



Ease Logistics

6000 Perimeter Drive, Dublin, Ohio 43017

DUBLIN PLANNING AND ZONING COMMISSION

AUGUST 30 2023 | AMENDED FINAL DEVELOPMENT PLAN

PREPARED BY

—
WSA STUDIO
982 S FRONT ST
COLUMBUS, OH 43206

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614.824.1633

—
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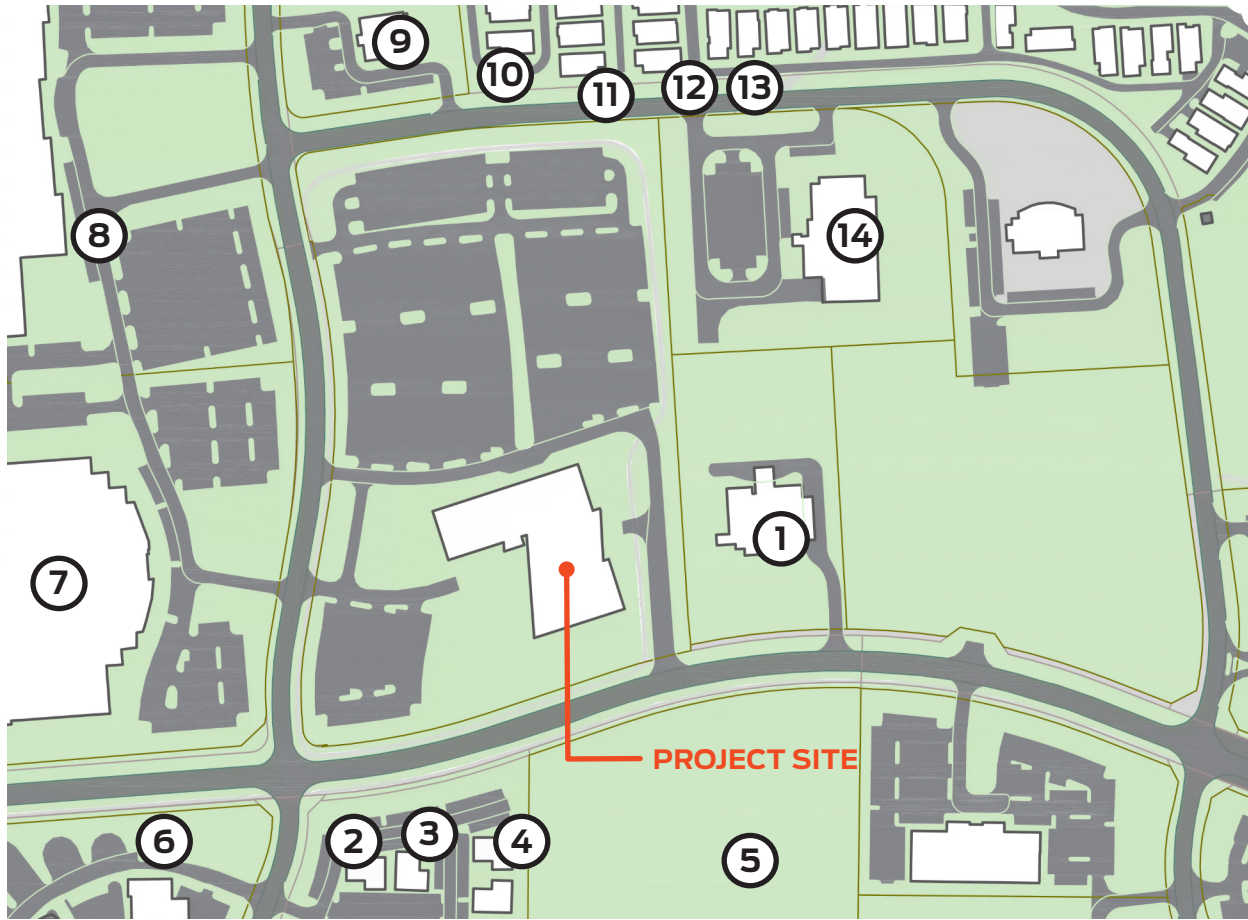
PREPARED FOR

—
CITY OF DUBLIN PLANNING & ZONING COMMISSION
5200 EMERALD PKWY
DUBLIN OHIO 43017

—
614.410.4400

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DUBLINOHIOUSA.GOV

VICINITY PLAN & PROJECT INFORMATION



VICINITY PLAN

PROJECT DESCRIPTION

The proposed exterior improvements and pavilion addition to the existing building at 6000 Perimeter Drive aim to provide a flexible work space environment to Ease Logistics employees. The improvements and addition will also create outdoor seating and engagement spaces for prospective event space guests. Work shall include the re-stripping of the existing parking lot to provide (8) additional accessible spaces, exterior painting of the existing facade, the addition of canopies and modifications to two entry facades, and the construction of a 3,900 sf pavilion structure as shown herein. Our intent with this addition is to respect the form and scale of both the original building and surrounding neighborhood. The pavilion functions as a collaborative space for employees, that provides various configurations towards making the space adaptable. The form of the pavilion takes cues from the existing building and plaza design while separating itself as a unique feature through the use of a clean, industrial contemporary finish palette.

PROPERTY INFORMATION

ADDRESS	6000 Perimeter Drive, Dublin OH 43017
PARCEL NUMBER	273-004083
ZONING CLASSIFICATION	Planned Commerce District-Perimeter Center, Subarea C
LOT SIZE	13.53 ac (591,944 sf)
EXISTING GROSS SF	135,606 sf
EXISTING BUILDING COVERAGE	46,434 sf (7.84%), <25%
PROPOSED BUILDING COVERAGE	49,129 sf (8.3%), <25%
EXISTING IMPERVIOUS COVERAGE	379,024 sf (64%), <75%
PROPOSED IMPERVIOUS COVERAGE	378,793 sf (64%), <75%
EXISTING PERVIOUS COVERAGE	212,921 sf (36%)
PROPOSED PERVIOUS COVERAGE	213,151 sf (36%)

ADJACENT PROPERTIES

1	273-010149 5980 Perimeter Drive Dublin Ohio 43017 WFG-Fuller Funerals INC. SCI Ohio Funeral Services INC. Zoning Classification: PCD: Planned Unit Development District	8	273-010149 273-000309 7007 Discovery Boulevard Dublin Ohio 43017 Discovery MC Investments LLC Zoning Classification: PUD: Planned Unit Development District
2	273-012213 6000 Venture Drive Dublin Ohio 43017 ASR Venture DR LLC Zoning Classification: PCD: Planned Unit Development District	9	273-004535 6760 Discovery Boulevard Dublin Ohio 43017 NSS Investments LLC Zoning Classification: PUD: Planned Unit Development District
3	273-012714 5990 Venture Drive Dublin Ohio 43017 Hunter Family Real Estate INC. Zoning Classification: PCD: Planned Unit Development District	10	273-013023 6753 Winston Way Dublin Ohio 43017 Rupprecht Farms LLC Zoning Classification: PUD: Planned Unit Development District
4	273-012713 5980 Venture Drive Dublin Ohio 43017 Rios Venture Drive LLC Zoning Classification: PCD: Planned Unit Development District	11	273-013087 6744 Winston Way Dublin Ohio 43017 Gorokov Svetlana Zoning Classification: PUD: Planned Unit Development District
5	273-009800 5885 Perimeter Drive Dublin Ohio 43017 Mount Carmel Health System Zoning Classification: PCD: Planned Unit Development District	12	273-013018 6739 Carson Way Dublin Ohio 43017 Teevin John Zoning Classification: PUD: Planned Unit Development District
6	273-008212 6321-6325 Perimeter Loop Road Dublin Ohio 43017 Cars CNI-2 LP Zoning Classification: PUD: Planned Unit Development District	13	273-013046 6750 Carson Way Dublin Ohio 43017 Mego Tina M TR Mego Thomas J TR Zoning Classification: PUD: Planned Unit Development District
7	273-012898 7001 Discovery Boulevard Dublin Ohio 43017 7001 Discovery Blvd LLC Zoning Classification: PUD: Planned Unit Development District	14	273-005070 5815 Wall Street Dublin Ohio 43017 Red House HQ LLC Zoning Classification: PCD: Planned Unit Development District

PROJECT INFORMATION

LEGAL DESCRIPTION

The Land referred to hereinbelow is situated in the City of Dublin, County of Franklin, State of Ohio and is described as follows:

In Virginia Military Survey No. 2999 and being all of a 13.456 acre tract of land conveyed to White Consolidated Industries, Inc. by deed of Record in Official Record 13992, Page G 15, Recorder's Office, Franklin County, Ohio, and bounded and described as follows: Beginning, for reference, at a railroad spike found at the intersection of the centerline of Post Road (60 feet wide) with the centerline of Wilcox Road (60 feet wide);

Thence North 89 degrees 07 minutes 19 minutes East along the centerline of Post Road a distance of 693.23 feet to a point;

Thence South 0 degrees 52 minutes 41 seconds East perpendicular to the centerline of Post Road a distance of 30.00 feet to a point in the South right-of-way line of Post Road and at the beginning of a non-tangent curve;

Thence Southeasterly along a curved West line of Metatec Boulevard (formerly Discovery Boulevard) (variable width and with a curve to the right, data of which is: radius= 30.00 feet and delta= 83 degrees 23 minutes 49 seconds a chord distance of 39.95 feet bearing South 49 degrees 08 minutes 17 seconds East to the point of tangency, Metatec Boulevard having been shown on "Dedication of Discovery Boulevard & Easements", as shown of record in Plat Book 66, Page 97, Recorder's Office, Franklin County, Ohio;

Thence South 7 degrees 23 minutes 23 seconds East along a West line of Metatec Boulevard a distance of 120.89 feet to a point of curvature;

Thence Southerly along a curved West line of Metatec Boulevard and with a curve to the right, data of which is: radius = 500.00 feet and delta = 6 degrees 31 minutes 11 seconds, a chord distance of 56.87 feet bearing South 4 degrees 08 minutes 17 seconds East to the point of tangency;

Thence South 0 degrees 52 minutes 41 seconds East along a West line of Metatec Boulevard (60 feet wide) a distance of 74.22 feet to a point of curvature;

Thence Southerly along a portion of a curved West line of Metatec Boulevard and with a curve to the left, data of which is: radius= 2,080.00 feet and sub-delta= 8 degrees 12 minutes 56 seconds, a sub-chord distance of 297.99 feet bearing South 4 degrees 59 minutes 09 seconds East to a point;

Thence North 80 degrees 54 minutes 23 seconds East crossing Metatec Boulevard and radial to the last said curve a distance of 60.00 feet to a three-quarters inch I.D. iron pipe set at the South end of a curve connecting the curved East line of Metatec Boulevard with the South line of Wall Street (formerly Proposed Loop Road) (60 feet wide) and at the true place of beginning of the tract herein intended to be described, Wall Street having been shown on "Dedication of Discovery Boulevard, Perimeter Drive, Wall Street and Easements", as shown of record in Plat Book 72,

Pages 79 and 80, Recorder's Office, Franklin County, Ohio;

Thence Northeasterly along said connecting curve to the right, data of which is: radius = 30.00 feet and delta= 91 degrees 43 minutes 40 seconds, a chord distance of 43.06 feet bearing North 36 degrees 46 minutes 13 seconds East to a three-quarters inch I.D. iron pipe set at the point of tangency in the South line of Wall Street;

Thence North 82 degrees 38 minutes 03 seconds East along a South line of Wall Street a distance of 228.13 feet to a three-quarters inch I.D. iron pipe set at a point of curvature;

Thence Easterly along a curved South line of Wall Street and with a curve to the right, data of which is: radius = 970.00 feet and delta = 5 degrees 29 minutes 17 seconds, a chord distance of 92.88 feet bearing North 85 degrees 22 minutes 42 seconds East to a three-quarters inch I.D. iron pipe set at the point of tangency;

Thence North 88 degrees 07 minutes 20 seconds East along a portion of a South line of Wall Street a distance of 270.00 feet to a three-quarters inch I.D. iron pipe found;

Thence South 1 degree 52 minutes 40 seconds East a distance of 895.00 feet to a drill hole set in a concrete sidewalk in a curved North line of Perimeter Drive (formerly proposed Wall Street) (80 feet wide), Perimeter Drive having been shown on "Dedication of Discovery Boulevard, Perimeter Drive, Wall Street and Easements", as shown of record in Plat Book 72, Pages 79 and 80, Recorder's Office, Franklin County, Ohio;

Thence Westerly along a portion of a curved North line of Perimeter Drive and with a curve to the left, data of which is: radius = 1,240.00 feet and sub-delta = 6 degrees 28 minutes 20 seconds, a sub-chord distance of 140.00 feet bearing South 76 degrees 18 minutes 03 seconds West to a three-quarters inch I.D. iron pipe found at the point of tangency;

Thence South 73 degrees 03 minutes 53 seconds West along a North line of Perimeter Drive a distance of 223.82 feet to a three-quarters inch I.D. iron pipe set at a point of curvature;

Thence Westerly along a curved North line of Perimeter Drive and with a curve to the right, data of which is: radius= 1,160.00 feet and delta=14 degrees 00 minutes 00 seconds, a chord distance of 282.74 feet bearing South 80 degrees 03 minutes 53 seconds West to a three-quarters inch I.D. iron pipe set at a point of compound curvature;

Thence Northwesterly along a curve connecting the North line of Perimeter Drive with the East line of Metatec Boulevard (formerly proposed Discovery Boulevard) and with a curve to the right, data of which is: radius = 30.00 feet and delta = 90 degrees 00 minutes 00 seconds, a chord distance of 42.43 feet bearing North 47 degrees 56 minutes 07 seconds West to a three-quarters inch I.D. iron pipe set at the point of tangency, Metatec Boulevard having been shown on "Dedication of Discovery Boulevard, Perimeter Drive, Wall Street and Easements", as shown of record in Plat Book 72, Pages 79 and 80, Recorder's Office, Franklin County, Ohio;

Thence North 2 degrees 56 minutes 07 seconds West along an East line of Metatec Boulevard a distance of 30.84 feet to a three-quarters inch I.D. iron pipe set at a point of curvature;

Thence Northerly along a curved East line of Metatec Boulevard and with a curve to the right, data of which is: radius= 470.00 feet and delta= 146 degrees 03 minutes 26 seconds, a chord distance of 115.02 feet bearing North 4 degrees 05 minutes 36 seconds East to a P.K. Nail set in a blacktop walk at the point of tangency;

Thence North 11 degrees 07 minutes 19 seconds East along an East line of Metatec Boulevard a distance of 200.00 feet to a P.K. nail set in a blacktop walk at a point of curvature;

Thence Northerly along a curved East line of Metatec Boulevard and with a curve to the left, data of which is: radius= 1,130.00 feet and delta 22 degrees 00 minutes 00 seconds, a chord distance of 431.23 feet bearing North 0 degrees 07 minutes 19 seconds East to a P.K. Nail set in a blacktop walk at the point of tangency;

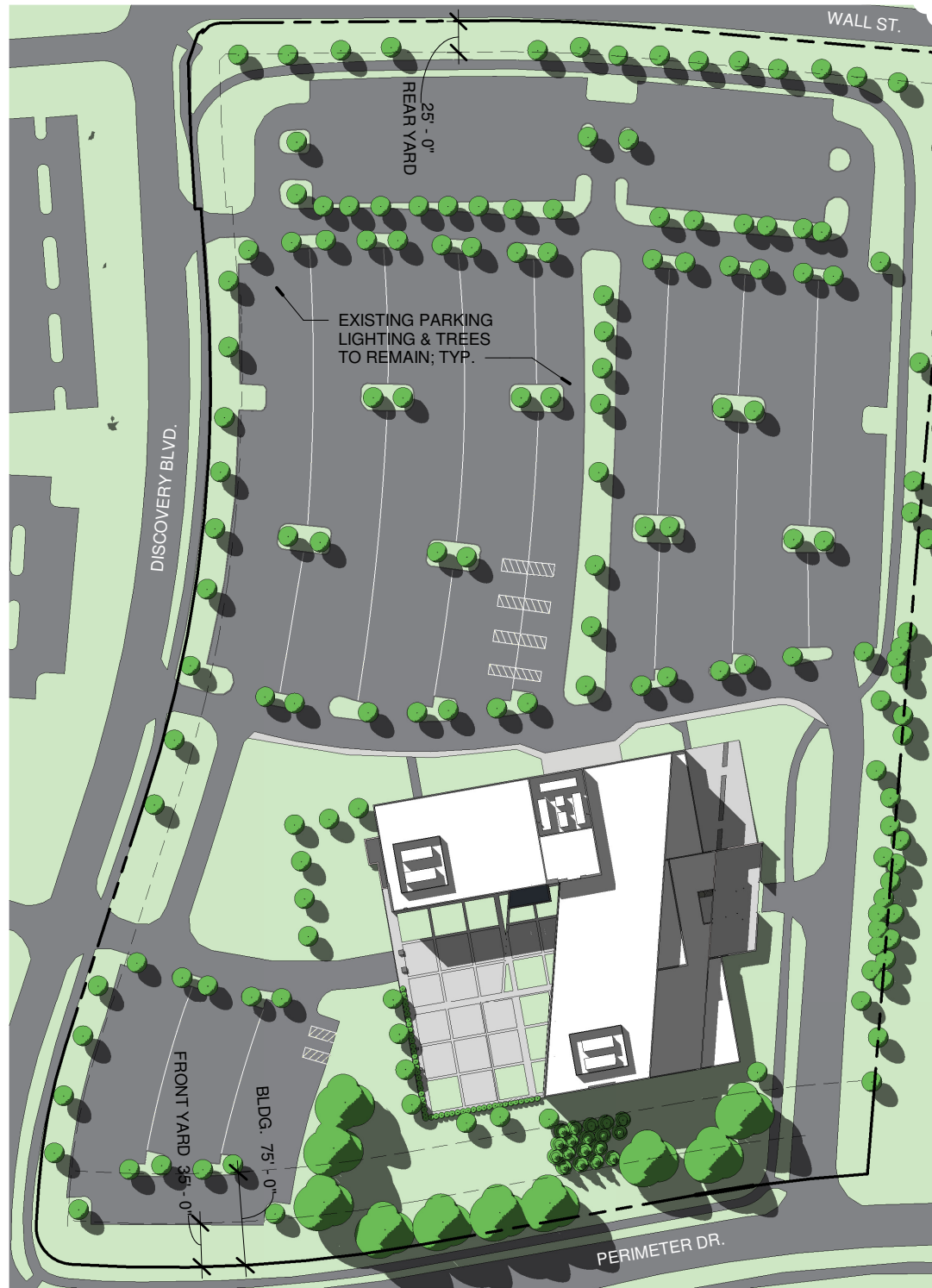
Thence North 10 degrees 52 minutes 41 seconds West along an East line of Metatec Boulevard a distance of 100.00 feet to a P.K. Nail set in a blacktop walk at a point of curvature;

Thence Northerly along a portion of a curved East line of Metatec Boulevard and with a curve to the right, data of which is: radius= 2,020.00 feet and sub-delta= 1 degree 47 minutes 04 seconds, a sub-chord distance of 62.91 feet bearing North 9 degrees 59 minutes 09 seconds West to the true place of beginning;

Containing 13.456 acres of land.

The above description was prepared by Ted L. Robinson, Ohio Surveyor No. 5361, of C.F. Bird & R.J. Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio from an actual field survey performed under his supervision in April 1998. Basis of bearings is an East line of Metatec Boulevard, being North 10 degrees 52 minutes 41 seconds West, as shown of record in Plat Book 66, Page 97, Recorder's Office, Franklin County, Ohio.

EXISTING AND PROPOSED SITE PLAN



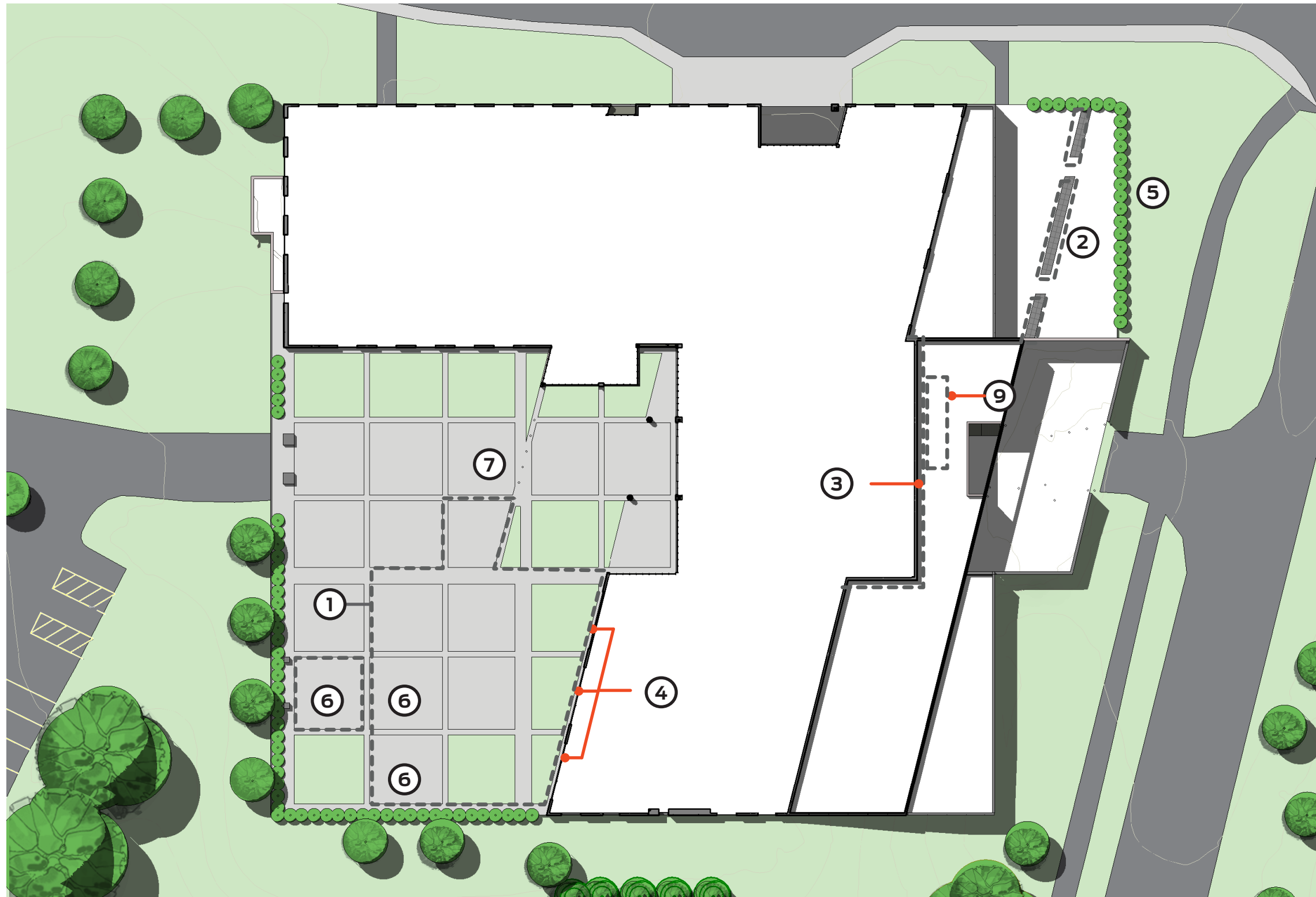
EXISTING SITE PLAN



PROPOSED SITE PLAN



ENLARGED SITE PLAN - DEMOLITION



NOTES

1. Demolish existing paving for new site work
2. Remove mulch; See Landscape Drawings
3. Remove existing coping
4. Remove existing windows & applicable wall area for garage door replacement
5. Remove shrubs along NE patio perimeter
6. Demolish existing paving for new grass areas
7. Remove existing illuminated bollards
8. Concrete demolished for construction work
9. Remove existing RTU

LEGEND

- EXISTING GRASS
- EXISTING ASPHALT
- EXISTING PAVING



ENLARGED SITE PLAN - NEW WORK



NOTES

1. Maintain existing trees, grates, paving, and grass
2. Maintain existing parking
3. New illuminated planters
4. Existing building
5. New exterior Pavilion
6. New paving to match existing
7. New grass
8. Replace mulch with black river rock; Refer to Landscape Drawings
9. New privacy shrubs; See Landscape Drawings
10. New roof coping
11. New main entry canopy
12. New full height garage door @ existing window opening
13. New walk-up counter & small garage door @ existing window opening
14. New employee entry canopy
15. New / Replaced Trees; Refer to Landcape Drawings
16. New RTU

LEGEND

- | | |
|--|---|
| NEW GRASS | EXISTING PAVING |
| EXISTING GRASS | NEW PAVING |



MAIN ENTRY & PAVILION - MATERIALS

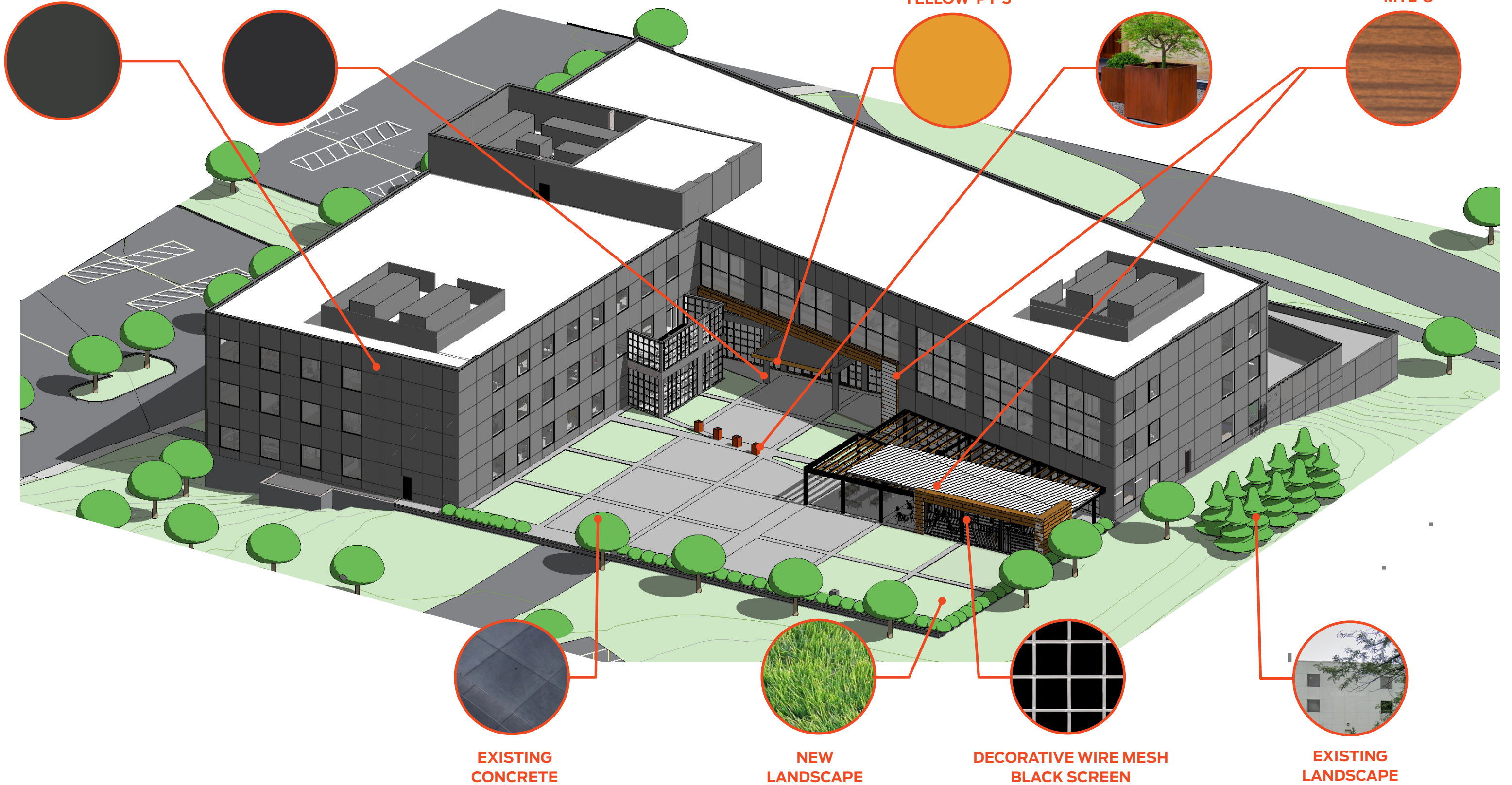
PAINT BUILDING
GRIZZLE GRAY PT-14

EXISTING COLUMNS
PAINTED TRI CORN
BLACK PT-9

TUBE STEEL FASCIA
PAINTED SUNFLOWER
YELLOW PT-3

ILLUMINATED CORTEN
PLANTERS EB-1

WOOD-LOOK METAL
PANEL GOLDEN MAPLE
MTL-8



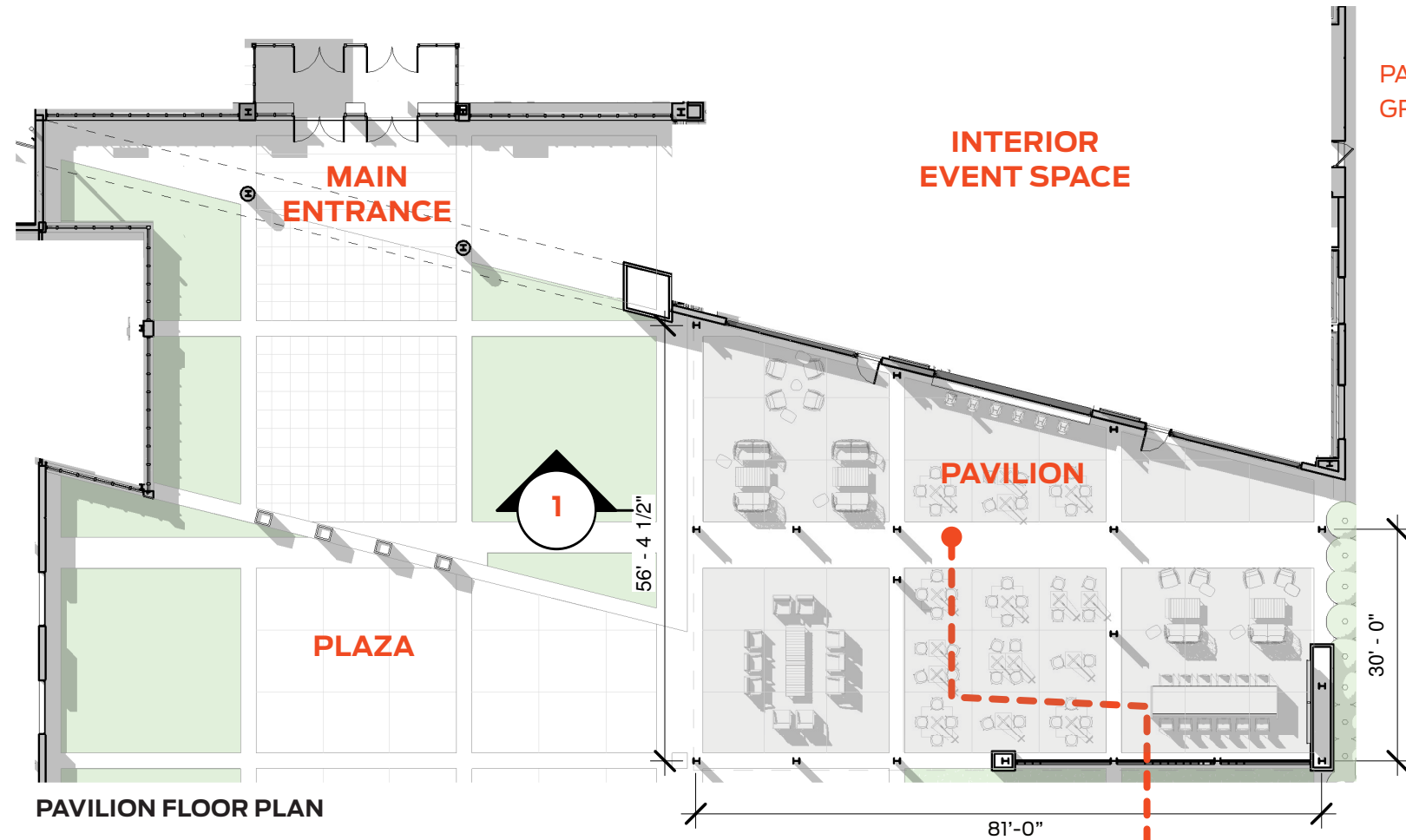
EXISTING
CONCRETE

NEW
LANDSCAPE

DECORATIVE WIRE MESH
BLACK SCREEN

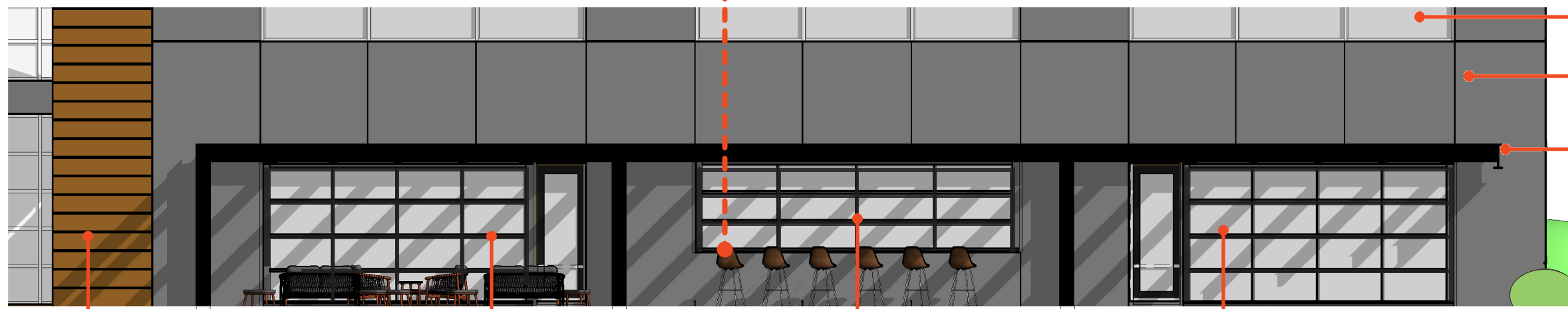
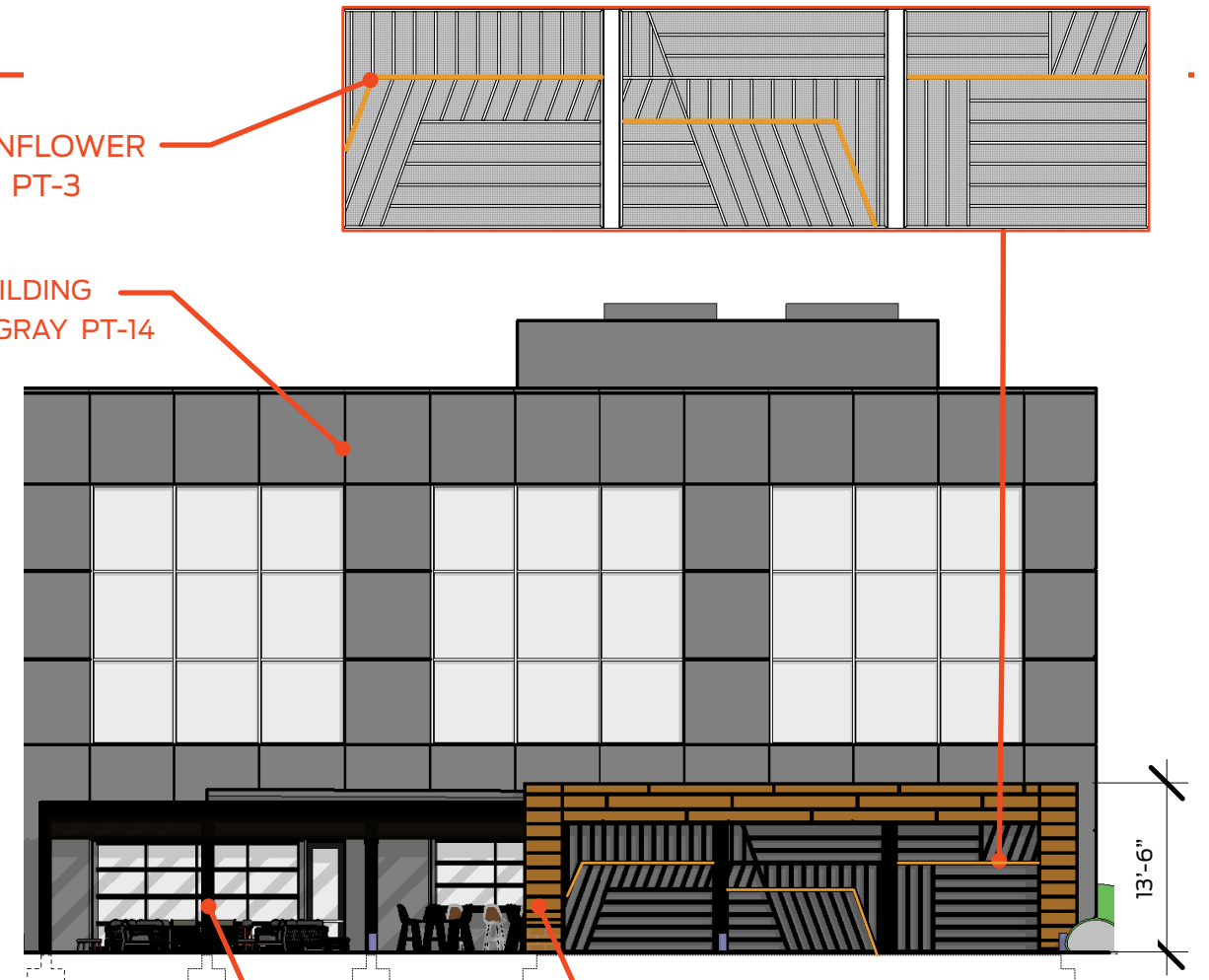
EXISTING
LANDSCAPE

