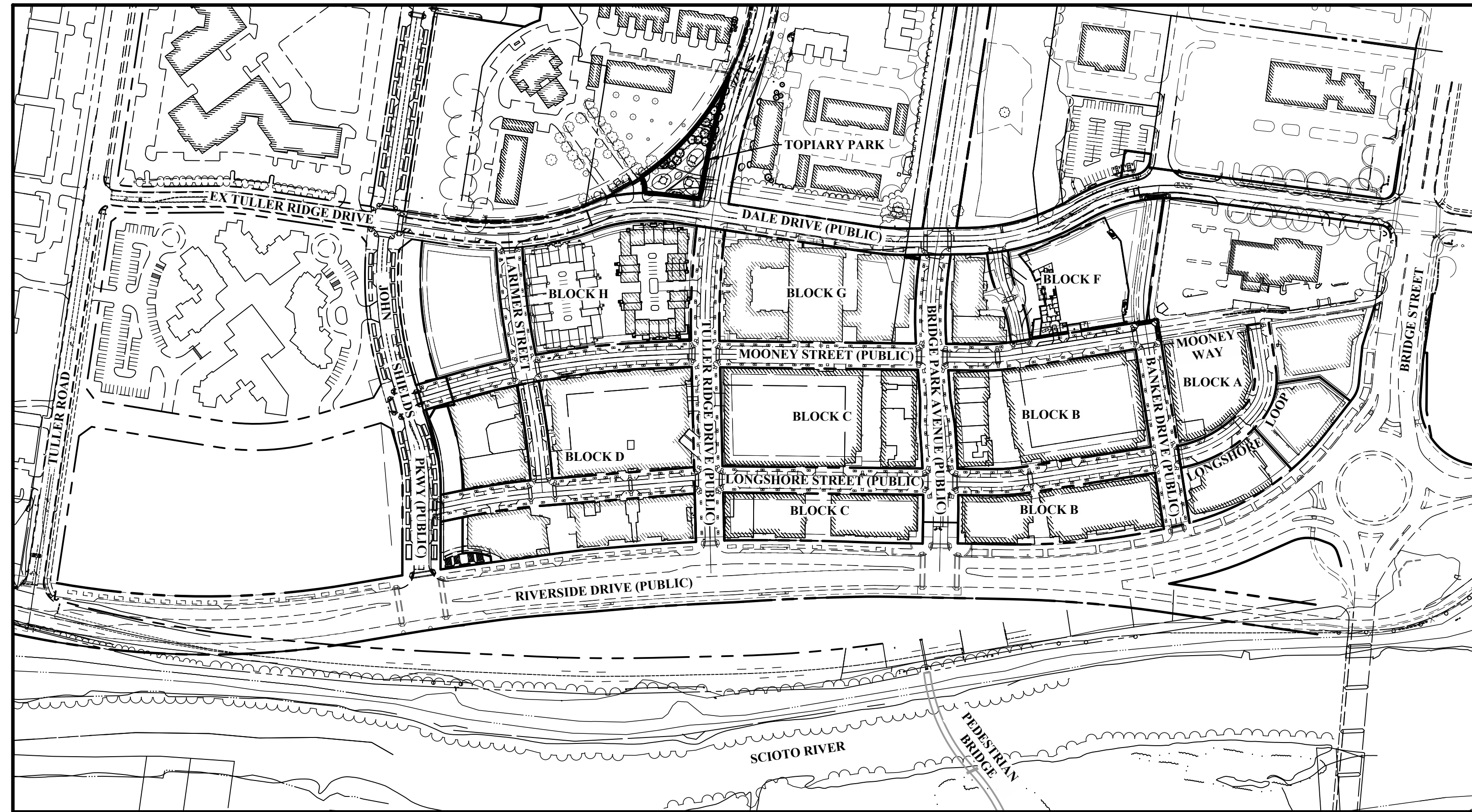


CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 AMMENDED FINAL DEVELOPMENT PLAN
 FOR
BRIDGE PARK
BLOCK G
TOPIARY PARK
 2023



LOCATION MAP
 Not to Scale



INDEX MAP
 Scale: 1" = 200'

SHEET INDEX

Title Sheet	1
Existing Conditions & Demolition Plan	2
Site Plan	3
Utility & Grading Plan	4
Open Area Plan	5

SITE DATA

Total On-Site Area= ±0.39 Acre
 Pre-Developed On-Site Impervious Area=0.026 Acres
 Post-Developed On-Site Impervious Area=0.051 Acres
 Total Added On-Site Impervious Area=0.025 Acres =1089 SF



PREPARED BY:

EMHT
 Evans, Mechwart, Hambilton & Tilton, Inc.
 Engineers • Surveyors • Planners • Scientists
 5500 New Albany Road, Columbus, OH 43054
 Phone: 614.775.4500 Fax: 614.775.3648
 emht.com

Registered Engineer No. _____

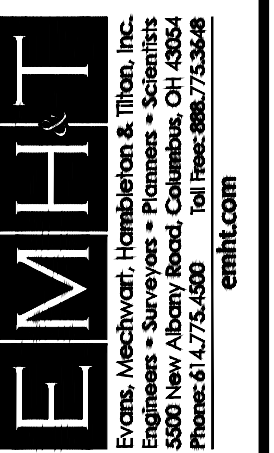
Date _____

OWNER BP Extension I Acquisition LLC 6640 Riverside Drive, Suite 500 Dublin, Ohio 43017 Tel: (614) 335-2020 Fax: (614) 850-9191	DEVELOPER Crawford Haying Development Partners 6640 Riverside Drive, Suite 500 Dublin, Ohio 43017 Tel: (614) 335-2020 Fax: (614) 850-9191 Don Brogan	ENGINEER EMHT Inc. 5500 New Albany Road Columbus, Ohio 43054 Tel: (614) 775-4500 Fax: (614) 775-4800 Sarah Wilson	LANDSCAPE ARCHITECT EDGE 330 West Spring Street, Suite 350 Columbus, Ohio 43215 Tel: (614) 486-3343 Fax: (614) 486-3344 Greg Chillio	ZONING Zones BSD Scioto River Neighborhood District
---	---	--	---	--

MARK	DATE	DESCRIPTION



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 AMMENDED FINAL DEVELOPMENT PLAN
 FOR
BLOCK G
TOPIARY PARK
 TITLE SHEET



DATE
 August 25, 2023

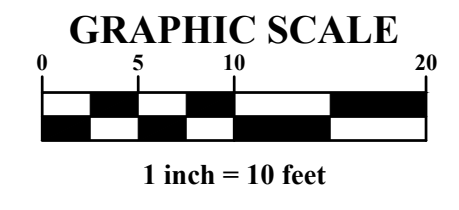
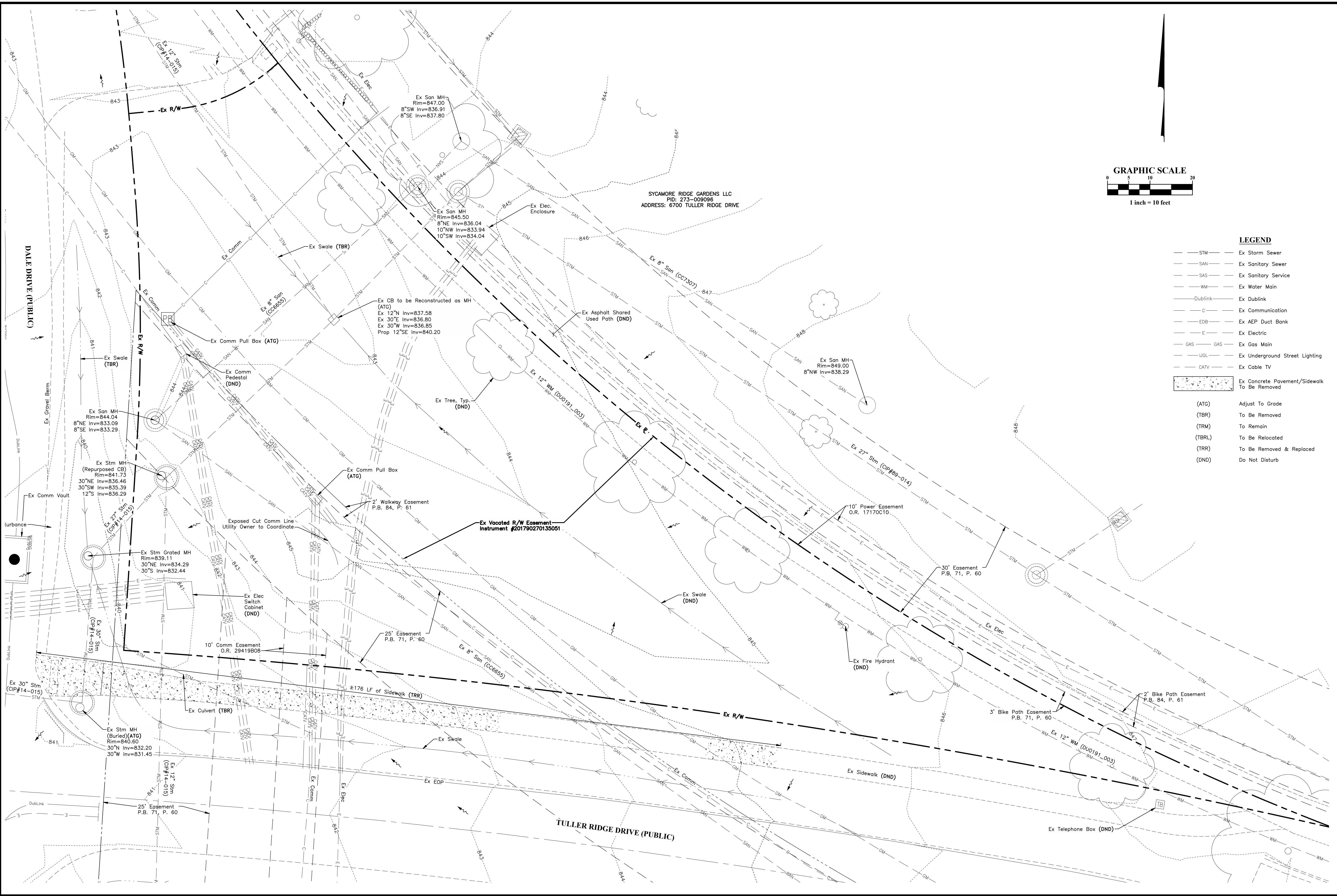
SCALE
 1" = 200'

JOB NO.
 20230410

SHEET
 1/5

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LEGEND

STM	Ex Storm Sewer
SAN	Ex Sanitary Sewer
SAS	Ex Sanitary Service
WM	Ex Water Main
Dublink	Ex Dublink
C	Ex Communication
EDB	Ex AEP Duct Bank
E	Ex Electric
GAS	Ex Gas Main
UGL	Ex Underground Street Lighting
CATV	Ex Cable TV
[Pattern]	Ex Concrete Pavement/Sidewalk To Be Removed
(ATG)	Adjust To Grade
(TBR)	To Be Removed
(TRM)	To Remain
(TBRL)	To Be Relocated
(TRR)	To Be Removed & Replaced
(DND)	Do Not Disturb

