING INTERIOR DOOR TO REMAIN IN PLACE



DOOR TYPES
SCALE: 1/2" = 1'-0"

REVISIONS

NO.	DATE
1	10/28/2021





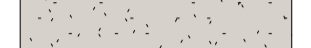
DOOR SCHEDULES AND DETAILS

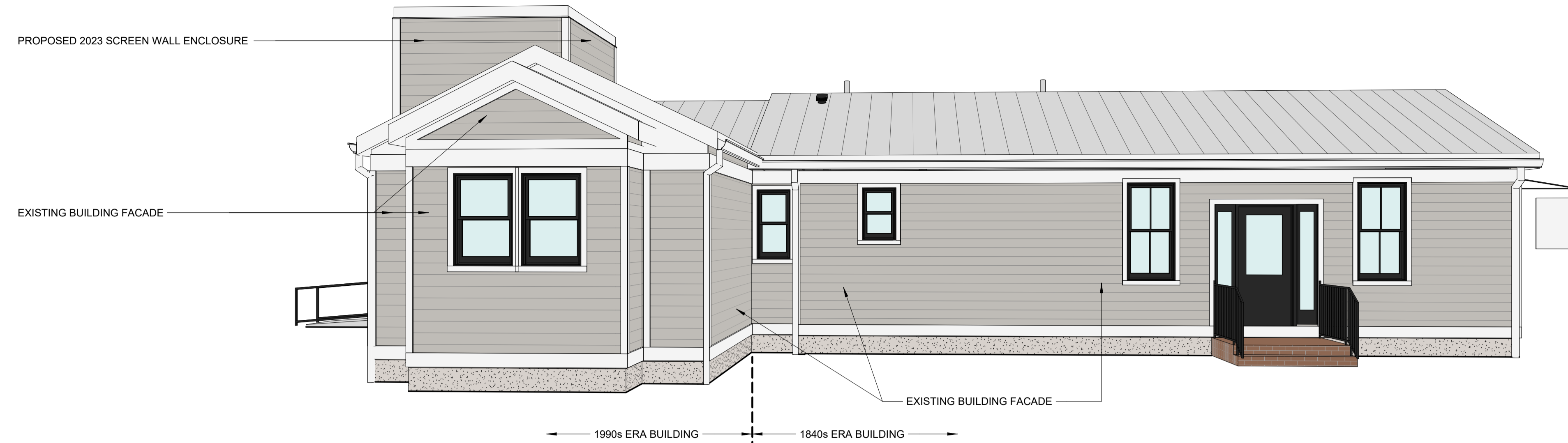
PHASE :
ARB Application

DATE : 06/30/2023

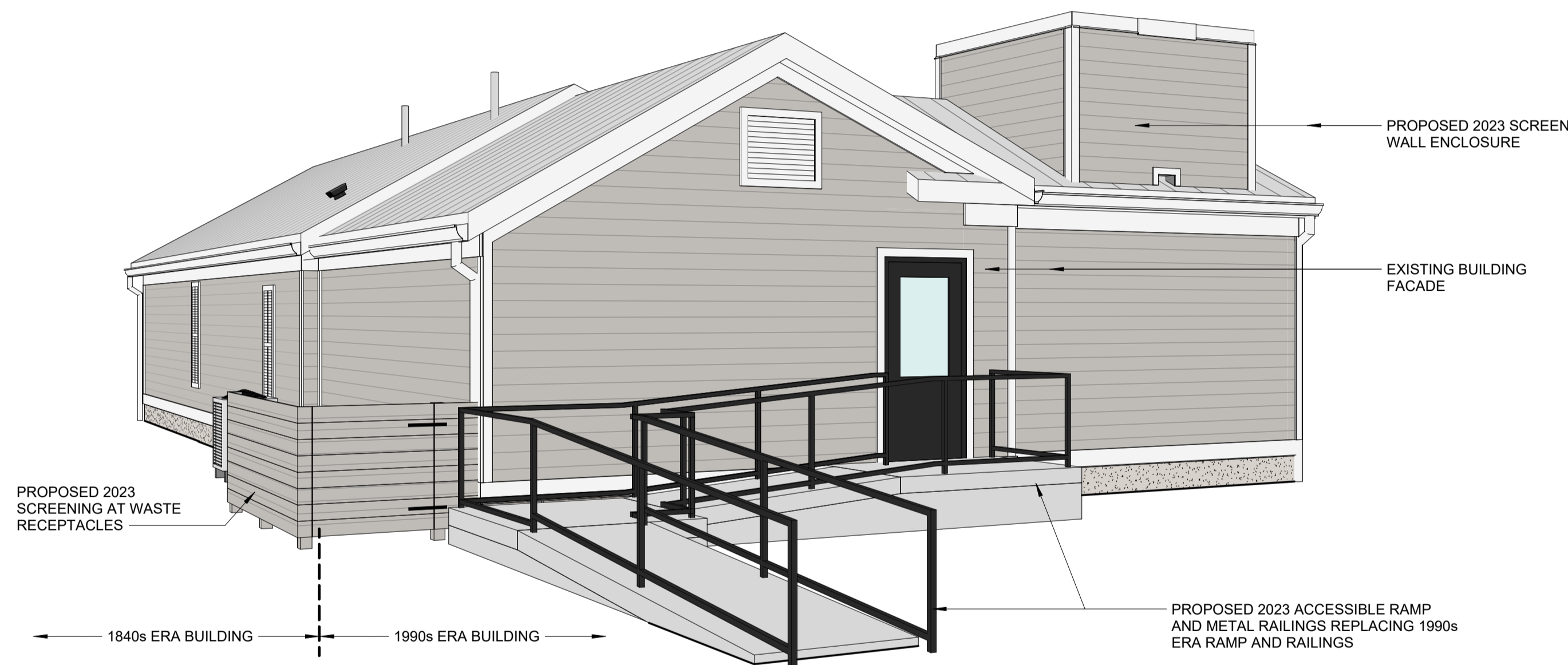
A-5.0

EXTERIOR PAINT COLOR LEGEND