MAIN ENTRY & PAVILION PLAN

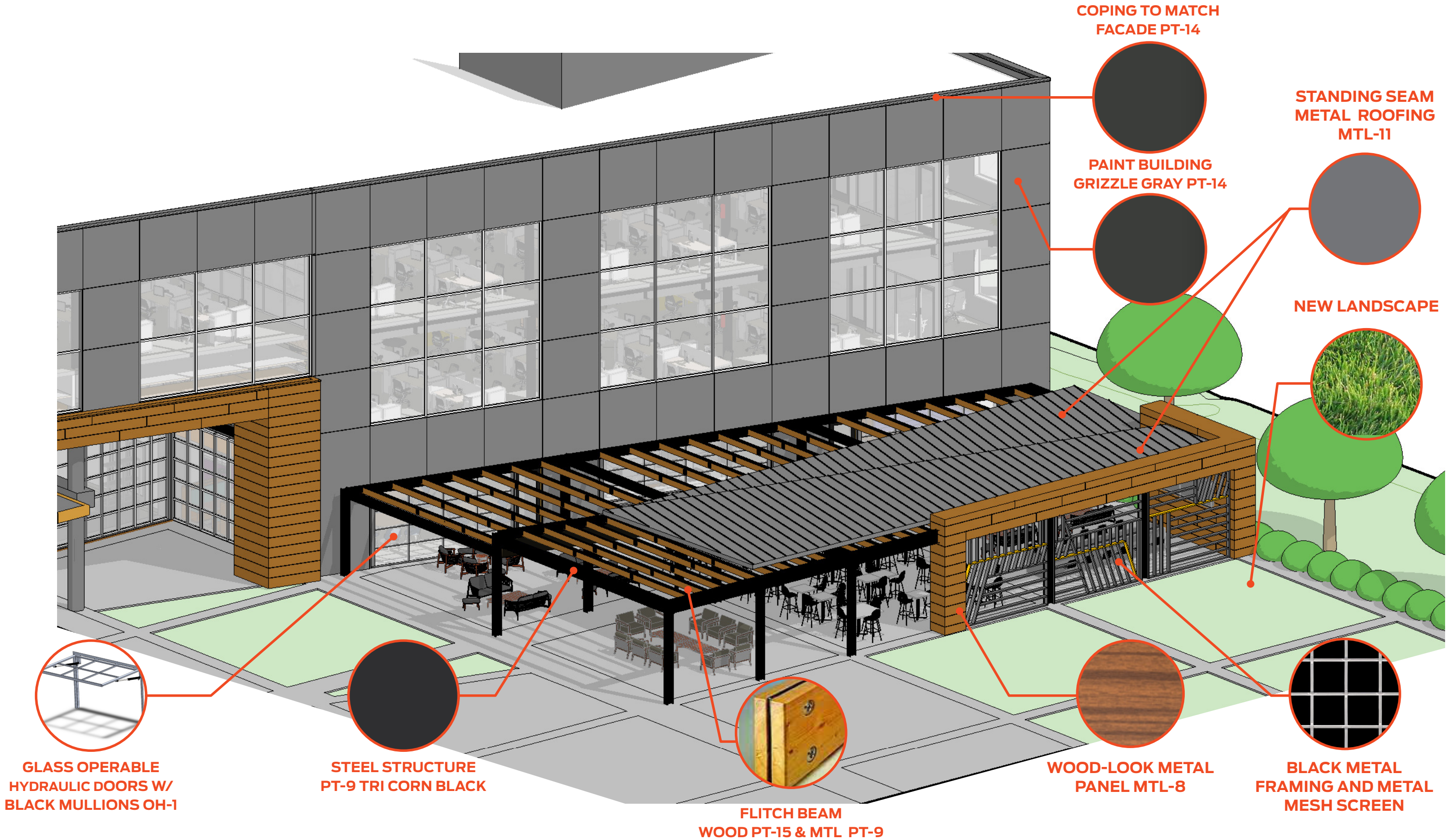


NEW SUNFLOWER YELLOW PT-3

PAINT BUILDING GRIZZLE GRAY PT-14



PAVILION - MATERIALS



COPING TO MATCH
FACADE PT-14

STANDING SEAM
METAL ROOFING
MTL-11

PAINT BUILDING
GRIZZLE GRAY PT-14

NEW LANDSCAPE

GLASS OPERABLE
HYDRAULIC DOORS W/
BLACK MULLIONS OH-1

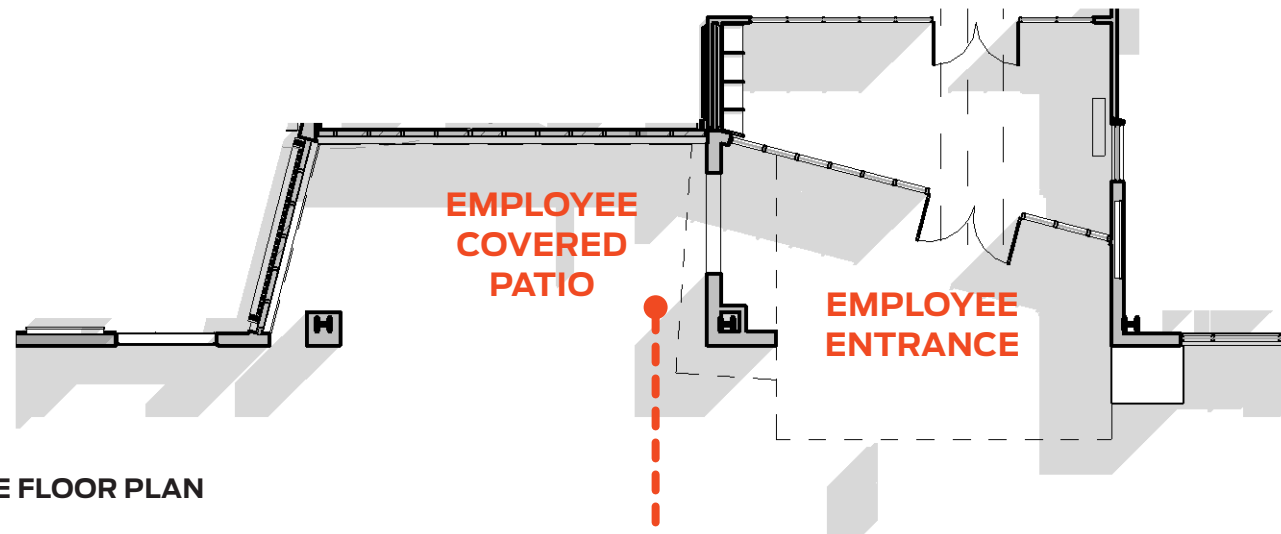
STEEL STRUCTURE
PT-9 TRI CORN BLACK

FLITCH BEAM
WOOD PT-15 & MTL PT-9

WOOD-LOOK METAL
PANEL MTL-8

BLACK METAL
FRAMING AND METAL
MESH SCREEN

NORTH EMPLOYEE ENTRY PLANS



EMPLOYEE ENTRANCE FLOOR PLAN



EMPLOYEE ENTRANCE
NORTH ELEVATION

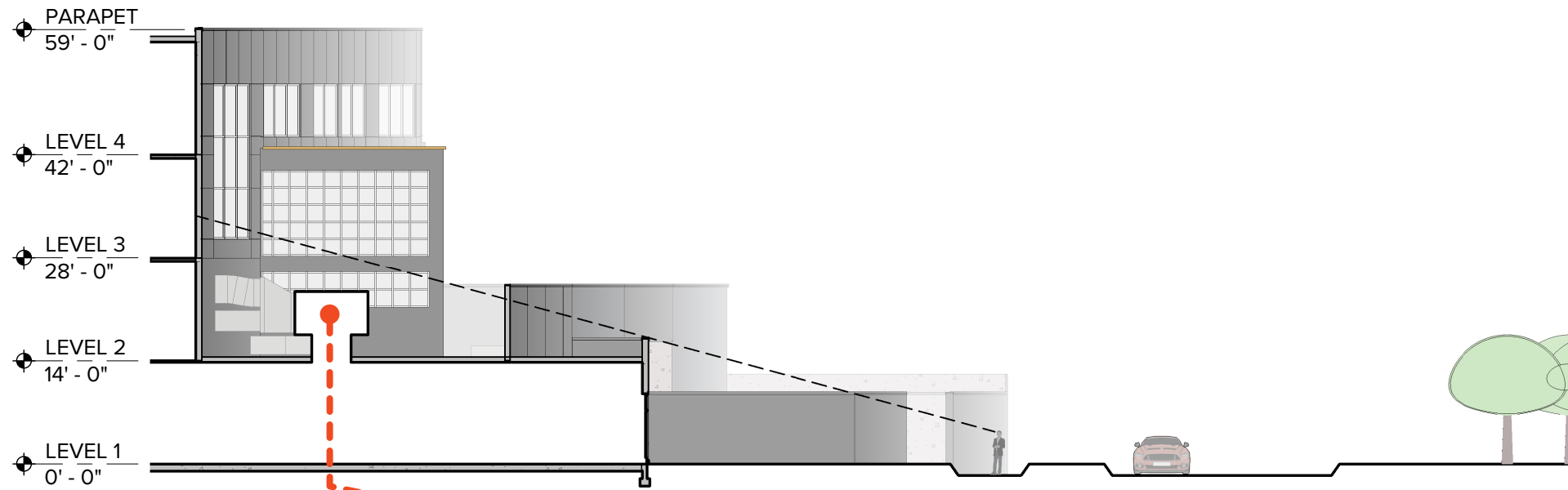
NEW CLG-12 WOOD-LOOK PANELS ON SOFFIT

EXISTING STOREFRONT/ DOOR(S)

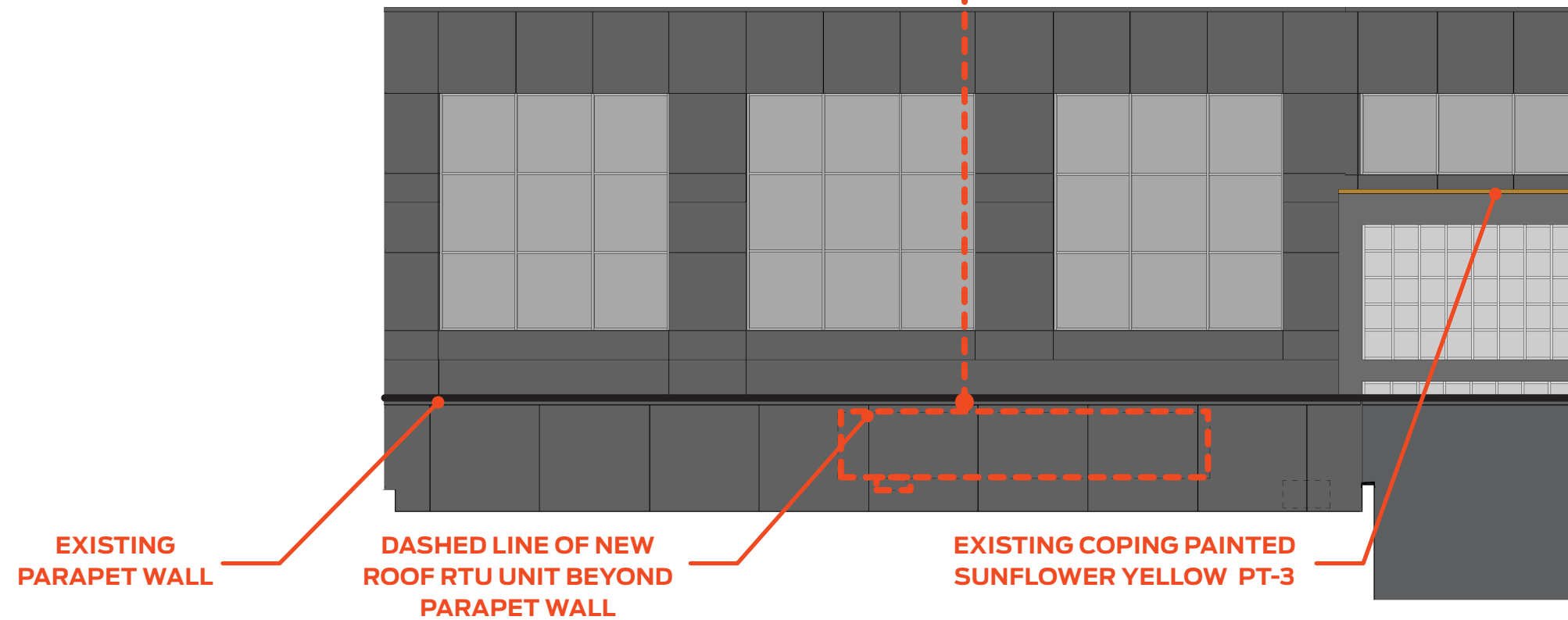
NEW WOOD-LOOK MTL-8 PANEL
TUBE STEEL FASCIA PT-3 & NEW CLG-12 WOOD-LOOK SOFFIT

PT-14 BUILDING GRIZZLE GRAY

ROOFTOP UNIT

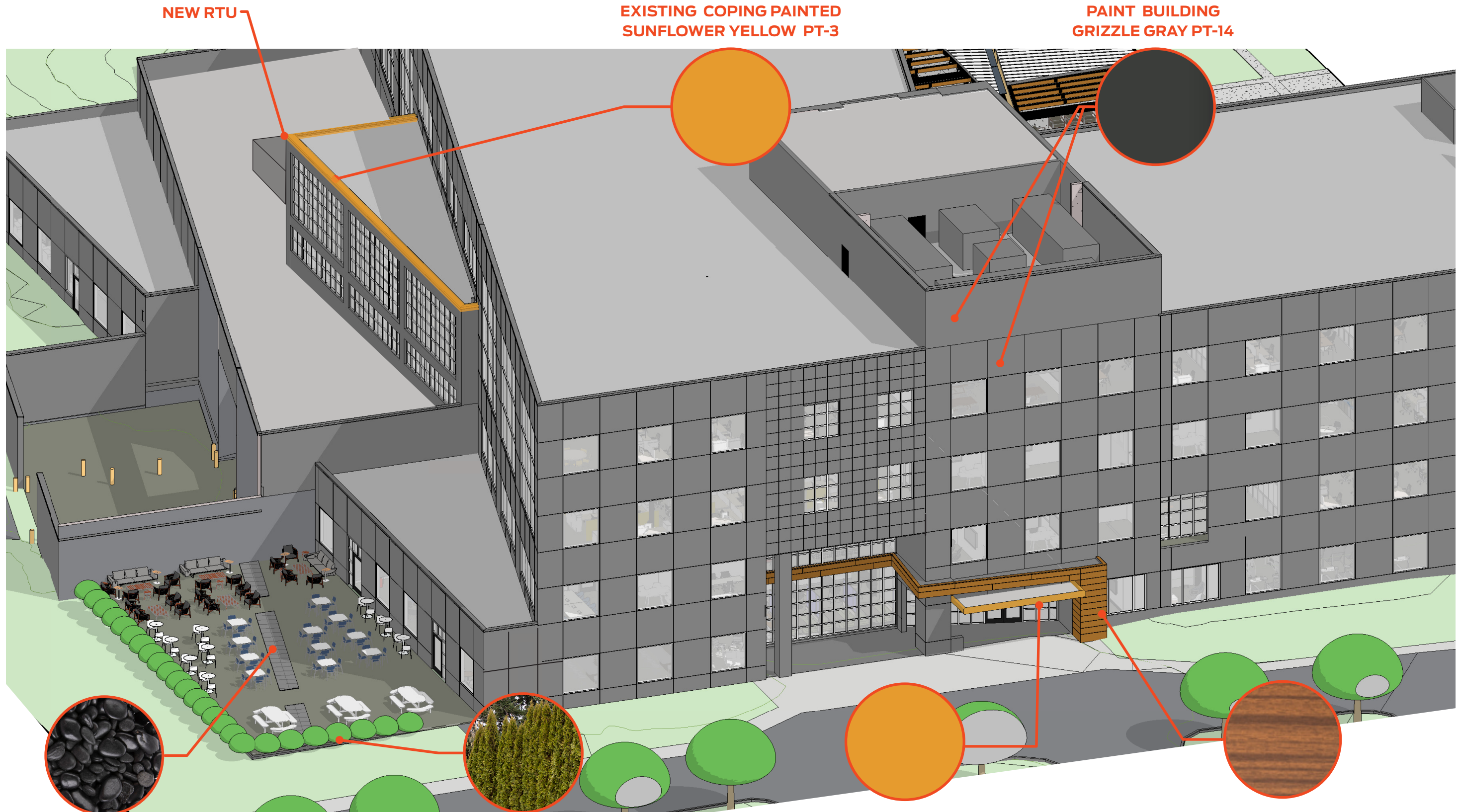


PARAPET SECTIONAL PERSPECTIVE



PARTIAL BUILDING ELEVATION

EMPLOYEE ENTRY - MATERIALS



NEW RTU

EXISTING COPING PAINTED
SUNFLOWER YELLOW PT-3

PAINT BUILDING
GRIZZLE GRAY PT-14

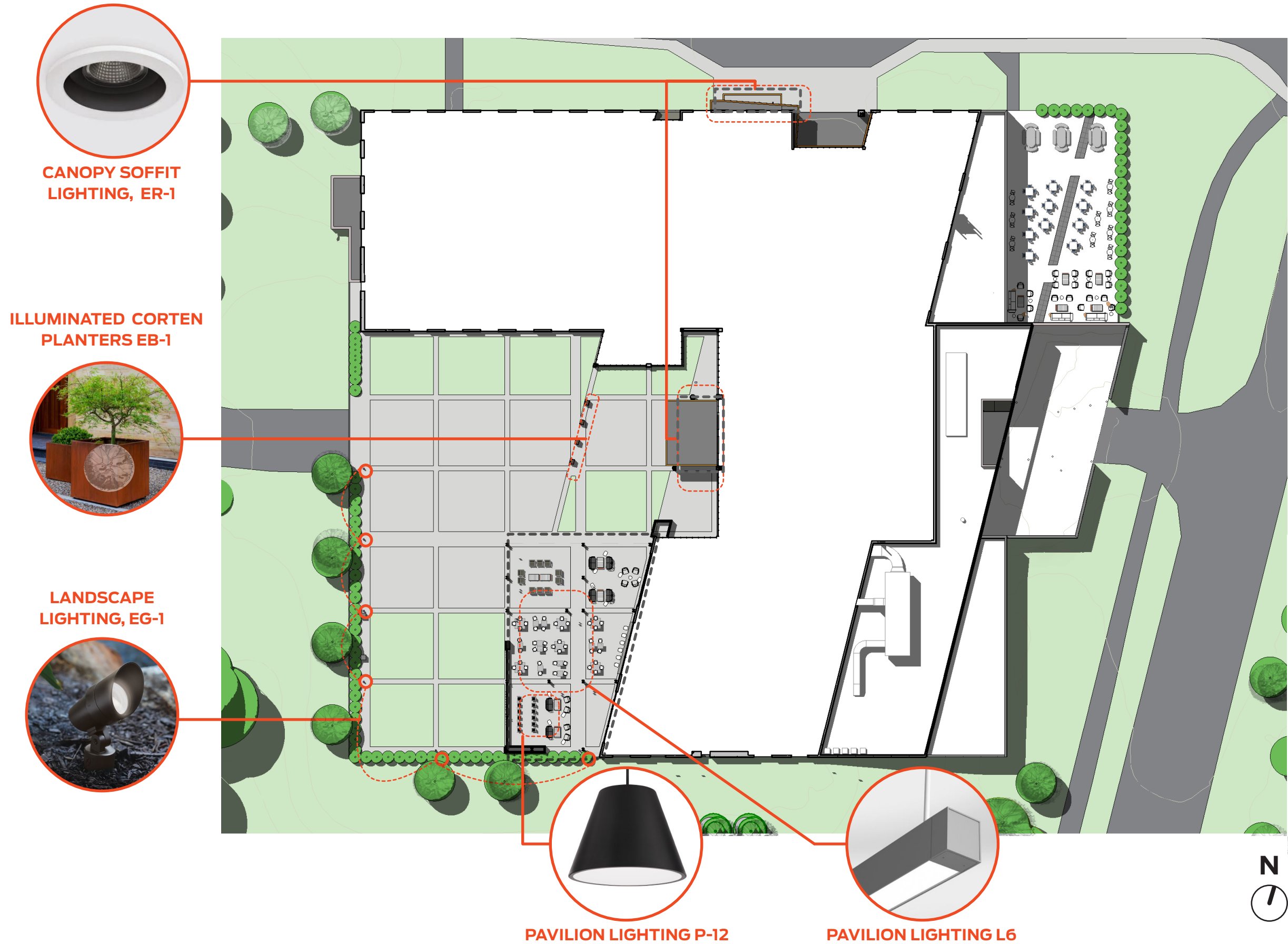
REPLACE MULCH WITH
LANDSCAPE PEBBLES; REFER TO
LANDSCAPE DRAWINGS

REPLACE EXISTING SHRUBS;
REFER TO LANDSCAPE
DRAWINGS

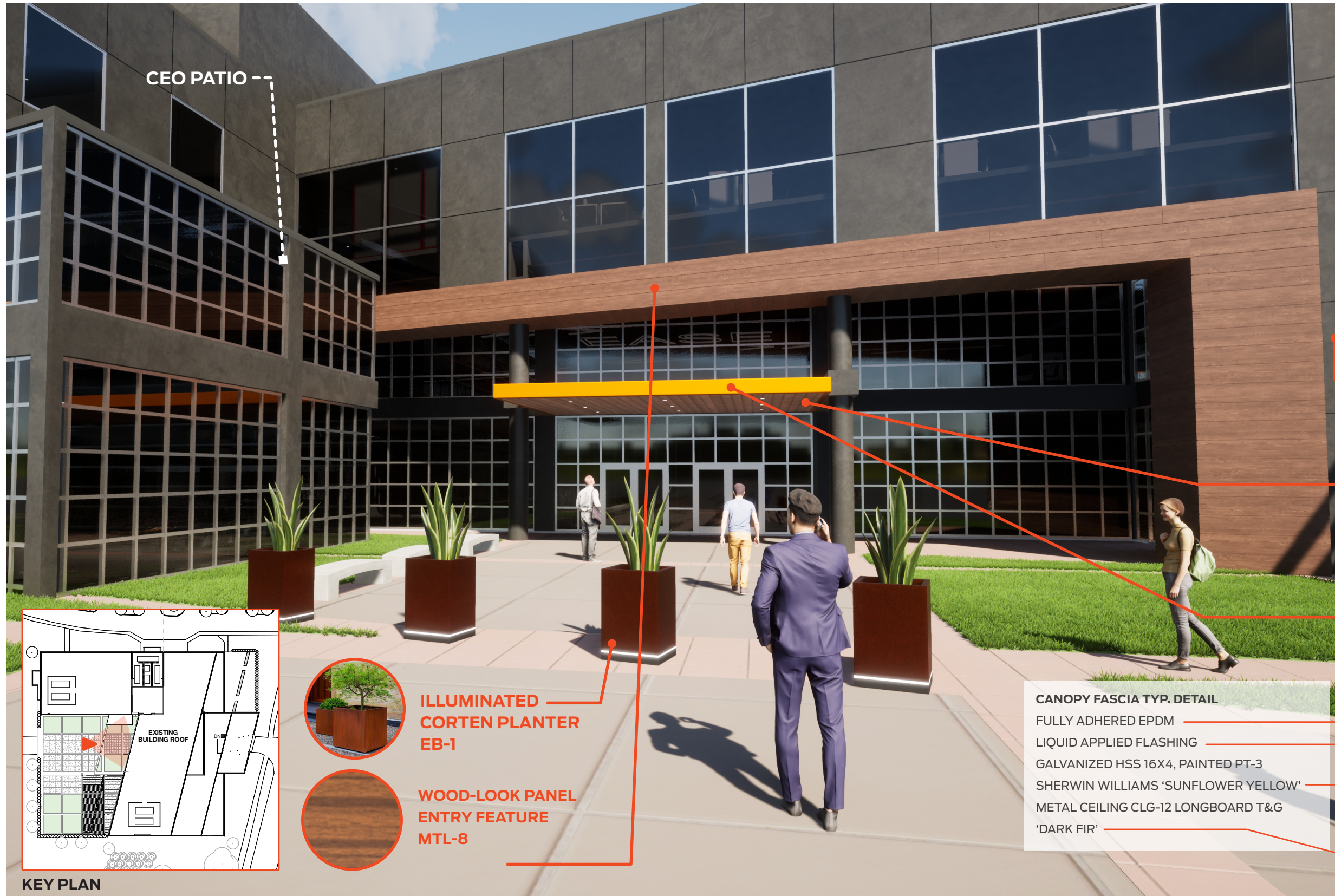
TUBE STEEL FASCIA PAINTED
SUNFLOWER YELLOW PT-3

NEW WOOD-LOOK PANEL
GOLDEN MAPLE MTL- 8

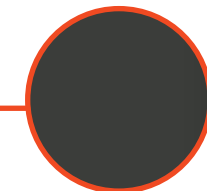
LIGHTING DIAGRAM



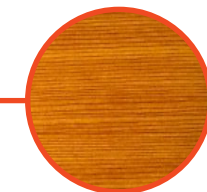
MAIN ENTRY & PAVILION RENDERING



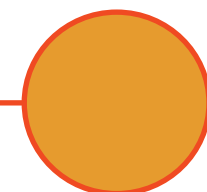
CURRENT CONDITION



PAINT FACADE
GRIZZLE GRAY
PT-14



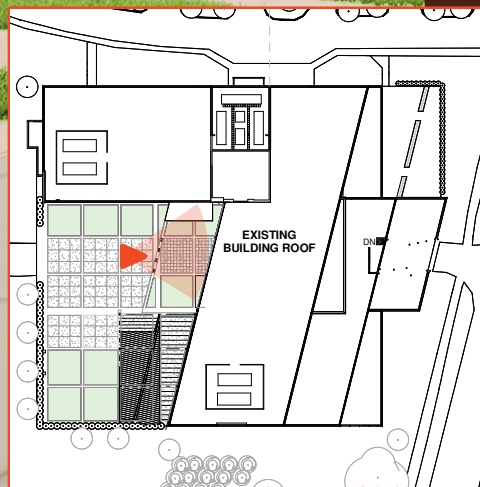
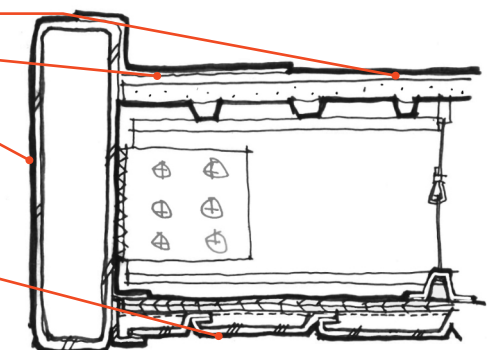
NEW ENTRY CANOPY
MATTE BLACK
MTL-10 . WOOD-LOOK
PANEL SOFFIT
CLG-12



TUBE STEEL FASCIA
PAINTED
SUNFLOWER
YELLOW PT-3

CANOPY FASCIA TYP. DETAIL

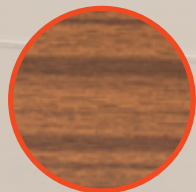
- FULLY ADHERED EPDM
- LIQUID APPLIED FLASHING
- GALVANIZED HSS 16X4, PAINTED PT-3
- SHERWIN WILLIAMS 'SUNFLOWER YELLOW'
- METAL CEILING CLG-12 LONGBOARD T&G
- 'DARK FIR'



