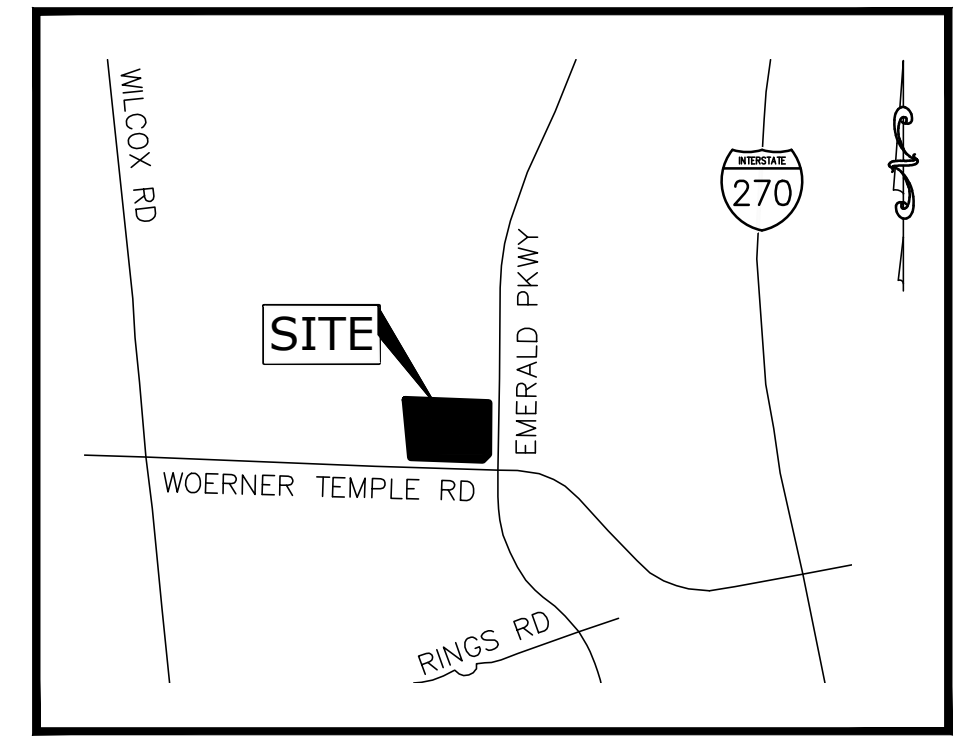
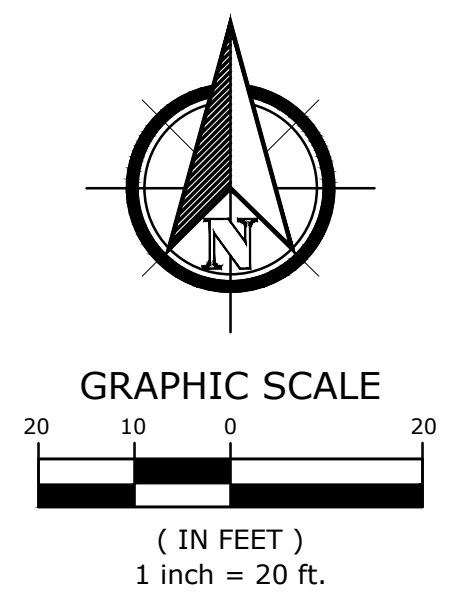


HEATHER GLEN
SECTION 2
PART No. 4
P.B. 78, PG. 26

OWNER: ANDREA L
TOD BURNS
0.32 ACRES
P.N.: 273-006656
ZONED: PLR

OWNER: THE ARK
CHURCH OF DUBLIN
7.210 ACRES
P.N.: 273-005392
ZONED: R-1

CAMDEN PROFESSIONAL
CONDOMINIUM 13TH AMENDMNT
C.P.B. 277, PG. 88
ZONED PCD
(SUBAREA B-2)



PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD
VMS 3011

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

SURVEYOR
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

- ALL UTILITIES SHOWN HEREON ARE EXISTING
- ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

LEGEND

	STORM SEWER INLET		SIGN
	WATERLINE		WATER VALVE
	SANITARY SEWER		SANITARY MANHOLE
	STORM SEWER		STORM SEWER MANHOLE
	FIRE HYDRANT		IRON PIN FOUND
	UTILITY BOX		TRAFFIC BOX
	LIGHT POLE		IRON PIN SET

NOTES

1. NO LAND IS BEING DEDICATED TO OR TEMPORARILY RESERVED FOR PUBLIC USE.
2. THIS PRELIMINARY PLAT, CONSISTING OF TWO LOTS, CONFORMING TO 152.018C1, PROVIDES FOR BUILDING SITES TO FACILITATE OFFICE DEVELOPMENT IN KEEPING WITH THE EXISTING PCD ZONING FOR THE THOMAS/KOHLER PROPERTY, JANUARY 2002, SUBAREA C. ONE BUILDING WILL BE CONSTRUCTED ON THE SOUTH LOT FOR OFFICE AND FITNESS FACILITY USES. NO USE OR BUILDING IS PROPOSED ON THE NORTH LOT AT THIS TIME.

BENCHMARKS

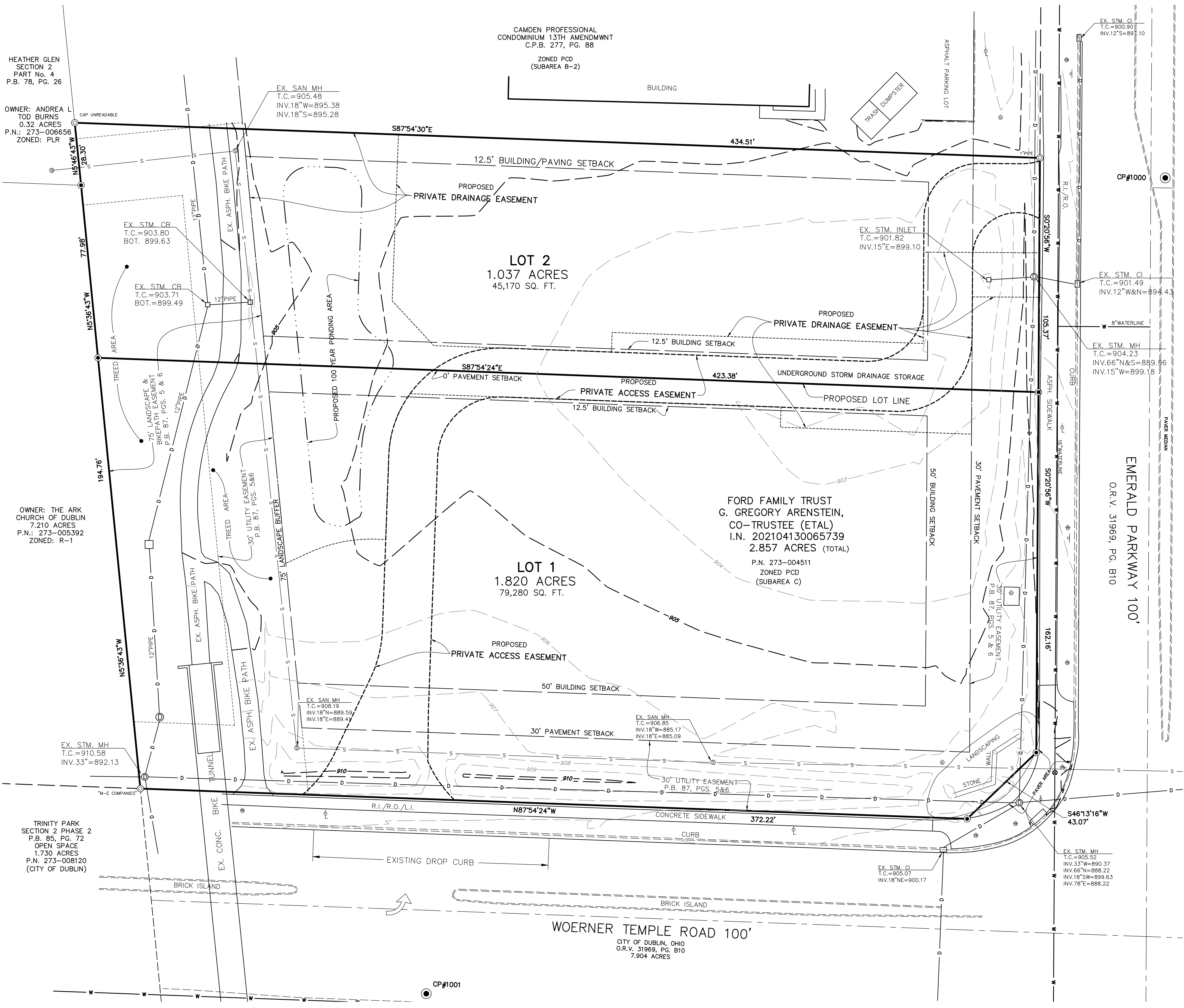
ELEVATIONS ESTABLISHED FROM GPS OBSERVATIONS AND BY AN OCTOBER 2022 FIELD SURVEY BY IBI GROUP

- CP #1000 5/8" REBAR SET "IBI GROUP"
N=760234.481
E=1788495.207
ELEV.=902.54
- CP #1001 5/8" REBAR SET "IBI GROUP"
N=759867.436
E=1788162.731
ELEV.=907.26

