



Ease Logistics

6000 Perimeter Drive, Dublin, Ohio 43017

DUBLIN ZONING AND PLANNING COMMISSION

JUNE 6 2023 | Project No. 202230.02

PREPARED BY

—
WSA STUDIO
982 S FRONT ST
COLUMBUS, OH 43206

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614.824.1633

—
WSASTUDIO.COM

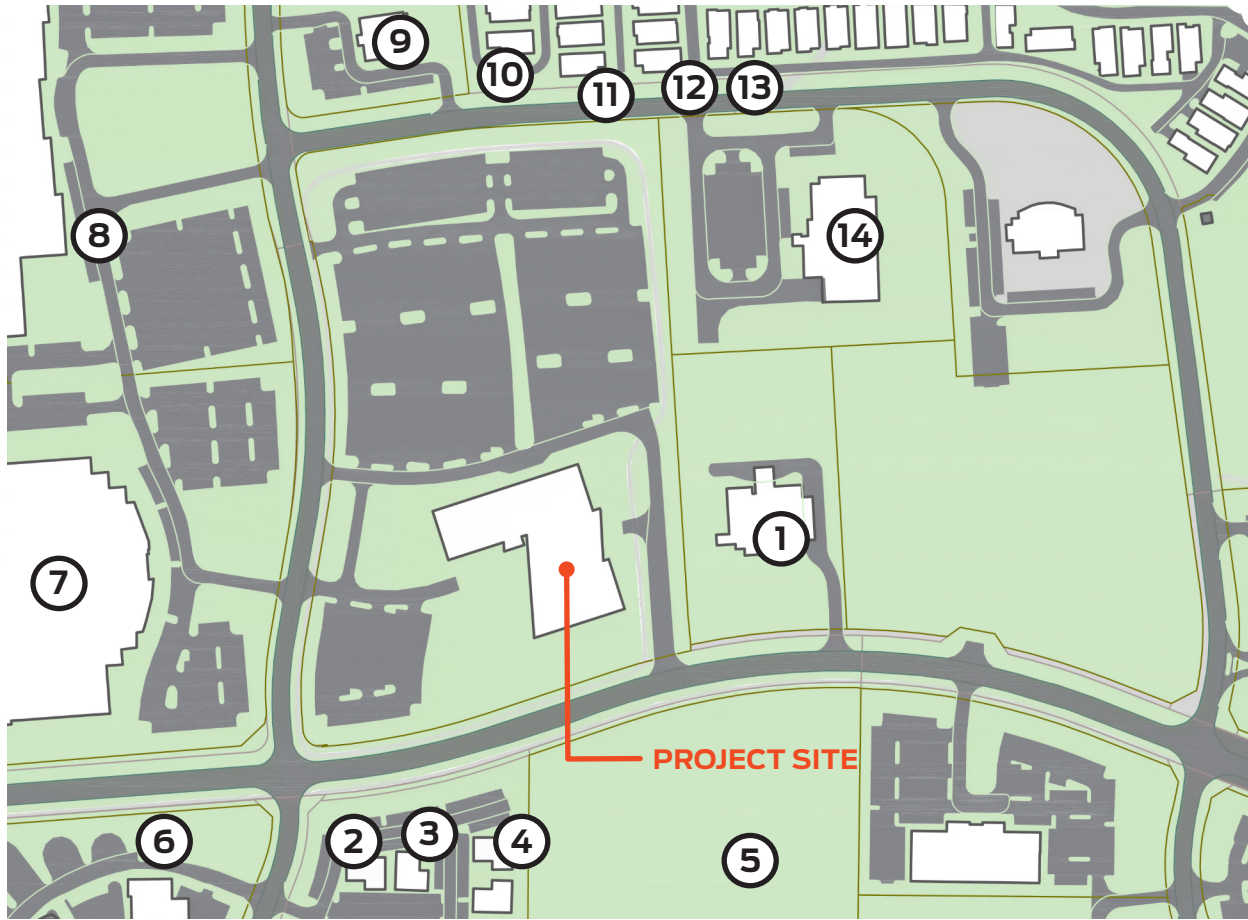
PREPARED FOR

—
CITY OF DUBLIN PLANNING & ZONING COMMISSION
5200 EMERALD PKWY
DUBLIN OHIO 43017

—
614.410.4400

—
DUBLINOHIOUSA.GOV

VICINITY PLAN & PROJECT INFORMATION



VICINITY PLAN

PROJECT DESCRIPTION

The proposed exterior improvements and pavilion addition to the existing building at 6000 Perimeter Drive aim to provide a flexible work space environment to Ease Logistics employees. The improvements and addition will also create outdoor seating and engagement spaces for prospective event space guests. Work shall include the re-stripping of the existing parking lot to provide (8) additional accessible spaces, exterior painting of the existing facade, the addition of canopies and modifications to two entry facades, and the construction of a 3,900 sf pavilion structure as shown herein. Our intent with this addition is to respect the form and scale of both the original building and surrounding neighborhood. The pavilion functions as a collaborative space for employees, that provides various configurations towards making the space adaptable. The form of the pavilion takes cues from the existing building and plaza design while separating itself as a unique feature through the use of a clean, industrial contemporary finish palette.

PROPERTY INFORMATION

ADDRESS
PARCEL NUMBER
ZONING CLASSIFICATION
LOT SIZE
EXISTING LOT COVERAGE
PROPOSED LOT COVERAGE

6000 Perimeter Drive, Dublin OH 43017
 273-004083
 Planned Commerce District Perimeter Center, Subarea C
 13.53 ac (589,367 sf)
 49,375 sf
 53,371 sf (9%)

ADJACENT PROPERTIES

- | | |
|---|---|
| <p>273-010149</p> <p>① 5980 Perimeter Drive Dublin Ohio 43017
 WFG-Fuller Funerals INC.
 SCI Ohio Funeral Services INC.
 Zoning Classification: PCD: Planned Unit Development District</p> <p>273-012213</p> <p>② 6000 Venture Drive Dublin Ohio 43017
 ASR Venture DR LLC
 Zoning Classification: PCD: Planned Unit Development District</p> <p>273-012714</p> <p>③ 5990 Venture Drive Dublin Ohio 43017
 Hunter Family Real Estate INC.
 Zoning Classification: PCD: Planned Unit Development District</p> <p>273-012713</p> <p>④ 5980 Venture Drive Dublin Ohio 43017
 Rios Venture Drive LLC
 Zoning Classification: PCD: Planned Unit Development District</p> <p>273-009800</p> <p>⑤ 5885 Perimeter Drive Dublin Ohio 43017
 Mount Carmel Health System
 Zoning Classification: PCD: Planned Unit Development District</p> <p>273-008212</p> <p>⑥ 6321-6325 Perimeter Loop Road Dublin Ohio 43017
 Cars CNI-2 LP
 Zoning Classification: PUD: Planned Unit Development District</p> <p>273-012898</p> <p>⑦ 7001 Discovery Boulevard Dublin Ohio 43017
 7001 Discovery Blvd LLC
 Zoning Classification: PUD: Planned Unit Development District</p> | <p>⑧ 273-010149
 273-000309
 7007 Discovery Boulevard Dublin Ohio 43017
 Discovery MC Investments LLC
 Zoning Classification: PUD: Planned Unit Development District</p> <p>⑨ 273-004535
 6760 Discovery Boulevard Dublin Ohio 43017
 NSS Investments LLC
 Zoning Classification: PUD: Planned Unit Development District</p> <p>⑩ 273-013023
 6753 Winston Way Dublin Ohio 43017
 Rupprecht Farms LLC
 Zoning Classification: PUD: Planned Unit Development District</p> <p>⑪ 273-013087
 6744 Winston Way Dublin Ohio 43017
 Gorokov Svetlana
 Zoning Classification: PUD: Planned Unit Development District</p> <p>⑫ 273-013018
 6739 Carson Way Dublin Ohio 43017
 Teevin John
 Zoning Classification: PUD: Planned Unit Development District</p> <p>⑬ 273-013046
 6750 Carson Way Dublin Ohio 43017
 Mego Tina M TR
 Mego Thomas J TR
 Zoning Classification: PUD: Planned Unit Development District</p> <p>⑭ 273-005070
 5815 Wall Street Dublin Ohio 43017
 Red House HQ LLC
 Zoning Classification: PCD: Planned Unit Development District</p> |
|---|---|

PROJECT INFORMATION

LEGAL DESCRIPTION

The Land referred to hereinbelow is situated in the City of Dublin, County of Franklin, State of Ohio and is described as follows:

In Virginia Military Survey No. 2999 and being all of a 13.456 acre tract of land conveyed to White Consolidated Industries, Inc. by deed of Record in Official Record 13992, Page G 15, Recorder's Office, Franklin County, Ohio, and bounded and described as follows: Beginning, for reference, at a railroad spike found at the intersection of the centerline of Post Road (60 feet wide) with the centerline of Wilcox Road (60 feet wide);

Thence North 89 degrees 07 minutes 19 minutes East along the centerline of Post Road a distance of 693.23 feet to a point;

Thence South 0 degrees 52 minutes 41 seconds East perpendicular to the centerline of Post Road a distance of 30.00 feet to a point in the South right-of-way line of Post Road and at the beginning of a non-tangent curve;

Thence Southeasterly along a curved West line of Metatec Boulevard (formerly Discovery Boulevard) (variable width and with a curve to the right, data of which is: radius= 30.00 feet and delta= 83 degrees 23 minutes 49 seconds a chord distance of 39.95 feet bearing South 49 degrees 08 minutes 17 seconds East to the point of tangency, Metatec Boulevard having been shown on "Dedication of Discovery Boulevard & Easements", as shown of record in Plat Book 66, Page 97, Recorder's Office, Franklin County, Ohio;

Thence South 7 degrees 23 minutes 52 seconds East along a West line of Metatec Boulevard a distance of 120.89 feet to a point of curvature;

Thence Southerly along a curved West line of Metatec Boulevard and with a curve to the right, data of which is: radius = 500.00 feet and delta = 6 degrees 31 minutes 11 seconds, a chord distance of 56.87 feet bearing South 4 degrees 08 minutes 17 seconds East to the point of tangency;

Thence South 0 degrees 52 minutes 41 seconds East along a West line of Metatec Boulevard (60 feet wide) a distance of 74.22 feet to a point of curvature;

Thence Southerly along a portion of a curved West line of Metatec Boulevard and with a curve to the left, data of which is: radius= 2,080.00 feet and sub-delta= 8 degrees 12 minutes 56 seconds, a sub-chord distance of 297.99 feet bearing South 4 degrees 59 minutes 09 seconds East to a point;

Thence North 80 degrees 54 minutes 23 seconds East crossing Metatec Boulevard and radial to the last said curve a distance of 60.00 feet to a three-quarters inch I.D. iron pipe set at the South end of a curve connecting the curved East line of Metatec Boulevard with the South line of Wall Street (formerly Proposed Loop Road) (60 feet wide) and at the true place of beginning of the tract herein intended to be described, Wall Street having been shown on "Dedication of Discovery Boulevard, Perimeter Drive, Wall Street and Easements", as shown of record in Plat Book 72,

Pages 79 and 80, Recorder's Office, Franklin County, Ohio;

Thence Northeasterly along said connecting curve to the right, data of which is: radius = 30.00 feet and delta= 91 degrees 43 minutes 40 seconds, a chord distance of 43.06 feet bearing North 36 degrees 46 minutes 13 seconds East to a three-quarters inch I.D. iron pipe set at the point of tangency in the South line of Wall Street;

Thence North 82 degrees 38 minutes 03 seconds East along a South line of Wall Street a distance of 228.13 feet to a three-quarters inch I.D. iron pipe set at a point of curvature;

Thence Easterly along a curved South line of Wall Street and with a curve to the right, data of which is: radius = 970.00 feet and delta = 5 degrees 29 minutes 17 seconds, a chord distance of 92.88 feet bearing North 85 degrees 22 minutes 42 seconds East to a three-quarters inch I.D. iron pipe set at the point of tangency;

Thence North 88 degrees 07 minutes 20 seconds East along a portion of a South line of Wall Street a distance of 270.00 feet to a three-quarters inch I.D. iron pipe found;

Thence South 1 degree 52 minutes 40 seconds East a distance of 895.00 feet to a drill hole set in a concrete sidewalk in a curved North line of Perimeter Drive (formerly proposed Wall Street) (80 feet wide), Perimeter Drive having been shown on "Dedication of Discovery Boulevard, Perimeter Drive, Wall Street and Easements", as shown of record in Plat Book 72, Pages 79 and 80, Recorder's Office, Franklin County, Ohio;

Thence Westerly along a portion of a curved North line of Perimeter Drive and with a curve to the left, data of which is: radius = 1,240.00 feet and sub-delta = 6 degrees 28 minutes 20 seconds, a sub-chord distance of 140.00 feet bearing South 76 degrees 18 minutes 03 seconds West to a three-quarters inch I.D. iron pipe found at the point of tangency;

Thence South 73 degrees 03 minutes 53 seconds West along a North line of Perimeter Drive a distance of 223.82 feet to a three-quarters inch I.D. iron pipe set at a point of curvature;

Thence Westerly along a curved North line of Perimeter Drive and with a curve to the right, data of which is: radius= 1,160.00 feet and delta=14 degrees 00 minutes 00 seconds, a chord distance of 282.74 feet bearing South 80 degrees 03 minutes 53 seconds West to a three-quarters inch I.D. iron pipe set at a point of compound curvature;

Thence Northwesterly along a curve connecting the North line of Perimeter Drive with the East line of Metatec Boulevard (formerly proposed Discovery Boulevard) and with a curve to the right, data of which is: radius = 30.00 feet and delta = 90 degrees 00 minutes 00 seconds, a chord distance of 42.43 feet bearing North 47 degrees 56 minutes 07 seconds West to a three-quarters inch I.D. iron pipe set at the point of tangency, Metatec Boulevard having been shown on "Dedication of Discovery Boulevard, Perimeter Drive, Wall Street and Easements", as shown of record in Plat Book 72, Pages 79 and 80, Recorder's Office, Franklin County, Ohio;

Thence North 2 degrees 56 minutes 07 seconds West along an East line of Metatec Boulevard a distance of 30.84 feet to a three-quarters inch I.D. iron pipe set at a point of curvature;

Thence Northerly along a curved East line of Metatec Boulevard and with a curve to the right, data of which is: radius= 470.00 feet and delta= 146 degrees 03 minutes 26 seconds, a chord distance of 115.02 feet bearing North 4 degrees 05 minutes 36 seconds East to a P.K. Nail set in a blacktop walk at the point of tangency;

Thence North 11 degrees 07 minutes 19 seconds East along an East line of Metatec Boulevard a distance of 200.00 feet to a P.K. nail set in a blacktop walk at a point of curvature;

Thence Northerly along a curved East line of Metatec Boulevard and with a curve to the left, data of which is: radius= 1,130.00 feet and delta 22 degrees 00 minutes 00 seconds, a chord distance of 431.23 feet bearing North 0 degrees 07 minutes 19 seconds East to a P.K. Nail set in a blacktop walk at the point of tangency;

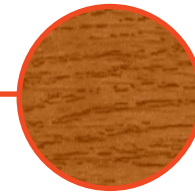
Thence North 10 degrees 52 minutes 41 seconds West along an East line of Metatec Boulevard a distance of 100.00 feet to a P.K. Nail set in a blacktop walk at a point of curvature;

Thence Northerly along a portion of a curved East line of Metatec Boulevard and with a curve to the right, data of which is: radius= 2,020.00 feet and sub-delta= 1 degree 47 minutes 04 seconds, a sub-chord distance of 62.91 feet bearing North 9 degrees 59 minutes 09 seconds West to the true place of beginning;

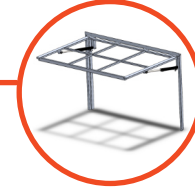
Containing 13.456 acres of land.

The above description was prepared by Ted L. Robinson, Ohio Surveyor No. 5361, of C.F. Bird & R.J. Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio from an actual field survey performed under his supervision in April 1998. Basis of bearings is an East line of Metatec Boulevard, being North 10 degrees 52 minutes 41 seconds West, as shown of record in Plat Book 66, Page 97, Recorder's Office, Franklin County, Ohio.

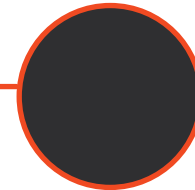
PAVILION RENDERING



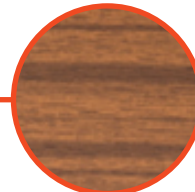
**FLITCH BEAMS
STAINED TO MATCH
WOOD-LOOK MTL
PANELS
PT-15**



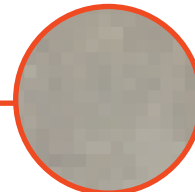
**NEW OPERABLE
HYDRAULIC GLASS
DOORS OH-1**



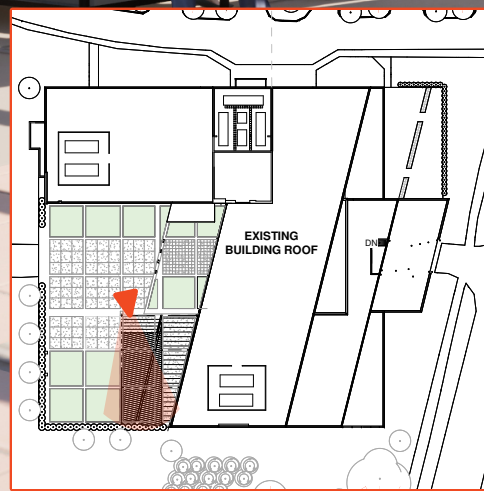
**EXPOSED
STRUCTURE
PAINTED TRI CORN
BLACK
PT-9**



**WOOD-LOOK PANELS
MTL -8**



**NEW CONCRETE TO
MATCH EXISTING**



KEY PLAN

EXISTING AND PROPOSED SITE PLAN



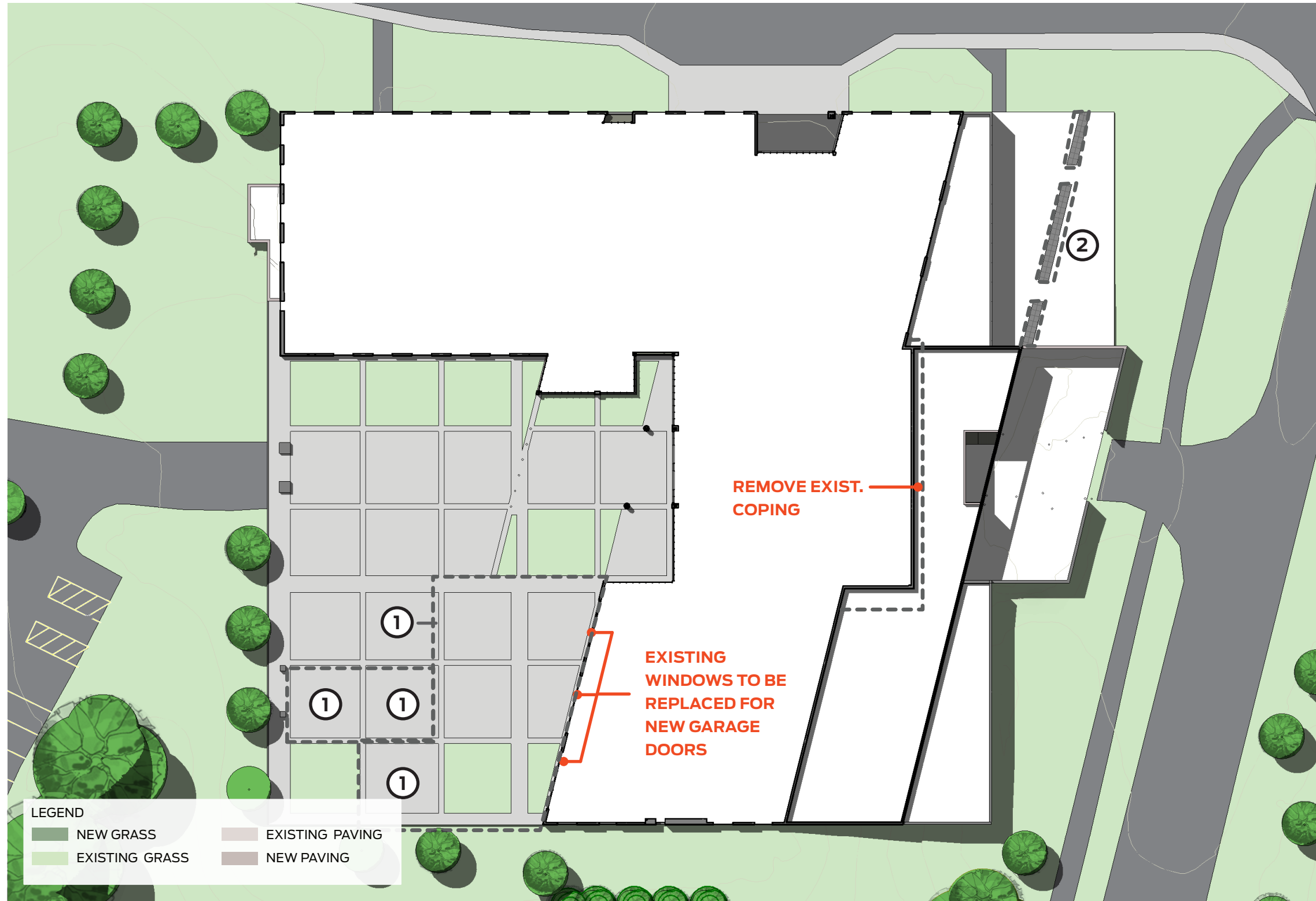
EXISTING SITE PLAN



PROPOSED SITE PLAN



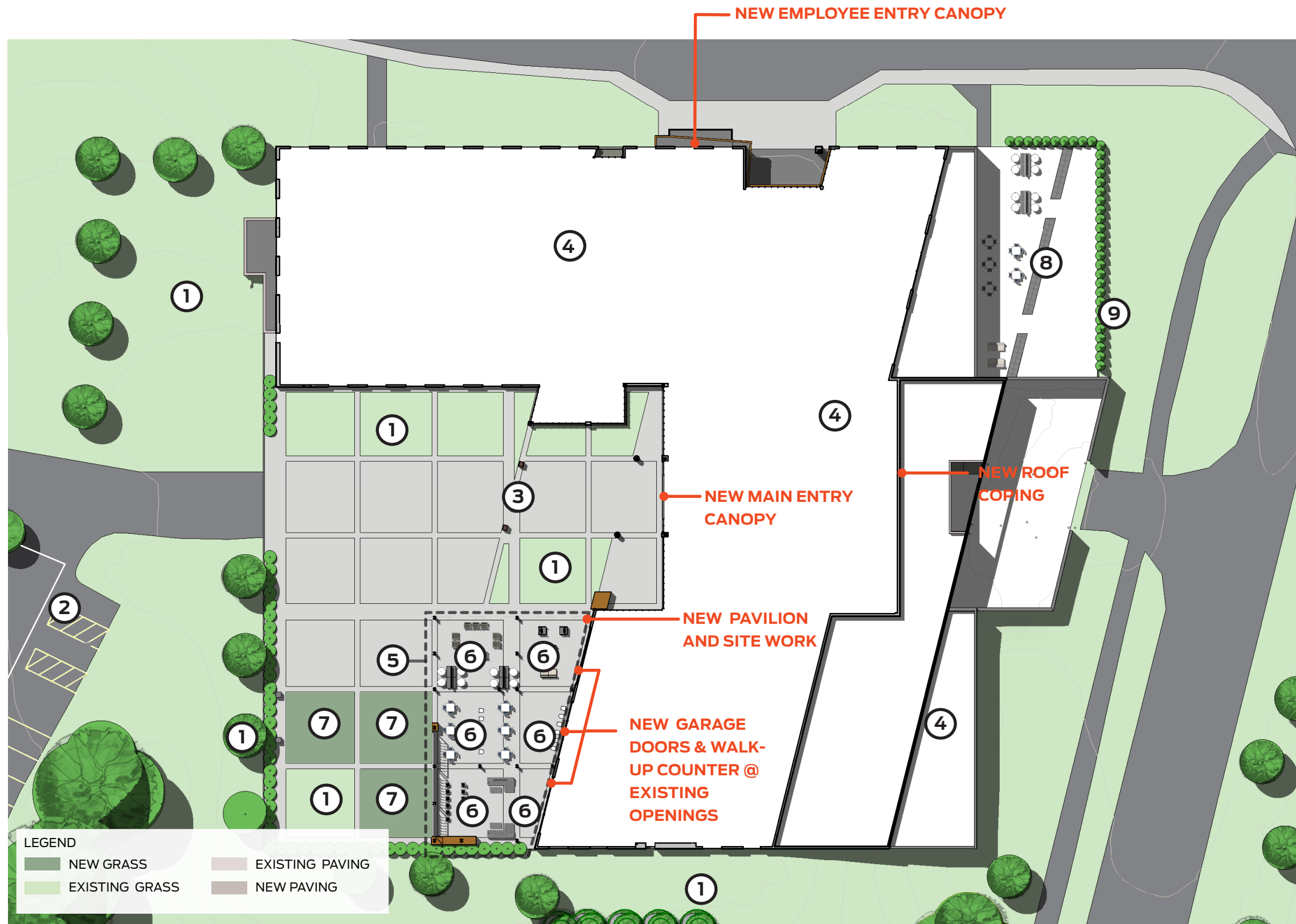
ENLARGED SITE PLAN - DEMOLITION



NOTES

1. Demolish existing paving for new site work. New paving to match existing.
2. Remove mulch; See Landscape Drawings

ENLARGED SITE PLAN - NEW WORK



NOTES

1. Maintain existing trees, grates, paving, and grass
2. Maintain existing parking
3. Replace existing bollards with new planters
4. Existing building
5. New exterior Pavilion
6. New paving to match Existing
7. New grass
8. Replace mulch with black river rock; Refer to Landscape Drawings
9. New privacy shrubs; See Landscape Drawings