KEY PLAN



ILLUMINATED
CORTEEN PLANTER
EB-1

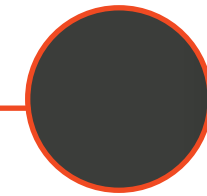


WOOD-LOOK PANEL
ENTRY FEATURE
MTL-8

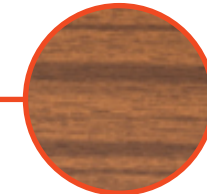
PAVILION RENDERING



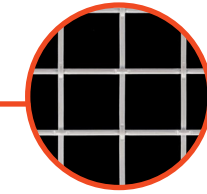
CURRENT CONDITION



**PAINT FACADE
GRIZZLE GRAY PT-14**



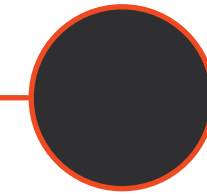
**WOOD-LOOK MTL
PANEL MTL-8**



**DECORATIVE WIRE
MESH BLACK SCREEN**

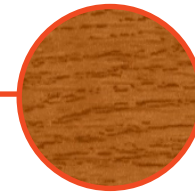


NEW GRASS

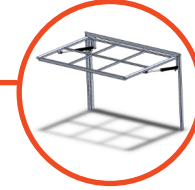


**EXPOSED STRUCTURE
PAINTED TRI CORN
BLACK PT-9**

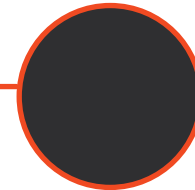
PAVILION RENDERING



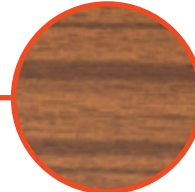
**FLITCH BEAMS
STAINED TO MATCH
WOOD-LOOK MTL
PANELS
PT-15**



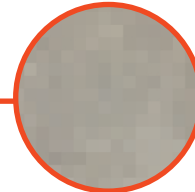
**NEW OPERABLE
HYDRAULIC GLASS
DOORS OH-1**



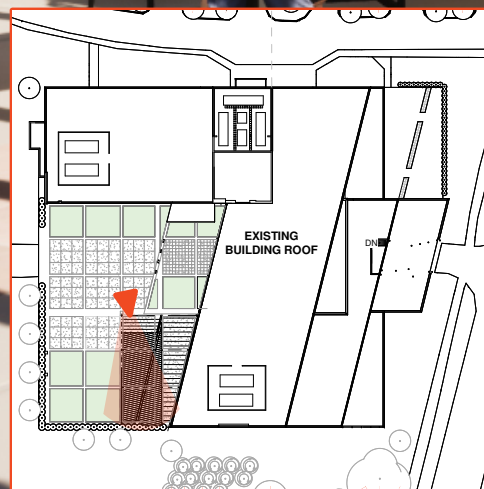
**EXPOSED
STRUCTURE
PAINTED TRICORN
BLACK
PT-9**



**WOOD-LOOK PANELS
MTL -8**



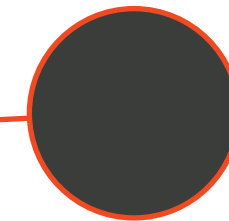
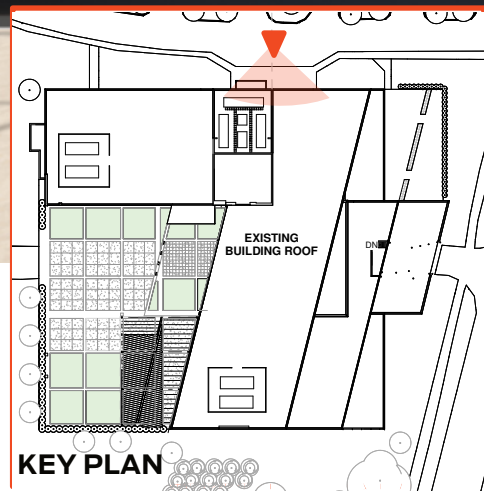
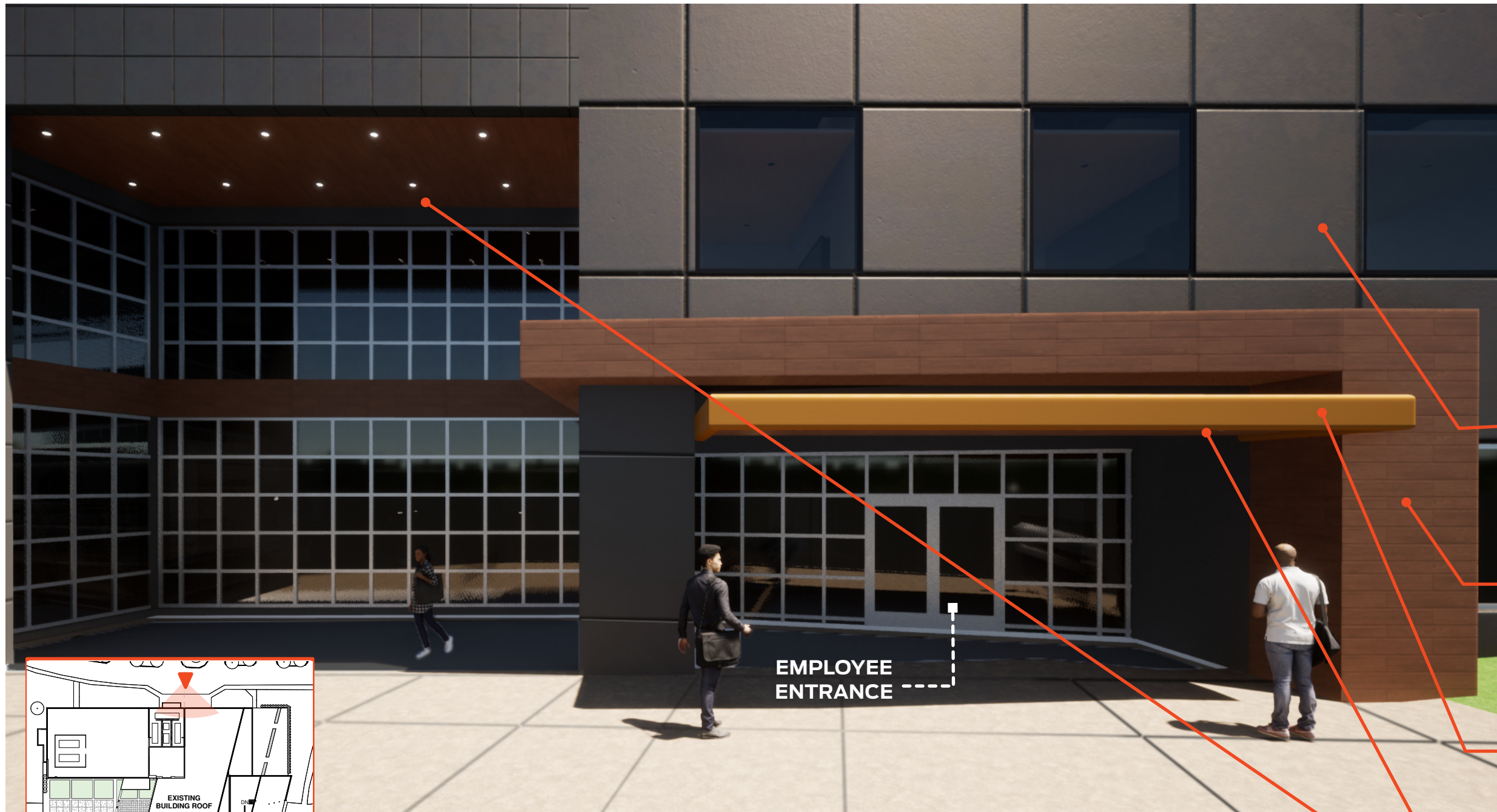
**NEW CONCRETE TO
MATCH EXISTING**



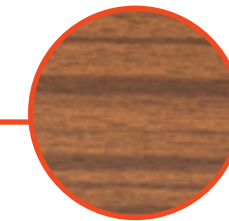
KEY PLAN

EMPLOYEE ENTRY RENDERING

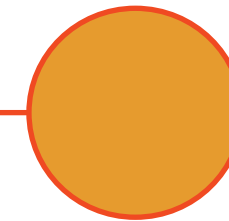
CURRENT CONDITION



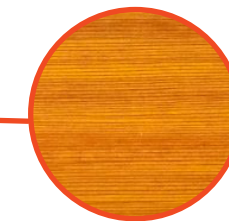
**PAINT BUILDING
GRIZZLE GRAY
PT-14**



**WOOD-LOOK PANEL
MTL-8**



**TUBE STEEL FASCIA
PAINTED
SUNFLOWER YELLOW
PT-3**



**METAL WOOD-LOOK
PANEL SOFFIT
CLG-12**

FURNITURE PLANS

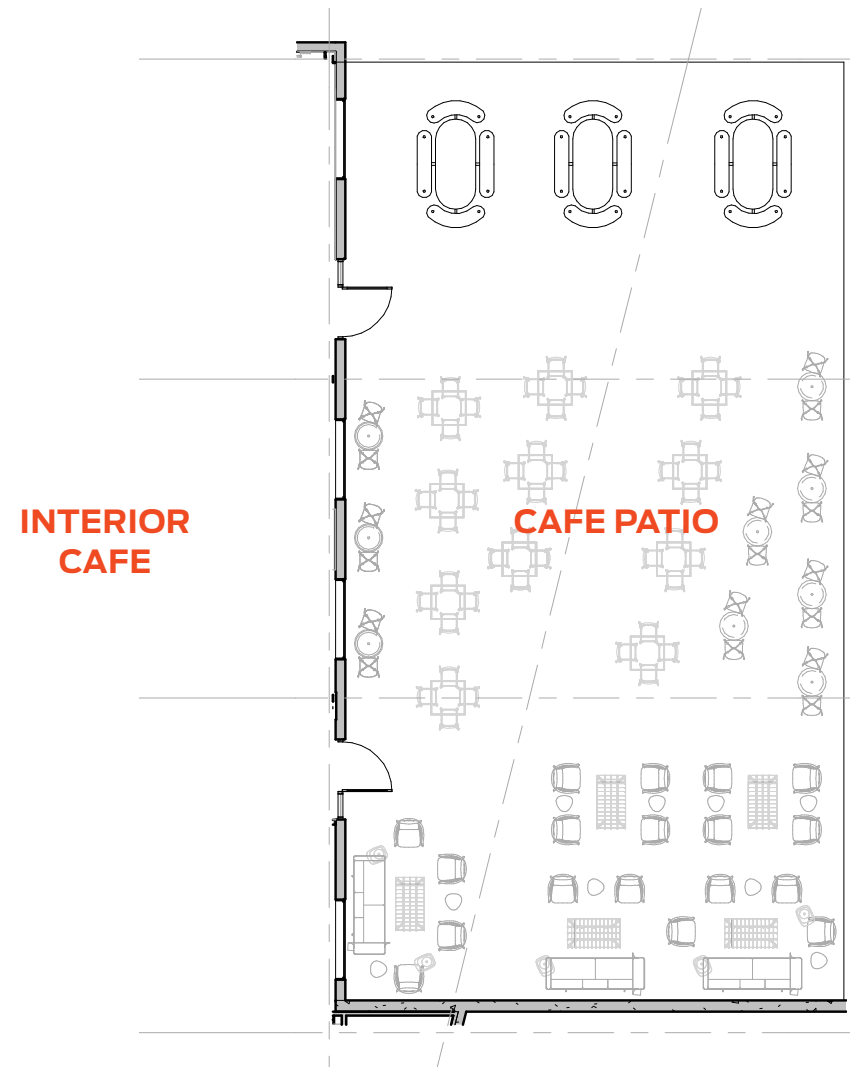
FURNITURE COUNTS

Pavilion

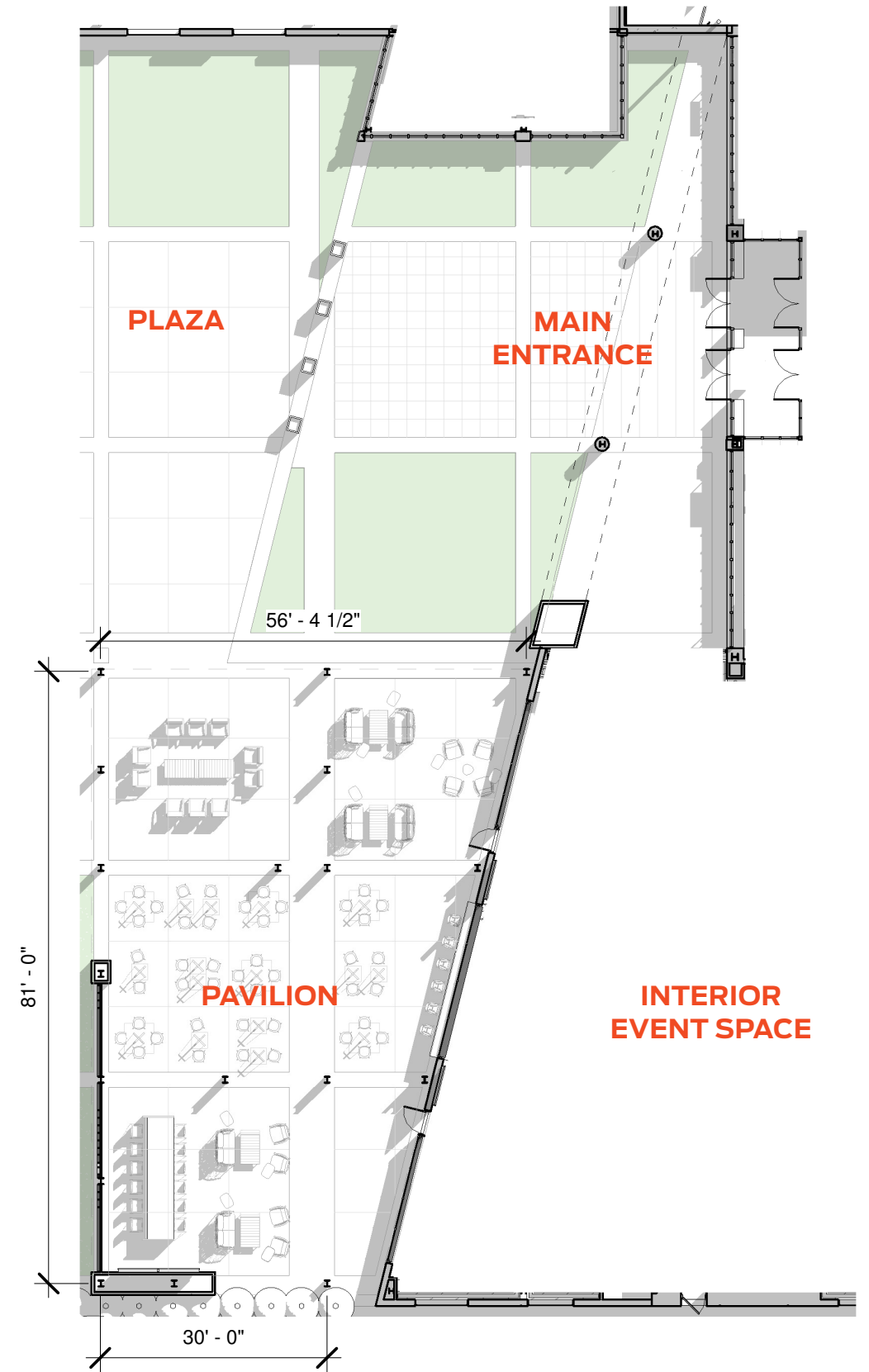
- 4 top tables - 6
- 2 top tables - 8
- 2 seater lounge - 6
- Lounge chairs - 18
- 12 top meeting table - 1
- Coffee tables - 6

Café patio

- Picnic tables - 3
- 4 top tables - 11
- 2 top tables - 9
- 2 seater lounge - 3
- Lounge chairs - 18
- Coffee tables - 5



LEVEL 1 - PATIO FURNITURE PLAN



LEVEL 2 - PAVILION FURNITURE

CEO PATIO



NEW STUCCO TO MATCH EXISTING; PAINTED GRIZZLE GRAY

GLAZING TO MATCH EXISTING

CURRENT CONDITION

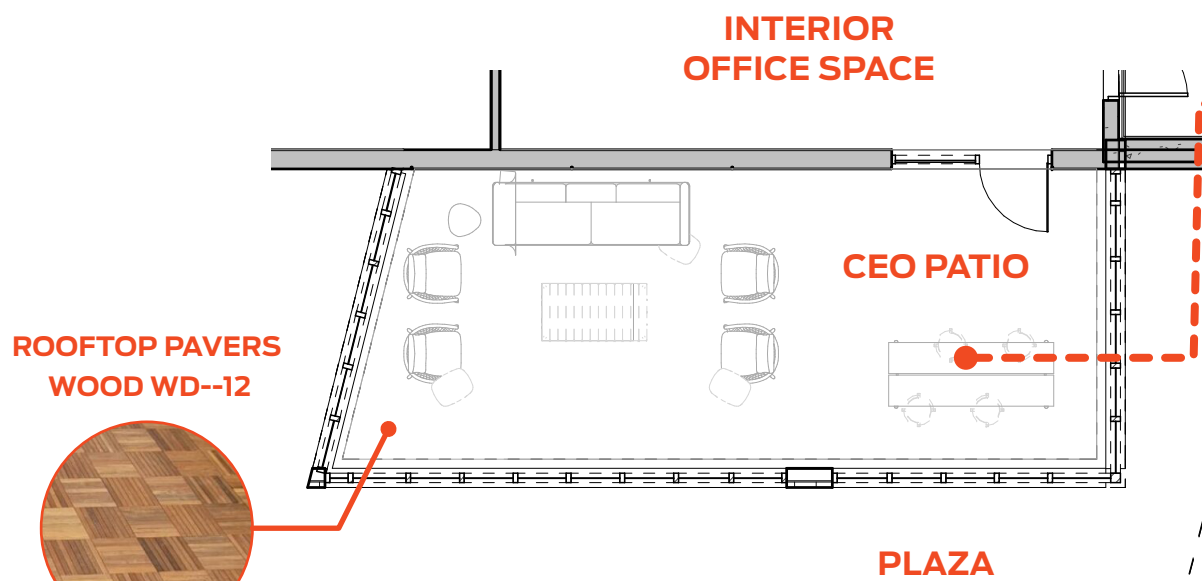


CEO PATIO RENDERING

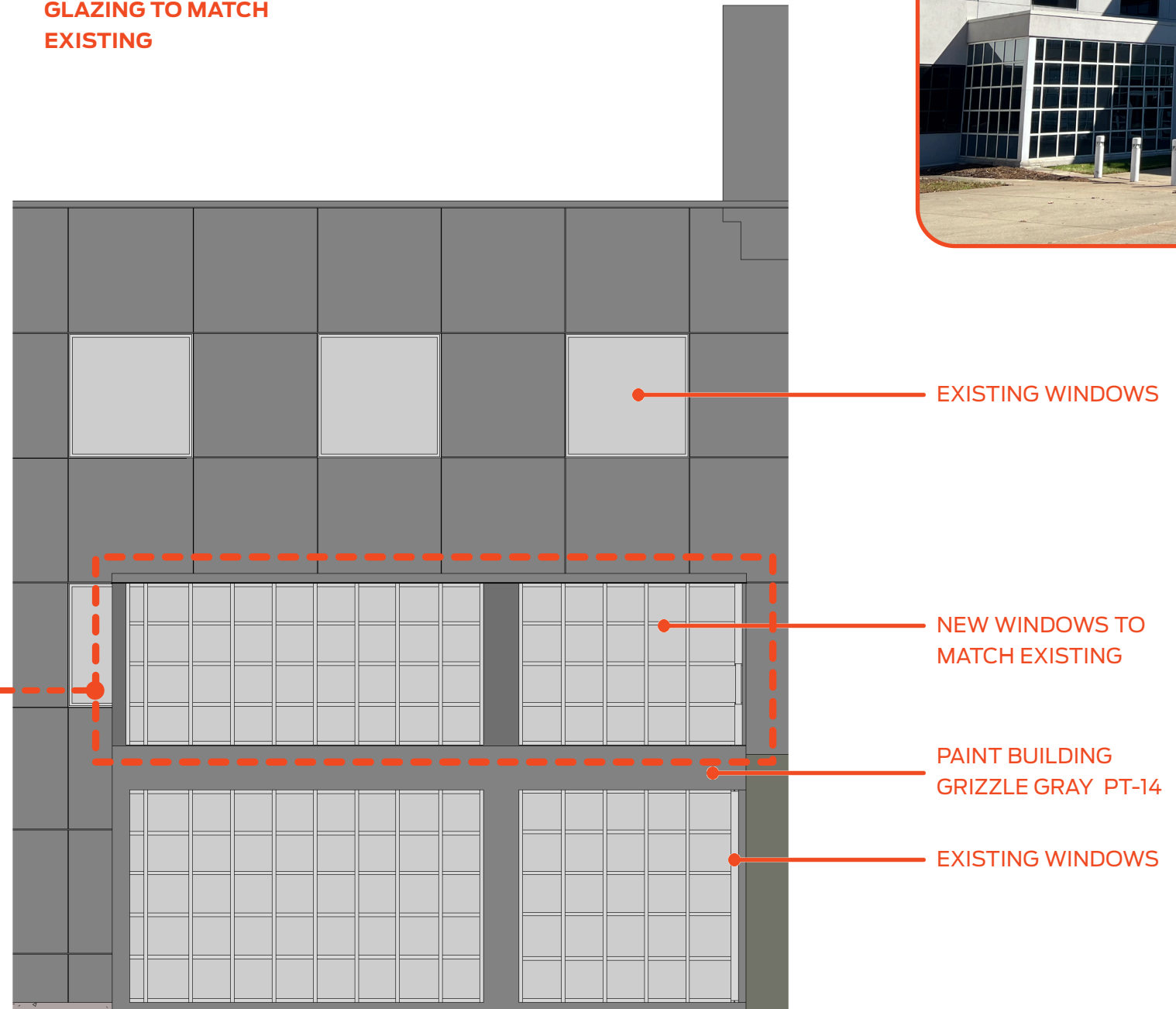
FURNITURE COUNTS

CEO Patio

- 4 top meeting table - 1
- 2 seater lounge - 1
- Lounge chairs - 4
- Coffee tables - 1



LEVEL 2 - CEO PATIO PLAN



LEVEL 2 - CEO PATIO ELEVATION

MATERIAL SPECIFICATIONS

GROUND MATERIALS



GRASS
LOCATION: PLAZA; SEE PLAN & LANDSCAPE DRAWINGS



SHRUBS
LOCATION: CAFE PATIO
SEE PLAN & LANDSCAPE DRAWINGS



BUFF FINISHED CONCRETE
LOCATION: PLAZA + PAVILION
TO MATCH EXISTING



PEBBLES
LOCATION: CAFE PATIO
MANUFACTURER: LANG STONE
COLLECTION: MEXICAN PEBBLES
COLOR: SEE PLAN & LANDSCAPE DRAWINGS



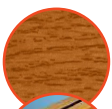
PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: GRIZZLE GRAY
COLOR #: SW 7068
PT-14



MANUFACTURER: SHERWIN WILLIAMS
COLOR: SUNFLOWER YELLOW
COLOR #: SW 6678
PT-3



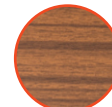
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TRI CORN BLACK
COLOR #: SW 6258
PT-9



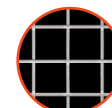
MANUFACTURER: MINWAX WATER BASED STAIN
COLOR: FRUITWOOD
COLOR #: MW241
NOTE: STAIN APPLIED TO WOOD FLITCH BEAM
PT-15



PANEL



WOOD-LOOK PANEL **MTL-8**
MANUFACTURER: PAC-CLAD 3000 CS
COMPOSITE PANEL
COLLECTION: WOOD GRAIN FINISH
COLOR: GOLDEN MAPLE



MESH METAL SCREEN **MTL-9**
MANUFACTURER: MCNICHOLS
COLLECTION: SQUARE GALVANIZED STEEL
SIZE: 2" X 2" WIRE DIAMETER OPENING



METAL CEILING SOFFIT **CLG-12**
MANUFACTURER: LONG BOARD
COLLECTION: TONGUE & GROOVE PLAN CLADDING
COLOR: DARK FIR
LOCATION: CANOPY SOFFIT



METAL ROOF **SS-11**
MANUFACTURER: PAC-CLAD
COLLECTION: SNAP-CLAD PANEL
COLOR: MUSKET GRAY
LOCATION: PAVILION ROOF



OVERHEAD DOOR
INDOOR / OUTDOOR **OH-1**
MANUFACTURER: CROWN DOORS
COLLECTION: SINGLE SWING HYDRAULIC SYSTEM
SIZE: CUSTOM TO MATCH EXISTING OPENING
FINISH: BLACK
LOCATION: PAVILION / EVENT SPACE



ROOF DECK
ROOF PATIO **WD-12**
MANUFACTURER: TILE TECH PAVERS
COLLECTION: IPE 24"X24" PEDESTAL ROOF
TILES
COLOR: IPE WOOD WEATHERED
LOCATION: CEO PATIO



PLANTERS
METAL PLANTER **EB-1**
MANUFACTURER: YARD COUTURE
COLLECTION: METAL LED PLANTERS
COLOR: CORTEN STEEL
LOCATION: PAVILION PLAZA



STRUCTURAL
TUBE STEEL
TYPE: HSS 16X4
COLOR: PAINTED SUNFLOWER YELLOW
LOCATION: CANOPY FASCIAS

LIGHTING SPECIFICATIONS



LIGHTING

LANDSCAPE LIGHTING

MANUFACTURER: WAC LIGHTING
COLLECTION: GARDEN FLOODLIGHT
COLOR: 3000K, 12V
LUMENS: 365 lm
SIZE: 5.9"H x 2.9"W
FINISH: BLACK ALUMINUM
LOCATION: PLAZA & CAFE PATIO

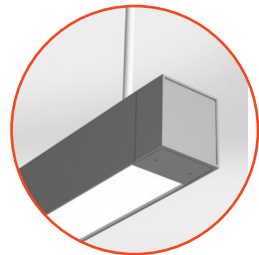
EG-1



CANOPY LIGHTING

MANUFACTURER: LITHONIA LIGHTING
COLLECTION: LDN4 - ROUND DOWNLIGHT
COLOR: 3000K, 120V
LUMENS: 750 lm
SIZE: 4"
FINISH: BLACK (BR)
LOCATION: ENTRY CANOPIES

ER-1



PAVILION LIGHTING

MANUFACTURER: PAC LIGHTING
COLLECTION: MICROLINEA SERIES 3
COLOR: 3000K, 12V
LUMENS: 4': 857 lm , 6' : 1713 lm
SIZE: VARIOUS SIZES (2', 3', 4', 6', 8')
FINISH: TEXTURED BLACK (F11T)
LOCATION: PAVILION CEILING

L6



PAVILION LIGHTING

MANUFACTURER: MYLA
COLLECTION: PD-W24320
COLOR: 3000K, 120V
LUMENS: 2738 lm
SIZE: 15"H x 20"W
FINISH: BLACK
LOCATION: PAVILION CEILING

P-12

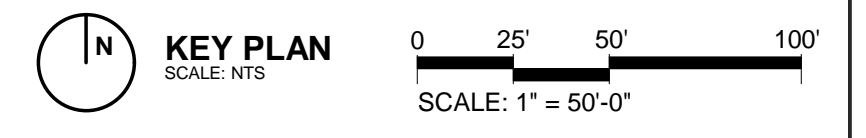
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EXISTING SITE CONDITIONS PLAN CODED NOTES

- 1 EASE LOGISTIC SERVICES, LLC. BUILDING. PLANNED COMMERCE DISTRICT (PCD); PERIMETER CENTER, SUB-AREA C, 6000 PERIMETER DRIVE, DUBLIN, OHIO 43017.
- 2 EXISTING VEHICULAR SITE ENTRY POINTS.
- 3 EXISTING SERVICE VEHICLE AND VEHICULAR SITE ENTRY POINT.
- 4 EXISTING BIKE RACKS.
- 5 EXISTING ENCLOSED SERVICE YARD.
- 6 EXISTING MAIN ENTRY.
- 7 EXISTING EMPLOYEE PATIO.
- 8 EXISTING ADA PARKING SPACES.
- 9 EXISTING PARKING LOT.
- 10 EXISTING MULTI-USE RECREATIONAL TRAIL.
- 11 EXISTING LANDSCAPE BERM AT ALL PARKING LOT AREAS TYPICAL.
- 12 EXISTING SHRUBS TO REMAIN.

1 OVERALL EXISTING SITE PLAN
1" = 50'-0"



WSA

982 S. FRONT STREET
COLUMBUS, OH 43206
614.824.1633



schaefer



BAUER GROUP LLC



EASE LOGISTICS
SITE DESIGN

PROJECT ADDRESS

6000 Perimeter Dr.
Dublin, OH 43017

DATE	DESCRIPTION

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Amended Final Development Plan
DATE PRINTED: 6 JUNE 2023
PROJECT NUMBER: 23054

DRAWN BY: EDGE | CHECKED BY: CCL

EXISTING CONDITIONS PLAN

L1

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OVERALL SITE PLAN CODED NOTES

- 1 EASE LOGISTICS SERVICES, LLC. BUILDING. PLANNED COMMERCE DISTRICT PERIMETER CENTER. SUB-AREA C. 6000 PERIMETER DRIVE. DUBLIN, OHIO 43017.
- 2 MAINTAIN EXISTING VEHICULAR SITE ENTRY POINTS.
- 3 MAINTAIN EXISTING SERVICE VEHICLE AND VEHICULAR SITE ENTRY POINT.
- 4 NEW EMPLOYEE OVERHEAD ENTRY CANOPY.
- 5 EXISTING ENCLOSED SERVICE YARD. PRESERVE AND PROTECT DURING CONSTRUCTION.
- 6 EXISTING MAIN ENTRY TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION.
- 7 EMPLOYEE PATIO SITE WORK.
- 8 MAINTAIN EXISTING ADA PARKING SPACES. PRESERVE AND PROTECT DURING CONSTRUCTION.
- 9 MAINTAIN EXISTING PARKING LOT. PRESERVE AND PROTECT DURING CONSTRUCTION.
- 10 MAINTAIN EXISTING MULTI-USE RECREATIONAL TRAIL. PRESERVE AND PROTECT DURING CONSTRUCTION.
- 11 PROPOSED PAVILION SITE WORK.
- 12 MAINTAIN EXISTING LANDSCAPE BERM AT ALL PARKING LOT AREAS TYPICAL.
- 13 MAINTAIN EXISTING BIKE RACKS. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AND REPLACE AS NEEDED.
- 14 MAINTAIN EXISTING SHRUBS. PRESERVE AND PROTECT DURING CONSTRUCTION.

TREE REPLACEMENT SCHEDULE					
Plant Code	Botanical Name	Common Name	Size	Container	Count
ACE SUG	Acer saccharum	Sugar Maple	3" Cal.	B&B	1
ACE XFM	Acer x freemanii	Freeman Maple	3" Cal.	B&B	2
AME LAE	Amelanchier laevis	Allegheny serviceberry	3" Cal.	B&B	1
GIN BIL	Ginkgo biloba	Maidenhair Tree	3" Cal.	B&B	2
TIL COR	Tilia cordata	Littleleaf Linden	3" Cal.	B&B	2
ULM AME	Ulmus americana	American Elm	3" Cal.	B&B	1
Grand total					9

DRAWING NOTES:

1. THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS AND APPLICABLE REQUIREMENTS OF OTHER REGULATORY AGENCIES.
2. UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURERS' INSTRUCTIONS, OR REQUIREMENTS FOR MATERIALS OF DESIGN ELEMENTS SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BIDS, OR THE DATE OF THE CHANGE ORDER OR FIELD ORDERS, AS APPLICABLE.
3. EACH CONTRACTOR SHALL REPORT DISCREPANCIES IN DRAWINGS TO THE ARCHITECT FOR CLARIFICATIONS AND ADJUSTMENTS BEFORE COMMENCING WORK. ANY DEVIATIONS OR CHANGES IN THESE DRAWINGS WITHOUT WRITTEN ACCEPTANCE OF THE ARCHITECT SHALL ABSOLVE THE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF SAID DEVIATION AND CHANGE.
4. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE A/E WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
5. WORK SHOWN IS BASED ON A SURVEY PROVIDED BY WSA ARCHITECTS - GS.
6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
7. ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
8. ROUGH GRADING WORK WILL BE REVIEWED AND ACCEPTED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF SOIL PREPARATION WORK. DO NOT BEGIN SOIL PREPARATION WORK OR FINISH GRADING WORK BEFORE ROUGH GRADING IS ACCEPTED BY THE ARCHITECT.
9. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ARCHITECT AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN. THE EXACT LOCATION AND ELEVATION OF UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR.
10. IF LIVE UTILITIES ARE ENCOUNTERED, NOT INDICATED PREVIOUSLY, PROTECT THE SAME FROM DAMAGE AND IMMEDIATELY NOTIFY THE OWNER AND THE AFFECTED UTILITY PROVIDER. DO NOT PROCEED UNTIL FURTHER INSTRUCTIONS ARE RECEIVED.
11. BACKFILL UTILITY LINES EXPOSED BY WORK OPERATIONS AND REPAIR BEDDING AND BACKFILL MATERIAL OF UTILITIES THAT IS DISPLACED AND DAMAGED DURING WORK. REPLACE CONTAMINATED MATERIALS WITH NEW MATERIALS MATCHING THE EXISTING MATERIALS.
12. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING ENTRANCE ELEVATIONS.
13. MAKE TRANSITIONS BETWEEN CHANGES IN PAVING SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES UNLESS SHOWN OTHERWISE.
14. SET STRAIGHT LINE GRADES BETWEEN ELEVATIONS UNLESS OTHERWISE SHOWN.
15. PITCH IN DRAIN PIPES SHALL BE CONSTANT FROM INVERT ELEVATION TO INVERT ELEVATION.
16. DIMENSIONS INDICATED ON PLANS ARE FOR HORIZONTAL CONTROL AND ARE ACCURATE IF MEASURED ON A LEVEL LINE. MEASURE HORIZONTAL CONTROL DIMENSIONS ON A LEVEL LINE, NOT PARALLEL WITH GROUND SLOPE.
17. OBTAIN AESTHETIC ACCEPTANCE FROM THE ARCHITECT OF FINISH GRADING PRIOR TO PLANTING.
18. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING CIRCUITRY AND THE LIGHT FIXTURE SCHEDULE.
19. COORDINATE PENETRATIONS REQUIRED FOR IRRIGATION AND SUB-DRAINAGE AND ELECTRICAL WORK WITH CONCRETE WORK.
20. PLANTS AND DOUBLE SHREDDED WOOD CHIP BARK MULCH ARE NOT SHOWN ON SOME DETAILS FOR PURPOSES OF CLARITY. SEE PLANTING PLANS FOR PLANT MATERIAL AREAS AND SEE TYPICAL PLANTING AREA DETAILS FOR LIMIT OF DOUBLE SHREDDED WOOD CHIP BARK MULCH.
21. REFER TO CIVIL DRAWINGS FOR SANITARY SEWER LINES, STORM DRAIN LINES, GRADING AND OTHER UTILITY LINES.
22. PROTECT EXISTING STRUCTURES AND SERVICES TO REMAIN INCLUDING BUT NOT LIMITED TO: UTILITIES, WALLS, STAIRS, AND RAMPS.
23. ARCHITECT TO ACCEPT LOCATIONS FOR FOOTING POURS OF LIGHT POLES AND SITE WALLS IN THE FIELD PRIOR TO POUR.
24. WORK IN PUBLIC RIGHT-OF-WAY SHOWN FOR REFERENCE ONLY. VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
25. PROVIDE MOCK-UPS FOR APPROVAL BY ARCHITECT FOR ALL PAVING, WALLS, STAIRS, WATER FEATURES, LIGHTING ELEMENTS, CUSTOM SITE FURNISHINGS, AND STRUCTURES.
26. ALL STRUCTURAL SITE ELEMENTS SUCH AS WALLS, FOOTINGS, SUB-SLABS, RAILINGS, CANOPY STRUCTURES, ETC. ARE TO BE ENGINEERED BASED ON THESE DRAWINGS AND APPROVED BY STRUCTURAL ENGINEER.
27. ALL DRAINAGE ELEMENTS SUCH AS PIPING, DRAINS AND RAIN GARDENS ARE TO BE ENGINEERED BASED ON THESE DRAWINGS AND APPROVED BY CIVIL ENGINEER.