REVISIONS

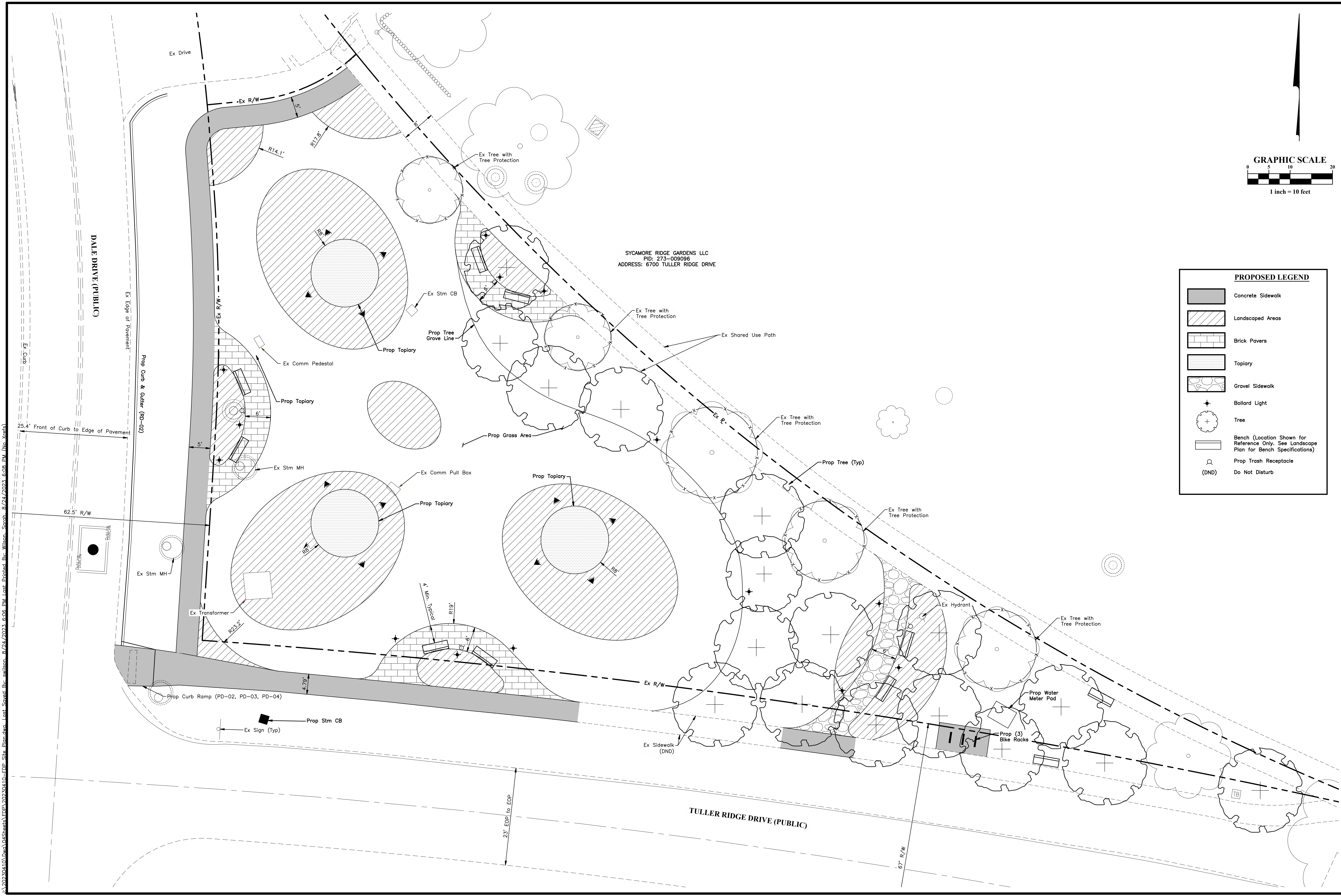
MARK	DATE	DESCRIPTION

CRAWFORD HOYING
development

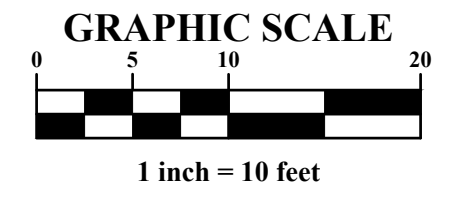
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
AMENDED FINAL DEVELOPMENT PLAN
FOR
BLOCK G
TOPIARY PARK
EXISTING CONDITIONS & DEMOLITION PLAN

EMHT
ENGINEERS, ARCHITECTS, SURVEYORS & PLANNERS
5000 New Albany Road, Columbus, OH 43264
Phone: 614.757.5500 Fax: 614.757.5501
emht.com

DATE	August 25, 2023
SCALE	1" = 10'
JOB NO.	20230410
SHEET	2/5



SYCAMORE RIDGE GARDENS LLC
 PID: 273-009096
 ADDRESS: 6700 TULLER RIDGE DRIVE



PROPOSED LEGEND

	Concrete Sidewalk
	Landscaped Areas
	Brick Pavers
	Topiary
	Gravel Sidewalk
	Bollard Light
	Tree
	Bench (Location Shown for Reference Only. See Landscape Plan for Bench Specifications)
	Prop Trash Receptacle
	Do Not Disturb

REVISIONS

MARK	DATE	DESCRIPTION

CRAWFORD HOYING
 development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 AMENDED FINAL DEVELOPMENT PLAN
 FOR
**BLOCK G
 TOPARIY PARK**
 SITE PLAN

EMHT
 ENGINEERS, ARCHITECTS, SURVEYORS & PLANNERS
 5000 New Albany Road, Columbus, OH 43254
 Phone: 614.775.5500 Fax: 614.775.5505 emht.com

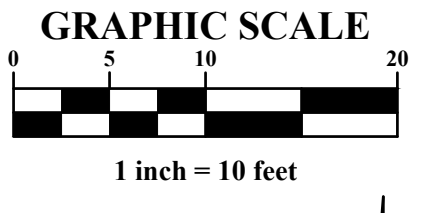
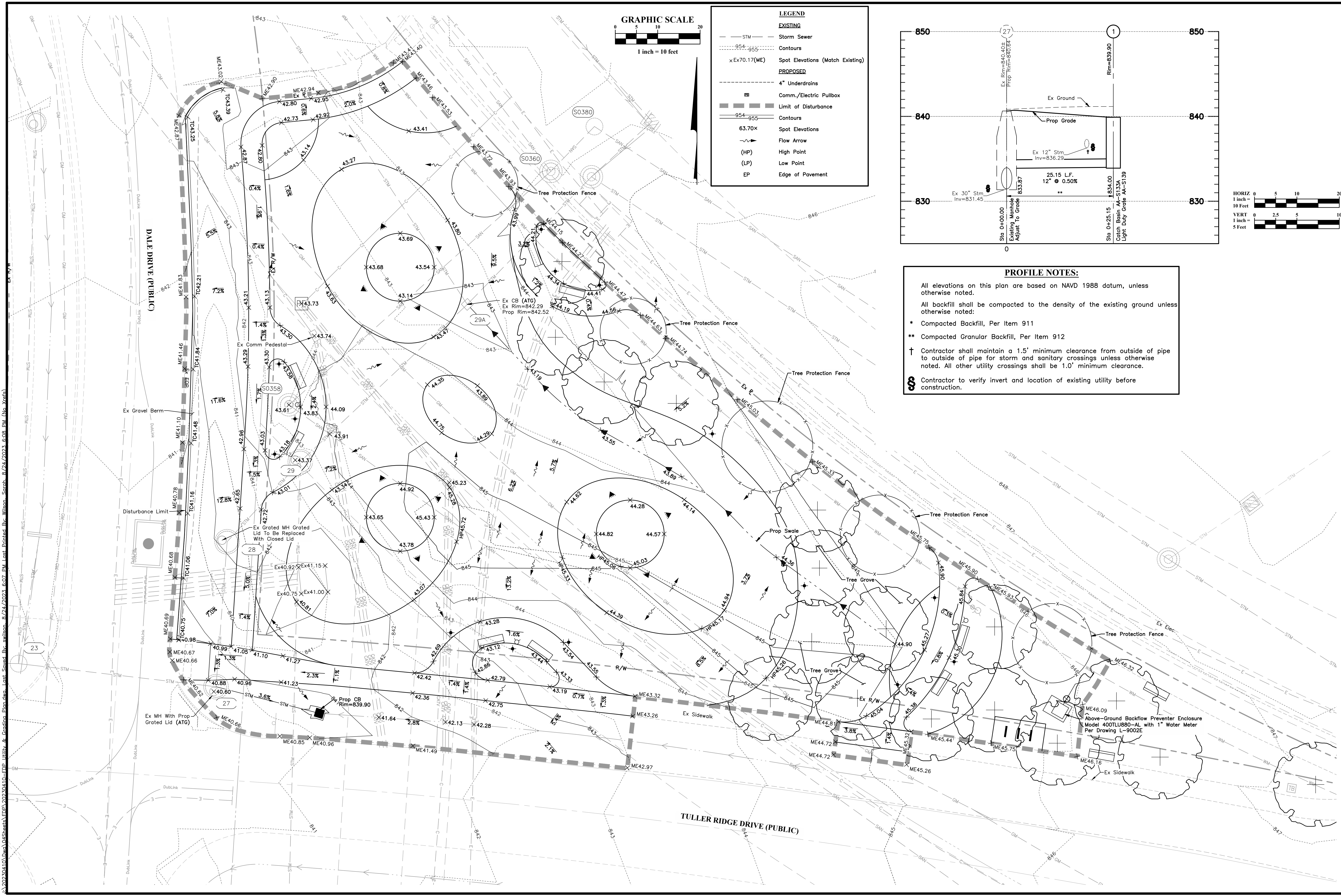
DATE
 August 25, 2023

SCALE
 1" = 10'