LEGEND

- | | |
|--|---|
|  NEW GRASS |  EXISTING PAVING |
|  EXISTING GRASS |  NEW PAVING |



MAIN ENTRY & PAVILION - MATERIALS

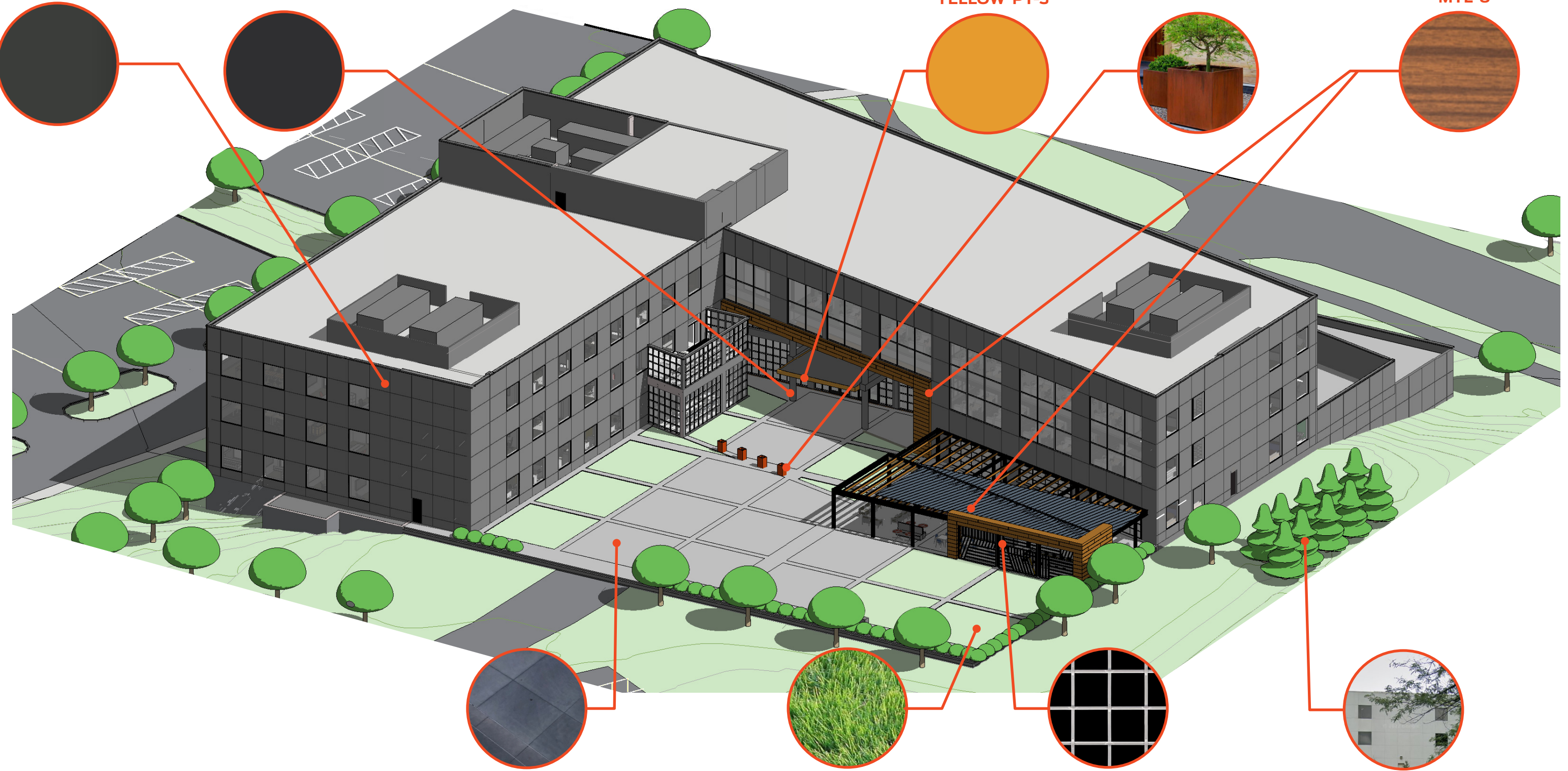
PAINT BUILDING
GRIZZLE GRAY PT-14

EXISTING COLUMNS
PAINTED TRI CORN
BLACK PT-9

TUBE STEEL FASCIA
PAINTED SUNFLOWER
YELLOW PT-3

ILLUMINATED CORTEN
PLANTERS EB-1

WOOD-LOOK METAL
PANEL GOLDEN MAPLE
MTL-8



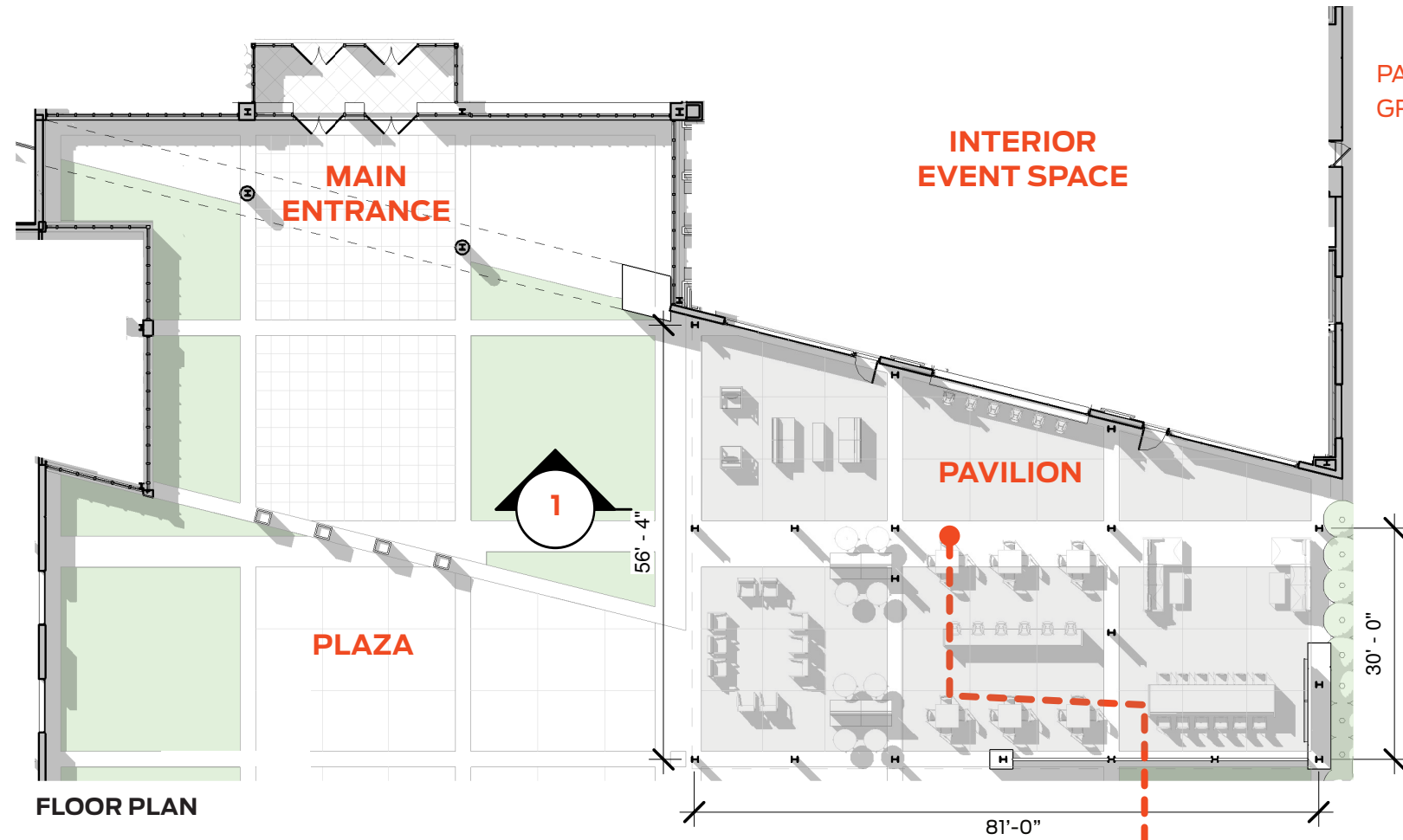
EXISTING
CONCRETE

NEW
LANDSCAPE

DECORATIVE WIRE MESH
BLACK SCREEN

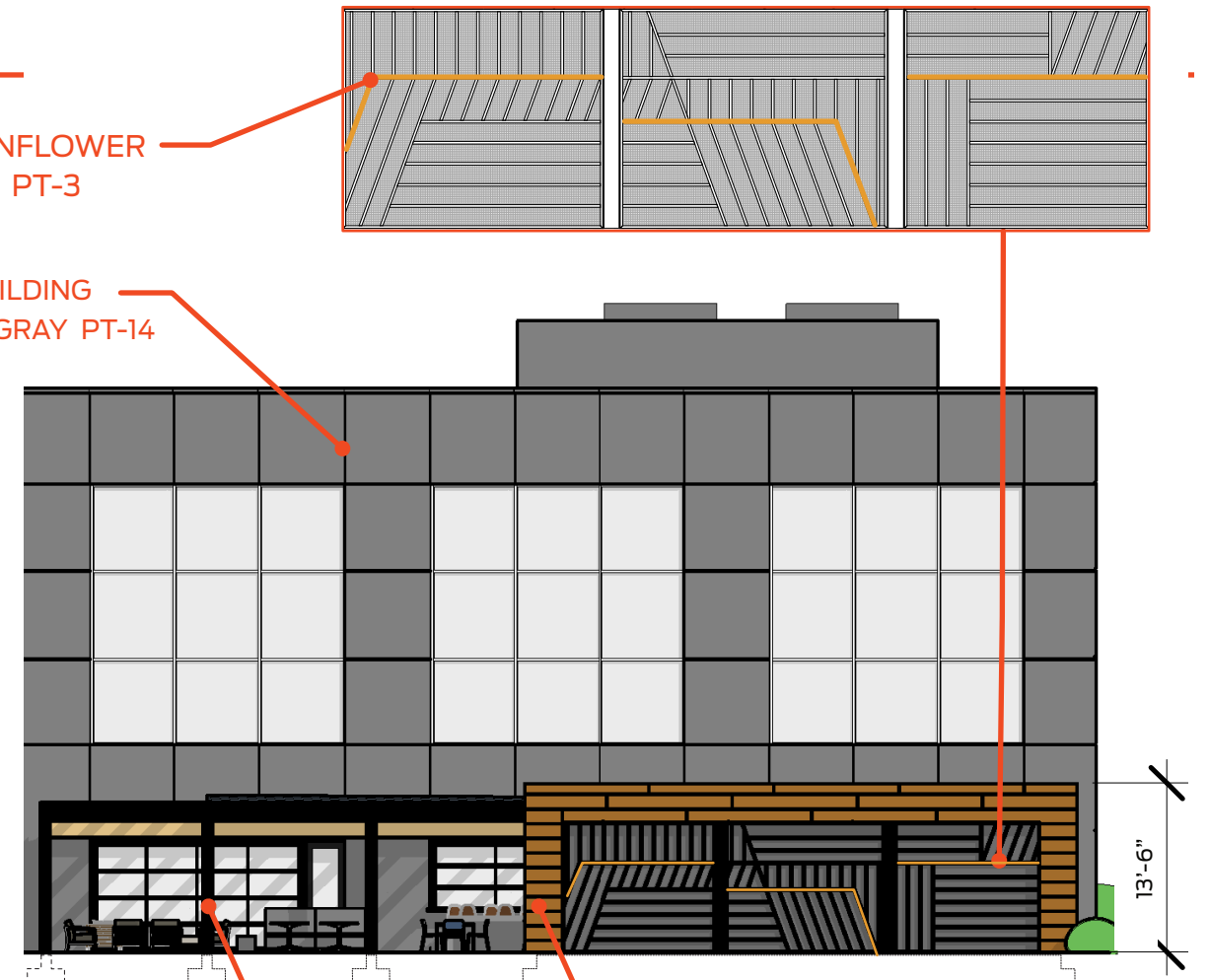
EXISTING
LANDSCAPE

MAIN ENTRY & PAVILION PLAN



NEW SUNFLOWER YELLOW PT-3

PAINT BUILDING GRIZZLE GRAY PT-14



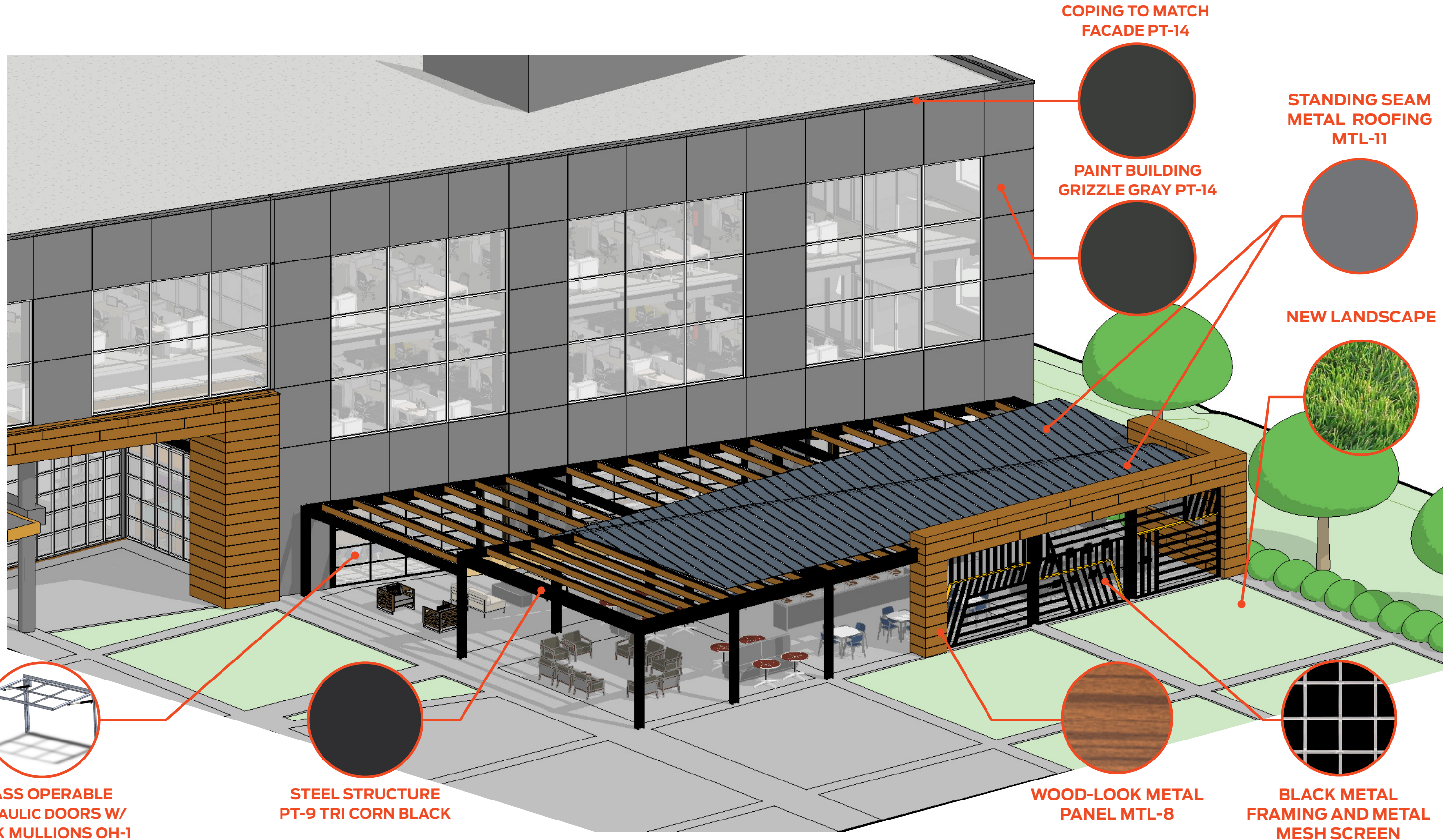
EXPOSED STEEL PAINTED PT-9

WOOD-LOOK METAL PANEL MTL-8

13'-6"



PAVILION - MATERIALS



**GLASS OPERABLE
HYDRAULIC DOORS W/
BLACK MULLIONS OH-1**

**STEEL STRUCTURE
PT-9 TRI CORN BLACK**

**WOOD-LOOK METAL
PANEL MTL-8**

**BLACK METAL
FRAMING AND METAL
MESH SCREEN**

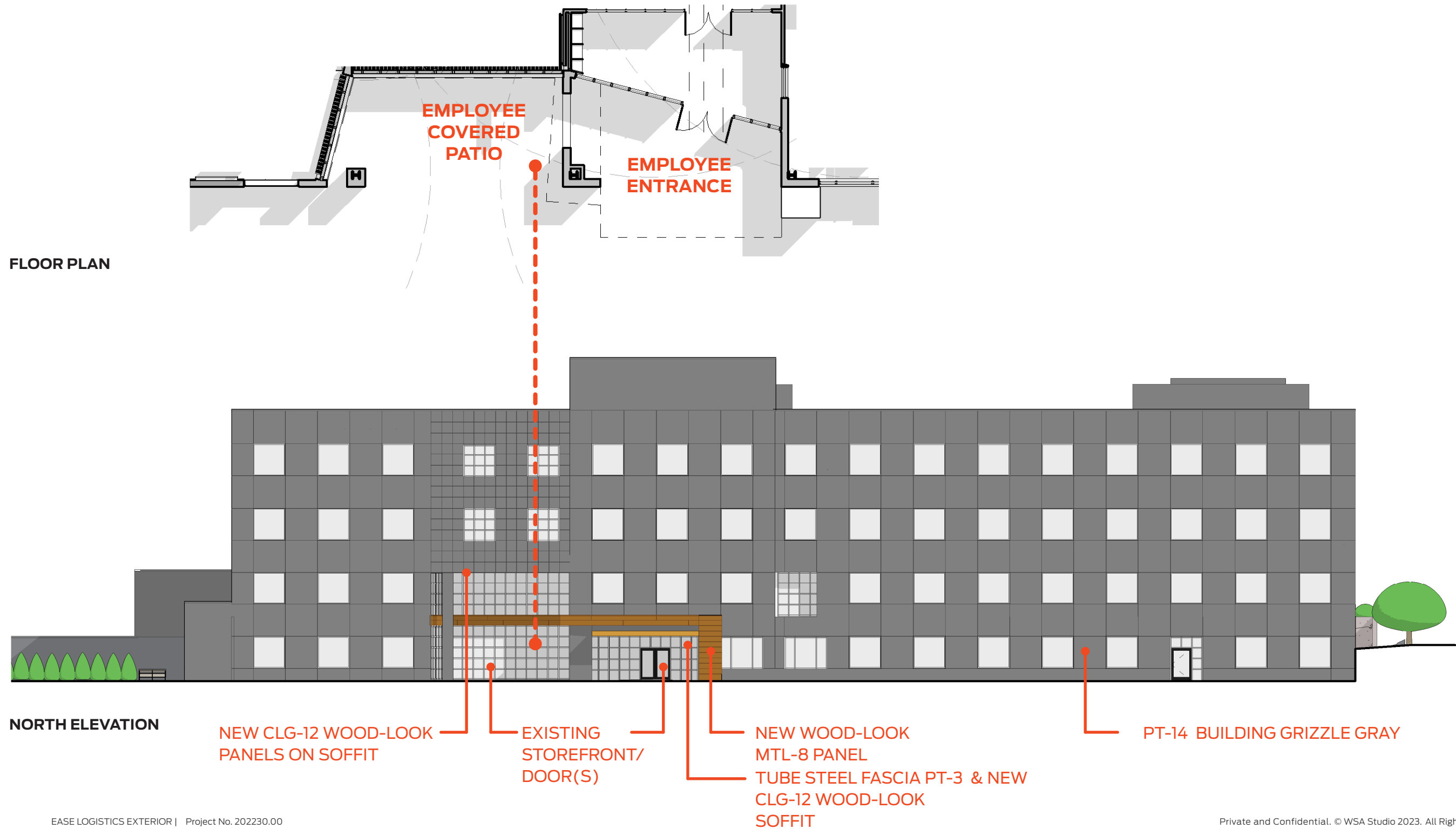
**COPING TO MATCH
FACADE PT-14**

**PAINT BUILDING
GRIZZLE GRAY PT-14**

**STANDING SEAM
METAL ROOFING
MTL-11**

NEW LANDSCAPE

NORTH EMPLOYEE ENTRY PLANS



FLOOR PLAN

NORTH ELEVATION

NEW CLG-12 WOOD-LOOK
PANELS ON SOFFIT

EXISTING
STOREFRONT/
DOOR(S)