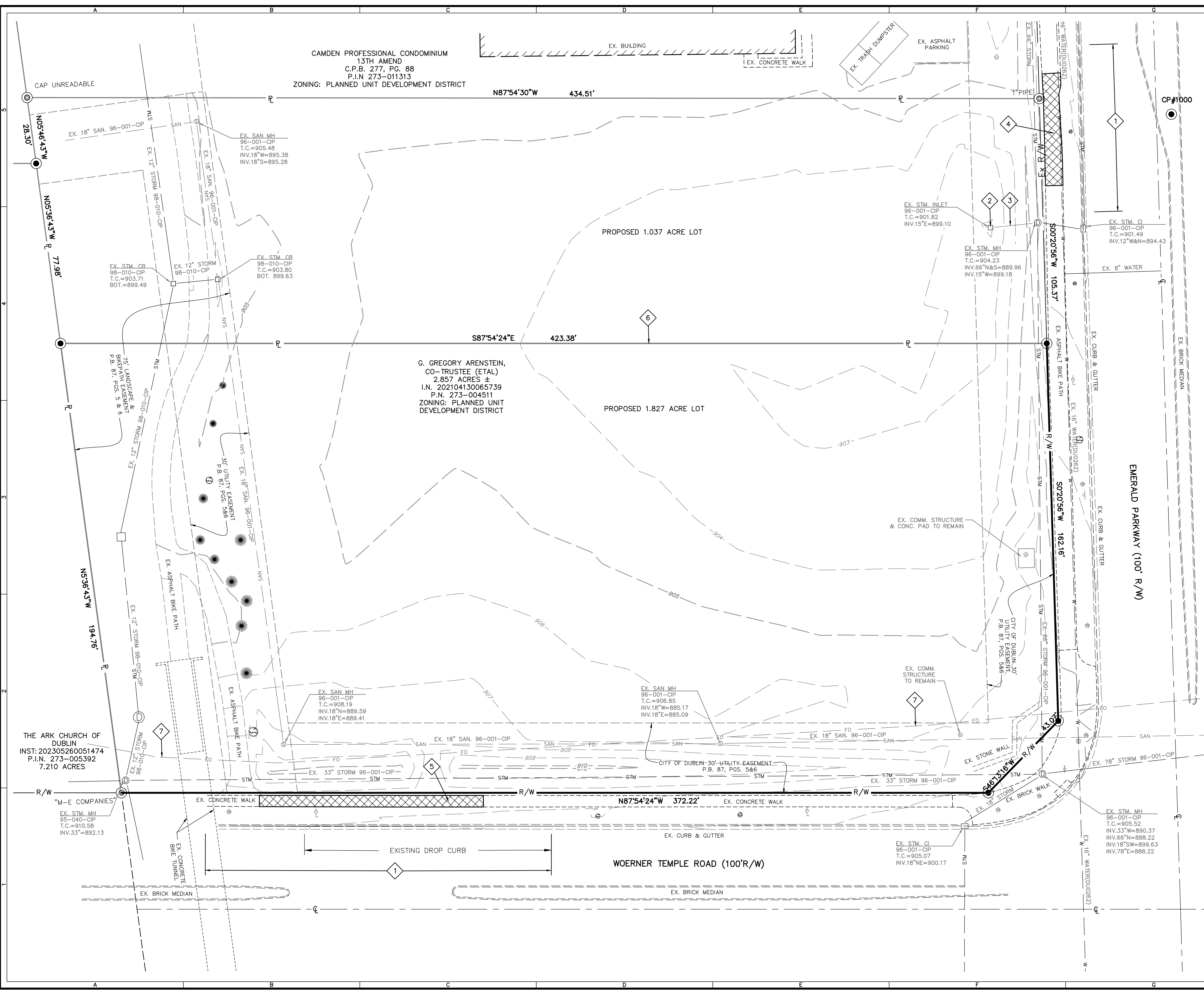
ARCADIS
IBI GROUP

8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

DATE OF SUBMISSION: AUGUST 16, 2023



WOERNER TEMPLE ROAD 100'
CITY OF DUBLIN, OHIO
O.R.V. 31969, PG. B10
7.904 ACRES



CAMDEN PROFESSIONAL CONDOMINIUM
13TH AMEND
C.P.B. 277, PG. 88
P.I.N. 273-011313
ZONING: PLANNED UNIT DEVELOPMENT DISTRICT

G. GREGORY ARENSTEIN,
CO-TRUSTEE (ETAL)
2.857 ACRES ±
I.N. 202104130065739
P.N. 273-004511
ZONING: PLANNED UNIT
DEVELOPMENT DISTRICT

THE ARK CHURCH OF
DUBLIN
INST: 202305260051474
P.I.N. 273-005392
7.210 ACRES

"M-E COMPANIES"
EX. STM. MH
95-040-CIP
T.C.=910.58
INV.33°=892.13

EX. SAN. MH
96-001-CIP
T.C.=908.19
INV.18°N=889.59
INV.18°E=889.41

EX. SAN. MH
96-001-CIP
T.C.=906.85
INV.18°W=885.17
INV.18°E=885.09

EX. STM. CI
96-001-CIP
T.C.=905.07
INV.18°NE=900.17

EX. STM. MH
96-001-CIP
T.C.=905.52
INV.33°W=890.37
INV.66°N=888.22
INV.18°SW=899.63
INV.78°E=888.22

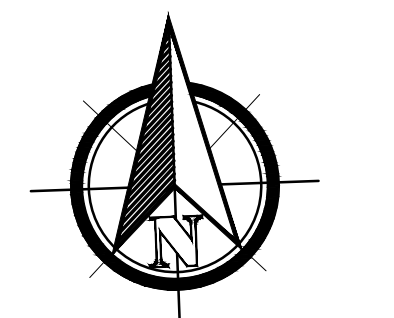
CODED NOTES

1. SAWCUT EXISTING CURB (TO NEAREST JOINT) AND PAVEMENT PER RD-07 AND REMOVE PER ITEM 202 TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH. ANY EXISTING DEPRESSED CURB NEEDS TO BE REMOVED AND REPLACED WITH FULL HEIGHT CURB BEYOND DRIVEWAY APPROACH LIMITS.
2. REMOVE EXISTING CATCH BASIN PER ITEM 202
3. REMOVE EXISTING 20"~15" STORM PIPE PER ITEM 202
4. REMOVE EXISTING ASPHALT PATH TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
5. REMOVE EXISTING CONCRETE WALK TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
6. PROPOSED LOT SPLIT PROPERTY LINE
7. EXISTING FIBER OPTIC LINE, PER DUBSCOVERY GIS MAP. CONTRACTOR TO FIELD VERIFY LOCATION.

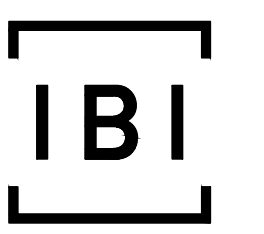
LEGEND

SIGN	—○—
EX. SANITARY LINE	—SAN—
EX. STORM SEWER LINE	—STM—
FIRE HYDRANT	⊕
WATER VALVE	⊗
WATER METER	⊞
UTILITY BOX	⊠
LIGHT POLE	⊡
COMMUNICATION BOX	⊞
MAIL BOX	⊞
SANITARY MANHOLE	⊙
SANITARY CLEANOUT	⊙
BENCHMARK	⊕
GAS LINE	—G—
WATER LINE	—W—
GAS METER	⊞
IRON PIN FOUND (AS NOTED)	⊙
IRON PIN SET	⊙
UNDERGROUND ELECTRIC LINE	—E—
UNDERGROUND COMMUNICATION LINE	—T—
OVERHEAD POWER LINE	—OHL—
UNDERGROUND FIBER OPTIC LINE	—FO—
SIDEWALK/PATH TO BE REMOVED	⊞

NOTE: SEE SHEET CV FOR ADDITIONAL BENCHMARK INFORMATION.



GRAPHIC SCALE
20 10 0 10 20
(IN FEET)
1 inch = 20 ft.



IBI GROUP
8101 North High Street, Suite 100
Columbus, OH 43235
tel 614 818 4900
fax 614 818 4901

REVISION:

SUBMISSION:
05.24.2023 FINAL DEVELOPMENT PLAN

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE
BUILDING
EMERALD PARKWAY
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI NO.: 141124

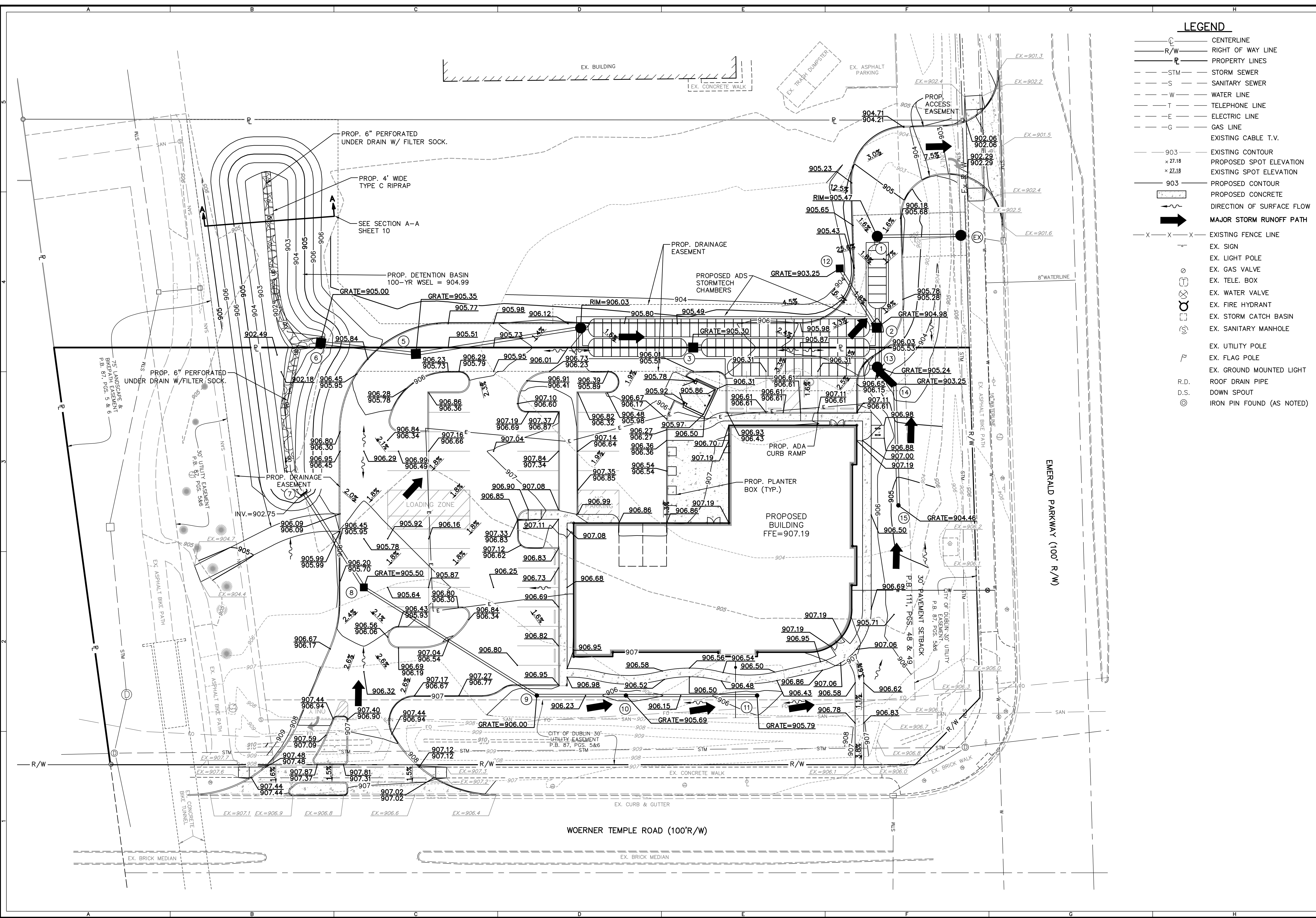
DATE: August 16, 2023

SCALE:

