

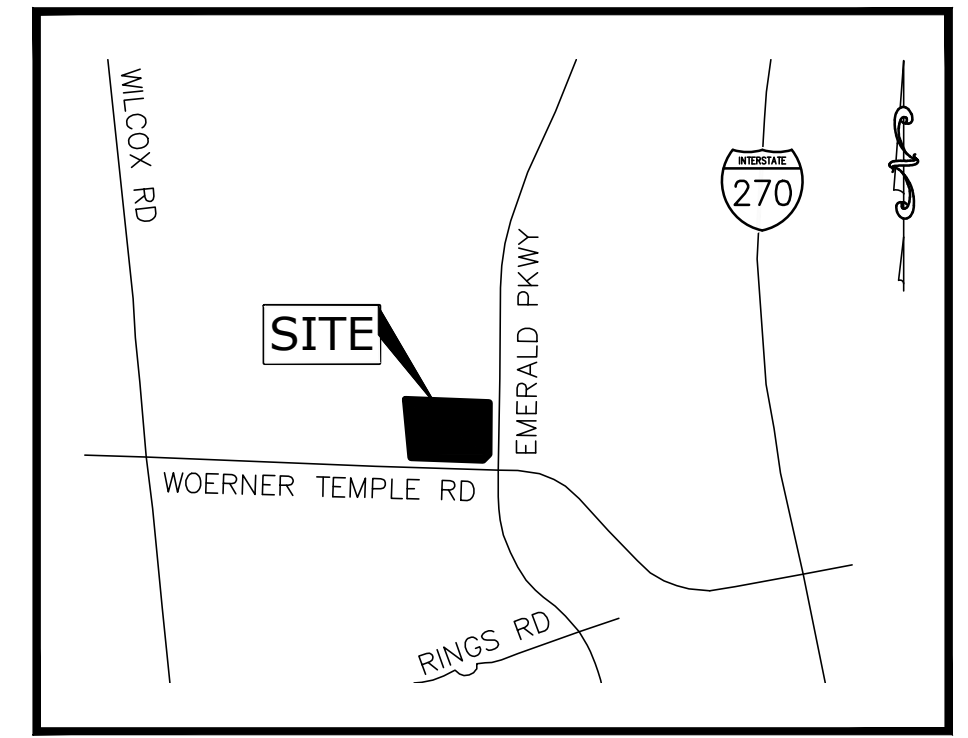
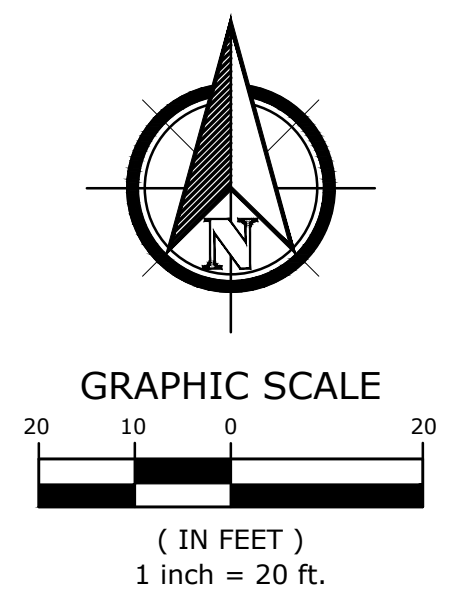
HEATHER GLEN
SECTION 2
PART No. 4
P.B. 78, PG. 26

OWNER: ANDREA L
TOD BURNS
0.32 ACRES
P.N.: 273-006656
ZONED: PLR

OWNER: THE ARK
CHURCH OF DUBLIN
7.210 ACRES
P.N.: 273-005392
ZONED: R-1

CAMDEN PROFESSIONAL
CONDOMINIUM 13TH AMENDMNT
C.P.B. 277, PG. 88

ZONED PCD
(SUBAREA B-2)



PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD
VMS 3011

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

SURVEYOR
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

- ALL UTILITIES SHOWN HEREON ARE EXISTING
- ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

LEGEND

	STORM SEWER INLET		SIGN
	WATERLINE		WATER VALVE
	SANITARY SEWER		SANITARY MANHOLE
	STORM SEWER		STORM SEWER MANHOLE
	FIRE HYDRANT		IRON PIN FOUND
	UTILITY BOX		TRAFFIC BOX
	LIGHT POLE		IRON PIN SET

NOTES

1. NO LAND IS BEING DEDICATED TO OR TEMPORARILY RESERVED FOR PUBLIC USE.
2. THIS PRELIMINARY PLAT, CONSISTING OF TWO LOTS, CONFORMING TO 152.018C1, PROVIDES FOR BUILDING SITES TO FACILITATE OFFICE DEVELOPMENT IN KEEPING WITH THE EXISTING PCD ZONING FOR THE THOMAS/KOHLER PROPERTY, JANUARY 2002, SUBAREA C. ONE BUILDING WILL BE CONSTRUCTED ON THE SOUTH LOT FOR OFFICE AND FITNESS FACILITY USES. NO USE OR BUILDING IS PROPOSED ON THE NORTH LOT AT THIS TIME.

BENCHMARKS

ELEVATIONS ESTABLISHED FROM GPS OBSERVATIONS AND BY AN OCTOBER 2022 FIELD SURVEY BY IBI GROUP

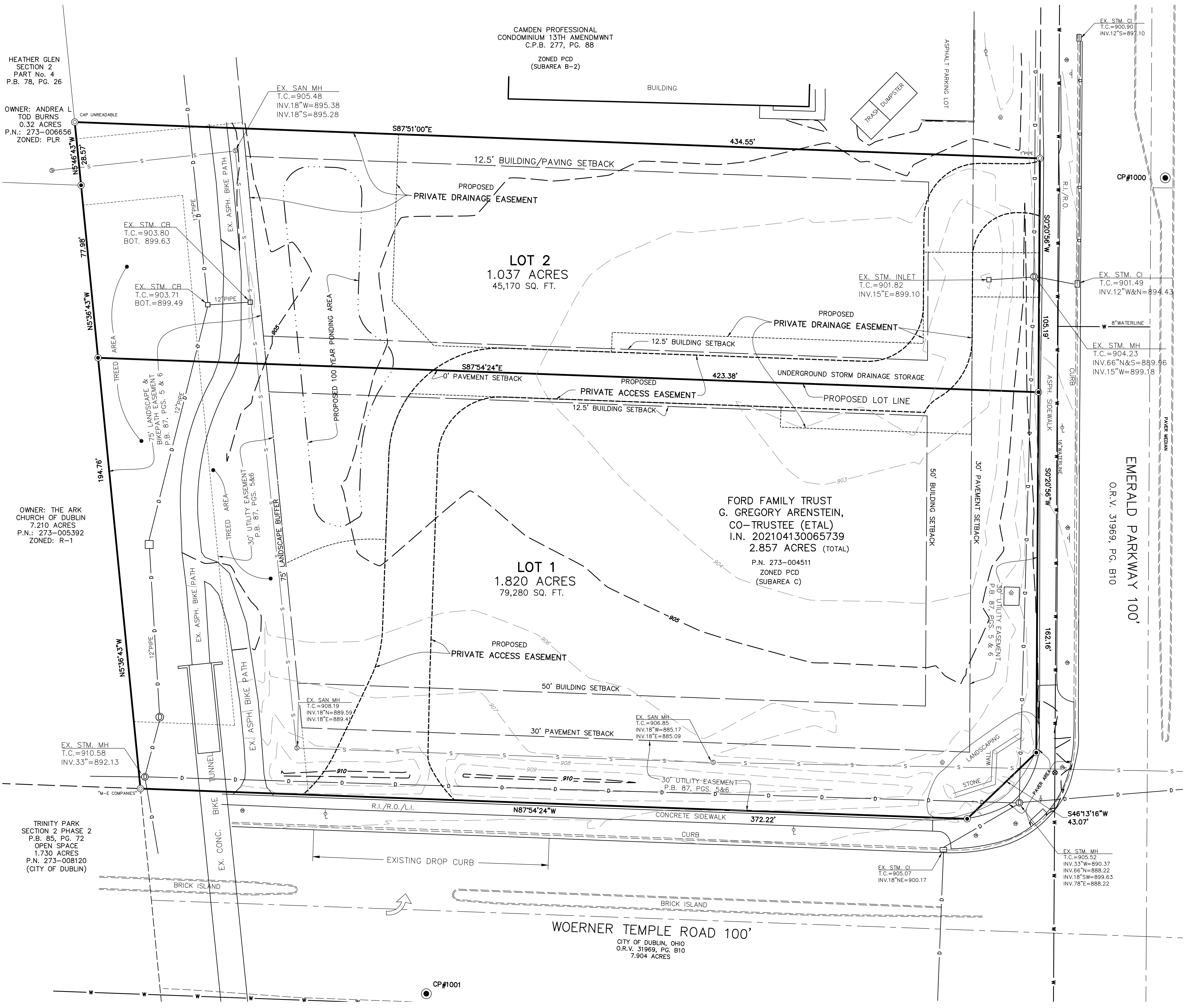
CP #1000 5/8" REBAR SET "IBI GROUP"
N=760234.481
E=1788495.207
ELEV.=902.54

CP #1001 5/8" REBAR SET "IBI GROUP"
N=759867.436
E=1788162.731
ELEV.=907.26



8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

DATE OF SUBMISSION: JULY 28, 2023



131159846_RR_TuttleCrossingSurveyPRELIMINARY PLAT.dwg by Eric Chenery on 07/28/2023 @ 12:14:53 pm - © IBI Group

§ 152.018 PRELIMINARY PLAT CONTENTS.

(A) This section is not applicable for PUD zoned areas.

(B) Preliminary plats shall include all of the following:

Yes (1) A vicinity map showing the general location of the subdivision.

Yes (2) The name under which the proposed subdivision is to be recorded and the names and addresses of the subdivider, the owners, and of the registered engineer or registered surveyor, platting the tract. The proposed name of the subdivision shall not duplicate the name of any other subdivision already in use in Franklin County.

Yes (3) The location of present property, section and Congressional Township Lines, U.S. Survey and lines of incorporated areas, streets, buildings, watercourses, sinkholes, tree masses and other similar existing features within the area to be subdivided and how these relate to the overall area.

Yes (4) The names and boundaries of all adjoining subdivisions and the names of the record owners of adjoining parcels of unsubdivided land.

Yes (5) The zoning district or districts that affect the property to be subdivided.

Yes (6) North point, scale and date.

Yes (7) Existing contours with intervals of five feet where the slope is greater than 10% and not more than one foot where the slope is less than 10%. Elevations shall be based upon sea level datum. The location of bench marks and their elevation, and all other monuments shall also be shown.

Yes (8) The proposed location, name and dimensions of streets, alleys, lots, building lines and easements and the approximate area of lots in square feet. Streets that are obviously in alignment with others already existing and named, shall bear the names of the existing streets. Street names shall not be duplicated within the county.

(9) The location, invert elevation, and size of existing sanitary storm sewers, water mains, culverts, street lights and other utilities and underground structures within the tract or immediately adjacent thereto. **Yes. However, invert elevations for two storm structures along west property line were not obtained due to dense underbrush and mature tree growth**

(10) Parcels of land intended to be dedicated to or temporarily reserved for public use, or reserved by deed covenant shall be clearly indicated and the conditions proposed for such covenants and for the dedications shall be shown on or attached to the preliminary plat.

See note # 1 on plat.

N/A (11) The subdivider may be required to continue certain adjoining streets through the area being subdivided when necessary to provide for legal vehicular movement or to enable adjoining property to be properly subdivided.

(C) The following information shall be supplied in addition to the requirements in division (B):

(1) Statement of proposed use of lots, giving type and number of dwelling units and type of business or industry, if known. **See note # 2 on plat.**

(2) Location and approximate dimensions of all existing buildings. **N/A**

(3) For commercial and industrial development, the location, dimensions and approximate grade of proposed parking and loading areas, alleys, pedestrian walks, streets and the points of vehicular ingress and egress to the development. **Provided on Final Development Plan**

(4) In a letter accompanying the request for approval of the preliminary plat, the subdivider shall state the type of sewage disposal he proposes to use if public facilities are not available. If other than a treatment plant, it shall be accompanied by a letter from the County Health Department and the Ohio Environmental Protection Agency stating what type of sewage disposal will be approved for the soil conditions encountered in the area of the proposed subdivision. At least one percolation test shall be made for each lot area being platted, and each test shall be located in close proximity to the proposed individual sewage disposal unit, be numbered and its location shown on the preliminary plat. All percolation tests shall be performed in accordance with the requirements of the County Board of Health. If a central plant is to be used it shall be accompanied by a letter from the Ohio Environmental Protection Agency stating what type of sewage disposal will be approved. **N/A**

(5) *Tree preservation plan.* In addition to all other required submissions called for hereinabove, the application for preliminary plat approval shall be accompanied by a tree preservation plan as more specifically described in § 153.144 of the Dublin Codified Ordinances. ('80 Code, § 1103.05) (Ord. 27-74, passed 5-6-74; Am. Ord. 81-79, passed 9-17-79; Am. Ord. 95-96, passed 10-5-98) Penalty, see § 152.999 **See Landscape Plans**

§ 152.019 MINIMUM DIMENSIONS.

(A) *Scope.* This section shall be applicable to PUD zoned areas only where specified.

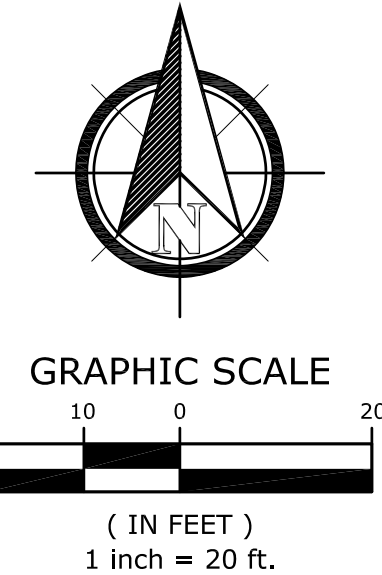
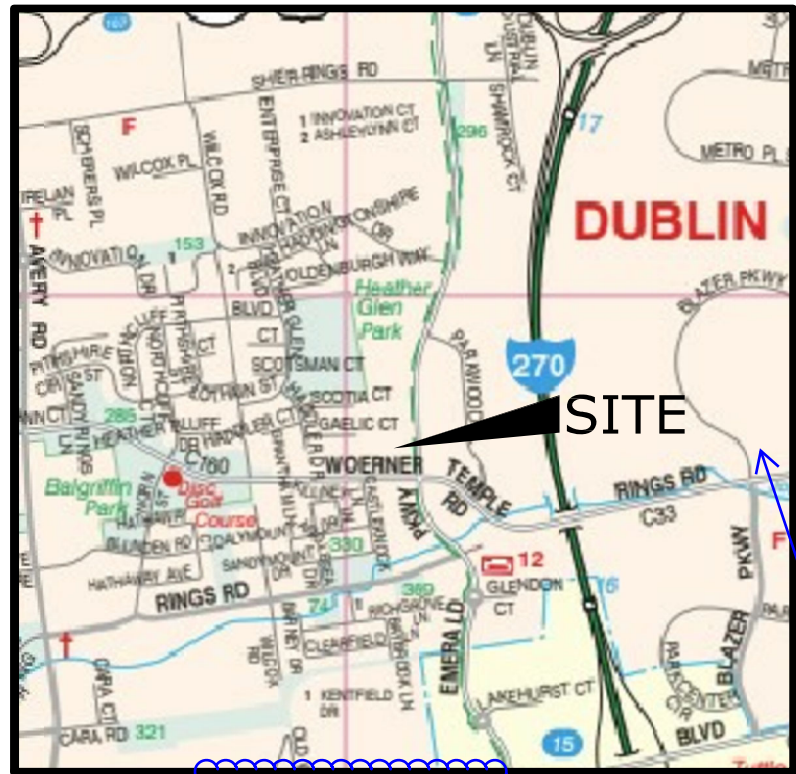
(B) *Streets.*

(1) The width of streets shall conform to the width designated on the thoroughfare plan and any subsequent amendments thereto.

(2) Streets shall have the following minimum right-of-way widths:

Boulevard	100 feet
Arterial	80 feet
Collector	60 feet
Local	60 feet
Cul-de-sac	60 feet
Minor	50 feet

Reviewed
04/03/2023
Christopher M. Tebbe, P.E.



LOCATION MAP
Vicinity Map

Avoid copied raster maps and use vector map (B&W or grayscale)

Response: Complied

PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

ENGINEER
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

Is this the intended name of the subdivision? The proposed name of the subdivision shall not duplicate the name of any other subdivision already in use in Franklin County.

Response: Yes, this is the name and is not a duplication.

- ALL UTILITIES SHOWN HEREON ARE EXISTING
- ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

LEGEND

	STORM SEWER INLET		SIGN
	WATERLINE		WATER VALVE
	SANITARY SEWER		SANITARY MANHOLE
	STORM SEWER		STORM SEWER MANHOLE
	FIRE HYDRANT		IRON PIN FOUND
	UTILITY BOX		TRAFFIC BOX
	LIGHT POLE		IRON PIN SET

Provide:
The location of present property, section and Congressional Township Lines, U.S. Survey

Response: Not applicable as this site is VMS. A reference to VMS 3011 has been added under the plat name.