JOB NO.
 20230410

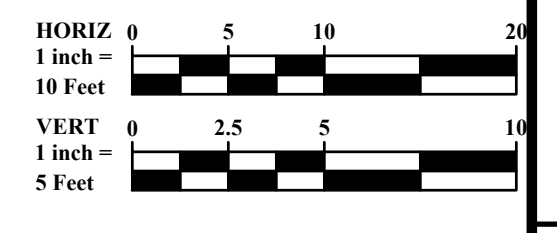
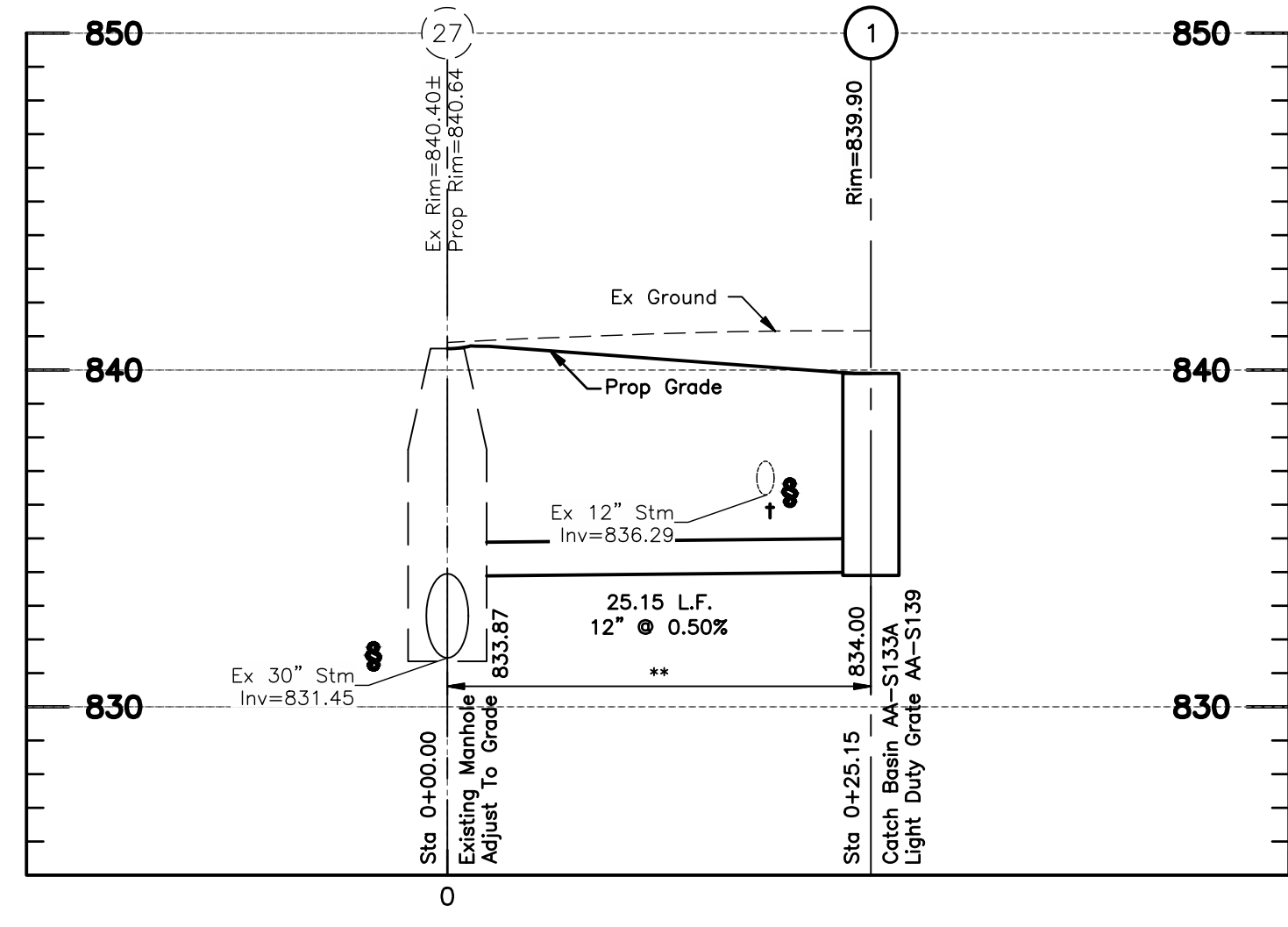
SHEET
 3/5

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LEGEND

---	Storm Sewer
---	Contours
xEx70.17(ME)	Spot Elevations (Match Existing)
---	4" Underdrains
■	Comm./Electric Pullbox
---	Limit of Disturbance
---	Contours
63.70x	Spot Elevations
→	Flow Arrow
(HP)	High Point
(LP)	Low Point
EP	Edge of Pavement



PROFILE NOTES:

All elevations on this plan are based on NAVD 1988 datum, unless otherwise noted.

All backfill shall be compacted to the density of the existing ground unless otherwise noted:

- * Compacted Backfill, Per Item 911
- ** Compacted Granular Backfill, Per Item 912

† Contractor shall maintain a 1.5' minimum clearance from outside of pipe to outside of pipe for storm and sanitary crossings unless otherwise noted. All other utility crossings shall be 1.0' minimum clearance.

§ Contractor to verify invert and location of existing utility before construction.

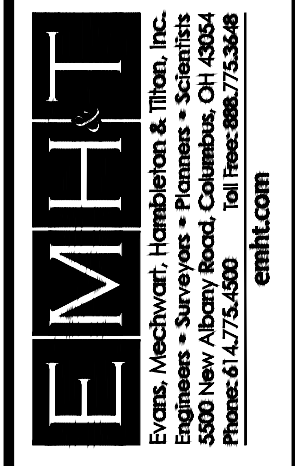
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REVISIONS

MARK	DATE	DESCRIPTION

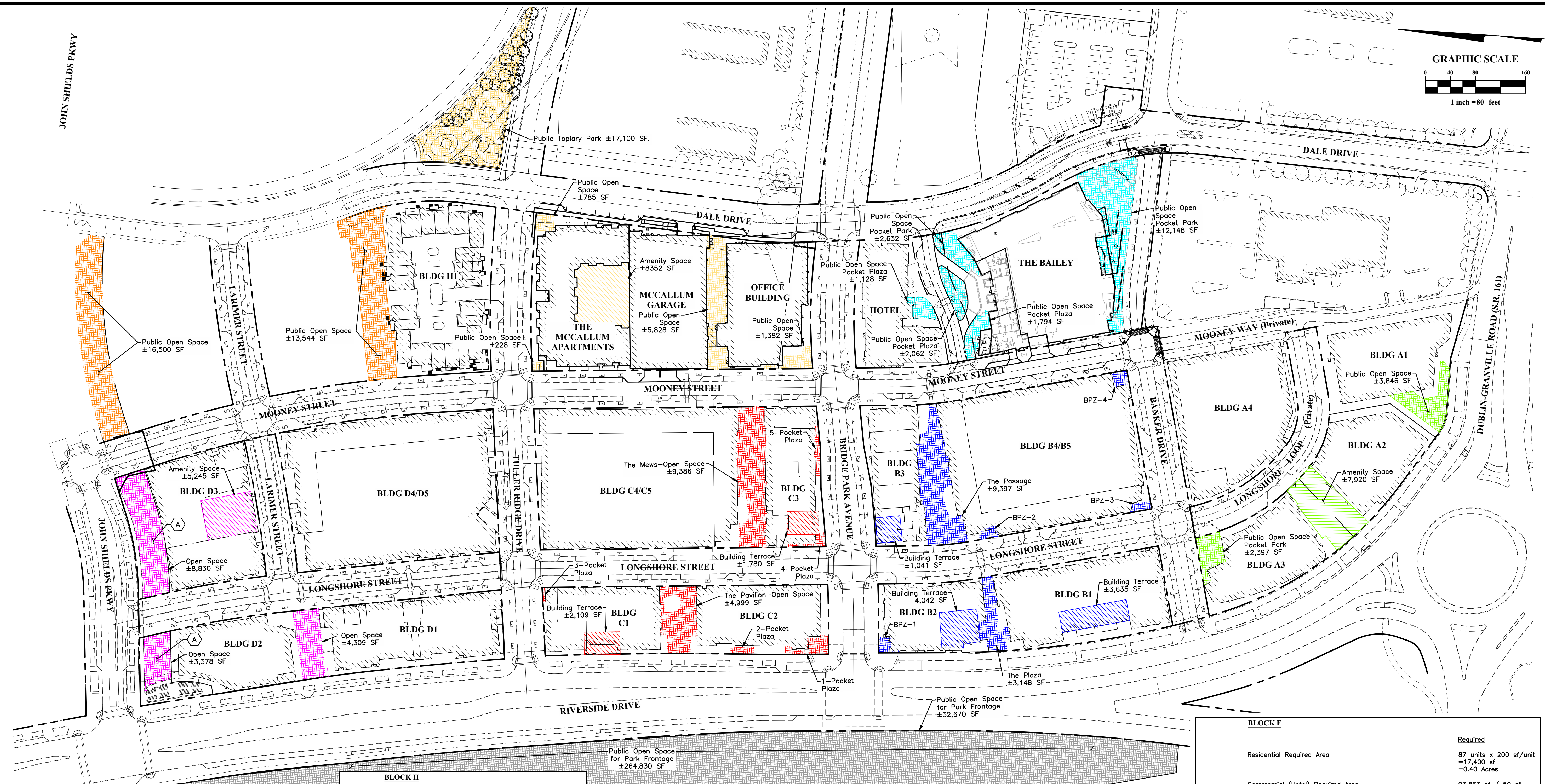
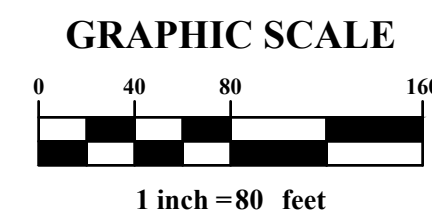


CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 AMENDED FINAL DEVELOPMENT PLAN
 FOR
**BRIDGE PARK
 BLOCK G-TOPIARY PARK**
 UTILITY & GRADING PLAN



DATE	August 25, 2023
SCALE	1" = 10'
JOB NO.	20230410
SHEET	4/5

JOHN SHIELDS PKWY



BLOCK D	
Required	
Residential Required Area	186 units x 200 sf/unit = 37,200 sf = 0.85 Acres
Commercial Required Area	194,703 sf / 50 sf = 3,894 sf = 0.09 Acres
Total Required Open Space Area	±0.94 Acres
Provided	
Public Open Space (On-Site)	±0.38 Acres x 100% = 0.38 Acres
Public Open Space (Off-Site)	±0.56 Acres x 100% = 0.56 Acres
Amenity Space	±0.12 Acres x 0% = 0 Acres
Total Provided Open Space Area	±0.94 Acres

(A) The adjacent John Shields Parkway greenway is counted towards the on-site Public Open Space for Block D. It is the design teams understanding the greenway will be developed as part of a Future City Project.

BLOCK H	
Required	
Residential Required Area	64 units x 200 sf/unit = 12,800 sf = 0.29 Acres
Provided	
Public Open Space	±30,044 sf = 0.68 Acres

BLOCK C	
Required	
Residential Required Area	153 units x 200 sf/unit = 30,600 sf = 0.70 Acres
Commercial Required Area	141,813 sf / 50 sf = 2,836 sf = 0.07 Acres
Total Required Open Space Area	±0.77 Acres
Provided	
Public Open Space (On-Site)	±0.40 Acres x 100% = 0.40 Acres
Public Open Space (Off-Site)	±0.65 Acres x 100% = 0.65 Acres
Amenity Space	±0.09 Acres x 0% = 0 Acres
Total Provided Open Space Area	±1.05 Acres

BLOCK G	
Required	
Residential Required Area	86 units x 200 sf/unit = 17,200 sf = 0.39 Acres
Commercial Required Area	118,171 sf / 50 sf = 2,364 sf = 0.05 Acres
Total Required Open Space Area	±0.44 Acres
Provided	
Public Open Space (On-Site)	±0.19 Acres
Public Open Space (Topiary Park)	±0.39 Acres
Amenity Space (Not Counted Toward Open Space Requirement)	±0.19 Acres
Total Provided Public Open Space	±0.58 Acres

BLOCK B	
Required	
Residential Required Area	229 units x 200 sf/unit = 45,800 sf = 1.05 Acres
Commercial Required Area	98,144 sf / 50 sf = 1,963 sf = 0.05 Acres
Total Required Open Space Area	±1.08 Acres
Provided	
Public Open Space (On-Site)	±0.33 Acres x 100% = 0.33 Acres
Public Open Space (Off-Site)	±0.75 Acres x 100% = 0.75 Acres
Amenity Space	±0.20 Acres x 0% = 0 Acres
Total Provided Open Space Area	±1.08 Acres