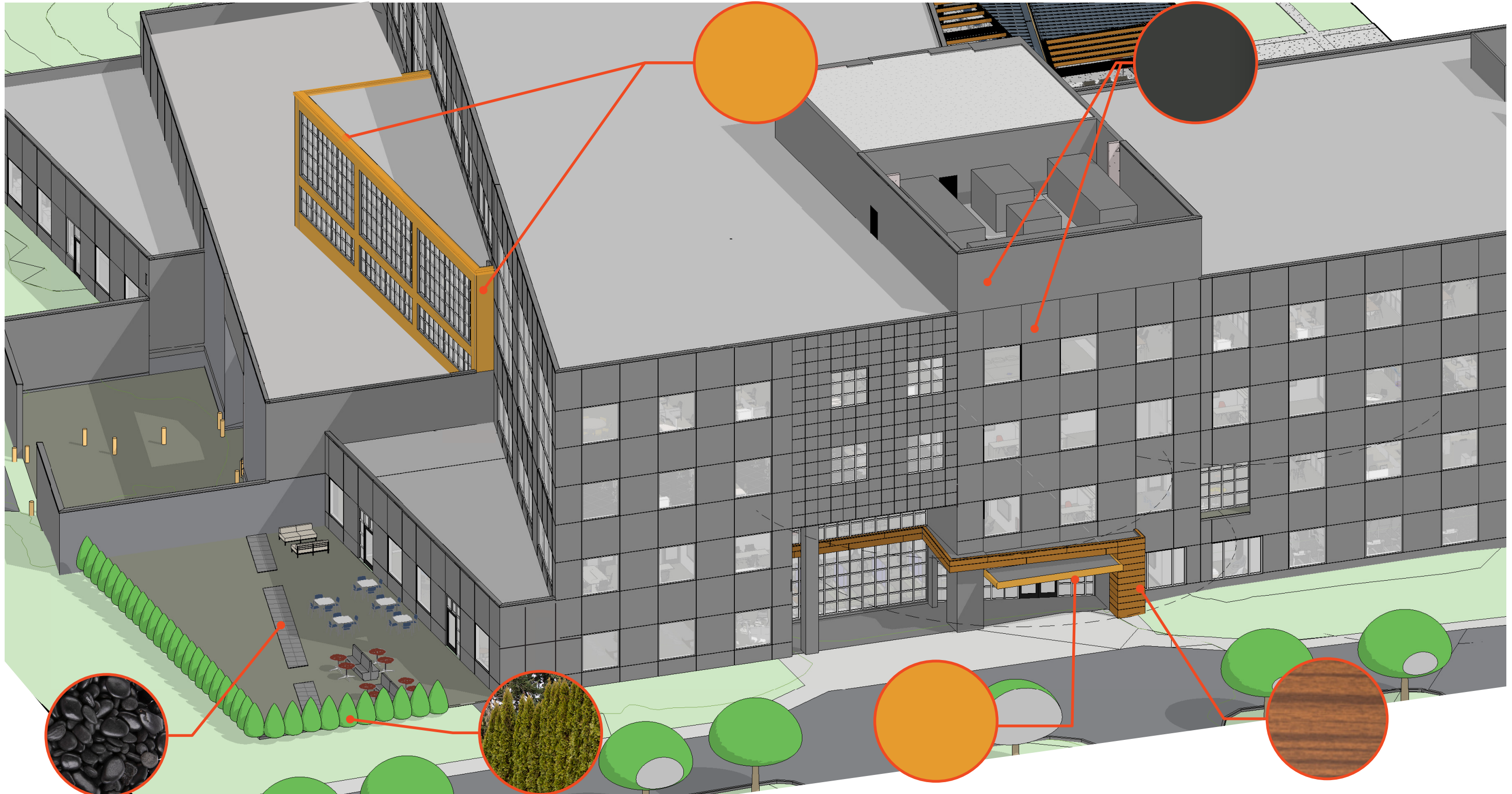
NEW WOOD-LOOK
MTL-8 PANEL
TUBE STEEL FASCIA PT-3 & NEW
CLG-12 WOOD-LOOK
SOFFIT

PT-14 BUILDING GRIZZLE GRAY

EMPLOYEE ENTRY - MATERIALS

NEW COPING PAINTED
SUNFLOWER YELLOW PT-3 ; PAINT
BUILDING SECTION PT-3

PAINT BUILDING
GRIZZLE GRAY PNT-14



REPLACE MULCH WITH
LANDSCAPE PEBBLES; REFER TO
LANDSCAPE DRAWINGS

REPLACE EXISTING SHRUBS;
REFER TO LANDSCAPE
DRAWINGS

TUBE STEEL FASCIA PAINTED
SUNFLOWER YELLOW PT-3

NEW WOOD-LOOK PANEL
GOLDEN MAPLE MTL- 8

LIGHTING DIAGRAM



CANOPY SOFFIT LIGHTING, ER-1

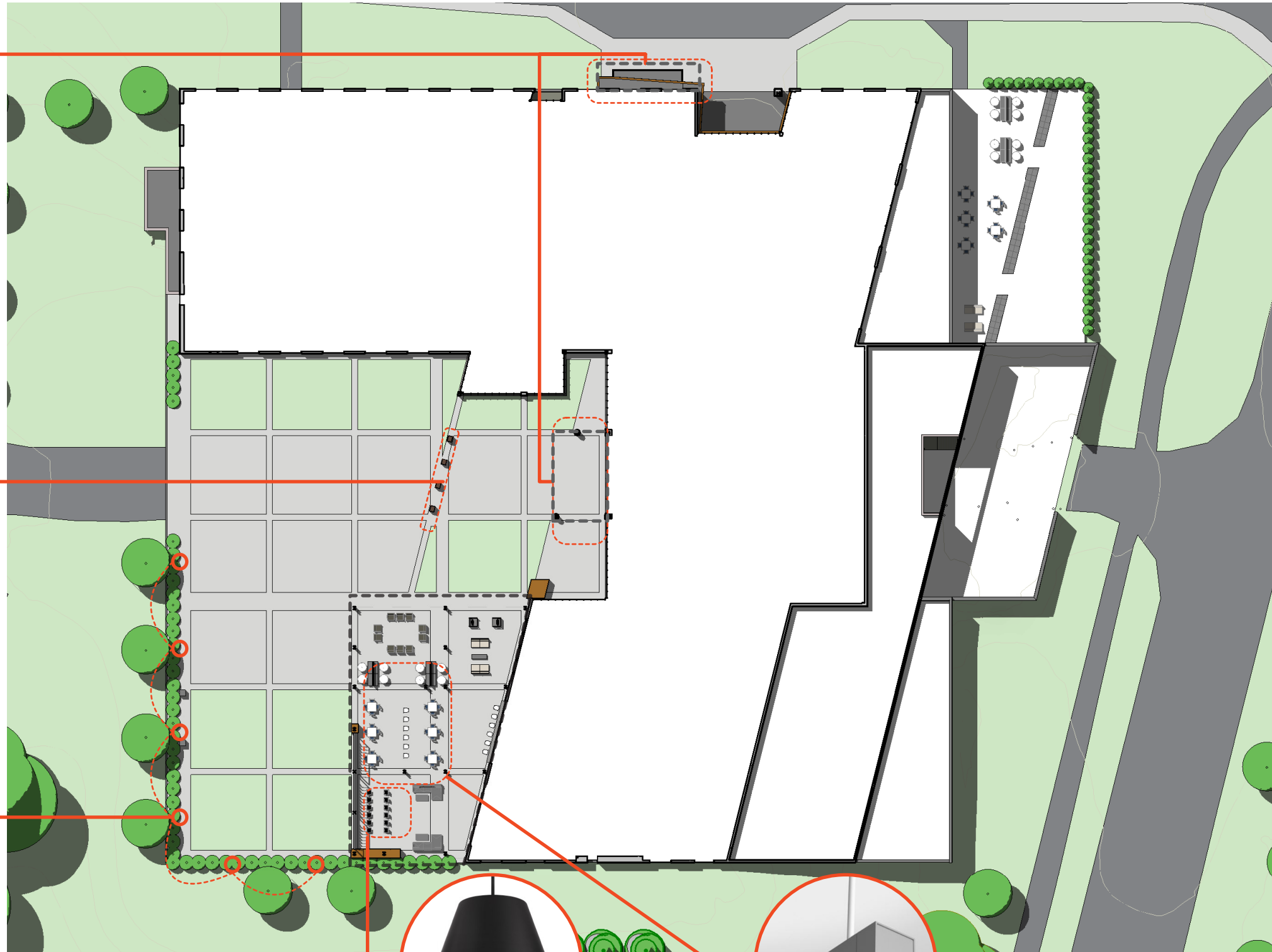
ILLUMINATED CORTEN PLANTERS EB-1



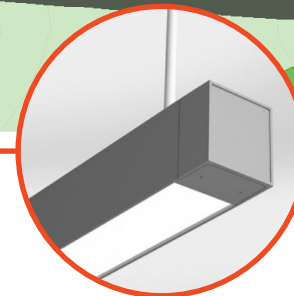
LANDSCAPE LIGHTING, EG-1



ALL OTHER EXISTING SITE LIGHTING TO REMAIN AND BE REPLACED AS NEEDED



PAVILION LIGHTING P-12



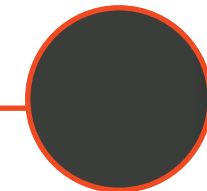
PAVILION LIGHTING L6



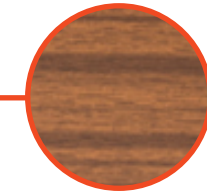
MAIN ENTRY & PAVILION RENDERING



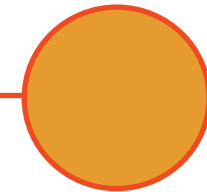
CURRENT CONDITION



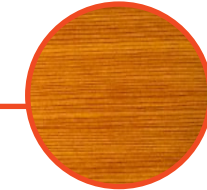
PAINT FACADE
GRIZZLE GRAY
PT-14



WOOD-LOOK PANEL
ENTRY FEATURE
MTL-8



TUBE STEEL FASCIA
PAINTED
SUNFLOWER
YELLOW PT-3



NEW ENTRY CANOPY
MATTE BLACK
MTL-10 . WOOD-LOOK
PANEL SOFFIT
CLG-12

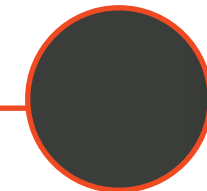


ILLUMINATED
CORTEN PLANTER
EB-1

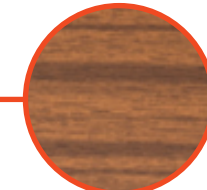
PAVILION RENDERING



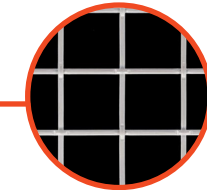
CURRENT CONDITION



PAINT FACADE
GRIZZLE GRAY PT-14



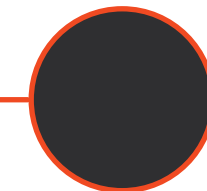
WOOD-LOOK MTL
PANEL MTL-8



DECORATIVE WIRE
MESH BLACK SCREEN



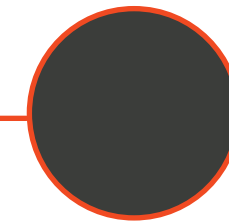
NEW GRASS



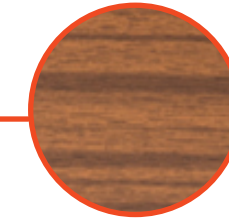
EXPOSED STRUCTURE
PAINTED TRI CORN
BLACK PT-9

EMPLOYEE ENTRY RENDERING

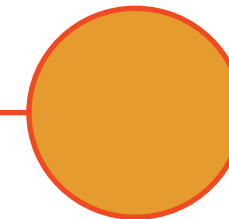
CURRENT CONDITION



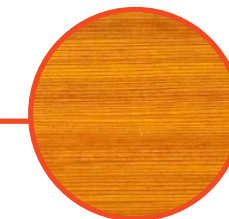
**PAINT BUILDING
GRIZZLE GRAY
PT-14**



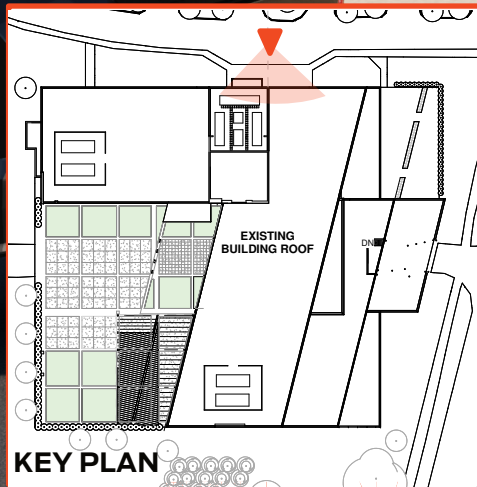
**WOOD-LOOK PANEL
MTL-8**



**TUBE STEEL FASCIA
PAINTED
SUNFLOWER YELLOW
PT-3**



**METAL WOOD-LOOK
PANEL SOFFIT
CLG-12**



MATERIAL SPECIFICATIONS

GROUND MATERIALS



GRASS
LOCATION: PLAZA; SEE PLAN & LANDSCAPE DRAWINGS



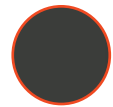
SHRUBS
LOCATION: CAFE PATIO
SEE PLAN & LANDSCAPE DRAWINGS



BUFF FINISHED CONCRETE
LOCATION: PLAZA + PAVILION
TO MATCH EXISTING



PEBBLES
LOCATION: CAFE PATIO
MANUFACTURER: LANG STONE
COLLECTION: MEXICAN PEBBLES
COLOR: SEE PLAN & LANDSCAPE DRAWINGS



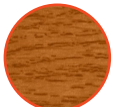
PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: GRIZZLE GRAY
COLOR #: SW 7068



MANUFACTURER: SHERWIN WILLIAMS
COLOR: SUNFLOWER YELLOW
COLOR #: SW 6678



MANUFACTURER: SHERWIN WILLIAMS
COLOR: TRI CORN BLACK
COLOR #: SW 6258



MANUFACTURER: MINWAX WATER BASED STAIN
COLOR: FRUITWOOD
COLOR #: MW241

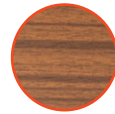
PT-14

PT-3

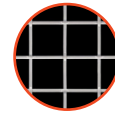
PT-9

PT-15

PANEL



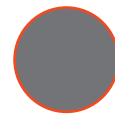
WOOD-LOOK PANEL **MTL-8**
MANUFACTURER: PAC-CLAD 3000 CS
COMPOSITE PANEL
COLLECTION: WOOD GRAIN FINISH
COLOR: GOLDEN MAPLE



MESH METAL SCREEN **MTL-9**
MANUFACTURER: MCNICHOLS
COLLECTION: SQUARE GALVANIZED STEEL
SIZE: 2" X 2" WIRE DIAMETER OPENING



METAL CEILING SOFFIT **CLG-12**
MANUFACTURER: LONG BOARD
COLLECTION: TONGUE & GROOVE PLAN CLADDING
COLOR: DARK FIR
LOCATION: CANOPY SOFFIT



METAL ROOF **SS-11**
MANUFACTURER: PAC-CLAD
COLLECTION: SNAP-CLAD PANEL
COLOR: MUSKET GRAY
LOCATION: PAVILION ROOF



OVERHEAD DOOR **OH-1**
INDOOR / OUTDOOR
MANUFACTURER: CROWN DOORS
COLLECTION: SINGLE SWING HYDRAULIC SYSTEM
SIZE: CUSTOM TO MATCH EXISTING OPENING
FINISH: BLACK
LOCATION: PAVILION / EVENT SPACE

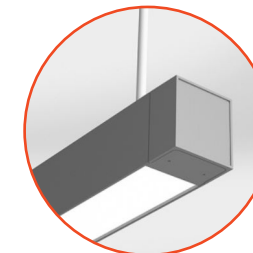


LIGHTING

SITE ILLUMINATED PLANTER BOLLARD EB-1
MANUFACTURER: YARD COUTURE
COLLECTION: METAL LED PLANTERS
COLOR: 3000K
SIZE: 27"W x 27"D x 28"H
FINISH: CORTEN STEEL
LOCATION: PLAZA



LANDSCAPE LIGHTING **EG-1**
MANUFACTURER: WAC LIGHTING
COLLECTION: GARDEN FLOODLIGHT
COLOR: 3000K, 12V
SIZE: 5.9"H x 2.9"W
FINISH: BLACK ALUMINUM
LOCATION: PLAZA & CAFE PATIO



PAVILION LIGHTING **L6**
MANUFACTURER: PAC LIGHTING
COLLECTION: MICROLINEA SERIES 3
COLOR: 3000K, 12V
SIZE: VARIOUS SIZES (2', 3', 4', 6', 8')
FINISH: TEXTURED BLACK (F11T)
LOCATION: PAVILION CEILING



PAVILION LIGHTING **P-12**
MANUFACTURER: MYLA
COLLECTION: PD-W24320
COLOR: 3000K, 120V
SIZE: 15"H x 20"W
FINISH: BLACK
LOCATION: PAVILION CEILING



CANOPY LIGHTING **ER-1**
MANUFACTURER: LUMINIS
COLLECTION: OCULUS SERIES OC750-RG
COLOR: 3000K, 120V
SIZE: 6"
FINISH: JET BLACK (BKT)
LOCATION: ENTRY CANOPIES


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1 OVERALL EXISTING SITE PLAN
1" = 50'-0"

EXISTING SITE CONDITIONS PLAN CODED NOTES

- 1 EASE LOGISTIC SERVICES, LLC. BUILDING. PLANNED COMMERCE CENTER (PCD); PERIMETER CENTER. SUB-AREA C. 6000 PERIMETER DRIVE, DUBLIN, OHIO 43017.
- 2 EXISTING VEHICULAR SITE ENTRY POINTS.
- 3 EXISTING SERVICE VEHICLE AND VEHICULAR SITE ENTRY POINT.
- 4 EXISTING BIKE RACKS.
- 5 EXISTING ENCLOSED SERVICE YARD.
- 6 EXISTING MAIN ENTRY.
- 7 EXISTING EMPLOYEE PATIO.
- 8 EXISTING ADA PARKING SPACES.
- 9 EXISTING PARKING LOT.
- 10 EXISTING MULTI-USE RECREATIONAL TRAIL.
- 11 EXISTING LANDSCAPE BERM AT ALL PARKING LOT AREAS TYPICAL.

 KEY PLAN
SCALE: NTS
0 25' 50' 100'
SCALE: 1" = 50'-0"



EASE LOGISTICS

SITE DESIGN

PROJECT ADDRESS
6000 Perimeter Dr.
Dublin, OH 43017

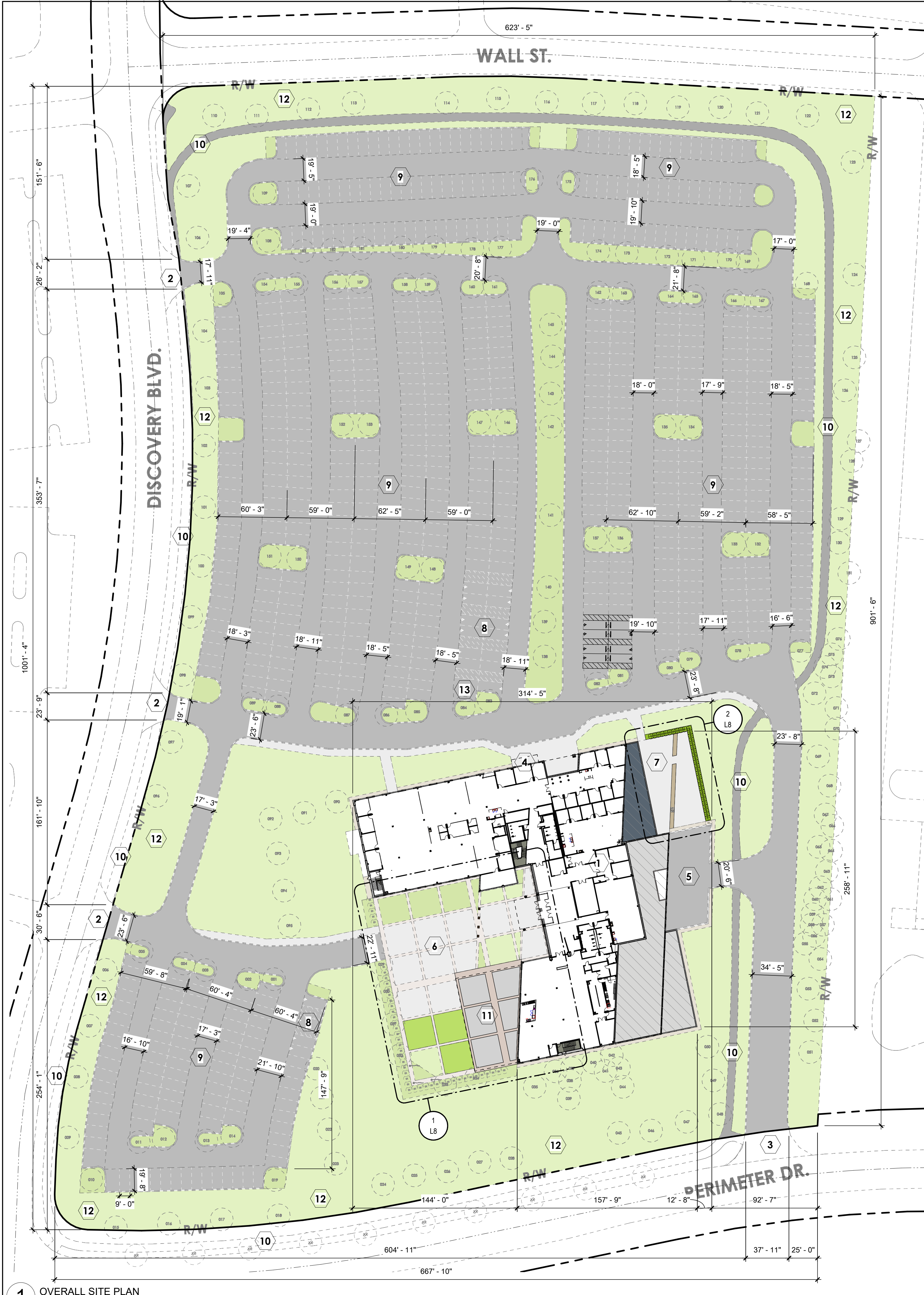
#	DATE	DESCRIPTION

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CONSTRUCTION

Amended Final Development
Plan
DATE PRINTED
6 JUNE 2023
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23054

DRAWN BY: EDGE CHECKED BY: CCL
EXISTING CONDITIONS PLAN

L1



OVERALL SITE PLAN CODED NOTES

- 1 EASE LOGISTICS SERVICES, LLC, BUILDING, PLANNED COMMERCE CENTER (PCD); PERIMETER CENTER, SUB-AREA C, 6000 PERIMETER DRIVE, DUBLIN, OHIO 43017.
- 2 MAINTAIN EXISTING VEHICULAR SITE ENTRY POINTS.
- 3 MAINTAIN EXISTING SERVICE VEHICLE AND VEHICULAR SITE ENTRY POINT.
- 4 NEW EMPLOYEE OVERHEAD ENTRY CANOPY.
- 5 EXISTING ENCLOSED SERVICE YARD, PRESERVE AND PROTECT DURING CONSTRUCTION.
- 6 EXISTING MAIN ENTRY TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION.
- 7 EMPLOYEE PATIO SITE WORK.
- 8 MAINTAIN EXISTING ADA PARKING SPACES, PRESERVE AND PROTECT DURING CONSTRUCTION.
- 9 MAINTAIN EXISTING PARKING LOT, PRESERVE AND PROTECT DURING CONSTRUCTION.
- 10 MAINTAIN EXISTING MULTI-USE RECREATIONAL TRAIL, PRESERVE AND PROTECT DURING CONSTRUCTION.
- 11 PROPOSED PAVILION SITE WORK.
- 12 MAINTAIN EXISTING LANDSCAPE BERM AT ALL PARKING LOT AREAS TYPICAL.
- 13 MAINTAIN EXISTING BIKE RACKS, PRESERVE AND PROTECT DURING CONSTRUCTION, REPAIR AND REPLACE AS NEEDED.

DRAWING NOTES:

1. THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS, AND APPLICABLE REQUIREMENTS OF OTHER REGULATORY AGENCIES.
2. UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURERS' INSTRUCTIONS, OR REQUIREMENTS OF REGULATORY AGENCIES, WHEN USED TO SPECIFY REQUIREMENTS FOR MATERIALS OF DESIGN ELEMENTS SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BIDS, OR THE DATE OF THE CHANGE ORDER OR FIELD ORDERS, AS APPLICABLE.
3. EACH CONTRACTOR SHALL REPORT DISCREPANCIES IN DRAWINGS TO THE ARCHITECT FOR CLARIFICATIONS AND ADJUSTMENTS BEFORE COMMENCING WORK. ANY DEVIATIONS OR CHANGES IN THESE DRAWINGS WITHOUT WRITTEN ACCEPTANCE OF THE ARCHITECT SHALL ABSOLVE THE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF SAID DEVIATION AND CHANGE.
4. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE A/E WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
5. WORK SHOWN IS BASED ON A SURVEY PROVIDED BY WSA ARCHITECTS-GIS.
6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
7. ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
8. ROUGH GRADING WORK WILL BE REVIEWED AND ACCEPTED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF SOIL PREPARATION WORK. DO NOT BEGIN SOIL PREPARATION WORK OR FINISH GRADING WORK BEFORE ROUGH GRADING IS ACCEPTED BY THE ARCHITECT.
9. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ARCHITECT AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN. THE EXACT LOCATION AND ELEVATION OF UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR.
10. IF LIVE UTILITIES ARE ENCOUNTERED, NOT INDICATED PREVIOUSLY, PROTECT THE SAME FROM DAMAGE AND IMMEDIATELY NOTIFY THE OWNER AND THE AFFECTED UTILITY PROVIDER. DO NOT PROCEED UNTIL FURTHER INSTRUCTIONS ARE RECEIVED.
11. BACKFILL UTILITY LINES EXPOSED BY WORK OPERATIONS AND REPAIR BEDDING AND BACKFILL MATERIAL OF UTILITIES THAT IS DISPLACED AND DAMAGED DURING WORK. REPLACE CONTAMINATED MATERIALS WITH NEW MATERIALS MATCHING THE EXISTING MATERIALS.
12. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING ENTRANCE ELEVATIONS.
13. MAKE TRANSITIONS BETWEEN CHANGES IN PAVING SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES UNLESS SHOWN OTHERWISE.
14. SET STRAIGHT LINE GRADES BETWEEN ELEVATIONS UNLESS OTHERWISE SHOWN.
15. PITCH IN DRAIN PIPES SHALL BE CONSTANT FROM INVERT ELEVATION TO INVERT ELEVATION.
16. DIMENSIONS INDICATED ON PLANS ARE FOR HORIZONTAL CONTROL AND ARE ACCURATE IF MEASURED ON A LEVEL LINE. MEASURE HORIZONTAL CONTROL DIMENSIONS ON A LEVEL LINE, NOT PARALLEL WITH GROUND SLOPE.
17. OBTAIN AESTHETIC ACCEPTANCE FROM THE ARCHITECT OF FINISH GRADING PRIOR TO PLANTING.
18. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING CIRCUITRY AND THE LIGHT FIXTURE SCHEDULE.
19. COORDINATE PENETRATIONS REQUIRED FOR IRRIGATION AND SUB-DRAINAGE AND ELECTRICAL WORK WITH CONCRETE WORK.
20. PLANTS AND DOUBLE SHREDDED WOOD CHIP BARK MULCH ARE NOT SHOWN ON SOME DETAILS FOR PURPOSES OF CLARITY. SEE PLANTING PLANS FOR PLANT MATERIAL AREAS AND SEE TYPICAL PLANTING AREA DETAILS FOR LIMIT OF DOUBLE SHREDDED WOOD CHIP BARK MULCH.
21. REFER TO CIVIL DRAWINGS FOR SANITARY SEWER LINES, STORM DRAIN LINES, GRADING AND OTHER UTILITY LINES.
22. PROTECT EXISTING STRUCTURES AND SERVICES TO REMAIN INCLUDING BUT NOT LIMITED TO: UTILITIES, WALLS, STAIRS, AND RAMPS.
23. ARCHITECT TO ACCEPT LOCATIONS FOR FOOTING POURS OF LIGHT POLES AND SITE WALLS IN THE FIELD PRIOR TO POUR.
24. WORK IN PUBLIC RIGHT-OF-WAY SHOWN FOR REFERENCE ONLY. VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
25. PROVIDE MOCK-UPS FOR APPROVAL BY ARCHITECT FOR ALL PAVING, WALLS, STAIRS, WATER FEATURES, LIGHTING ELEMENTS, CUSTOM SITE FURNISHINGS, AND STRUCTURES.
26. ALL STRUCTURAL SITE ELEMENTS SUCH AS WALLS, FOOTINGS, SUB-SLABS, RAILINGS, CANOPY STRUCTURES, ETC. ARE TO BE ENGINEERED BASED ON THESE DRAWINGS AND APPROVED BY STRUCTURAL ENGINEER.
27. ALL DRAINAGE ELEMENTS SUCH AS PIPING, DRAINS AND RAIN GARDENS ARE TO BE ENGINEERED BASED ON THESE DRAWINGS AND APPROVED BY CIVIL ENGINEER.

EASE LOGISTICS
SITE DESIGN

PROJECT ADDRESS
6000 Perimeter Dr.
Dublin, OH 43017

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DRAWN BY: EDGE CHECKED BY: COL

OVERALL SITE PLAN

L3



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INTERIOR PARKING LOT LANDSCAPE CALCULATION		
INTERIOR PARKING LOT TYPE	AREA	PERCENTAGE
DRIVE AISLE	143,110 SF	45%
INTERIOR LANDSCAPE AREA	23,672 SF	7%
PARKING SPACE	149,484 SF	47%
Grand total	316,266 SF	100%

PARKING COUNTS	
PARKING SPACE TYPE	COUNT
PARKING SPACES	702
ADA PARKING SPACES	25
Grand total	727

PARKING LOT PLANTING REQUIREMENT:

§ 153.065(D)(5)(c)(1) "A MINIMUM OF 5% OF THE INTERIOR PARKING LOT AREA, CALCULATED AS THE TOTAL OF THE AREA IN ALL PARKING SPACES AND DRIVE AISLES, SHALL BE LANDSCAPED"

TOTAL PARKING LOT AREA: 316,266 SF
 TOTAL PARKING LOT LANDSCAPE AREA REQUIRED: (316,266 X .05) = 15,814 SF
 TOTAL PARKING LOT LANDSCAPE AREA PROVIDED: 23,672 SF

§ 153.065(D)(5)(c)(2)(a) "...WITH A MAXIMUM RUN OF 12 PARKING SPACES PERMITTED WITHOUT A TREE ISLAND. ONE MEDIUM DECIDUOUS TREE AS DEFINED BY APPENDIX E OR AS OTHERWISE APPROVED BY THE CITY FORESTER SHALL BE PLANTED FOR EVERY 12 PARKING SPACES."

TOTAL PARKING SPACES PROVIDED: 727 SPACES
 727 TOTAL PARKING SPACES / 12 PARKING SPACES = 60.58
 TOTAL REQUIRED TREES: 61 TREES
 TOTAL PROVIDED TREES: 71 TREES

ADA PARKING SPACE REQUIREMENT:

PERIMETER CENTER DEVELOPMENT TEXT - CITY OF DUBLIN, OHIO - SUBAREA C - PARKING AND LOADING:
 1. SIZE, RATIO, AND TYPE OF PARKING AND LOADING FACILITY SHALL BE REGULATED BY DUBLIN CODE CHAPTER 1193.

§ 153.201(D) - INTERPRETATION AND CALCULATION
 [FROM OHIO BASIC BUILDING CODE - OAC 4101:2-5-12]
 OVER 500 SPACES = TEN (10) SPACES PLUS (+) ONE (1) SPACE PER FIFTY (50) PARKING SPACES OVER ONE HUNDRED (100)

729 - 100 = 629 / 50 = 12.58
 10 + 13 = 23

ADA PARKING SPACES REQUIRED = 23
 TOTAL EXISTING ADA PARKING SPACES PROVIDED = 25

BICYCLE & PEDESTRIAN CIRCULATION CODED NOTES

- 1 MULTI-USE PATHWAY (BIKE CIRCULATION).
- 2 PEDESTRIAN CIRCULATION PATHWAY.
- 3 PEDESTRIAN OCCUPIABLE SPACE.
- 4 PEDESTRIAN BUILDING ACCESS POINT.

§ 152.084(A) OPEN SPACE REQUIREMENTS:
 LAND DEDICATION, THE BASIC LAND DEDICATION REQUIREMENT SHALL BE THAT 2% OF THE TOTAL GROSS SITE AREA.

+/- 591,902 SF X .02 = +/- 11,838 SF OPEN SPACE REQUIRED
 +/- 102,252 SF OPEN SPACE PROVIDED

PROVIDED OPEN SPACE			
SITE TYPE	AREA	ACRES	PERCENTAGE
BUFFER YARD	73,777 SF	1.69 acres	12%
INTERIOR LANDSCAPE AREA	33,407 SF	0.77 acres	6%
OPEN SPACE	102,259 SF	2.35 acres	17%
PAVEMENT COVERAGE	382,459 SF	8.78 acres	65%
Grand total	591,902 SF	13.59 acres	

EXISTING OVERALL SITE PERVIOUS VS IMPERVIOUS AREA			
TYPE	AREA	SITE ACREAGE	PERCENTAGES
IMPERVIOUS	334,266 SF	7.67 acres	56.5%
IMPERVIOUS - BUILDING SQUARE FOOTAGE	44,737 SF	1.03 acres	7.6%
PERVIOUS	212,878 SF	4.89 acres	36.0%
Grand total	591,902 SF	13.59 acres	100.0%

PROPOSED OVERALL SITE PERVIOUS VS. IMPERVIOUS AREA			
TYPE	AREA	SITE ACREAGE	PERCENTAGES
IMPERVIOUS	334,036 SF	7.67 acres	56.4%
IMPERVIOUS - BUILDING SQUARE FOOTAGE	44,737 SF	1.03 acres	7.6%
PERVIOUS	213,109 SF	4.89 acres	36.0%
Grand total	591,902 SF	13.59 acres	100.0%

§ 153.210 (b)

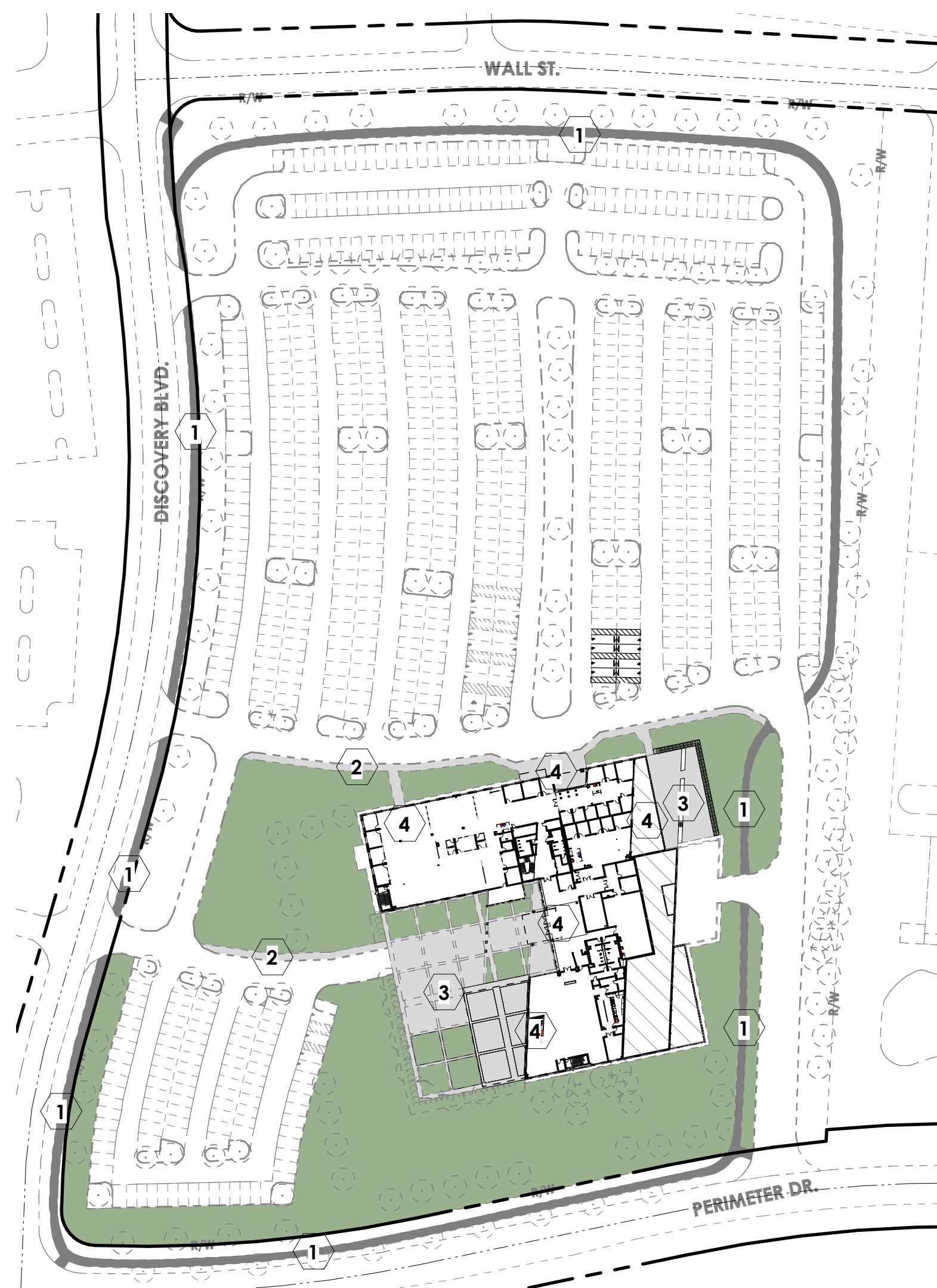
(B) ALL IMPERVIOUS SURFACE AREA, INCLUDING BUT NOT LIMITED TO, BUILDINGS, DRIVEWAYS, VEHICULAR USE AREAS, PATIOS, DECKS, AND OTHER ACCESSORY STRUCTURES MAY NOT EXCEED 60% OF THE LOT.