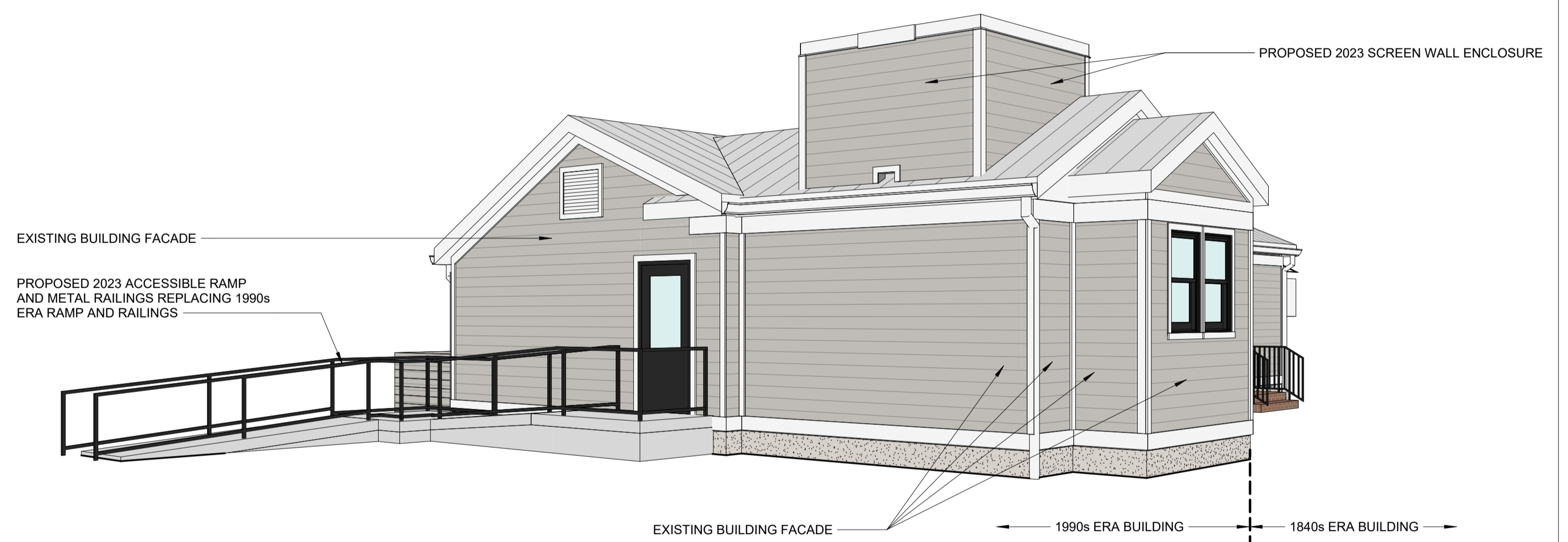
DESIGNATION	PRODUCT DATA	DRAWING COLOR
PAINT COLOR #1	SW7647 'Crushed Ice'	
PAINT COLOR #2	SW7005 'Pure White'	
PAINT COLOR #3	SW7069 'Iron Ore'	
EXISTING STANDING SEAM METAL ROOF	N/A	
EXISTING STONE FOUNDATION WALL	N/A	



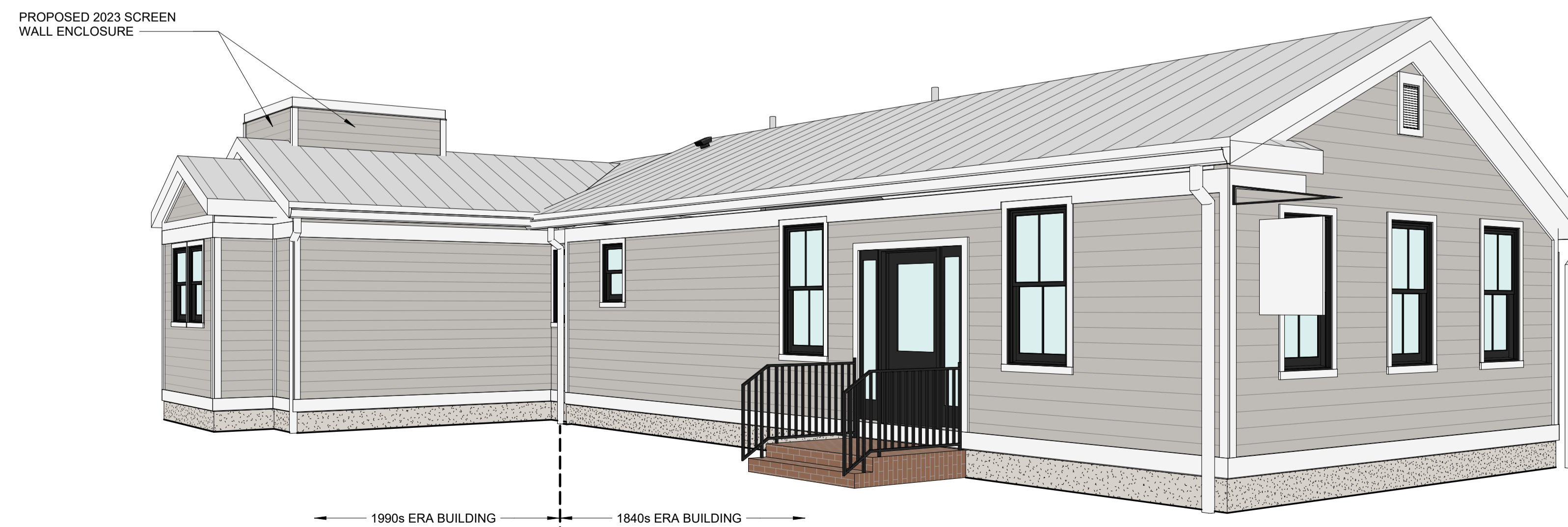
④ PERSPECTIVE VIEW LOOKING NORTH AT SOUTH FACADE OF PROPERTY
SCALE:



③ LOOKING EAST FROM REAR OF PROPERTY TOWARD NEW RAMP AND SCREEN WALL
SCALE:



② PERSPECTIVE VIEW LOOKING EAST FROM REAR PORTION OF PROPERTY TOWARD RAMP AND SCREEN WALL
SCALE:



① PERSPECTIVE VIEW LOOKING WEST FROM S.W. CORNER OF PROPERTY
SCALE:

REVISIONS

△ DATE

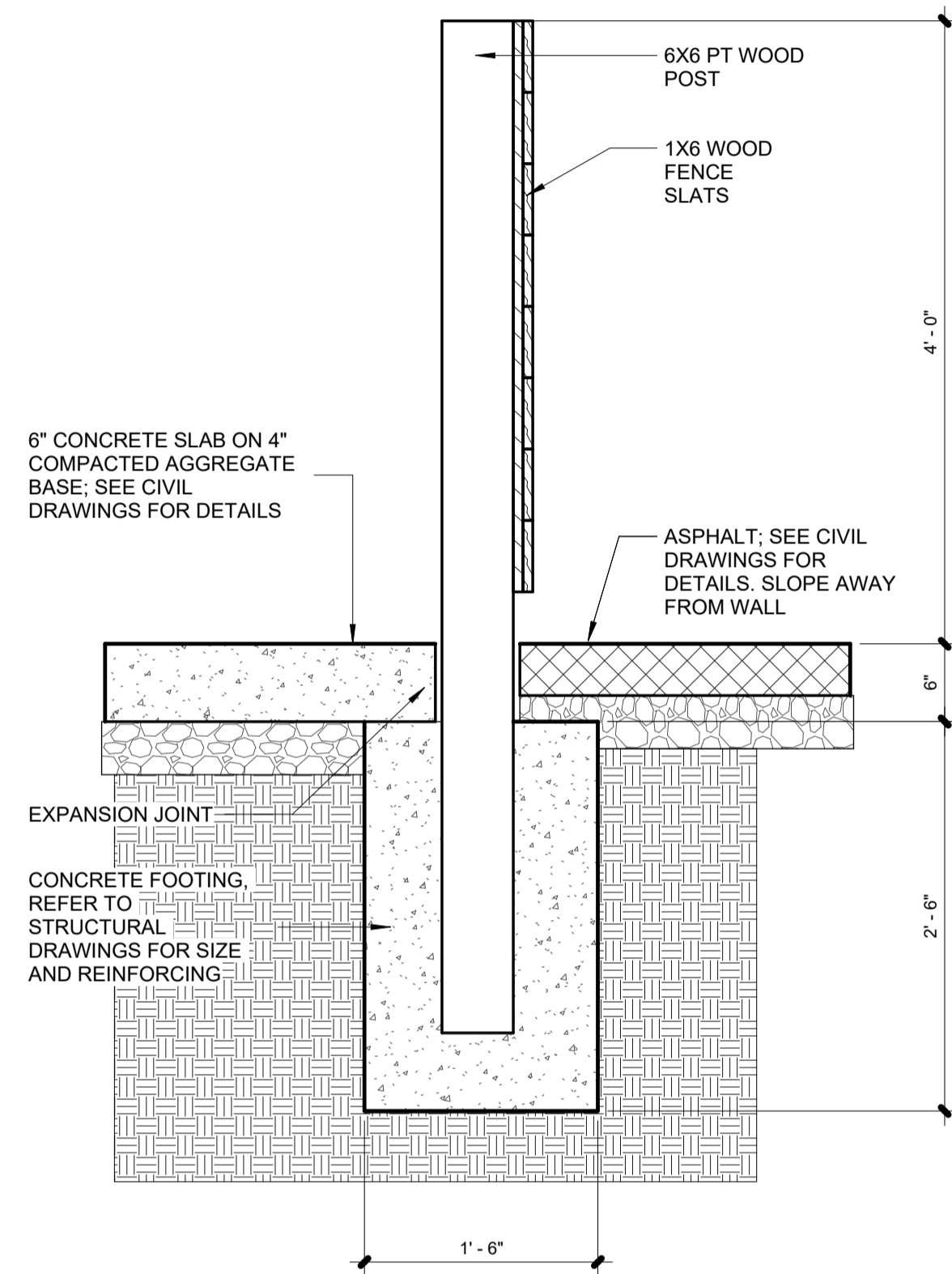
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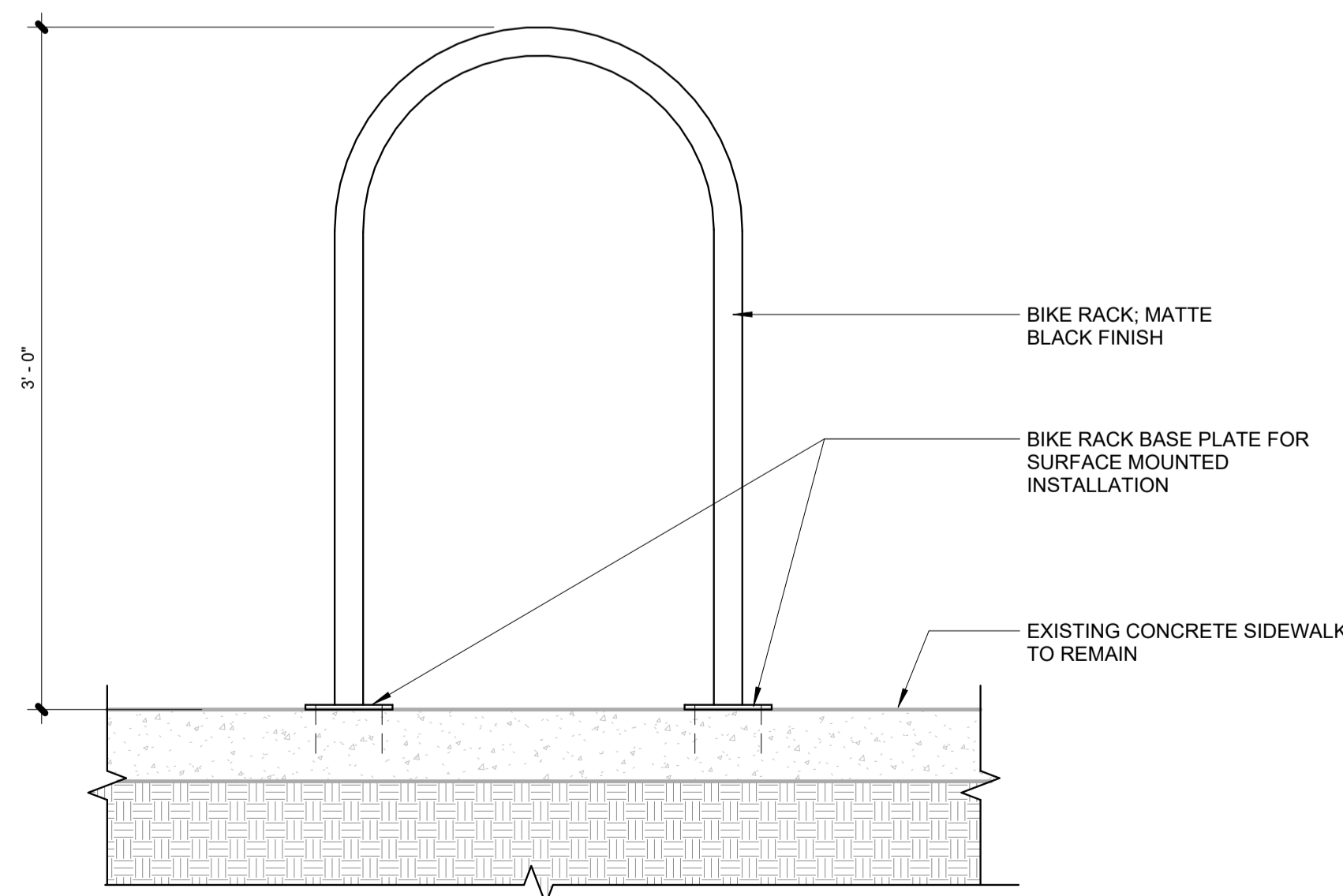
EXTERIOR DETAILS