WSA

982 S. FRONT STREET
COLUMBUS, OH 43206
614.824.1633



schaefer



BAUER GROUP LLC



EASE LOGISTICS
SITE DESIGN

PROJECT ADDRESS
6000 Perimeter Dr.
Dublin, OH 43017

#	DATE	DESCRIPTION

PRELIMINARY NOT FOR CONSTRUCTION

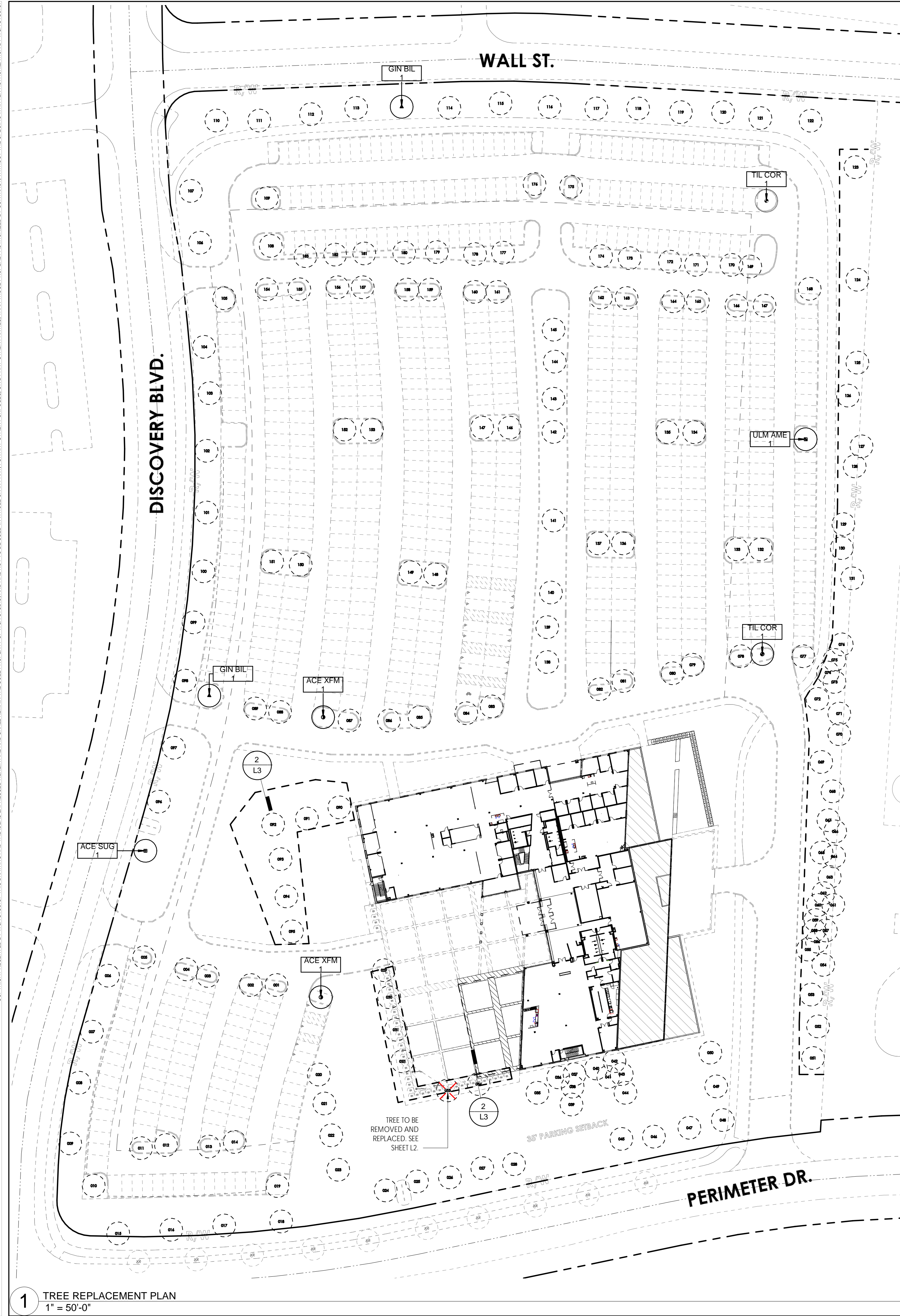
Amended Final Development Plan
DATE PRINTED: 6 JUNE 2023
PROJECT NUMBER: 23054

DRAWN BY: EDGE CHECKED BY: CCL

OVERALL SITE PLAN

L2





TREE SURVEY / TREE PRESERVATION SCHEDULE

TAG ID	COMMON NAME	SCIENTIFIC NAME	CONDITION	DBH (CALIPER)
001	AMERICAN ELM	ULMUS AMERICANA	FAIR	2"
002	AMERICAN ELM	ULMUS AMERICANA	FAIR	3"
003	AMERICAN ELM	ULMUS AMERICANA	FAIR	5"
004	AMERICAN ELM	ULMUS AMERICANA	POOR	2"
005	PIN OAK	QUERCUS PALUSTRIS	GOOD	2"
006	PIN OAK	QUERCUS PALUSTRIS	FAIR	2"
007	SUGAR MAPLE	ACER SACCHARUM	FAIR	5"
008	NORWAY MAPLE	ACER PLATANOIDES	FAIR	9"
009	NORWAY MAPLE	ACER PLATANOIDES	FAIR	8"
010	PIN OAK	QUERCUS PALUSTRIS	FAIR	2"
011	AMERICAN ELM	ULMUS AMERICANA	POOR	2"
012	AMERICAN ELM	ULMUS AMERICANA	POOR	3"
013	AMERICAN ELM	ULMUS AMERICANA	POOR	3"
014	AMERICAN ELM	ULMUS AMERICANA	FAIR	3"
015	SUGAR MAPLE	ACER SACCHARUM	FAIR	18"
016	GINKGO	GINKGO BILOBA	GOOD	2"
017	SUGAR MAPLE	ACER SACCHARUM	GOOD	2"
018	SUGAR MAPLE	ACER SACCHARUM	FAIR	11"
019	RED MAPLE	ACER RUBRUM	FAIR	9"
020	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	12"
021	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	15"
022	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	12"
023	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	18"
024	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	18"
025	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	19"
026	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	19"
027	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	20"
028	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	21"
029	CALLERY PEAR	PYRUS CALLERYANA	FAIR	15"
030	CALLERY PEAR	PYRUS CALLERYANA	POOR	28"
031	CALLERY PEAR	PYRUS CALLERYANA	FAIR	11"
032	CALLERY PEAR	PYRUS CALLERYANA	FAIR	30"
033	CALLERY PEAR	PYRUS CALLERYANA	FAIR	22"
034	CALLERY PEAR	PYRUS CALLERYANA	POOR	17"
035	NORWAY SPRUCE	PICEA ABIES	GOOD	1"
036	NORWAY SPRUCE	PICEA ABIES	EXCELLENT	2"
037	NORWAY SPRUCE	PICEA ABIES	EXCELLENT	2"
038	NORWAY SPRUCE	PICEA ABIES	FAIR	1"
039	NORWAY SPRUCE	PICEA ABIES	FAIR	1"
040	NORWAY SPRUCE	PICEA ABIES	GOOD	2"
041	NORWAY SPRUCE	PICEA ABIES	GOOD	2"
042	BLUE SPRUCE	PICEA PUNGENS	FAIR	6"
043	NORWAY SPRUCE	PICEA ABIES	GOOD	1"
044	NORWAY SPRUCE	PICEA ABIES	FAIR	1"
045	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	20"
046	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	22"
047	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	18"
048	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	15"
049	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	12"
050	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	23"
051	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	18"
052	NORTHERN RED OAK	QUERCUS RUBRA	FAIR	18"
053	NORTHERN RED OAK	QUERCUS RUBRA	POOR	18"
054	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	18"
055	BLUE SPRUCE	PICEA PUNGENS	FAIR	7"
056	BLUE SPRUCE	PICEA PUNGENS	FAIR	5"
057	BLUE SPRUCE	PICEA PUNGENS	FAIR	7"
058	BLUE SPRUCE	PICEA PUNGENS	FAIR	6"
059	NORWAY SPRUCE	PICEA ABIES	GOOD	2"
060	BLUE SPRUCE	PICEA PUNGENS	FAIR	7"
061	BLUE SPRUCE	PICEA PUNGENS	FAIR	7"
062	EASTERN WHITE PINE	PINUS STROBUS	FAIR	13"
063	EASTERN WHITE PINE	PINUS STROBUS	GOOD	12"
064	EASTERN WHITE PINE	PINUS STROBUS	POOR	8"
065	EASTERN WHITE PINE	PINUS STROBUS	FAIR	12"
066	CALLERY PEAR	PYRUS CALLERYANA	FAIR	11"
067	NORWAY SPRUCE	PICEA ABIES	GOOD	5"
068	NORTHERN RED OAK	QUERCUS RUBRA	FAIR	14"
069	NORTHERN RED OAK	QUERCUS RUBRA	FAIR	10"
070	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	24"
071	FLOWERING CRABAPPLE	MALUS SP.	FAIR	14"
072	FLOWERING CRABAPPLE	MALUS SP.	FAIR	13"
073	FLOWERING CRABAPPLE	MALUS SP.	FAIR	9"
074	FLOWERING CRABAPPLE	MALUS SP.	FAIR	10"
075	FLOWERING CRABAPPLE	MALUS SP.	FAIR	14"
076	FLOWERING CRABAPPLE	MALUS SP.	FAIR	12"
077	GINKGO	GINKGO BILOBA	GOOD	5"
078	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	3"
079	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	4"
080	GINKGO	GINKGO BILOBA	POOR	2"
081	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	4"
082	GINKGO	GINKGO BILOBA	FAIR	1"
083	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	4"
084	GINKGO	GINKGO BILOBA	FAIR	2"
085	FREEMAN MAPLE	ACER X FREEMANII	POOR	4"
086	GINKGO	GINKGO BILOBA	FAIR	2"
087	FREEMAN MAPLE	ACER X FREEMANII	FAIR	4"
088	GINKGO	GINKGO BILOBA	GOOD	1"
089	GINKGO	GINKGO BILOBA	FAIR	2"
090	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	16"
091	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	20"
092	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	19"
093	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	19"
094	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	19"
095	HONEY LOCUST	GLEDITSIA TRIACANTHOS	FAIR	15"
096	SUGAR MAPLE	ACER SACCHARUM	FAIR	21"
097	SUGAR MAPLE	ACER SACCHARUM	FAIR	20"
098	SUGAR MAPLE	ACER SACCHARUM	POOR	10"
099	NORWAY MAPLE	ACER PLATANOIDES	FAIR	10"
100	GINKGO	GINKGO BILOBA	GOOD	11"
101	SUGAR MAPLE	ACER SACCHARUM	POOR	20"
102	SUGAR MAPLE	ACER SACCHARUM	FAIR	15"
103	RED MAPLE	ACER RUBRUM	FAIR	9"
104	GINKGO	GINKGO BILOBA	GOOD	2"
105	RED MAPLE	ACER RUBRUM	POOR	5"
106	NORWAY MAPLE	ACER PLATANOIDES	FAIR	11"
107	SUGAR MAPLE	ACER SACCHARUM	FAIR	18"
108	RED MAPLE	ACER RUBRUM	FAIR	9"
109	GINKGO	GINKGO BILOBA	GOOD	7"
110	SUGAR MAPLE	ACER SACCHARUM	GOOD	7"
111	SUGAR MAPLE	ACER SACCHARUM	FAIR	23"
112	GINKGO	GINKGO BILOBA	GOOD	2"
113	GINKGO	GINKGO BILOBA	GOOD	2"
114	SUGAR MAPLE	ACER SACCHARUM	POOR	21"
115	GINKGO	GINKGO BILOBA	GOOD	2"
116	SUGAR MAPLE	ACER SACCHARUM	FAIR	22"
117	SUGAR MAPLE	ACER SACCHARUM	FAIR	20"
118	SUGAR MAPLE	ACER SACCHARUM	POOR	20"
119	SUGAR MAPLE	ACER SACCHARUM	GOOD	17"

TREE SURVEY / TREE PRESERVATION SCHEDULE

TAG ID	COMMON NAME	SCIENTIFIC NAME	CONDITION	DBH (CALIPER)
120	GINKGO	GINKGO BILOBA	GOOD	2"
121	SUGAR MAPLE	ACER SACCHARUM	GOOD	13"
122	SUGAR MAPLE	ACER SACCHARUM	GOOD	16"
123	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	17"
124	NORTHERN RED OAK	QUERCUS RUBRA	FAIR	15"
125	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	21"
126	NORTHERN RED OAK	QUERCUS RUBRA	FAIR	18"
127	WHITE SPRUCE	PICA GLAUCUA	POOR	4"
128	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	11"
129	BLACK OAK	QUERCUS VELUTINA	FAIR	31"
130	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	18"
131	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	19"
132	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
133	AMERICAN ELM	ULMUS AMERICANA	GOOD	4"
134	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	3"
135	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	4"
136	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	3"
137	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	4"
138	AMERICAN ELM	ULMUS AMERICANA	FAIR	9"
139	AMERICAN ELM	ULMUS AMERICANA	POOR	3"
140	NORWAY MAPLE	ACER PLATANOIDES	FAIR	13"
141	AMERICAN ELM	ULMUS AMERICANA	FAIR	10"
142	SUGAR MAPLE	ACER SACCHARUM	FAIR	7"
143	AMERICAN ELM	ULMUS AMERICANA	GOOD	9"
144	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
145	SUGAR MAPLE	ACER SACCHARUM	FAIR	6"
146	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
147	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
148	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	2"
149	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	6"
150	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
151	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
152	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	5"
153	FREEMAN MAPLE	ACER X FREEMANII	GOOD	5"
154	BLACKGUM	NYSSA SYLVATICA	GOOD	2"
155	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	5"
156	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	5"
157	BLACKGUM	NYSSA SYLVATICA	GOOD	2"
158	BLACKGUM	NYSSA SYLVATICA	GOOD	2"
159	BLACKGUM	NYSSA SYLVATICA	GOOD	2"
160	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	4"
161	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	4"
162	BLACKGUM	NYSSA SYLVATICA	GOOD	2"
163	BLACKGUM	NYSSA SYLVATICA	FAIR	2"
164	BLACKGUM	NYSSA SYLVATICA	FAIR	2"
165	BLACKGUM	NYSSA SYLVATICA	FAIR	2"
166	BLACKGUM	NYSSA SYLVATICA	FAIR	2"
167	BLACKGUM	NYSSA SYLVATICA	GOOD	3"
168	SUGAR MAPLE	ACER SACCHARUM	FAIR	12"
169	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	2"
170	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	6"
171	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	2"
172	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	2"
173	RED MAPLE	ACER RUBRUM	FAIR	7"
174	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	3"
175	GINKGO	GINKGO BILOBA	EXCELLENT	5"
176	GINKGO	GINKGO BILOBA	GOOD	5"
177	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	3"
178	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	2"
179	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	5"
180	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	2"
181	LITTLE LEAF LINDEN	ACER	FAIR	2"
182	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	4"
183	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	2"

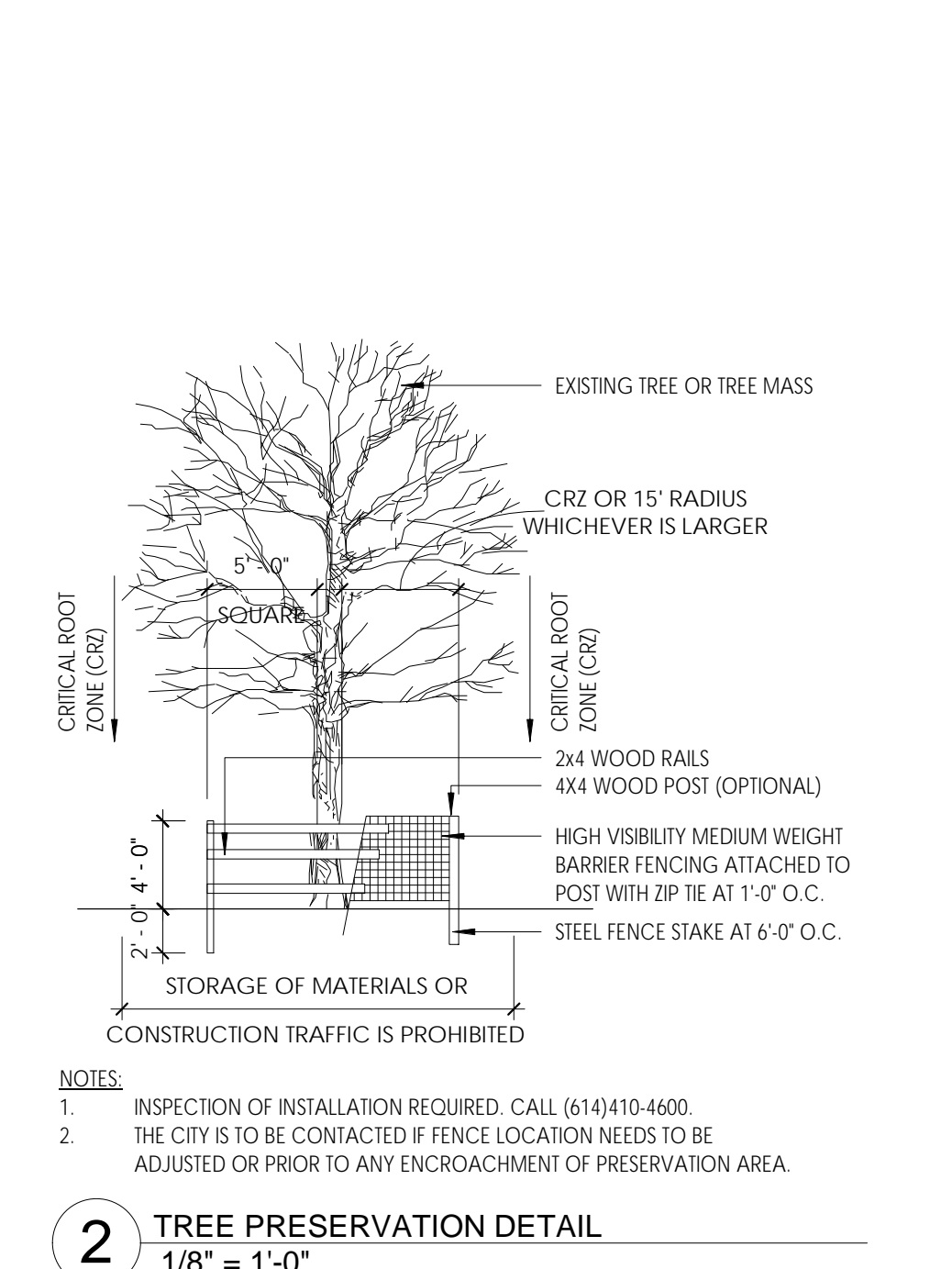
TOTAL CALIPER INCHES TO BE REPLACED = 22"

TREE REPLACEMENT SCHEDULE

Plant Code	Botanical Name	Common Name	Size	Container	Count
ACE SUG	Acer saccharum	Sugar Maple	3" Cal.	B&B	1
ACE XFM	Acer x freemanii	Freeman Maple	3" Cal.	B&B	2
AME LAE	Amelanchier laevis	Allegheny serviceberry	3" Cal.	B&B	1

Grand total

TOTAL CALIPER INCHES FOR REPLACEMENT = 27"



TREE PRESERVATION SCHEDULE

TAG ID	COMMON NAME	SCIENTIFIC NAME	CONDITION	DBH (CALIPER)
120	GINKGO	GINKGO BILOBA	GOOD	2"
121	SUGAR MAPLE	ACER SACCHARUM	GOOD	13"
122	SUGAR MAPLE	ACER SACCHARUM	GOOD	16"
123	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	17"
124	NORTHERN RED OAK	QUERCUS RUBRA	FAIR	15"
125	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	21"
126	NORTHERN RED OAK	QUERCUS RUBRA	FAIR	18"
127	WHITE SPRUCE	PICA GLAUCUA	POOR	4"
128	HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	11"
129	BLACK OAK	QUERCUS VELUTINA	FAIR	31"
130	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	18"
131	NORTHERN RED OAK	QUERCUS RUBRA	GOOD	19"
132	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
133	AMERICAN ELM	ULMUS AMERICANA	GOOD	4"
134	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	3"
135	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	4"
136	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	3"
137	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	4"
138	AMERICAN ELM	ULMUS AMERICANA	FAIR	9"
139	AMERICAN ELM	ULMUS AMERICANA	POOR	3"
140	NORWAY MAPLE	ACER PLATANOIDES	FAIR	13"
141	AMERICAN ELM	ULMUS AMERICANA	FAIR	10"
142	SUGAR MAPLE	ACER SACCHARUM	FAIR	7"
143	AMERICAN ELM	ULMUS AMERICANA	GOOD	9"
144	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
145	SUGAR MAPLE	ACER SACCHARUM	FAIR	6"
146	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
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148	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	2"
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151	AMERICAN ELM	ULMUS AMERICANA	GOOD	3"
152	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	5"
153	FREEMAN MAPLE	ACER X FREEMANII	GOOD	5"
154	BLACKGUM	NYSSA SYLVATICA	GOOD	2"
155	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	5"
156	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	5"
157	BLACKGUM	NYSSA SYLVATICA	GOOD	2"
158	BLACKGUM	NYSSA SYLVATICA	GOOD	2"
159	BLACKGUM	NYSSA SYLVATICA	GOOD	2"
160	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	4"
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171	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	2"
172	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	2"
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174	LITTLE LEAF LINDEN	TILIA CORDATA	GOOD	3"
175	GINKGO	GINKGO BILOBA	EXCELLENT	5"
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181	LITTLE LEAF LINDEN	ACER	FAIR	2"
182	LITTLE LEAF LINDEN	TILIA CORDATA	POOR	4"
183	LITTLE LEAF LINDEN	TILIA CORDATA	FAIR	2"

GENERAL NOTES - TREE PRESERVATION:

- 1. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED. TREES TO BE PRESERVED SHALL BE PROTECTED WITH HIGH VISIBILITY TREE PROTECTION FENCE AS SHOWN ON PLAN.
- 2. THE OWNER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, ERECTION AND MAINTENANCE OF TEMPORARY FENCING AROUND TREE PRESERVATION AREAS SO THAT ALL PROTECTED TREES SHALL BE PRESERVED. THE

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INTERIOR PARKING LOT LANDSCAPE CALCULATION

INTERIOR PARKING LOT TYPE	AREA	PERCENTAGE
DRIVE AISLE	143,110 SF	45%
INTERIOR LANDSCAPE AREA	23,672 SF	7%
PARKING SPACE	149,484 SF	47%
Grand total	316,266 SF	100%

PARKING COUNTS

PARKING SPACE TYPE	COUNT
PARKING SPACES	712
ADA PARKING SPACES	17
Grand total	729

PARKING LOT PLANTING REQUIREMENT:

153.133(B)(2)
 FOR EACH 100 SQUARE FEET OR FRACTION THEREOF, OF VEHICULAR USE AREA, A MINIMUM TOTAL OF FIVE SQUARE FEET OF LANDSCAPED AREA SHALL BE PROVIDED.*
 TOTAL PARKING LOT AREA: ±316,266 SF
 TOTAL PARKING LOT LANDSCAPE AREA REQUIRED:
 ((316,266 / 100) x 5) = 15,813 SF
 TOTAL PARKING LOT LANDSCAPE AREA PROVIDED: ±23,672 SF

153.133(B)(3)(a)
 THERE SHALL BE A MINIMUM OF ONE TREE FOR EVERY 5,000 SQUARE FEET OF GROUND COVERAGE.*

153.133(B)
 * MUST INCLUDE AT LEAST ONE DECIDUOUS SHADE TREE PER PENINSULA OR ISLAND*

TOTAL PARKING LOT AREA: ±316,266 SF
 TOTAL REQUIRED TREES: (316,266 / 5,000) = 63 TREES
 TOTAL PROVIDED TREES: 74 TREES

ADA PARKING SPACE REQUIREMENT:

PERIMETER CENTER DEVELOPMENT TEXT - CITY OF DUBLIN, OHIO - SUBAREA C - PARKING AND LOADING:
 1. SITE, RATIO, AND TYPE OF PARKING AND LOADING FACILITY SHALL BE REGULATED BY DUBLIN CODE CHAPTER 1193.

153.201(D) - INTERPRETATION AND CALCULATION
 (FROM OHIO BASIC BUILDING CODE - OAC 4101.2-5-12)
 OVER 500 SPACES = TEN (10) SPACES PLUS (+) ONE (1) SPACE PER ONE HUNDRED (100) PARKING SPACES OVER FIVE HUNDRED (500)

729 - 500 = 229 / 100 = 2.29
 10 + 2 = 12 SPACES

ADA PARKING SPACES REQUIRED = 12
 TOTAL EXISTING ADA PARKING SPACES PROVIDED = 17

PROVIDED OPEN SPACE

SITE TYPE	AREA	ACRES	PERCENTAGE
BUFFER YARD	74,069 SF	1.70 acres	13%
INTERIOR LANDSCAPE AREA	33,407 SF	0.77 acres	6%
OPEN SPACE	102,009 SF	2.34 acres	17%
PAVEMENT COVERAGE	382,459 SF	8.78 acres	65%
Grand total	591,944 SF	13.59 acres	

EXISTING OVERALL SITE PERVIOUS VS IMPERVIOUS AREA

TYPE	AREA	SITE ACREAGE	PERCENTAGE
IMPERVIOUS	379,024 SF	8.70 acres	64.0%
PERVIOUS	212,921 SF	4.89 acres	36.0%
Grand total	591,944 SF	13.59 acres	100.0%

PROPOSED OVERALL SITE PERVIOUS VS. IMPERVIOUS AREA

TYPE	AREA	SITE ACREAGE	PERCENTAGE
IMPERVIOUS	378,793 SF	8.70 acres	64.0%
PERVIOUS	213,151 SF	4.89 acres	36.0%
Grand total	591,944 SF	13.59 acres	100.0%

CITY OF DUBLIN, OHIO - SUBAREA C - DEVELOPMENT TEXT - SUBAREA C - YARD AND SETBACK REQUIREMENTS
 * TOTAL GROUND COVERED BY ALL BUILDINGS (EXCLUDING PARKING GARAGES) SHALL NOT EXCEED 25% OF THE TOTAL LOT AREA. HOWEVER, PARKING GARAGES AND BUILDINGS SHALL COVER NO MORE THAN 75% TOTAL LOT AREA.*

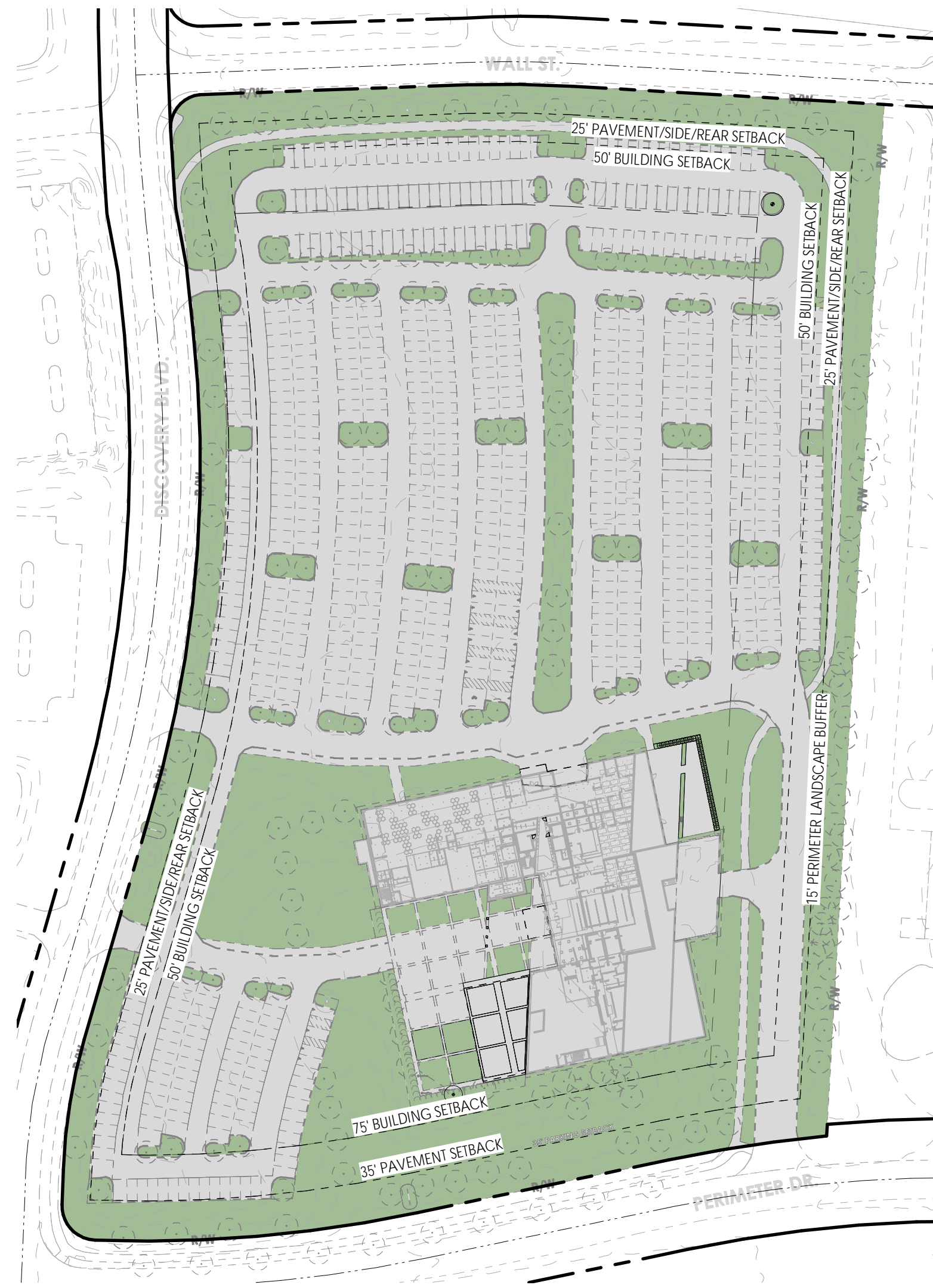
TOTAL SITE AREA: 591,944 SF
 MAXIMUM ALLOWABLE BUILDING COVERAGE: <25%

TOTAL IMPERVIOUS LOT COVERAGE
 EXISTING: 378,024 SF / 591,944 SF = 64 OR 64%
 PROPOSED: 378,793 SF / 591,944 SF = 64 OR 64%

TOTAL PERVIOUS LOT COVERAGE
 EXISTING: 212,921 SF / 591,944 SF = 0.36 OR 36%
 PROPOSED: 213,151 SF / 591,944 SF = 0.36 OR 36%



1 INTERIOR PARKING LOT CALCULATION
 1" = 100'-0"



2 OVERALL SITE PERVIOUS VS IMPERVIOUS AREA
 1" = 100'-0"

#	DATE	DESCRIPTION

PRELIMINARY NOT FOR CONSTRUCTION

Amended Final Development Plan
 DATE PRINTED
 6 JUNE 2023
 PROJECT NUMBER
 23054

DRAWN BY: EDGE CHECKED BY: CCL

OVERALL SITE CALCULATIONS

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EXISTING MAIN ENTRY AND PAVILION CODED NOTES

- 1 EASE LOGISTICS SERVICE, LLC. BUILDING
- 2 DASHED RED LINE INDICATES EXISTING AREA TO BE DISTURBED.
- 3 EXISTING CONCRETE PAVING
- 4 EXISTING LAWN PANEL.
- 5 EXISTING CONCRETE PAVING GRID BETWEEN PANELS TYPICAL
- 6 EXISTING PLANTING PANEL.
- 7 EXISTING SHRUBS TO REMAIN.



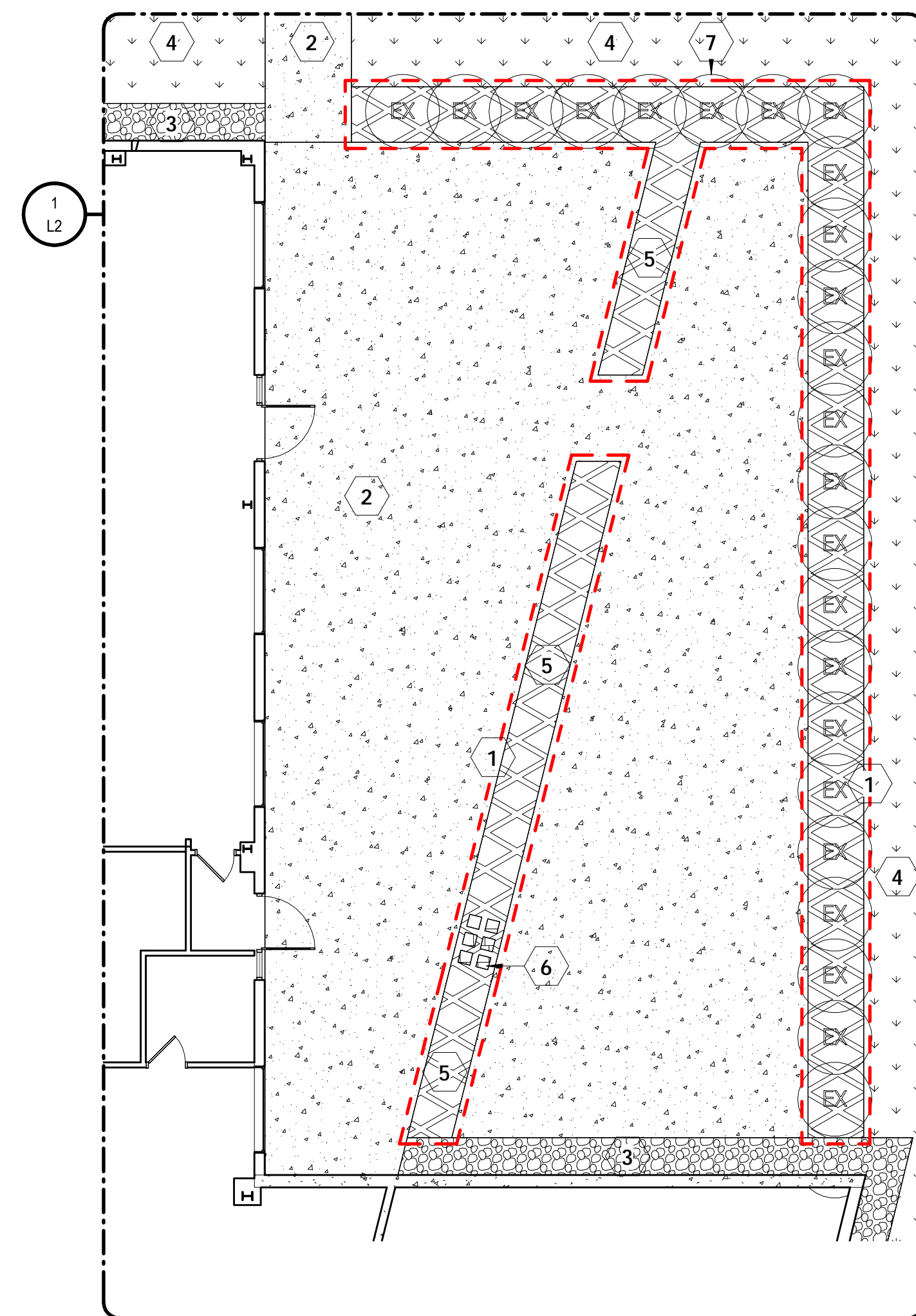
1 EXISTING MAIN ENTRY AND PAVILION ENLARGEMENT PLAN
1" = 10'-0"



EXISTING SITE PHOTO SHOWING CONCRETE UNIT PAVERS TO BE REUSED IN SAME LOCATION AND PATTERN LAYOUT DURING CONSTRUCTION.