MAXIMUM ALLOWABLE IMPERVIOUS SURFACE COVERAGE = <60%
 IMPERVIOUS SURFACES AREA = 378,793 SF / 591,902 SF = 0.63996
 IMPERVIOUS SURFACE COVERAGE PROVIDED = 64.0%

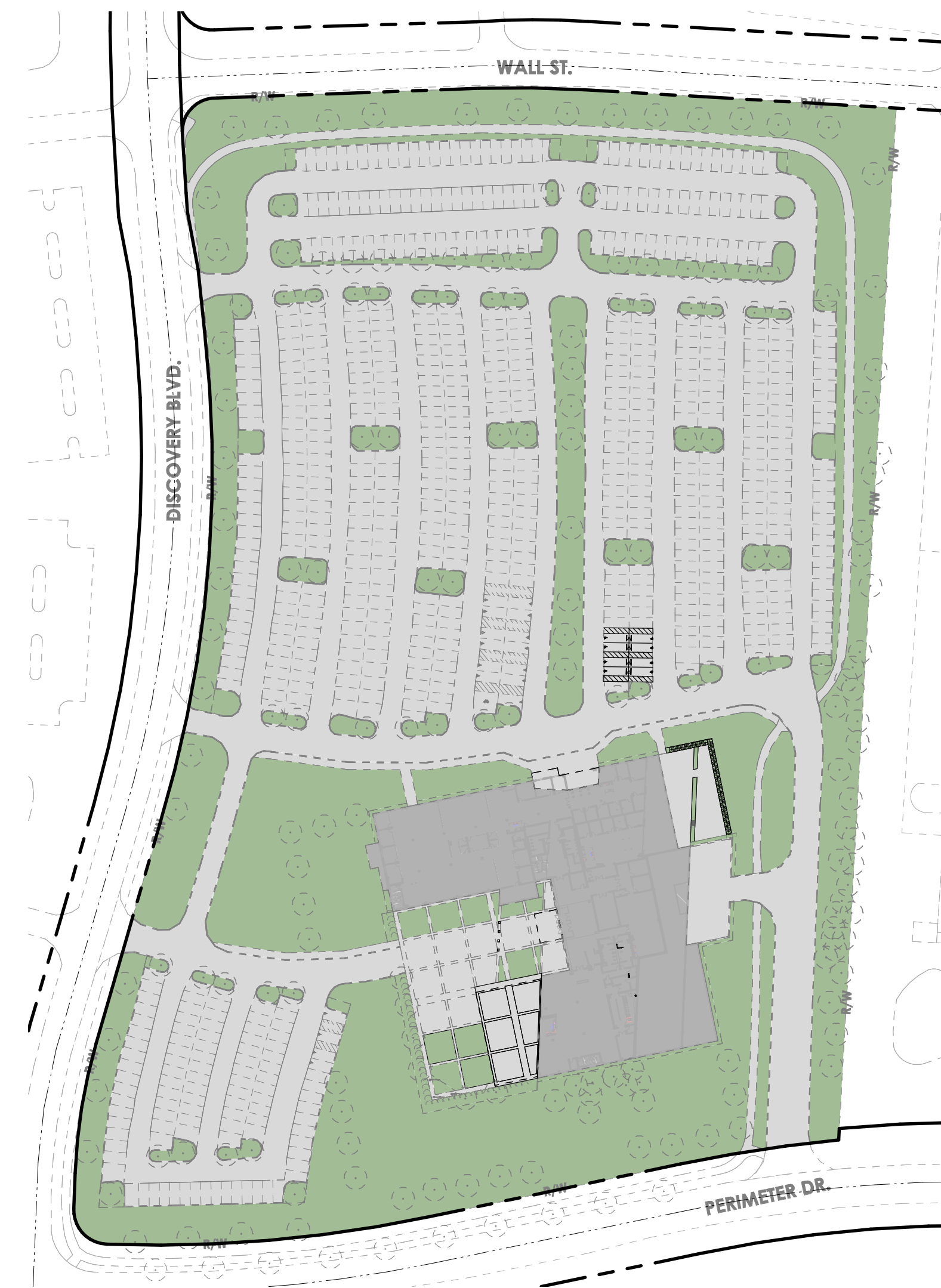
PERVIOUS SURFACE AREA = 213,109 SF / 591,092 SF = 0.36053
 PERVIOUS SURFACE COVERAGE PROVIDED = 36.0%



1 INTERIOR PARKING LOT CALCULATION
 1" = 100'-0"



2 PEDESTRIAN AND BICYCLE CIRCULATION AND OPEN SPACE DIAGRAM
 1" = 100'-0"



3 OVERALL SITE PERVIOUS VS IMPERVIOUS AREA
 1" = 100'-0"



0 50' 100' 200'
 SCALE: 1" = 100'-0"

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OVERALL SITE CALCULATIONS

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§ 153.134 STREET TREE AND PUBLIC TREE REQUIREMENTS.

THE PLANTING OF STREET TREES SHALL BE REQUIRED AT THE TIME A PARCEL IS DEVELOPED OR REDEVELOPED, IN ALL ZONING DISTRICTS, AND IN ACCORDANCE WITH THE FOLLOWING REGULATIONS.

(ORD. 66-93, PASSED 9-20-93)

A. REQUIREMENTS FOR TREES LOCATED ON CITY-OWNED PUBLIC PROPERTY. THE FOLLOWING ARE REQUIREMENTS FOR THE PLANTING, PRUNING AND REMOVAL OF TREES WITHIN CITY-OWNED PROPERTY. FOR THE PURPOSES OF THIS SECTION, CITY-OWNED PROPERTY SHALL INCLUDE ALL PUBLIC WAYS, STREETS, ALLEYS, PARKS OR OTHER PROPERTY OWNED BY THE MUNICIPALITY.

- 1. REQUIREMENTS IT SHALL BE REQUIRED THAT ALL SUBDIVIDERS OR DEVELOPERS PLANT TREES ALONG PUBLIC STREETS OF THEIR DEVELOPMENTS IN SUCH A MANNER, TYPE, QUANTITY AND LOCATION AS APPROVED BY THE PLANNING AND ZONING COMMISSION AND AS DEFINED BY THE FOLLOWING CONDITIONS, AND THAT ANY UNDEVELOPED STREET OR EXISTING STREET WITH UNDEVELOPED FRONTAGE SHALL CONFORM TO THESE REQUIREMENTS AT THE TIME OF THE DEVELOPMENT. FINAL TREE LOCATIONS MAY BE ADJUSTED BY THE CITY AS UNUSUAL CONDITIONS MAY WARRANT.
- B. THE TREE TO BE PLANTED SHALL BE AN APPROVED STREET TREE AS LISTED IN APPENDIX E (APPROVED STREET TREES FOR DUBLIN, OHIO).
- C. THE MINIMUM SPACING BETWEEN THIS AND OTHER TREES SHALL BE 40 FEET FOR LARGE TREES, 30 FEET FOR MEDIUM TREES AND 20 FEET FOR SMALL TREES. SEE DEFINITION BELOW.
- D. THE MAXIMUM SPACING BETWEEN TREES SHALL BE 45 FEET FOR LARGE TREES, 35 FEET FOR MEDIUM TREES, AND 25 FEET FOR SMALL TREES.
- E. THE MINIMUM DISTANCE BETWEEN THE TREE AND THE EDGE OF THE STREET SHALL BE TWO AND ONE-HALF FEET FOR A LARGE TREE, TWO FEET FOR A MEDIUM TREE AND ONE AND ONE-HALF FEET FOR A SMALL TREE. IN AREAS WHERE A SIDEWALK EXISTS OR IS PROPOSED, THE MINIMUM DISTANCE BETWEEN THE TREE TRUNK AND BOTH THE EDGE OF THE STREET AND THE SIDEWALKS SHALL BE TWO FEET FOR A LARGE TREE, TWO FEET FOR A MEDIUM TREE AND ONE AND ONE-HALF FEET FOR A SMALL TREE.
- F. THE TREE LOCATION SHALL BE AT LEAST 20 FEET FROM STREET INTERSECTIONS AND TEN FEET FROM FIRE HYDRANTS OR UTILITY POLES.

CITY OF DUBLIN, OHIO - SUBAREA C - DEVELOPMENT TEXT -

ALONG PERIMETER DRIVE (1 TREE PER 50 LF):

+/- 575 LF / 50 = 12 TREE REQUIRED
10 TREES PROVIDED

ALONG DISCOVERY BLVD (1 TREE PER MAX 45 LF O.C.):

+/- 1020 LF / 45 LF = 23 TREES REQUIRED
0 TREES PROVIDED

ALONG WALL ST (1 TREE PER 45 LF O.C.):

+/- 593 LF / 45 LF = 12 TREE REQUIRED
0 TREES PROVIDED

§ 153.133(A) PERIMETER BUFFER LANDSCAPE ZONE

(4) PROPERTY PERIMETER REQUIREMENTS. PROPERTY PERIMETER REQUIREMENTS PROVIDE BUFFERING BETWEEN DIFFERENT LAND USES AND ALONG CERTAIN RIGHTS-OF-WAY. SEE APPENDIX A.

§ APPENDIX A: PROPERTY PERIMETER REQUIREMENTS

5. WHEN THE FOLLOWING (ANY OFFICE OR BUSINESS ZONE) ADJOINS THE FOLLOWING (ANY INDUSTRIAL ZONE) THE MINIMUM LANDSCAPE WITHIN A BUFFER ZONE OF THIS AVERAGE WIDTH (15' - WITH 3 FT. AS THE LEAST DIMENSION) IS REQUIRED, WHICH WILL CONTAIN THIS MATERIAL (1 TREE/40 FT. OF LINEAL BOUNDARY, OR FRACTION THEREOF, 3 PLUS CONTINUOUS 6 FT. HIGH PLANTING, HEDGE, FENCE, WALL OR EARTH MOUND) TO ACHIEVE OPACITY REQUIRED.

§ APPENDIX A: PROPERTY PERIMETER REQUIREMENTS

2. WHEN THE FOLLOWING (ANY PUBLIC OR PRIVATE STREET RIGHT-OF-WAY, ACCESS ROAD OR SERVICE ROAD, EXCEPT FREEWAYS) ADJOINS THE FOLLOWING (ANY VEHICULAR USE AREA, OUTSIDE OF CB OR CCC (EXCEPT VEHICULAR SALES FACILITIES) IN ANY ZONE) THE MINIMUM LANDSCAPE EASEMENT OF THIS WIDTH IS REQUIRED (4 FT. MINIMUM TO ALL TREES FROM EDGE OF PAVING WHERE VEHICLES OVERHANG, AND 3 FT. STRIP THAT PROHIBITS ANY VEHICULAR OVER-HANG FOR OTHER AREAS, ADJACENT TO PORTION OF VEHICULAR USE AREA THAT FACES BUILDING ON ADJACENT PROPERTY), WHICH WILL CONTAIN THIS MATERIAL (1 TREE/40 FT. OF FROM GROUP A OR B, PLUS A 3.5 FT. AVERAGE HEIGHT CONTINUOUS FENCE, WALL, PLANTING, HEDGE, EARTH MOUND) TO ACHIEVE OPACITY REQUIRED.

ALONG PERIMETER DRIVE:

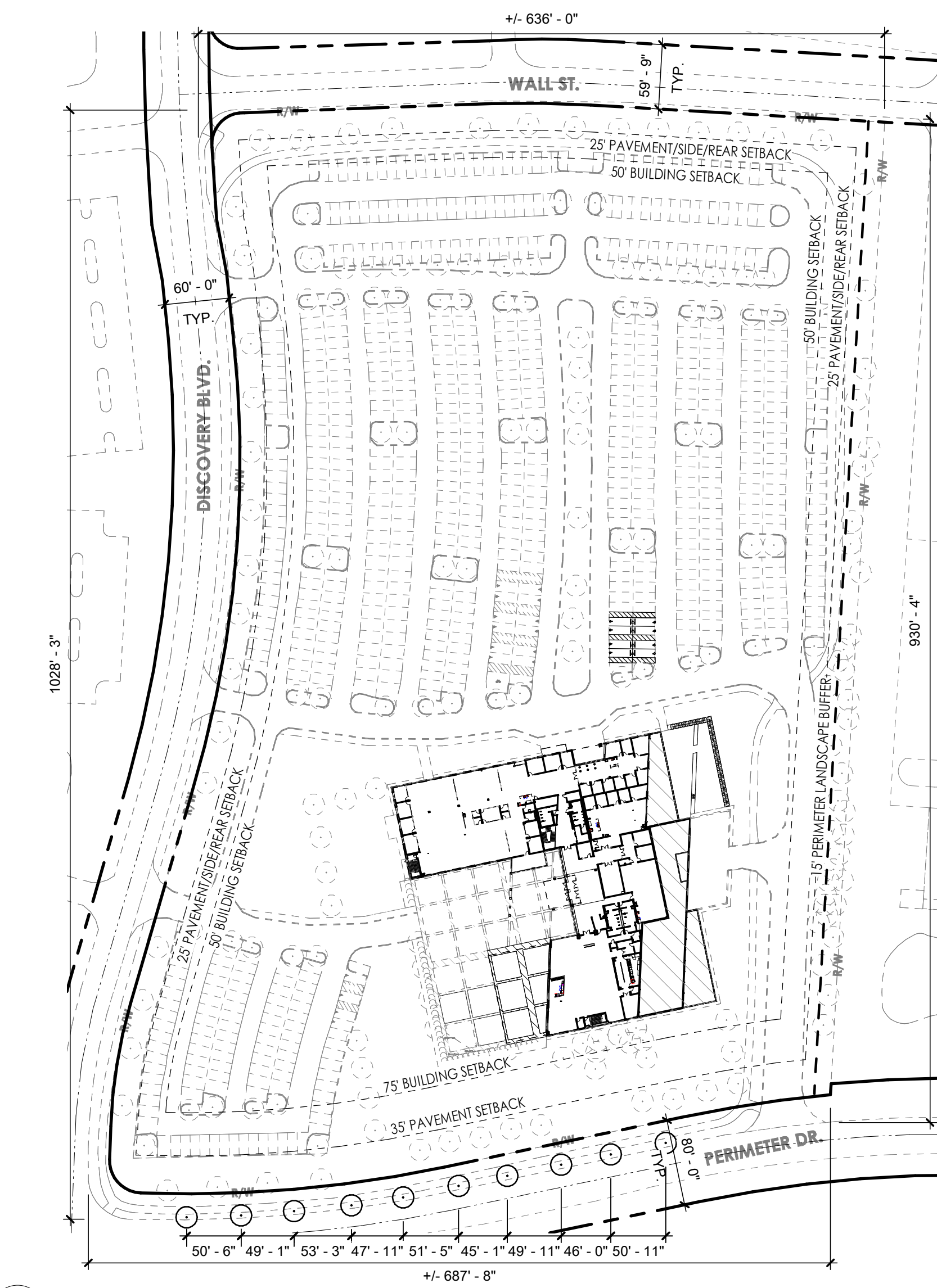
+/- 575 LF / 40 = 14 TREES REQUIRED
13 TREES PROVIDED

ALONG DISCOVERY BLVD:

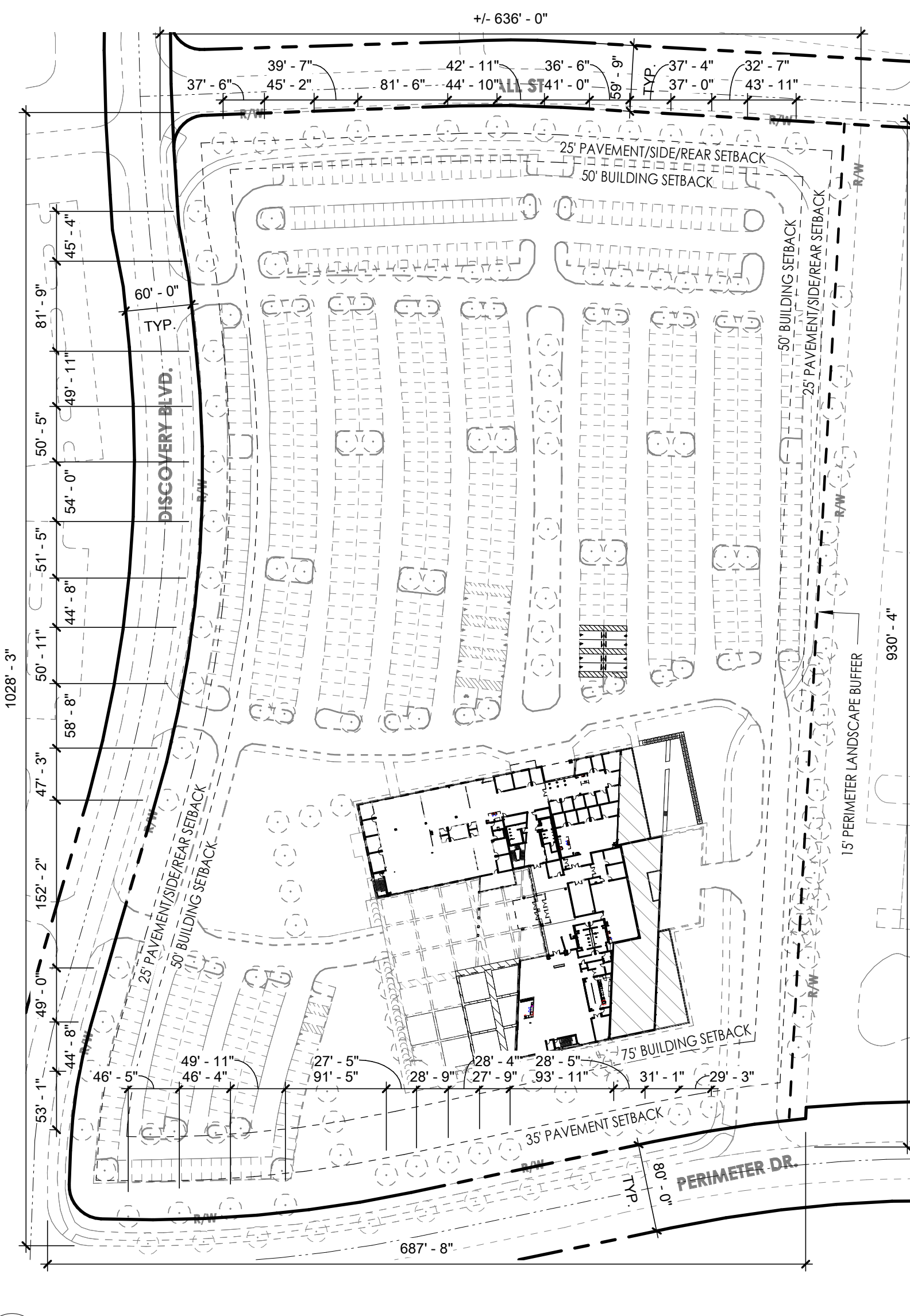
+/- 1020 LF / 40 LF = 24 TREES REQUIRED
15 TREES PROVIDED

ALONG WALL ST:

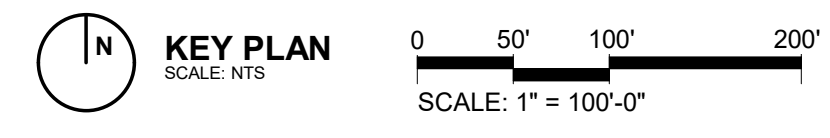
+/- 593 LF / 40 LF = 15 TREES REQUIRED
13 TREES PROVIDED



1 STREET TREE PLAN
1" = 100'-0"



2 YARD AND SETBACK REQUIREMENTS
1" = 100'-0"



WSA

982 S. FRONT STREET
COLUMBUS, OH 43206
614.824.1633



schaefer



BAUER GROUP LLC



EASE LOGISTICS
SITE DESIGN

PROJECT ADDRESS

6000 Perimeter Dr.
Dublin, OH 43017

DATE DESCRIPTION

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OVERALL SITE CALCULATIONS

L5

EXISTING MAIN ENTRY AND PAVILION CODED NOTES

- 1 EASE LOGISTICS SERVICE, LLC. BUILDING
- 2 DASHED RED LINE INDICATES EXISTING AREA TO BE DISTURBED.
- 3 EXISTING CONCRETE PAVING
- 4 EXISTING LAWN PANEL.
- 5 EXISTING CONCRETE PAVING GRID BETWEEN PANELS TYPICAL
- 6 EXISTING PLANTING PANEL.



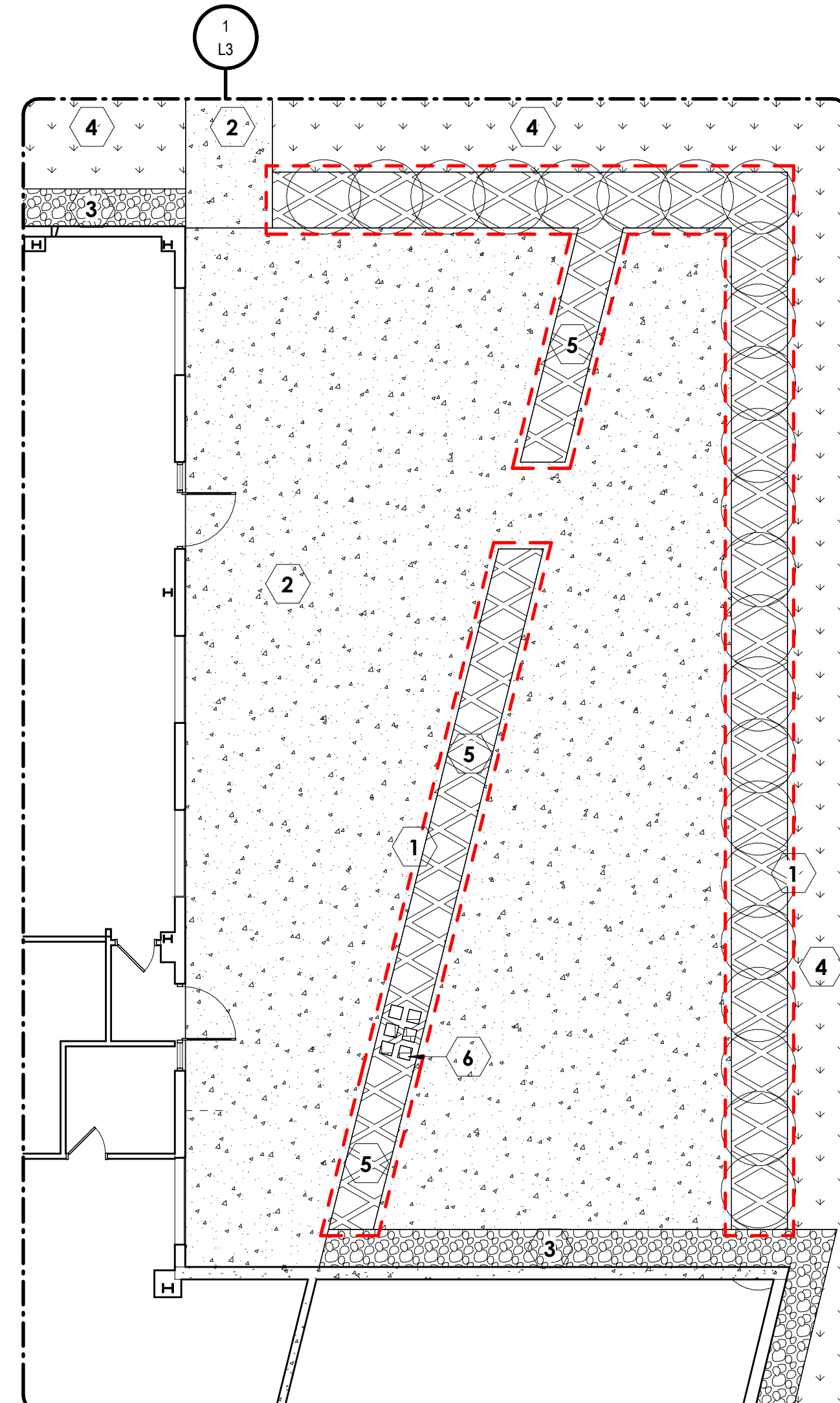
1 EXISTING MAIN ENTRY AND PAVILION ENLARGEMENT PLAN
1" = 10'-0"



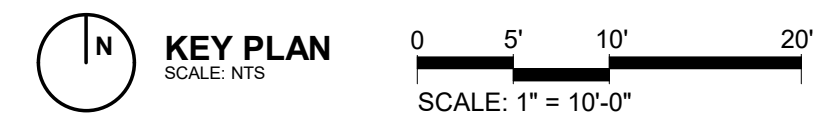
EXISTING SITE PHOTO SHOWING CONCRETE UNIT PAVERS TO BE REUSED IN SAME LOCATION AND PATTERN LAYOUT DURING CONSTRUCTION.

EXISTING EMPLOYEE PATIO CODED NOTES

- 1 DASHED RED LINE INDICATES EXISTING AREA TO BE DISTURBED.
- 2 EXISTING CONCRETE PAVING.
- 3 EXISTING AGGREGATE BANDING.
- 4 EXISTING LAWN AREA.
- 5 EXISTING PLANTING AREA.
- 6 EXISTING CONCRETE UNIT PAVERS TO BE REUSED DURING CONSTRUCTION. PRESERVED AND PROTECTED DURING CONSTRUCTION. SEE ABOVE IMAGE.