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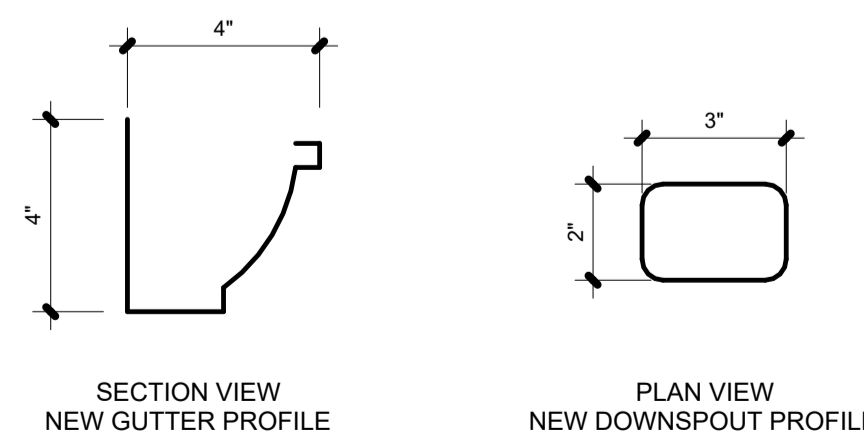


5 TYPICAL TRASH ENCLOSURE SECTION DETAIL
SCALE: 1" = 1'-0"



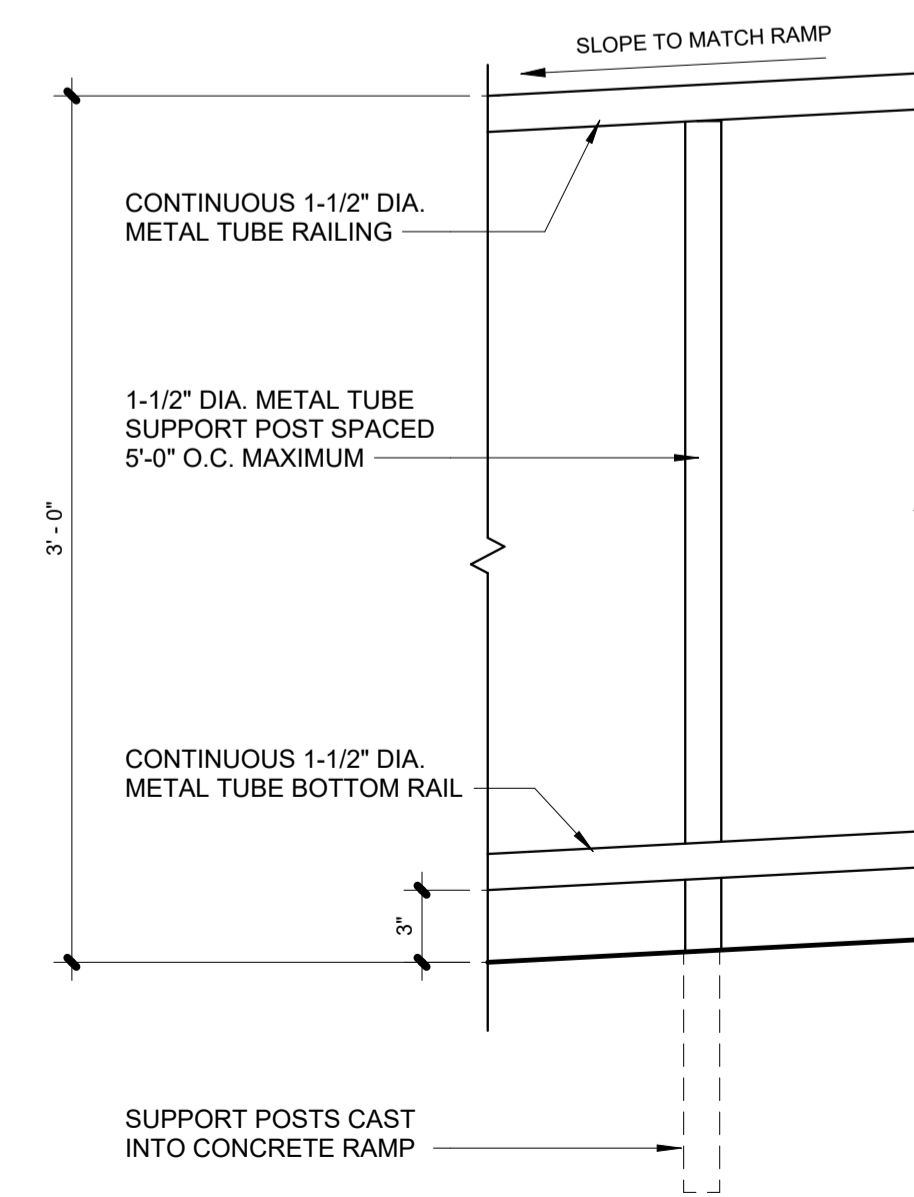
4 SECTION DETAIL - BIKE RACK
SCALE: 1 1/2" = 1'-0"