EXISTING EMPLOYEE PATIO CODED NOTES

- 1 DASHED RED LINE INDICATES EXISTING AREA TO BE DISTURBED.
- 2 EXISTING CONCRETE PAVING.
- 3 EXISTING AGGREGATE BANDING.
- 4 EXISTING LAWN AREA.
- 5 EXISTING PLANTING AREA.
- 6 EXISTING CONCRETE UNIT PAVERS TO BE REUSED DURING CONSTRUCTION. PRESERVED AND PROTECTED DURING CONSTRUCTION. SEE ABOVE IMAGE.
- 7 EXISTING ARBORVITAE SHRUBS - TO BE REMOVED. SEE SHEET L7 FOR REPLACEMENT.



2 EXISTING EMPLOYEE PATIO ENLARGEMENT PLAN
1" = 10'-0"

KEY PLAN
 SCALE: NTS
 SCALE: 1" = 10'-0"

EASE LOGISTICS
 SITE DESIGN

PROJECT ADDRESS
6000 Perimeter Dr.
Dublin, OH 43017

#	DATE	DESCRIPTION

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**Amended Final Development
Plan**
DATE PRINTED
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PROJECT NUMBER
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DRAWN BY: EDGE CHECKED BY: CCL

EXISTING SITE ENLARGEMENT
PLANS

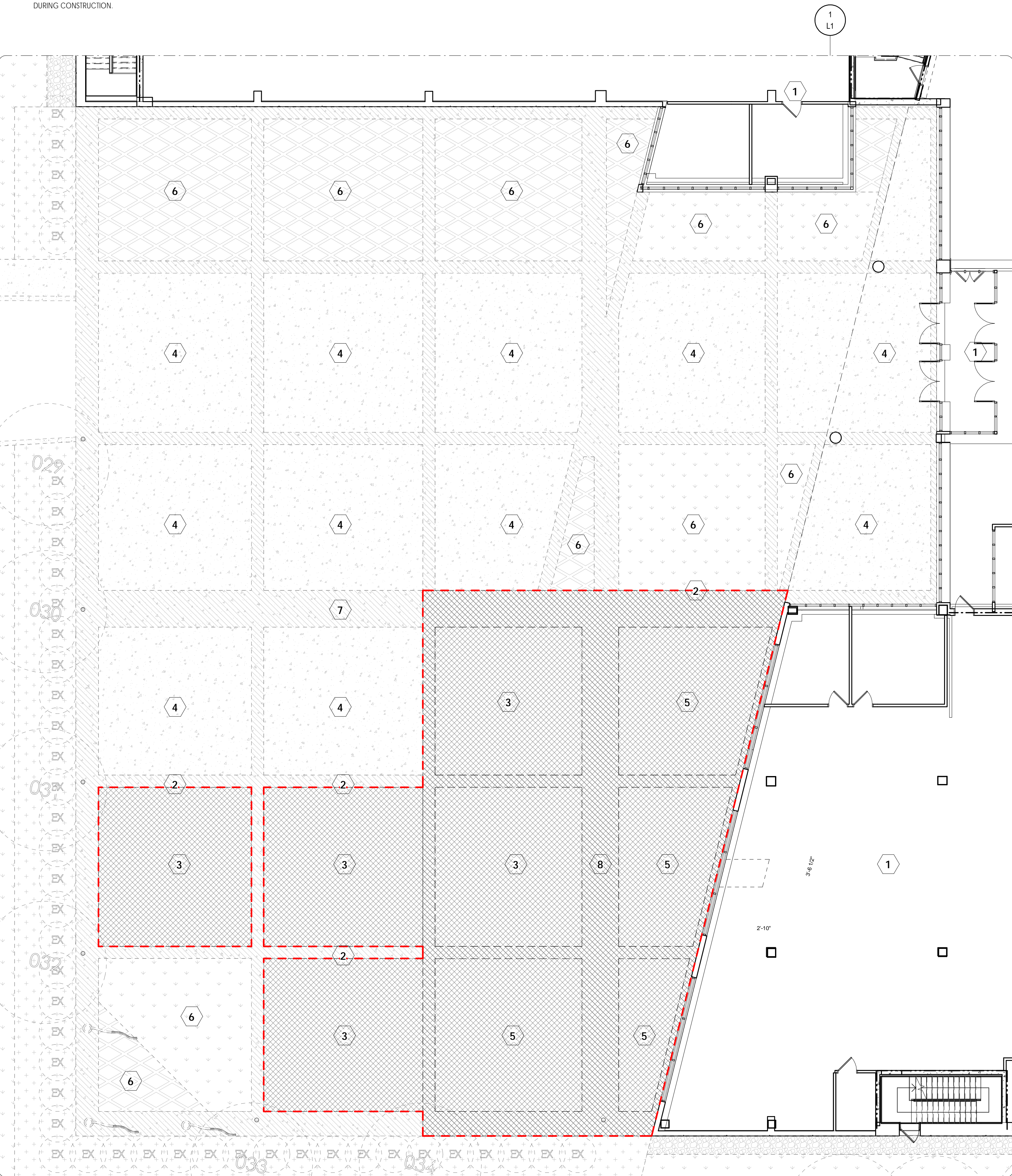
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MAIN ENTRY AND PAVILION DEMOLITION CODED NOTES

- 1 EASE LOGISTICS SERVICE, LLC. BUILDING
- 2 DASHED RED LINE INDICATES EXISTING AREA TO BE DISTURBED.
- 3 EXISTING CONCRETE PAVING TO BE REMOVED COMPLETE.
- 4 EXISTING CONCRETE PAVING. PRESERVE AND PROTECT DURING CONSTRUCTION. PRESERVE AND PROTECT. REPAIR AND REPLACE AS NEEDED.
- 5 EXISTING LAWN PANEL TO BE REMOVED COMPLETE.
- 6 EXISTING PLANTING PANEL. PRESERVE AND PROTECT SOILS AND PLANTINGS DURING CONSTRUCTION. DO NOT STOCKPILE EQUIPMENT OR MATERIALS AND DISTURB SOILS DURING CONSTRUCTION.

MAIN ENTRY AND PAVILION DEMOLITION CODED NOTES

- 7 EXISTING CONCRETE PAVING GRID BETWEEN PANELS TYPICAL. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGED PAVING AS NEEDED DURING CONSTRUCTION. NEW CONCRETE PAVING TO MATCH EXISTING.
- 8 EXISTING CONCRETE PAVING GRID BETWEEN PANELS TYPICAL. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGED PAVING AS NEEDED DURING CONSTRUCTION. NEW CONCRETE PAVING TO MATCH EXISTING.



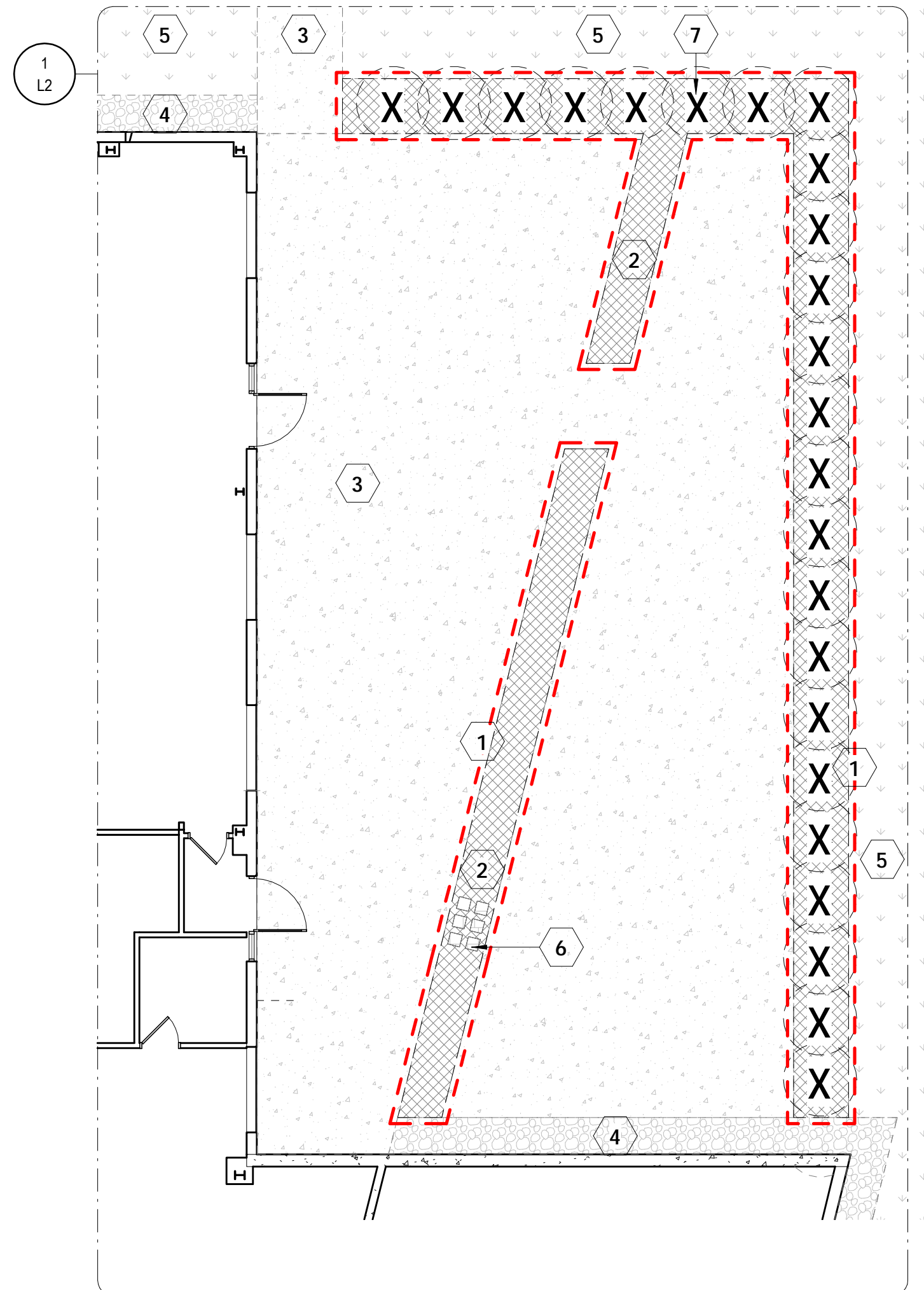
1 MAIN ENTRY AND PAVILION DEMOLITION ENLARGEMENT PLAN
1" = 10'-0"



EXISTING SITE PHOTO SHOWING SIX (6) CONCRETE UNIT PAVERS TO BE REUSED IN SAME LOCATION AND RELAYED IN SAME PATTERN LAYOUT DURING CONSTRUCTION. PRESERVE AND PROTECT DURING DEMOLITION. REMOVE WASHED RIVER ROCK AGGREGATE BETWEEN PAVERS AND PAVER BASE COMPLETE.

EMPLOYEE PATIO DEMOLITION CODED NOTES

- 1 DASHED RED LINE INDICATES EXISTING AREA TO BE DISTURBED.
- 2 REMOVE EXISTING PLANTINGS, MULCH, SOILS, AND PAVER BASE MATERIAL COMPLETE.
- 3 EXISTING CONCRETE PAVING. PRESERVE AND PROTECT DURING CONSTRUCTION. PRESERVE AND PROTECT. REPAIR AND REPLACE AS NEEDED.
- 4 EXISTING AGGREGATE BANDING TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION. REPAIR AND REPLACE IF DAMAGED DURING CONSTRUCTION.
- 5 LAWN AREA TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION. REPAIR AND REPLACE IF DAMAGED DURING CONSTRUCTION.
- 6 PRESERVE AND PROTECT 6 CONCRETE UNIT PAVERS DURING DEMOLITION TO BE REUSED IN SAME LOCATION DURING SITE REWORK.
- 7 "X" INDICATES SHRUBS TO BE REMOVED COMPLETE. SEE SHEET L7 FOR REPLACEMENT.



2 EMPLOYEE PATIO DEMOLITION ENLARGEMENT PLAN
1" = 10'-0"

KEY PLAN
SCALE: NTS
SCALE: 1" = 10'-0"

EASE LOGISTICS
SITE DESIGN

PROJECT ADDRESS
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**SITE DEMOLITION
ENLARGEMENT PLANS**

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MAIN ENTRY AND PAVILION CODED NOTES

- 1 EASE LOGISTICS SERVICE, LLC. BUILDING
- 2 NEW OVERHEAD PAVILION. SEE ARCHITECTURAL DRAWINGS.
- 3 PROPOSED LAWN PANEL. REPLACE WITH 6" OF PLANTING MIX ON TOP OF 4" ROTIOLLED SUBGRADE.
- 4 NEW MAIN ENTRY OVERHEAD CANOPY. SEE ARCHITECTURAL DRAWINGS.
- 5 MAINTAIN EXISTING PLANTING PANEL. PRESERVE AND PROTECT SOILS AND PLANTINGS DURING CONSTRUCTION. DO NOT STOCKPILE EQUIPMENT OR MATERIALS AND DISTURB SOILS DURING CONSTRUCTION.
- 6 MAINTAIN EXISTING CONCRETE PAVING DURING CONSTRUCTION. PRESERVE AND PROTECT. REPAIR AND REPLACE AS NEEDED.

MAIN ENTRY AND PAVILION CODED NOTES

- 7 PROPOSED CONCRETE PANEL. DEMO COMPLETE LAWN AND SOIL PANEL. REPLACE WITH 4" CONCRETE PAVING OVER TOP OF 6" COMPACTED AGGREGATE BASE.
- 8 PROPOSED CONCRETE PANEL. DEMO EXISTING CONCRETE PAVING AND BASE. COMPLETE. REPLACE WITH 4" CONCRETE PAVING AND 6" COMPACTED AGGREGATE BASE.
- 9 MAINTAIN EXISTING CONCRETE PAVING GRID BETWEEN PANELS TYPICAL. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGED PAVING AS NEEDED. NEW PAVING TO MATCH EXISTING.
- 10 CORTEN STEEL PLANTER WITH INTEGRATED LED FIXTURE AT BASE. SEE MEP DRAWINGS.
- 11 EXISTING SHRUBS TO REMAIN.



CORTEN STEEL PLANTER BASIS OF DESIGN:

- MANUFACTURER: ID CREATED
- PRODUCT: TALL CUBE - TONE WICK - CORTEN STEEL
- SIZE: 27" LENGTH X 27" WIDTH X 28" HEIGHT
- ANTI-WASHOUT TREATMENT
- CONTACT: SPRUCE AND GANDER
- MARK ANDERSON
- C: (760) 613.6262
- E: MARK@SPRUCEANDGANDER.COM



CORTEN STEEL PLANTER ALTERNATE:

- MANUFACTURER: YARD COUTURE
- PRODUCT: METAL LED PLANTERS - CORTEN STEEL
- SIZE: 27" LENGTH X 27" WIDTH X 28" HEIGHT
- CONTACT: YARD COUTURE
- C: (385) 743-9273
- E: KARSTEN@YARDCOUTURE.COM
- YARD COUTURE
- 3947 S MILL FARM LN
- MILL CREEK, UTAH 84107

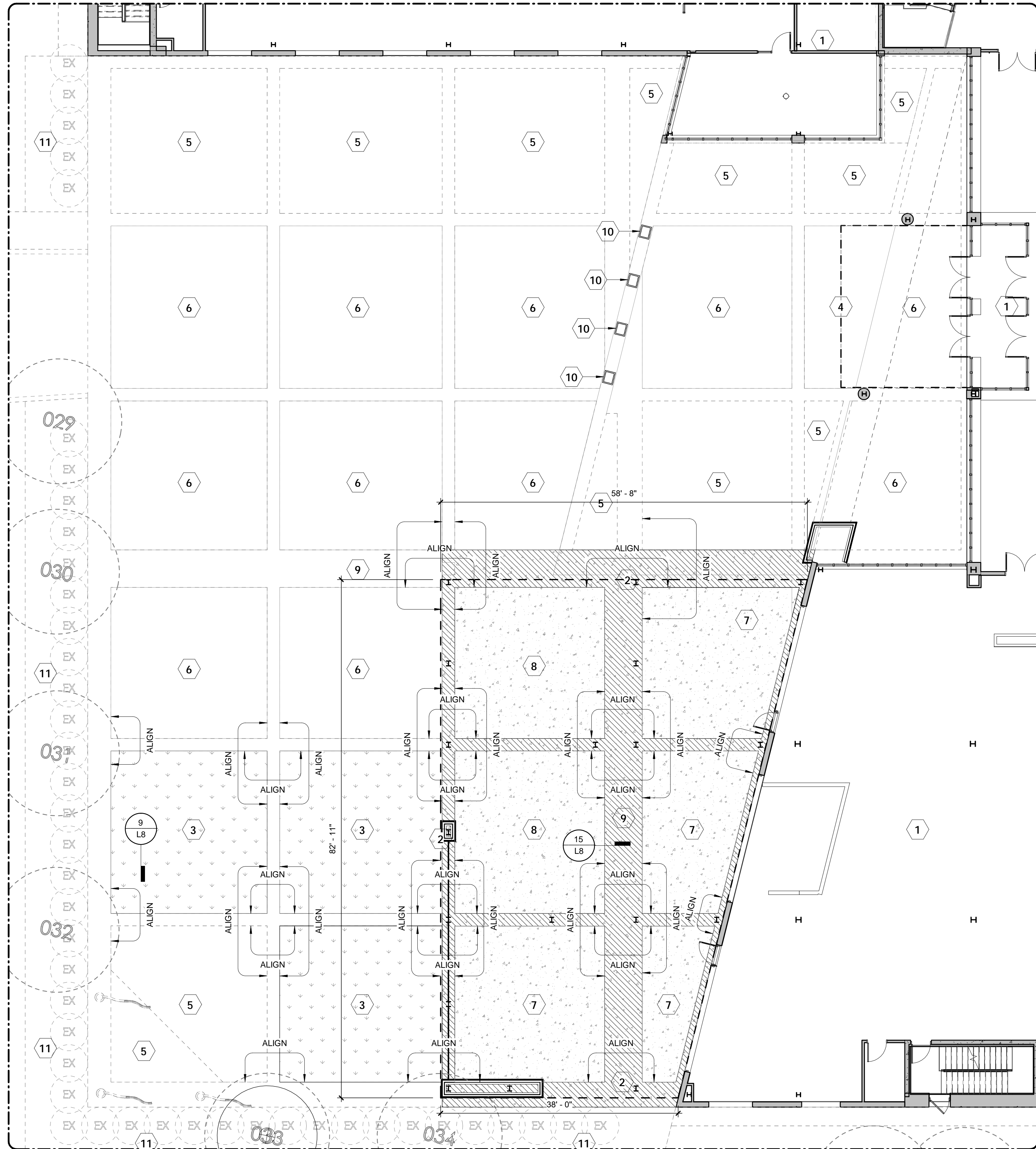
EMPLOYEE PATIO CODED NOTES

- 1 MEXICAN PEBBLE BAND. INSTALL FLUSH VERTICALLY TO EXISTING CONCRETE PAVING AROUND, TYPICAL.
- 2 EXISTING CONCRETE PAVING. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AS NEEDED.
- 3 EXISTING LAWN AREA. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AS NEEDED. DO NOT STOCKPILE CONSTRUCTION EQUIPMENT IN THIS ZONE.
- 4 EXISTING AGGREGATE BAND. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR / REPLACE AS NEEDED.
- 5 PLANTING MIX TO BE 18" DEPTH.
- 6 STAINLESS STEEL PAVER RETENTION ANGLE.
- 7 PRESERVED EXISTING CONCRETE UNIT PAVERS TO BE IN THE SAME LOCATION AND PATTERN AS THE EXISTING DESIGN. INFILL 6" GAPS WITH MEXICAN PEBBLES, TYP.
- 8 REPLACEMENT SHRUBS.



MEXICAN PEBBLE BASIS OF DESIGN:

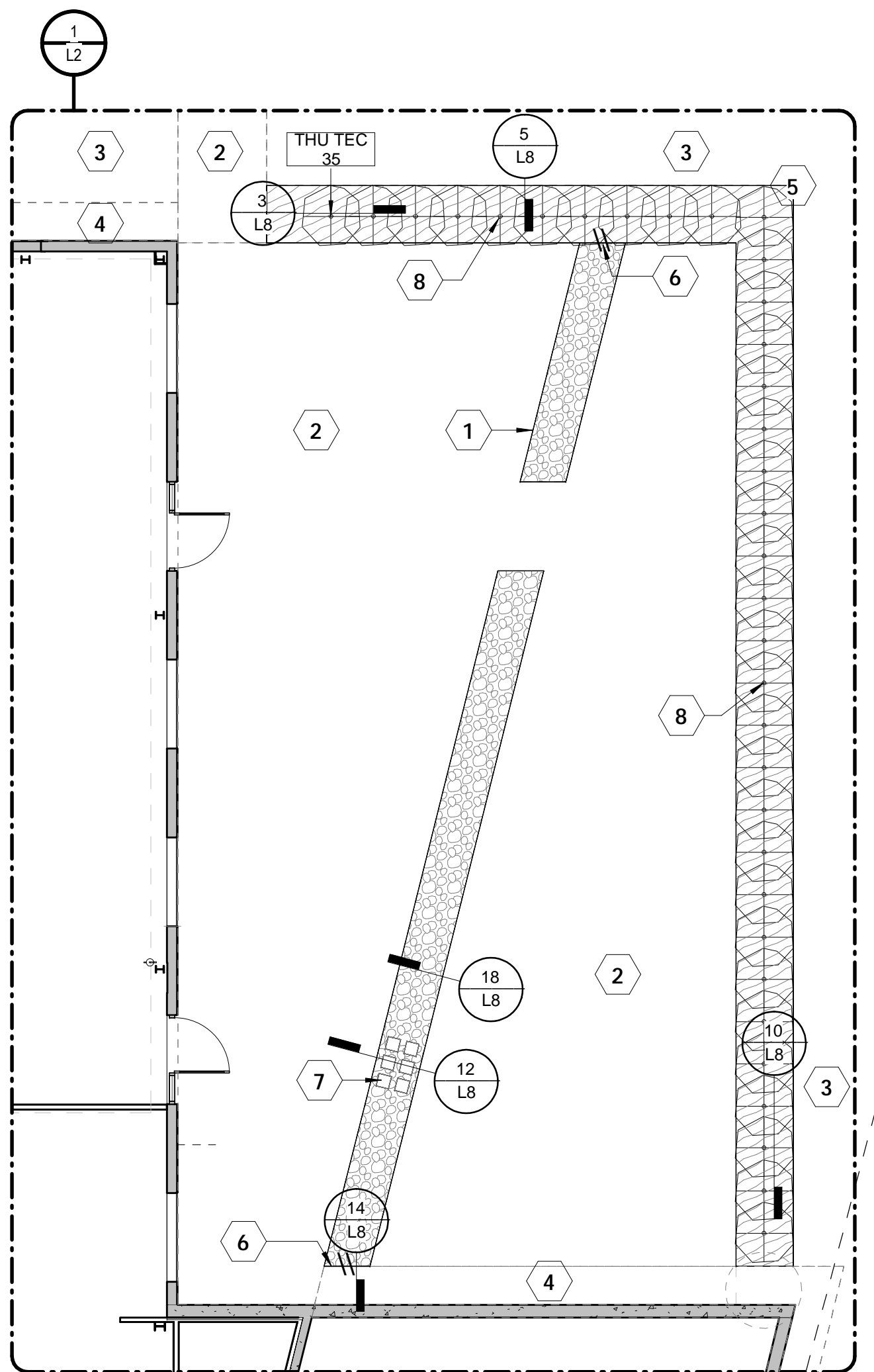
- MANUFACTURER: LANG STONE
- PRODUCT: MEXICAN PEBBLE
- COLOR: BLACK AND GREY
- SIZE: 3" - 5"
- CONTACT: LANG STONE
- P: 614-228-5489
- 707 SHORT ST., COLUMBUS, OH 43215



1 MAIN ENTRY AND PAVILION ENLARGEMENT PLAN
1" = 10'-0"

EMPLOYEE ENTRY ENLARGEMENT PLANT SCHEDULE

Plant Code	Botanical Name	Common Name	Size	Container	Count
Shrubs					
THU TEC	Thuja occidentalis 'Techny'	Techny Arborvitae	#5	Cont.	35



2 EMPLOYEE ENTRY ENLARGEMENT PLAN
1" = 10'-0"

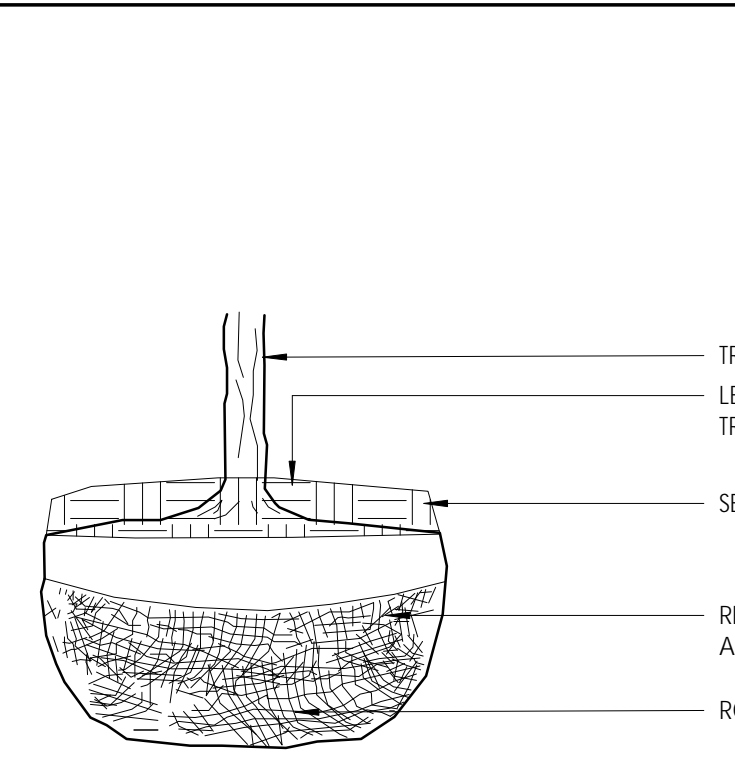
GENERAL NOTES - LAYOUT & JOINTING:

1. ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON DRAWINGS.
3. ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
4. UNLESS INDICATED OTHERWISE, ALL WALKWAYS AND HARDSCAPE ABOUT AT 90 DEGREE ANGLES.
5. UTILITIES ARE NOT SHOWN.
6. THE LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE A/E.
7. EACH CONTRACTOR SHALL NOTIFY THE A/E IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
8. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE A/E WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
9. WORK SHOWN IS BASED ON A GIS SURVEY PROVIDED BY WSA.
10. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING ENTRANCE ELEVATIONS.
11. FOR SITE FURNISHINGS REFER TO SPECIFICATIONS.
12. COLUMN JOINTING TO BE BY THE RECOMMENDATION OF THE STRUCTURAL ENGINEER.
13. LAYOUT OF BOULDER OUTCROPPINGS FOR DESIGN INTENT ONLY. FINAL LAYOUT TO BE APPROVED IN THE FIELD W/ OWNER AND LANDSCAPE ARCHITECT.

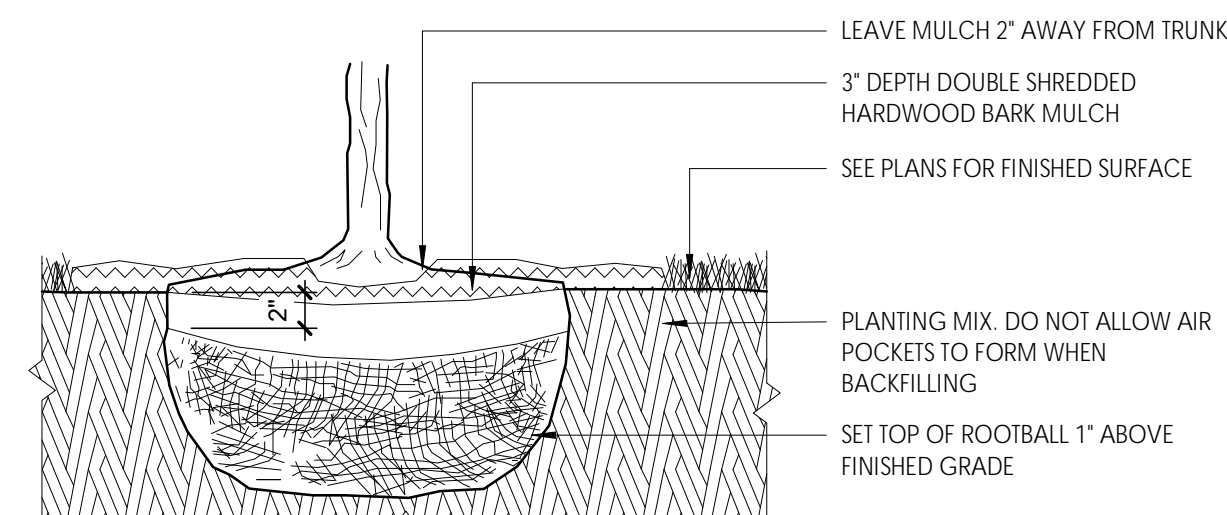
GENERAL NOTES - SOILS:

1. HATCHING ON THIS PLAN IS INTENDED TO SHOW THE DIFFERENT SOIL TYPES AND DEPTHS AND SHOULD NOT BE CONFUSED WITH THE HATCHES SHOWN ON THE MATERIALS AND/OR PLANTING PLANS.
2. SEE SITE SURVEY FOR EXISTING GRADE CONDITIONS AND BENCH MARK INFORMATION.
3. DO NOT FILL OVER EXISTING TREE ROOT ZONES DEFINED BY THE TREE'S DRIP LINE TYPICAL.
4. TOPSOIL STRIPPED FROM SITE AND REDISTRIBUTED MUST BE CLEANED AND AMENDED TO MEET THE DEFINITION OF TOPSOIL IN THE SPECIFICATIONS AND TEST TO PROVE COMPLIANCE WITH THE SPECIFICATIONS BEFORE THE SOIL WILL BE ACCEPTED FOR REDISTRIBUTION.
5. PREPARE TRANSITION ZONE ABOVE SUBSOIL IN TURF BED AND TREE PLANTING AREAS AS DESCRIBED IN THE SPECIFICATIONS AND SHOWN IN THE DETAILS.
6. ALL AREAS WITHIN GRADING LIMITS OR DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT SHOWN TO RECEIVE IMPORTED SOIL ON THIS PLAN SHALL RECEIVE CLEAN AMENDED TOPSOIL AND BE SEEDED OR SODDED PER THE SPECIFICATIONS.
7. TOPSOIL DEPTH INDICATED IS THE FINAL DEPTH REQUIRED. COMPENSATE FOR SETTLING AND COMPACTION AS NECESSARY. REFER TO SPECIFICATIONS.
8. OVER EXCAVATE AS NECESSARY TO PROVIDE REQUIRED DEPTH OF SOIL.
9. REFER TO THE SPECIFICATIONS FOR MORE INFORMATION ON SOIL AMENDMENTS AND SOIL MIXES.
10. RIP, SCARIFY SUB-GRADE. COMPACT SOILS IN 6" LIFTS TO 85% PROCTOR.
11. REFER TO CIVIL ENGINEER'S PLANS FOR YARD DRAINS AND UNDERDRAIN TYPES.
12. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING OR ADJACENT TO EXISTING PAVEMENTS ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING OR SLAB U.N.O.
13. INSURE POSITIVE DRAINAGE ACROSS ALL FINISH GRADED SURFACES.
14. SEE REPORT OF SUBSURFACE EXPLORATION AND FOUNDATION RECOMMENDATIONS IF AVAILABLE. FOR ADDITIONAL REQUIREMENTS OF GRADING OPERATIONS.
15. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING INLET PROTECTION FOR ALL DRAIN INLETS WITHIN THE LIMITS OF GRADING.
16. ALL AREAS DISTURBED BY GRADING OPERATIONS OUTSIDE BUILDING AND PAVEMENT AREAS ARE TO BE FINE GRADED AND SEEDED. SEE CIVIL PLANS AND SPECIFICATIONS.
17. FOR ALL IMPORTED TOPSOIL TYPES. SUBMIT SOIL TEST ANALYSIS REPORT FOR EACH SAMPLE OF ALL TOPSOIL AND ENSURE CONFORMANCE TO THE GENERAL NOTES. SUBMIT SAMPLES OF ANY TOPSOIL TYPES FOR TESTING AT LEAST 8 WEEKS BEFORE SCHEDULED PLACEMENT OR MIXING OF PLANTING SOIL MIXES. IF TEST FAIL TO MEET WHAT IS REQUIRED OBTAIN OTHER SOURCES OF MATERIAL. TEST AND RESUBMIT UNTIL ACCEPTED BY LANDSCAPE ARCHITECT.
18. FOR ALL AMENDED SOIL TYPES. SUBMIT SOIL TEST ANALYSIS REPORT FOR ALL AMENDED AREAS AT LEAST 8 WEEKS BEFORE SCHEDULED PLACEMENT OR MIXING OF PLANTING SOIL MIX FOR EACH SAMPLE. PROVIDE TEST TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SOIL TESTS INDICATE A HIGH PH ABOVE 7.5 PLANT SUBSTITUTIONS MUST BE MADE AS INDICATED ON THE PLANT SCHEDULES.