The names of the record owners of adjoining parcels

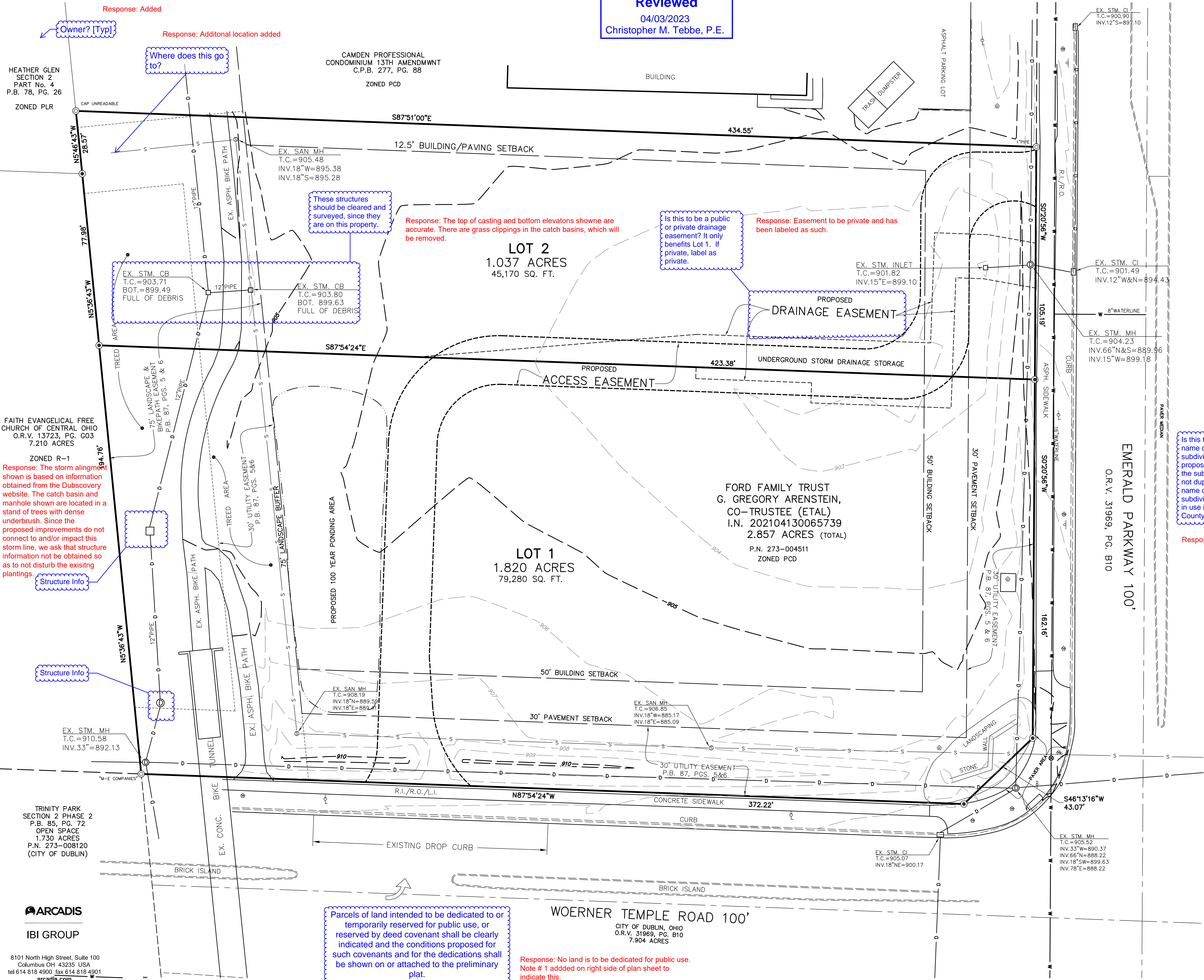
Response: Complied

Provide Date of this submission

Response: Date added in bottom right corner

Is there existing zoning/limitation text that should be included with this plat? If so, provide.

Response: No limitation text is proposed. Note # 2 was added to indicate the development is to keep with the PCD zoning text for the Thomas/Kohler property, January 2002, Subarea C.



These structures should be cleared and surveyed, since they are on this property.

Response: The top of casting and bottom elevations shown are accurate. There are grass clippings in the catch basins, which will be removed.

Is this to be a public or private drainage easement? It only benefits Lot 1. If private, label as private.

Response: Easement to be private and has been labeled as such.

Owner? [Typ]

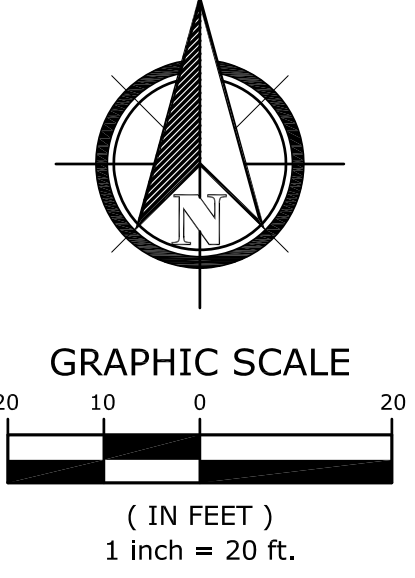
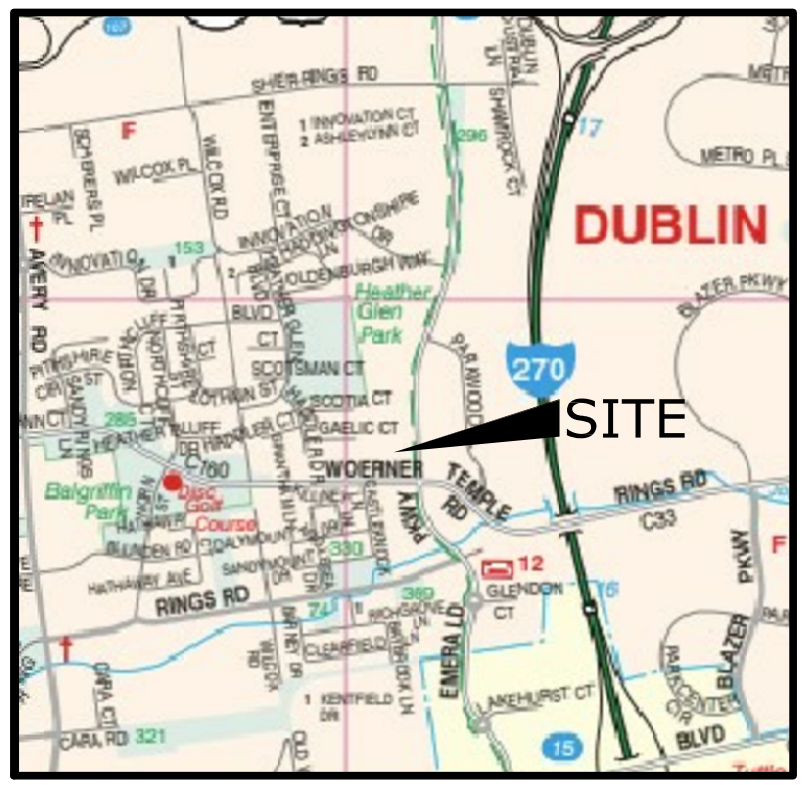
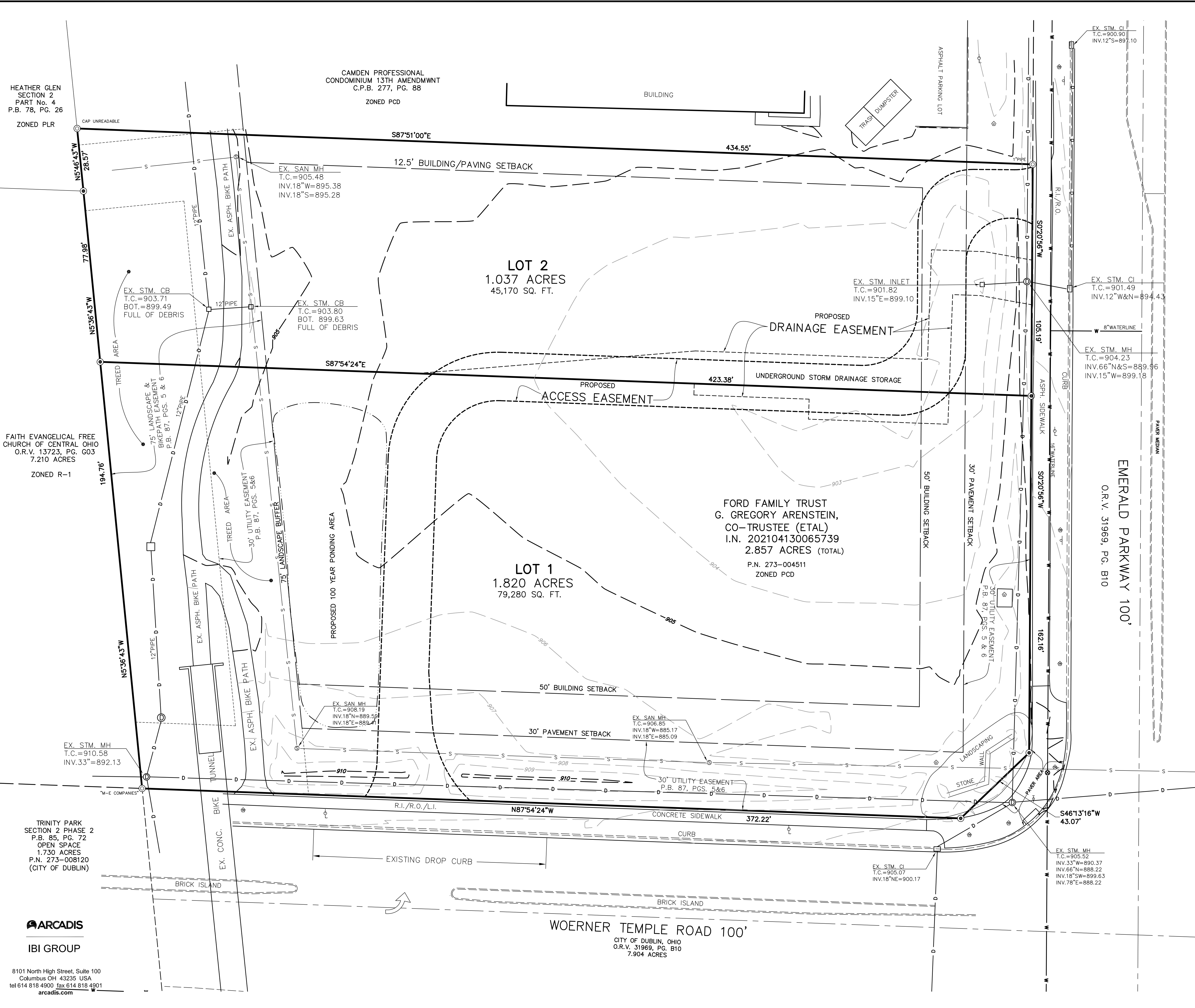
Response: Additional location added

Where does this go to?

Response: The storm alignment shown is based on information obtained from the Dubscopy website. The catch basin and manhole shown are located in a stand of trees with dense underbrush. Since the proposed improvements do not connect to and/or impact this storm line, we ask that structure information not be obtained so as to not disturb the existing plantings.

Parcels of land intended to be dedicated to or temporarily reserved for public use, or reserved by deed covenant shall be clearly indicated and the conditions proposed for such covenants and for the dedications shall be shown on or attached to the preliminary plat.

Response: No land is to be dedicated for public use. Note # 1 added on right side of plan sheet to indicate this.



PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

ENGINEER
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

- ALL UTILITIES SHOWN HEREON ARE EXISTING
- ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

This Preliminary Plat, consisting of two lots, provides for building sites to facilitate office development in keeping with the existing PCD zoning for the Thomas/Kohler Property, January 2002.

LEGEND

- | | | | |
|-------|-------------------|---|---------------------|
| □ □ | STORM SEWER INLET | — | SIGN |
| — w — | WATERLINE | ⊗ | WATER VALVE |
| — s — | SANITARY SEWER | ⊙ | SANITARY MANHOLE |
| — d — | STORM SEWER | ⊚ | STORM SEWER MANHOLE |
| ⊕ | FIRE HYDRANT | ⊙ | IRON PIN FOUND |
| ⊞ | UTILITY BOX | ⊞ | TRAFFIC BOX |
| ⊙ | LIGHT POLE | ⊙ | IRON PIN SET |

Add to existing statement: Provide statement conforming to 152.018C1 - Statement of proposed use of lots, giving type and number of dwelling units and type of business or industry, if known.

Response: Statement added. Note that this statement is included in note # 2.

HEATHER GLEN SECTION 2 PART No. 4 P.B. 78, PG. 26 ZONED PLR

CAMDEN PROFESSIONAL CONDOMINIUM 13TH AMENDMNT C.P.B. 277, PG. 88 ZONED PCD

FAITH EVANGELICAL FREE CHURCH OF CENTRAL OHIO O.R.V. 13723, PG. 603 7.210 ACRES ZONED R-1

LOT 2
1.037 ACRES
45,170 SQ. FT.

LOT 1
1.820 ACRES
79,280 SQ. FT.

FORD FAMILY TRUST
G. GREGORY ARENSTEIN,
CO-TRUSTEE (ETAL)
I.N. 202104130065739
2.857 ACRES (TOTAL)
P.N. 273-004511
ZONED PCD

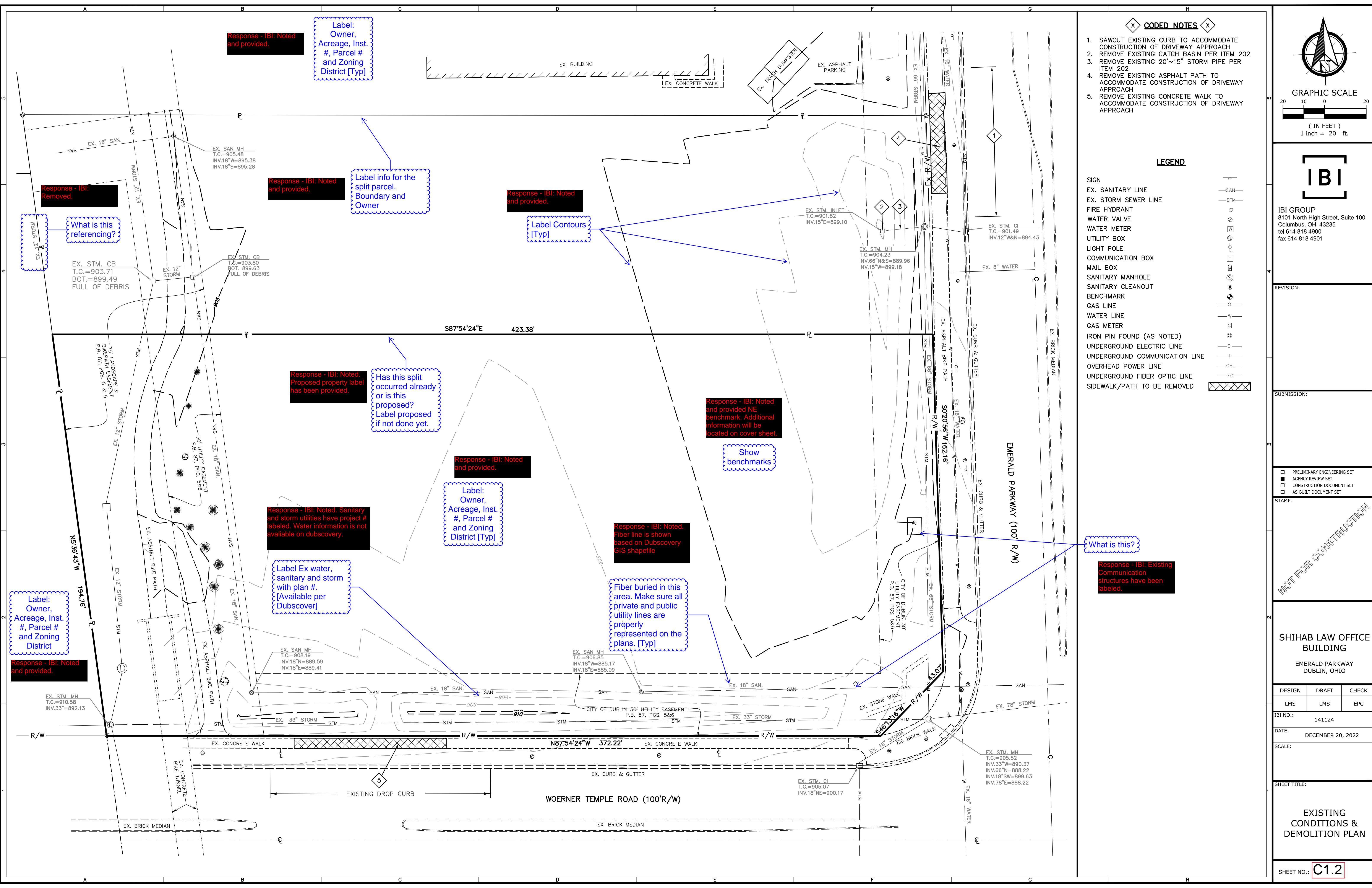
TRINITY PARK SECTION 2 PHASE 2 P.B. 65, PG. 72 OPEN SPACE 1.730 ACRES P.N. 273-008120 (CITY OF DUBLIN)

ARCADIS
IBI GROUP

8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

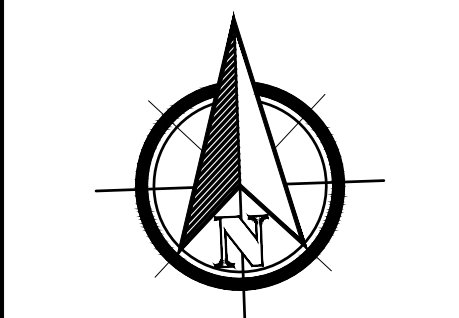
WOERNER TEMPLE ROAD 100'
CITY OF DUBLIN, OHIO
O.R.V. 31969, PG. B10
7.904 ACRES

EMERALD PARKWAY 100'
O.R.V. 31969, PG. B10

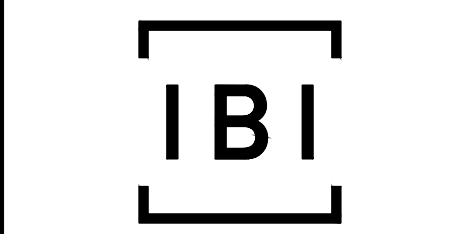


CODED NOTES

1. SAWCUT EXISTING CURB TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
2. REMOVE EXISTING CATCH BASIN PER ITEM 202
3. REMOVE EXISTING 20"~15" STORM PIPE PER ITEM 202
4. REMOVE EXISTING ASPHALT PATH TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
5. REMOVE EXISTING CONCRETE WALK TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



IBI GROUP
8101 North High Street, Suite 100
Columbus, OH 43235
tel 614 818 4900
fax 614 818 4901

LEGEND

- SIGN
- EX. SANITARY LINE
- EX. STORM SEWER LINE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- UTILITY BOX
- LIGHT POLE
- COMMUNICATION BOX
- MAIL BOX
- SANITARY MANHOLE
- SANITARY CLEANOUT
- BENCHMARK
- GAS LINE
- WATER LINE
- GAS METER
- IRON PIN FOUND (AS NOTED)
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND COMMUNICATION LINE
- OVERHEAD POWER LINE
- UNDERGROUND FIBER OPTIC LINE
- SIDEWALK/PATH TO BE REMOVED

REVISION:

SUBMISSION:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE BUILDING
EMERALD PARKWAY
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124

DATE: DECEMBER 20, 2022

SCALE:

SHEET TITLE:

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NO.: **C1.2**

Label:
Owner,
Acreage, Inst
#, Parcel #
and Zoning
District [Typ]

Response - IBI. Noted
and provided.