2 EXISTING EMPLOYEE PATIO ENLARGEMENT PLAN
1" = 10'-0"



WSA

882 S. FRONT STREET
COLUMBUS, OH 43206
614.824.1633



schaefer



BAUER GROUP LLC



EASE LOGISTICS
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EXISTING SITE ENLARGEMENT PLANS

L6

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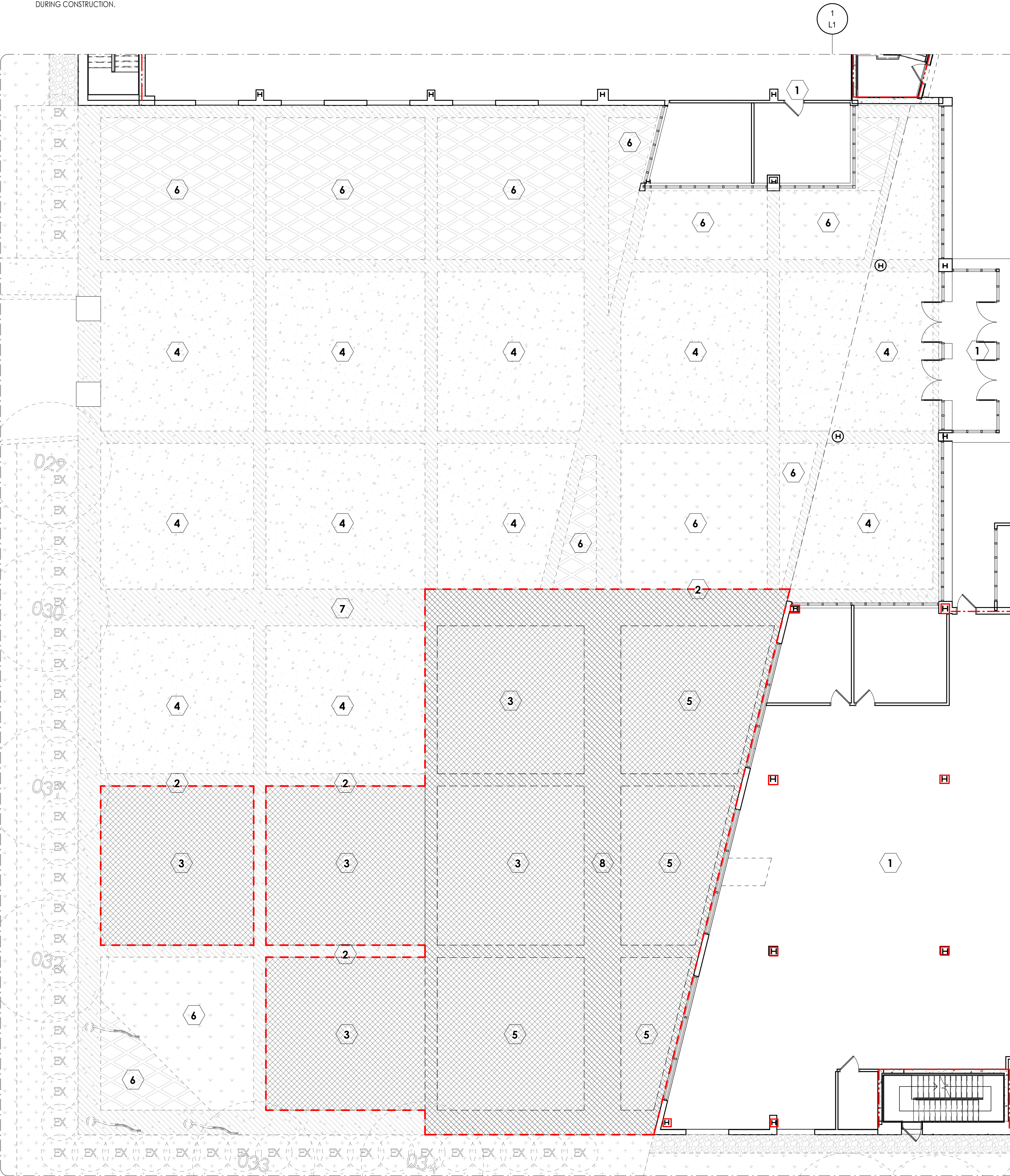
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 8/7/2023 9:43:30 AM

MAIN ENTRY AND PAVILION DEMOLITION CODED NOTES

- 1 EASE LOGISTICS SERVICE, LLC. BUILDING
- 2 DASHED RED LINE INDICATES EXISTING AREA TO BE DISTURBED.
- 3 EXISTING CONCRETE PAVING TO BE REMOVED COMPLETE.
- 4 EXISTING CONCRETE PAVING. PRESERVE AND PROTECT DURING CONSTRUCTION. PRESERVE AND PROTECT. REPAIR AND REPLACE AS NEEDED.
- 5 EXISTING LAWN PANEL TO BE REMOVED COMPLETE.
- 6 EXISTING PLANTING PANEL. PRESERVE AND PROTECT SOILS AND PLANTINGS DURING CONSTRUCTION. DO NOT STOCKPILE EQUIPMENT OR MATERIALS AND DISTURB SOILS DURING CONSTRUCTION.

MAIN ENTRY AND PAVILION DEMOLITION CODED NOTES

- 7 EXISTING CONCRETE PAVING GRID BETWEEN PANELS TYPICAL. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGED PAVING AS NEEDED DURING CONSTRUCTION. NEW CONCRETE PAVING TO MATCH EXISTING.
- 8 EXISTING CONCRETE PAVING GRID BETWEEN PANELS TYPICAL. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGED PAVING AS NEEDED DURING CONSTRUCTION. NEW CONCRETE PAVING TO MATCH EXISTING.



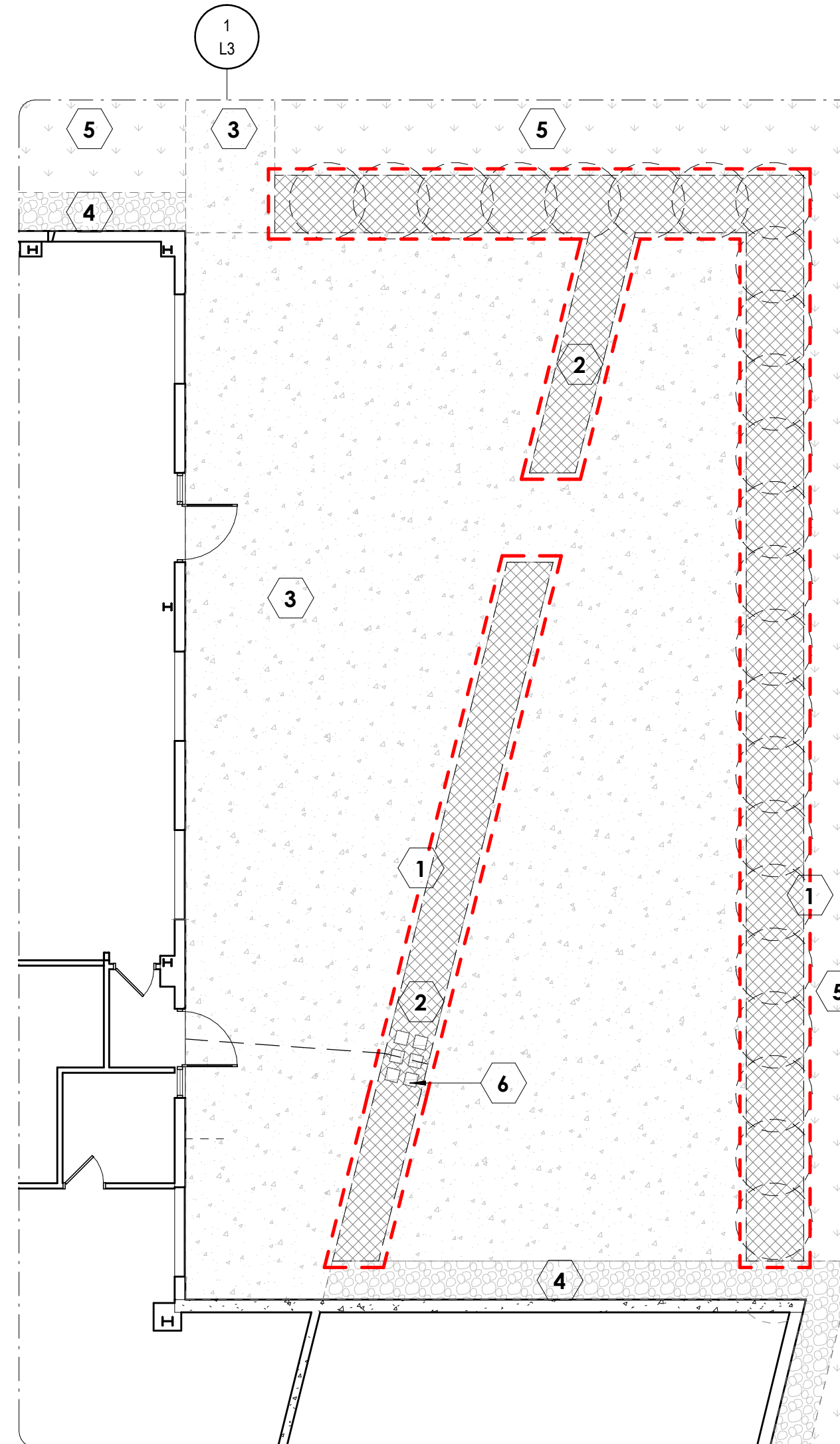
1 MAIN ENTRY AND PAVILION DEMOLITION ENLARGEMENT PLAN
 1" = 10'-0"



EXISTING SITE PHOTO SHOWING SIX (6) CONCRETE UNIT PAVERS TO BE REUSED IN SAME LOCATION AND RELAYED IN SAME PATTERN LAYOUT DURING CONSTRUCTION. PRESERVE AND PROTECT DURING DEMOLITION. REMOVE WASHED RIVER ROCK AGGREGATE BETWEEN PAVERS AND PAVEMENT COMPLETE.

EMPLOYEE PATIO DEMOLITION CODED NOTES

- 1 DASHED RED LINE INDICATES EXISTING AREA TO BE DISTURBED.
- 2 REMOVE EXISTING PLANTINGS, MULCH, SOILS, AND PAVEMENT MATERIAL COMPLETE.
- 3 EXISTING CONCRETE PAVING. PRESERVE AND PROTECT DURING CONSTRUCTION. PRESERVE AND PROTECT. REPAIR AND REPLACE AS NEEDED.
- 4 EXISTING AGGREGATE BANDING TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION. REPAIR AND REPLACE IF DAMAGED DURING CONSTRUCTION.
- 5 LAWN AREA TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION. REPAIR AND REPLACE IF DAMAGED DURING CONSTRUCTION.
- 6 PRESERVE AND PROTECT 6 CONCRETE UNIT PAVERS DURING DEMOLITION TO BE REUSED IN SAME LOCATION DURING SITE REWORK.



2 EMPLOYEE PATIO DEMOLITION ENLARGEMENT PLAN
 1" = 10'-0"

KEY PLAN
 SCALE: NTS

0 5' 10' 20'
 SCALE: 1" = 10'-0"

WSA

982 S. FRONT STREET
 COLUMBUS, OH 43206
 614.824.1633



schaefer



EASE LOGISTICS
 SITE DESIGN

PROJECT ADDRESS

6000 Perimeter Dr.
 Dublin, OH 43017

#	DATE	DESCRIPTION

PRELIMINARY
 NOT FOR
 CONSTRUCTION

Amended Final Development Plan
 DATE PRINTED
 6 JUNE 2023
 PROJECT NUMBER
 23054

DRAWN BY: EDGE CHECKED BY: CCL

SITE DEMOLITION
 ENLARGEMENT PLANS

L7

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MAIN ENTRY AND PAVILION CODED NOTES

- 1 EASE LOGISTICS SERVICE, LLC, BUILDING
- 2 NEW OVERHEAD PAVILION. SEE ARCHITECTURAL DRAWINGS.
- 3 PROPOSED LAWN PANEL. REPLACE WITH 6" OF PLANTING MIX ON TOP OF 4" ROTOTILLED SUBGRADE.
- 4 NEW MAIN ENTRY OVERHEAD CANOPY. SEE ARCHITECTURAL DRAWINGS.
- 5 MAINTAIN EXISTING PLANTING PANEL. PRESERVE AND PROTECT SOILS AND PLANTINGS DURING CONSTRUCTION. DO NOT STOCKPILE EQUIPMENT OR MATERIALS AND DISTURB SOILS DURING CONSTRUCTION.
- 6 MAINTAIN EXISTING CONCRETE PAVING DURING CONSTRUCTION. PRESERVE AND PROTECT. REPAIR AND REPLACE AS NEEDED.

MAIN ENTRY AND PAVILION CODED NOTES

- 7 PROPOSED CONCRETE PANEL. DEMO COMPLETE LAWN AND SOIL PANEL. REPLACE WITH 4" CONCRETE PAVING OVER TOP OF 6" COMPACTED AGGREGATE BASE.
- 8 PROPOSED CONCRETE PANEL. DEMO EXISTING CONCRETE PAVING AND BASE COMPLETE. REPLACE WITH 4" CONCRETE PAVING AND 6" COMPACTED AGGREGATE BASE.
- 9 MAINTAIN EXISTING CONCRETE PAVING GRID BETWEEN PANELS TYPICAL. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGED PAVING AS NEEDED. NEW PAVING TO MATCH EXISTING.
- 10 CORTEN STEEL PLANTER WITH INTEGRATED LED FIXTURE AT BASE. SEE MEP DRAWINGS.



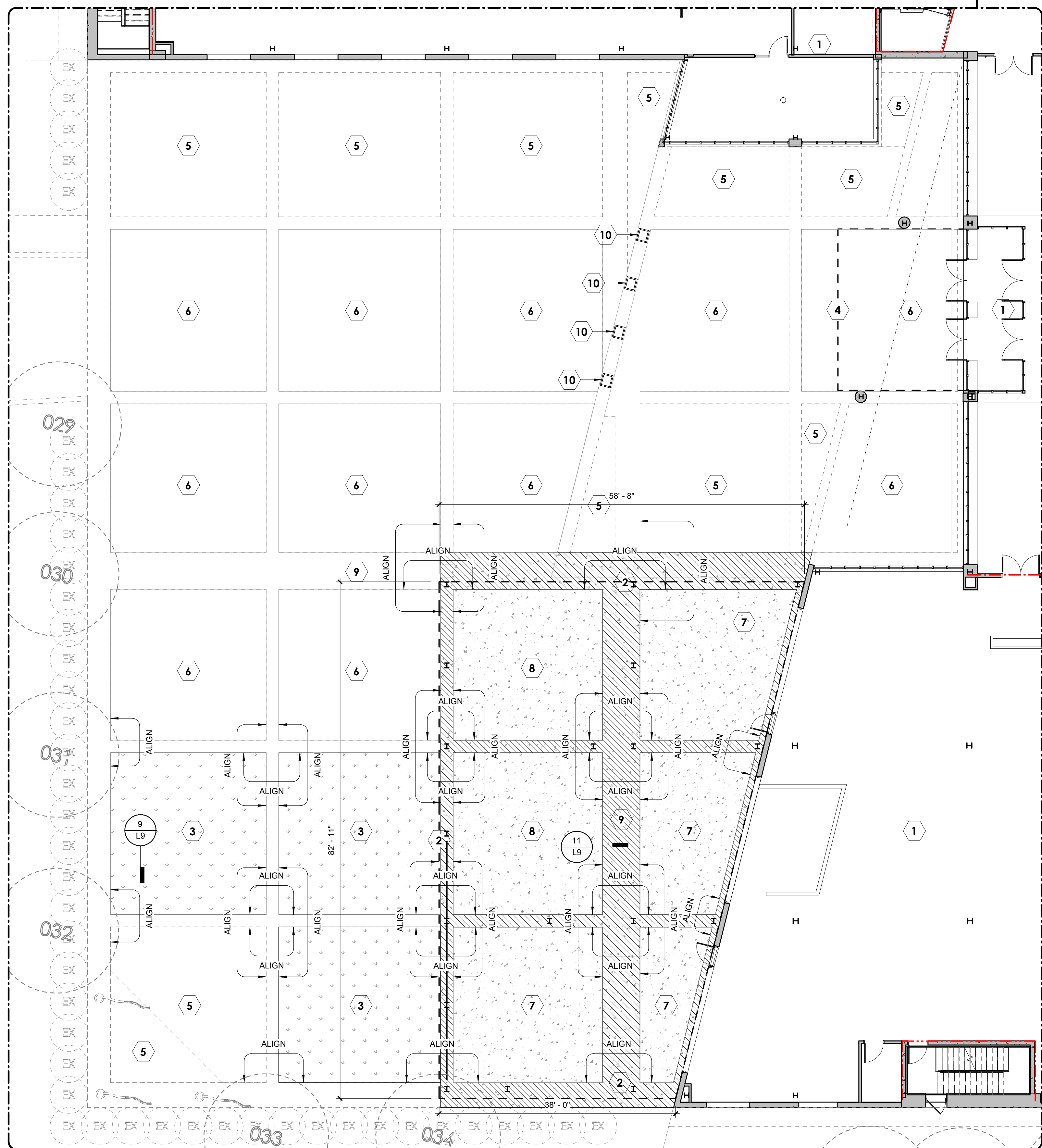
CORTEN STEEL PLANTER BASIS OF DESIGN:

- MANUFACTURER: ID CREATED
- PRODUCT: TALL CUBE - TONE WICK - CORTEN STEEL
- SIZE: 27" LENGTH X 27" WIDTH X 28" HEIGHT
- ANTI-WASHOUT TREATMENT
- CONTACT: SPRUCE AND GANDER
- MARK ANDERSON
- C: (760) 613.6262
- E: MARK@SPRUCEANDGANDER.COM



CORTEN STEEL PLANTER ALTERNATE:

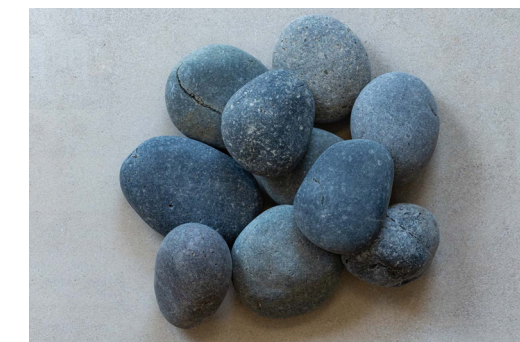
- MANUFACTURER: YARD COUTURE
- PRODUCT: METAL LED PLANTERS - CORTEN STEEL
- SIZE: 27" LENGTH X 27" WIDTH X 28" HEIGHT
- CONTACT: YARD COUTURE
- C: (385) 743-9273
- E: KARSTEN@YARDCOUTURE.COM
- YARD COUTURE
- 3947 S MILL FARM LN
- MILLCREEK, UTAH 84107



1 MAIN ENTRY AND PAVILION ENLARGEMENT PLAN
1" = 10'-0"

EMPLOYEE PATIO CODED NOTES

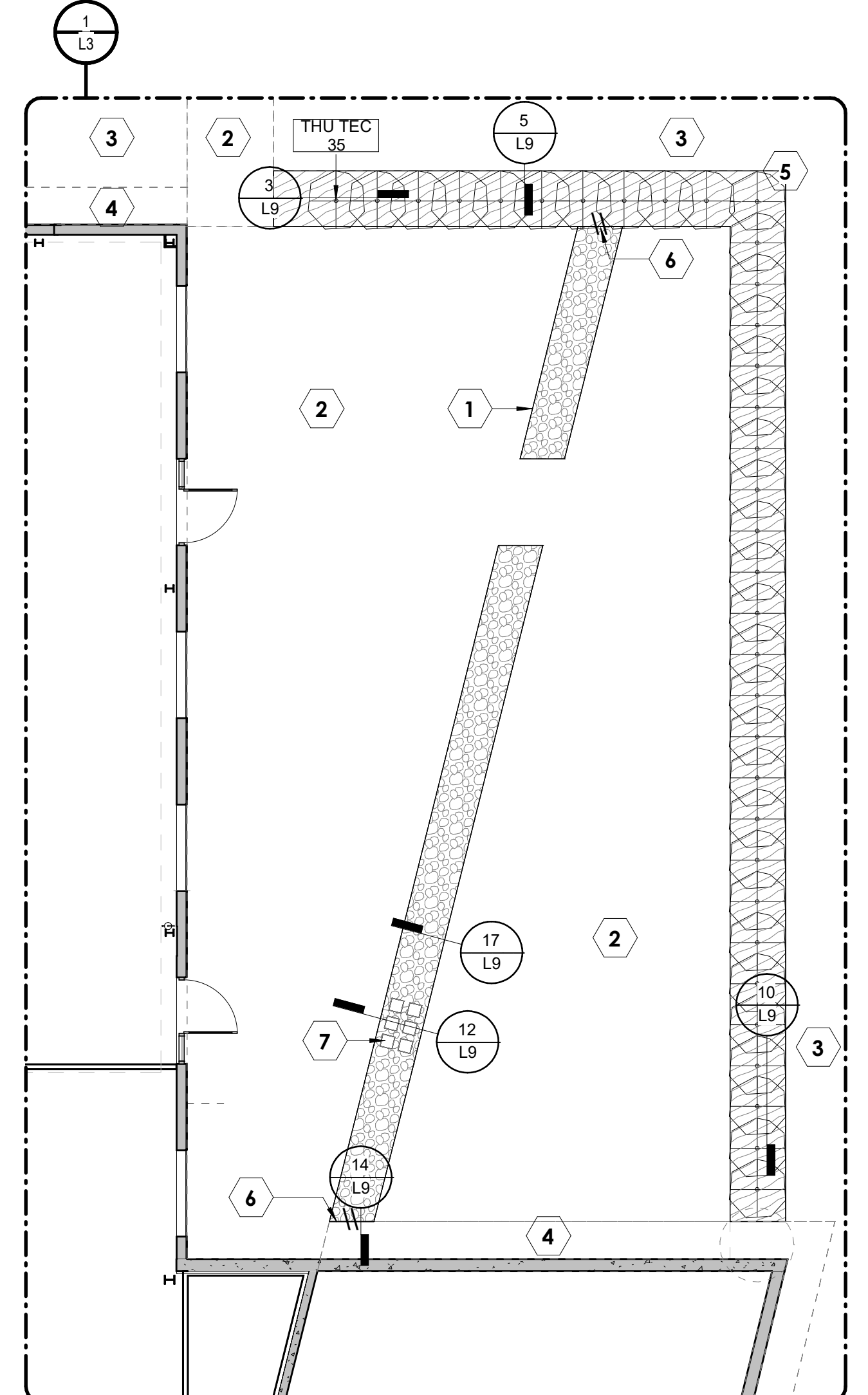
- 1 MEXICAN PEBBLE BAND. INSTALL FLUSH VERTICALLY TO EXISTING CONCRETE PAVING AROUND. TYPICAL.
- 2 EXISTING CONCRETE PAVING. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AS NEEDED.
- 3 EXISTING LAWN AREA. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR AS NEEDED. DO NOT STOCKPILE CONSTRUCTION EQUIPMENT IN THIS ZONE.
- 4 EXISTING AGGREGATE BAND. PRESERVE AND PROTECT DURING CONSTRUCTION. REPAIR / REPLACE AS NEEDED.
- 5 PLANTING MIX TO BE 18" DEPTH.
- 6 STAINLESS STEEL PAYER RETENTION ANGLE.
- 7 PRESERVED EXISTING CONCRETE UNIT PAVERS TO BE IN THE SAME LOCATION AND PATTERN AS THE EXISTING DESIGN. INFILL 6" GAPS WITH MEXICAN PEBBLES, TYP.



MEXICAN PEBBLE BASIS OF DESIGN:

- MANUFACTURER: LANG STONE
- PRODUCT: MEXICAN PEBBLE
- COLOR: BLACK AND GREY
- SIZE: 3" - 5"
- CONTACT: LANG STONE
- P: 614-228-5489
- 707 SHORT ST., COLUMBUS, OH 43215

PLANT SCHEDULE						
Plant Code	Botanical Name	Common Name	Size	Container	Count	
Shrubs						
THU TEC	Thuja occidentalis 'Techny'	Techny Arborvitae	#5	Cont.	35	



2 EMPLOYEE ENTRY ENLARGEMENT PLAN
1" = 10'-0"

GENERAL NOTES - LAYOUT & JOINTING:

1. ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON DRAWINGS.
3. ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
4. UNLESS INDICATED OTHERWISE, ALL WALKWAYS AND HARDSCAPE ABOUT AT 90 DEGREE ANGLES.
5. UTILITIES ARE NOT SHOWN.
6. THE LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE A/E.
7. EACH CONTRACTOR SHALL NOTIFY THE A/E IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
8. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE A/E WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
9. WORK SHOWN IS BASED ON A GIS SURVEY PROVIDED BY WSA.
10. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING ENTRANCE ELEVATIONS.
11. FOR SITE FURNISHINGS REFER TO SPECIFICATIONS.
12. COLUMN JOINTING TO BE BY THE RECOMMENDATION OF THE STRUCTURAL ENGINEER.
13. LAYOUT OF BOULDER OUTCROPPINGS FOR DESIGN INTENT ONLY. FINAL LAYOUT TO BE APPROVED IN THE FIELD W/ OWNER AND LANDSCAPE ARCHITECT.

GENERAL NOTES - SOILS:

1. HATCHING ON THIS PLAN IS INTENDED TO SHOW THE DIFFERENT SOIL TYPES AND DEPTHS AND SHOULD NOT BE CONFUSED WITH THE HATCHES SHOWN ON THE MATERIALS AND/OR PLANTING PLANS.
2. SEE SITE SURVEY FOR EXISTING GRADE CONDITIONS AND BENCH MARK INFORMATION.
3. DO NOT FILL OVER EXISTING TREE ROOT ZONES DEFINED BY THE TREES DRIP LINE TYPICAL.
4. TOPSOIL STRIPPED FROM SITE AND REDISTRIBUTED MUST BE CLEANED AND AMENDED TO MEET THE DEFINITION OF TOPSOIL IN THE SPECIFICATIONS AND TEST TO PROVE COMPLIANCE WITH THE SPECIFICATIONS BEFORE THE SOIL WILL BE ACCEPTED FOR REDISTRIBUTION.
5. PREPARE TRANSITION ZONE ABOVE SUBSOIL IN TURF BED AND TREE PLANTING AREAS AS DESCRIBED IN THE SPECIFICATIONS AND SHOWN IN THE DETAILS.
6. ALL AREAS WITHIN GRADING LIMITS OR DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT SHOWN TO RECEIVE IMPORTED SOIL ON THIS PLAN SHALL RECEIVE CLEAN AMENDED TOPSOIL AND BE SEEDED OR SODDED PER THE SPECIFICATIONS.
7. TOPSOIL DEPTH INDICATED IS THE FINAL DEPTH REQUIRED. COMPENSATE FOR SETTLING AND COMPACTION AS NECESSARY. REFER TO SPECIFICATIONS.
8. OVER EXCAVATE AS NECESSARY TO PROVIDE REQUIRED DEPTH OF SOIL.
9. REFER TO THE SPECIFICATIONS FOR MORE INFORMATION ON SOIL AMENDMENTS AND SOIL MIXES.
10. RIP, SCARIFY SUB-GRADE. COMPACT SOILS IN 6" LIFTS TO 85% PROCTOR.
11. REFER TO CIVIL ENGINEER'S PLANS FOR YARD DRAINS AND UNDERDRAIN TYPES.
12. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING OR ADJACENT TO EXISTING PAVEMENTS ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING OR SLAB U.N.O.
13. INSURE POSITIVE DRAINAGE ACROSS ALL FINISH GRADED SURFACES.
14. SEE REPORT OF SUBSURFACE EXPLORATION AND FOUNDATION RECOMMENDATIONS IF AVAILABLE. FOR ADDITIONAL REQUIREMENTS OF GRADING OPERATIONS.
15. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING INLET PROTECTION FOR ALL DRAIN INLETS WITHIN THE LIMITS OF GRADING.
16. ALL AREAS DISTURBED BY GRADING OPERATIONS OUTSIDE BUILDING AND PAVEMENT AREAS ARE TO BE FINE GRADED AND SEEDED. SEE CIVIL PLANS AND SPECIFICATIONS.
17. FOR ALL IMPORTED TOPSOIL TYPES: SUBMIT SOIL TEST ANALYSIS REPORT FOR EACH SAMPLE OF ALL TOPSOIL AND ENSURE CONFORMANCE TO THE GENERAL NOTES. SUBMIT SAMPLES OF ANY TOPSOIL TYPES FOR TESTING AT LEAST 8 WEEKS BEFORE SCHEDULED PLACEMENT OR MIXING OF PLANTING SOIL MIXES. IF TEST FAIL TO MEET WHAT IS REQUIRED OBTAIN OTHER SOURCES OF MATERIAL TEST AND RESUBMIT UNTIL ACCEPTED BY LANDSCAPE ARCHITECT.
18. FOR ALL AMENDED SOIL TYPES: SUBMIT SOIL TEST ANALYSIS REPORT FOR ALL AMENDED AREAS AT LEAST 8 WEEKS BEFORE SCHEDULED PLACEMENT OR MIXING OF PLANTING SOIL MIX FOR EACH SAMPLE. PROVIDE TEST TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SOIL TESTS INDICATE A HIGH PH ABOVE 7.5 PLANT SUBSTITUTIONS MUST BE MADE AS INDICATED ON THE PLANT SCHEDULES.