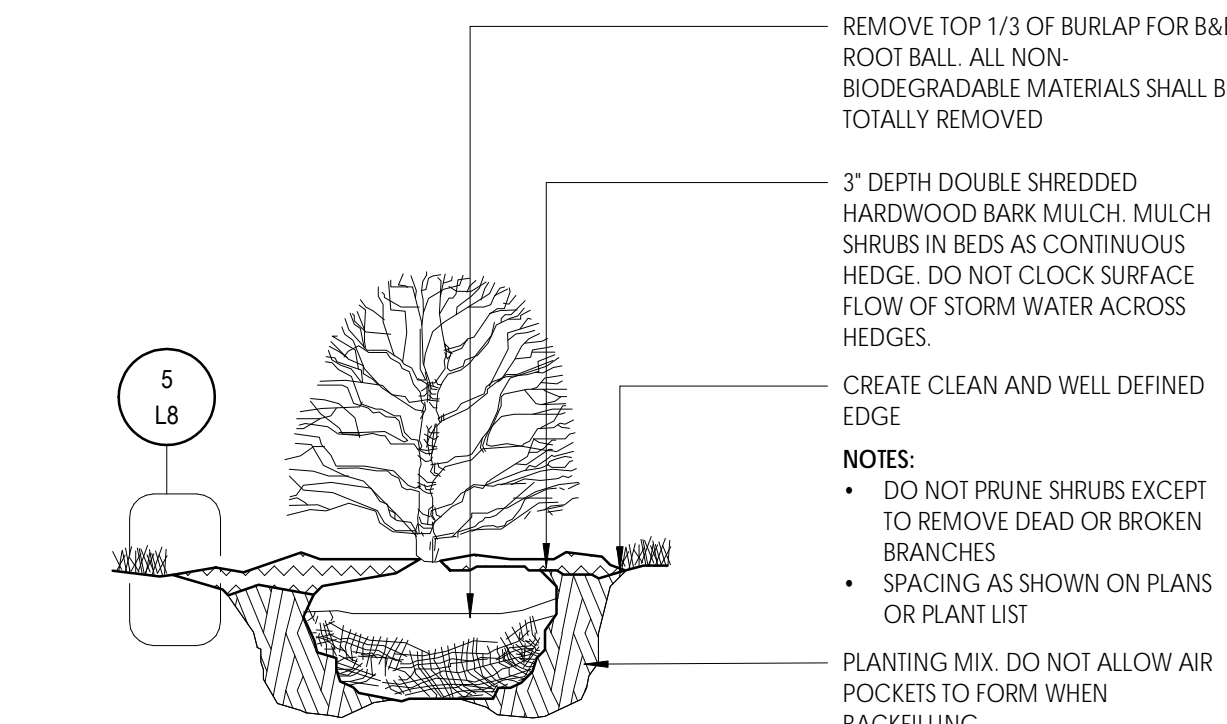
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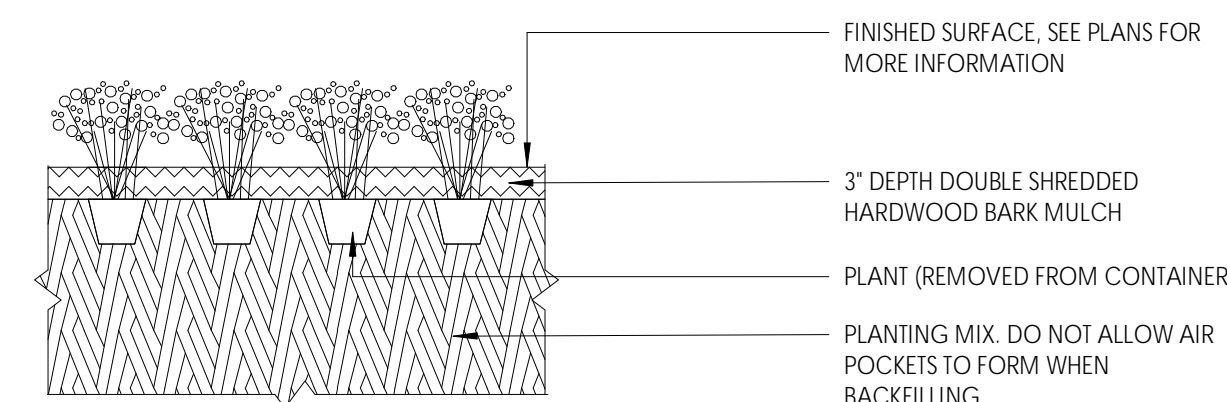
1 TREE ROOTBALL SETTING
1" = 1'-0"



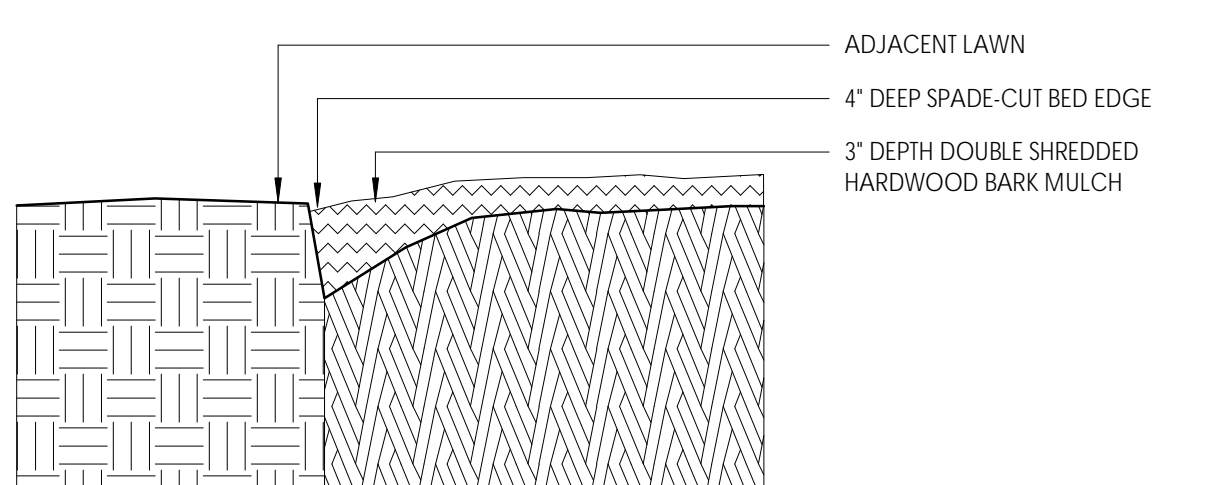
2 TREE ROOTBALL PREPARATION
1" = 1'-0"



3 SHRUB - TOPSOIL
1" = 1'-0"



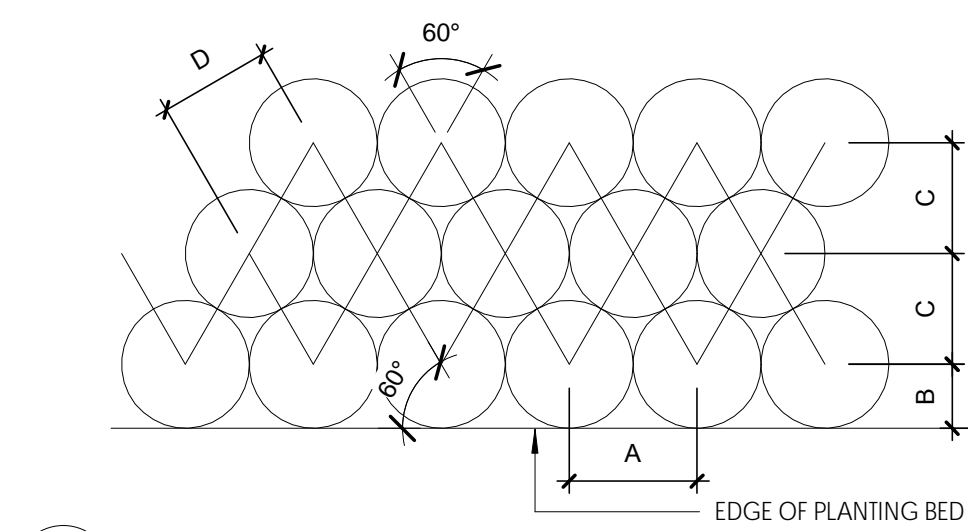
4 GROUNDCOVER / PERENNIAL PLANTING BED
1" = 1'-0"



5 PLANTING BED EDGE
6" = 1'-0"

SPACING A B C D
12' 12' 6" 10' 12'
15' 15' 7.5' 12.5' 15'
18' 18' 9' 15' 18'
24' 24' 12' 20' 24'
36' 36' 18' 30' 36'
48' 48' 24' 40' 48'

A = SPACING
B = SPACING / 2
C = SPACING / 1.2
D = SPACING



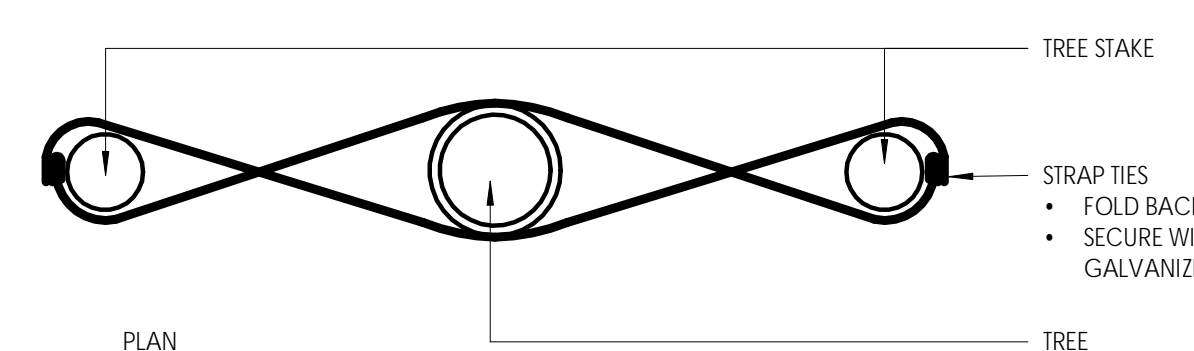
6 TRIANGULAR PLANT SPACING
1" = 1'-0"

SPACING OF PLANT	NO. OF PLANTS PER SQ. FOOT	AREA OF PLANT COVER	NO. OF PLANTS PER 100 SQ. FEET	NO. OF PLANTS PER 1,000 SQ. FEET
6"	4	1/4 SQ. FT.	400	4,000
8"	2	1/2 SQ. FT.	200	2,000
12"	1	1 SQ. FT.	100	1,000
15"	2/3	1 1/2 SQ. FT.	66	660
18"	1/2	2 SQ. FT.	50	500
24"	1/4	4 SQ. FT.	25	250
30"	1/6	6 1/4 SQ. FT.	16	160
36"	1/8	9 SQ. FT.	11	110
48"	1/16	16 SQ. FT.	6	60

7 PLANT SPACING CALCULATIONS PER AREA
1" = 1'-0"

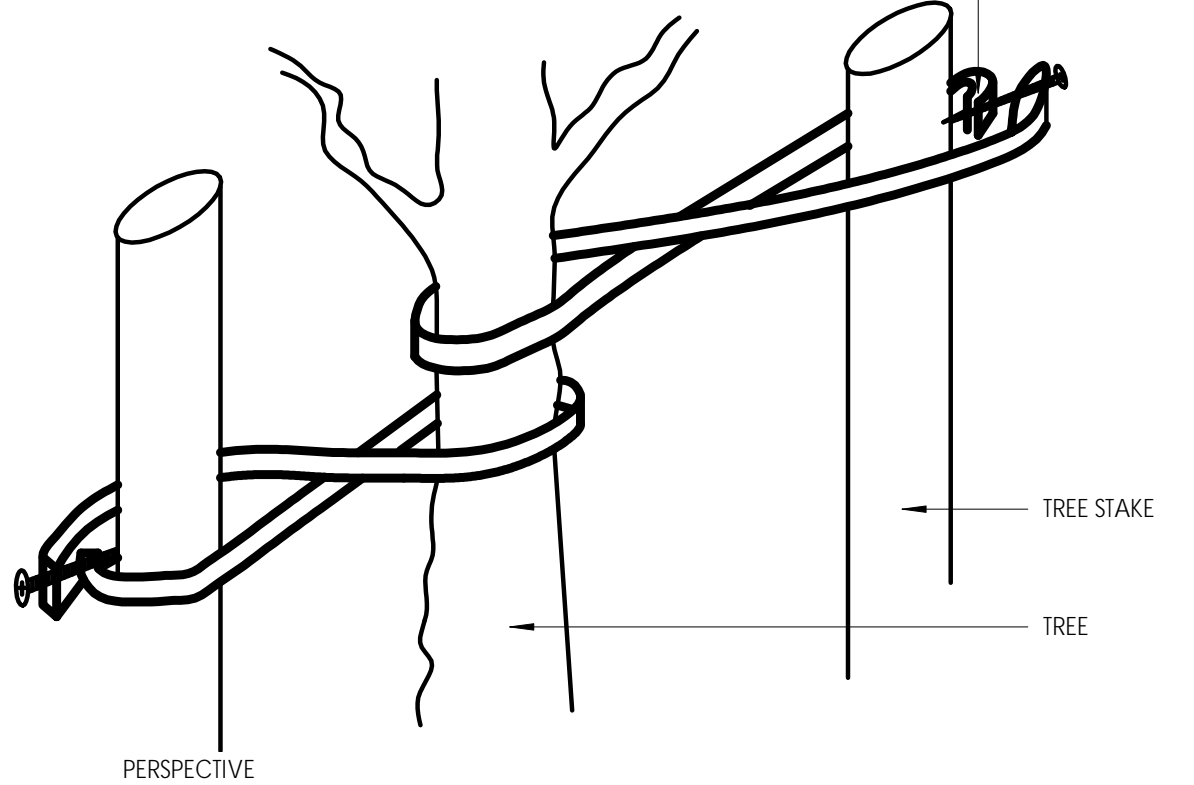
SCHEDULES:

SIZE:	STAKING / GUYING	MULCH SAUCER DIMENSION (NON-PLANTING BED AREAS)
2" CAL. & SMALLER	DOUBLE STAKE	4" DIA.
BETWEEN 2.5" - 3.5" CAL.	TRIPLE STAKE	5" DIA.
4" CAL. - 6" CAL.	TRIPLE GUY	MIN. 8" DIA.

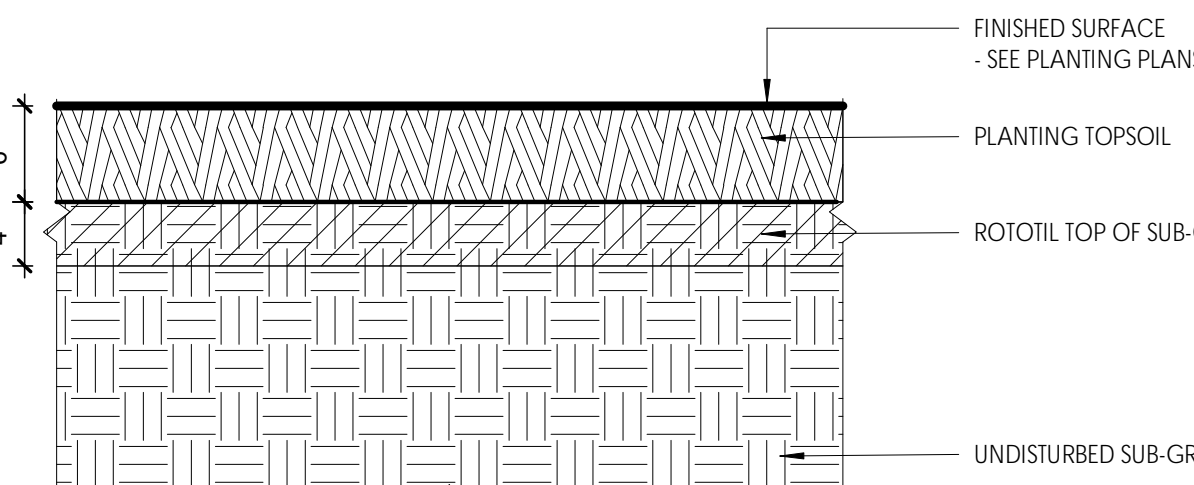


NOTES:

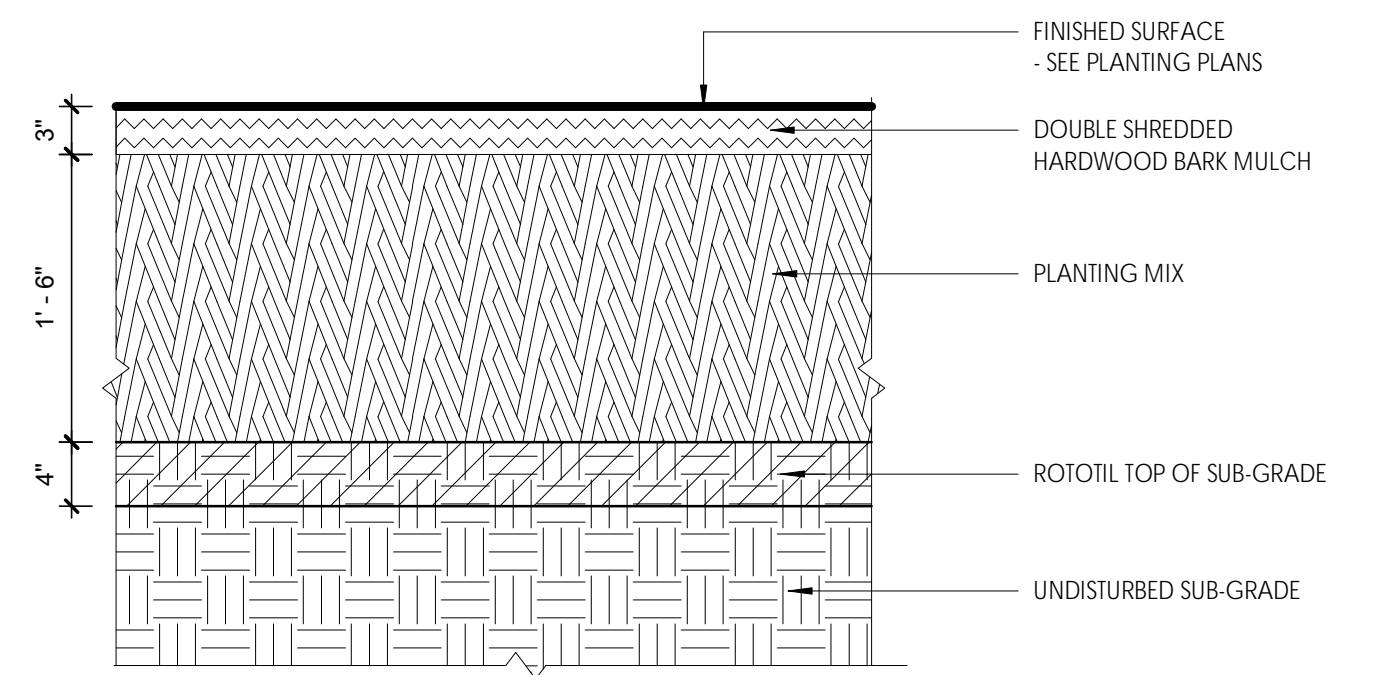
- ORIENT STAKING / GUYING TO PREVAILING WINDS AND SLOPES. EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.
- USE SAME STAKING / GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.



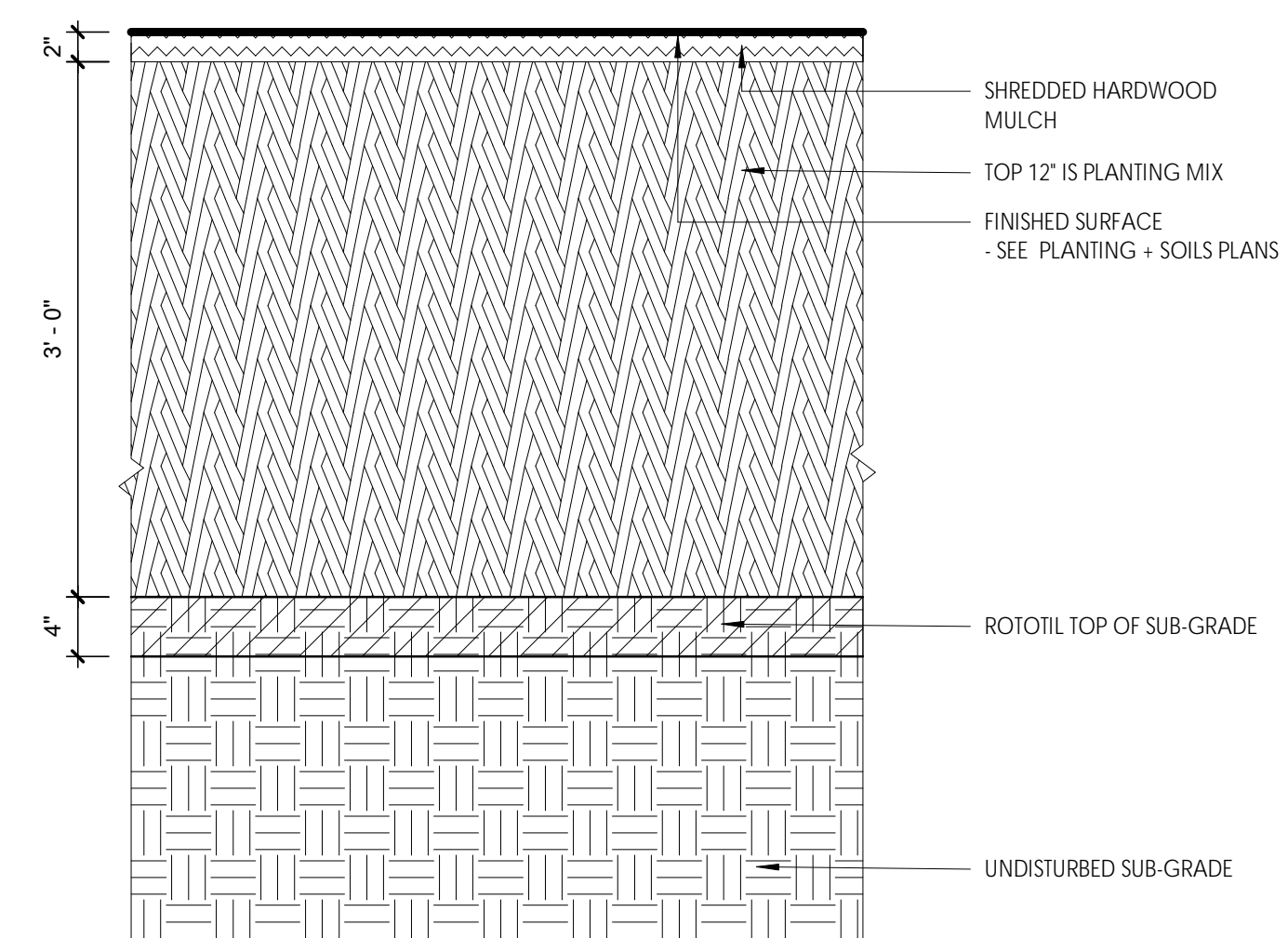
8 TREE STAKING ARBOR TIES
1" = 1'-0"



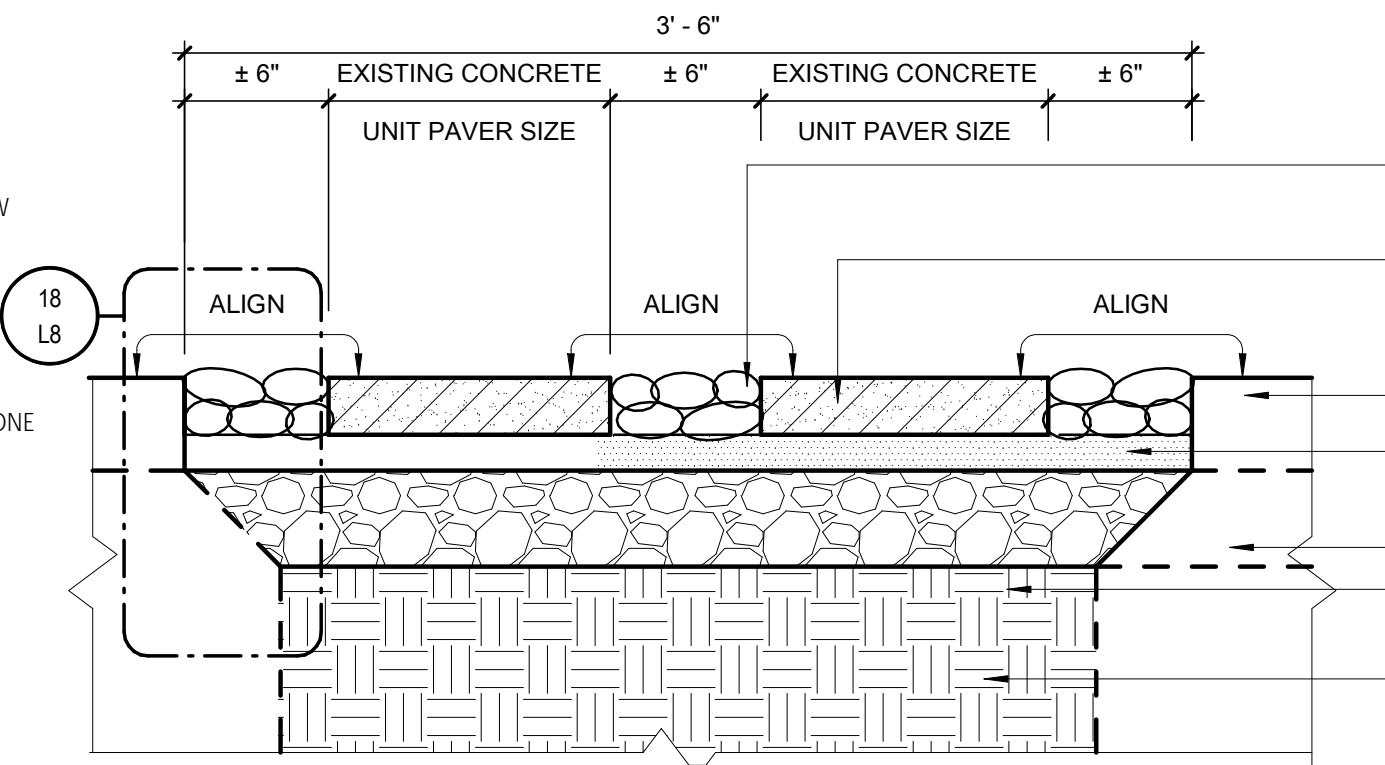
9 SOIL PROFILE - DEPTH 6"
1" = 1'-0"



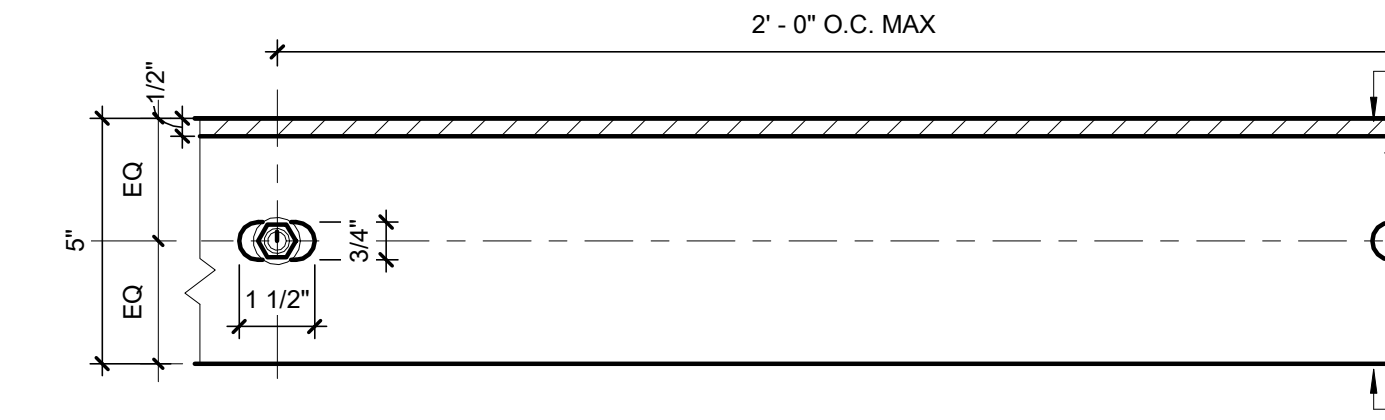
10 SOIL PROFILE - DEPTH 18"
1" = 1'-0"



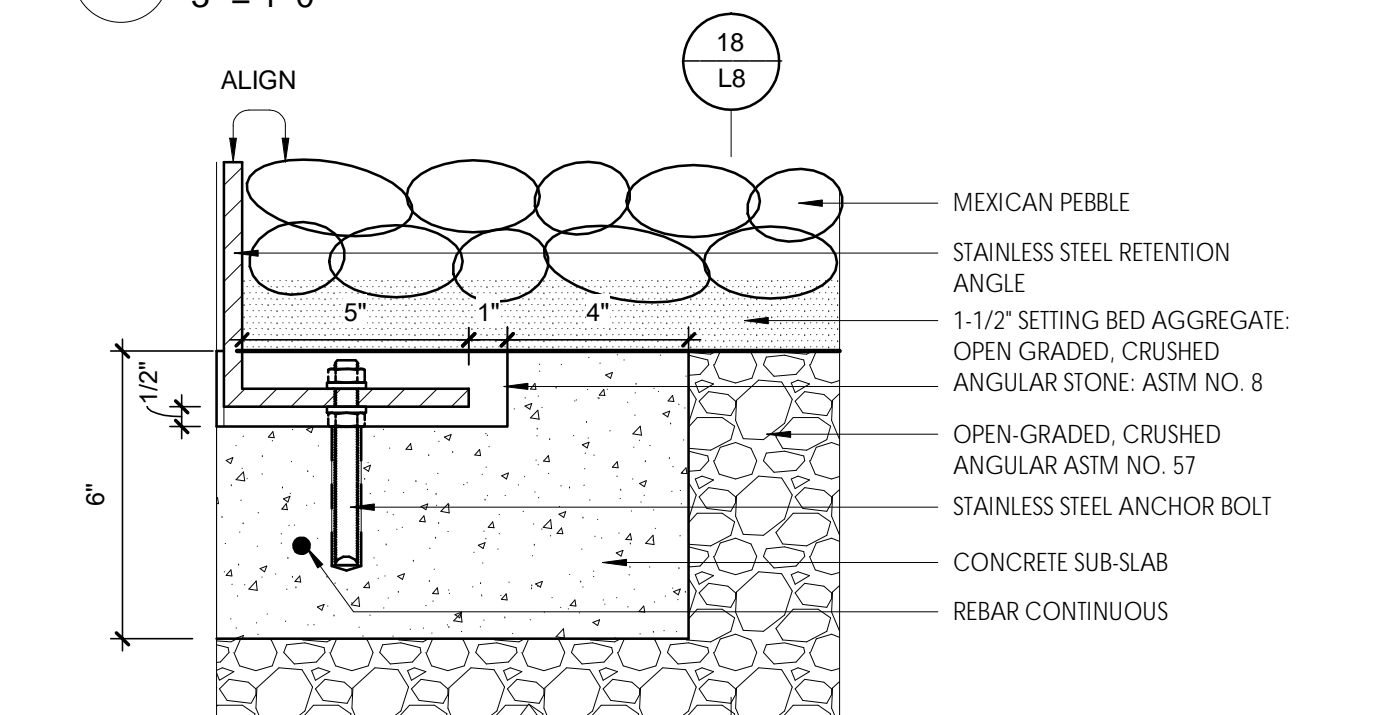
11 SOIL PROFILE - DEPTH 36"
1" = 1'-0"



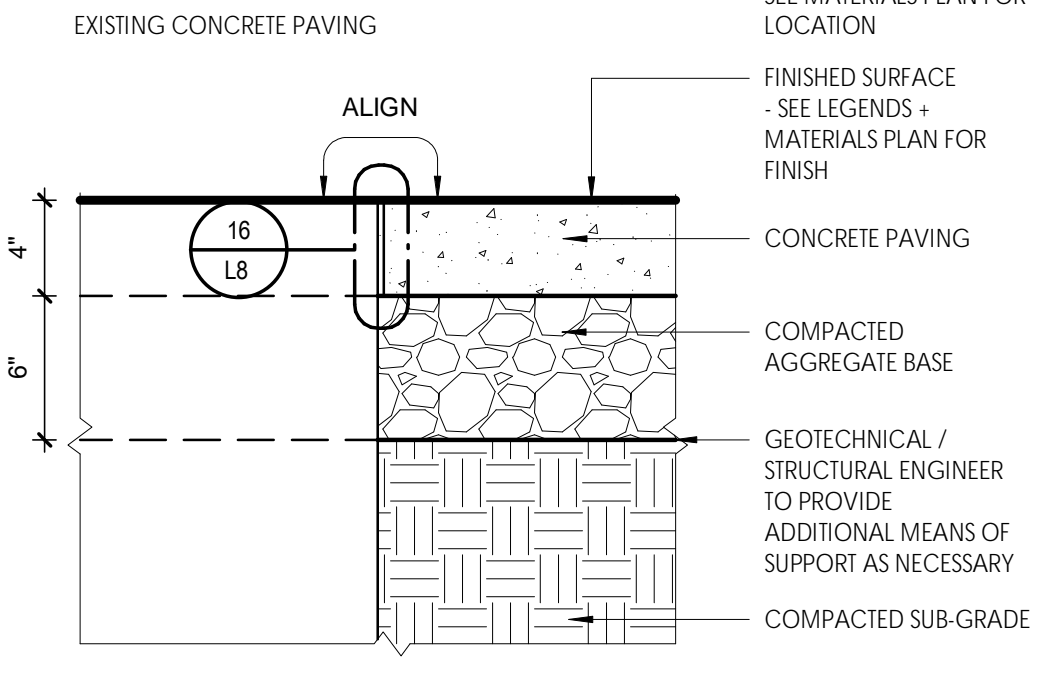
12 EXISTING CONCRETE UNIT PAVERS @ EXISTING CONCRETE PAVING
1 1/2" = 1'-0"