Response - IBI. Noted
and provided.

Label info for the
split parcel.
Boundary and
Owner

Response - IBI. Noted
and provided.

Label Contours
[Typ]

Response - IBI. Noted.
Proposed property label
has been provided.

Has this split
occurred already
or is this
proposed?
Label proposed
if not done yet.

Response - IBI. Noted
and provided.

Label:
Owner,
Acreage, Inst
#, Parcel #
and Zoning
District [Typ]

Response - IBI. Noted. Sanitary
and storm utilities have project #
labeled. Water information is not
available on dubscovery.

Label Ex water,
sanitary and storm
with plan #.
[Available per
Dubscovery]

Response - IBI. Noted.
Fiber line is shown
based on Dubscovery
GIS shapefile

Fiber buried in this
area. Make sure all
private and public
utility lines are
properly
represented on the
plans. [Typ]

Response - IBI. Noted
and provided. NE
benchmark. Additional
information will be
located on cover sheet.

Show
benchmarks

What is this?

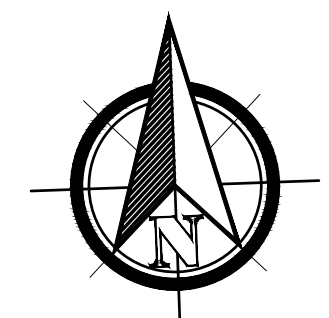
Response - IBI. Existing
Communication
structures have been
labeled.

Response - IBI. Noted
and provided.

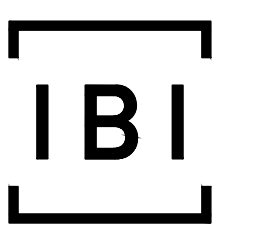
What is this
referencing?

Label:
Owner,
Acreage, Inst
#, Parcel #
and Zoning
District

Response - IBI. Noted
and provided.



GRAPHIC SCALE
 20 10 0 10 20
 (IN FEET)
 1 inch = 20 ft.



IBI GROUP
 8101 North High Street, Suite 100
 Columbus, OH 43235
 tel 614 818 4900
 fax 614 818 4901

REVISION:

SUBMISSION:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE
 BUILDING
 EMERALD PARKWAY
 DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124

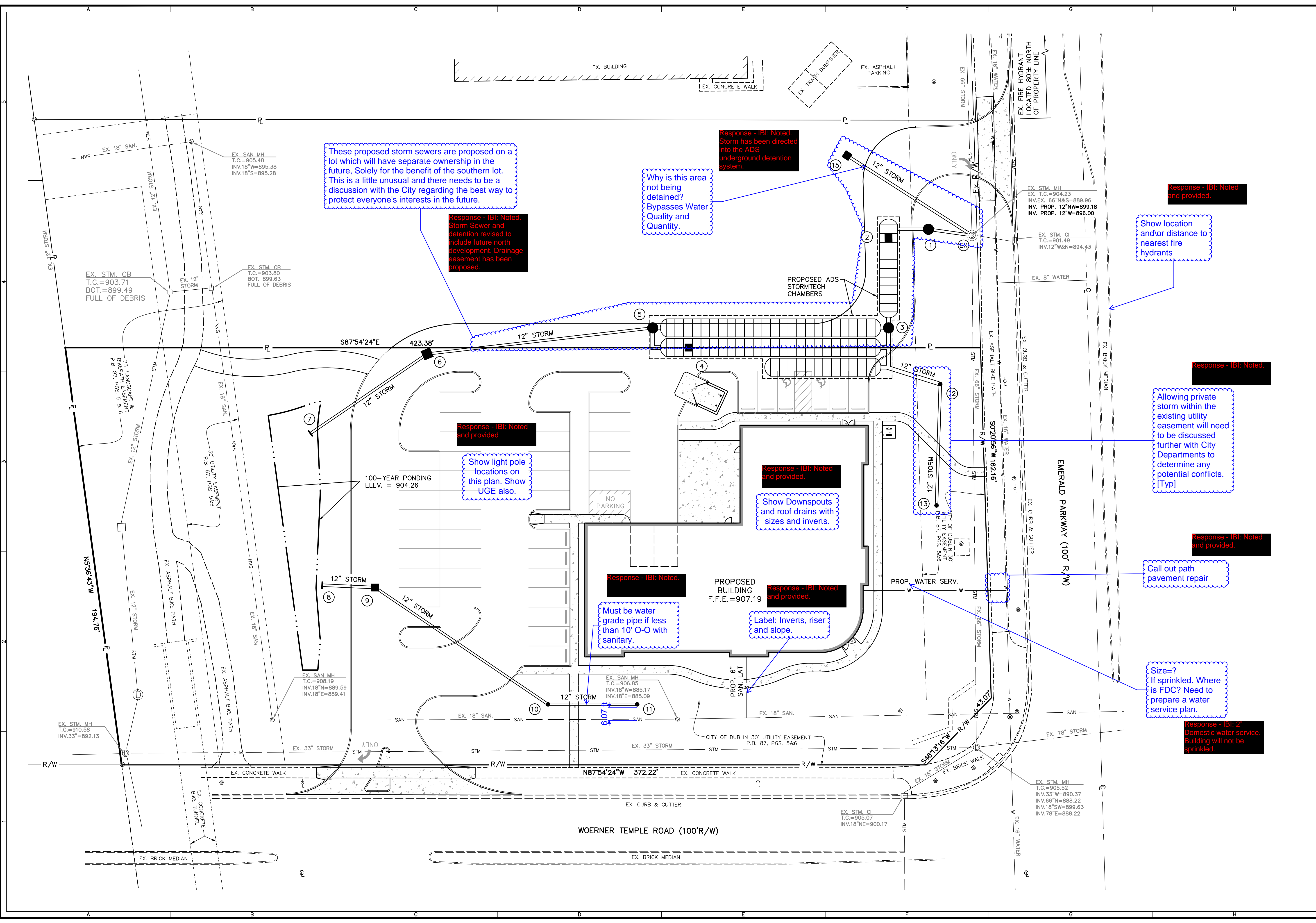
DATE: DECEMBER 20, 2022

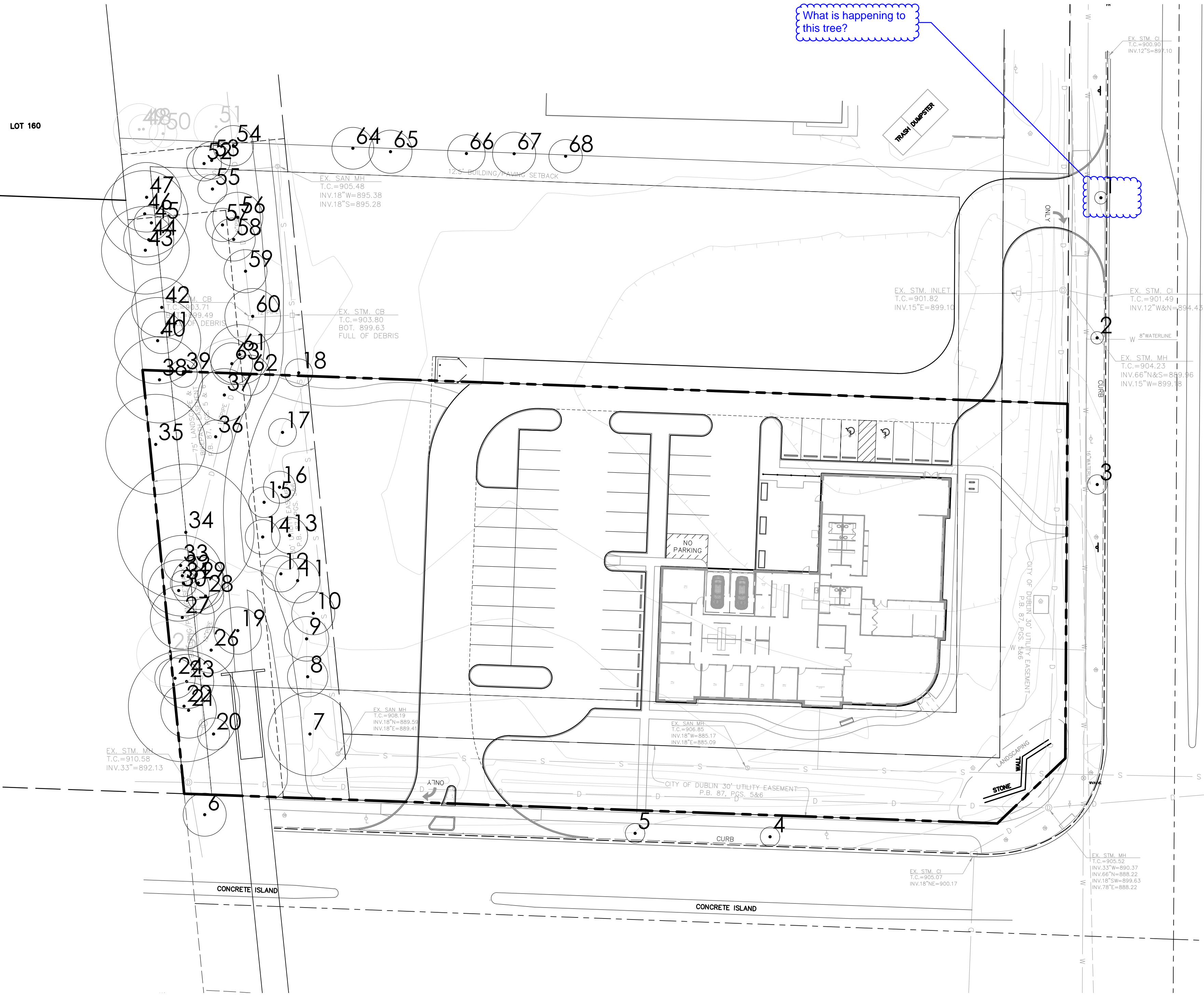
SCALE:

SHEET TITLE:

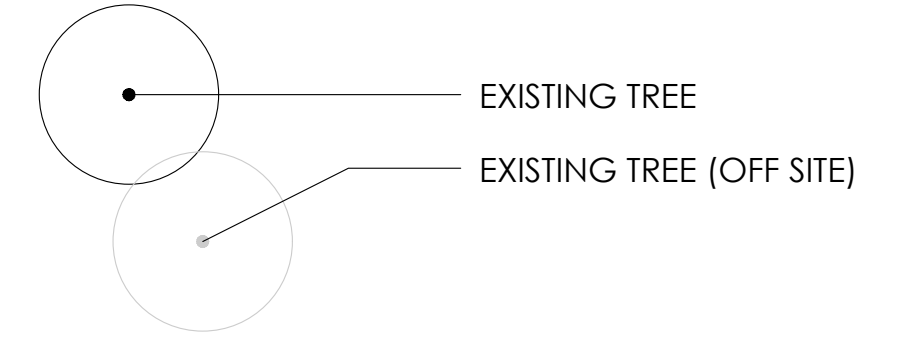
SITE UTILITY PLAN

SHEET NO.: **C1.4**





TREE SURVEY KEY



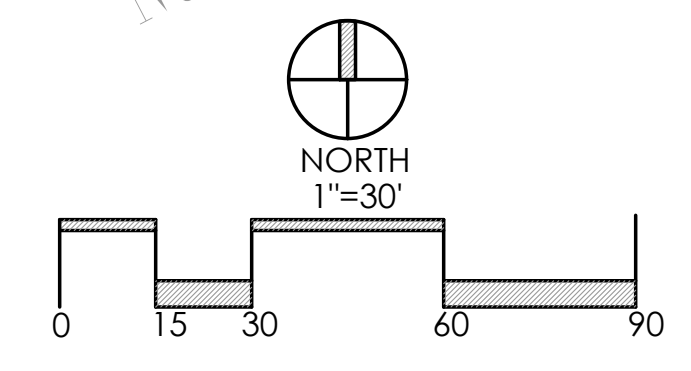
Please provide more information of underlined items.

Per 153.144
 The tree preservation plan shall specify the following:
 (1) Tree preservation area and building activity area on the parcel of land;
 (2) Tree survey to be drawn to a suitable scale, not to exceed 1" = 50 feet, showing all existing trees on the site with a six-inch diameter breast height or greater. The tree survey shall indicate the location, species, the condition, and the outline of the critical root zone or 15 feet whichever is greater;
 (3) The location of all protective fencing;
 (4) Location of all utility lines;
 (5) Site grading;
 (6) Specified locations for ingress, egress, operation and parking of all construction vehicles and equipment, and storage of solvents, hazardous materials, and soil and material stockpiles;
 (7) Specified locations for all clearing, grubbing, grading and excavation;
 (8) Other measures such as construction pruning and root pruning of trees directly impacted by construction must also be indicated on the plan or on an accompanying sheet and approved by the city. Pruning shall be performed in accordance with International Society of Arboriculture Standards; and
 (9) Short term and long term maintenance plans.

TREE #	SIZE	SPECIES	CONDITION	STATUS
1	3	KENTUCKY COFFEE TREE	GOOD	STREET TREE
2	3	KENTUCKY COFFEE TREE	GOOD	STREET TREE
3	4	SYCAMORE	GOOD	STREET TREE
4	4	KENTUCKY COFFEE TREE	GOOD	STREET TREE
5	4	KENTUCKY COFFEE TREE	GOOD	STREET TREE
6	10	ELM	GOOD	STREET TREE
7	19	MULBERRY	FAIR	PRESERVE
8	9	SPRUCE	FAIR	PRESERVE
9	10	SPRUCE	FAIR	PRESERVE
10	10	SPRUCE	FAIR	PRESERVE
11	10	SPRUCE	FAIR	PRESERVE
12	8	SPRUCE	FAIR	PRESERVE
13	8	SPRUCE	FAIR	PRESERVE
14	8	SPRUCE	FAIR	PRESERVE
15	7	SPRUCE	FAIR	PRESERVE
16	7	PEAR	GOOD	PRESERVE
17	6	SPRUCE	FAIR	PRESERVE
18	6	SPRUCE	FAIR	PRESERVE
19	11	SPRUCE	GOOD	PRESERVE
20	7	CHERRY	POOR	PRESERVE
21	13	HACKBERRY	GOOD	PRESERVE
22	25	OAK	GOOD	PRESERVE
23	12	HACKBERRY	GOOD	PRESERVE
24	9	OAK	GOOD	PRESERVE
25	15	ELM	GOOD	OFF SITE
26	11	PINE	DEAD	PRESERVE
27	15	WALNUT	GOOD	PRESERVE
28	8	SPRUCE	GOOD	PRESERVE
29	12	MULBERRY	GOOD	PRESERVE
30	14	WALNUT	GOOD	PRESERVE
31	6	HACKBERRY	GOOD	PRESERVE
32	18	WALNUT	GOOD	PRESERVE
33	8	HACKBERRY	GOOD	PRESERVE
34	31	WALNUT	GOOD	PRESERVE
35	23	WALNUT	GOOD	PRESERVE
36	8	SPRUCE	DEAD	PRESERVE
37	12	SPRUCE	POOR	PRESERVE
38	20	WALNUT	GOOD	PRESERVE
39	6	HACKBERRY	GOOD	PRESERVE
40	20	WALNUT	GOOD	PRESERVE
41	10	WALNUT	GOOD	PRESERVE
42	14	WALNUT	GOOD	PRESERVE
43	20	WALNUT	GOOD	PRESERVE
44	11	WALNUT	GOOD	PRESERVE
45	8	HACKBERRY	GOOD	PRESERVE
46	20	HACKBERRY	GOOD	PRESERVE
47	16	WALNUT	GOOD	PRESERVE
48	7	HACKBERRY	GOOD	OFF SITE
49	12	HICKORY	GOOD	OFF SITE
50	6	WALNUT	GOOD	OFF SITE
51	10	SPRUCE	FAIR	OFF SITE
52	8	SPRUCE	FAIR	PRESERVE
53	9	SPRUCE	FAIR	PRESERVE
54	9	SPRUCE	FAIR	PRESERVE
55	7	SPRUCE	FAIR	PRESERVE
56	11	SERVICEBERRY	GOOD	PRESERVE
57	8	SPRUCE	FAIR	PRESERVE
58	10	SPRUCE	FAIR	PRESERVE
59	10	SPRUCE	FAIR	PRESERVE
60	13	SERVICEBERRY	GOOD	PRESERVE
61	14	SPRUCE	FAIR	PRESERVE
62	9	MULBERRY	GOOD	PRESERVE
63	10	SPRUCE	POOR	PRESERVE
64	10	LOCUST	GOOD	PRESERVE
65	10	LOCUST	GOOD	PRESERVE
66	9	LOCUST	GOOD	PRESERVE
67	10	LOCUST	GOOD	PRESERVE
68	8	SPRUCE	GOOD	PRESERVE

REPLACEMENT CALCULATIONS		
TREES REMOVED*	INCHES REMOVED	REPLACEMENT INCHES REQ'D
Major Trees (replace 1" per 1" removed)	0	0
Subtotal Replacement Inches Required 0		
**6" CALIPER AND ABOVE ARE INCLUDED. POOR OR DEAD TREES ARE NOT INCLUDED		

**PRELIMINARY
NOT FOR CONSTRUCTION**



REVISIONS	

**TREE SURVEY
(EXISTING CONDITIONS)**

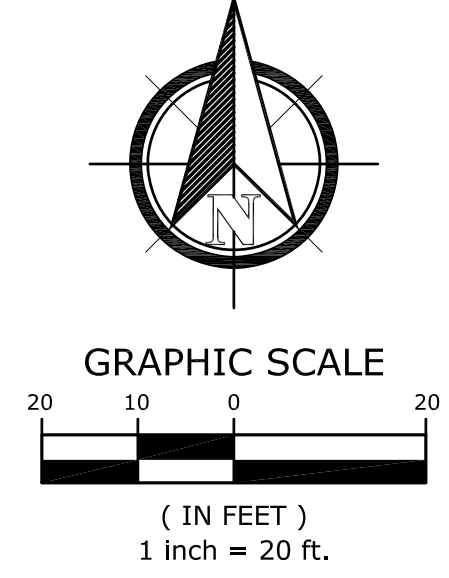
WOERNER-TEMPLE ROAD
 PREPARED FOR
SHIHAB & ASSOCIATES, CO., LPA
 65 E. STATE STREET, SUITE 1550
 COLUMBUS, OH 43215

Faris Planning & Design
 LAND PLANNING • LANDSCAPE ARCHITECTURE
 4876 Cemetery Road
 P. 614.467.7194
 Hilliard, OH 43026
 www.farisplanninganddesign.com

DATE	11/21/22
PROJECT	22162
SHEET	

L-4

Reviewed
04/03/2023
Christopher M. Tebbe, P.E.