SEE ALSO GUTTER AND DOWNSPOUT SPECIFICATIONS

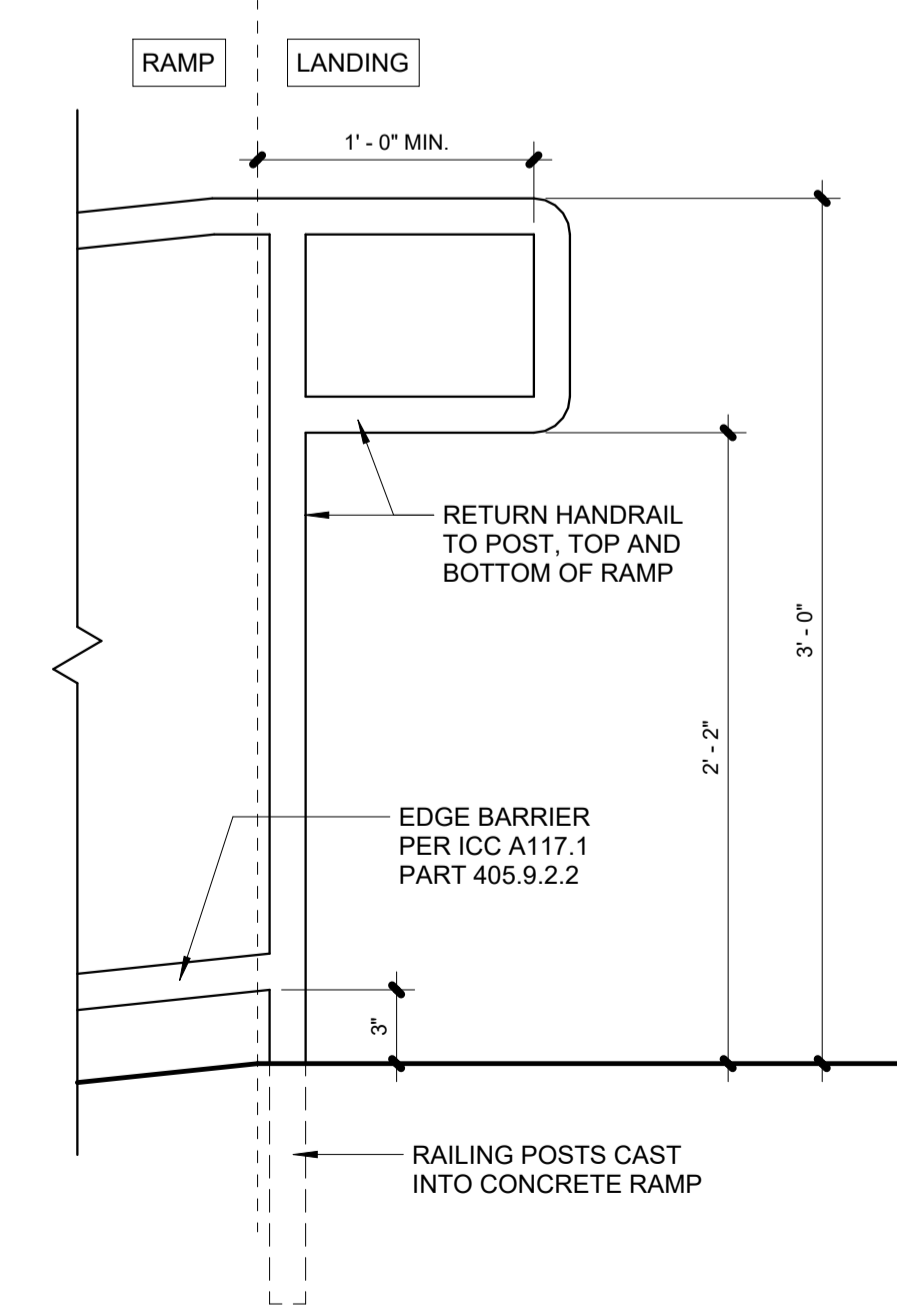


3 DOWNSPOUT AND GUTTER PROFILES
SCALE: 3" = 1'-0"

RAMP AND LANDING RAILING NOTES
1. ALL METAL COMPONENTS TO BE CORROSION RESISTANT
2. FASTENER TYPE: EXPOSED
3. METAL FINISHES: PAINTED TO MATCH COLOR #3
4. TOP RAILING PROFILE TO MEET ADA AND ICC A117.1 REQUIREMENTS FOR ACCESSIBLE RAMP AND STAIR RAILINGS
5. RAMPS AND STAIR RAILINGS TO EXTEND 1'-0" BEYOND TOP AND BOTTOM OF RAMP/STAIR RUNS