SHEET TITLE:

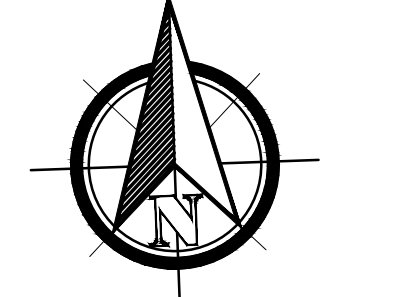
EXISTING
CONDITIONS &
DEMOLITION PLAN

SHEET NO.: 5/14

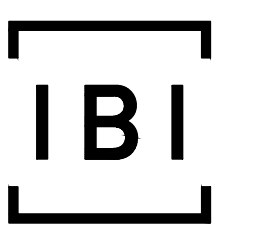


LEGEND

- C— CENTERLINE
- R/W— RIGHT OF WAY LINE
- P— PROPERTY LINES
- STM--- STORM SEWER
- S--- SANITARY SEWER
- W--- WATER LINE
- T--- TELEPHONE LINE
- E--- ELECTRIC LINE
- G--- GAS LINE
- G--- EXISTING CABLE T.V.
- 903--- EXISTING CONTOUR
- ×27.18 PROPOSED SPOT ELEVATION
- ×27.18 EXISTING SPOT ELEVATION
- 903--- PROPOSED CONTOUR
- ▭ PROPOSED CONCRETE
- DIRECTION OF SURFACE FLOW
- MAJOR STORM RUNOFF PATH
- X-X-X- EXISTING FENCE LINE
- EX. SIGN
- EX. LIGHT POLE
- EX. GAS VALVE
- EX. TELE. BOX
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. STORM CATCH BASIN
- EX. SANITARY MANHOLE
- EX. UTILITY POLE
- EX. FLAG POLE
- EX. GROUND MOUNTED LIGHT
- R.D. ROOF DRAIN PIPE
- D.S. DOWN SPOUT
- ⊙ IRON PIN FOUND (AS NOTED)



GRAPHIC SCALE
 20 10 0 10 20
 (IN FEET)
 1 inch = 20 ft.



IBI GROUP
 8101 North High Street, Suite 100
 Columbus, OH 43235
 tel 614 818 4900
 fax 614 818 4901

REVISION:
 SUBMISSION:
 05.24.2023 FINAL DEVELOPMENT PLAN

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:
 NOT FOR CONSTRUCTION

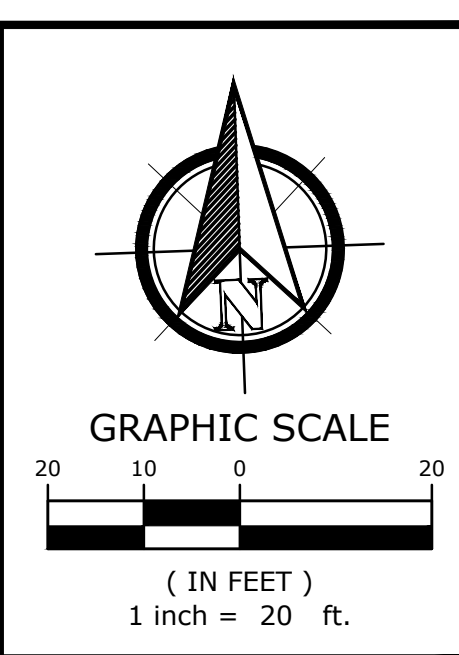
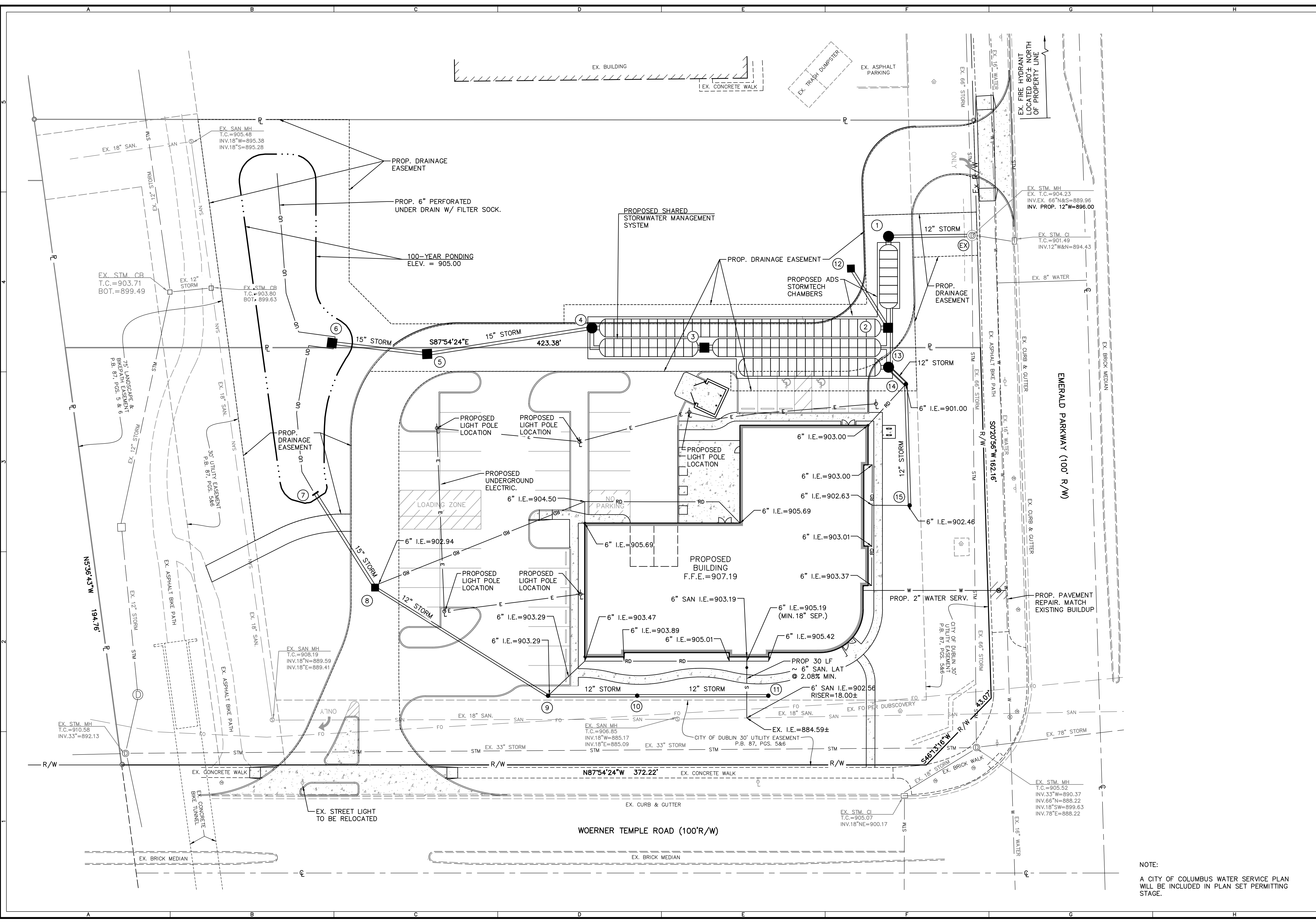
SHIHAB LAW OFFICE BUILDING
 EMERALD PARKWAY
 DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124
 DATE: August 16, 2023
 SCALE:

SHEET TITLE:
SITE GRADING PLAN

SHEET NO.: 7/14



[BI]

IBI GROUP
 8101 North High Street, Suite 100
 Columbus, OH 43235
 tel 614 818 4900
 fax 614 818 4901

REVISION:

SUBMISSION:
 05.24.2023 FINAL DEVELOPMENT PLAN

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE BUILDING
 EMERALD PARKWAY
 DUBLIN, OHIO

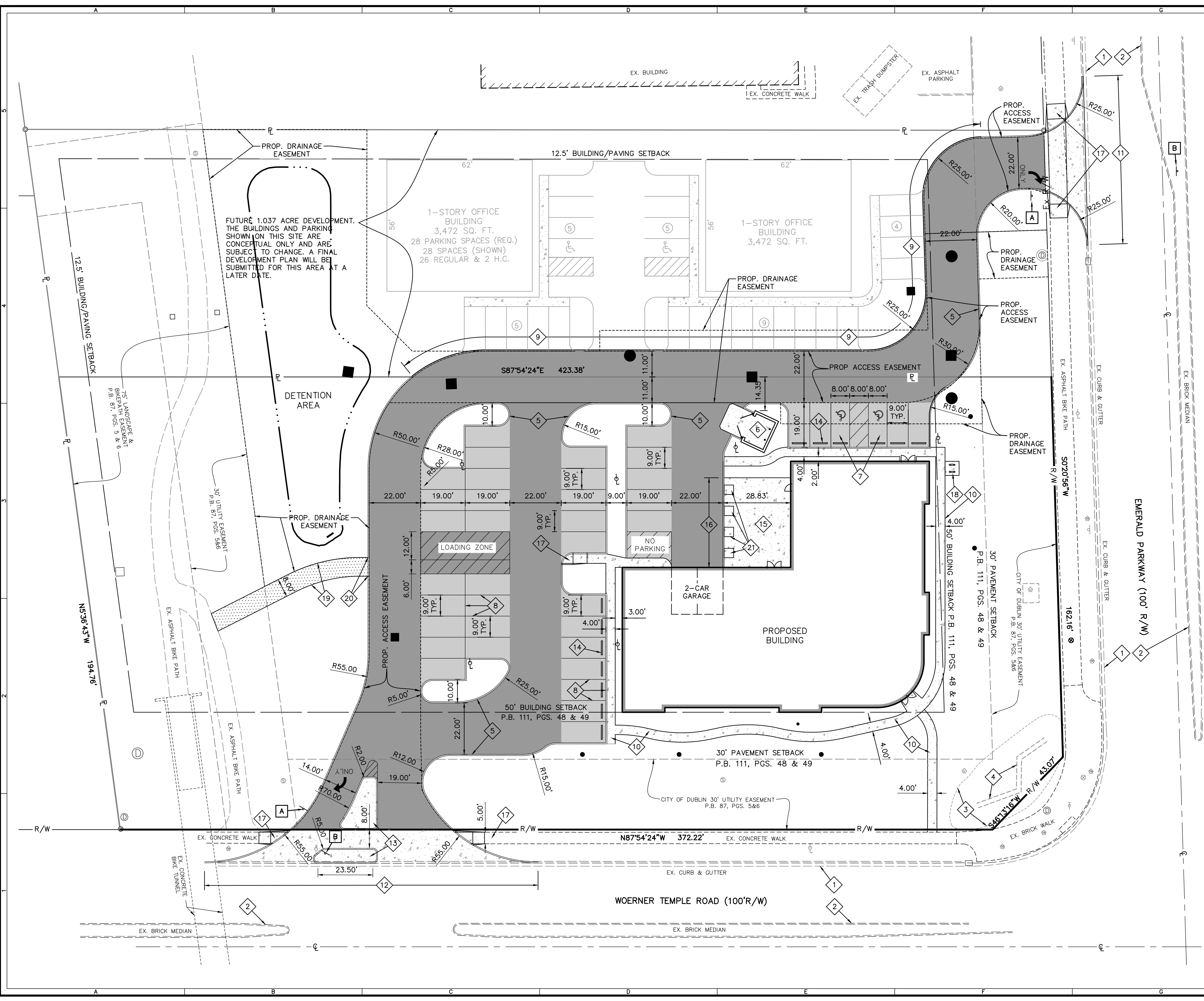
DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124
 DATE: August 16, 2023
 SCALE:

SHEET TITLE:
SITE UTILITY PLAN

NOTE:
 A CITY OF COLUMBUS WATER SERVICE PLAN
 WILL BE INCLUDED IN PLAN SET PERMITTING
 STAGE.

SHEET NO.: **8/14**



FUTURE 1.037 ACRE DEVELOPMENT. THE BUILDINGS AND PARKING SHOWN ON THIS SITE ARE CONCEPTUAL ONLY AND ARE SUBJECT TO CHANGE. A FINAL DEVELOPMENT PLAN WILL BE SUBMITTED FOR THIS AREA AT A LATER DATE.

1-STORY OFFICE BUILDING
3,472 SQ. FT.
28 PARKING SPACES (REQ.)
28 SPACES (SHOWN)
26 REGULAR & 2 H.C.

1-STORY OFFICE BUILDING
3,472 SQ. FT.

- CODED NOTES**
- EXISTING CURB AND GUTTER
 - EXISTING CURB
 - EXISTING LANDSCAPE AREA
 - EXISTING STONE WALL
 - PROPOSED STRAIGHT 18" CONCRETE CURB PER MODIFIED STD. DWG. RD-11. NOTE THAT NO UNDERDRAIN TO BE CONSTRUCTED.
 - PROPOSED DUMPSTER ENCLOSURE
 - PROPOSED ITEM 644 ADA PAVEMENT MARKINGS
 - PROPOSED ITEM 644 PARKING SPACE STRIPING
 - PROVIDE EXTRUDED CURB ALONG PAVEMENT EDGE ON ADJACENT PROPERTY. SEE DETAIL ON SHEET 4
 - PROPOSED CONCRETE WALK
 - SAW CUT EXISTING CURB AND CONSTRUCT DRIVE WAY APPROACH PER STD. DWG. RD-07
 - CONSTRUCT DRIVE WAY APPROACH PER STD. DWG. RD-07
 - PROPOSED CONCRETE MEDIAN
 - PROPOSED WHEEL STOP (TYP.)
 - PROPOSED CONCRETE PATIO
 - ASPHALT PAVEMENT TO BE FLUSH WITH PATIO
 - PROPOSED CURB RAMP TYPE C PER STD. DWG. PD-06
 - PROPOSED BIKE RACK
 - PROPOSED SHARED USE PATH (STANDARD) PER STD. DWG. RD-06
 - TRANSITION CURB HEIGHT FROM 0" TO 6" IN 12" HORIZONTAL DISTANCE
 - PROPOSED PLANTER BOX

- SITE PLAN LEGEND**
- SIGN
- EX. SANITARY LINE — SAN —
 - EX. STORM SEWER LINE — STM —
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - UTILITY BOX
 - LIGHT POLE
 - COMMUNICATION BOX
 - MAIL BOX
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - BENCHMARK
 - GAS LINE
 - WATER LINE
 - GAS METER
 - IRON PIN FOUND (AS NOTED)
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND COMMUNICATION LINE
 - OVERHEAD POWER LINE
 - UNDERGROUND FIBER OPTIC LINE
 - PROPOSED LIGHT DUTY PAVEMENT
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED BIKE PATH
 - PROPOSED CONCRETE

PARKING NOTE

TAX DISTRICT/PARCEL: 273-004511

SITE AREA: 79,282 S.F. = 1.820 ACRES (TO BE SPLIT OUT OF 2.857 ACRES PARCEL)

LOT COVERAGE:

BUILDING = 10,380 S.F.
 PARKING LOT = 21,255 S.F.
 SIDEWALK/PATIO = 3,450 S.F.
 EXISTING S.U.P = 2,047 S.F.
 PROPOSED S.U.P = 659 S.F.
 37,791 S.F.

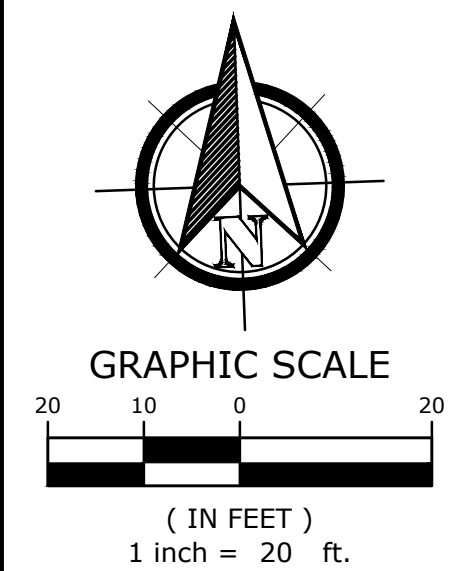
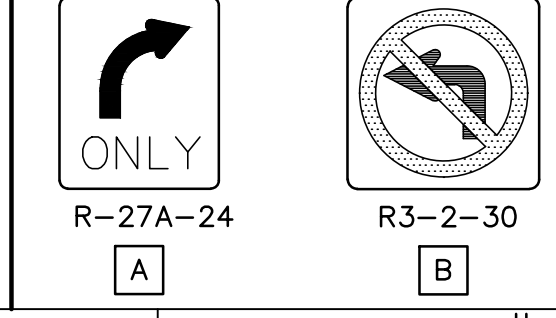
% LOT COVERAGE = 37,791/79,282 = 47.67%

VEHICLE PARKING

REQUIRED: 1 SPACE PER 250 S.F.
 REQUIRED PARKING = 10,380 / 250 = 42
 PROVIDED PARKING = 38 (STANDARD SPACE)
 2 (ADA SPACES)
 2 (GARAGE SPACE)
 42

LEGEND - PROPOSED TRAFFIC SIGNS

NOTE: SIGNS ARE TO BE MOUNTED ON ITEM 630 ~ 2" SQUARE GALVANIZED POST, POWDER COATED BLACK (BREAKAWAY). BOTTOM OF SIGN TO BE A MINIMUM 7" FROM GROUND.



IBI GROUP
 8101 North High Street, Suite 100
 Columbus, OH 43235
 tel 614 818 4900
 fax 614 818 4901

REVISION:

SUBMISSION:
 05.24.2023 FINAL DEVELOPMENT PLAN

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

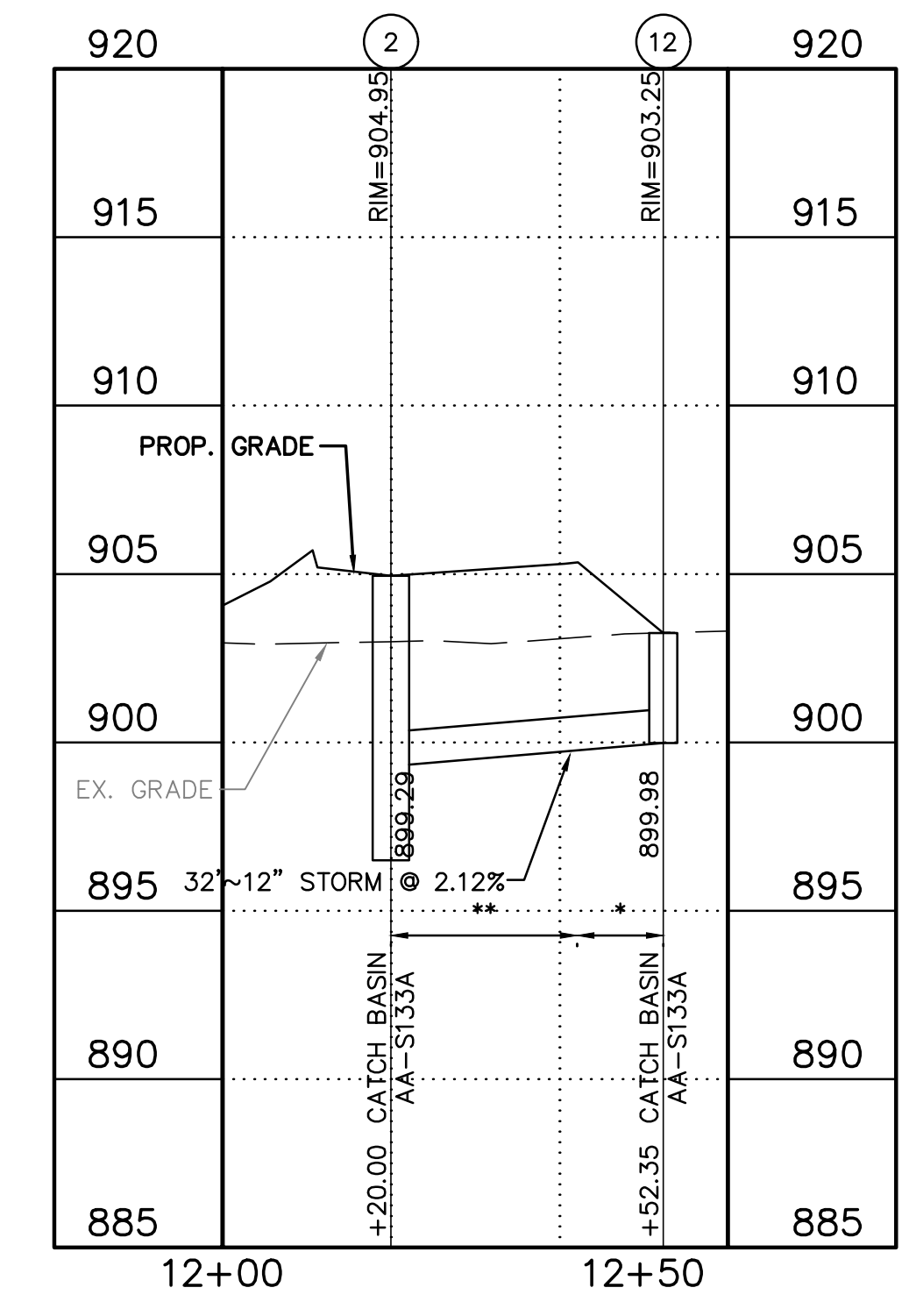
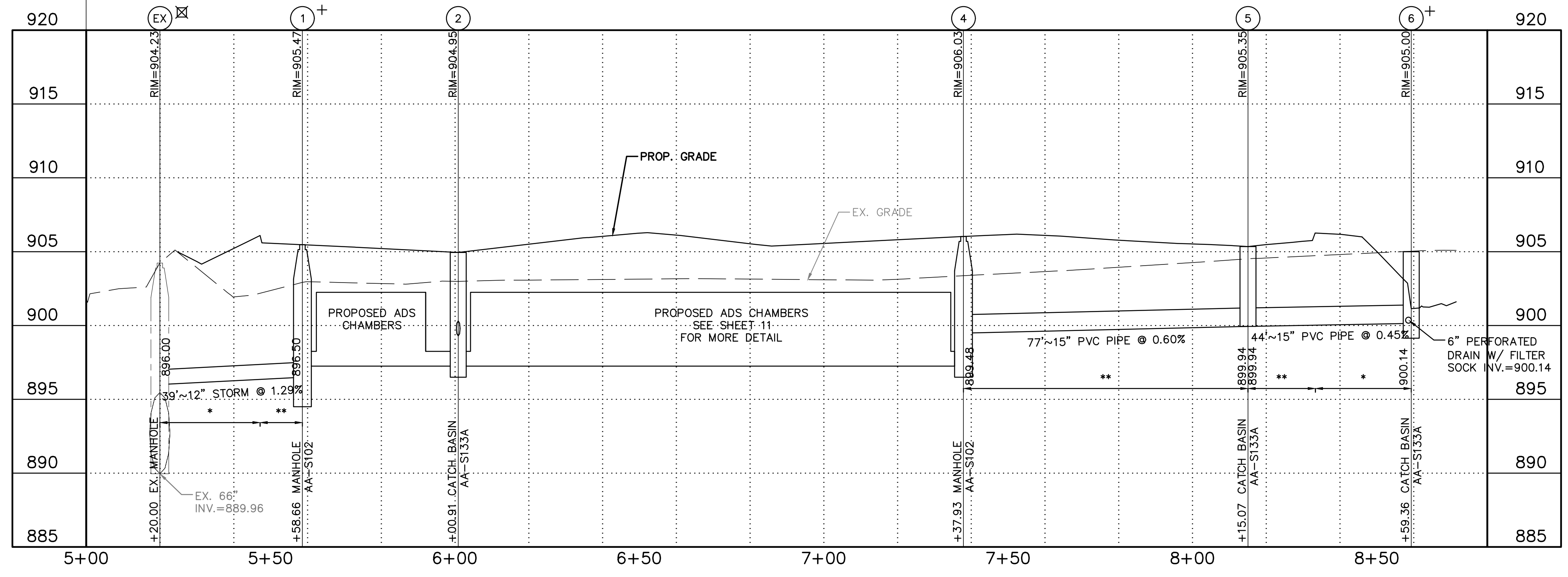
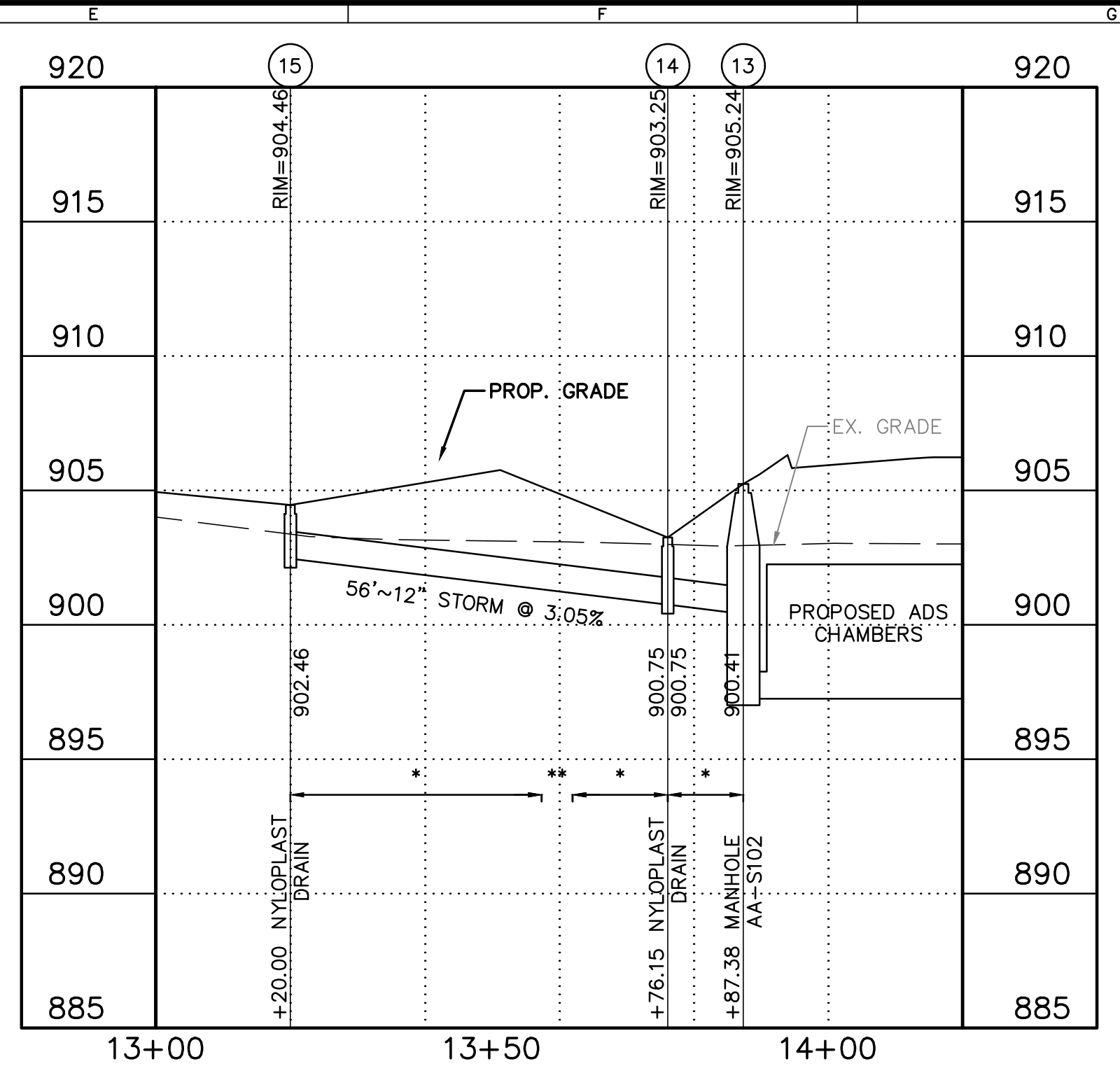
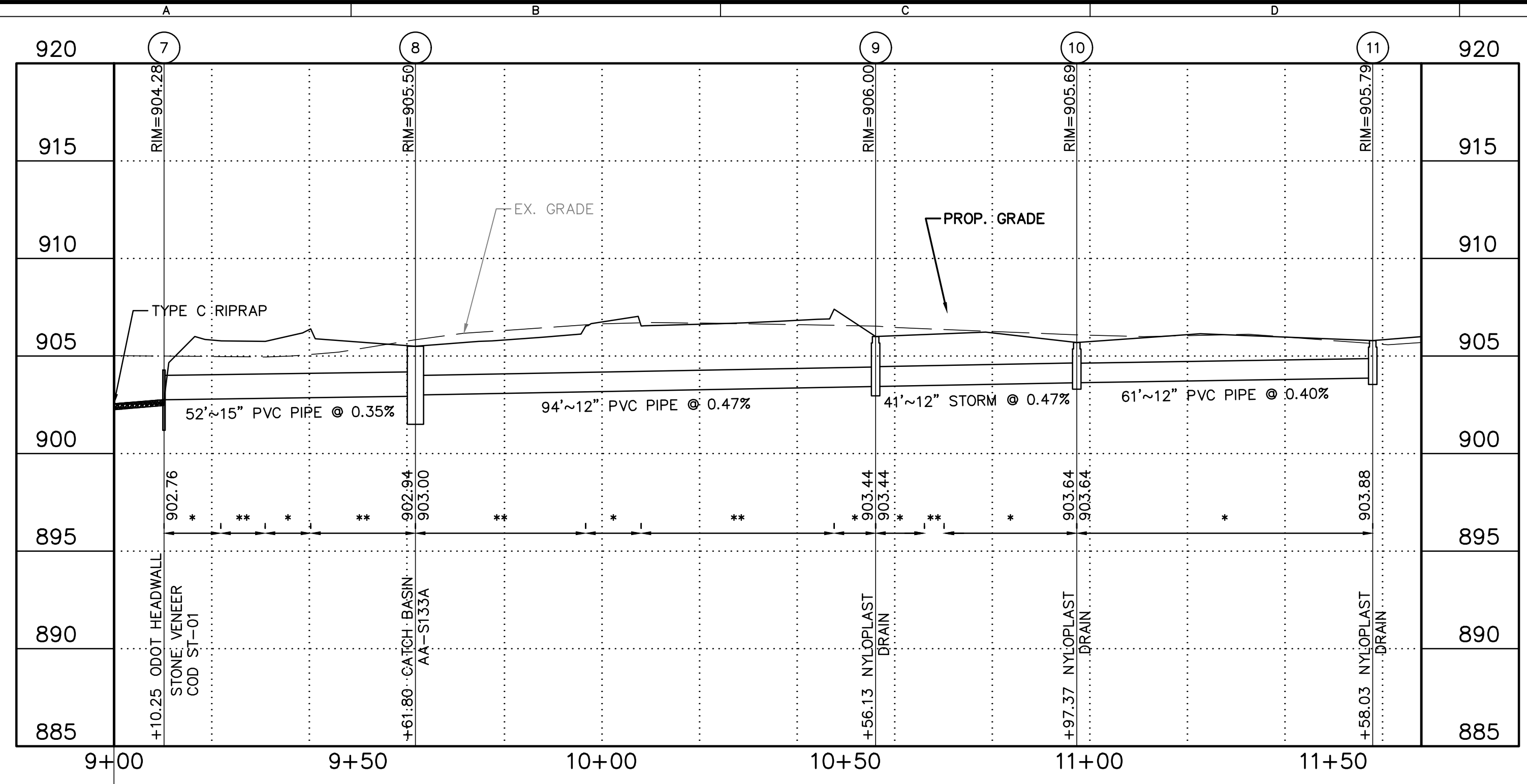
SHIHAB LAW OFFICE
 BUILDING
 EMERALD PARKWAY
 DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124
 DATE: August 16, 2023
 SCALE:

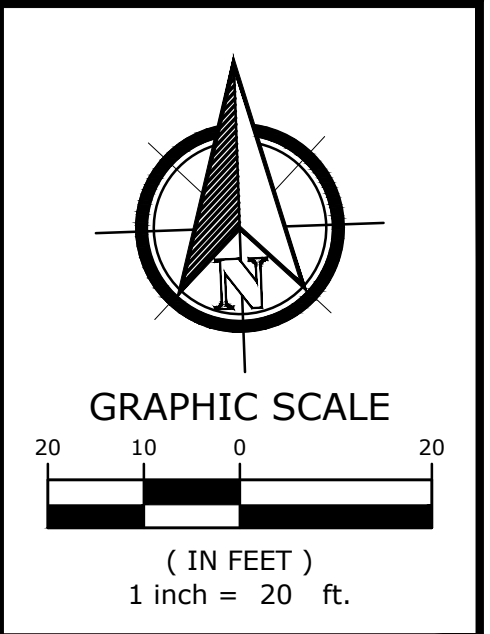
SHEET TITLE:
SITE DIMENSION PLAN

SHEET NO.: 6/14



BACKFILL SHALL BE COMPACTED TO THE DENSITY OF THE ADJACENT SUITABLE SOIL UNLESS OTHERWISE NOTED.

- * PROVIDE COMPACTED BACKFILL PER ITEM 911
- ** PROVIDE COMPACTED GRANULAR BACKFILL PER ITEM 912
- ☒ INVERT SHOWN PER SITE SURVEY. CONTRACTOR TO FIELD VERIFY INVERT AND LOCATION OF EXISTING UTILITY PRIOR TO ORDERING MATERIALS.
- † SEE SHEET 10 FOR STRUCTURE DETAIL(S)



[BI]

IBI GROUP
 8101 North High Street, Suite 100
 Columbus, OH 43235
 tel 614 818 4900
 fax 614 818 4901

REVISION:

SUBMISSION:
 05.24.2023 FINAL DEVELOPMENT PLAN

PRELIMINARY ENGINEERING SET
 AGENCY REVIEW SET
 CONSTRUCTION DOCUMENT SET
 AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE BUILDING
 EMERALD PARKWAY
 DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

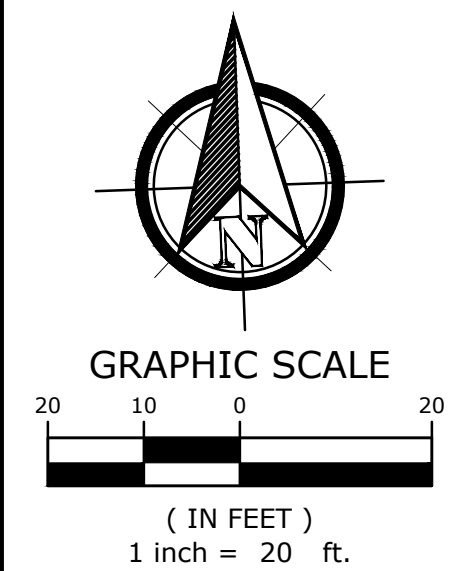
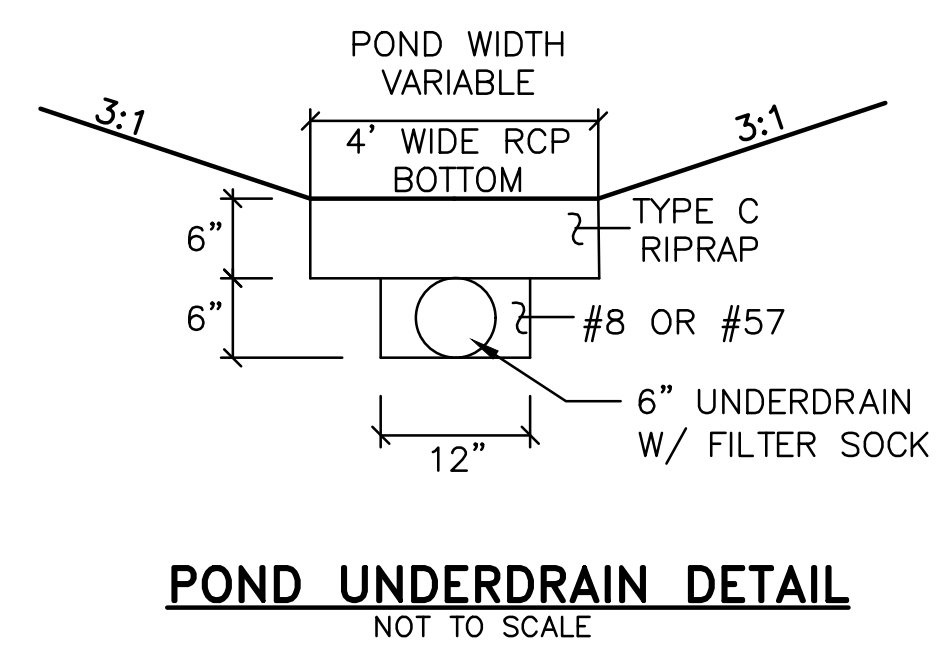
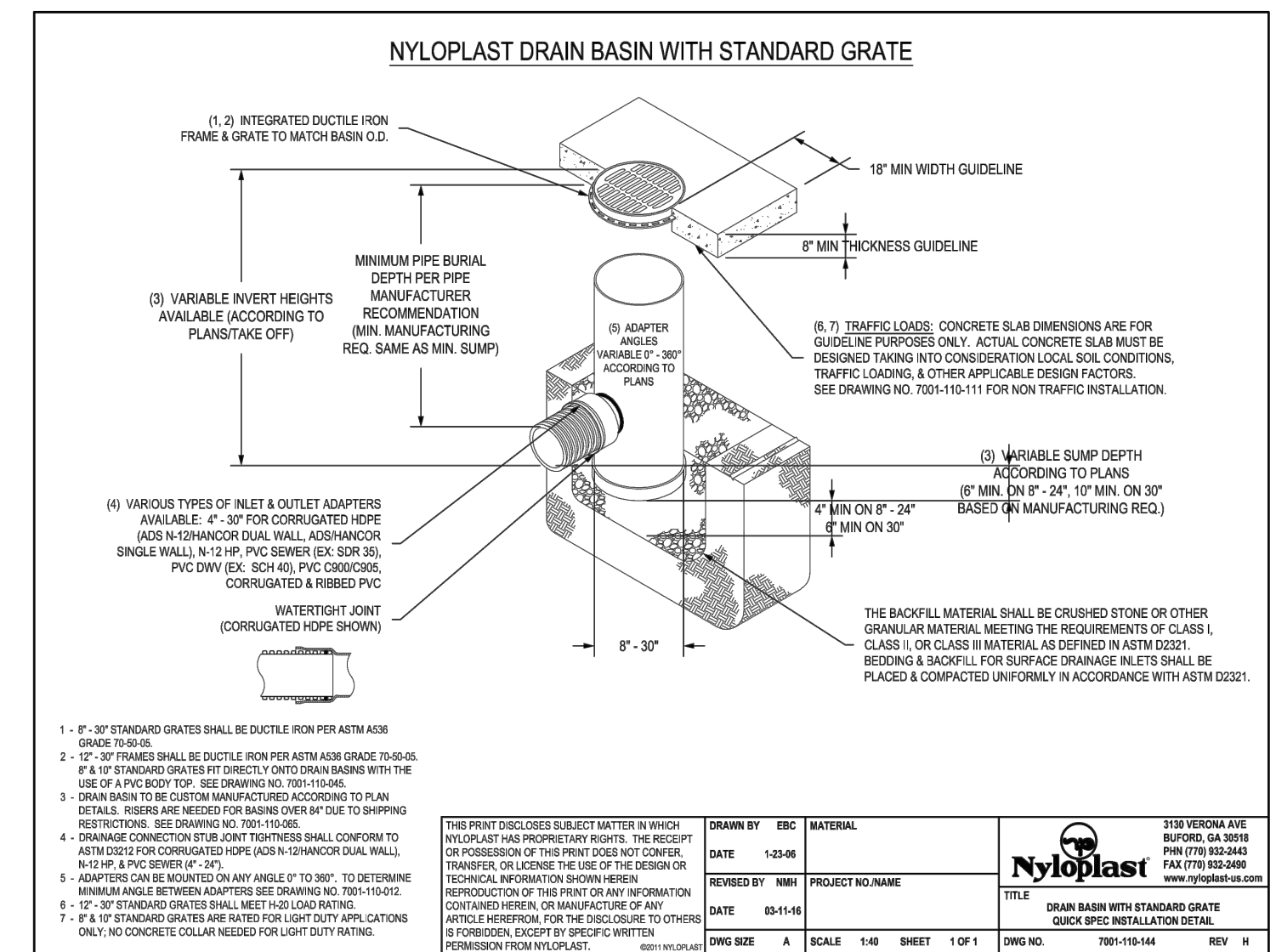
IBI NO.: 141124
 DATE: August 16, 2023
 SCALE:

SHEET TITLE:
STORM PROFILES

SHEET NO.: 9/14

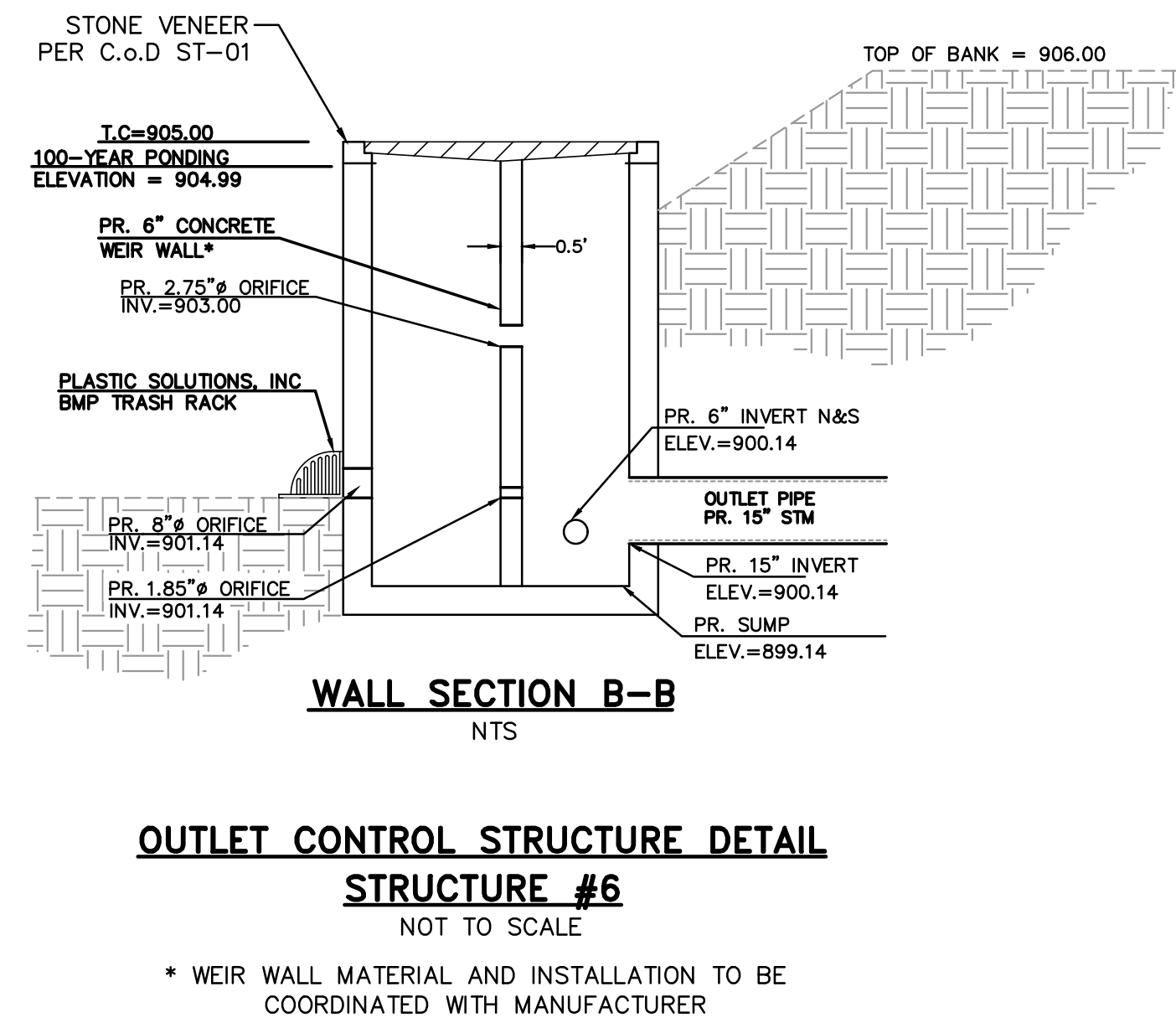
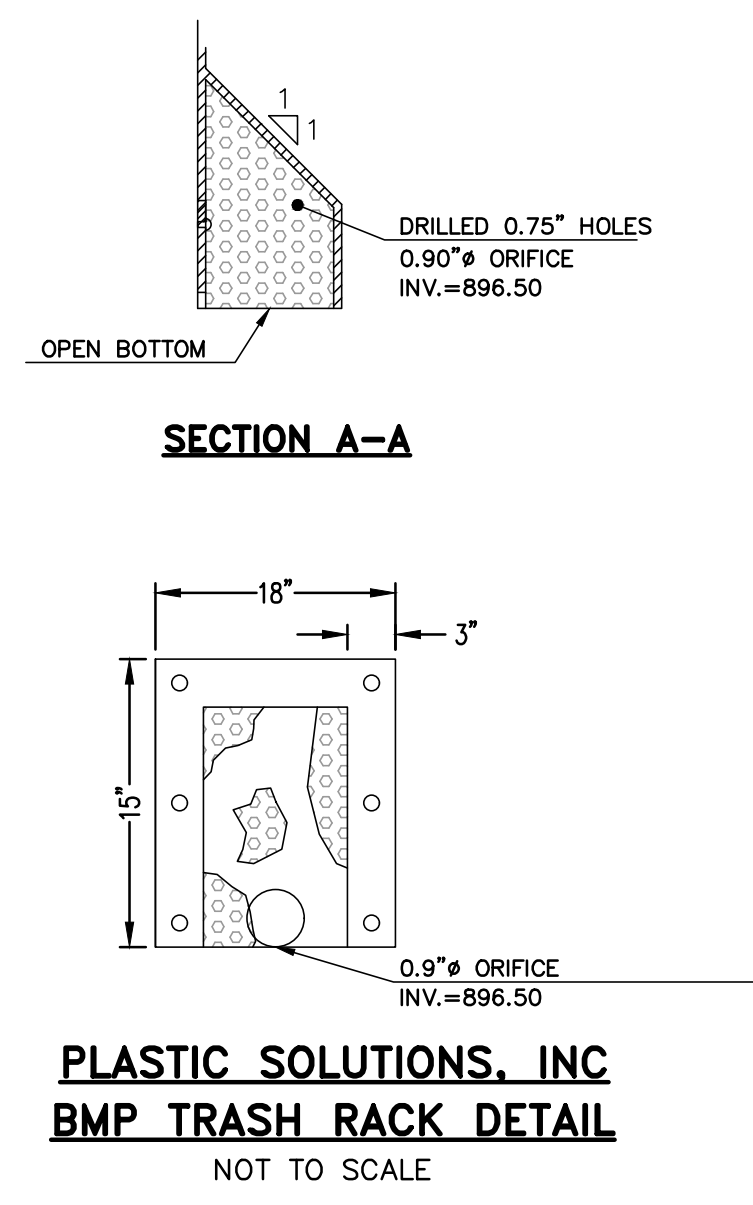
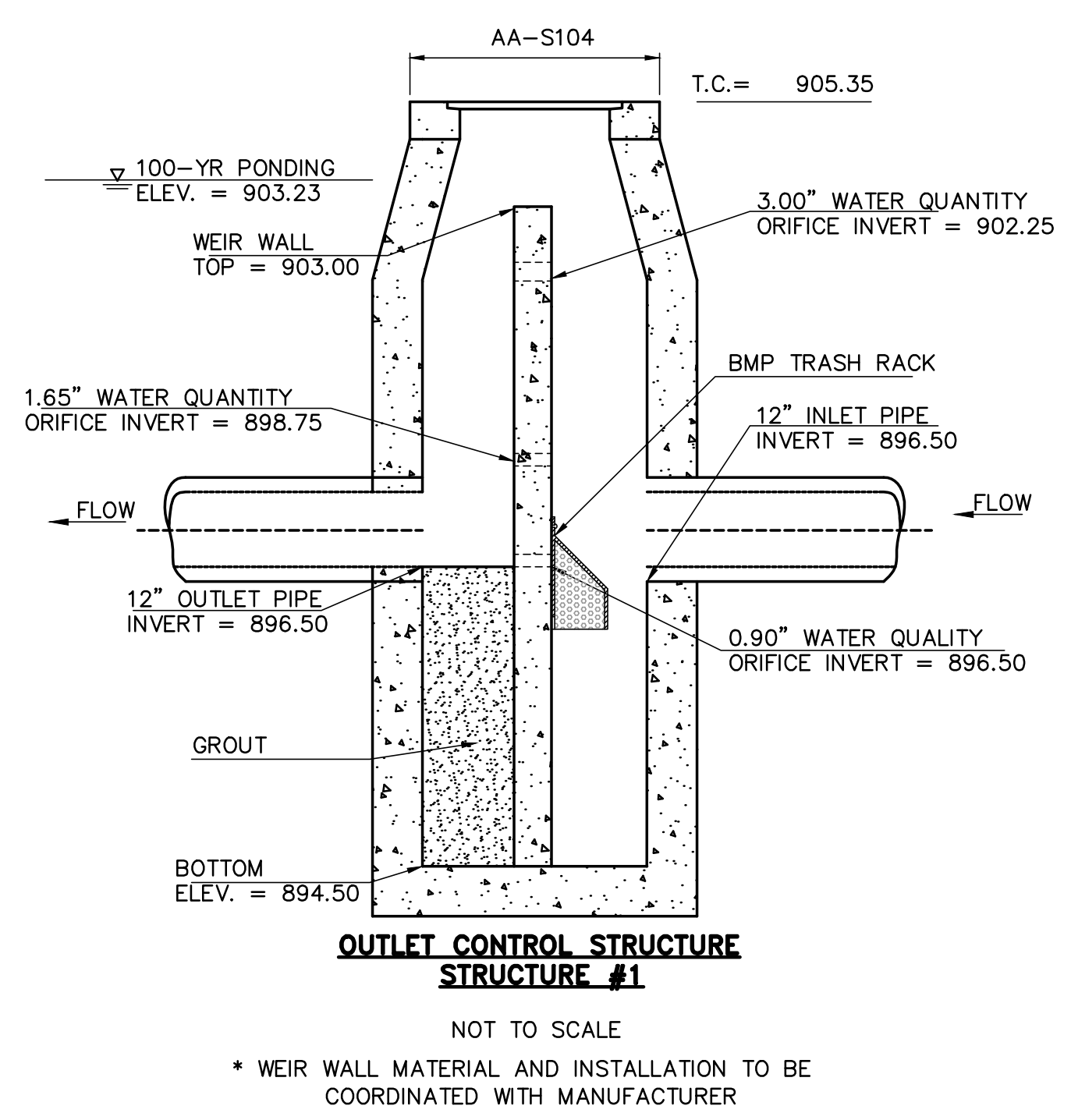
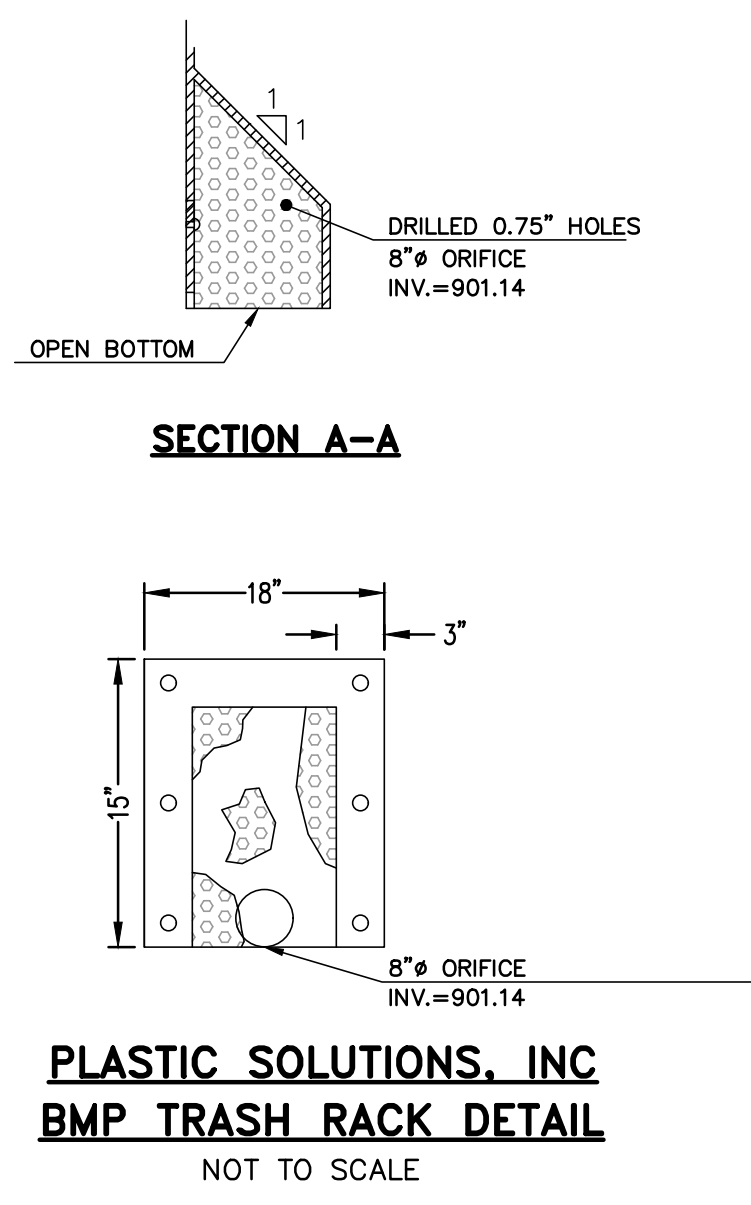
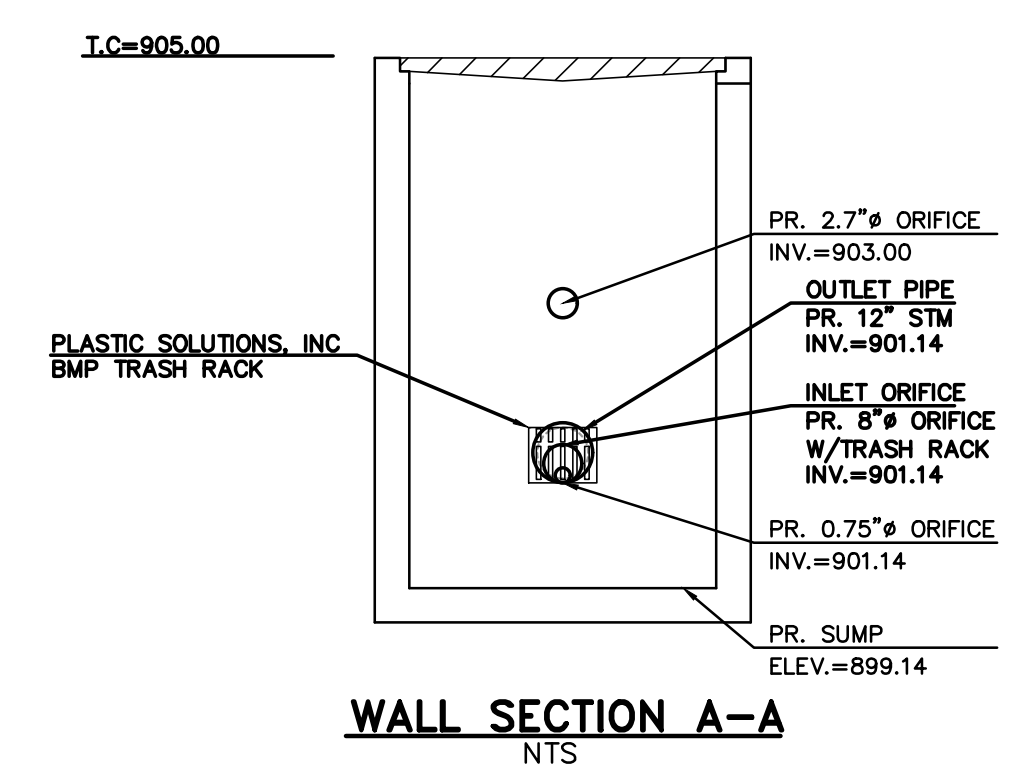
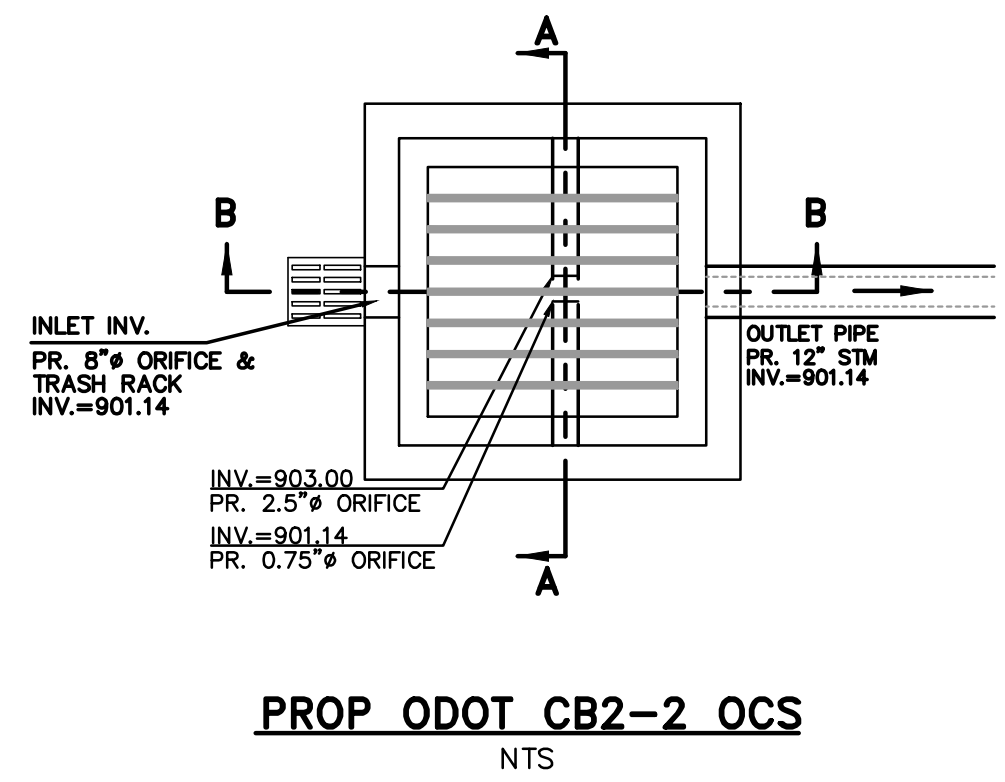
STORM STRUCTURE COORDINATE TABLE					
STRUCTURE	DESCRIPTION	DESIGN		AS-BUILT	
		NORTHING	EASTING	NORTHING	EASTING
1	OUTLET CONTROL STRUCTURE	760191.02	1788397.49		
2	CATCH BASIN AA-S133A	760148.80	1788395.78		
3	CATCH BASIN AA-S133A	760142.73	1788310.53		
4	MANHOLE AA-S102	760153.71	1788258.84		
5	CATCH BASIN AA-S133A	760144.48	1788182.25		
6	OUTLET CONTROL STRUCTURE	760151.18	1788138.48		
7	ODOT HEADWALL	760081.91	1788128.26		
8	CATCH BASIN AA-S133A	760037.40	1788154.25		
9	NYLOPLAST YARD DRAIN	759984.49	1788232.35		
10	NYLOPLAST YARD DRAIN	759982.99	1788273.56		
11	NYLOPLAST YARD DRAIN	759980.77	1788334.18		