882 S. FRONT STREET
COLUMBUS, OH 43206
614.824.1633

schaefer

EASE LOGISTICS
SITE DESIGN

PROJECT ADDRESS

6000 Perimeter Dr.
Dublin, OH 43017

#	DATE	DESCRIPTION

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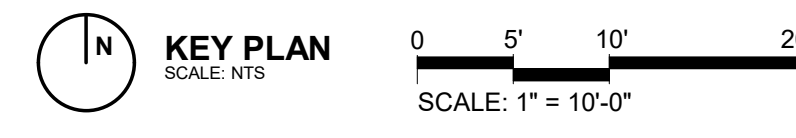
Amended Final Development
Plan

DATE PRINTED
6 JUNE 2023

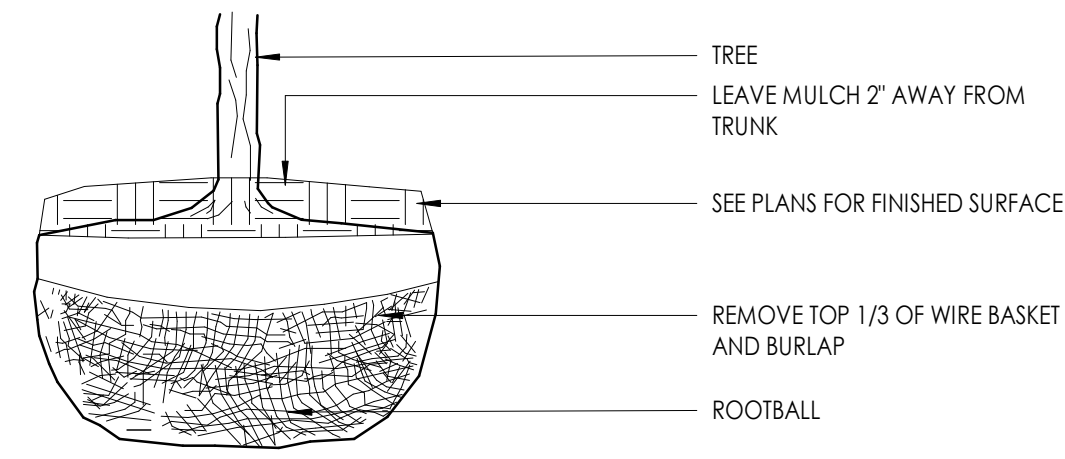
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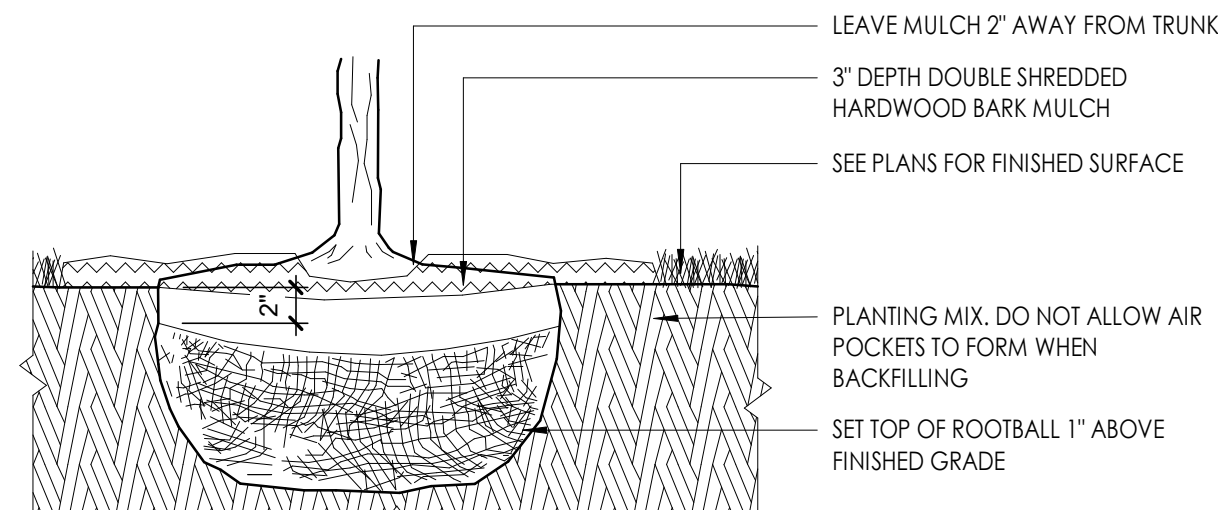
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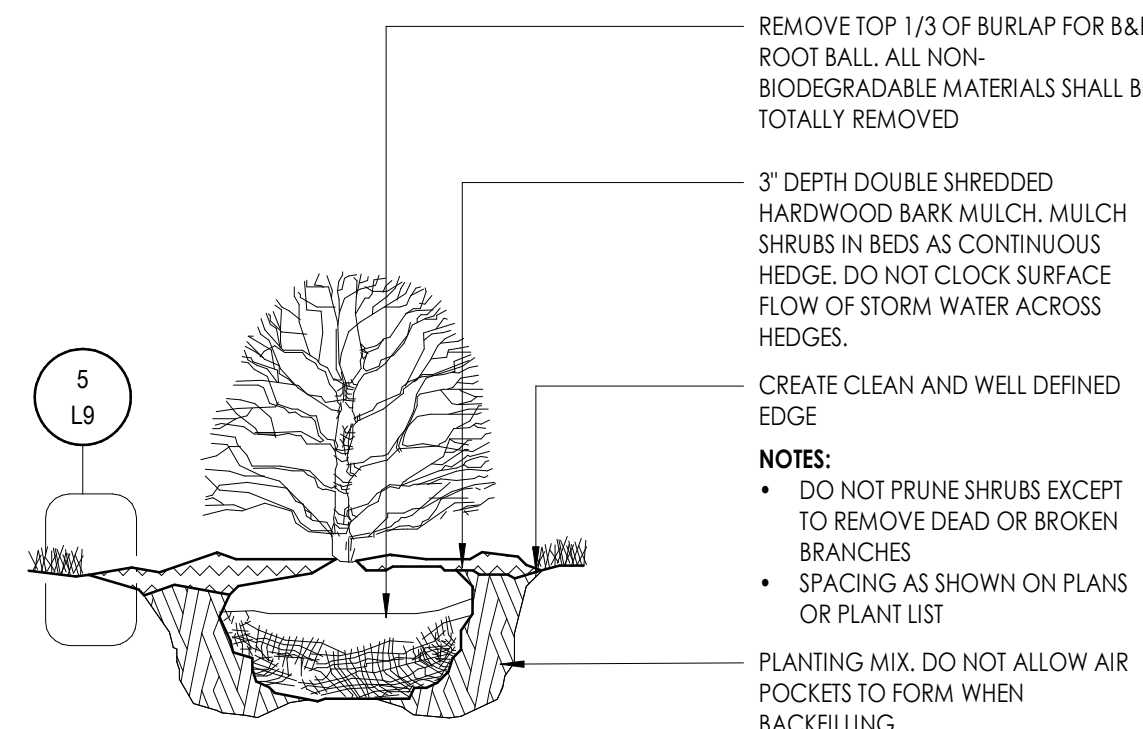
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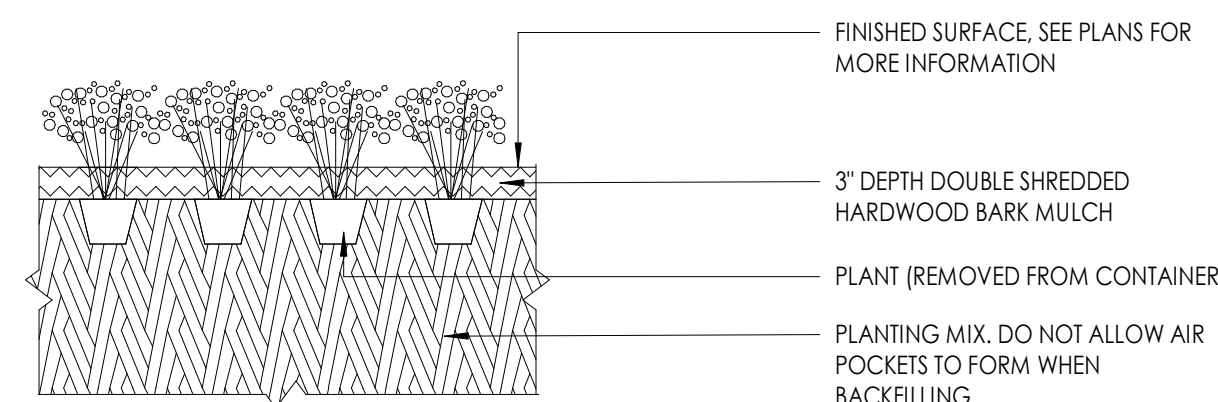
1 TREE ROOTBALL SETTING
1" = 1'-0"



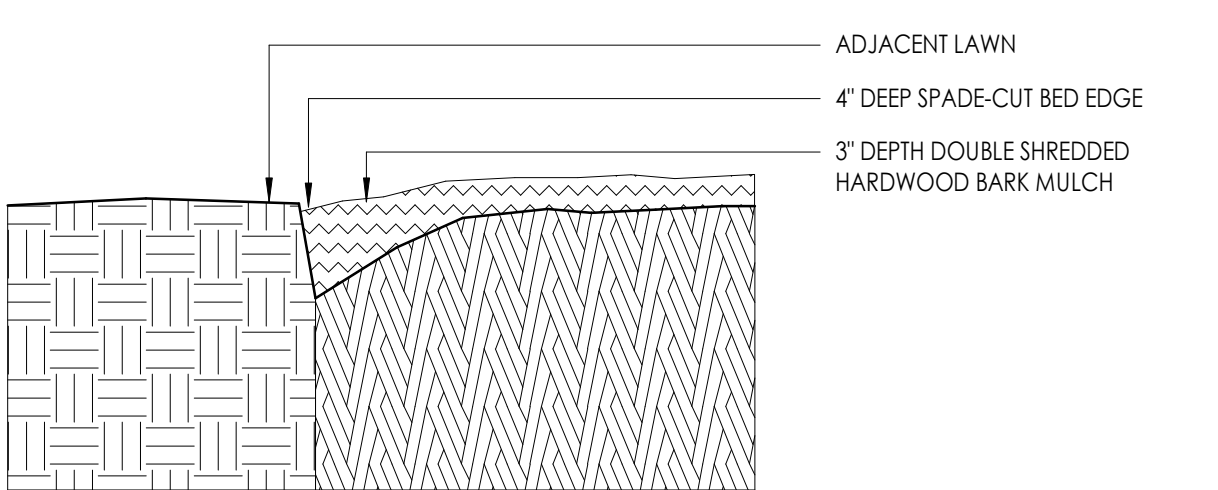
2 TREE ROOTBALL PREPARATION
1" = 1'-0"



3 SHRUB - TOPSOIL
1" = 1'-0"

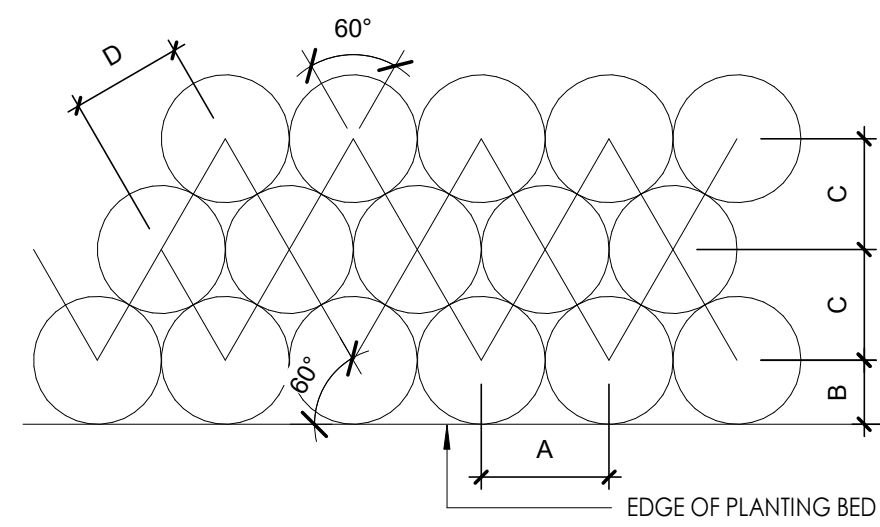


4 GROUNDCOVER / PERENNIAL PLANTING BED
1" = 1'-0"



5 PLANTING BED EDGE
6" = 1'-0"

SPACING A B C D
 12' 12' 6" 10' 12'
 15' 15' 7.5' 12.5' 15'
 18' 18' 9' 15' 18'
 24' 24' 12' 20' 24'
 36' 36' 18' 30' 36'
 48' 48' 24' 40' 48'



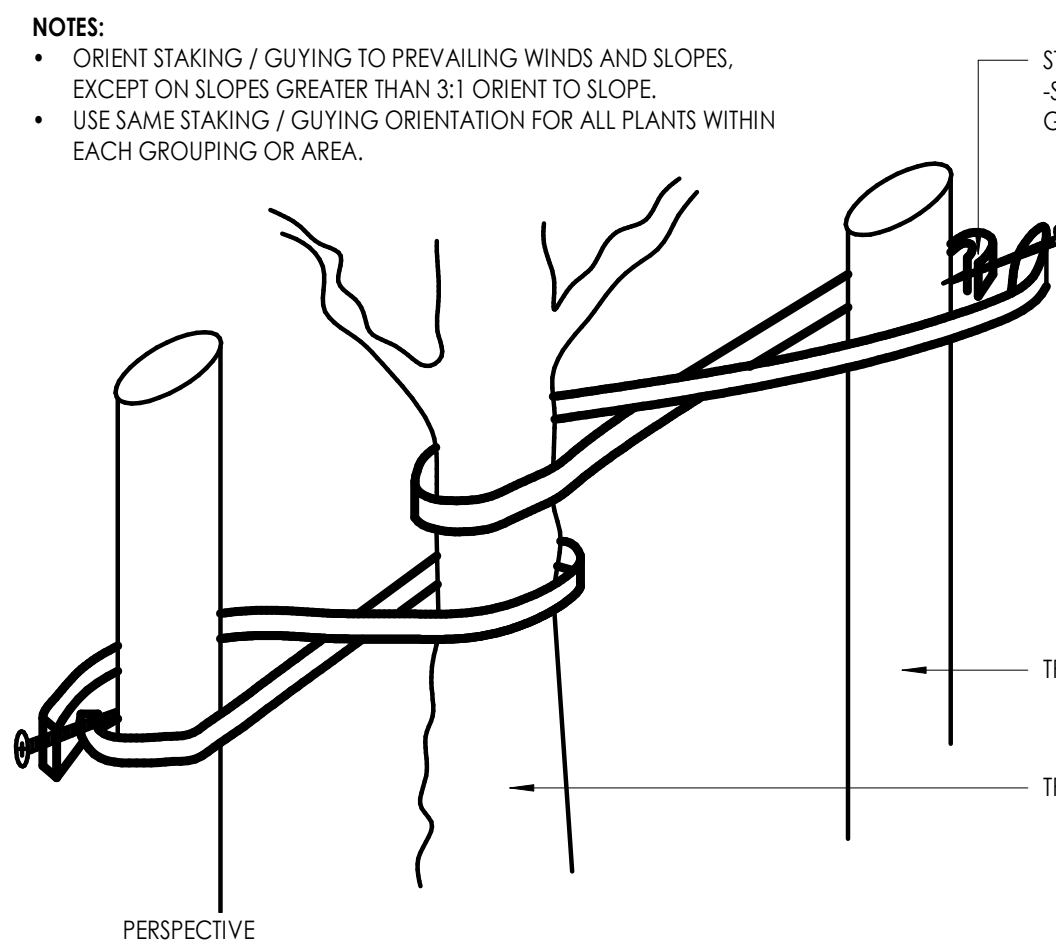
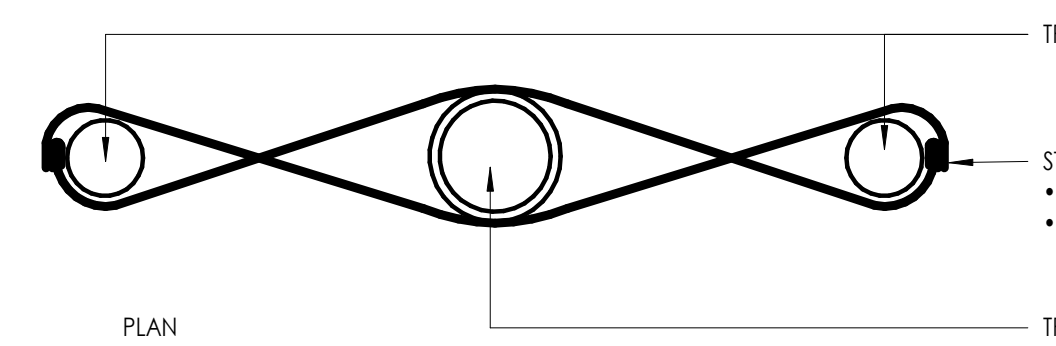
6 TRIANGULAR PLANT SPACING
1" = 1'-0"

SPACING OF PLANT	NO. OF PLANTS PER SQ. FOOT	AREA OF PLANT COVER	NO. OF PLANTS PER 100 SQ. FEET	NO. OF PLANTS PER 1,000 SQ. FEET
6"	4	1/4 SQ. FT.	400	4,000
8"	2	1/2 SQ. FT.	200	2,000
12"	1	1 SQ. FT.	100	1,000
15"	2/3	1 1/2 SQ. FT.	66	660
18"	1/2	2 SQ. FT.	50	500
24"	1/4	4 SQ. FT.	25	250
30"	1/6	6 1/4 SQ. FT.	16	160
36"	1/8	9 SQ. FT.	11	110
48"	1/16	16 SQ. FT.	6	60

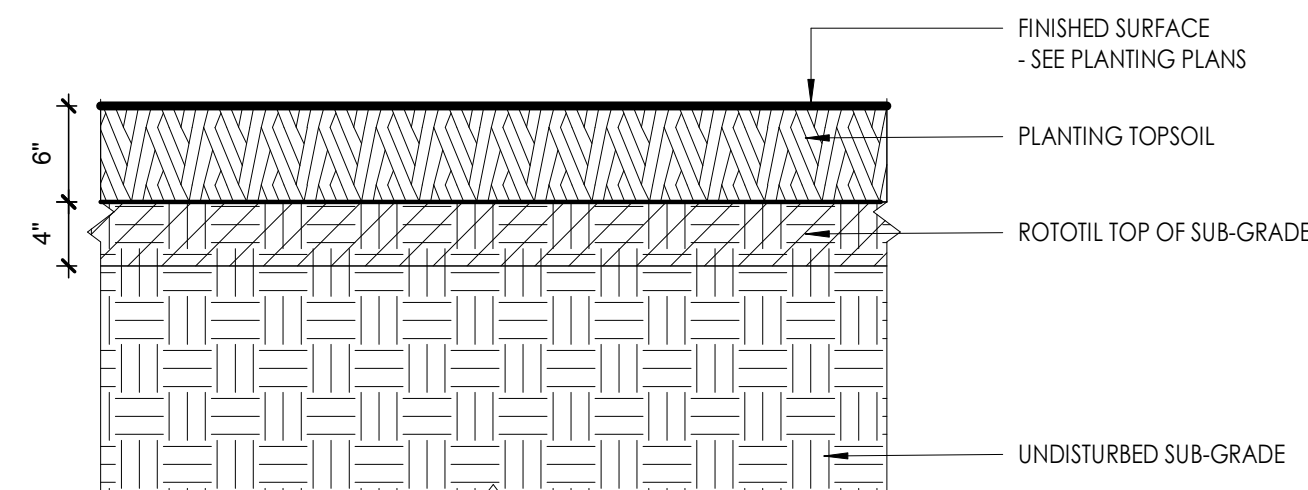
7 PLANT SPACING CALCULATIONS PER AREA
1" = 1'-0"

SCHEDULES:

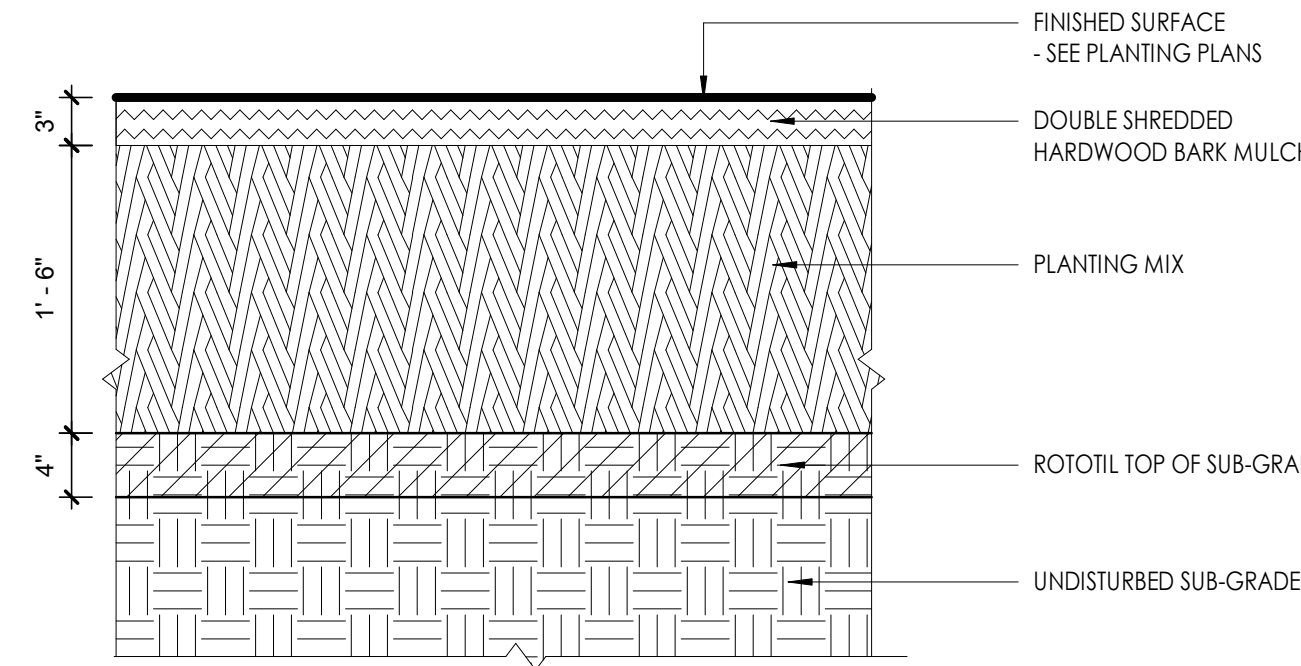
SIZE:	STAKING / GUYING	MULCH SAUCER DIMENSION (NON-PLANTING BED AREAS)
2" CAL. & SMALLER	DOUBLE STAKE	4 DIA.
BETWEEN 2.5" - 3.5" CAL.	TRIPLE STAKE	5" DIA.
4" CAL. - 6" CAL.	TRIPLE GUY	MIN. 8" DIA.



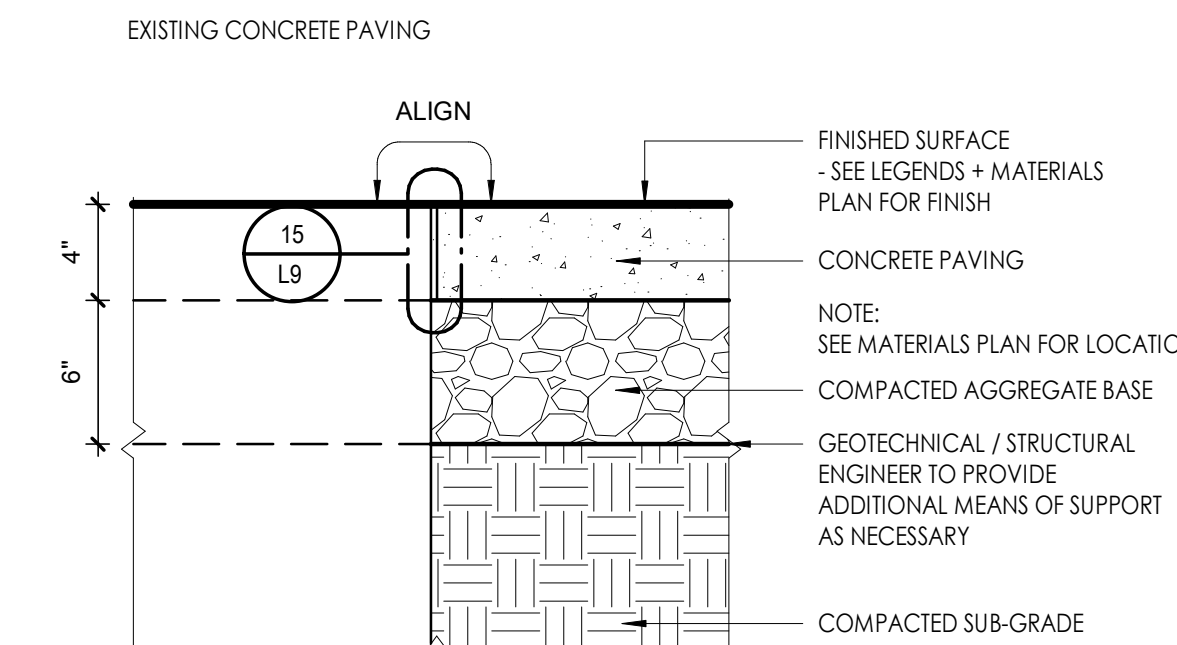
8 TREE STAKING ARBOR TIES
1" = 1'-0"



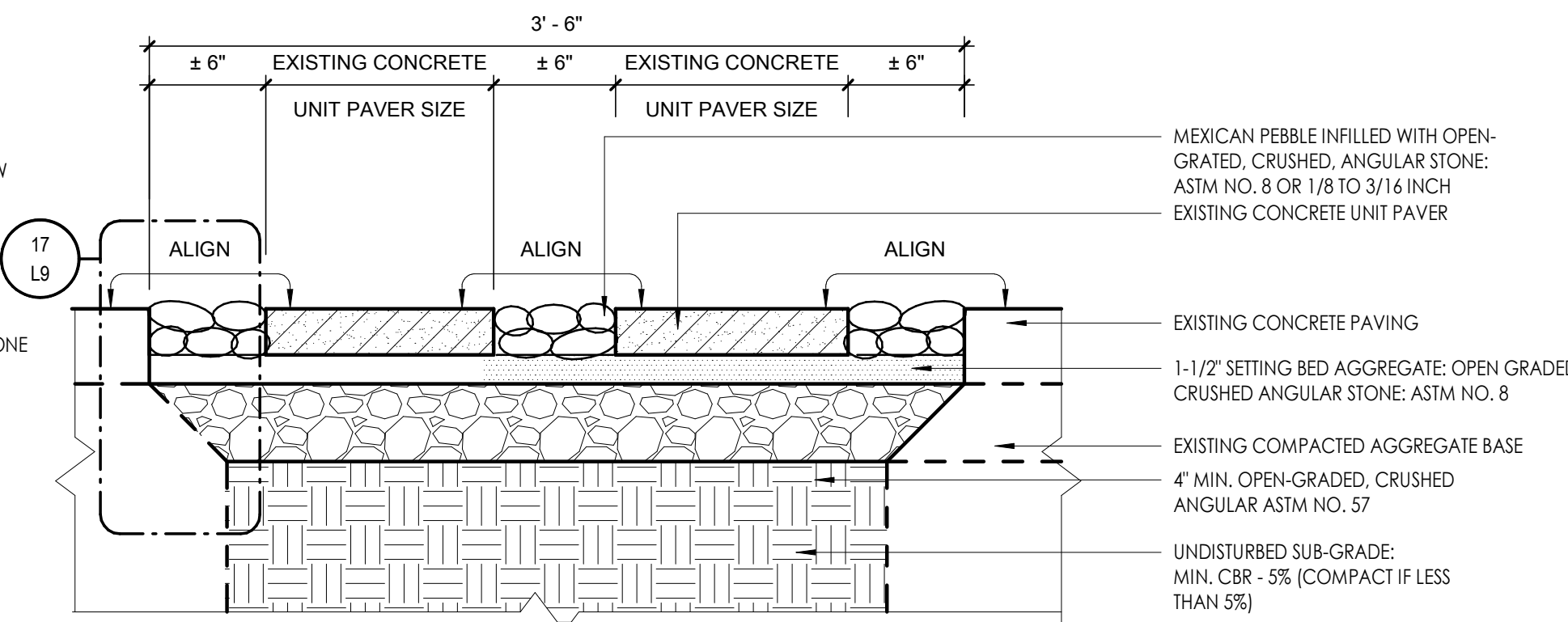
9 SOIL PROFILE - DEPTH 6"
1" = 1'-0"