2 SECTION DETAIL - RAMP RAILING
SCALE: 1 1/2" = 1'-0"

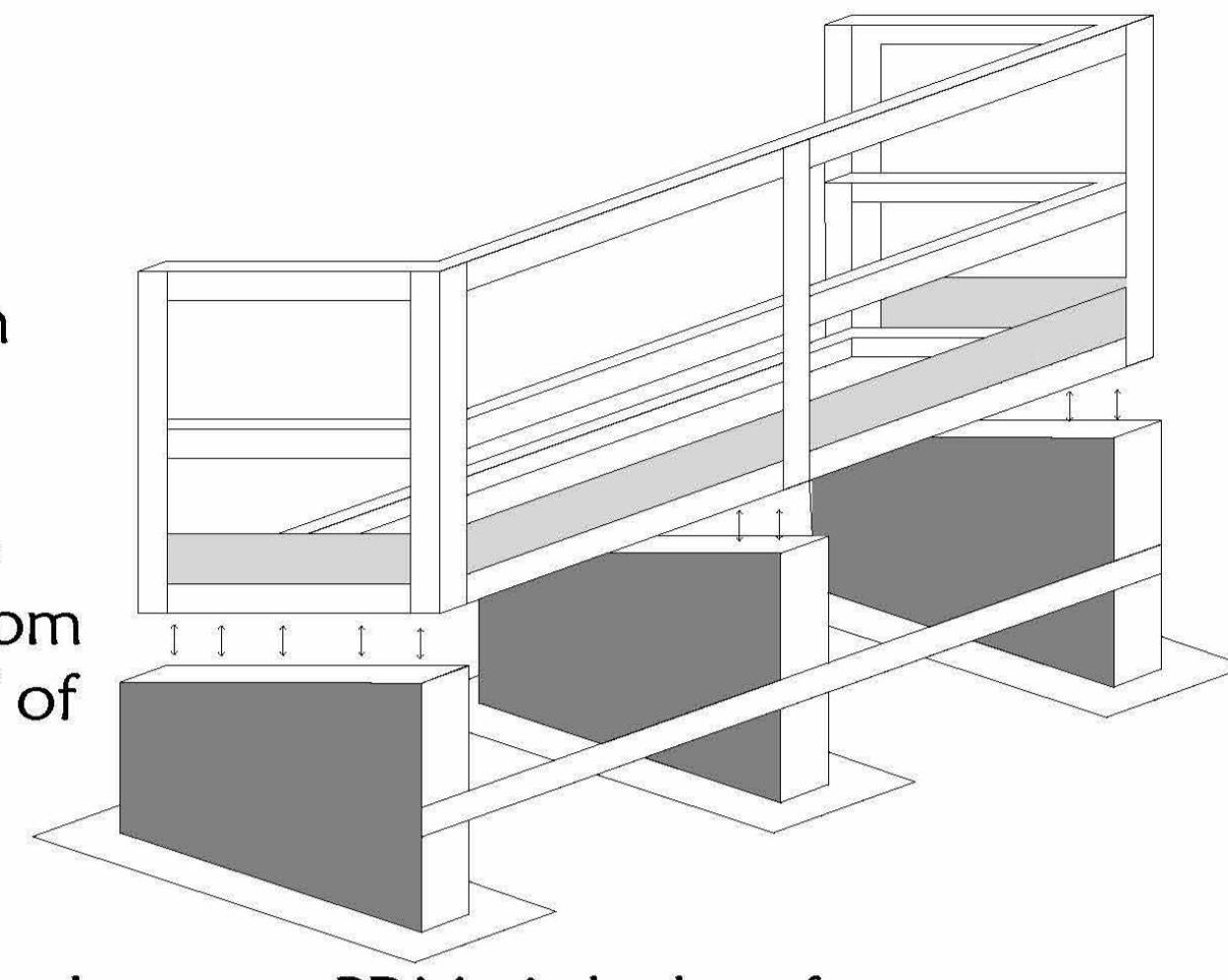


1 SECTION DETAIL - RAMP RAILING RETURN
SCALE: 1 1/2" = 1'-0"

Kitchen Stainless Hoods
 P.O. Box 8018
 Canton, Ohio 44711
 1-877-455-7577

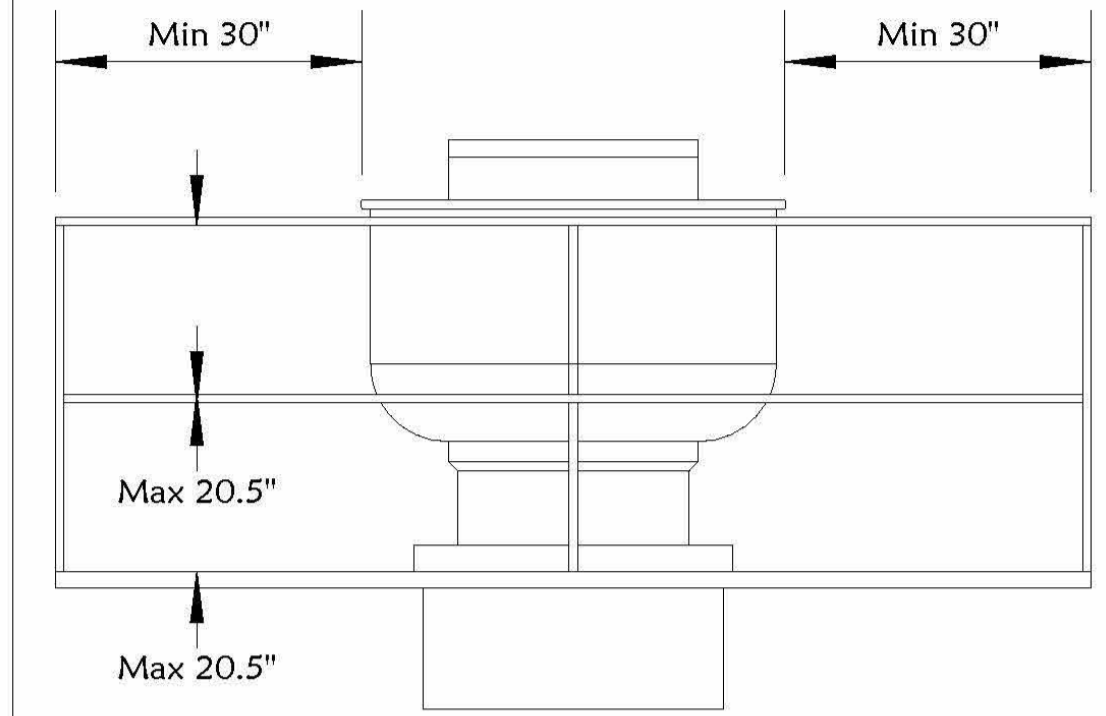
New Pedestal Platform

Prefabricated with custom stainless steel rails. All platforms come with our Tool Guard Kick