12	CATCH BASIN AA-S133A	760176.81	1788379.60		
13	MANHOLE AA-S102	760130.56	1788395.28		
14	NYLOPLAST YARD DRAIN	760122.45	1788403.06		
15	NYLOPLAST YARD DRAIN	760066.30	1788402.71		

STORM SEWER TABLE			
RUN	BEARING	LENGTH	SIZE
EX-1	N88°32'48"W	38.6'	12"
1-ADS	S02°05'36"W	5.5'	12"
4-5	N83°07'53"E	77.1'	15"
5-6	N81°18'07"W	44.3'	15"
7-8	N30°16'53"W	51.5'	15"
8-9	N55°53'04"W	94.3'	12"
9-10	S87°54'24"E	41.2'	12"
10-11	N87°54'24"W	60.6'	12"
12-ADS	N30°00'25"W	32.3'	12"
13-14	S43°46'43"E	11.2'	12"
14-15	N00°20'56"E	56.2'	12"



[BI]

IBI GROUP
8101 North High Street, Suite 100
Columbus, OH 43235
tel 614 818 4900
fax 614 818 4901



REVISION:

SUBMISSION:
05.24.2023 FINAL DEVELOPMENT PLAN

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE
BUILDING
EMERALD PARKWAY
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124

DATE: August 16, 2023

SCALE:

SHEET TITLE:

STORM PROFILES

SHEET NO. 10/14