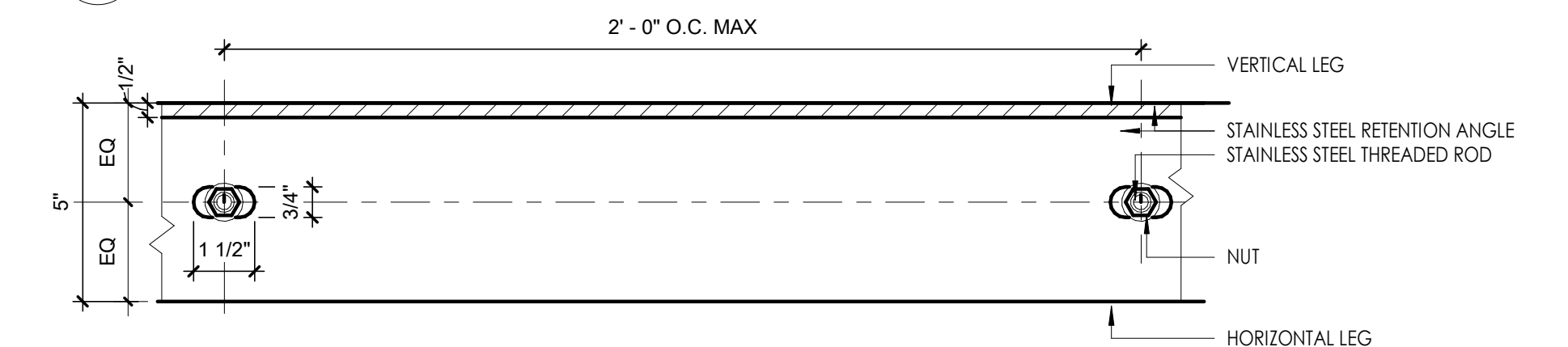
10 SOIL PROFILE - DEPTH 18"
1" = 1'-0"



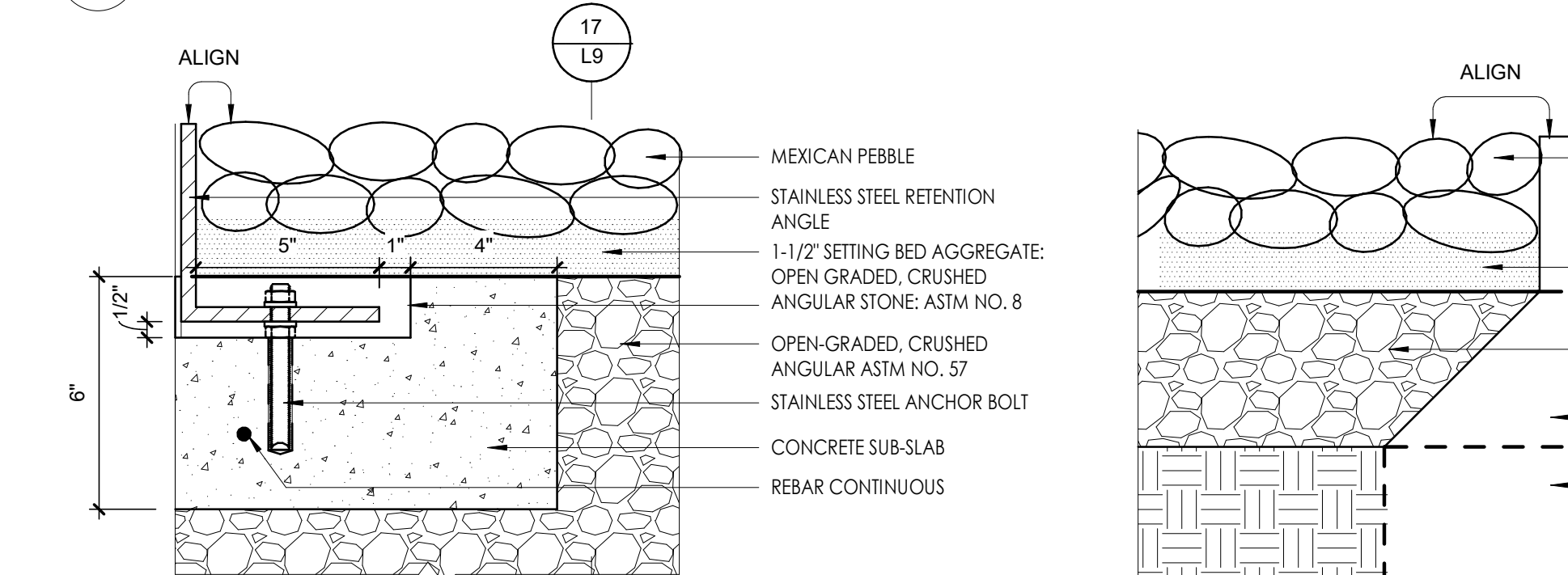
11 CONCRETE - PEDESTRIAN NON-REINFORCED PAVING
1 1/2" = 1'-0"



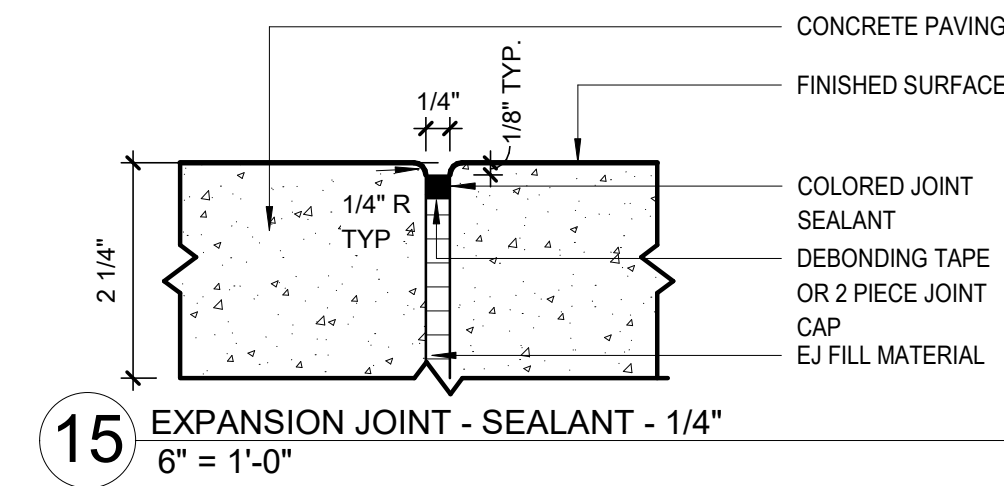
12 EXISTING CONCRETE UNIT PAVERS @ EXISTING CONCRETE PAVING
1 1/2" = 1'-0"



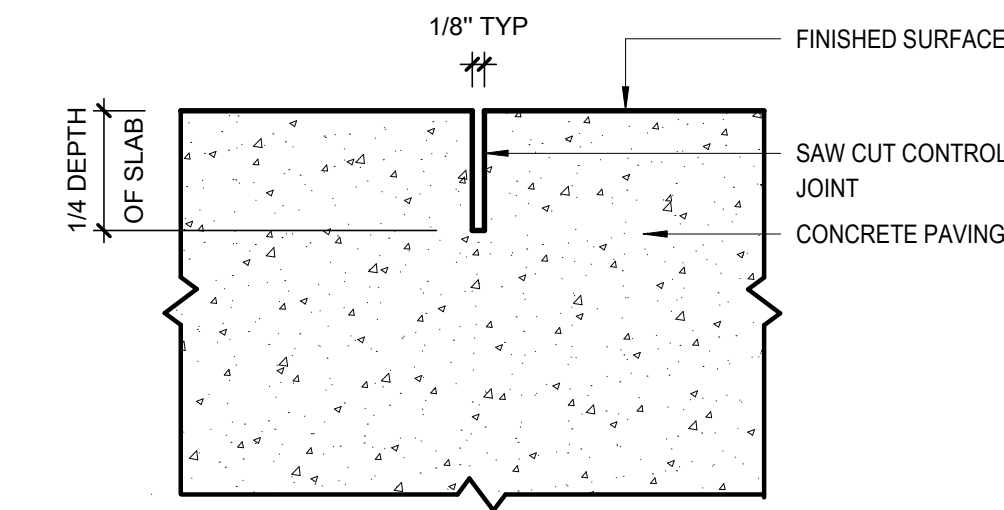
13 RETENTION ANGLE PLAN DETAIL
3" = 1'-0"



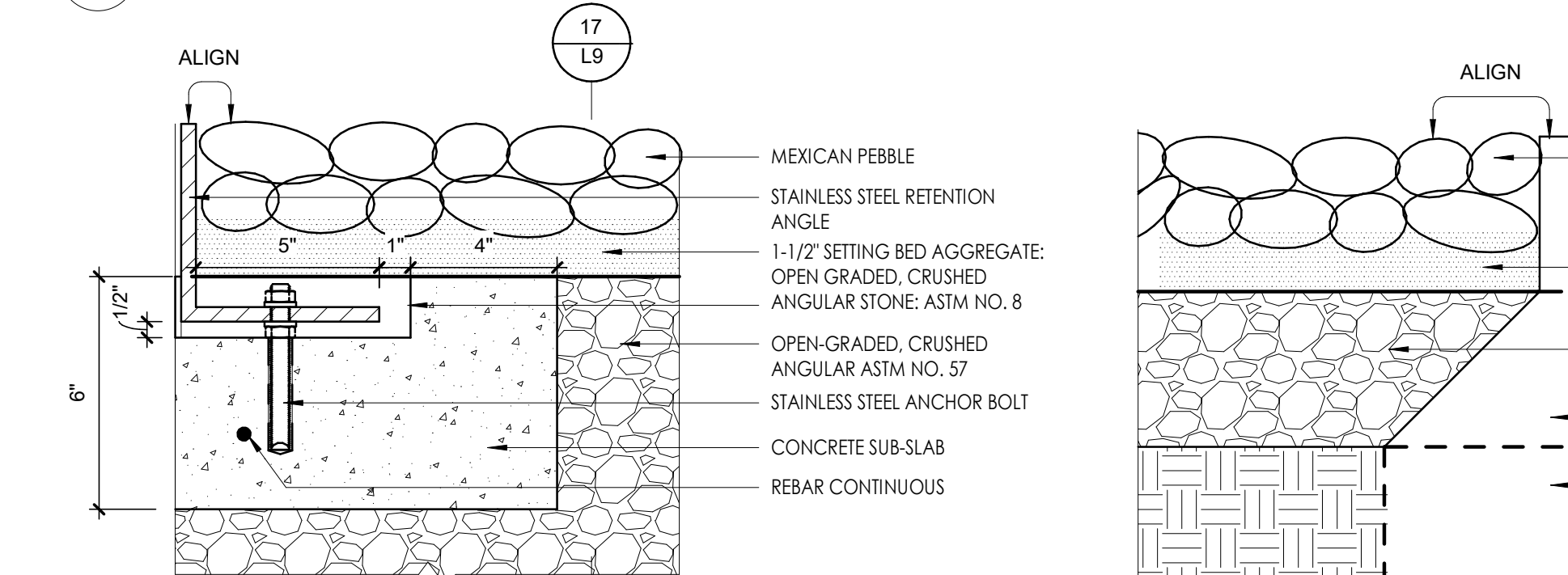
14 RETENTION ANGLE DETAIL
3" = 1'-0"



15 EXPANSION JOINT - SEALANT - 1/4"
6" = 1'-0"



16 CONCRETE - SAW CUT CONTROL JOINT
6" = 1'-0"



17 MEXICAN PEBBLE @ EXISTING CONCRETE PAVING
3" = 1'-0"

GENERAL NOTES - PLANTING:

- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE GENERAL SITE CONDITIONS AND VERIFY THE SUB-GRADE, ELEVATIONS, UTILITY LOCATIONS AND TOPSOIL QUALITY AND DEPTHS PROVIDED BY GENERAL CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- EACH CONTRACTOR IS TO VERIFY WITH THE OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SUBSTITUTIONS SHALL ONLY BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM THE OWNER. SUBSTITUTED MATERIAL SHALL BE EQUIVALENT OR GREATER IN SIZE THAN THE SPECIFIED PLANT. SUBSTITUTED PLANTS SHALL HAVE THE SAME ESSENTIAL CHARACTERISTICS AND GROWTH HABIT OF THE SPECIFIED PLANT.
- CONFIRM LOCATION OF ALL UTILITIES AND SUB-SURFACE DRAIN LINES PRIOR TO PLANT INSTALLATION.
- A PRE-INSTALLATION CONFERENCE SHALL BE CONDUCTED PRIOR TO PLANTING OPERATIONS WITH OWNER AND CONTRACTOR PRESENT.
- CONTRACTOR MAY SLIGHTLY FIELD ADJUST PLANT LOCATIONS AS NECESSARY TO AVOID UTILITIES.
- FINISHED LAWN AREAS AND PLANTING BEDS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.
- IRRIGATION SYSTEM, SHALL BE COMPLETE AND OPERATIONAL PRIOR TO LANDSCAPE PLANTING.
- FIELD LOCATE ALL PLANTINGS W/ APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL REPAIR ALL LAWN AREAS DISTURBED DURING CONSTRUCTION WITH SEED AND WARRANT A HEALTHY, WEED FREE LAWN PRIOR TO PROJECT ACCEPTANCE. REPAIR DAMAGES TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR COST OF REPAIRS TO EXISTING CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR DAMAGES TO THE SATISFACTION OF THE OWNER.
- SEED ALL AREAS WITHIN CONTRACT LIMITS THAT ARE NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SEEDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED TOPSOIL AND FINISHED GRADE.
- MULCH PLANTING BEDS WITH DOUBLE SHREDDED HARDWOOD BARK MULCH OF UNIFORM NATURAL BROWN COLOR. IT SHALL BE FREE OF TWIGS, LEAVES, DISEASE, PEST OR OTHER MATERIAL UNSIGHTLY OR INJURIOUS TO PLANTS. AVERAGE APPLIED THICKNESS SHALL BE 3" DEPTH. MULCH HEDGES IN A CONTINUOUS BED.
- PLANTING BEDS SHALL BE COVERED WITH PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
- BED EDGE SHALL BE SMOOTH, CONSISTENT, HAND TRENCHED 4" DEEP AND "Y" SHAPED UNLESS OTHERWISE NOTED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
- ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS OR STRAIGHT LINES AS SHOWN ON PLAN. PLANT LOCATIONS AND LAYOUT OF BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL ALL PLANTS IN ACCORDANCE WITH PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- PARKING LOT AND STREET TREES SHALL HAVE A CLEAR CANOPY HEIGHT OF 6' MIN.
- TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS AND CURBS.
- MIX MYCORRHIZAL FUNGI INTO PLANTING MIX DURING PLACEMENT OF PLANTING MIX. APPLICATION RATE SHALL BE ACCORDING TO MANUFACTURER'S WRITTEN RECOMMENDATIONS. MYCORRHIZAL FUNGI SHALL BE A DRY, GRANULAR INOCULANT CONTAINING VESICULAR ARBUSCULAR MYCORRHIZAL FUNGI AND ECTOMYCORRHIZAL FUNGI.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH CONTROLLED RELEASE TABLETS OF 20-10-5 COMPOSITION. SIZE AND NUMBER OF TABLETS SHALL BE PER MANUFACTURER'S INSTRUCTIONS.
- COMPOSITION AND APPLICATION RATE OF LAWN FERTILIZER SHALL BE SUFFICIENT TO AMEND SOIL ACCORDING TO RECOMMENDATIONS OF A QUALIFIED SOIL TESTING AGENCY. SUBMIT SOIL TEST RESULTS AND AMENDMENT RECOMMENDATIONS TO OWNER. LAWN FERTILIZER SHALL BE IN A DRY GRANULAR FORM.
- CONTRACTOR TO DETERMINE PLANT LIST QUANTITIES FROM THE PLAN. GRAPHIC REPRESENTATION ON PLAN SUPERSEDES IN CASE OF DISCREPANCY WITH QUANTITIES ON SCHEDULE.
- CONTRACTOR SHALL THOROUGHLY WATER ALL PLANTS AT TIME OF INSTALLATION AND AS NEEDED UNTIL PROJECT ACCEPTANCE BY OWNER. CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD.
- LAWN SEED MIX SHALL BE PROPORTIONED BY WEIGHT AS FOLLOWS: 10 PERCENT NUBBLUE OR BLUE CHIP KENTUCKY BLUEGRASS; 10 PERCENT CADDESHACK OR GOALKEEPER PERENNIAL RYEGRASS; 80 PERCENT QUETS INFERNAL ARID 3 AND/OR PERENNIAL FESCUE (SELECT 2). SODDED LAWNS SHALL MATCH SEEDING LAWN. SEEDING RATE SHALL BE 8 TO 10 POUNDS PER 1000 SQUARE FEET.
- LAWN SEED SHALL NOT HAVE LESS THAN 98 PERCENT PURITY AND NOT HAVE LESS THAN 90 PERCENT GERMINATION.

#	DATE	DESCRIPTION



Project: Type P12
 Location:
 Fixture Type:
 Catalog Number:

AVAILABLE FINISHES:

Myla
 PD-W24320

PRODUCT DESCRIPTION

Luxury and quality never looked so good, both inside and out. An elegant modern pendant with an etched glass diffuser. Perfect for outdoor kitchens and other spaces.

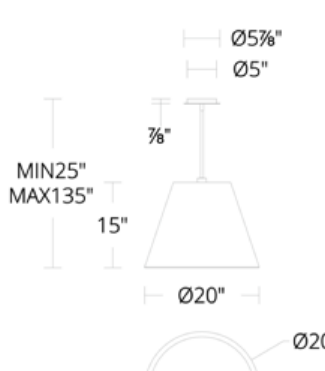
- ACID quenched technology
- Slope ceiling adaptable. Hang on slight swivel up to 90 degrees
- Ignition mount canopy with minimal hardware
- Three 1/2" and one 6" down rods included (additional sold separately)
- Built-in color temperature adjustability. Switch from 3000K/3500K/4000K

SPECIFICATIONS

Rated Life: 50000 Hours
 Standards: ETL, ETL_Wet Location Listed Title 24 JAR: 2019 Compliant
 Input: 120V AC, 50/60Hz
 Dimming: ELN: 100-5A TRAC: 100-10A
 Color Temp: 3000K, 3500K, 4000K
 CRI: 90
 Construction: Aluminum spun body with bent glass diffuser

REPLACEMENT PARTS

R0D-A65-PC1507-BK - 6" Rod - BK Finish
 R0D-A13-PC1507-BK - 12" Rod - BK Finish
 R0D-A233-M6 - Hardware Pack



Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
PD-W24320 20"	3000K	3 BK Black	60.0W	3200	2738
	3500K	3 BK Black	60.0W	3200	2738
	4000K	3 BK Black	60.0W	3200	2738

Model & Size: PD-W24320-40-BK
 For custom requests please contact custom@modernforms.com

ModernForms.com | Phone: (866) 810-6611 | Fax: (800) 526-2585
 Central Distribution Center: 1600 2nd Street, CL, Little Spring, GA 30122
 Western Distribution Center: 1750 Archibald Avenue, Ontario, CA R1V 7V0

MODERN FORMS

Project Name: Type L6-4, L6-2
 Project Name: ML3WL66-D IP66 Rated Suspended Ceiling, Recessed or Wall Mount - Wet Location 3-17/32" x 3-29/32" Direct



BLU-G Ratings
 Blue/Green / Light Blue / Green
 High Output: 81 - 116 - 143
 Medium Output: 81 - 116 - 143
 Low Output: 81 - 116 - 143

Light Engine
 LED light source available for 3000K, 3500K and 4000K CCT. In high and medium outputs.

See below and following page for photometric data: lumen outputs, input power (watts), and efficiencies.

Internal Construction
 All internal mechanical components, including fasteners, are aluminum or stainless steel.

Finish
 Standard and custom finishes are baked powder coat electrostatically applied (2 mil minimum thickness) to ensure aesthetics and durability.

Optical Controls
 • 60(9) 100° thick, high transmission extruded acrylic escape lens for precise diffusion of the LED light source. Lens continuously gasketed against dust and water intrusion.
 • 90(9) Vertical Reflector: 100° thick, high transmission extruded 100% D.R. acrylic lens with tamper-resistant hardware.
 • Reflector/Heat Sink: 300° thick formed aluminum finished with a high reflective white baked powder coat.

Driver
 Power supply is UL/CUL recognized, 120-277 universal voltage, 5ATF also available.

Light Engine
 LED light source available for 3000K, 3500K and 4000K CCT. In high and medium outputs.

See below and following page for photometric data: lumen outputs, input power (watts), and efficiencies.

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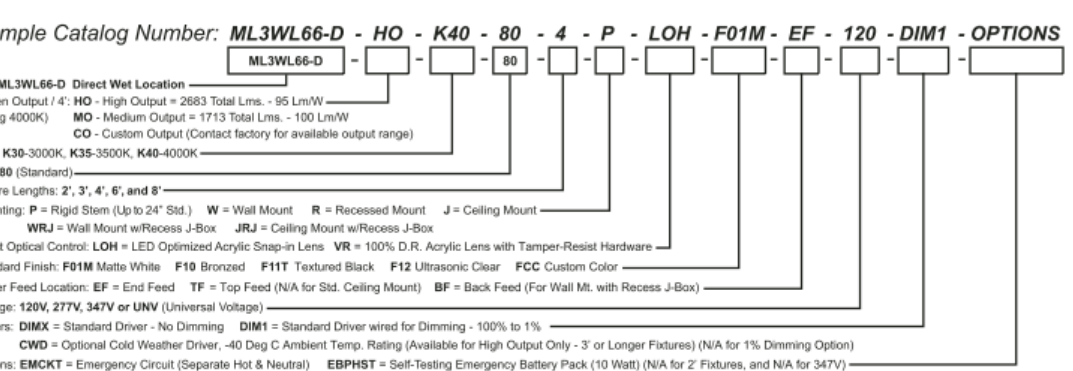
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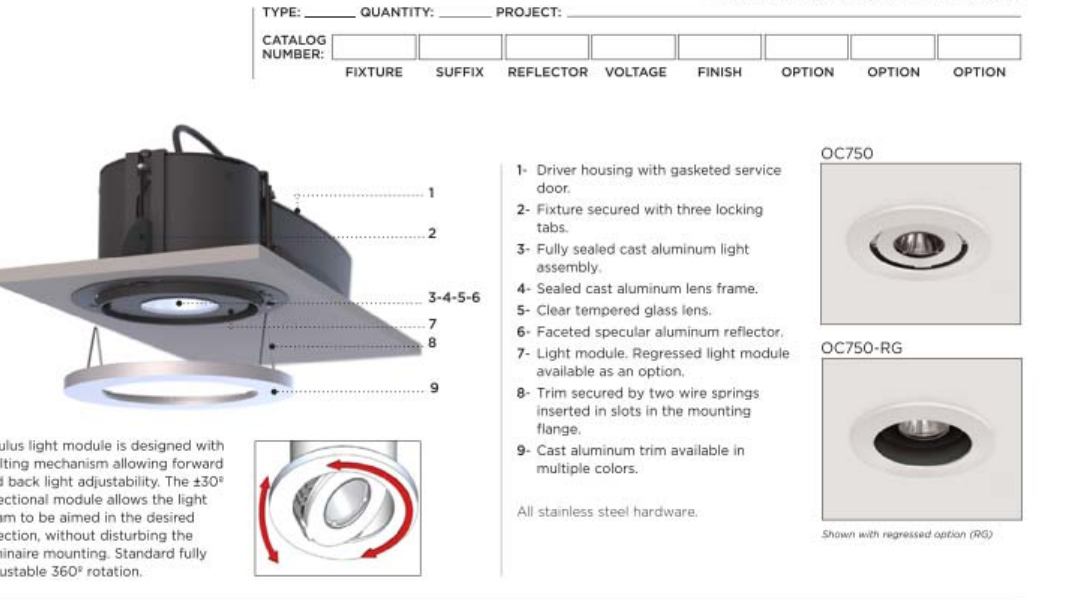
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 • Reflector/Heat Sink: 300° thick formed aluminum finished with a high reflective white baked powder coat.

Driver
 Power supply is UL/CUL recognized, 120-277 universal voltage, 5ATF also available.



Precision Architectural Lighting 4830 Timber Creek Drive Houston, Texas 77017
 281.733.6643 Fax 281.733.6641 www.palighting.com

LUMINIS Type ER1 **OC750 SERIES** 6" EXTERIOR RECESSED DOWNLIGHT



FEATURES
 1. Driver housing with gasketed service door.
 2. Fixture secured with three locking tabs.
 3. Fully sealed cast aluminum light assembly.
 4. Sealed cast aluminum lens frame.
 5. Clear tempered glass lens.
 6. Faceted specular aluminum reflector.
 7. Light module: Regressed light module available as an option.
 8. Trim secured by two wire springs inserted in slots in the mounting frame.
 9. Cast aluminum trim available in multiple colors.

MATERIALS
 Oculus is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%. The main housing is made of seamless extruded aluminum, with an integrally regressed LED light module designed for optimal heat dissipation and lighting performance. Oculus is standard with a unique proprietary design allowing the sealed LED module to fit within the housing. Oculus OCT70 series is standard with 30° optic. See options section for alternate selection.