LOCATION MAP
Vicinity Map

Response: Complied

PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

ENGINEER
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

Is this the intended name of the subdivision? The proposed name of the subdivision shall not duplicate the name of any other subdivision already in use in Franklin County.

- Response: Yes, this is the name and is not a duplication.
- ALL UTILITIES SHOWN HEREON ARE EXISTING
 - ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

LEGEND

	STORM SEWER INLET		SIGN
	WATERLINE		WATER VALVE
	SANITARY SEWER		SANITARY MANHOLE
	STORM SEWER		STORM SEWER MANHOLE
	FIRE HYDRANT		IRON PIN FOUND
	UTILITY BOX		TRAFFIC BOX
	LIGHT POLE		IRON PIN SET

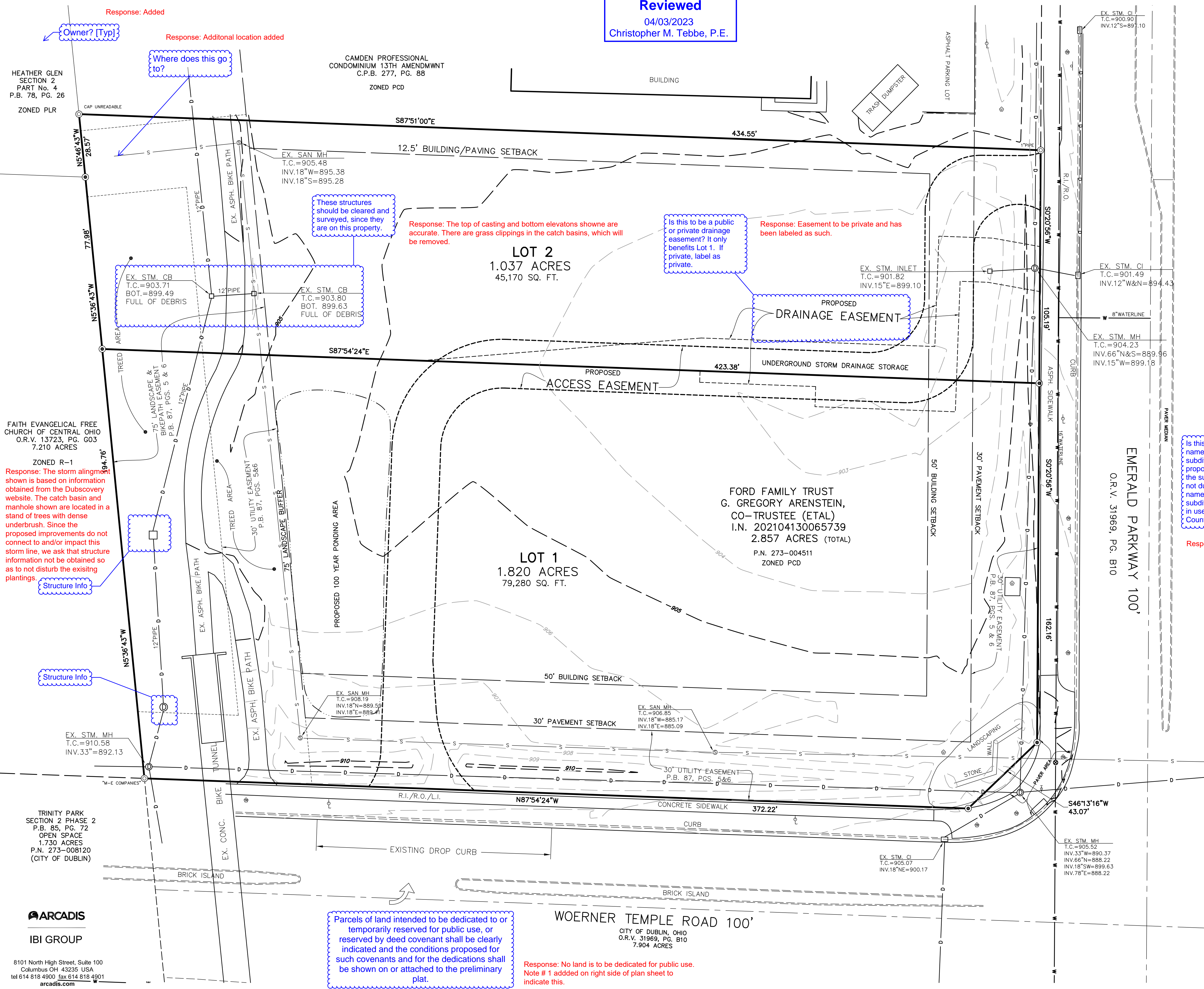
Provide:
The location of present property, section and Congressional Township Lines, U.S. Survey
The names of the record owners of adjoining parcels
Provide Date of this submission
Is there existing zoning/limitation text that should be included with this plat? If so, provide.

Response: Not applicable as this site is VMS. A reference to VMS 3011 has been added under the plat name.

Response: Complied

Response: Date added in bottom right corner

Response: No limitation text is proposed. Note # 2 was added to indicate the development is to keep with the PCD zoning text for the Thomas/Kohler property, January 2002, Subarea C.



Parcels of land intended to be dedicated to or temporarily reserved for public use, or reserved by deed covenant shall be clearly indicated and the conditions proposed for such covenants and for the dedications shall be shown on or attached to the preliminary plat.

Response: No land is to be dedicated for public use. Note # 1 added on right side of plan sheet to indicate this.

Response: Added
Owner? [Typ]

Response: Additional location added
Where does this go to?

These structures should be cleared and surveyed, since they are on this property.

Response: The top of casting and bottom elevations shown are accurate. There are grass clippings in the catch basins, which will be removed.

Is this to be a public or private drainage easement? It only benefits Lot 1. If private, label as private.

Response: Easement to be private and has been labeled as such.

FAITH EVANGELICAL FREE CHURCH OF CENTRAL OHIO
O.R.V. 13723, PG. G03
7.210 ACRES
ZONED R-1

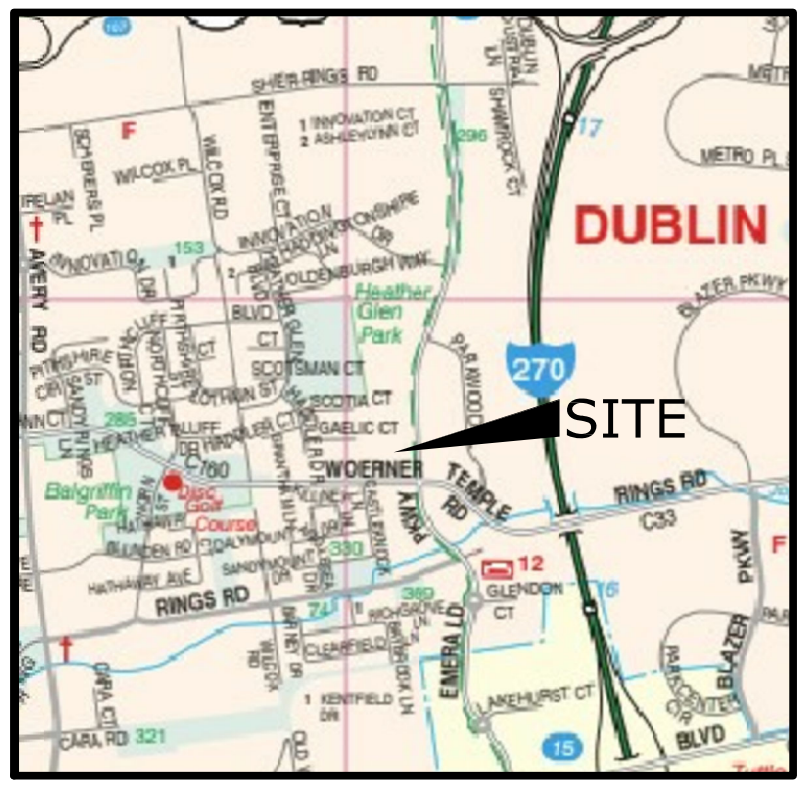
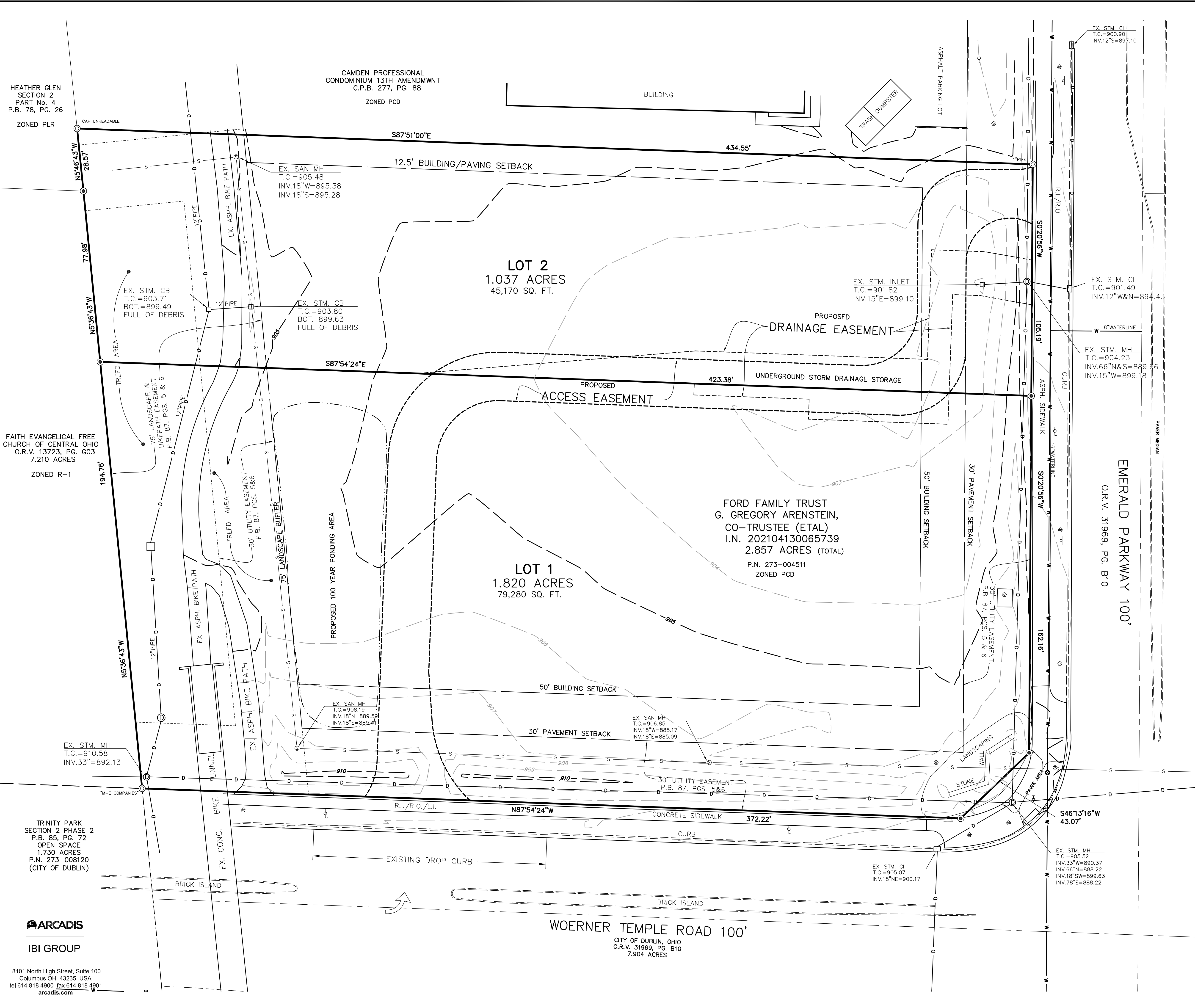
Response: The storm alignment shown is based on information obtained from the Dubscopy website. The catch basin and manhole shown are located in a stand of trees with dense underbrush. Since the proposed improvements do not connect to and/or impact this storm line, we ask that structure information not be obtained so as to not disturb the existing plantings.

Structure Info

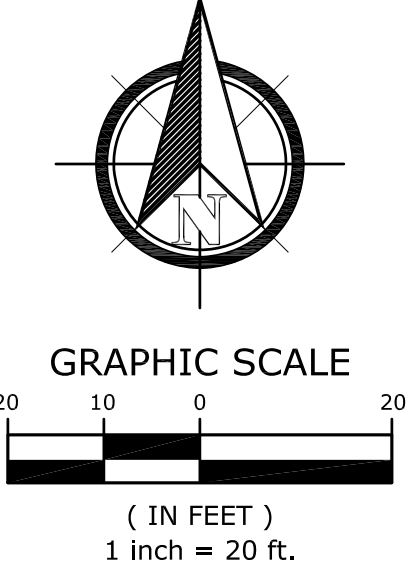
Structure Info

TRINITY PARK SECTION 2 PHASE 2
P.B. 85, PG. 72
OPEN SPACE
1.730 ACRES
P.N. 273-008120
(CITY OF DUBLIN)

ARCADIS
IBI GROUP
8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com



LOCATION MAP



PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

ENGINEER
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

- ALL UTILITIES SHOWN HEREON ARE EXISTING
- ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

This Preliminary Plat, consisting of two lots, provides for building sites to facilitate office development in keeping with the existing PCD zoning for the Thomas/Kohler Property, January 2002.

LEGEND

- | | | | |
|-------|-------------------|---|---------------------|
| □ □ | STORM SEWER INLET | — | SIGN |
| — w — | WATERLINE | ⊗ | WATER VALVE |
| — s — | SANITARY SEWER | ⊙ | SANITARY MANHOLE |
| — d — | STORM SEWER | ⊕ | STORM SEWER MANHOLE |
| ⊕ | FIRE HYDRANT | ⊙ | IRON PIN FOUND |
| ⊕ | UTILITY BOX | ⊕ | TRAFFIC BOX |
| ⊕ | LIGHT POLE | ⊕ | IRON PIN SET |

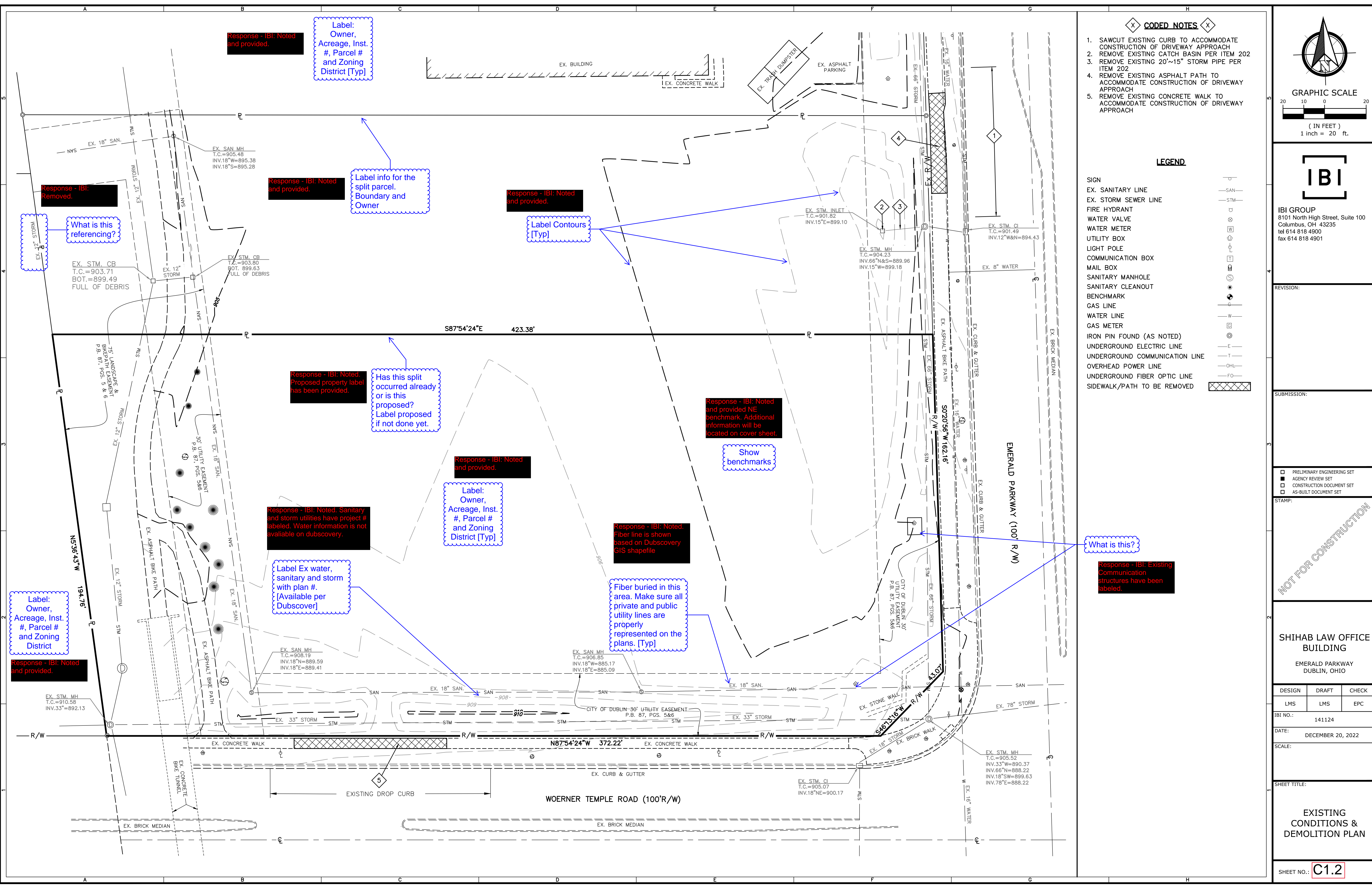
Add to existing statement: Provide statement conforming to 152.018C1 - Statement of proposed use of lots, giving type and number of dwelling units and type of business or industry, if known.