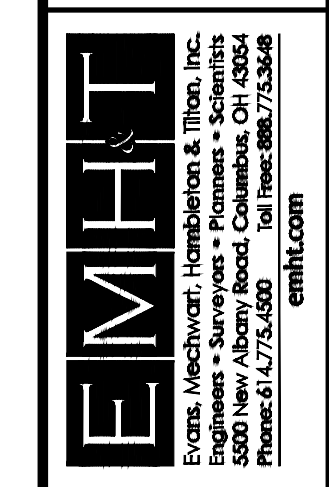
BLOCK F	
Required	
Residential Required Area	87 units x 200 sf/unit = 17,400 sf = 0.40 Acres
Commercial (Hotel) Required Area	93,863 sf / 50 sf = 1,878 sf = 0.04 Acres
Total Required Open Space Area	±0.44 Acres
Provided	
Total Public Open Space (On-Site)	±0.45 Acres

BLOCK A	
Required	
Commercial Required Area	Hotel 107,043 Event Center 19,104 Retail-Garage 2,334 Office 78,134
Total Required Open Space Area	Total 206,615 sf / 50 sf = 4,132 sf = ±0.095 Acres
Provided	
Public Open Space (On-site)	±6,243 sf = 0.14 Acres
Amenity Space	±7,920 sf
Total Provided Open Space Area	±0.14 Acres

MARK	DATE	DESCRIPTION

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CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 AMENDED FINAL DEVELOPMENT PLAN
 FOR
BRIDGE PARK
BLOCK G-TOPIARY PARK
 OPEN AREA PLAN

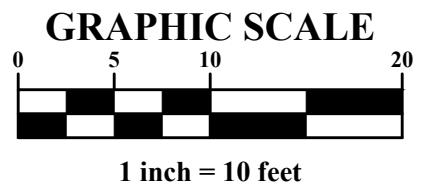


DATE	August 25, 2023
SCALE	1" = 80'
JOB NO.	20230410
SHEET	5/5

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DALE DRIVE (PUBLIC)

TULLER RIDGE DRIVE (PUBLIC)



PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
June 8, 2023

Textured Bollard 12V LED Path Light Architectural Bronze 1584BAZT
© 2023 Kichler Lighting LLC. All Rights Reserved.

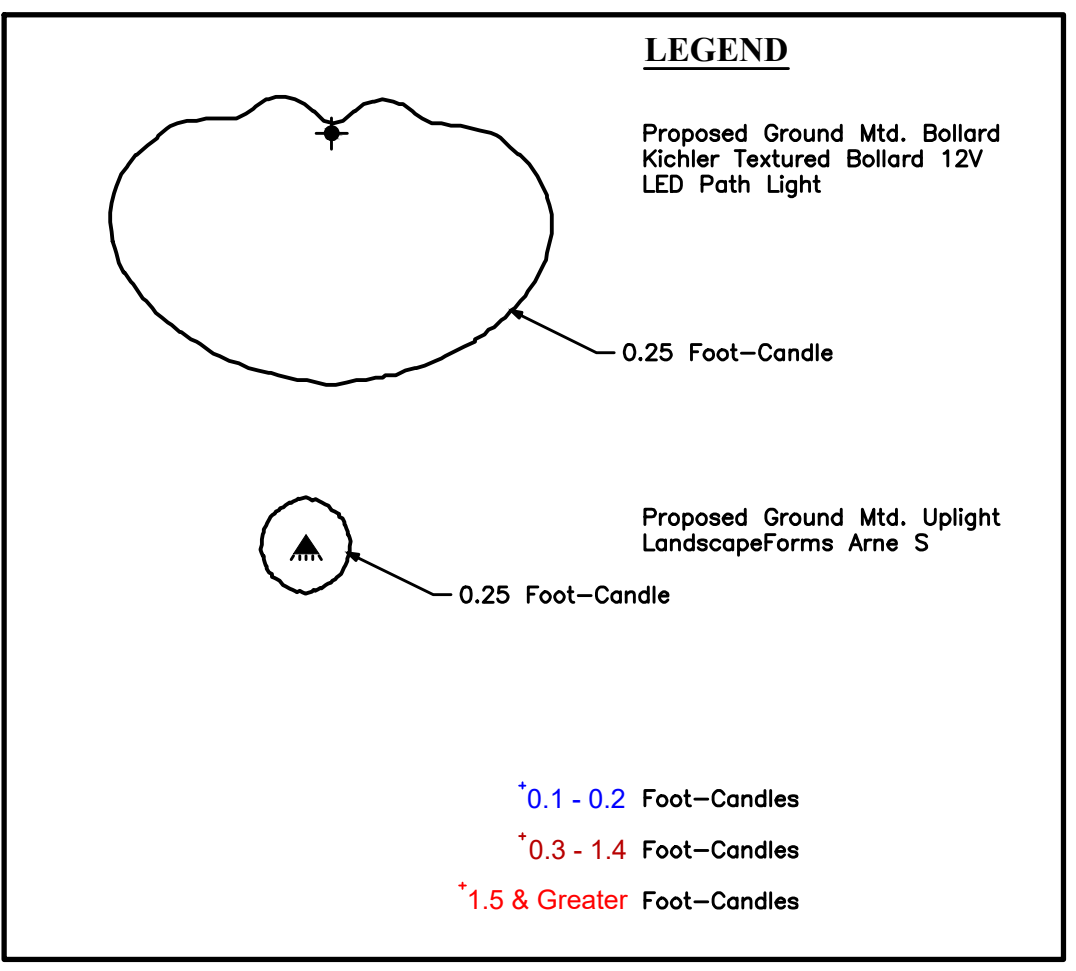
SPECIFICATIONS

Certifications/Qualifications	
www.kichler.com/warranty	
Dimensions	
Height	27.00"
Length	5.50"
Width	4.00"
Electrical	
Operating Voltage Range	12 VAC
Voltage	12V
Light Source	
Lamp Included	Not Included
Lamp Type	XENON
Light Source	Incandescent
Max or Nominal Watt	11.60
# of Bulbs/LED Modules	1
Max Wattage/Range	11.6W
Mounting/Installation	
Lead Wire Length	36"
Location Rating	Wet
FIXTURE ATTRIBUTES	
Housing	
Primary Material	Aluminum
Product/Ordering Information	
SKU	1584BAZT
Finish	Textured Architectural Bronze
UPC	783927551717
Finish Options	
● Textured Architectural Bronze	
● Textured Black	



PHOTOMETRIC STATISTICS

Description	Avg	Max	Min	Avg/Min	Max/Min
Walkways	2.6 fc	5.8 fc	0.4 fc	6.6:1	14.5:1