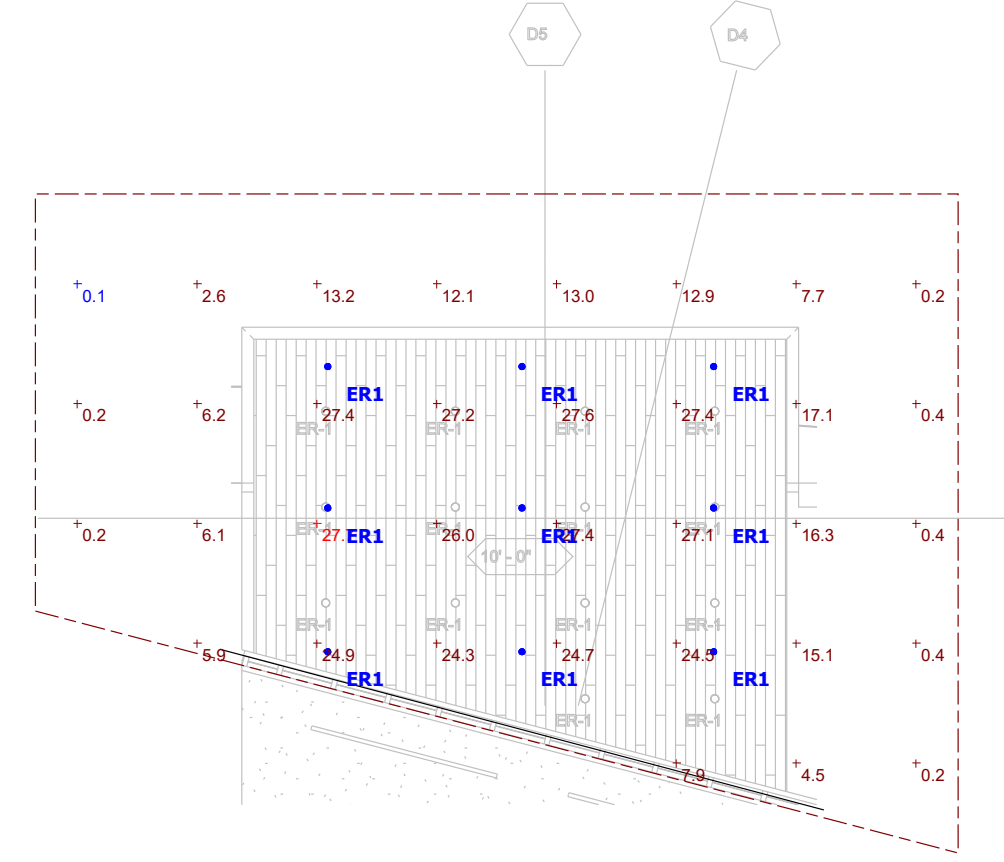
ELECTRICAL
 Standard driver is 0-10V dimming ready (dim to 10%) with 120-277 multi-volt compatibility (50-60Hz), operating temperature range of -40°C (-40°F) to 50°C (122°F), output over voltage protection, output over current protection and output short circuit protection with auto-recovery.
 Standard 4000K, 3000K, 3500K, 5000K & 3500K.
 Optional Amber LED for traffic sensitive areas.
 Wavelengths: 544.5nm to 597nm.

LIFE
 60,000hr L70, based on IESNA TM-21 Test Method and LM-80 data. Up to 70,000hr L70, calculated projection from LM-80 data.

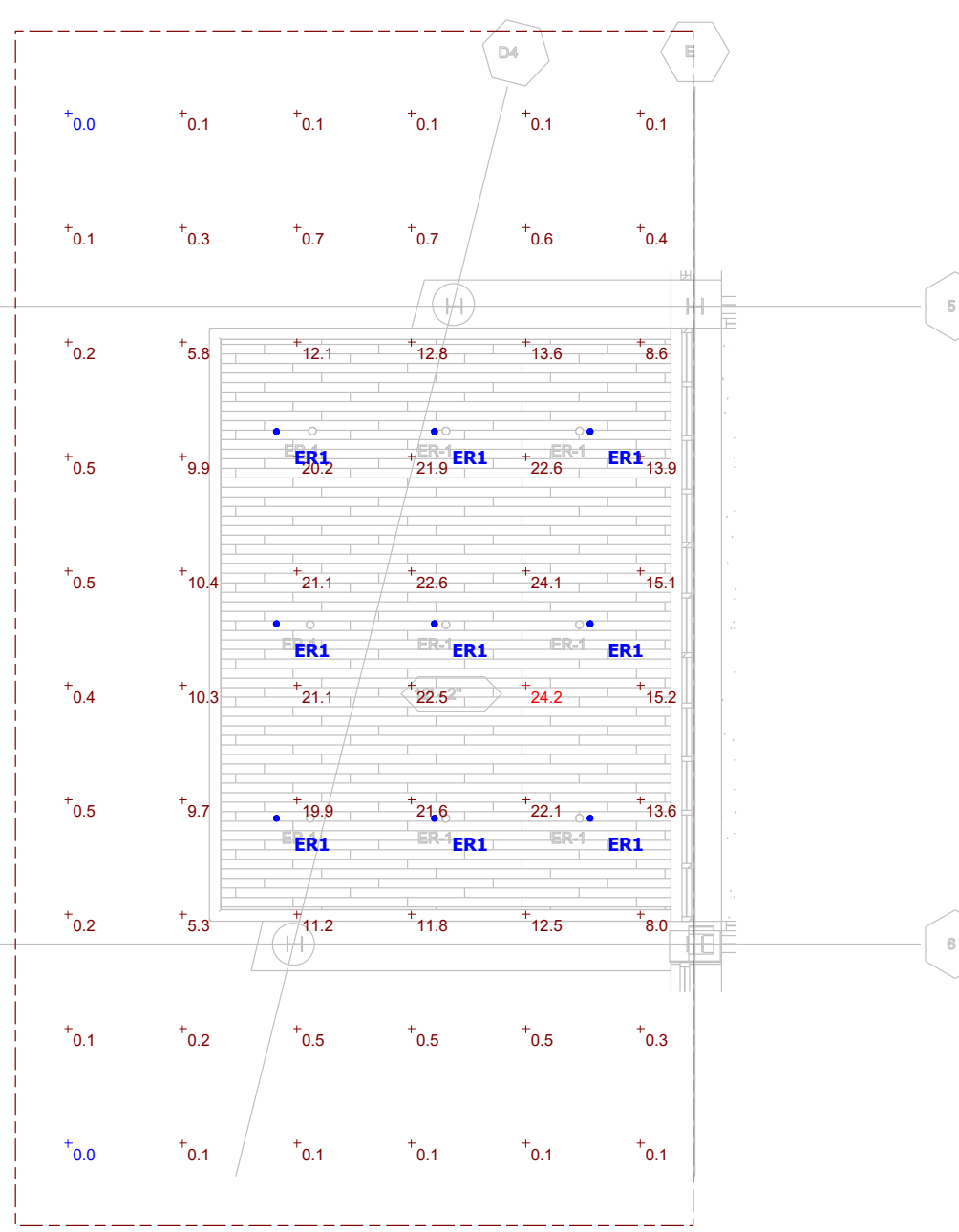
FINISH
 Five-stage preparation process including preheating of cast aluminum parts for an extraction, and an environmentally friendly alloy anodize. Polymer powder coating is applied through an electrostatic process and oven cured for long term finish.

CERTIFICATION
 Certified and approved as per CSA C22.2 No. 250.0 standard and ANSI/UL 956 standard for wet location. Rated 956 from below and above.

LUMINIS | Toll Free: 866.596.4647 Fax: 514.683.8872 Email: info@luminis.com
 2603 Lakeside, Prairie Grove (QC), Canada J9R 5L5 LUMINIS.COM

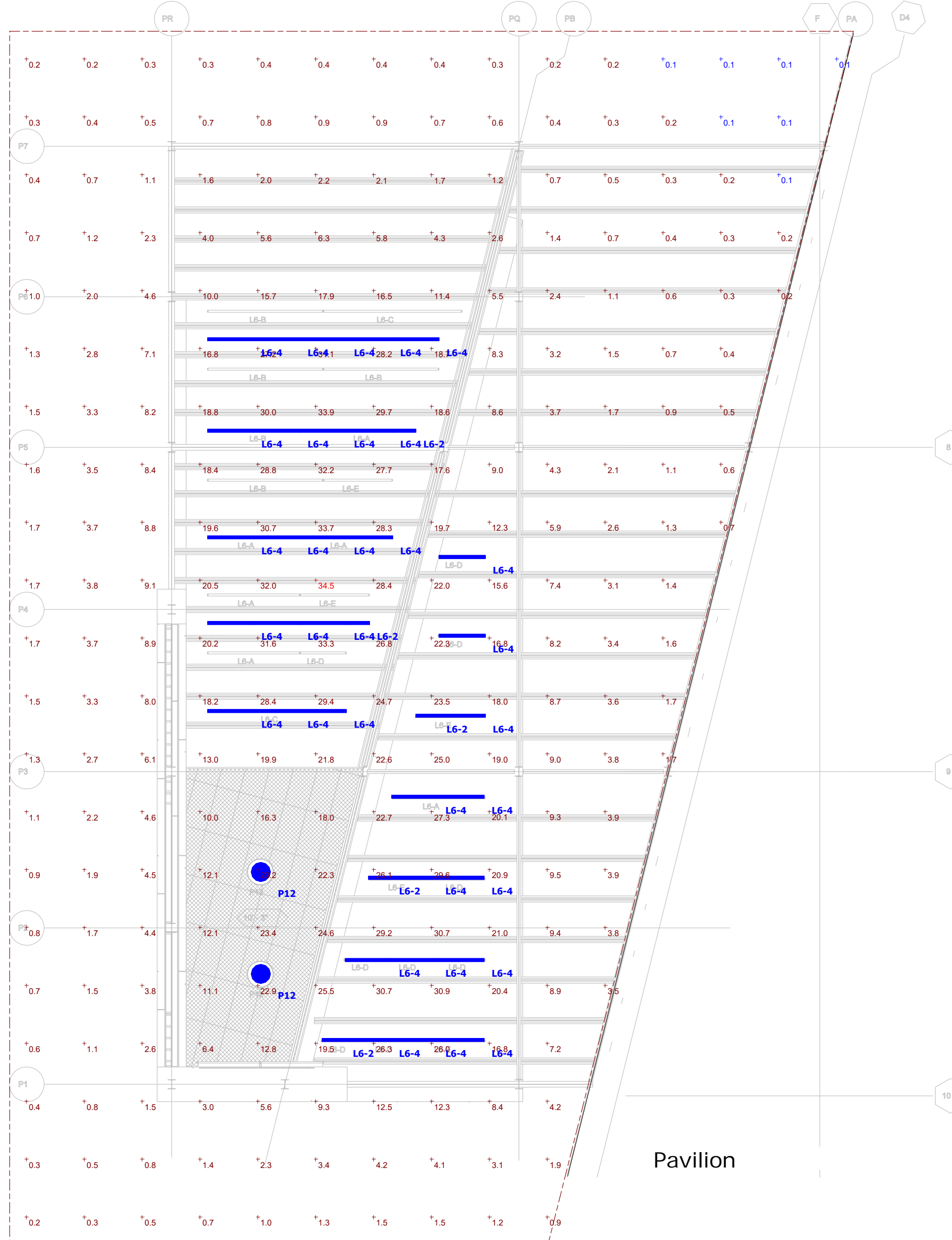


North Canopy



West Canopy

Plan View
 Scale = 1" = 8ft



Pavilion

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Phot
○	P12		2	WAC Lighting	PD-W24320-30	Surface-mounted Luminaire	1	2738	0.92	60.8195	Max: 1576d
	L6-2		5	Precision Architectural Lighting, 4830 Timber Creek Drive, Houston, TX 77017, USA	ML3WL-D-MO-K40-4-X-LOH-X-X-UVV	Catalog Number: ML3WL-D-MO-K40-4-X-LOH-X-X-UVV Pendant mounted, extruded aluminum housing, white etched reflector, white plastic enclosure, 144 white LEDs, clear Opal Phosphor LED lens, 35° beam, 1.15 ft max. Line beam diameter (L70 30/120-277/160 DIM1) LED driver: 120/277-0-10V, 0.1442A, 17.19W, 0.994PF, 5.319/3THD(0)	1	1713	0.46	8.6	Max: 808d
	L6-4		32	Precision Architectural Lighting, 4830 Timber Creek Drive, Houston, TX 77017, USA	ML3WL-D-MO-K40-4-X-LOH-X-X-UVV	Catalog Number: ML3WL-D-MO-K40-4-X-LOH-X-X-UVV Pendant mounted, extruded aluminum housing, white etched reflector, white plastic enclosure, 144 white LEDs, clear Opal Phosphor LED lens, 35° beam, 1.15 ft max. Line beam diameter (L70 30/120-277/160 DIM1) LED driver: 120/277-0-10V, 0.1442A, 17.19W, 0.994PF, 5.319/3THD(0)	1	1713	0.92	17.2	Max: 808d
○	ER1		18	Luminis Canada Inc.	OCT70-L1L15-855	Oculus 6	1	1483	0.92	13.3	Max: 2225d

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
North Canopy	+	13.5 fc	27.7 fc	0.1 fc	277.0:1	135.0:1
Pavilion	+	8.9 fc	34.5 fc	0.1 fc	345.0:1	89.0:1
West Canopy	+	7.9 fc	24.2 fc	0.0 fc	N/A	N/A

Note
 1. North canopy lights mounted at 10' AFG
 2. West canopy lights mounted at 12'-2" AFG
 3. Pavilion lights mounted at 10' AFG
 4. Light fixtures as presented are basis of design. Alternates are acceptable assuming similar performance and aesthetics.

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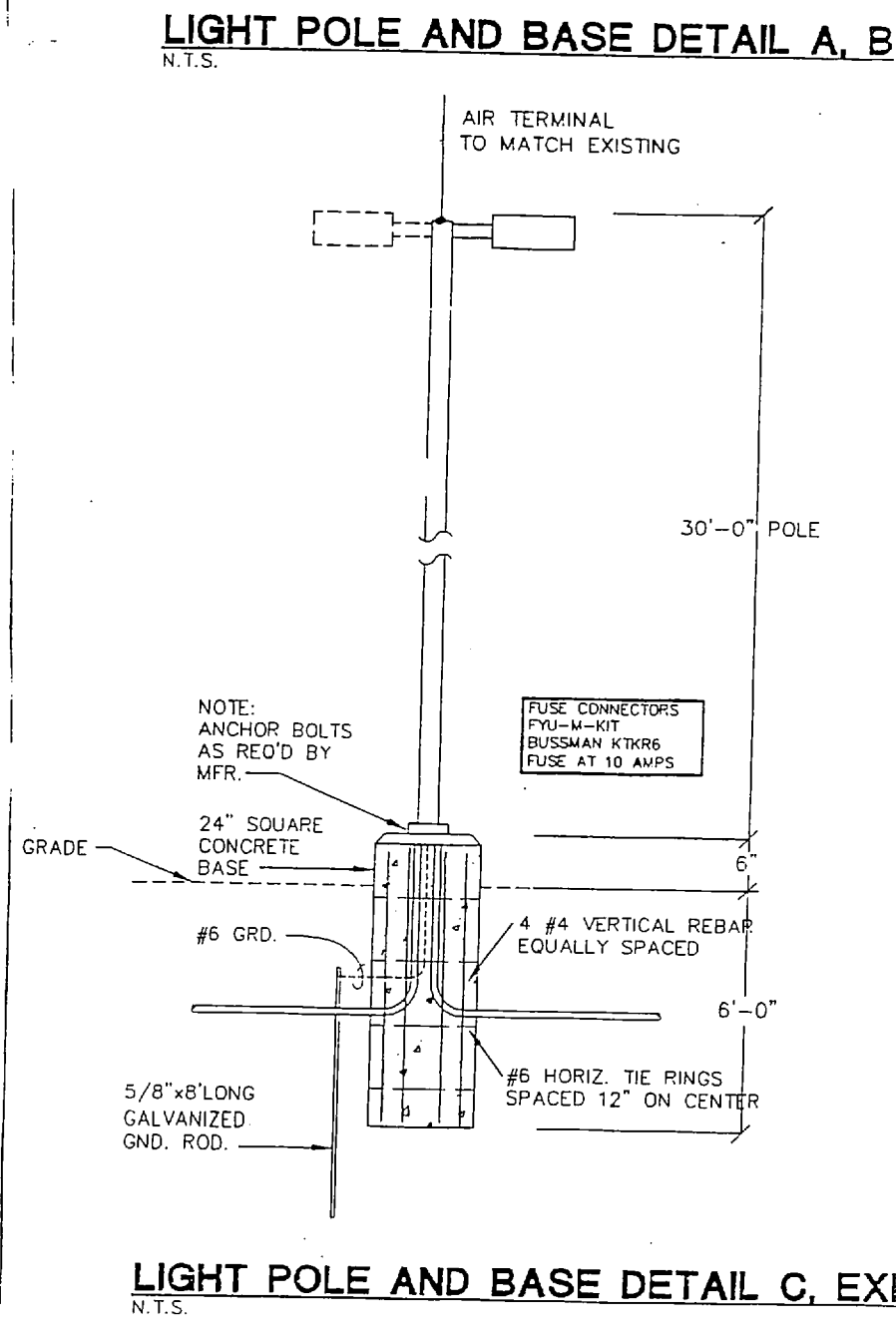
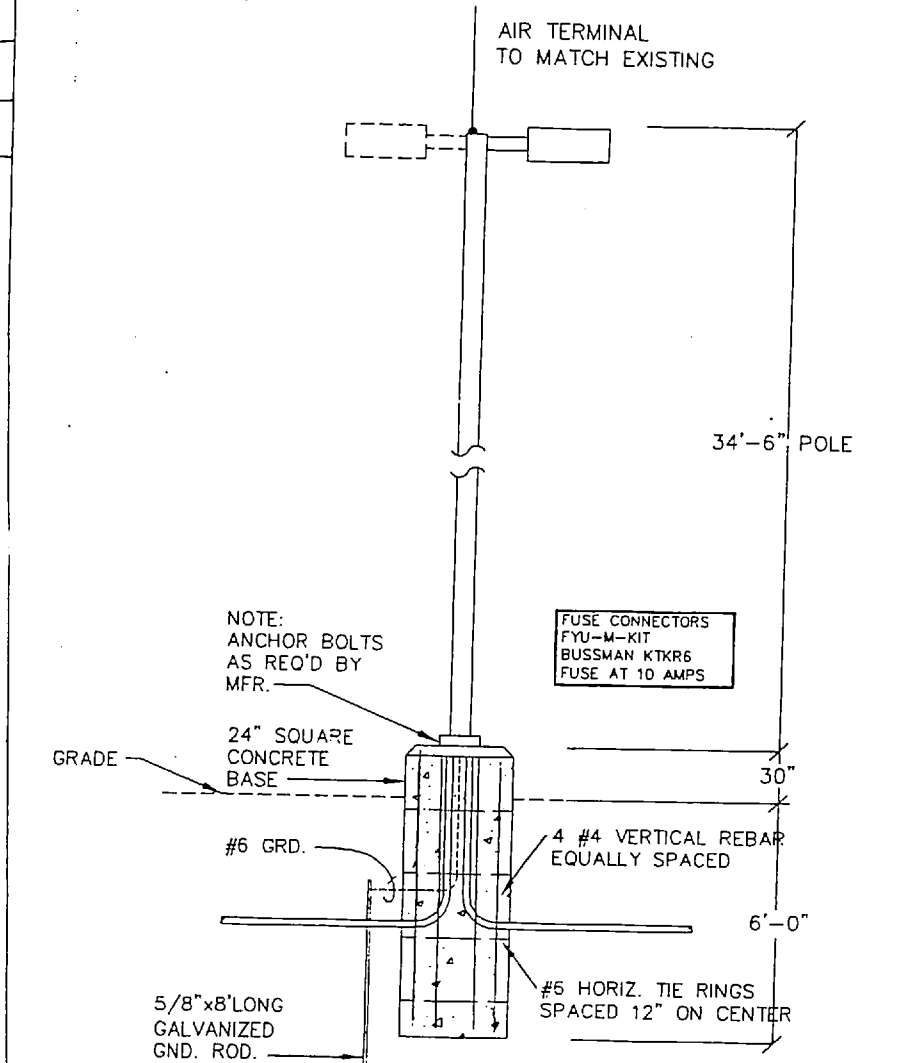
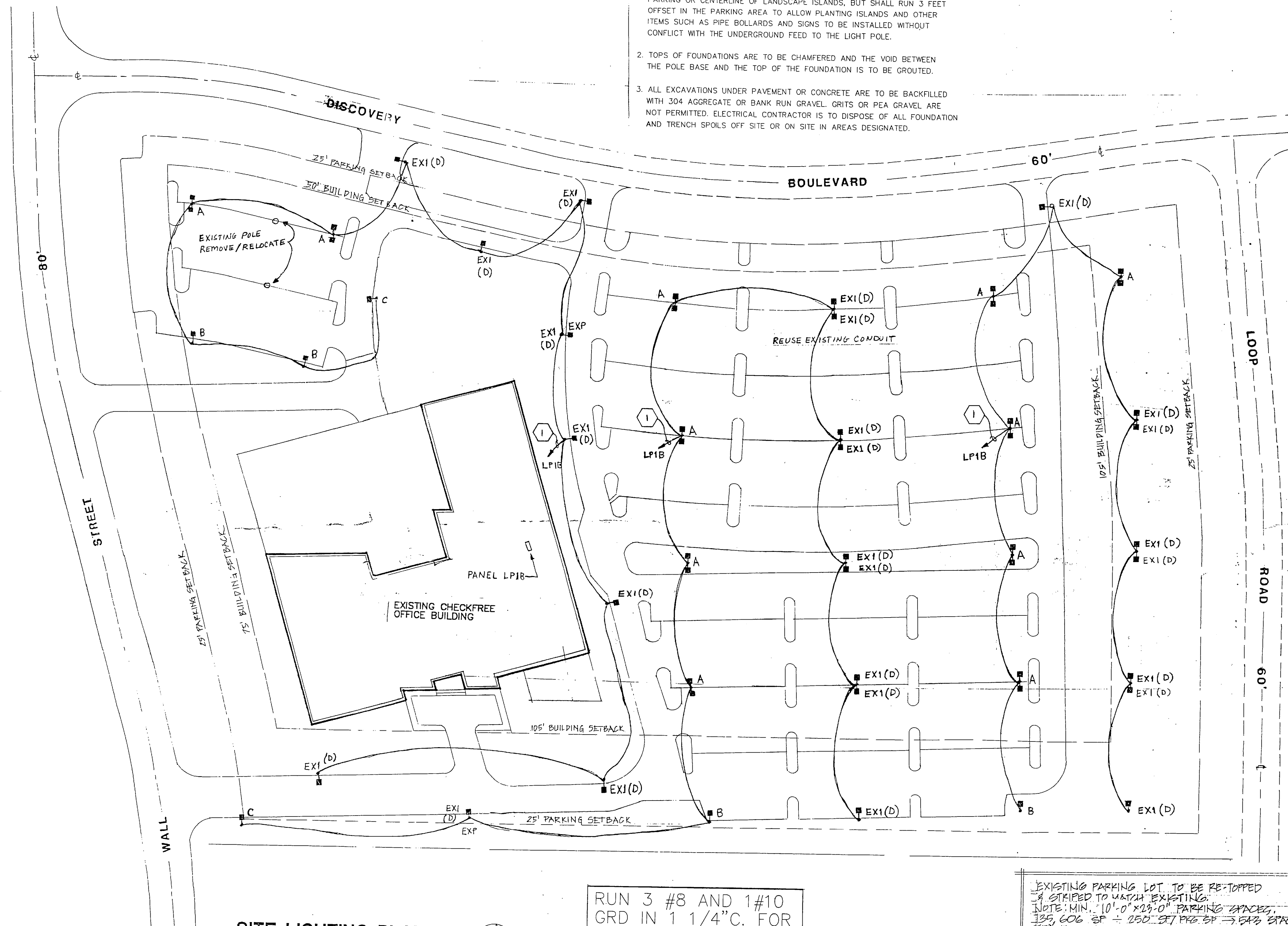
EST. 1964
ROEHNBECK
 ELECTRIC INC.
 2525 English Road Columbus, Ohio 43207
 Phone: 614-443-9709 www.roehrenbeck.com

Notice: This drawing and engineered design has been prepared by Roehrenbeck Electric Inc. for use only as authorized by Roehrenbeck Electric Inc.

EASE Pavilion and canopy lighting
 6000 Perimeter Dr
 Dublin, OH

SITE ELECTRICAL NOTES

1. PROVIDE ALL EXCAVATION, CONDUIT, FITTINGS, CONCRETE, ENCASEMENT OF CONDUIT (IF REQUIRED), GRANULAR BACKFILL, FLUSH MOUNTED JUNCTION BOXES AND WIRING NECESSARY TO INSTALL ALL SITE LIGHTING AND UNDERGROUND FEEDS AS SHOWN ON THE PLANS. NOTE UNDERGROUND FEEDS TO LIGHT POLES SHALL NOT RUN UNDER CENTER LINES OF HEAD IN PARKING OR CENTERLINE OF LANDSCAPE ISLANDS, BUT SHALL RUN 3 FEET OFFSET IN THE PARKING AREA TO ALLOW PLANTING ISLANDS AND OTHER ITEMS SUCH AS PIPE BOLLARDS AND SIGNS TO BE INSTALLED WITHOUT CONFLICT WITH THE UNDERGROUND FEED TO THE LIGHT POLE.
2. TOPS OF FOUNDATIONS ARE TO BE CHAMFERED AND THE VOID BETWEEN THE POLE BASE AND THE TOP OF THE FOUNDATION IS TO BE GROUTED.
3. ALL EXCAVATIONS UNDER PAVEMENT OR CONCRETE ARE TO BE BACKFILLED WITH 304 AGGREGATE OR BANK RUN GRAVEL. CRITS OR PEA GRAVEL ARE NOT PERMITTED. ELECTRICAL CONTRACTOR IS TO DISPOSE OF ALL FOUNDATION AND TRENCH SPOILS OFF SITE OR ON SITE IN AREAS DESIGNATED.



SITE LIGHTING PLAN
 SCALE: 1" = 50'-0"

RUN 3 #8 AND 1#10 GRD IN 1 1/4" C. FOR ALL POLE LIGHTS.

EXISTING PARKING LOT TO BE RE-TOPPED & STRIPED TO MATCH EXISTING. NOTE: MIN. 10'-0" x 12'-0" PARKING SPACES, 135' GOG SP + 250' STY PRG SP → 5' AS STREES MIN. (11) HC ACCESSIBLE SPACES REQUIRED.

APPROVED FOR CONSTRUCTION

GENERAL NOTES

1. REMOVE AND DISPOSE OF ALL EXISTING POLE MOUNTED FIXTURES.
2. BALANCE THE PHASES BY ALTERNATING FIXTURES: A&B, B&C, A&C ETC.
3. PROVIDE PULL WIRE IN ALL SPARE CONDUITS
4. ALL TRENCHING UNDER ROADWAY/ PARKING LOT IS TO BE BACKFILLED WITH GRAVEL UP TO GRADE LEVEL. UNLESS OTHERWISE NOTED.
5. MINIMIZE CONDUITS UNDER PAVEMENT BY ROUTING ALONG EDGE OF PARKING LOT.

CODED NOTES

1. RUN 3 #8 & #10 GRD IN EXIST. 1 1/4" C. THRU EXIST. CONTACTOR TO EXIST. 20A-3P CIRC. BREAKER IN EXIST. PANEL LP1B. MAKE FINAL CONNECTIONS. EXIST. CONTACTOR IS 9 POLE.

QTY.	TYPE	MANUF.	CAT. NO.	VOLTS	LAMPS	REMARKS
11	A	LITHONIA	(2)KSF2400SR3480SP04 W/LAMP W/KW SSP34.5-6.0-7-BRZ-DM2180-BC-PSA6 34.5' SSP	480	(2) 400W HPS	CUT-OFF POLE FIXTURE WITH 2 HEADS TYPE 3 DISTR 34.5' POLE
4	B	LITHONIA	(1)KSF2400SR3480SP04 W/LAMP W/KW SSP34.5-6.0-7-BRZ-DM10-BC-PSAB 34.5' SSP	480	(1) 400W HPS	CUT-OFF POLE FIXTURE WITH 1 HEAD TYPE 3 DISTR 34.5' POLE
2	C	LITHONIA	(1)KSF2400SR3480SP04 W/LAMP W/KW SSP30-6.0-7-BRZ-DM10-BC-PSAB 30' SSP	480	(1) 400W HPS	CUT-OFF POLE FIXTURE WITH 1 HEAD TYPE 3 DISTR 30' POLE
26	D	LITHONIA	(1)KSF2400SR3480SP04 W/LAMP	480	(1) 400W HPS	CUT-OFF POLE FIXTURE HEAD TYPE 3 DISTR. REUSE EXISTING POLE
26	EX1	---	---	480	(1) 400W HPS	EXISTING POLE. INSTALL NEW HEAD
2	EXP	---	---	---	---	RELOCATED EXISTING POLE

Rohrenbeck
 Electrical Services
 Construction - Engineering
 PHONE: 443-9709 FAX: 443-9720

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STATE OF OHIO
 DAN R. RHODES
 E-57288
 REGISTERED PROFESSIONAL ENGINEER
 11-138746

DRAWN BY: D.B.R.
 CHECKED BY: B.B.R.