Response: Statement added. Note that this statement is included in note # 2.

ARCADIS
IBI GROUP
8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

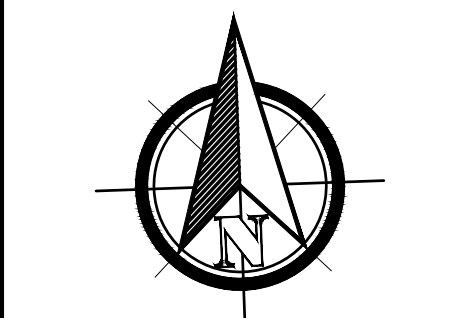
WOERNER TEMPLE ROAD 100'
CITY OF DUBLIN, OHIO
O.R.V. 31969, PG. B10
7.904 ACRES

J:\11986L_RL_TUTTLE\5.9 Drawings\basemap\survey\PRELIMINARY PLAT.dwg by:david.chess on 03/20/2023 @ 06:57:23 am ~ © IBI Group

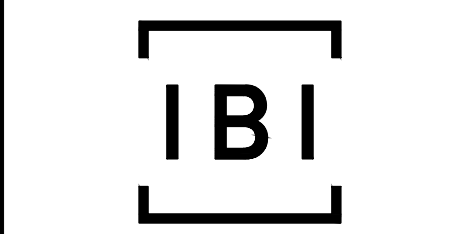


CODED NOTES

1. SAWCUT EXISTING CURB TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
2. REMOVE EXISTING CATCH BASIN PER ITEM 202
3. REMOVE EXISTING 20"-15" STORM PIPE PER ITEM 202
4. REMOVE EXISTING ASPHALT PATH TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
5. REMOVE EXISTING CONCRETE WALK TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



IBI GROUP
8101 North High Street, Suite 100
Columbus, OH 43235
tel 614 818 4900
fax 614 818 4901

LEGEND

- SIGN
- EX. SANITARY LINE
- EX. STORM SEWER LINE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- UTILITY BOX
- LIGHT POLE
- COMMUNICATION BOX
- MAIL BOX
- SANITARY MANHOLE
- SANITARY CLEANOUT
- BENCHMARK
- GAS LINE
- WATER LINE
- GAS METER
- IRON PIN FOUND (AS NOTED)
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND COMMUNICATION LINE
- OVERHEAD POWER LINE
- UNDERGROUND FIBER OPTIC LINE
- SIDEWALK/PATH TO BE REMOVED

REVISION:

SUBMISSION:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE BUILDING
EMERALD PARKWAY
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124

DATE: DECEMBER 20, 2022

SCALE:

SHEET TITLE:

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NO.: **C1.2**

Label:
Owner,
Acreage, Inst
#, Parcel #
and Zoning
District [Typ]

Response - IBI. Noted
and provided.

Response - IBI. Noted
and provided.

Label info for the
split parcel.
Boundary and
Owner

Response - IBI. Noted
and provided.

Label Contours
[Typ]

Response - IBI. Noted.
Proposed property label
has been provided.

Has this split
occurred already
or is this
proposed?
Label proposed
if not done yet.

Response - IBI. Noted
and provided. NE
benchmark. Additional
information will be
located on cover sheet.

Show
benchmarks

Response - IBI. Noted
and provided.

Label:
Owner,
Acreage, Inst
#, Parcel #
and Zoning
District [Typ]

Response - IBI. Noted. Sanitary
and storm utilities have project #
labeled. Water information is not
available on dubscovery.

Label Ex water,
sanitary and storm
with plan #.
[Available per
Dubscovery]

Response - IBI. Noted.
Fiber line is shown
based on Dubscovery
GIS shapefile

Fiber buried in this
area. Make sure all
private and public
utility lines are
properly
represented on the
plans. [Typ]

What is this?

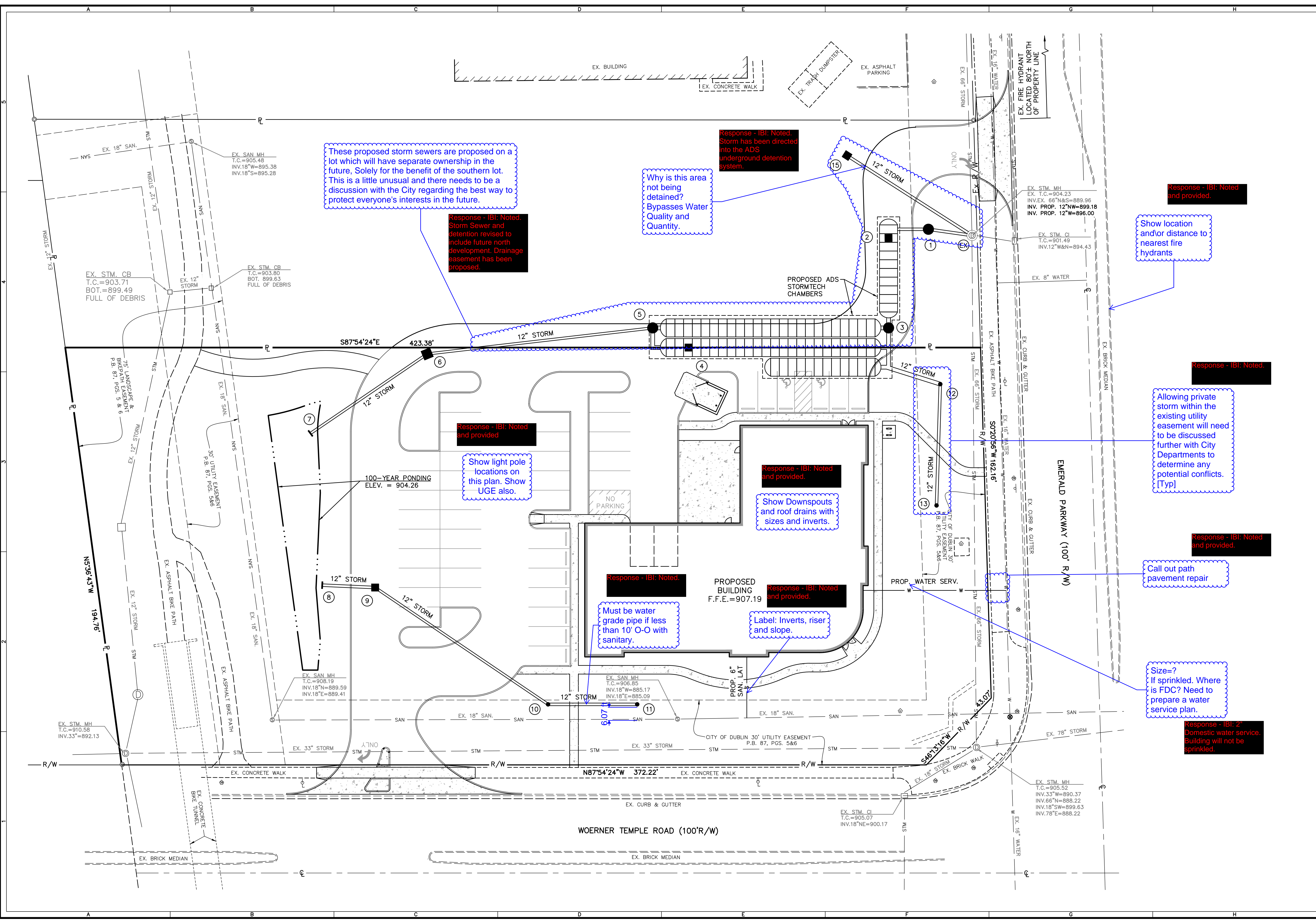
Response - IBI. Existing
Communication
structures have been
labeled.

Response - IBI. Noted
and provided.

What is this
referencing?

Label:
Owner,
Acreage, Inst
#, Parcel #
and Zoning
District

Response - IBI. Noted
and provided.



These proposed storm sewers are proposed on a lot which will have separate ownership in the future. Solely for the benefit of the southern lot. This is a little unusual and there needs to be a discussion with the City regarding the best way to protect everyone's interests in the future.

Response - IBI: Noted. Storm Sewer and detention revised to include future north development. Drainage easement has been proposed.

Why is this area not being detained? Bypasses Water Quality and Quantity.

Response - IBI: Noted. Storm has been directed into the ADS underground detention system.

Show location and/or distance to nearest fire hydrants

Response - IBI: Noted.

Allowing private storm within the existing utility easement will need to be discussed further with City Departments to determine any potential conflicts. [Typ]

Response - IBI: Noted and provided

Show light pole locations on this plan. Show UGE also.

Response - IBI: Noted and provided.

Show Downspouts and roof drains with sizes and inverts.

Response - IBI: Noted.

Must be water grade pipe if less than 10' O-O with sanitary.

Response - IBI: Noted and provided.

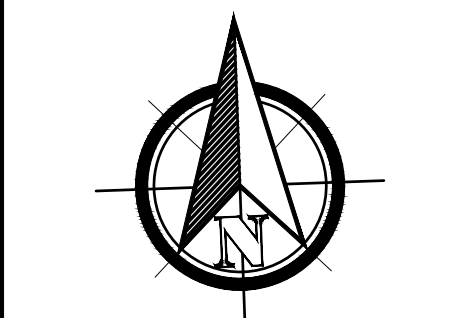
Label: Inverts, riser and slope.

Response - IBI: Noted and provided.

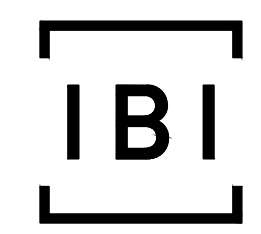
Call out path pavement repair

Size=? If sprinkled. Where is FDC? Need to prepare a water service plan.

Response - IBI: 2" Domestic water service. Building will not be sprinkled.



GRAPHIC SCALE
20 10 0 10 20
(IN FEET)
1 inch = 20 ft.



IBI GROUP
8101 North High Street, Suite 100
Columbus, OH 43235
tel 614 818 4900
fax 614 818 4901

REVISION:

SUBMISSION:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE
BUILDING
EMERALD PARKWAY
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124

DATE: DECEMBER 20, 2022

SCALE:

SHEET TITLE:

SITE UTILITY PLAN

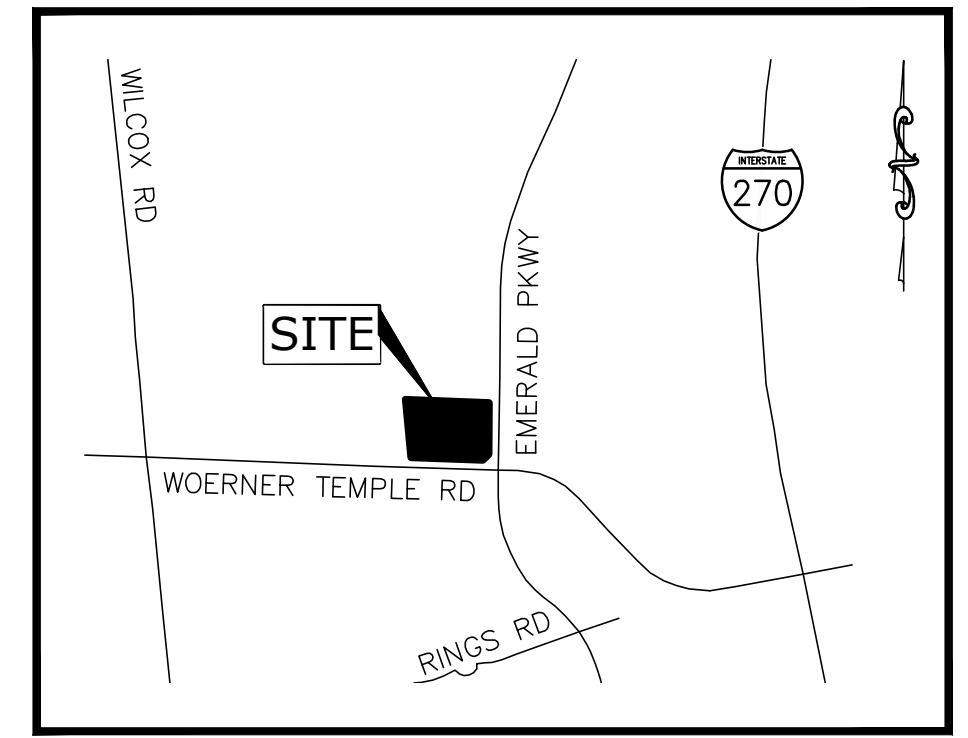
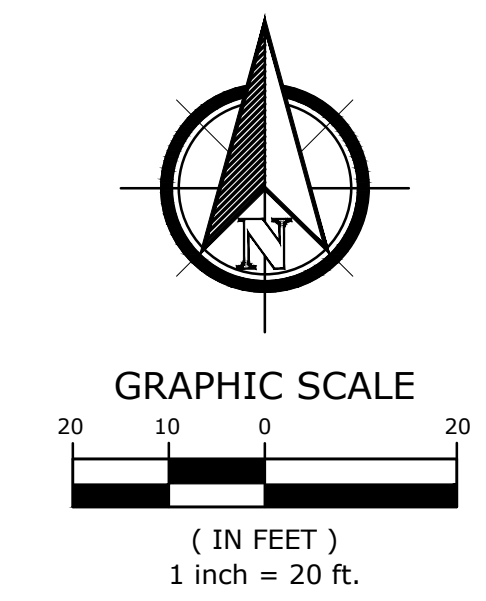
SHEET NO.: C1.4

HEATHER GLEN
SECTION 2
PART No. 4
P.B. 78, PG. 26

OWNER: ANDREA L
TOD BURNS
0.32 ACRES
P.N.: 273-006656
ZONED: PLR

CAMDEN PROFESSIONAL
CONDOMINIUM 13TH AMENDMNT
C.P.B. 277, PG. 88

ZONED PCD
(SUBAREA B-2)



PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD
VMS 3011

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

ENGINEER
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

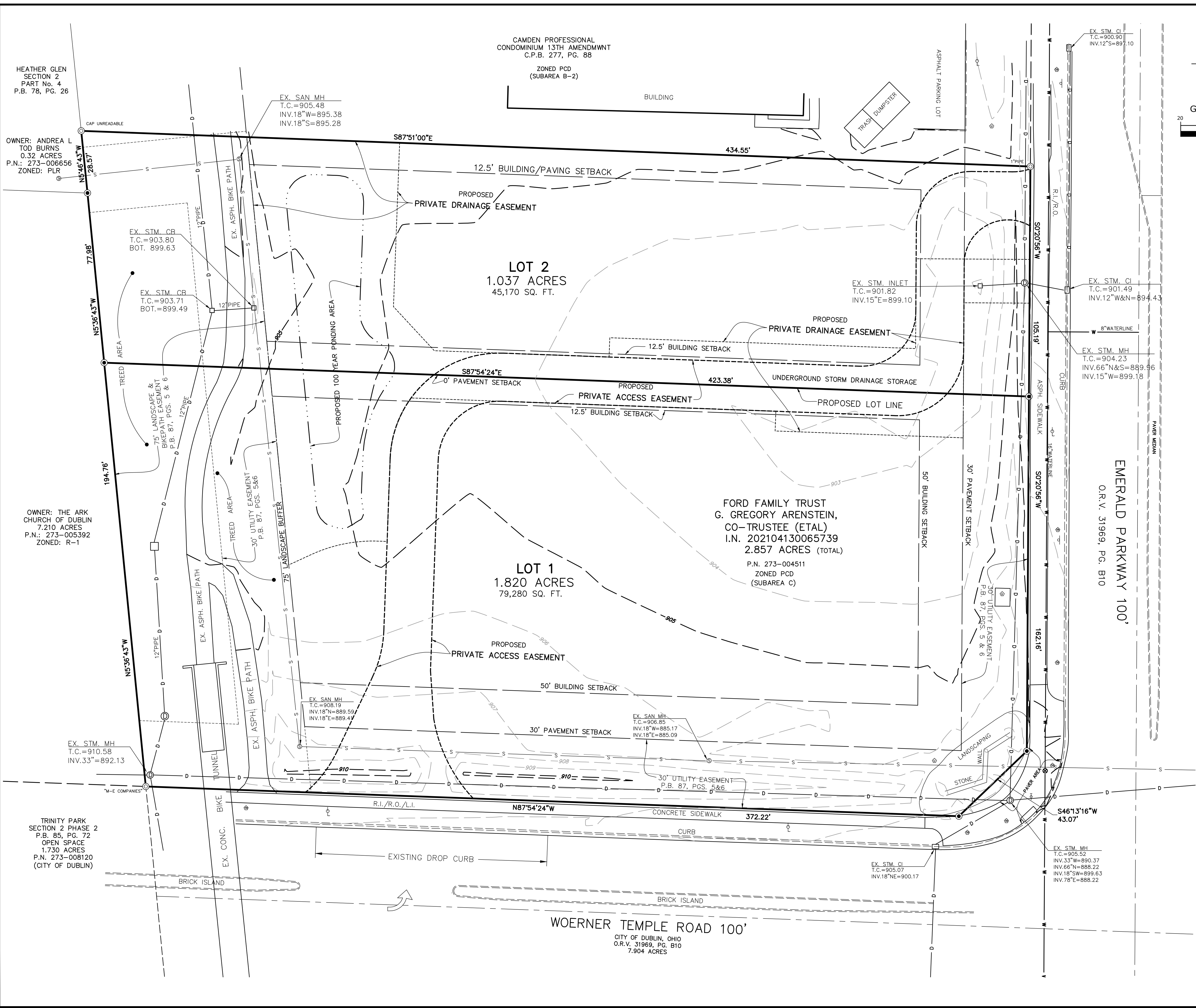
- ALL UTILITIES SHOWN HEREON ARE EXISTING
- ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