REVISIONS

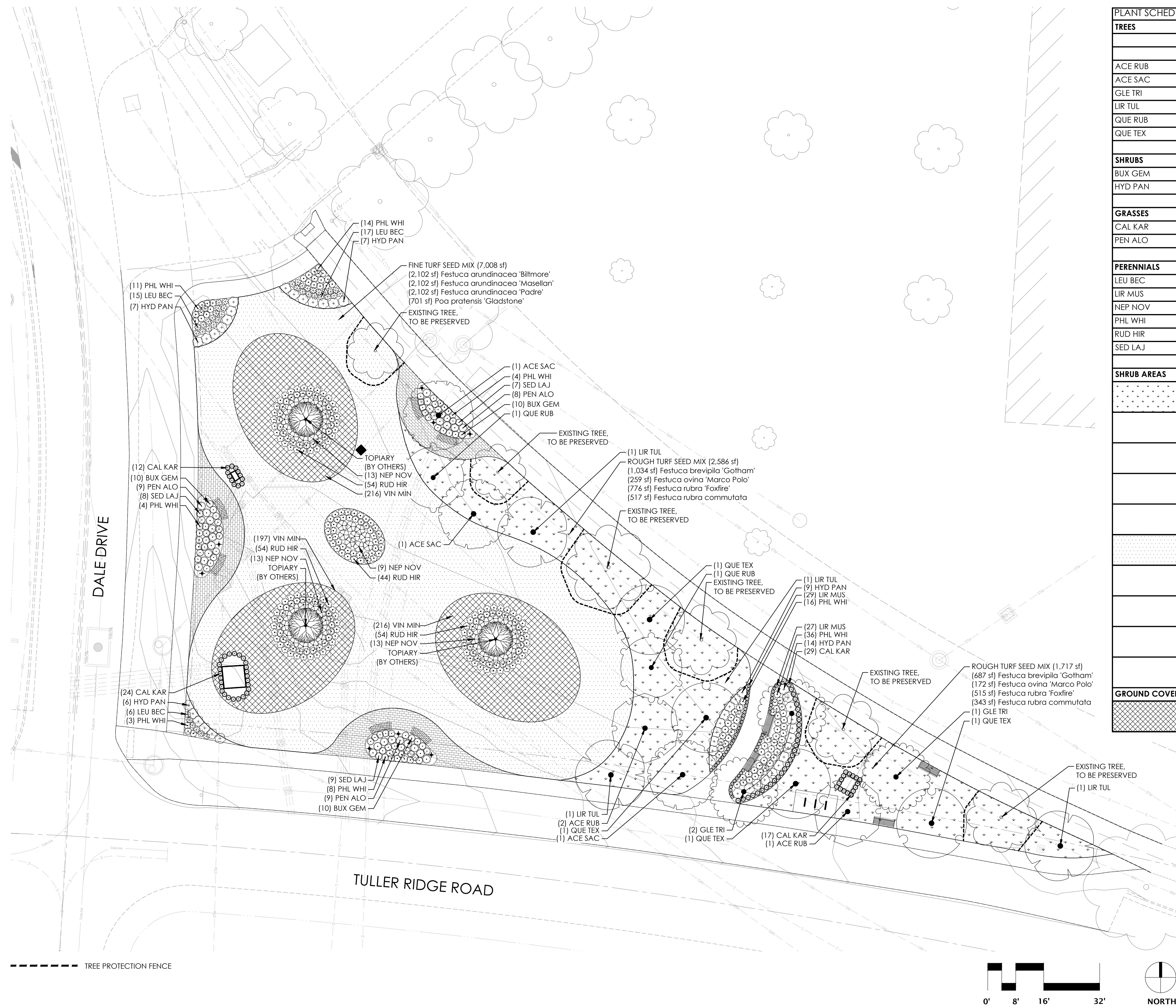
MARK	DATE	DESCRIPTION

www.crawfordhowing.com

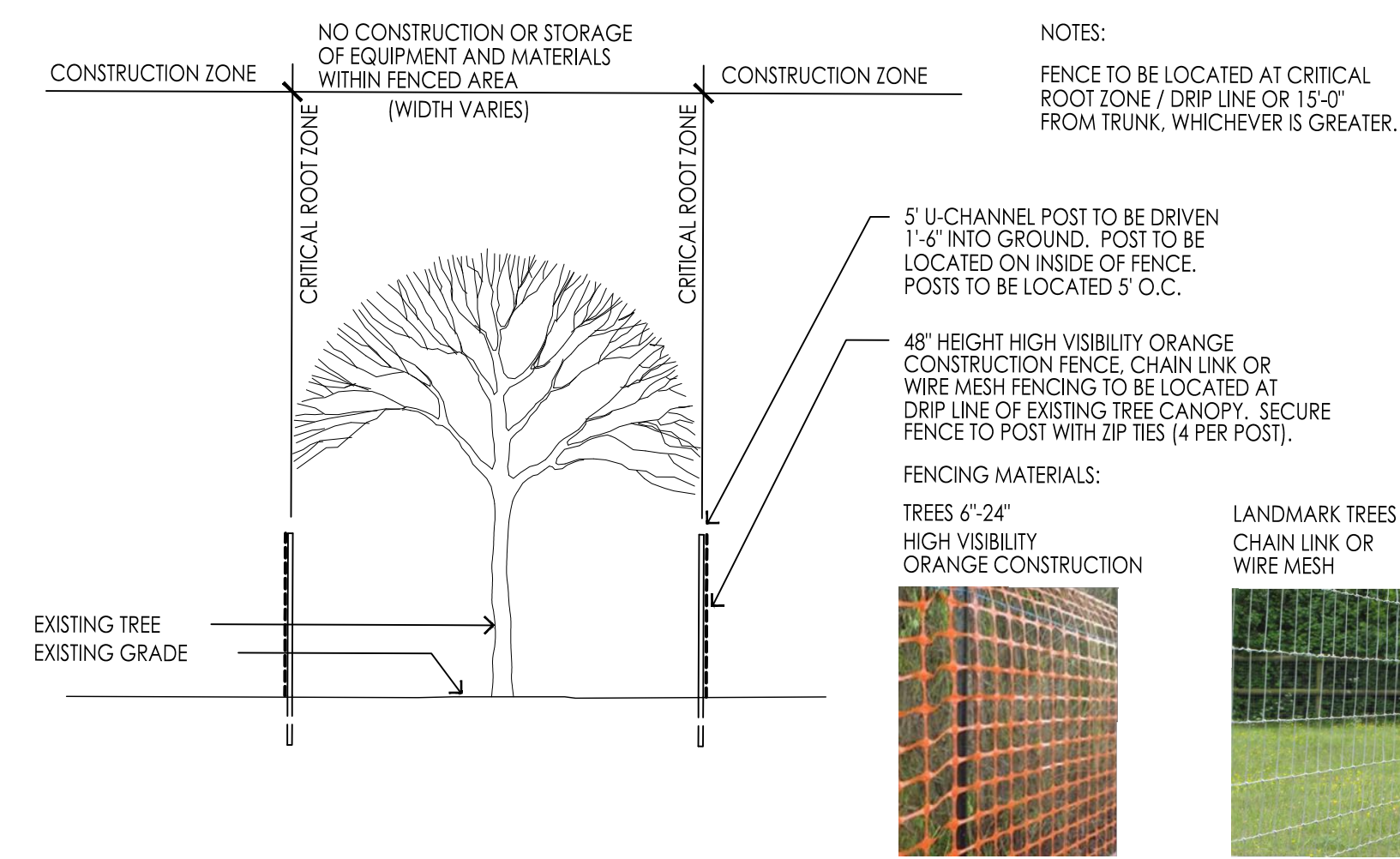
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BLOCK G TOPIARY PARK
PHOTOMETRIC EXHIBIT

EMHT
Steve McWhorter, Michael S. Thon, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.757.5500 Fax: 614.757.5501
emht.com

DATE	June 8, 2023
SCALE	1" = 10'
JOB NO.	20230410
SHEET	1/1



PLANT SCHEDULE				
TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	TOPIARY			3
				3
ACE RUB	ACER RUBRUM / RED MAPLE	3" CAL.	B&B	2
ACE SAC	ACER SACCHARUM / SUGAR MAPLE	3" CAL.	B&B	3
GLE TRI	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS HONEY LOCUST	3" CAL.	B&B	3
LIR TUL	LIRIODENDRON TULIPIFERA / TULIP POPLAR	3" CAL.	B&B	3
QUE RUB	QUERCUS RUBRA / RED OAK	3" CAL.	B&B	2
QUE TEX	QUERCUS TEXANA / NUTTALL OAK	3" CAL.	B&B	4
SHRUBS	BOTANICAL / COMMON NAME	SIZE	CONTAINER TYPE	QTY
BUX GEM	BUXUS X 'GREEN GEM' / GREEN GEM BOXWOOD	#2	CONT.	30
HYD PAN	HYDRANGEA PANICULATA 'LITTLE LIME' / LITTLE LIME HYDRANGEA	#3	CONT.	43
GRASSES	BOTANICAL / COMMON NAME	SIZE	CONTAINER TYPE	QTY
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	#1	CONT.	84
PEN ALO	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS	#3	CONT.	26
PERENNIALS	BOTANICAL / COMMON NAME	SIZE	CONTAINER TYPE	QTY
LEU BEC	LEUCANTHEMUM X SUPERBUM 'BECKY' / BECKY SHASTA DAISY	#1	CONT.	38
LIR MUS	LIRIOPE MUSCARI / LILYTURF	#1	CONT.	56
NEP NOV	NEPETA X FAASENII 'WALKER'S LOW' / WALKER'S LOW CATMINT	#1	CONT.	48
PHL WHI	PHLOX SUBULATA 'WHITE DELIGHT' / WHITE DELIGHT CREEPING PHLOX	#1	CONT.	96
RUD HIR	RUDBECKIA HIRTA / BLACK-EYED SUSAN	#1	CONT.	206
SED LAJ	SEDUM TELEPHIUM 'LAJOS' / AUTUMN CHARM STONECROP	#1	CONT.	24
SHRUB AREAS	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	ROUGH TURF SEED MIX			4,213 SF
	FESTUCA BREVPILA 'GOTHAM' / GOTHAM HARD FESCUE			1,685 SF
	FESTUCA OVINA 'MARCO POLO' / MARCO POLO SHEEP FESCUE			421 SF
	FESTUCA RUBRA 'FOXFIRE' / FOXFIRE CREEPING RED FESCUE			1,264 SF
	FESTUCA RUBRA COMMUTATA / CHEWINGS FESCUE			843 SF
	FINE TURF SEED MIX			7,004 SF
	FESTUCA ARUNDINACEA 'BILTMORE' / BILTMORE TALL FESCUE			2,101 SF
	FESTUCA ARUNDINACEA 'MASELLAN' / MASELLAN TALL FESCUE			2,101 SF
	FESTUCA ARUNDINACEA 'PADRE' / PADRE TALL FESCUE			2,101 SF
	POA PRATENSIS 'GLADSTONE' / GLADSTONE KENTUCKY BLUEGRASS			700 SF
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	VINCA MINOR / COMMON PERIWINKLE	#2	CONT.	617



1 TREE PROTECTION FENCE
NTS



- LEGEND**
- (A) EXISTING WALK
 - (B) EXISTING CANOPY TREES
 - (C) PROPOSED CANOPY TREES
 - (D) 6' BRICK PAVER WALKWAY (IMPERVIOUS)
 - (E) GENERATION 50 BENCH
 - (F) FINE LAWN
 - (G) PROPOSED PLANT BED
 - (H) LINK BENCH
 - (I) EXISTING ELECTRIC SWITCH
 - (J) TOPIARY (BY OTHERS)
 - (K) BOLLARDS
 - (L) UPLIGHTS
 - (M) GRAVEL WALK
 - (N) ROUGH LAWN
 - (O) PROPOSED WALK
 - (P) BIKE RACK