Plates to prevent dropped items from falling or being kicked off of the platform.

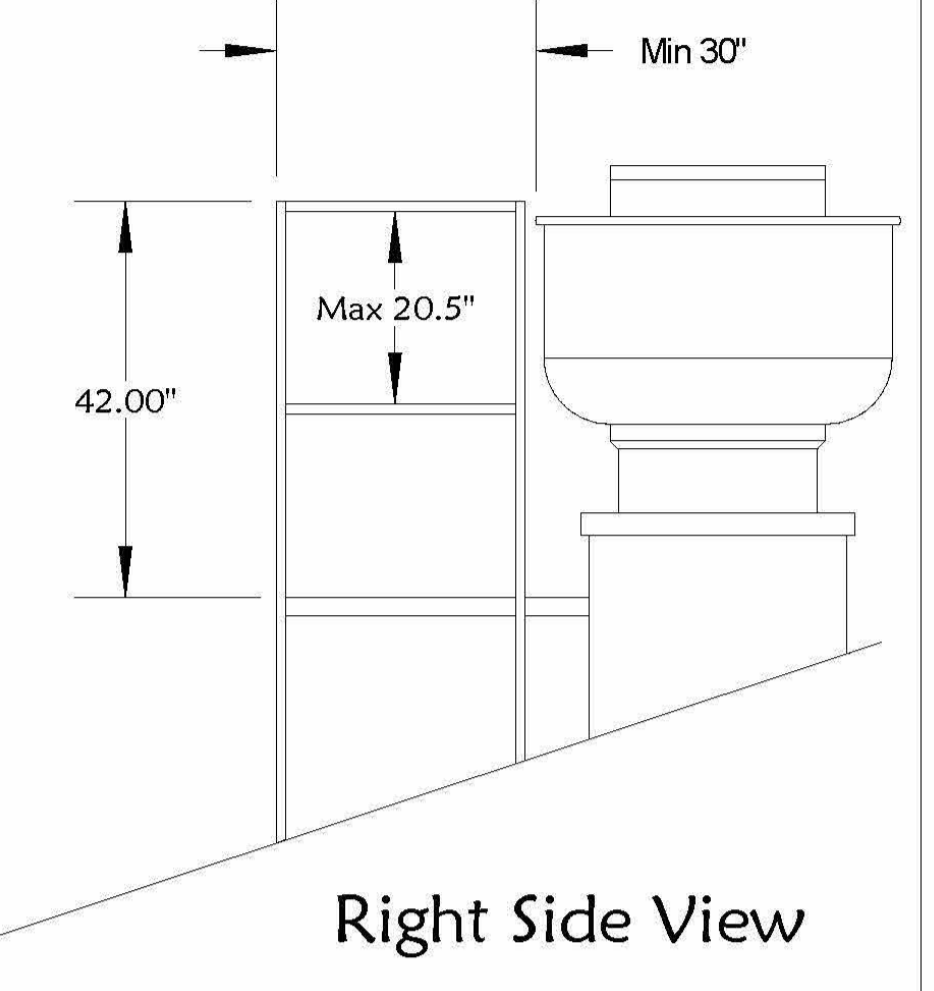


Ideal for shingled, metal seam or PDM pitched roofs. They offer great support as well as easy installation. With our pedestal platforms there is no need for expensive flashing boots. Pedestals are constructed of 16g stainless steel and welded liquid tight at all seams.