LEGEND

- | | | | |
|--|-------------------|--|---------------------|
| | STORM SEWER INLET | | SIGN |
| | WATERLINE | | WATER VALVE |
| | SANITARY SEWER | | SANITARY MANHOLE |
| | STORM SEWER | | STORM SEWER MANHOLE |
| | FIRE HYDRANT | | IRON PIN FOUND |
| | UTILITY BOX | | TRAFFIC BOX |
| | LIGHT POLE | | IRON PIN SET |

NOTES

- NO LAND IS BEING DEDICATED TO OR TEMPORARILY RESERVED FOR PUBLIC USE.
- THIS PRELIMINARY PLAT, CONSISTING OF TWO LOTS, CONFORMING TO 152.018C1, PROVIDES FOR BUILDING SITES TO FACILITATE OFFICE DEVELOPMENT IN KEEPING WITH THE EXISTING PCD ZONING FOR THE THOMAS/KOHLER PROPERTY, JANUARY 2002, SUBAREA C.



OWNER: THE ARK
CHURCH OF DUBLIN
7.210 ACRES
P.N.: 273-005392
ZONED: R-1

TRINITY PARK
SECTION 2 PHASE 2
P.B. 85, PG. 72
OPEN SPACE
1.730 ACRES
P.N. 273-008120
(CITY OF DUBLIN)

FORD FAMILY TRUST
G. GREGORY ARENSTEIN,
CO-TRUSTEE (ETAL)
I.N. 202104130065739
2.857 ACRES (TOTAL)
P.N. 273-004511
ZONED PCD
(SUBAREA C)

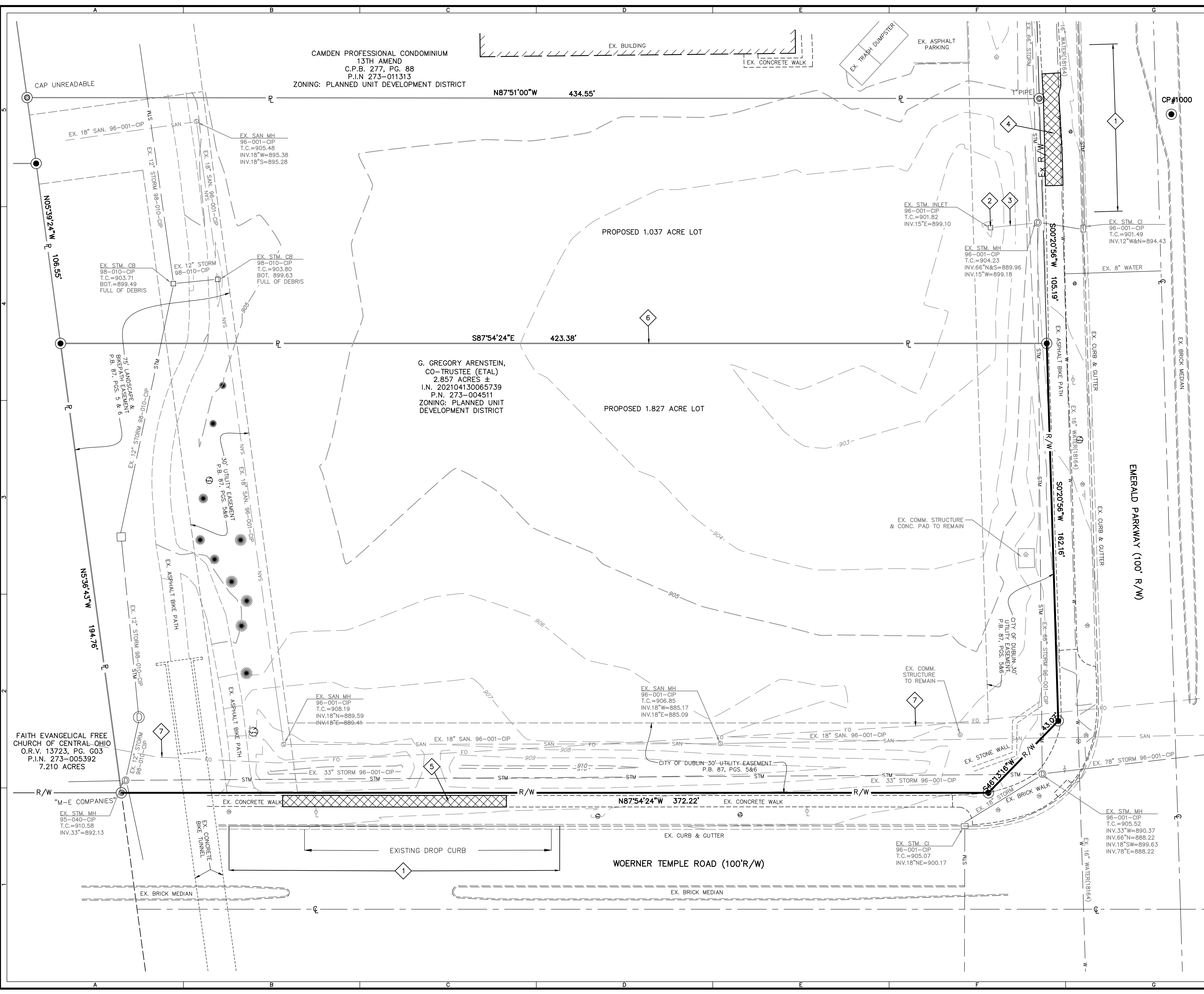
WOERNER TEMPLE ROAD 100'
CITY OF DUBLIN, OHIO
O.R.V. 31969, PG. B10
7.904 ACRES

ARCADIS
IBI GROUP

8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

DATE OF SUBMISSION: JULY 21, 2023

11/15/2023 - JRC - Title 152.018C1 Survey Preliminary Plat.dwg by Eric Chenery on 07/21/2023 @ 01:12:23 pm - © IBI Group



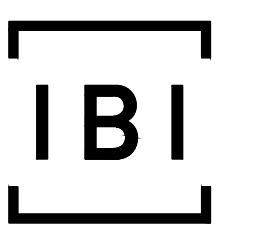
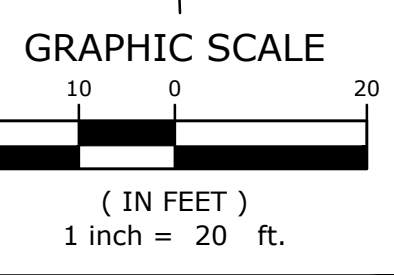
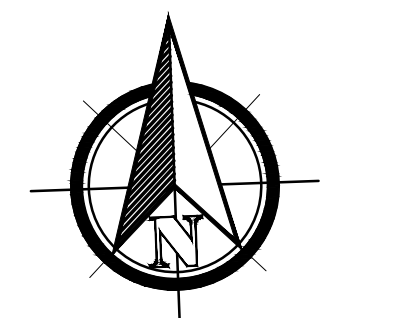
CODED NOTES

1. SAWCUT EXISTING CURB (TO NEAREST JOINT) AND PAVEMENT PER RD-07 AND REMOVE PER ITEM 202 TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH. ANY EXISTING DEPRESSED CURB NEEDS TO BE REMOVED AND REPLACED WITH FULL HEIGHT CURB BEYOND DRIVEWAY APPROACH LIMITS.
2. REMOVE EXISTING CATCH BASIN PER ITEM 202
3. REMOVE EXISTING 20"-15" STORM PIPE PER ITEM 202
4. REMOVE EXISTING ASPHALT PATH TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
5. REMOVE EXISTING CONCRETE WALK TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
6. PROPOSED LOT SPLIT PROPERTY LINE
7. EXISTING FIBER OPTIC LINE, PER DUBSCOVERY GIS MAP. CONTRACTOR TO FIELD VERIFY LOCATION.

LEGEND

- SIGN**
- EX. SANITARY LINE
 - EX. STORM SEWER LINE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - UTILITY BOX
 - LIGHT POLE
 - COMMUNICATION BOX
 - MAIL BOX
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - BENCHMARK
 - GAS LINE
 - WATER LINE
 - GAS METER
 - IRON PIN FOUND (AS NOTED)
 - IRON PIN SET
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND COMMUNICATION LINE
 - OVERHEAD POWER LINE
 - UNDERGROUND FIBER OPTIC LINE
 - SIDEWALK/PATH TO BE REMOVED

NOTE: SEE SHEET CV FOR ADDITIONAL BENCHMARK INFORMATION.



IBI GROUP
 8101 North High Street, Suite 100
 Columbus, OH 43235
 tel 614 818 4900
 fax 614 818 4901

REVISION:

SUBMISSION:
 05.24.2023 FINAL DEVELOPMENT PLAN

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE BUILDING
 EMERALD PARKWAY
 DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124

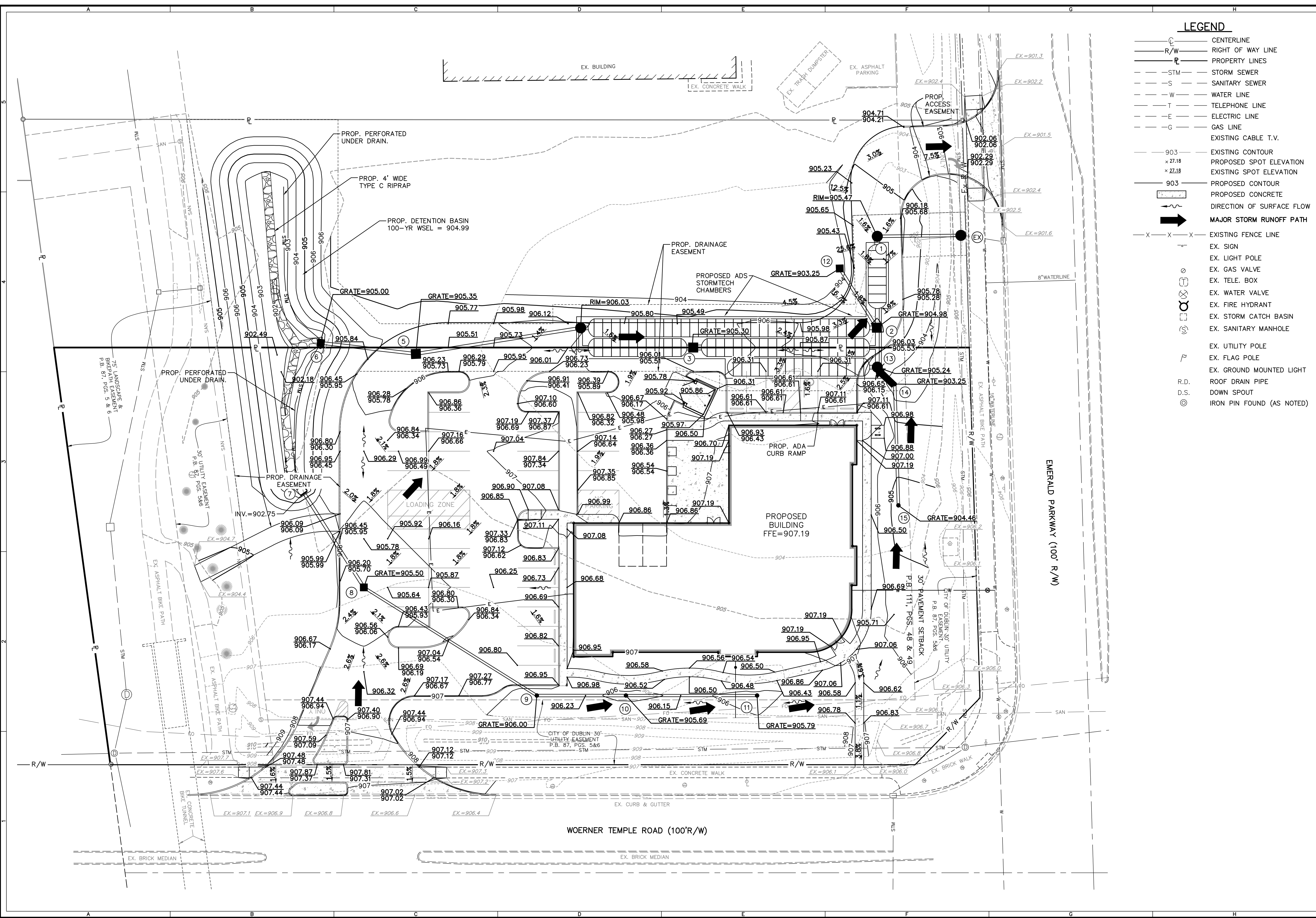
DATE: July 28, 2023

SCALE:

SHEET TITLE:

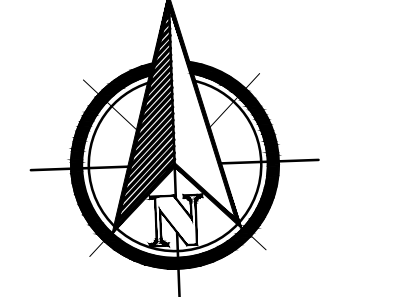
EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NO.: 5/14

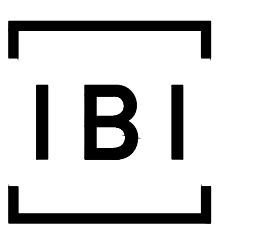


LEGEND

- C — CENTERLINE
- R/W — RIGHT OF WAY LINE
- P — PROPERTY LINES
- STM — STORM SEWER
- S — SANITARY SEWER
- W — WATER LINE
- T — TELEPHONE LINE
- E — ELECTRIC LINE
- G — GAS LINE
- — — EXISTING CABLE T.V.
- 903 — EXISTING CONTOUR
- x 27.18 — PROPOSED SPOT ELEVATION
- x 27.18 — EXISTING SPOT ELEVATION
- 903 — PROPOSED CONTOUR
- [] — PROPOSED CONCRETE
- [] — DIRECTION OF SURFACE FLOW
- [] — MAJOR STORM RUNOFF PATH
- X — X — EXISTING FENCE LINE
- [] — EX. SIGN
- [] — EX. LIGHT POLE
- [] — EX. GAS VALVE
- [] — EX. TELE. BOX
- [] — EX. WATER VALVE
- [] — EX. FIRE HYDRANT
- [] — EX. STORM CATCH BASIN
- [] — EX. SANITARY MANHOLE
- [] — EX. UTILITY POLE
- [] — EX. FLAG POLE
- [] — EX. GROUND MOUNTED LIGHT
- [] — R.D. ROOF DRAIN PIPE
- [] — D.S. DOWN SPOUT
- [] — [] — IRON PIN FOUND (AS NOTED)



GRAPHIC SCALE
 20 10 0 20
 (IN FEET)
 1 inch = 20 ft.