ENDICOTT CLAY PAVERS
MEDIUM #46 IRONSPOT BLEND
BY CLEVELAND QUARRIES

D. BRICK PAVER WALKWAY



GENERATION 50 BENCH
LOOP END ARMS + TRADITIONAL BACK
26" x 72" x 33"
BY LANDSCAPE FORMS

E. BENCH



LINK BENCH
140" R PIAANCO KEY
27.5" x 78.5"
BY LANDSCAPE FORMS

H. LINK BENCH



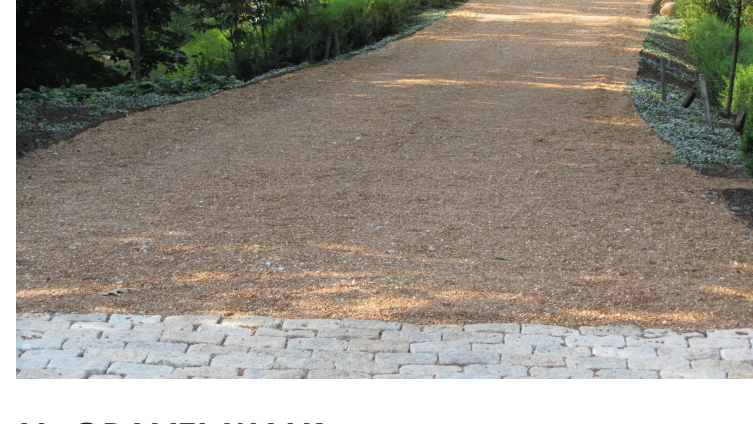
SINGLE PERFORMANCE PROFILE BOLLARD
COLOR: BRONZE
BY LANDSCAPE FORMS

K. BOLLARDS



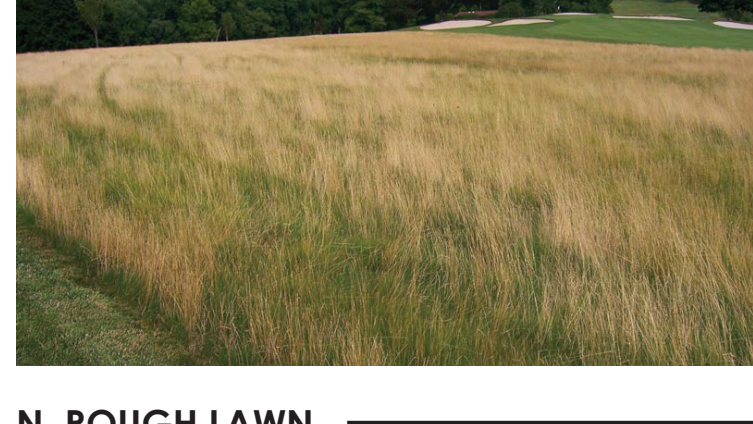
ARNE S UPLIGHT
COLOR: TITANIUM
SHORT SURFACE MOUNT (2.2)
BY LANDSCAPE FORMS

L. UPLIGHTS



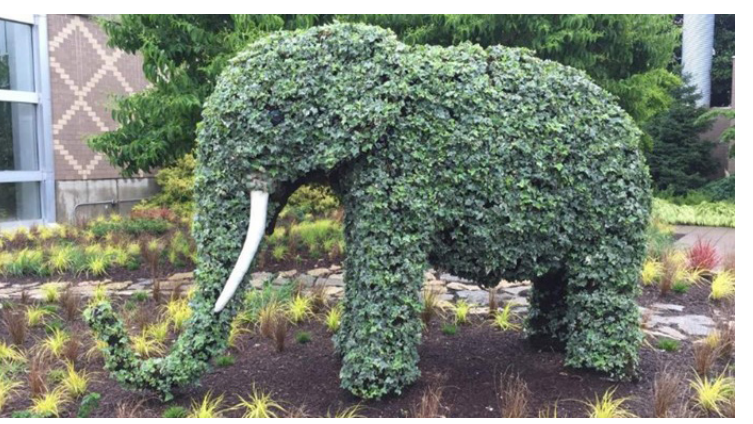
MEREMAC GRAVEL
BY LANG STONE

M. GRAVEL WALK



ROUGH LAWN
LESCO FINE FESCUE
LINKS BLEND OR APPROVED EQUAL

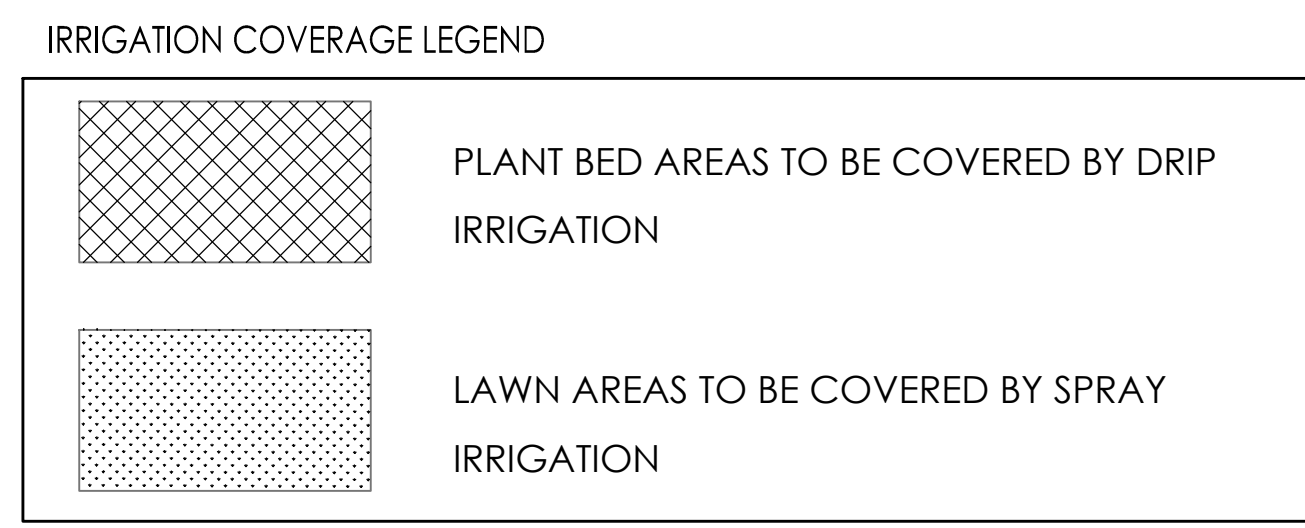
N. ROUGH LAWN



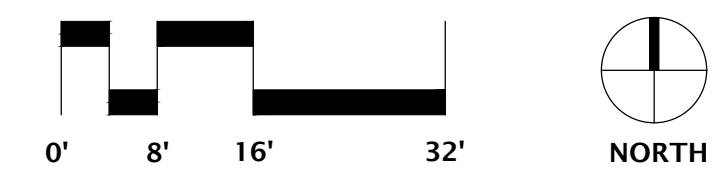
J. TOPIARY EXAMPLES (ACTUAL TO BE DETERMINED - IMAGES SHOWN AS SIMILAR IN SCALE)



- IRRIGATION GENERAL NOTES**
- 50 PSI AND A RATE OF 32 GPM REQUIRED AT POINT OF CONNECTION, AFTER BACKFLOW.
 - ALL PIPE SHALL BE CLASS 200 PVC PIPE, UNLESS NOTED OTHERWISE.
 - ALL WIRING AS PER LOCAL CODE.
 - BACKFLOW PREVENTION AS PER LOCAL CODE, IF REQUIRED.
 - THIS IRRIGATION COVERAGE PLAN IS SCHEMATIC; IRRIGATION PLAN IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
 - ALL VALVES SHALL BE LOCATED IN VALVE BOXES FLUSH WITH GRADE.
 - THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 - WINTERIZATION OF SYSTEM SHALL BE AS PER MANUFACTURER'S SPECIFICATIONS.
 - SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND ROADWAYS. SLEEVE SIZE SHALL BE TWICE (2X) THE SIZE OF PIPE BEING SLEEVED. (MINIMUM 3")
 - THE IRRIGATION CONTRACTOR SHALL LOCATE ALL UTILITIES AS ARE COMMONLY ENCOUNTERED UNDERGROUND AND HE SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB SUCH IMPROVEMENTS. COORDINATE WITH THE GENERAL CONTRACTOR.
 - IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED.
 - FULL AND COMPLETE COVERAGE IS REQUIRED. IRRIGATION CONTRACTOR SHALL MAKE ANY NECESSARY MINOR ADJUSTMENTS TO LAYOUT REQUIRED TO ACHIEVE FULL COVERAGE OF IRRIGATION AREAS AT NO ADDITIONAL COST TO THE OWNER.
 - ELECTRICAL POWER WILL BE PROVIDED WITHIN 10 FEET OF CONTROLLER LOCATION(S). COORDINATE WITH OWNER'S AUTHORIZED REPRESENTATIVE AS TO FINAL LOCATION OF CONTROLLER. COORDINATE HOOK-UP WITH ELECTRICAL CONTRACTOR AS REQUIRED.
 - INSTALL RAIN SENSOR(S). COORDINATE WITH OWNER'S AUTHORIZED REPRESENTATIVE AS TO FINAL LOCATION.
 - CONTROL WIRE WILL BE SOLID COPPER WIRE U.L. APPROVED FOR DIRECT BURIAL IN GROUND. MINIMUM GAUGE: #14 U.F. (#12 U.F. FOR RUNS OVER 2000 L.F.) COMMON GROUND WIRE SHALL BE WHITE.
 - 24 VAC WIRE SPlicing MATERIAL WILL BE DIRECT BURIAL SPLICE KIT AS MANUFACTURED BY 3M, OR EQUIVALENT.
 - SOME AREAS MAY REQUIRE RISER EXTENSIONS FOR SPRINKLERS OR A FIXED RISER WITH A SHRUB HEAD OR SHRUB ADAPTER MAY BE REQUIRED TO GET PROPER COVERAGE IN SOME



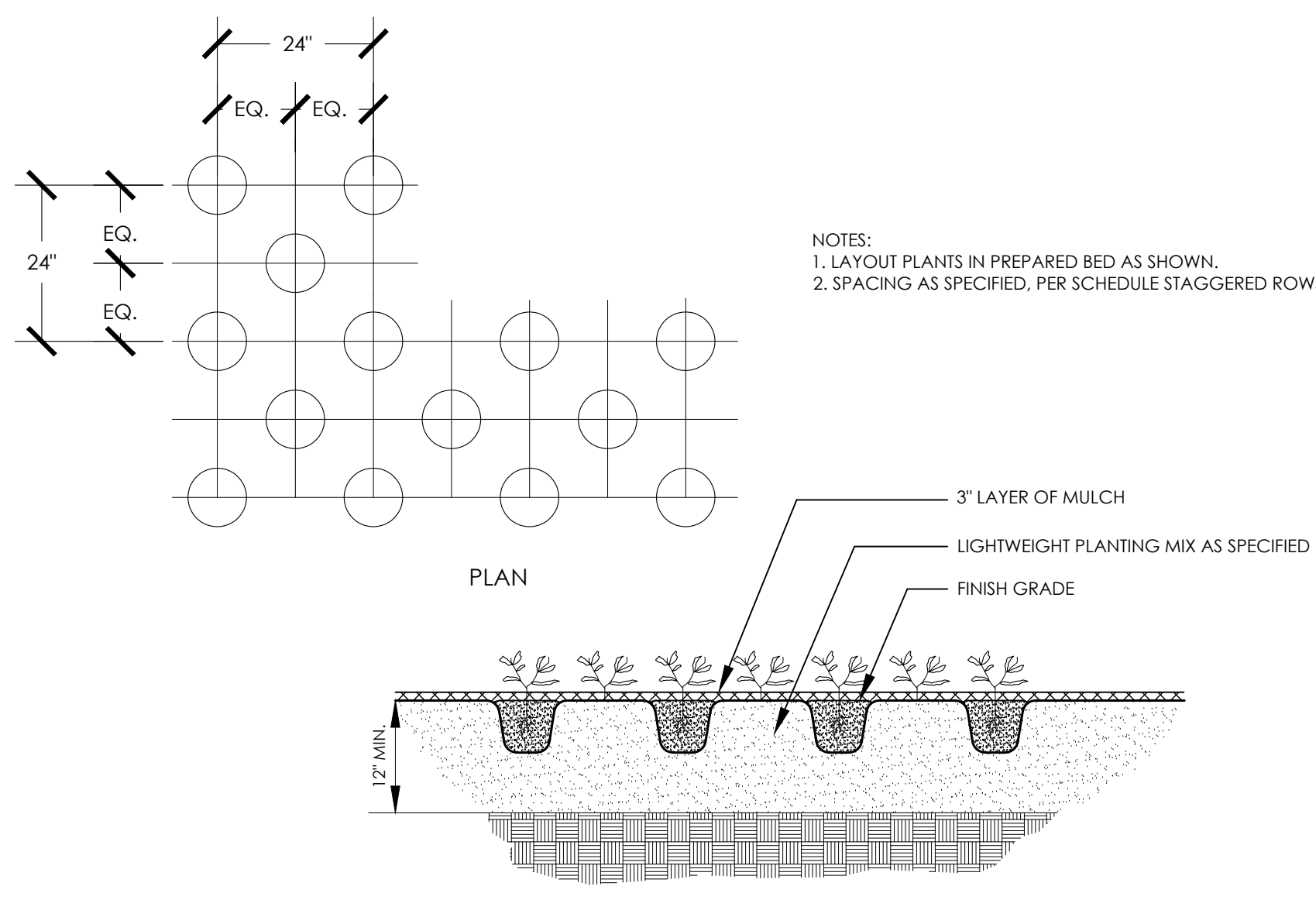
THIS IRRIGATION COVERAGE PLAN IS SCHEMATIC; IRRIGATION PLAN IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION



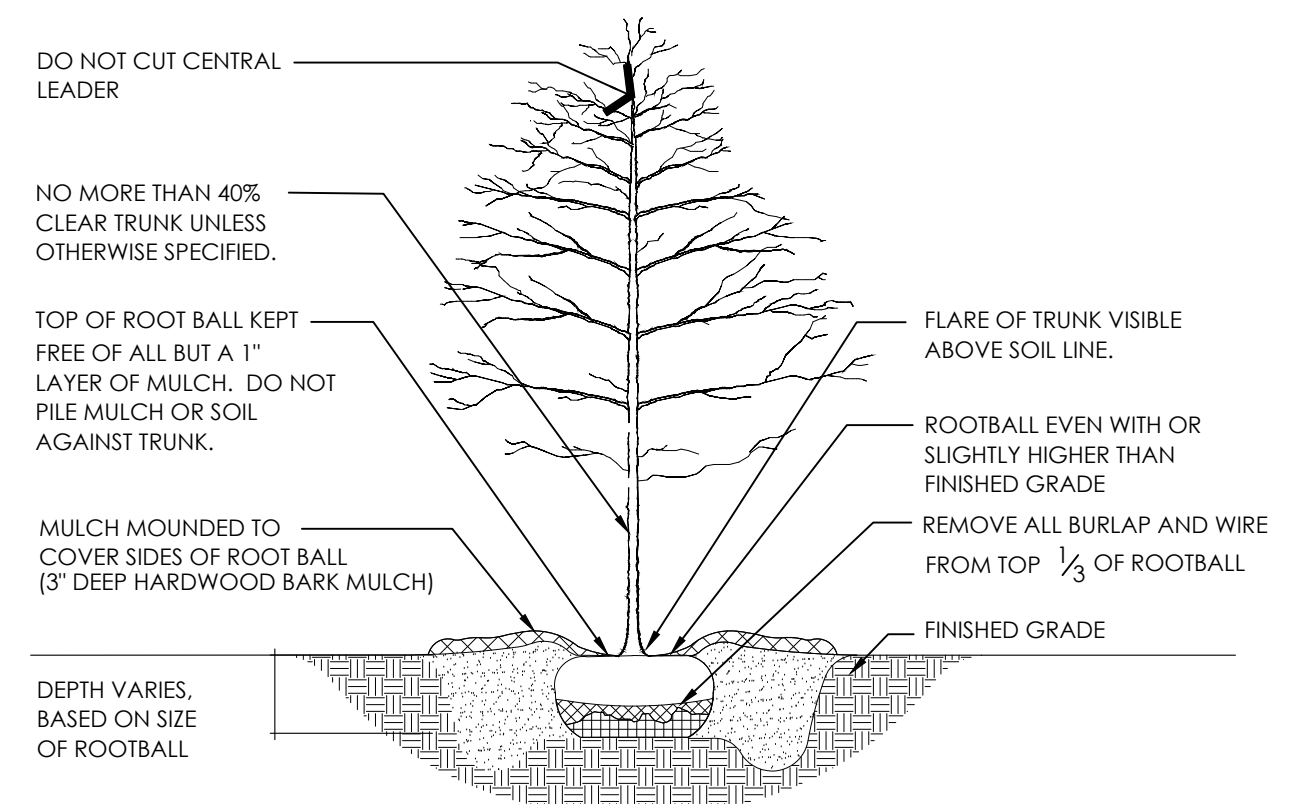
GENERAL NOTES - LANDSCAPE PLANTING

- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) 2014. CONTRACTOR IS RESPONSIBLE FOR ALL PLANT QUANTITIES SHOWN ON THE PLANS.
- ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS.
- ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE OWNER SHALL RECEIVE TAGS FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS.
- PLANT SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- LIFTING STRAPS, ROOTBALL STRAPS AND WIRE BASKETS ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM ANY PLANT MATERIAL.
- SHADE TREE MEASUREMENT: CALIPER SHALL BE MEASURED AT SIX INCHES ABOVE THE ROOTBALL. HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION. WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- SHRUBS MEASUREMENT: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
- ALL SOIL IN PLANT BED AREAS IS TO BE A BLEND OF CLEAN SIFTED TOP SOIL AND ORGANIC CONTENT. SEE NOTE #14.
- ALL LANDSCAPE BED AREAS TO BE IRRIGATED WITH UNDERGROUND SYSTEM. IRRIGATION PLAN TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT AND COUNTY REVIEW AGENCY. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASONS FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE, AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIALS SHALL STATE THE NAMES OF NURSERIES WHO HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.
- ACCEPTABLE TOPSOIL SHALL BE A FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, LIMBS, PLANTS AND THEIR ROOTS, DEBRIS AND OTHER EXTRANEOUS MATTER OVER 1 INCH IN DIAMETER. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC CONTENT.
- SEE CIVIL DRAWINGS FOR ALL UTILITY AND GRADING INFORMATION. ANY CONFLICTS BETWEEN THE DRAWINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER.

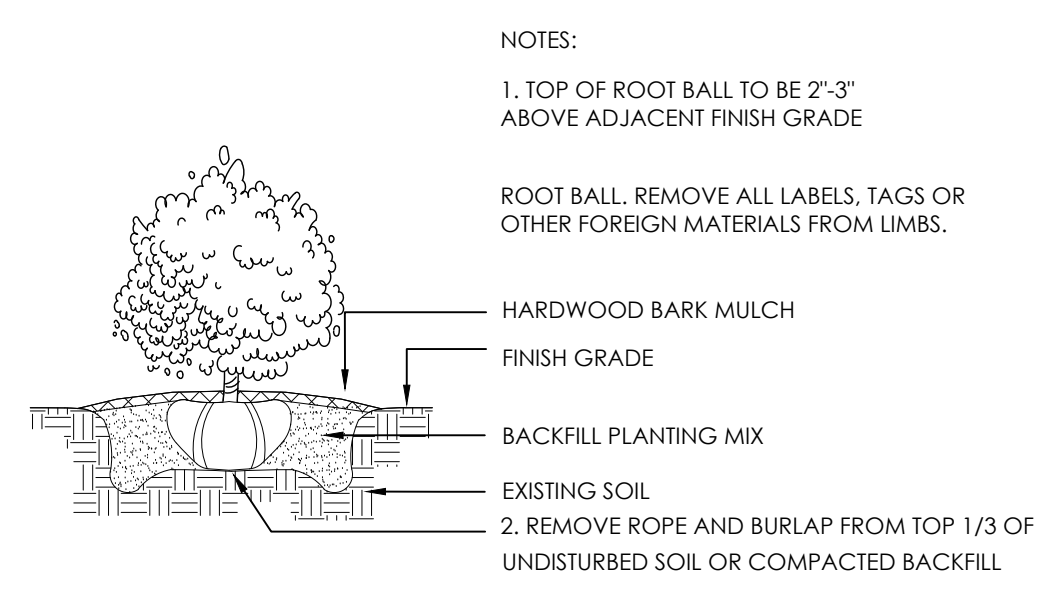
NOTES:
1. LAYOUT PLANTS IN PREPARED BED AS SHOWN.
2. SPACING AS SPECIFIED, PER SCHEDULE STAGGERED ROWS.