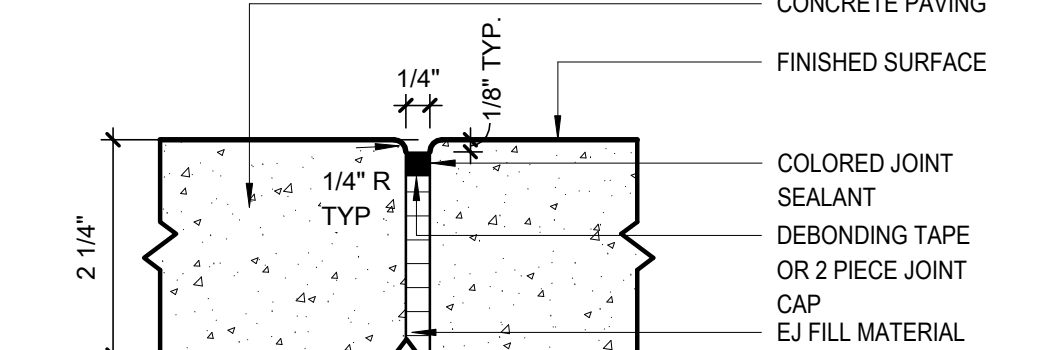
13 RETENTION ANGLE PLAN DETAIL
3" = 1'-0"



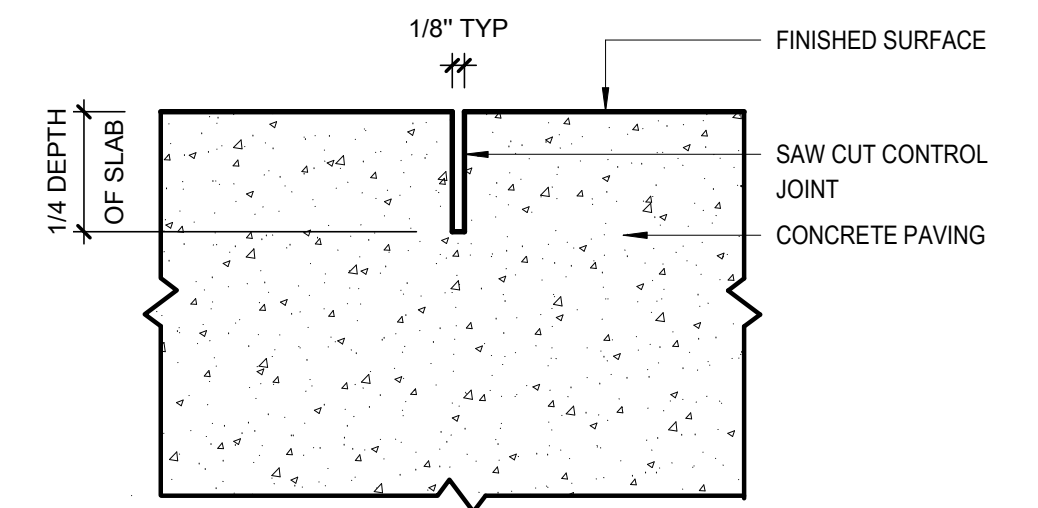
14 RETENTION ANGLE DETAIL
3" = 1'-0"



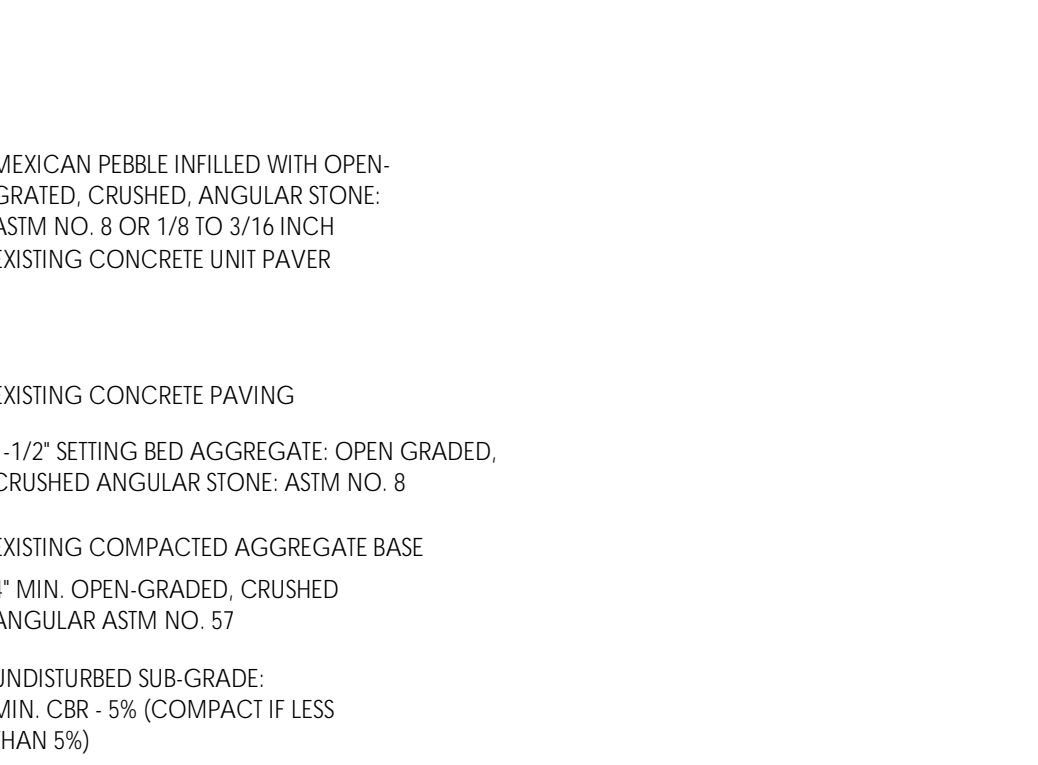
15 CONCRETE - PEDESTRIAN NON-REINFORCED PAVING
1 1/2" = 1'-0"



16 EXPANSION JOINT - SEALANT - 1/4"
6" = 1'-0"



17 CONCRETE - SAW CUT CONTROL JOINT
6" = 1'-0"



18 MEXICAN PEBBLE @ EXISTING CONCRETE PAVING
3" = 1'-0"

GENERAL NOTES - PLANTING:

- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE GENERAL SITE CONDITIONS AND VERIFY THE SUB-GRADE, ELEVATIONS, UTILITY LOCATIONS AND TOPSOIL QUALITY AND DEPTHS PROVIDED BY GENERAL CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- EACH CONTRACTOR IS TO VERIFY WITH THE OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SUBSTITUTIONS SHALL ONLY BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM THE OWNER. SUBSTITUTED MATERIAL SHALL BE EQUIVALENT OR GREATER IN SIZE THAN THE SPECIFIED PLANT. SUBSTITUTED PLANTS SHALL HAVE THE SAME ESSENTIAL CHARACTERISTICS AND GROWTH HABIT OF THE SPECIFIED PLANT.
- CONFIRM LOCATION OF ALL UTILITIES AND SUB-SURFACE DRAIN LINES PRIOR TO PLANT INSTALLATION.
- A PRE-INSTALLATION CONFERENCE SHALL BE CONDUCTED PRIOR TO PLANTING OPERATIONS WITH OWNER AND CONTRACTOR PRESENT.
- CONTRACTOR MAY SLIGHTLY FIELD ADJUST PLANT LOCATIONS AS NECESSARY TO AVOID UTILITIES.
- FINISHED LAWN AREAS AND PLANTING BEDS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.
- IRRIGATION SYSTEM, SHALL BE COMPLETE AND OPERATIONAL PRIOR TO LANDSCAPE PLANTING.
- FIELD LOCATE ALL PLANTINGS W/ APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL REPAIR ALL LAWN AREAS DISTURBED DURING CONSTRUCTION WITH SEED AND WARRANT A HEALTHY, WEED FREE LAWN PRIOR TO PROJECT ACCEPTANCE. REPAIR DAMAGES TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR COST OF REPAIRS TO EXISTING CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR DAMAGES TO THE SATISFACTION OF THE OWNER.
- SEED ALL AREAS WITHIN CONTRACT LIMITS THAT ARE NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SEEDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED TOPSOIL AND FINISHED GRADE.
- MULCH PLANTING BEDS WITH DOUBLE SHREDDED HARDWOOD BARK MULCH OF UNIFORM NATURAL BROWN COLOR. IT SHALL BE FREE OF TWIGS, LEAVES, DISEASE, PEST OR OTHER MATERIAL UNSIGHTLY OR INJURIOUS TO PLANTS. AVERAGE APPLIED THICKNESS SHALL BE 3" DEPTH. MULCH HEDGES IN A CONTINUOUS BED.
- PLANTING BEDS SHALL BE COVERED WITH PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
- RED EDGE SHALL BE SMOOTH, CONSISTENT, HAND TRENCHED 4" DEEP AND 1/2" SHAPED UNLESS OTHERWISE NOTED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
- ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS OR STRAIGHT LINES AS SHOWN ON PLAN. PLANT LOCATIONS AND LAYOUT OF BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL ALL PLANTS IN ACCORDANCE WITH PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- PARKING LOT AND STREET TREES SHALL HAVE A CLEAR CANOPY HEIGHT OF 6' MIN.
- TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS AND CURBS.
- MIX MYCORRHIZAL FUNGI INTO PLANTING MIX DURING PLACEMENT OF PLANTING MIX. APPLICATION RATE SHALL BE ACCORDING TO MANUFACTURER'S WRITTEN RECOMMENDATIONS. MYCORRHIZAL FUNGI SHALL BE A DRY, GRANULAR INOCULANT CONTAINING VESICULAR ARBUSCULAR MYCORRHIZAL FUNGI AND ECTOMYCORRHIZAL FUNGI.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH CONTROLLED RELEASE TABLETS OF 20-10-5 COMPOSITION. SIZE AND NUMBER OF TABLETS SHALL BE PER MANUFACTURER'S INSTRUCTIONS.
- COMPOSITION AND APPLICATION RATE OF LAWN FERTILIZER SHALL BE SUFFICIENT TO AMEND SOIL ACCORDING TO RECOMMENDATIONS OF A QUALIFIED SOIL TESTING AGENCY. SUBMIT SOIL TEST RESULTS AND AMENDMENT RECOMMENDATIONS TO OWNER. LAWN FERTILIZER SHALL BE IN A DRY GRANULAR FORM.
- CONTRACTOR TO DETERMINE PLANT LIST QUANTITIES FROM THE PLAN. GRAPHIC REPRESENTATION ON PLAN SUPERSEDES IN CASE OF DISCREPANCY WITH QUANTITIES ON SCHEDULE.
- CONTRACTOR SHALL THOROUGHLY WATER ALL PLANTS AT TIME OF INSTALLATION AND AS NEEDED UNTIL PROJECT ACCEPTANCE BY OWNER. CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD.
- LAWN SEED MIX SHALL PROPORTIONED BY WEIGHT AS FOLLOWS: 10 PERCENT NUBLEE OR BLUE CHIP KENTUCKY BLUEGRASS; 10 PERCENT CAUDESHACK OR GOALKEEPER PERENNIAL RYEGRASS; 80 PERCENT QUEST; INFERNO; ARID 3 AND/OR PRINCE TALL FESCUE (SELECT 2); SODDED LAWNS SHALL MATCH SEEDED LAWNS. SEEDING RATE SHALL BE 8 TO 10 POUNDS PER 1000 SQUARE FEET.
- LAWN SEED SHALL NOT HAVE LESS THAN 98 PERCENT PURITY AND NOT HAVE LESS THAN 90 PERCENT GERMINATION.

DATE	DESCRIPTION

COPYRIGHT RESERVED BY WSA STUDIO. THIS DRAWING AND THE IDEAS EXPRESSED HEREIN ARE AND SHALL REMAIN THE SOLE PROPERTY OF WSA STUDIO. AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY WSA STUDIO.

Project: Type P12 - 3220 lm

Location: _____

Fixture Type: _____

Catalog Number: _____

AVAILABLE FINISHES: _____

Myla

PD-W24320

PRODUCT DESCRIPTION

Canopy and quality power fixture to good, both inside and out. An elegant modern pendant with an etched glass diffuser. Perfect for outdoor kitchens and other spaces.

FEATURES

- AC/DC conversion technology
- Slope ceiling, adjustable. Hang on straight swivel up to 90 degrees
- Spin mount canopy with minimal hardware
- Three 12" and one 6" down rods included (additional sold separately)
- Both in color temperature adjustability. Switch from 3000K/3500K/4000K

SPECIFICATIONS

Rated Life: 50000 hours

Standards: ETL, cUL, Wet Location Listed, Title 24 JAB: 2019 Compliant

Input: 120V AC, 50/60Hz

Powering: ELV-100-5A (TRAC): 100-10A

Color Temp: 3000K, 3500K, 4000K

CRI: 90

Construction: Aluminum spun body with bent glass diffuser

REPLACEMENT PARTS

ROD-466-PC1507-BK - 6" Rod - BK finish
ROD-413-PC1507-BK - 12" Rod - BK finish
ROD-423-3M - Hardware - BK finish

Model & Size | Color Temp | Finish | LED Watts | LED Lumens | Estimated Lumens

PD-W24320 20"	3000K	3 BK	60.0W	2220	2738
	3500K	3 BK	60.0W	2220	2738
	4000K	3 BK	60.0W	2220	2738

Example: PD-W24320-40-BK

For custom requests please contact customers@modernforms.com

Modern Forms | Phone: (866) 810-6613 | Fax: (800) 526-2346
Central Distribution Center: 1400 20th Street CL, Little Springs, GA 30113
Western Distribution Center: 1750 Archibald Avenue, Ontario, CA 91760

Model: Type L6-4, L6-2 - 1713 lm

Project Name: _____

Microlinea Series 3 Direct Wet Location - IP66

(Overall Width 3-17/32", Luminous Aperture 3-7/32")

ML3WL66-D IP66 Rated

Suspended, Ceiling, Recessed or Wall Mount - Wet Location 3-17/32" x 3-29/32" Direct

SPECIFICATIONS

Light Engine: LED light source available for 3000K, 3500K and 4000K CCT, in high and medium outputs.

See below and follow page for photometric data: lumen output, input power (watts), and efficiencies.

Due to continued advancement in LED technology, lumen performance is subject to change. Please visit our website for the most up-to-date information.

Canopy: All fixtures are factory pre-wired for a single circuit. Provision for multiple switching/control is optional.

Wiring: All fixtures intended for continuous use are provided with factory installed quick-connect wiring.

Mounting: All mounting components are aluminum or stainless steel. Standard finish for wall and ceiling assemblies is matte black. StormCanopy assemblies are painted to match fixture housing.

Certifications: Features an ETL listed for use in 'Wet Locations'. Ambient operating temperature rated from -30° C up to 50° C and 0° C up to 50° C with battery back-up. IP-66 rated** (IC rated (Recess Mount))

Internal Construction: All internal mechanical components, including fasteners, are aluminum or stainless steel.

Finish: Standard and custom finishes are baked powder coat electrostatically applied (2 mil minimum thickness) to ensure aesthetics and durability.

Optical Controls: (650) 100° thick, high transmittance extruded acrylic acrylic lens for max diffusion of the LED light source. Lens continuously gasketed against dust and water intrusions.

IP (Ingress Protection): 100° thick, high transmittance extruded 100% D.R. acrylic lens with tamper-resistant hardware.

Reflector/Heat Sink: .060" thick formed aluminum finished with a high reflective white baked powder coat.

Driver: Power supply is UL/CUL recognized, 120-277 universal voltage. 5ATF also available.

Sample Catalog Number: ML3WL66-D - HO - K40 - 80 - 4 - P - LOH - F01M - EF - 120 - DIM1 - OPTIONS

PH: ML3WL66-D Direct Wet Location

Lumen Output: HO - High Output - 2800 Lumens - 90 Lumens/Watt
Low Output: MO - Medium Output - 1713 Lumens - 100 Lumens/Watt
CO - Custom Output (Contact factory for available output ranges)

CCT: 3000K, 3500K, 4000K

CR: 80 (Standard), 90 (K and E)

Finish Length: F, F, K, E and E

Mounting: P - Flush Mount (3/8" x 3/8" Dia), W - Wall Mount, R - Recessed Mount, J - Ceiling Mount

MR - Mini Mount (with 6" Dia), MR - Ceiling Mount (with 6" Dia)

Direct Optical Control: LOM - LED Optic Acrylic Super Lens, MR - 100% D.R. Acrylic Lens with Tamper-Resistant Hardware

Standard Finish: F01 - Matte Black, F02 - Satin Black, F03 - Textured Black, F04 - Anodized Clear, F05 - Custom Color

Power Feed Location: EF - End Feed, TF - Top Feed (NA for Side Ceiling Mount), BF - Back Feed (For Wall Mt. with Recessed J Box)

Voltage: 120V, 277V, 480V or User Custom Voltage

Driver: 5ATF - Standard Driver, No Dimming, DIM1 - Standard Driver with Dimming, 100% to 100% to 100%

Optical: EMI - Standard Driver, 45-Deg. Ambient Temp. Rating (Available for High Output Only), F - for Larger Pendant (NA for 1" Downrod Only)

Options: EMBE - Emergency Circuit (Battery Back-up & Auxiliary), EMBE+ - Hard Wiring Emergency Battery Pack (10" Steel Rod for 1" Profiles, and 14" for 1/2" Profiles)

PH - Tamper-Resistant

Precision Architectural Lighting 4830 Timber Creek Drive Houston, Texas 77017
817.336.4433 Fax: 713.961.4411 www.palighting.com

Model: Type ER1 - 750 lm

Features & Specifications:

- CONSTRUCTION**: Galvanized steel mounting plate frame, galvanized steel junction box with bottom-angled mounting and spring lid, reflector is internally tamper-proof.
- ACCUMULATED**: 2" 30" and 12" backsets for straight through conductors. Capacity 8 AWG, 14 AWG, No. 12 THHN conductors, used for 10°C.
- ACCUMULATED**: 2" 30" post spacing.
- OPERATING**: 25°C standard, high ambient (HPTC) option available. Light engine and driver are accessible from above or below wiring.
- INSTALLATION**: 1/2" 1/2" mounting plate.
- OPTICS**: LED's are bonded to a 3-1/2" backsheet (ETPC: 80 CRI minimum, 90 CRI optional). LED light engine concealed with diffusing optics.
- GENERAL DIMENSIONS**: 1/2" 1/2" and 1/2" 1/2" used for most and some ranges. Self-flashing available in special, semi-spec, or master diffuser finishes. Also available in white and black painted finishes.
- LED'S**: LED's are bonded to a 3-1/2" backsheet (ETPC: 80 CRI minimum, 90 CRI optional).
- LED'S**: LED's are bonded to a 3-1/2" backsheet (ETPC: 80 CRI minimum, 90 CRI optional).
- LED'S**: LED's are bonded to a 3-1/2" backsheet (ETPC: 80 CRI minimum, 90 CRI optional).

LDN4 STATIC WHITE

Open Hole | Washdown Hole

DISTRIBUTIONS

Open | Washdown

DIMENSIONS

LDN4 100-2000 Lumens

Notes: (a) Through hole(s) and washdown hole(s) are optional. (b) Washdown hole(s) is optional. (c) Washdown hole(s) is optional. (d) Washdown hole(s) is optional. (e) Washdown hole(s) is optional. (f) Washdown hole(s) is optional. (g) Washdown hole(s) is optional. (h) Washdown hole(s) is optional. (i) Washdown hole(s) is optional. (j) Washdown hole(s) is optional. (k) Washdown hole(s) is optional. (l) Washdown hole(s) is optional. (m) Washdown hole(s) is optional. (n) Washdown hole(s) is optional. (o) Washdown hole(s) is optional. (p) Washdown hole(s) is optional. (q) Washdown hole(s) is optional. (r) Washdown hole(s) is optional. (s) Washdown hole(s) is optional. (t) Washdown hole(s) is optional. (u) Washdown hole(s) is optional. (v) Washdown hole(s) is optional. (w) Washdown hole(s) is optional. (x) Washdown hole(s) is optional. (y) Washdown hole(s) is optional. (z) Washdown hole(s) is optional. (aa) Washdown hole(s) is optional. (ab) Washdown hole(s) is optional. 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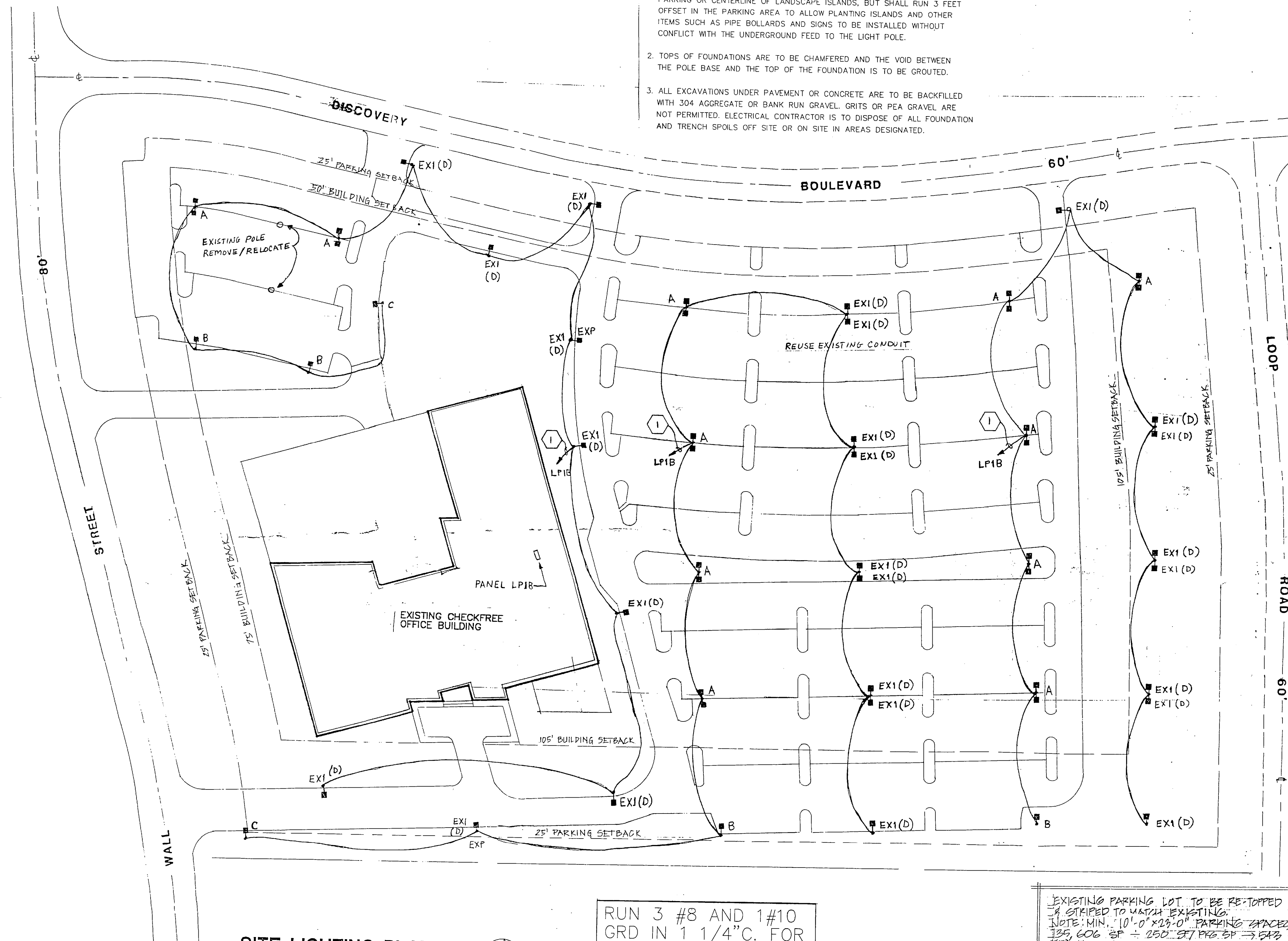
Performance Data:

LEDs	Model	Lumens	Wattage	Lm/W
508	5214	1.74	11.2	15.2
750	2913	1.84	16.3	18.1
1000	3900	11.58	18.4	21.7
1500	1912	11.5	18.4	21.7
2000	2906	22.12	18.7	22.0
2500	2931	26.3	19.7	23.3
3000	3897	33.2	19.7	25.0
4000	4212	41.1	18.8	22.0

Notes: (a) Through hole(s) and washdown hole(s) are optional. (b) Washdown hole(s) is optional. (c) Washdown hole(s) is optional. (d) Washdown hole(s) is optional. (e) Washdown hole(s) is optional. (f) Washdown hole(s) is optional. (g) Washdown hole(s) is optional. (h) Washdown hole(s) is optional. (i) Washdown hole(s) is optional. (j) Washdown hole(s) is optional. (k) Washdown hole(s) is optional. (l) Washdown hole(s) is optional. (m) Washdown hole(s) is optional. (n) Washdown hole(s) is optional. (o) Washdown hole(s) is optional. (p) Washdown hole(s) is optional. (q) Washdown hole(s) is optional. (r) Washdown hole(s) is optional. (s) Washdown hole(s) is optional. (t) Washdown hole(s) is optional. (u) Washdown hole(s) is optional. (v) Washdown hole(s) is optional. (w) Washdown hole(s) is optional. (x) Washdown hole(s) is optional. (y) Washdown hole(s) is optional. (z) Washdown hole(s) is optional. (aa) Washdown hole(s) is optional. (ab) Washdown hole(s) is optional. (ac) Washdown hole(s) is optional. (ad) Washdown hole(s) is optional. (ae) Washdown hole(s) is optional. (af) Washdown hole(s) is optional. (ag) Washdown hole(s) is optional. (ah) Washdown hole(s) is optional. (ai) Washdown hole(s) is optional. (aj) Washdown hole(s) is optional. (ak) Washdown hole(s) is optional. (al) Washdown hole(s) is optional. (am) Washdown hole(s) is optional. (an) Washdown hole(s) is optional. (ao) Washdown hole(s) is optional. (ap) Washdown hole(s) is optional. (aq) Washdown hole(s) is optional. (ar) Washdown hole(s) is optional. (as) Washdown hole(s) is optional. (at) Washdown hole(s) is optional. (au) Washdown hole(s) is optional. (av) Washdown hole(s) is optional. (aw) Washdown hole(s) is optional. (ax) Washdown hole(s) is optional. (ay) Washdown hole(s) is optional. (az) Washdown hole(s) is optional. (ba) Washdown hole(s) is optional. (bb) Washdown hole(s) is optional. (bc) Washdown hole(s) is optional. (bd) Washdown hole(s) is optional. (be) Washdown hole(s) is optional. (bf) Washdown hole(s) is optional. (bg) Washdown hole(s) is optional. (bh) Washdown hole(s) is optional. (bi) Washdown hole(s) is optional. (bj) Washdown hole(s) is optional. (bk) Washdown hole(s) is optional. (bl) Washdown hole(s) is optional. (bm) Washdown hole(s) is optional. (bn) Washdown hole(s) is optional. (bo) Washdown hole(s) is optional. (bp) Washdown hole(s) is optional. (bq) Washdown hole(s) is optional. (br) Washdown hole(s) is optional. (bs) Washdown hole(s) is optional. (bt) Washdown hole(s) is optional. (bu) Washdown hole(s) is optional. (bv) Washdown hole(s) is optional. (bw) Washdown hole(s) is optional. (bx) Washdown hole(s) is optional. (by) Washdown hole(s) is optional. (bz) Washdown hole(s) is optional. (ca) Washdown hole(s) is optional. (cb) Washdown hole(s) is optional. (cc) Washdown hole(s) is optional. (cd) Washdown hole(s) is optional. (ce) Washdown hole(s) is optional. (cf) Washdown hole(s) is optional. (cg) Washdown hole(s) is optional. (ch) Washdown hole(s) is optional. (ci) Washdown hole(s) is optional. (cj) Washdown hole(s) is optional. (ck) Washdown hole(s) is optional. (cl) Washdown hole(s) is optional. (cm) Washdown hole(s) is optional. (cn) Washdown hole(s) is optional. (co) Washdown hole(s) is optional. (cp) Washdown hole(s) is optional. (cq) Washdown hole(s) is optional. (cr) Washdown hole(s) is optional. (cs) Washdown hole(s) is optional. (ct) Washdown hole(s) is optional. (cu) Washdown hole(s)

SITE ELECTRICAL NOTES

1. PROVIDE ALL EXCAVATION, CONDUIT, FITTINGS, CONCRETE, ENCASEMENT OF CONDUIT (IF REQUIRED), GRANULAR BACKFILL, FLUSH MOUNTED JUNCTION BOXES AND WIRING NECESSARY TO INSTALL ALL SITE LIGHTING AND UNDERGROUND FEEDS AS SHOWN ON THE PLANS. NOTE UNDERGROUND FEEDS TO LIGHT POLES SHALL NOT RUN UNDER CENTER LINES OF HEAD IN PARKING OR CENTERLINE OF LANDSCAPE ISLANDS, BUT SHALL RUN 3 FEET OFFSET IN THE PARKING AREA TO ALLOW PLANTING ISLANDS AND OTHER ITEMS SUCH AS PIPE BOLLARDS AND SIGNS TO BE INSTALLED WITHOUT CONFLICT WITH THE UNDERGROUND FEED TO THE LIGHT POLE.
2. TOPS OF FOUNDATIONS ARE TO BE CHAMFERED AND THE VOID BETWEEN THE POLE BASE AND THE TOP OF THE FOUNDATION IS TO BE GROUTED.
3. ALL EXCAVATIONS UNDER PAVEMENT OR CONCRETE ARE TO BE BACKFILLED WITH 304 AGGREGATE OR BANK RUN GRAVEL. CRITS OR PEA GRAVEL ARE NOT PERMITTED. ELECTRICAL CONTRACTOR IS TO DISPOSE OF ALL FOUNDATION AND TRENCH SPOILS OFF SITE OR ON SITE IN AREAS DESIGNATED.



SITE LIGHTING PLAN
SCALE: 1" = 50'-0"

RUN 3 #8 AND 1#10 GRD IN 1 1/4" C. FOR ALL POLE LIGHTS.

EXISTING PARKING LOT TO BE RE-TOPPED & STRIPED TO MATCH EXISTING. NOTE: MIN. 10'-0" x 10'-0" PARKING SPACES, 135' GOG SP + 250' STY PRG SP → 543' STRES MIN. (11) HC ACCESSIBLE SPACES REQUIRED.