IBI GROUP
 8101 North High Street, Suite 100
 Columbus, OH 43235
 tel 614 818 4900
 fax 614 818 4901

REVISION:

NO.	DESCRIPTION

SUBMISSION:
 05.24.2023 FINAL DEVELOPMENT PLAN

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

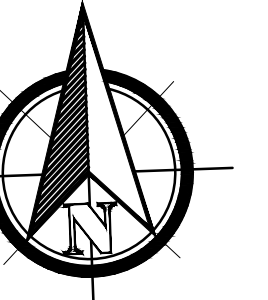
STAMP:
 NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE
 BUILDING
 EMERALD PARKWAY
 DUBLIN, OHIO

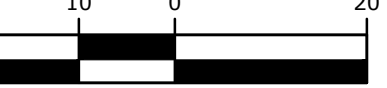
DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124
 DATE: July 28, 2023
 SCALE:

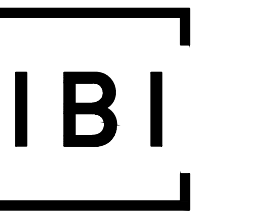
SHEET TITLE:
 SITE GRADING PLAN



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



IBI GROUP
8101 North High Street, Suite 100
Columbus, OH 43235
tel 614 818 4900
fax 614 818 4901

REVISION:

SUBMISSION:
05.24.2023 FINAL DEVELOPMENT PLAN

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE
BUILDING
EMERALD PARKWAY
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124

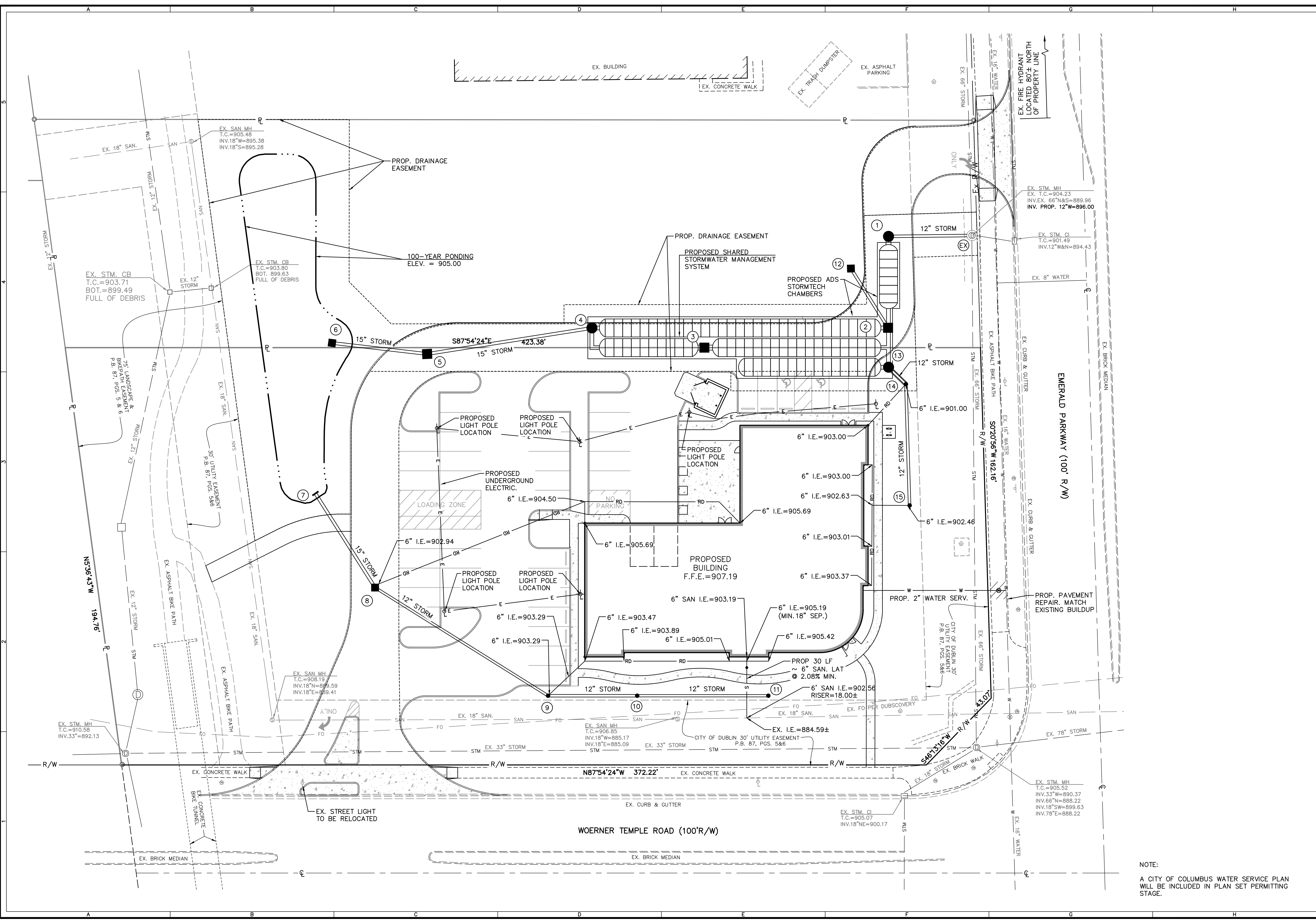
DATE: July 28, 2023

SCALE:

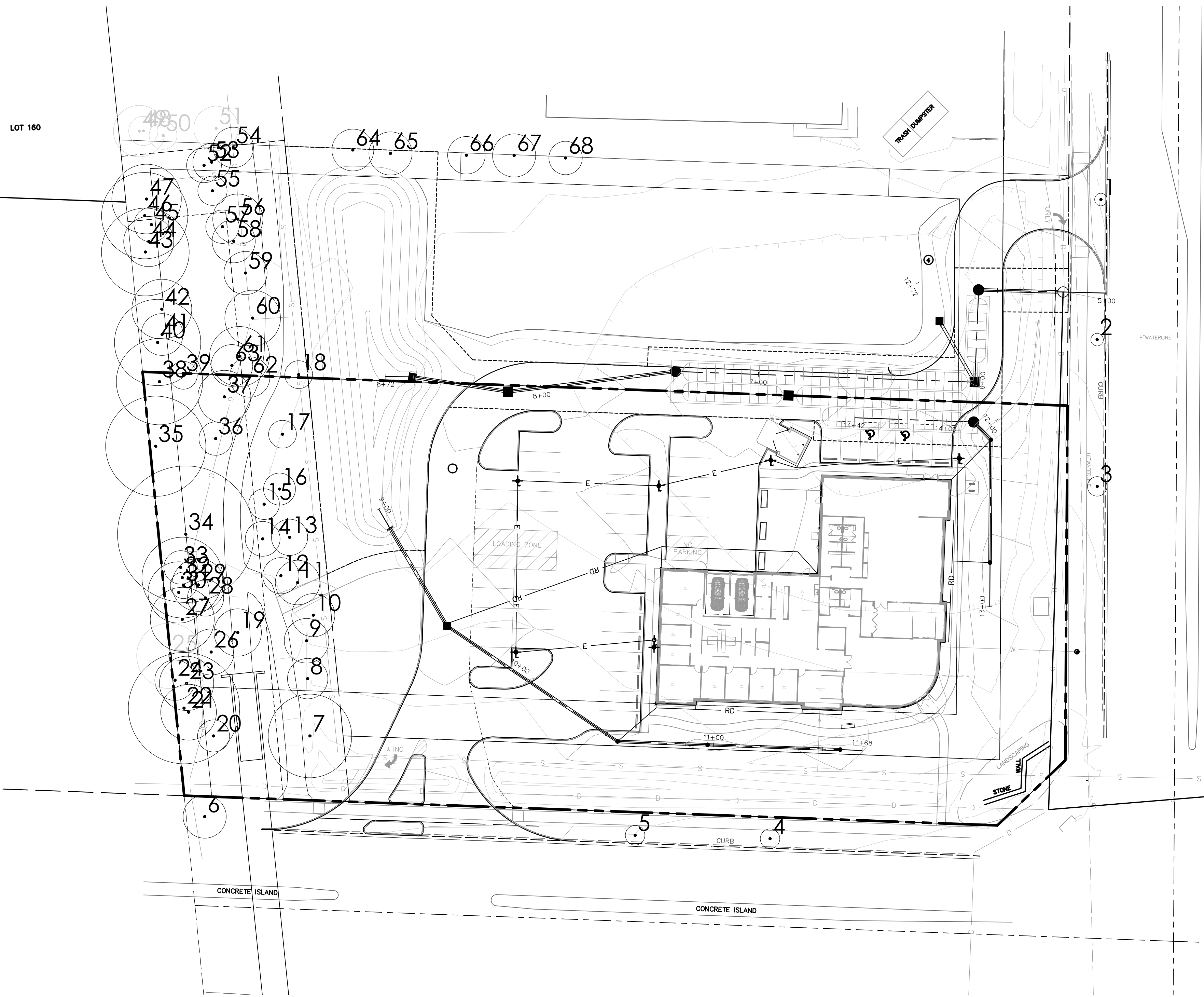
SHEET TITLE:

SITE UTILITY PLAN

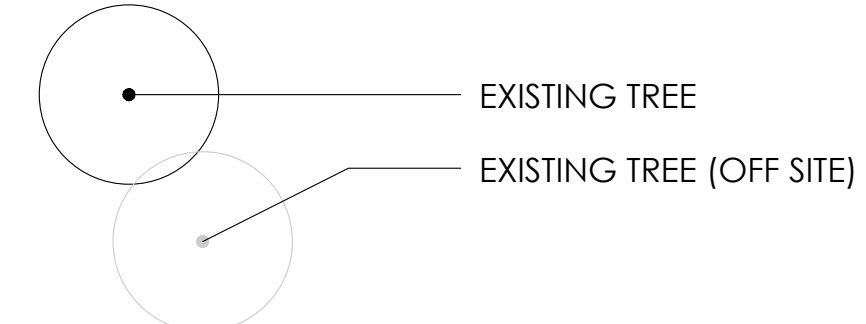
SHEET NO.: 8/14



NOTE:
A CITY OF COLUMBUS WATER SERVICE PLAN
WILL BE INCLUDED IN PLAN SET PERMITTING
STAGE.

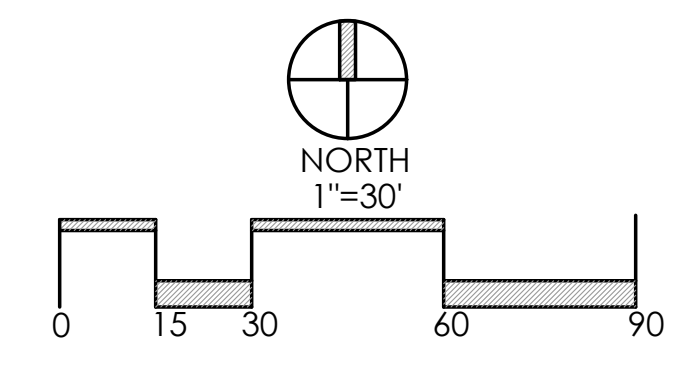


TREE SURVEY KEY



TREE #	SIZE	SPECIES	CONDITION	STATUS
1	3	KENTUCKY COFFEE TREE	GOOD	STREET TREE
2	3	KENTUCKY COFFEE TREE	GOOD	STREET TREE
3	4	SYCAMORE	GOOD	STREET TREE
4	4	KENTUCKY COFFEE TREE	GOOD	STREET TREE
5	4	KENTUCKY COFFEE TREE	GOOD	STREET TREE
6	10	ELM	GOOD	STREET TREE
7	19	MULBERRY	FAIR	PRESERVE
8	9	SPRUCE	FAIR	PRESERVE
9	10	SPRUCE	FAIR	PRESERVE
10	10	SPRUCE	FAIR	PRESERVE
11	10	SPRUCE	FAIR	PRESERVE
12	8	SPRUCE	FAIR	PRESERVE
13	8	SPRUCE	FAIR	PRESERVE
14	8	SPRUCE	FAIR	PRESERVE
15	7	SPRUCE	FAIR	PRESERVE
16	7	PEAR	GOOD	PRESERVE
17	6	SPRUCE	FAIR	PRESERVE
18	6	SPRUCE	FAIR	PRESERVE
19	11	SPRUCE	GOOD	PRESERVE
20	7	CHERRY	POOR	PRESERVE
21	13	HACKBERRY	GOOD	PRESERVE
22	25	OAK	GOOD	PRESERVE
23	12	HACKBERRY	GOOD	PRESERVE
24	9	OAK	GOOD	PRESERVE
25	15	ELM	GOOD	OFF SITE
26	11	PINE	DEAD	PRESERVE
27	15	WALNUT	GOOD	PRESERVE
28	8	SPRUCE	GOOD	PRESERVE
29	12	MULBERRY	GOOD	PRESERVE
30	14	WALNUT	GOOD	PRESERVE
31	6	HACKBERRY	GOOD	PRESERVE
32	18	WALNUT	GOOD	PRESERVE
33	8	HACKBERRY	GOOD	PRESERVE
34	31	WALNUT	GOOD	PRESERVE
35	23	WALNUT	GOOD	PRESERVE
36	8	SPRUCE	DEAD	PRESERVE
37	12	SPRUCE	POOR	PRESERVE
38	20	WALNUT	GOOD	PRESERVE
39	6	HACKBERRY	GOOD	PRESERVE
40	20	WALNUT	GOOD	PRESERVE
41	10	WALNUT	GOOD	PRESERVE
42	14	WALNUT	GOOD	PRESERVE
43	20	WALNUT	GOOD	PRESERVE
44	11	WALNUT	GOOD	PRESERVE
45	8	HACKBERRY	GOOD	PRESERVE
46	20	HACKBERRY	GOOD	PRESERVE
47	16	WALNUT	GOOD	PRESERVE
48	7	HACKBERRY	GOOD	OFF SITE
49	12	HICKORY	GOOD	OFF SITE
50	6	WALNUT	GOOD	OFF SITE
51	10	SPRUCE	FAIR	OFF SITE
52	8	SPRUCE	FAIR	PRESERVE
53	9	SPRUCE	FAIR	PRESERVE
54	9	SPRUCE	FAIR	PRESERVE
55	7	SPRUCE	FAIR	PRESERVE
56	11	SERVICEBERRY	GOOD	PRESERVE
57	8	SPRUCE	FAIR	PRESERVE
58	10	SPRUCE	FAIR	PRESERVE
59	10	SPRUCE	FAIR	PRESERVE
60	13	SERVICEBERRY	GOOD	PRESERVE
61	14	SPRUCE	FAIR	PRESERVE
62	9	MULBERRY	GOOD	PRESERVE
63	10	SPRUCE	POOR	PRESERVE
64	10	LOCUST	GOOD	PRESERVE
65	10	LOCUST	GOOD	PRESERVE
66	9	LOCUST	GOOD	PRESERVE
67	10	LOCUST	GOOD	PRESERVE
68	8	SPRUCE	GOOD	PRESERVE

REPLACEMENT CALCULATIONS		
TREES REMOVED*	INCHES REMOVED	REPLACEMENT INCHES REQ'D
Major Trees (replace 1" per 1" removed)	0	0
Subtotal Replacement Inches Required 0		
**6" CALIPER AND ABOVE ARE INCLUDED. POOR OR DEAD TREES ARE NOT INCLUDED		



REVISIONS	

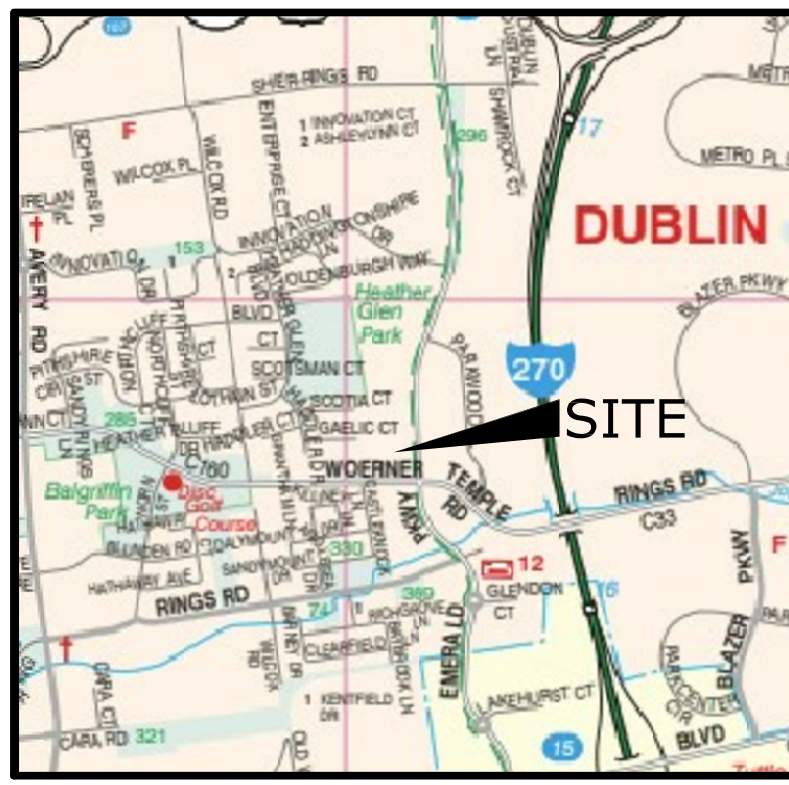
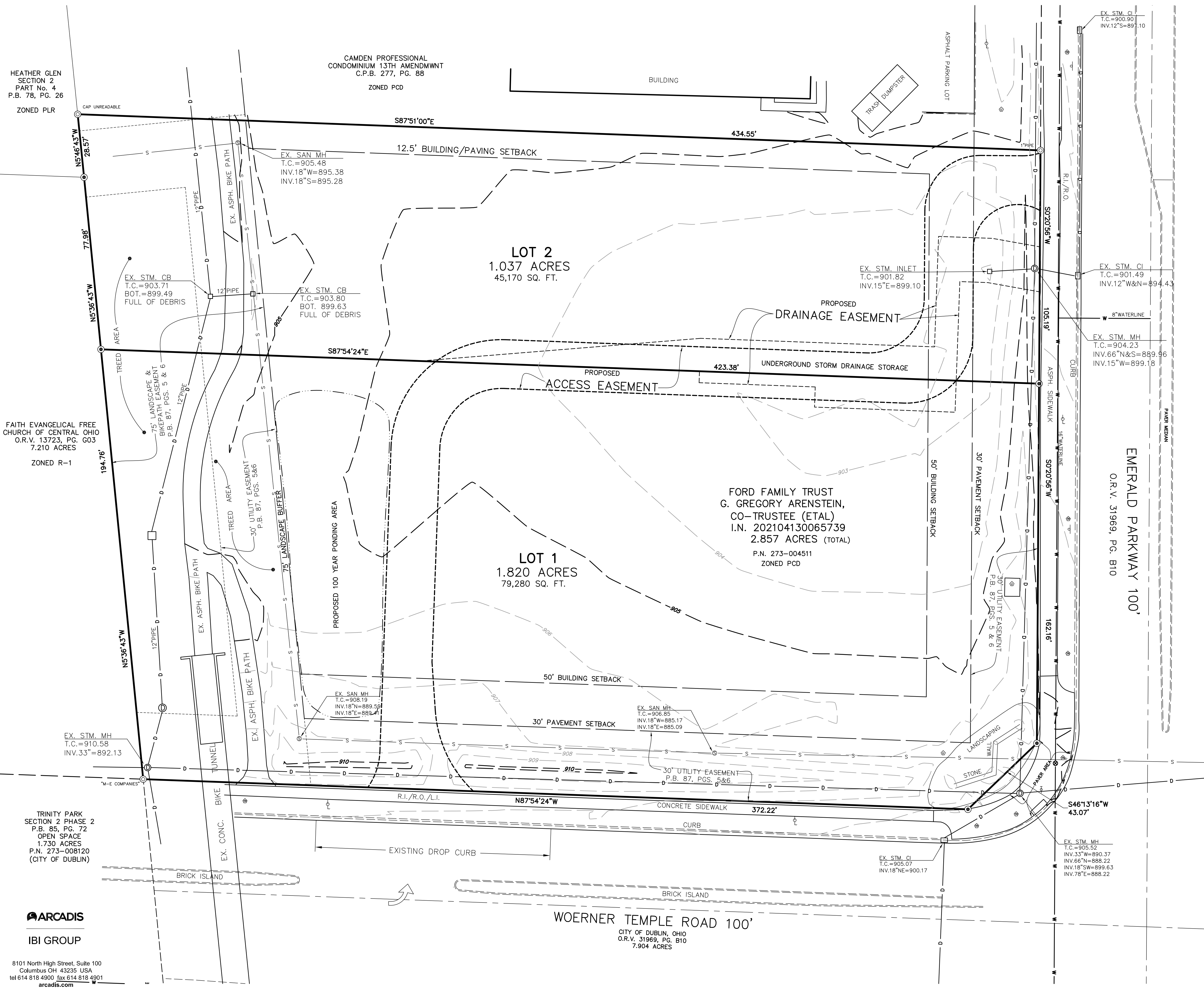
TREE SURVEY
(EXISTING CONDITIONS)