3 GROUND COVER PLANTING
NTS



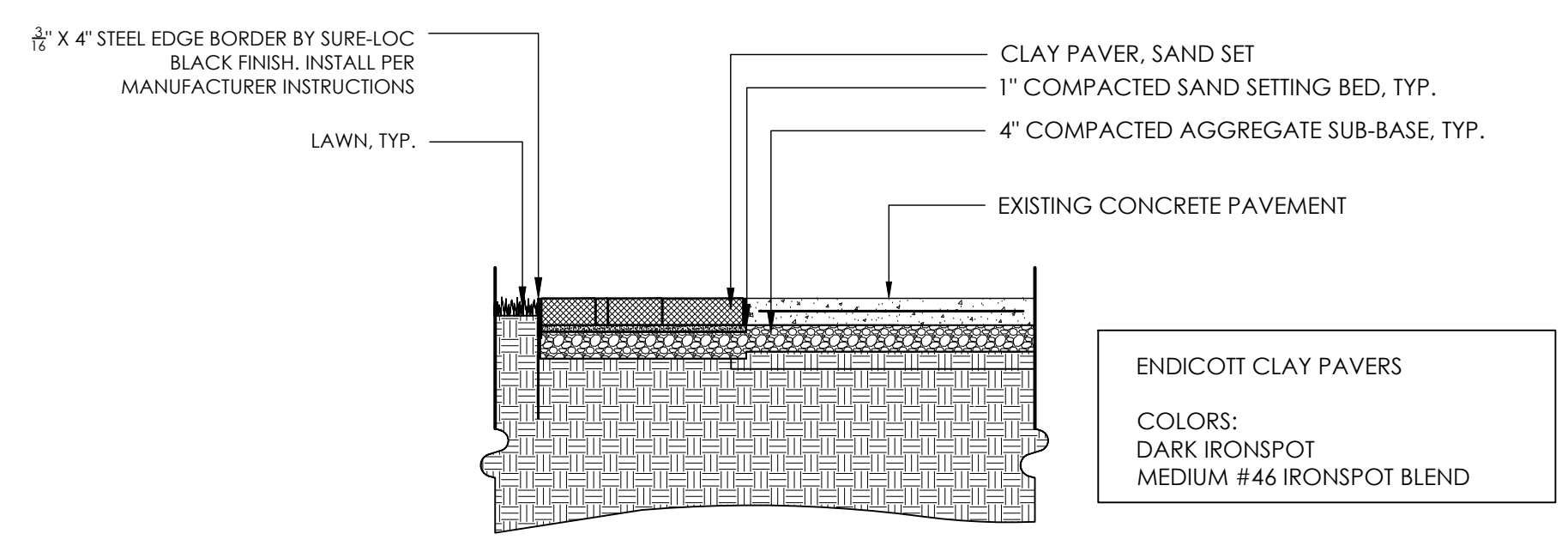
2 TREE PLANTING
NTS



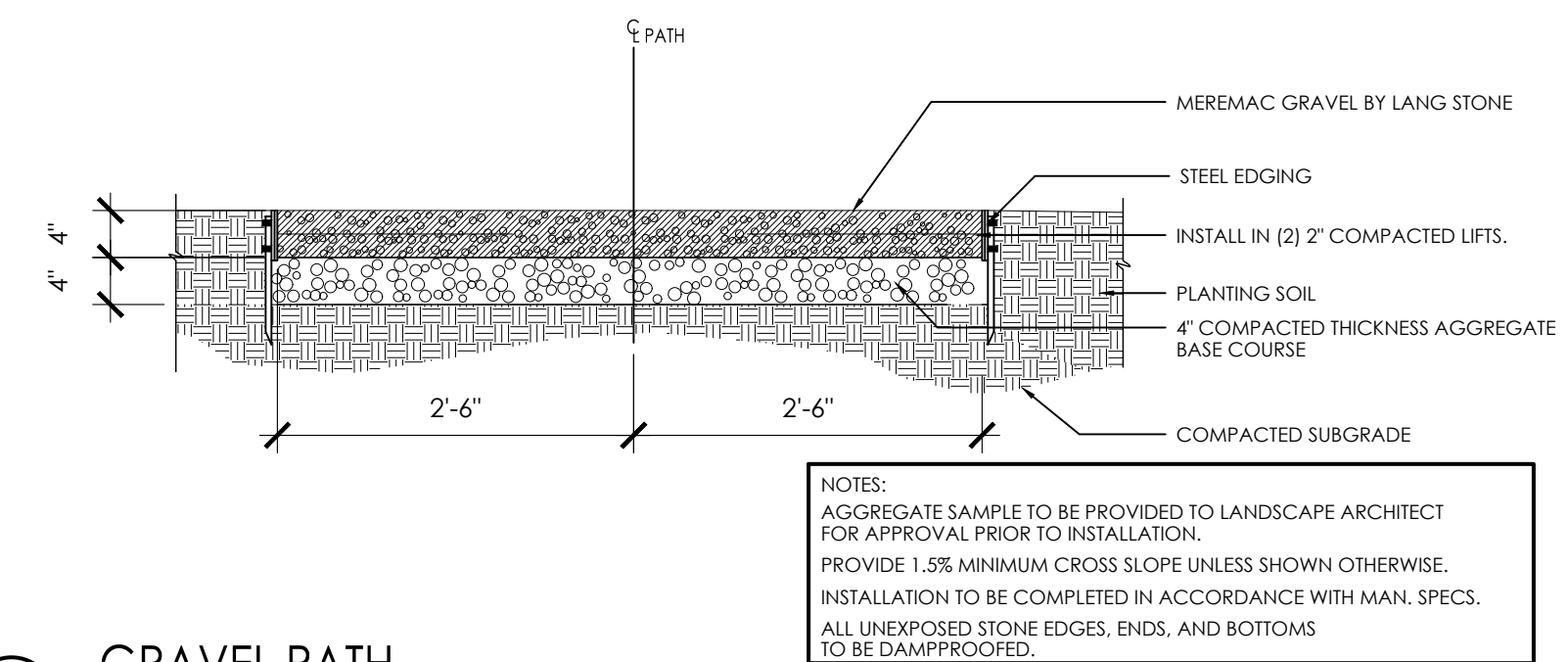
1 SHRUB PLANTING
NTS

PLANT SCHEDULE NOTES

- QUANTITIES OF PLANTS AS SHOWN BY PLANT SYMBOLS ON THE PLAN SHALL GOVERN OVER THE QUANTITIES SHOWN IN THE PLANT SCHEDULE. THE CONTRACTOR IS TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. THE LANDSCAPE ARCHITECT SHALL BE ALERTED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION & SOURCING OF PLANT MATERIAL.
- NO PLANT MATERIAL MAY BE SUBSTITUTED, ALTERED IN SIZE, OR CHANGED WITHOUT PRIOR WRITTEN APPROVAL OF LANDSCAPE ARCHITECT.
- PROPOSED SUBSTITUTIONS ARE TO BE SUBMITTED TO LANDSCAPE ARCHITECT WITH PHOTOGRAPHIC IMAGE OF PROPOSED SUBSTITUTED MATERIAL.
- HERB AND VEGETABLE PLANTING AREAS ARE TO BE DESIGNED AND MANAGED BY THE OWNERSHIP GROUP.
- ALL AREAS OUTSIDE OF PLANT BEDS ARE TO BE SOD UNLESS OTHERWISE DENOTED ON THE PLANS.



4 CLAY PAVERS
NTS



5 GRAVEL PATH
NTS



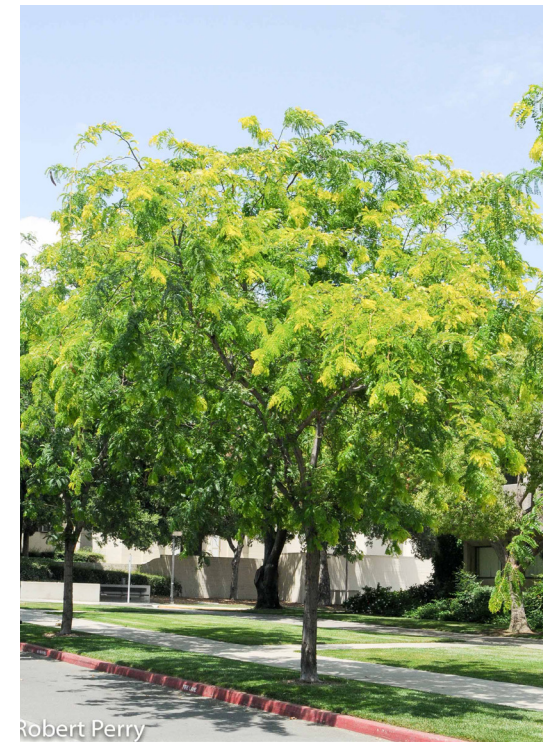
TULIP POPLAR



SUGAR MAPLE



RED MAPLE



THORNLESS HONEY LOCUST



NUTTALL OAK

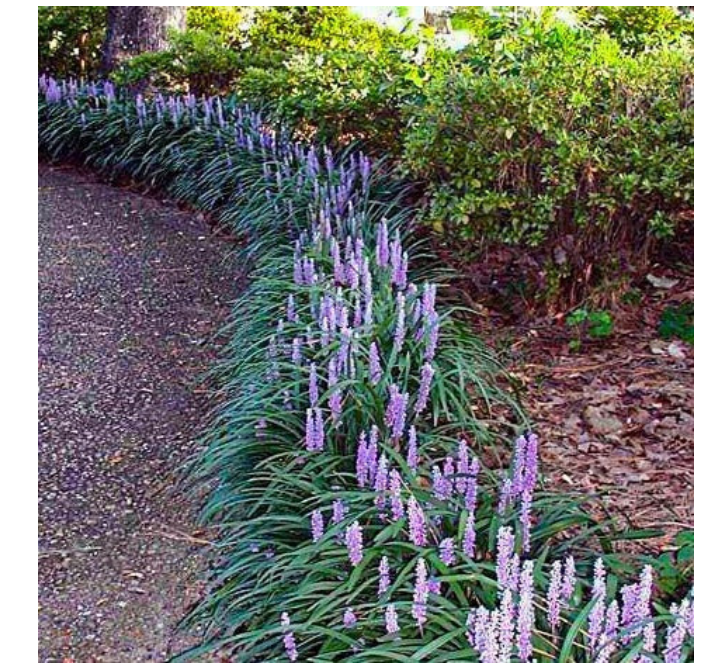


NORTHERN RED OAK

CANOPY TREES



LITTLE LIME HYDRANGEA



LIRIOPE BOARDER



GREEN GEM BOXWOOD

SHRUBS

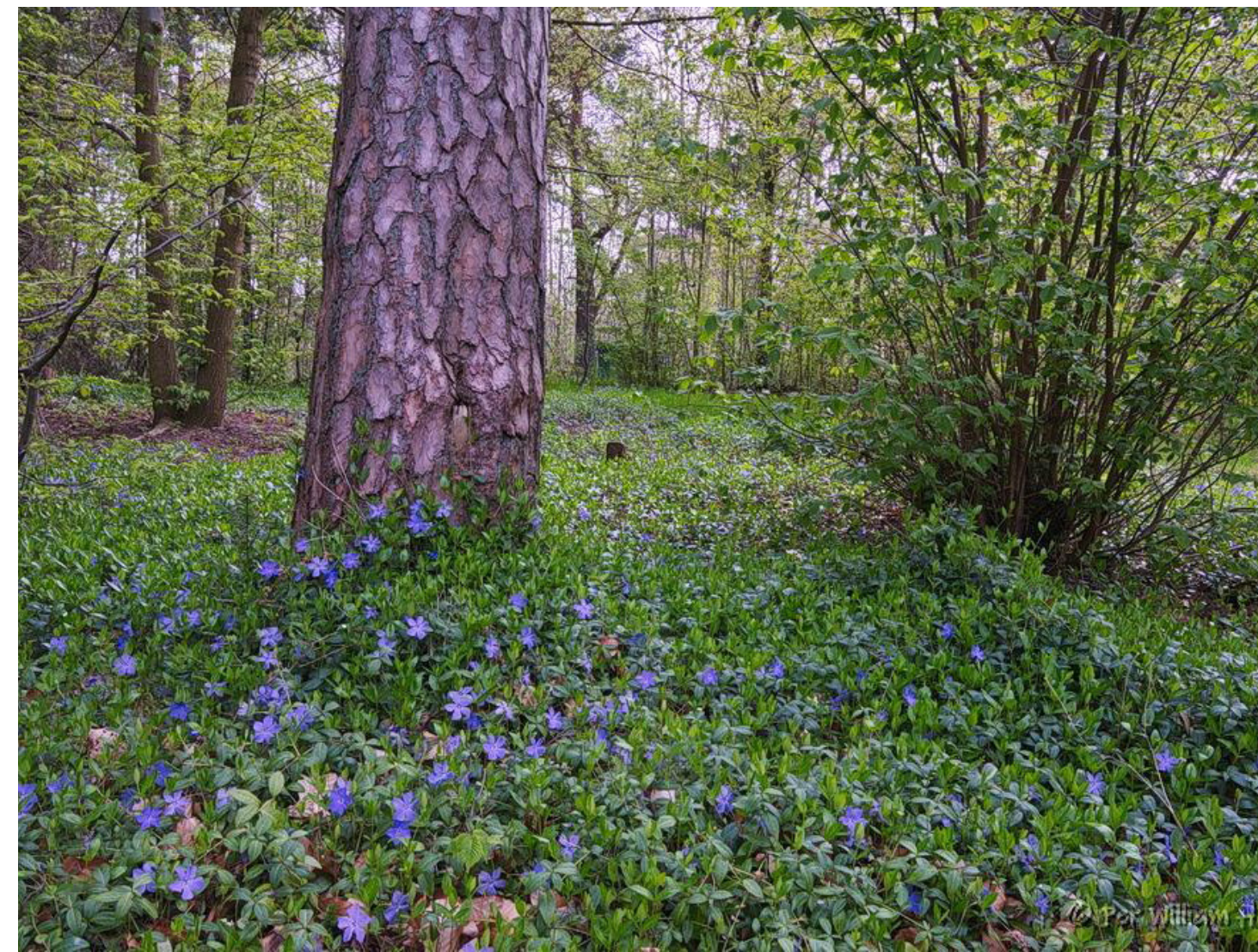


KARL FORESTER GRASS



FOUNTAIN GRASS

ORNAMENTAL GRASS



VINCA MINOR

EVERGREEN GROUNDCOVER



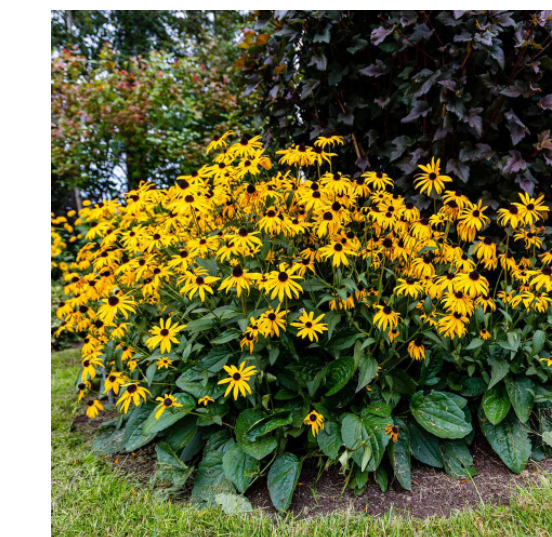
AUTUMN CHARM STONECROP



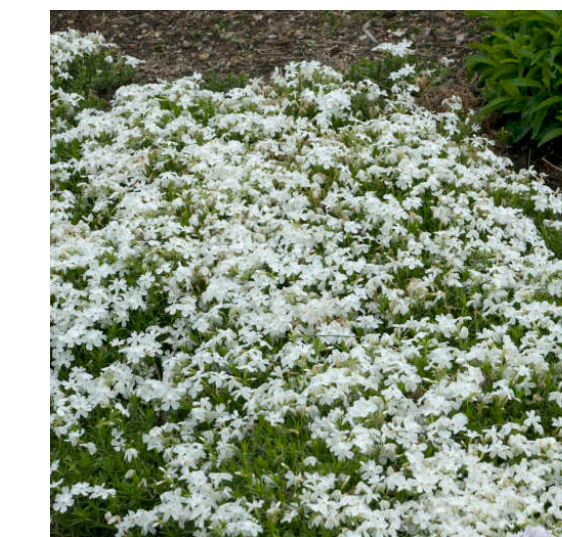
BECKY SHASTA DAISY



WALKER'S LOW CATMINT



BLACK EYED SUSAN



WHITE DELIGHT CREEPING PHLOX

PERENNIAL MIX

NOTE: This concept was developed with publicly available Franklin County GIS information, not a surveyed base. All dimensions and site layout are approximate.