Kitchen Stainless Hoods
 P.O. Box 8018
 Canton, Ohio 44711
 1-877-455-7577



Front View



Right Side View

6:12

ROOF EQUIPMENT WALKWAY SYSTEM
 BASIS OF DESIGN: SERVICE PLATFORMS FOR PITCHED OR SLOPED ROOFTOPS BY KITCHEN STAINLESS STEEL

GREENHECK Stationary Louver, Drainable Blade, Extruded Aluminum **ESD-403**

Standard Construction

Frame	Heavy gauge extruded 6063-T5 aluminum, 4 in. (102 mm) x 0.031 in. (2 mm) nominal wall thickness
Blades	Drainable design, heavy gauge extruded 6063-T5 aluminum, 0.031 in. (2 mm) nominal wall thickness, positioned 37° and 48° on approximately 4 in. (102 mm) centers
Louver Depth	4 in. (102 mm)
Construction	Mechanically fastened
Finish	MtI
Minimum Size	12 in. W x 12 in. H (305 mm W x 305 mm H)
Maximum Single Section Size	120 in. W x 120 in. H (3048 mm W x 3048 mm H)
Section Size	Limited to 70 ft. sq. (6.5 sq. m)
Wind Load	25 PSF (1.2 kPa)

Performance Ratings

Greenheck Fan Corporation certifies that the ESD-403 louvers shown herein are licensed to bear the AMCA Seal. The ratings shown are based on tests and procedures performed in accordance with AMCA Publication 511 and comply with the requirements of the AMCA Certified Ratings Program. The AMCA Certified Ratings Seal applies to Water Penetration and Air Performance ratings.

Performance of 48 in. x 48 in. (1219 mm x 1219 mm) Louver

Free Area	Area: 8.00 sq. ft. (0.743 sq. m)
	Percent: 80.0%
Performance at Beginning Point of Water Penetration	Free Area Velocity: 1007 fpm (5.116 m/s)
	Max Inlet Volume: 8066 cfm (230.2 m³/s)
Performance at 6,000 CFM (2832 m³/s) Intake	Pressure Drop: 0.038 in. wg (0.024 kPa)

Options and Accessories

- Blank Screen
- Blank Off Panels
- Extended Sill
- Filter Rack/Filter
- Range Frame
- Glassing Frame
- Hinged Frame
- Insect Screen
- Mounting Angles
- Security Bars
- Variety of Architectural Finishes
- Welded Construction
- 0.125 in. (3 mm) Nominal Frame and/or Blade Thickness

Standard Details

ESD-403 Structural Details

Structural reinforcing members may be required to adequately support and install multiple louver sections within a large opening. Structural reinforcing members along with any associated installation hardware is not provided by Greenheck unless indicated otherwise by Greenheck. Options and accessories including, but not limited to, screens, filter racks, louver doors, and blank off panels are not subject to structural analysis unless indicated otherwise by Greenheck.

NEW GABLE LOUVERS
 BASIS OF DESIGN: GREENHECK ESD 403 SERIES LOUVER

6/5/23, 10:45 PM Accurex XCUE-140-A/GPF-26-G22/XMSF-P115-H20-VG/TAP-GPI Model: XRUD-160-VG Performance: Volume (CFM): SP (in. w...)

CHEF'S DEAL RESTAURANT EQUIPMENT Exhaust Hood System Parts & Accessories

Accurex XCUE-140-A/GPF-26-G22/XMSF-P115-H20-VG/TAP-GPI Model: XRUD-160-VG Performance: Volume (CFM): SP (in. wg): FRPM (RPM): Motor Power (hp): Operating Power (hp): Voltage: Phase: Hertz: 2

★★★★ | Like this product? Write a Review

The image above may not exactly represent the product.

\$4,059.70

Call or Chat

Model: XRUD-160-VG Performance: Volume (CFM): SP (in. wg): FRPM (RPM): Motor Power (hp): Operating Power (hp): Voltage: Phase: Hertz: 2250 1.2 1272 1 0.75 115 1 60 Cycle Configuration: Direct Drive Fan Motor - High Efficiency Brushless DC - 1 hp, TENV, 115/60/1, 1300 rpm - Factory Mounted Motor - Vail-Green EC motor control - 0-10VDC input UL-CUL 762 Listed - Power Ventilators for Rest. Cdh. Appliances Switch, NEMA 3R, Toggle, Shipped with Unit, Junction Box Mounted & Wired Hinge, Factory Installed Grease Trap (PN 475538) Unit Warranty: 1 Yr (Standard) Accessories: High Temp Curb Seal Rated for Continuous Duty at 1500 F (Factory Attached) Model: GP-26-G24 Dimension: Tag Quantity Width Length Height KSF - 1, Roof Curb 1 26 26 24 Configuration: Flat Roof, Welded with Insulation Material - Galvanized Nominal Curb Size Model: XMSF-P115-H20-VG Performance: Volume (CFM): SP (in. wg): FRPM (RPM): Motor Power (hp): Operating Power (hp): Voltage/Hertz/Phase: 1,000 0.5 1350 1 0.483 115 60/1 Configuration: Air Flow Arrangement: Outdoor Air Only Weatherhood: Aluminum Mesh, 21.0 x 14.1 - 12) Discharge: Inlet Outdoor Air Intake Position: End Discharge Position: Bottom Coating: Galvanized Insulation: None Access Side: Right-Hand Unit Warranty: 1 Yr (Standard) Model: TAP-GPI Dimension: Tag Quantity Width Length Height MUA - 1, Roof Curb 1 22.6 40.6 12 Configuration: Surface Mounted Sound Curb Material - Galvanized Nominal Curb Size

DUCT DIMENSIONS ARE LARGEST POSSIBLE DUCT TO FIT THROUGH CURB. CONSULT SYSTEM DESIGN ENGINEER FOR RECOMMENDED DUCT SIZE.

OVERALL HEIGHT MAY BE GREATER DEPENDING ON MOTOR, ADAPTER, AND/OR HINGE BASE.

ROOF EXHAUST FAN PRODUCT DATA AND IMAGERY
 BASIS OF DESIGN: Accurex XCUE-140-A

REVISIONS	
DATE	

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