APPROVED FOR CONSTRUCTION

GENERAL NOTES

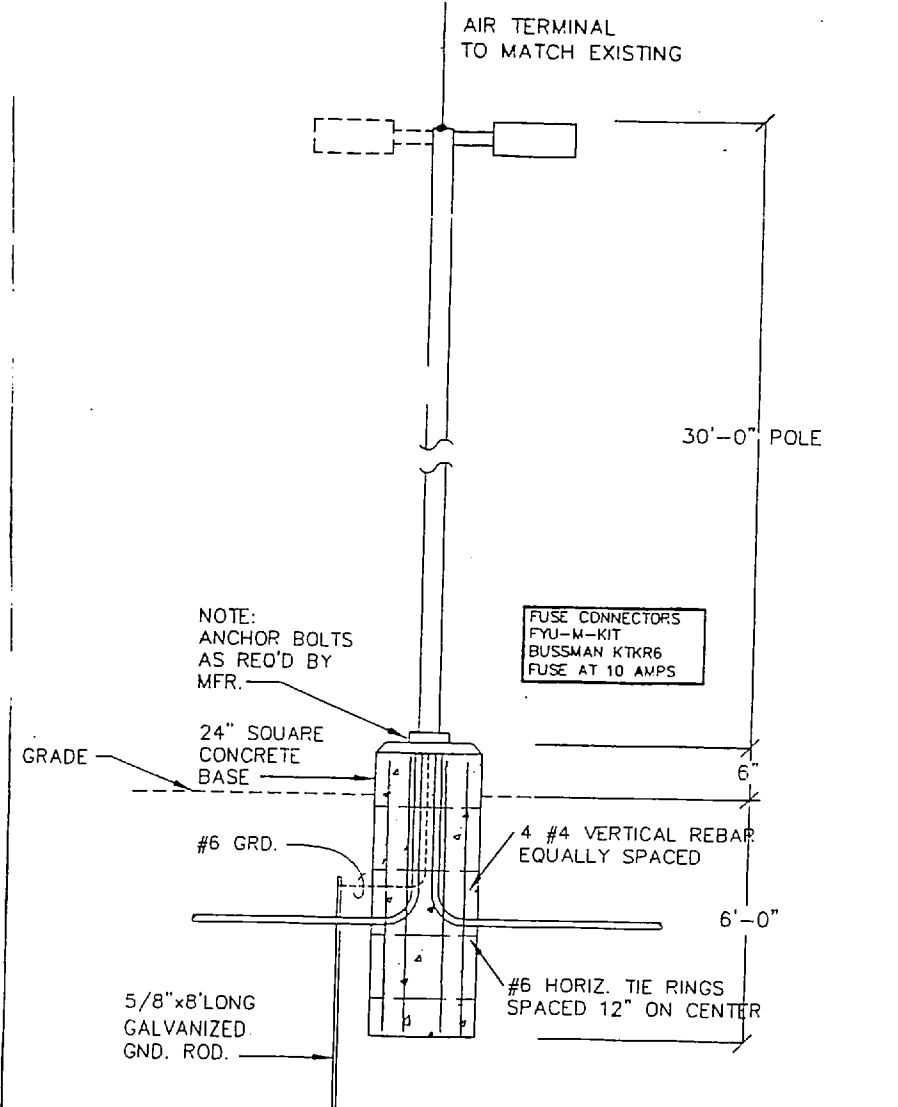
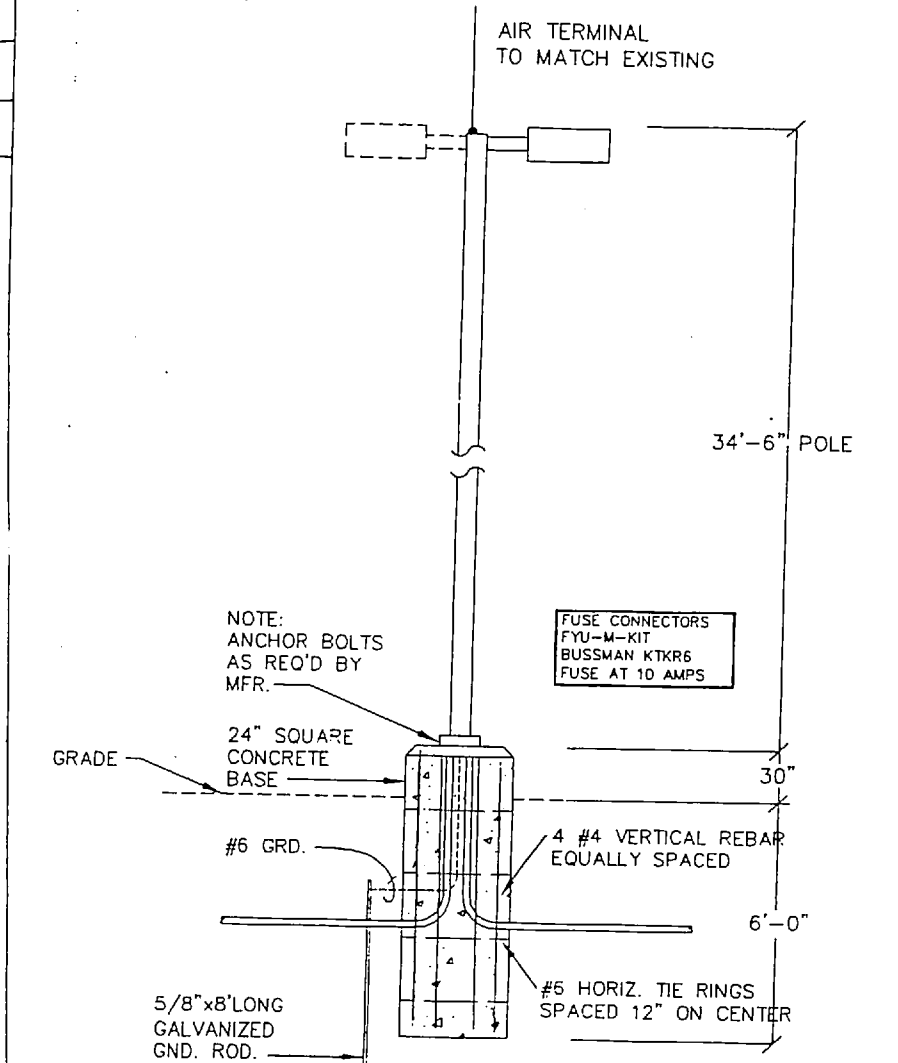
1. REMOVE AND DISPOSE OF ALL EXISTING POLE MOUNTED FIXTURES.
2. BALANCE THE PHASES BY ALTERNATING FIXTURES: A&B, B&C, A&C ETC.
3. PROVIDE PULL WIRE IN ALL SPARE CONDUITS
4. ALL TRENCHING UNDER ROADWAY/ PARKING LOT IS TO BE BACKFILLED WITH GRAVEL UP TO GRADE LEVEL. UNLESS OTHERWISE NOTED.
5. MINIMIZE CONDUITS UNDER PAVEMENT BY ROUTING ALONG EDGE OF PARKING LOT.

CODED NOTES

1. RUN 3 #8 & #10 GRD IN EXIST. 1 1/4" C. THRU EXIST. CONTACTOR TO EXIST. 20A-3P CIRC. BREAKER IN EXIST. PANEL LP1B. MAKE FINAL CONNECTIONS. EXIST. CONTACTOR IS 9' POLE.

LIGHTING FIXTURE SCHEDULE

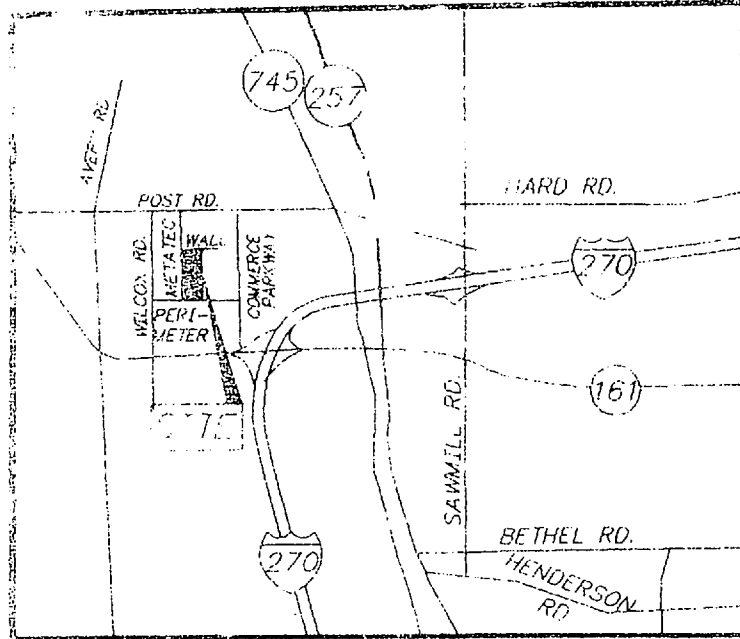
QTY.	TYPE	MANUF.	CAT. NO.	VOLTS	LAMPS	REMARKS
11	A	LITHONIA	(2)KSF2400SR3480SP04 W/LAMP W/KW SSP34.5-6.0-7-BRZ-DM2180-BC-PSA6 34.5' SSP	480	(2) 400W HPS	CUT-OFF POLE FIXTURE WITH 2 HEADS TYPE 3 DISTR 34.5' POLE
4	B	LITHONIA	(1)KSF2400SR3480SP04 W/LAMP W/KW SSP34.5-6.0-7-BRZ-DM10-BC-PSAB 34.5' SSP	480	(1) 400W HPS	CUT-OFF POLE FIXTURE WITH 1 HEAD TYPE 3 DISTR 34.5' POLE
2	C	LITHONIA	(1)KSF2400SR3480SP04 W/LAMP W/KW SSP30-6.0-7-BRZ-DM10-BC-PSAB 30' SSP	480	(1) 400W HPS	CUT-OFF POLE FIXTURE WITH 1 HEAD TYPE 3 DISTR 30' POLE
26	D	LITHONIA	(1)KSF2400SR3480SP04 W/LAMP	480	(1) 400W HPS	CUT-OFF POLE FIXTURE HEAD TYPE 3 DISTR. REUSE EXISTING POLE
26	EX1	---	---	480	(1) 400W HPS	EXISTING POLE. INSTALL NEW HEAD
2	EXP	---	---	---	---	RELOCATED EXISTING POLE



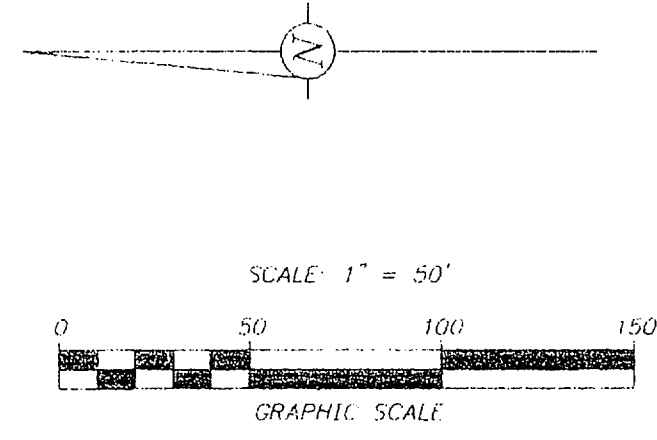
Rohrenbeck
Electrical Services
Construction - Engineering
PHONE: 443-9709 FAX: 443-9720

STATE OF OHIO
DAN R. RHODES
E-57288
REGISTERED PROFESSIONAL ENGINEER
11-138746

DRAWN BY: D.B.R.
CHECKED BY: B.B.R.



LOCATION MAP
NO SCALE



OLDE POSTE PROPERTIES
ORIG. 15,000 AC.
O.R. 4776, PG. F 01

DESCRIPTION

Situated in the State of Ohio, County of Franklin, City of Dublin, in Virginia Military Survey No. 2999 and being all of a 13,456 acre tract of land conveyed to White Consolidated Industries, Inc. by deed of record in Official Record 13992, Page C 15, Recorder's Office, Franklin County, Ohio, and all bounded and described as follows:

Beginning, for reference, at a railroad spike found at the intersection of the centerline of Post Road (60 feet wide) with the centerline of Wilcox Road (60 feet wide);

thence N 89° 07' 19" E along the centerline of Post Road a distance of 693.23 feet to a point;

thence S 0° 52' 41" E perpendicular to the centerline of Post Road a distance of 30.00 feet to a point in the south right-of-way line of Post Road and at the beginning of a non-tangent curve;

thence southeasterly along a curved west line of Metatec Boulevard (formerly Discovery Boulevard) (variable width) and with a curve to the right, data of which is: radius = 30.00 feet and delta = 83° 23' 49", a chord distance of 39.95 feet bearing S 49° 08' 12" E to the point of tangency, Metatec Boulevard having been shown on "Dedication of Discovery Boulevard & Easements", as shown of record in Plat Book 66, Page 97, Recorder's Office, Franklin County, Ohio;

thence S 7° 23' 52" E along a west line of Metatec Boulevard a distance of 120.89 feet to a point of curvature;

thence southerly along a curved west line of Metatec Boulevard and with a curve to the right, data of which is: radius = 50.00 feet and delta = 8° 31' 11", a chord distance of 56.87 feet bearing S 4° 04' 17" E to the point of tangency;

thence S 0° 22' 41" E along a west line of Metatec Boulevard a distance of 74.22 feet to a point of curvature;

thence southerly along a portion of a curved west line of Metatec Boulevard and with a curve to the left, data of which is: radius = 2,080.00 feet and sub-delta = 8° 12' 56", a sub-chord distance of 297.99 feet bearing S 4° 59' 09" E to a point;

thence N 80° 34' 23" E crossing Metatec Boulevard and radial to the last said curve a distance of 80.00 feet to a 3/4-inch I.D. iron pipe set at the south end of a curve connecting the curved east line of Metatec Boulevard with the south line of Wall Street (formerly Proposed Loop Road) (60 feet wide) and at the true place of beginning of the tract herein intended to be described, Wall Street having been shown on "Dedication of Discovery Boulevard, Perimeter Drive, Wall Street and Easements", as shown of record in Plat Book 72, Pages 79 and 80, Recorder's Office, Franklin County, Ohio;

thence northeasterly along said connecting curve to the right, data of which is: radius = 30.00 feet and delta = 91° 43' 40", a chord distance of 43.06 feet bearing N 36° 46' 13" E to a 3/4-inch I.D. iron pipe set at the point of tangency in the south line of Wall Street;

thence N 82° 38' 03" E along a south line of Wall Street a distance of 220.13 feet to a 3/4-inch I.D. iron pipe set at a point of curvature;

thence easterly along a curved south line of Wall Street and with a curve to the right, data of which is: radius = 970.00 feet and delta = 9° 39' 17", a chord distance of 92.88 feet bearing N 85° 22' 42" E to a 3/4-inch I.D. iron pipe set at the point of tangency;

thence N 88° 14' 20" E along a portion of a south line of Wall Street a distance of 70.00 feet to a 3/4-inch I.D. iron pipe found;

thence S 73° 03' 53" W along a north line of Perimeter Drive a distance of 232.82 feet to a 3/4-inch I.D. iron pipe set at a point of curvature;

thence westerly along a curve, north line of Perimeter Drive and with a curve to the right, data of which is: radius = 1,190.00 feet and delta = 14° 03' 26", a chord distance of 92.74 feet bearing S 80° 03' 53" W to a 3/4-inch I.D. iron pipe set at a point of tangency;

thence northwesterly along a curve connecting the north line of Perimeter Drive with the east line of Metatec Boulevard (formerly proposed Discovery Boulevard) and with a curve to the right, data of which is: radius = 40.00 feet and delta = 30° 00' 00", a chord distance of 42.43 feet bearing N 47° 56' 07" W to a 3/4-inch I.D. iron pipe set at the point of tangency, Metatec Boulevard having been shown on "Dedication of Discovery Boulevard, Perimeter Drive, Wall Street and Easements", as shown of record in Plat Book 72, Pages 79 and 80, Recorder's Office, Franklin County, Ohio;

thence N 2° 36' 07" W along an east line of Metatec Boulevard a distance of 30.84 feet to a 3/4-inch I.D. iron pipe set at a point of curvature;

thence northerly along a curved east line of Metatec Boulevard and with a curve to the right, data of which is: radius = 470.00 feet and delta = 14° 03' 26", a chord distance of 115.02 feet bearing N 4° 05' 36" E to a P.K. Nail set in a blacktop walk at the point of tangency;

thence N 11° 07' 19" E along an east line of Metatec Boulevard a distance of 200.00 feet to a P.K. Nail set in a blacktop walk at point of curvature;

thence northerly along a curved east line of Metatec Boulevard and with a curve to the right, data of which is: radius = 1,130.00 feet and delta = 22° 00' 00", a chord distance of 431.23 feet bearing N 0° 07' 19" E to a P.K. Nail set in a blacktop walk at the point of tangency;

thence N 10° 52' 41" W along an east line of Metatec Boulevard a distance of 150.00 feet to a P.K. Nail set in a blacktop walk at point of curvature;

thence northerly along a portion of a curved east line of Metatec Boulevard and with a curve to the right, data of which is: radius = 2,020.00 feet and sub-delta = 11° 04' 04", a sub-chord distance of 82.91 feet bearing N 0° 07' 19" W to the true place of beginning;

containing 13,456 acres of land, more or less, and being subject to easements and restrictions of record;

The above description was prepared by Ted L. Robinson, Surveyor No. 5361, of C.F. Bird & H.J. Bull, Consulting Engineers & Surveyors, Columbus, Ohio, from a plat of a survey in April, 1988, based on bearings and distances shown on Metatec Boulevard being N 10° 52' 41" W, a distance of 150 feet, as shown of record in Plat Book 66, Page 97, Recorder's Office, Franklin County, Ohio.



TRUE PLACT OF
L. GINNING FOR
13,456 AC. TRACT

- LEGEND**
- Basket Ball Board
 - Telephone Closure
 - Catch Basin
 - Manhole
 - Cleanout
 - Drain Inlet
 - Sign
 - Fire Hydrant
 - Electric Meter
 - Light Pole/Area Light

$\Delta = 01^{\circ} 47' 04''$
 $R = 2020.00'$
 $Ch = 62.91'$
 $N 9^{\circ} 59' 09'' W$

$\Delta = 22^{\circ} 00' 00''$
 $R = 1130.00'$
 $Ch = 431.23'$
 $N 0^{\circ} 07' 19'' E$

$\Delta = 14^{\circ} 03' 26''$
 $R = 470.00'$
 $Ch = 115.02'$
 $N 4^{\circ} 05' 36'' E$

$\Delta = 90^{\circ} 00' 00''$
 $R = 30.00'$
 $Ch = 42.43'$
 $N 47^{\circ} 56' 07'' W$

COMMISSIONERS OF LANDS AND SURVEYS
OFFICE OF THE COMMISSIONERS
WESTERN AMERICAN

This is to certify that this map was prepared by the survey on which it is based were made (1) in accordance with the "Minimum Standards and Detailed Requirements for All Public and Private Surveys" promulgated and established and adopted by the Board of Surveyors and the Board of Surveyors and Surveyors, Columbus, Ohio, from a plat of a survey in April, 1988, based on bearings and distances shown on Metatec Boulevard being N 10° 52' 41" W, a distance of 150 feet, as shown of record in Plat Book 66, Page 97, Recorder's Office, Franklin County, Ohio.

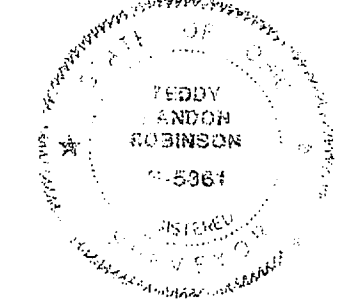
Property is in Zone K (areas determined to be outside the 500-year floodplain) in Flood Insurance Rate Map, Panel 107-01-007, Franklin County, Ohio and incorporated on Map No. 504-00-0107-0 (Effective Date: August 2, 1995) except as shown.

In my opinion all easements, except the one shown herein, do not apply to subject property.

I used in this certificate, to certify means, a state or published opinion of the conditions upon the facts and findings which are the subject of the certification and was not a state of warranty or warranty, either expressed or implied.

Ted L. Robinson
Ohio Surveyor #5361

In my opinion the following information does not apply:
O.R. 11276, Pg. C 11
L.R. 166, Pg. 201 (Expired)



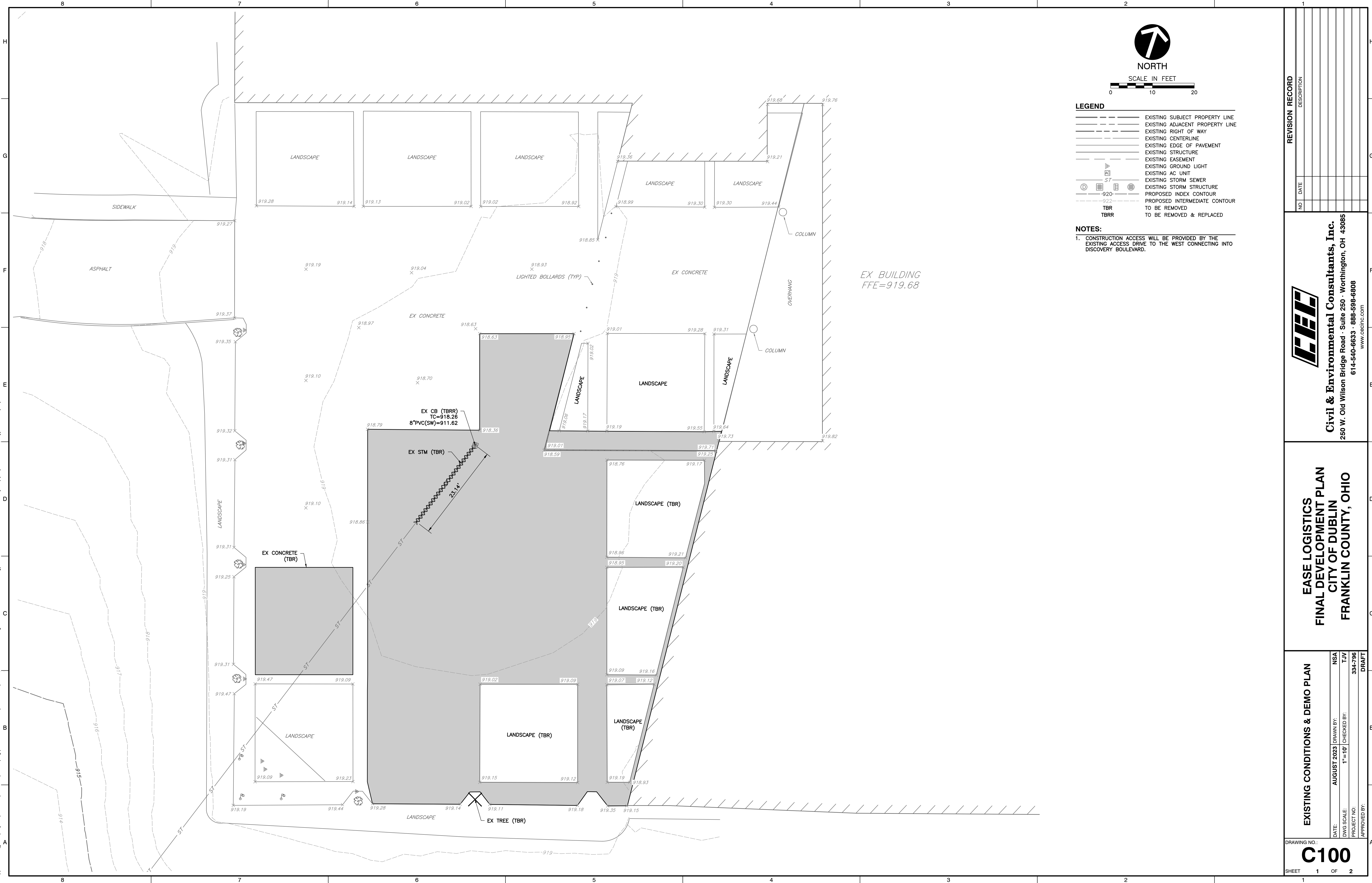
C. F. BIRD & H. J. BULL, Inc.
ENGINEERS SURVEYORS
145 S. BIRNBAUM AVE. COLUMBUS, OHIO 43260

CHESTERFIELD CORPORATION

MORTGAGE LOAN SERVICE
6000 PERIMETER DRIVE
DUBLIN, OHIO

13,456 AC. TRACT
SCALE 1" = 50'
DWN. 10/12/88

I:\projects\global\Projects\130-000\134-7861-000\DWG\1001 - Final Development Plan\134-7861-000-000\DWG\1001 - Final Development Plan\134-7861-000-000-000-000.dwg - LP: 8/20/2023 10:29 AM



NORTH



LEGEND

- EXISTING SUBJECT PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING CENTERLINE
- EXISTING EDGE OF PAVEMENT
- EXISTING STRUCTURE
- EXISTING EASEMENT
- EXISTING GROUND LIGHT
- EXISTING AC UNIT
- EXISTING STORM SEWER
- EXISTING STORM STRUCTURE
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- TO BE REMOVED
- TBRR TO BE REMOVED & REPLACED

NOTES:

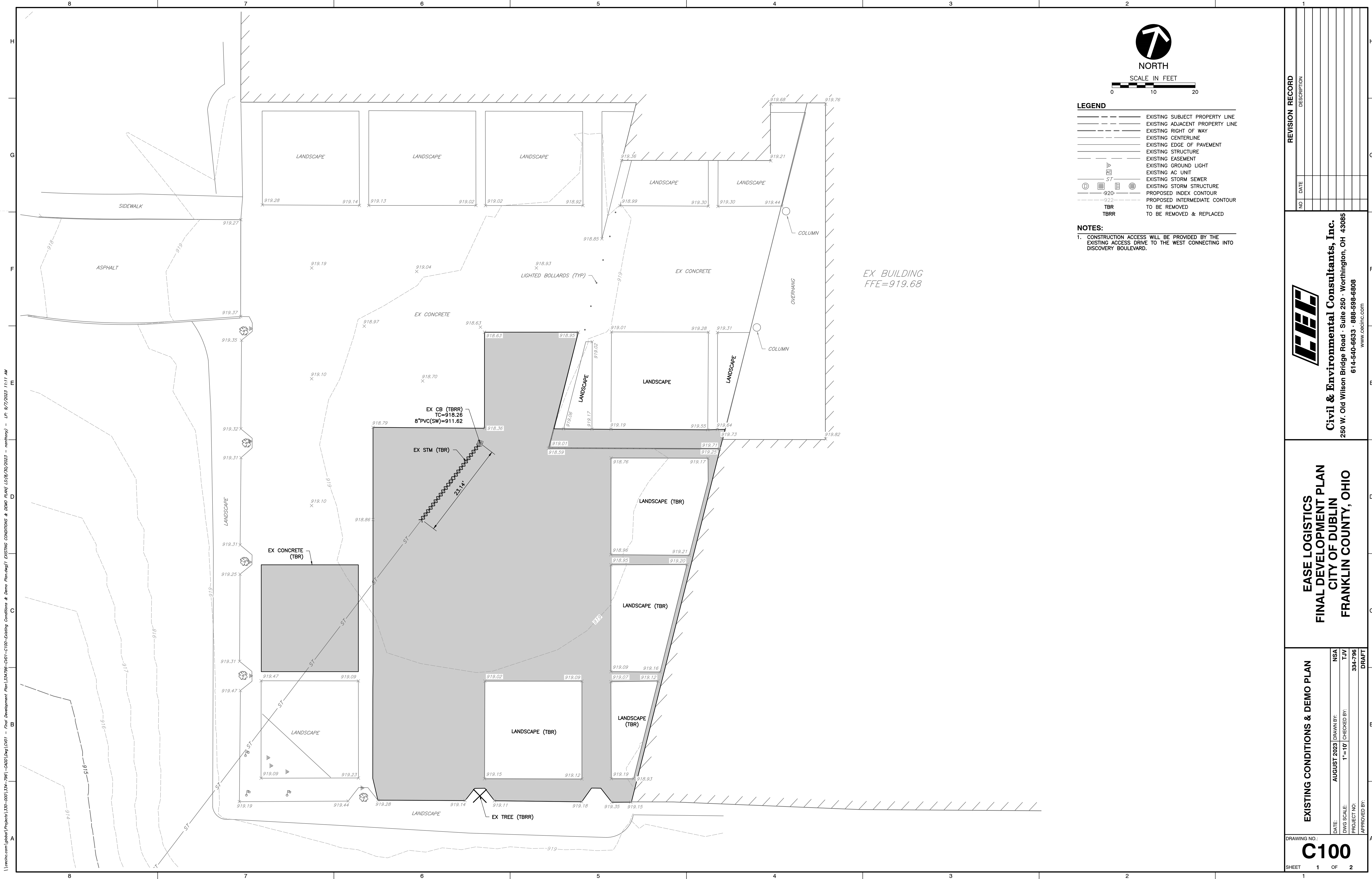
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NO.	DATE	DESCRIPTION

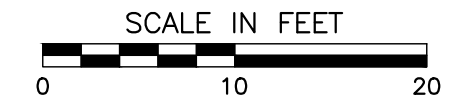
Civil & Environmental Consultants, Inc.
 250 W. Old Wilson Bridge Road · Suite 250 · Worthington, OH 43085
 614-540-6633 · 888-598-6808
www.cecinc.com

EASE LOGISTICS
 FINAL DEVELOPMENT PLAN
 CITY OF DUBLIN
 FRANKLIN COUNTY, OHIO

EXISTING CONDITIONS & DEMO PLAN	NSA
DATE: AUGUST 2023	DRAWN BY: TJV
DWG SCALE: 1"=10'	CHECKED BY: 334-796
PROJECT NO:	APPROVED BY:



NORTH



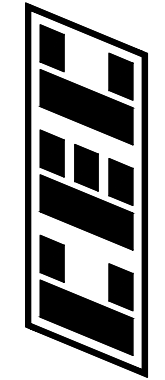
LEGEND

- EXISTING SUBJECT PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING CENTERLINE
- EXISTING EDGE OF PAVEMENT
- EXISTING STRUCTURE
- EXISTING EASEMENT
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- EXISTING AC UNIT
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- PROPOSED INDEX CONTOUR
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- TO BE REMOVED
- TO BE REMOVED & REPLACED

NOTES:

1. CONSTRUCTION ACCESS WILL BE PROVIDED BY THE EXISTING ACCESS DRIVE TO THE WEST CONNECTING INTO DISCOVERY BOULEVARD.

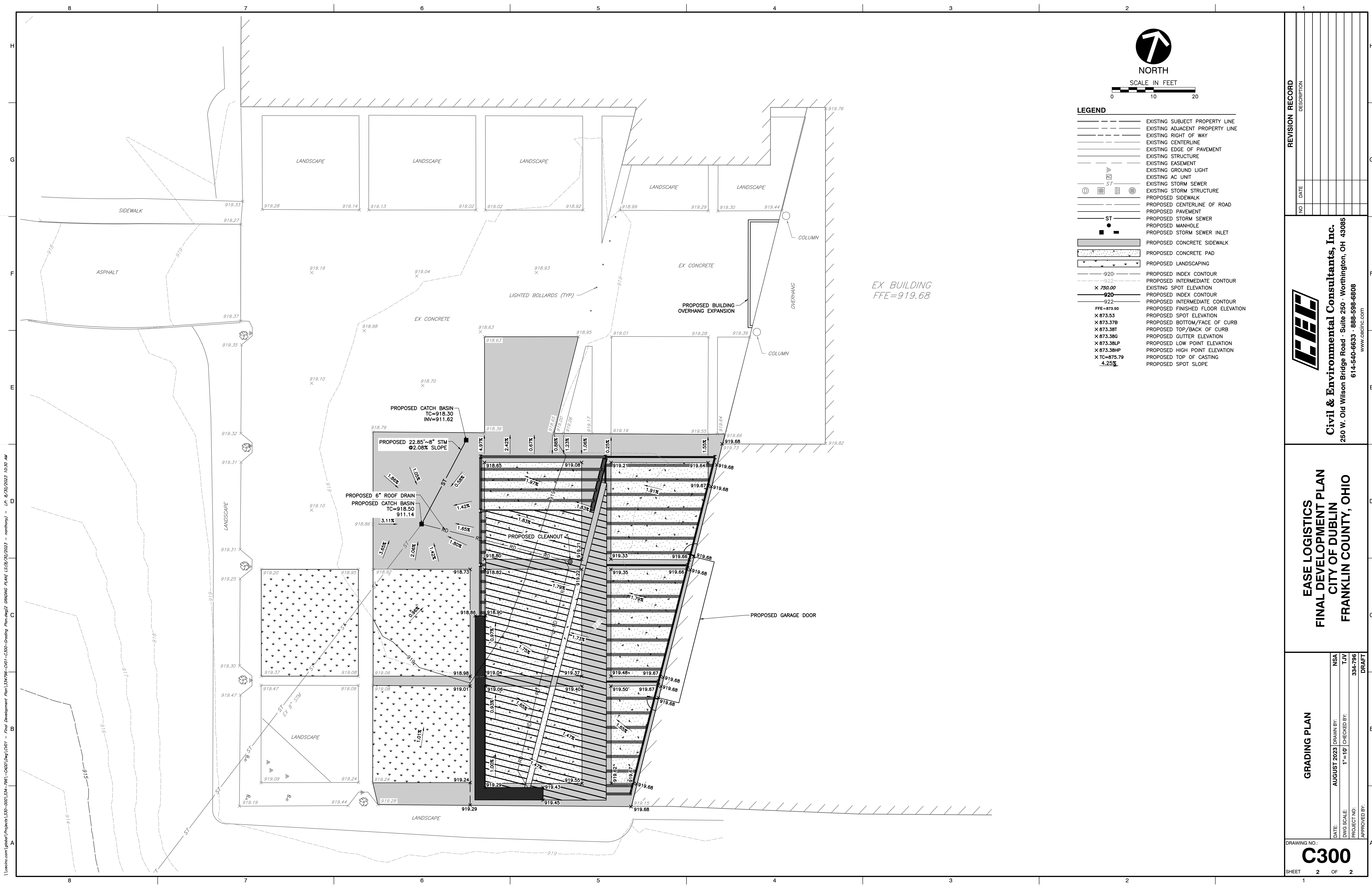
REVISION RECORD	
NO.	DESCRIPTION


Civil & Environmental Consultants, Inc.
 250 W. Old Wilson Bridge Road - Suite 250 - Worthington, OH 43085
 614-540-6633 · 888-598-6808
 www.ceeinc.com

EASE LOGISTICS & DEMO PLAN
FINAL DEVELOPMENT PLAN
CITY OF DUBLIN
FRANKLIN COUNTY, OHIO

EXISTING CONDITIONS & DEMO PLAN	
DATE:	AUGUST 2023
DWG SCALE:	1"=10'
PROJECT NO:	334-796
APPROVED BY:	DRAFT
NSA:	TJV
CHECKED BY:	TJV

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NORTH



LEGEND

- EXISTING SUBJECT PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING CENTERLINE
- EXISTING EDGE OF PAVEMENT
- EXISTING STRUCTURE
- EXISTING EASEMENT
- EXISTING GROUND LIGHT
- EXISTING AC UNIT
- EXISTING STORM SEWER
- EXISTING STORM STRUCTURE
- PROPOSED SIDEWALK
- PROPOSED CENTERLINE OF ROAD
- PROPOSED PAVEMENT
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER INLET
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAD
- PROPOSED LANDSCAPING
- 920--- PROPOSED INDEX CONTOUR
- 922--- PROPOSED INTERMEDIATE CONTOUR
- X 750.00 EXISTING SPOT ELEVATION
- 920 PROPOSED INDEX CONTOUR
- 922 PROPOSED INTERMEDIATE CONTOUR
- FFE=873.50 PROPOSED FINISHED FLOOR ELEVATION
- X 873.53 PROPOSED SPOT ELEVATION
- X 873.378 PROPOSED BOTTOM/FACE OF CURB
- X 873.387 PROPOSED TOP/BACK OF CURB
- X 873.386 PROPOSED GUTTER ELEVATION
- X 873.381P PROPOSED LOW POINT ELEVATION
- X 873.381P PROPOSED HIGH POINT ELEVATION
- X TC=875.79 PROPOSED TOP OF CASTING
- 4.25% PROPOSED SPOT SLOPE

NO	DATE	DESCRIPTION

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**EASE LOGISTICS
 FINAL DEVELOPMENT PLAN
 CITY OF DUBLIN
 FRANKLIN COUNTY, OHIO**

GRADING PLAN

DATE: AUGUST 2023 [DRAWN BY: NSA]
 DWG SCALE: 1"=10' [CHECKED BY: TJV]
 PROJECT NO: 334-796
 APPROVED BY: DRAFT

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