WOERNER-TEMPLE ROAD
 PREPARED FOR
SHIHAB & ASSOCIATES, CO., LPA
 65 E. STATE STREET, SUITE 1550
 COLUMBUS, OH 43215

Faris Planning & Design
 LAND PLANNING LANDSCAPE ARCHITECTURE
 4876 Cemetery Road
 Hilliard, OH 43026
 p. 614.467.7194
 www.farisplanninganddesign.com

DATE	8/1/23
PROJECT	22162
SHEET	

L-4



LOCATION MAP

PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

ENGINEER
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

- ALL UTILITIES SHOWN HEREON ARE EXISTING
- ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

This Preliminary Plat, consisting of two lots, provides for building sites to facilitate office development in keeping with the existing PCD zoning for the Thomas/Kohler Property, January 2002.

LEGEND

- | | | | |
|-------|-------------------|---|---------------------|
| □ □ | STORM SEWER INLET | — | SIGN |
| — w — | WATERLINE | ⊗ | WATER VALVE |
| — s — | SANITARY SEWER | ⊙ | SANITARY MANHOLE |
| — d — | STORM SEWER | ⊕ | STORM SEWER MANHOLE |
| ⊕ | FIRE HYDRANT | ⊙ | IRON PIN FOUND |
| ⊕ | UTILITY BOX | ⊕ | TRAFFIC BOX |
| ⊕ | LIGHT POLE | ⊕ | IRON PIN SET |

Add to existing statement: Provide statement conforming to 152.018C1 - Statement of proposed use of lots, giving type and number of dwelling units and type of business or industry, if known.

Response: Statement added. Note that this statement is included in note # 2.

ARCADIS
IBI GROUP
8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

WOERNER TEMPLE ROAD 100'
CITY OF DUBLIN, OHIO
O.R.V. 31969, PG. B10
7.904 ACRES

Response: Exhibits are included in this submittal.

Reviewed
06/14/2023
Christopher M. Tebbe, P.E.

Provide Exhibits in order to review this agreement.

AGREEMENT AND DEED OF EASEMENT

Storm Water Drainage and Facilities

KNOW ALL MEN BY THESE PRESENTS, that **The Law Firm of Shihab & Associates, Co., a Legal Professional Association**, an Ohio corporation (“*Shihab*”), with an address of _____, and **G. Gregory Arenstein and Byron E. Ford, Co-Trustees of the Ford Family Trust dated August 7, 1990** (“*Trust*”, Shihab and the Trust sometimes referred to herein as the “*Parties*” or a “*Party*”), with an address of _____, hereby agree as follows:

WHEREAS, Shihab owns the property described in Exhibit A attached hereto and made a part hereof (the “*Shihab Property*”);

WHEREAS, The Trust owns the property described in Exhibit B attached hereto and made a part hereof (the “*Trust Property*”);

WHEREAS, the Parties desire to grant easements one to the other for the construction, operation and maintenance of storm water facilities, drainage, and run-off ponds (“*Storm Water Facilities*”), together with the right of access to the said easement areas for said purposes as shown on Exhibit C attached hereto and made a part hereof.

NOW, THEREFORE, the Parties agree as follows:

1. Shihab hereby grants to the Trust a non-exclusive, permanent easement over, under, and through the cross hatched easement area shown on the Shihab Property on Exhibit C for the Storm Water Facilities.
2. The Trust hereby grants to Shihab a non-exclusive, permanent easement over, under, and through the cross hatched easement area shown on the Trust Property on Exhibit C for the Storm Water Facilities.
3. The cost of repair and maintenance of the Storm Water Facilities shall be borne one-half (1/2) by the owners of each property. To the extent that the need for repair or maintenance is

caused or results from the acts or failure to act of the owner or owners of one of the Properties, or the tenants, customers, employees, guests or invitees of only the owner or owners of one of the Properties, whether or not there was negligence or a willful act, the owner of that Property shall be solely responsible for the cost of such repair and maintenance.

2. In all construction, repair, and maintenance work, due precaution and care shall be taken not to damage the property of the other Property owner or the property of that Property's occupants, customers, employees, guests, and invitees, nor shall such work interfere with the business conducted on the other Property.

3. Neither of the Property owners shall proceed with any repair or maintenance, whether in person or through an agent, without first obtaining the agreement of the other Property owner.

4. Neither Property owner shall unreasonably withhold or refuse a reasonable request by the other Property owner for repair or maintenance.

5. The rights granted herein shall not be construed to interfere with nor restrict the use of the premises with respect to the construction and maintenance of property improvements along the premises herein described so long as the same are constructed in such a manner so as to not unreasonably impair the use and maintenance of said Storm Water Facilities.

6. In the event the herein described Storm Water Facilities easement areas overlap parts of existing easements, such existing easements shall not be limited in use by the easement granted herein in any manner.

7. This Easement shall run with the land and shall be binding on, and shall inure to the benefit of the successors and assigns of the parties hereto. This conveyance is subject to easements, conditions, restrictions, reservations and zoning regulations of record, and all legal highways.

SIGNATURES APPEAR ON THE FOLLOWING PAGES

The Parties have caused this instrument to be executed as of this _____ day of _____, 2023.

SHIHAB:

**The Law Firm of Shihab & Associates, Co.,
a Legal Professional Association,
an Ohio corporation**

By: _____
print name: _____
print title: _____

STATE OF OHIO,
COUNTY OF FRANKLIN, SS:

Before me, a Notary Public in and for said county and state, personally appeared the above-named _____, the _____ of The Law Firm of Shihab and Associates Co., a Legal Professional Association, an Ohio corporation, who acknowledged that he/she/they did sign the foregoing instrument and that the same is his/her/their free act and deed on behalf of the Company. The notarial act certified hereby is an acknowledgement. No oath or affirmation was administered to the signer with regard to the notarial act hereby certified.

IN TESTIMONY WHEREOF, I have hereunto affixed my name and official at Franklin County, Ohio, this _____ day of _____, 2023.

Notary Public

The Parties have caused this instrument to be executed as of this _____ day of _____, 2023.

TRUST:

The Ford Family Trust dated August 7, 1990

By: _____
G. Gregory Arenstein, Co-Trustee

By: _____
Byron E. Ford, Co-Trustee

STATE OF OHIO,
COUNTY OF FRANKLIN, SS:

Before me, a Notary Public in and for said county and state, personally appeared the above-named G. Gregory Arenstein and Byron E. Ford, Co-Trustees of The Ford Family Trust dated August 7, 1990, who acknowledged that they did sign the foregoing instrument and that the same is their free act and deed on behalf of the Trust. The notarial act certified hereby is an acknowledgement. No oath or affirmation was administered to the signer with regard to the notarial act hereby certified.

IN TESTIMONY WHEREOF, I have hereunto affixed my name and official at Franklin County, Ohio, this _____ day of _____, 2023.

Notary Public

EXHIBIT A

SHIHAB PROPERTY

EXHIBIT B

TRUST PROPERTY

EXHIBIT C

EASEMENT AREA

DESCRIPTION OF 1.820 ACRES
NORTH OF WOERNER TEMPLE ROAD
WEST OF EMERALD PARKWAY
CITY OF DUBLIN, OHIO

Situated in the State of Ohio, County of Franklin, City of Dublin, being part of Virginia Military Survey Number 3011, also being part of that 2.857-acre tract as described in a deed to G. Gregory Arenstein, Co-Trustee (et al), of record in Instrument Number 202104130065739, all references herein being to the records of the Recorder's Office, Franklin County, Ohio, and being more particularly described as follows:

Beginning **FOR REFERENCE** at an iron pin set in the westerly line of said 2.857-acre tract and at the southeasterly corner of Heather Glen Section 2, Part 4, a subdivision of record in Plat Book 78, Page 26 and at the northeasterly corner of that 7.210-acre tract as described in a deed to Faith Evangelical Free Church of Central Ohio, of record in Official Record Volume 13723, Page G03; thence South 5°36'43" East, along the easterly line of said 7.210-acre tract, a distance of 77.98 feet to an iron pin set at the **TRUE PLACE OF BEGINNING**:

Thence South 87°54'24" East, through said 2.857-acre tract with a new division line, a distance of 423.38 feet to an iron pin set in the westerly right-of-way line of Emerald Parkway, 100 feet in width, as conveyed to the City of Dublin, Ohio and being part of a 7.904-acre tract of record in Official Record Volume 31969, Page B10;

Thence South 0°20'56" West, along said right-of-way line, a distance of 162.16 feet to an iron pin set at an angle point;

Thence South 46°13'16" West, continuing along said right-of-way line, a distance of 43.07 feet to an iron pin set at the intersection of the northerly right-of-way line of Woerner Temple Road, 100 feet in width, being also in the perimeter of said 7.904-acre tract;

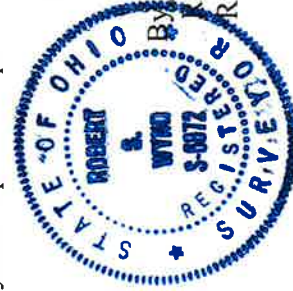
Thence North 87°54'24" West, along said northerly right-of-way line, a distance of 372.22 feet to an iron pin found capped "M-E Companies" at the southwesterly corner of said 2.857-acre tract and the southeasterly corner of said 7.210-acre tract;

Thence North 5°36'43" West, along the easterly line of said 7.210-acre tract, a distance of 194.76 feet to the **TRUE PLACE OF BEGINNING** and containing 1.820 acres of land.

Bearings herein are based on GPS observations of the Ohio State Plane Coordinate System, South Zone, NAD 83 (2011), establishing a bearing of North 87°54'24" West for Woerner Temple Road.

Iron pins set consist of a 5/8-inch rebar, 30 inches long with an orange plastic cap stamped "IBI Group, S-6872/S-7740".

This description was prepared by IBI Group, based on information obtained from an actual field survey of the premises performed in February 2022.



IBI Group Survey

By Robert S. Wynd Date 2/17/22

Robert S. Wynd
Registered Surveyor No. 6872

PRELIMINARY APPROVAL.
Cornell R. Robertson, P.E., P.S.

BY: ajstuart
02/17/2022

PENDING ORIGINALS

*Submitted via digital format

Please return this approval, along with the original description and plat of survey, as prepared by the surveyor, signed, sealed and dated in blue ink.

EXHIBIT "A" LEGAL DESCRIPTION

File No.: 1089805

Situated in the State of Ohio, County of Franklin, City of Dublin, Virginia Military Survey No. 3011, being part of that original 54.795 acre tract of land as described in a deed to RR Partners, of record in Official Record 31014, Page C03, all references herein being to the records of the Recorder's Office, Franklin County, Ohio and being more particularly described as follows:

Beginning FOR REFERENCE at a permanent marker found (1-inch iron pipe with cap "M-E Companies/S-6872" in 4-inch diameter concrete) at the northeasterly corner of Trinity Park Section 2, Phase 1, a subdivision of record in Plat Book 82, Pages 98 and 99, the northwesterly corner of Tuttle Crossing North Section 2, a subdivision of record in Plat Book 111, Pages 48 and 49, in the southerly right of way line of Woerner Temple Road (100 feet in width), and in a westerly line of said 54.795-acre tract; thence North 06° 46' 38" West, crossing Woerner Temple Road, a distance of 100.91 feet to an iron pin set at the southeasterly corner of that 7.210-acre tract of land described in a deed to Faith Evangelical Free Church of Central Ohio, of record in Official Record 13723, Page G03, in the northerly right of way line of Woerner Temple Road, and being the TRUE PLACE OF BEGINNING;

Thence North 06° 46' 38" West, along the easterly line of said 7.210-acre tract, a distance of 272.74 feet to an iron pin found (no cap) at the northeasterly corner of same, and at the southeasterly corner of Lot 160 of Heather Glen Section Number 2, Part Number 4, a subdivision of record in Plat Book 78, Page 26;

Thence North 06° 56' 38" West, along the easterly line of said Lot 160, a distance of 28.30 feet to an iron pin set at the southwesterly corner of that original 4.216-acre tract as described in a deed to MBCS Properties, LLC, of record in Instrument No. 200409300227735;

Thence South 89° 04' 19" East, along the southerly line of said 4.216-acre tract, a distance of 434.51 feet to an iron pin set in the westerly right of way line of Emerald Parkway (100 feet in width);

Thence South 00° 48' 58" East, along said right of way line, a distance of 267.53 feet to an iron pin set; Thence South 45° 03' 21" West, along the right of way line between Emerald Parkway and Woerner Temple Road, a distance of 43.07 feet to a drill hole set in the concrete sidewalk;

Thence North 89° 04' 19" West, along the northerly right of way line of Woerner Temple Road, a distance of 372.22 feet to the TRUE PLACE OF BEGINNING and containing 2.857 acres of land.

Bearings herein are based on North 89° 04' 19" West for Woerner Temple Road as indicated on the plat "Tuttle Crossing North Section 2", of record in Plat Book 111, Pages 48 and 49.

Iron pins set consist of a 1" (O.D.) iron pipe, 30" long with a plastic cap inscribed "M-E Companies/S-6872".

This description was prepared by M-E Companies, Inc. based on actual field surveys of the premises.

Parcel Number 273-004511-00

ALL OF:
(273)
004511



DESCRIPTION OF 1.820 ACRES
NORTH OF WOERNER TEMPLE ROAD
WEST OF EMERALD PARKWAY
CITY OF DUBLIN, OHIO

Situated in the State of Ohio, County of Franklin, City of Dublin, being part of Virginia Military Survey Number 3011, also being part of that 2.857-acre tract as described in a deed to Gregory Arenstein, Co-Trustee (et al), of record in Instrument Number 202104130065739, all references herein being to the records of the Recorder's Office, Franklin County, Ohio, and being more particularly described as follows:

Beginning **FOR REFERENCE** at an iron pin set in the westerly line of said 2.857-acre tract and at the southeasterly corner of Heather Glen Section 2, Part 4, a subdivision of record in Plat Book 78, Page 26 and at the northeasterly corner of that 7.210-acre tract as described in a deed to Faith Evangelical Free Church of Central Ohio, of record in Official Record Volume 13723, Page G03; thence South 5°36'43" East, along the easterly line of said 7.210-acre tract, a distance of 77.98 feet to an iron pin set at the **TRUE PLACE OF BEGINNING**:

Thence South 87°54'24" East, through said 2.857-acre tract with a new division line, a distance of 423.38 feet to an iron pin set in the westerly right-of-way line of Emerald Parkway, 100 feet in width, as conveyed to the City of Dublin, Ohio and being part of a 7.904-acre tract of record in Official Record Volume 31969, Page B10;

Thence South 0°20'56" West, along said right-of-way line, a distance of 162.16 feet to an iron pin set at an angle point;

Thence South 46°13'16" West, continuing along said right-of-way line, a distance of 43.07 feet to an iron pin set at the intersection of the northerly right-of-way line of Woerner Temple Road, 100 feet in width, being also in the perimeter of said 7.904-acre tract;

Thence North 87°54'24" West, along said northerly right-of-way line, a distance of 372.22 feet to an iron pin found capped "M-E Companies" at the southwesterly corner of said 2.857-acre tract and the southeasterly corner of said 7.210-acre tract;

Thence North 5°36'43" West, along the easterly line of said 7.210-acre tract, a distance of 194.76 feet to the **TRUE PLACE OF BEGINNING** and containing 1.820 acres of land.

Bearings herein are based on GPS observations of the Ohio State Plane Coordinate System, South Zone, NAD 83 (2011), establishing a bearing of North 87°54'24" West for Woerner Temple Road.

Iron pins set consist of a 5/8-inch rebar, 30 inches long with an orange plastic cap stamped "IBI Group, S-6872/S-7740".

This description was prepared by IBI Group, based on information obtained from an actual field survey of the premises performed in February 2022.



IBI Group Survey

Robert S. Wynd By _____ Date 2/17/22

Robert S. Wynd
Registered Surveyor No. 6872

PRELIMINARY APPROVAL.

Cornell R. Robertson, P.E., P.S.

BY: *ajstuart*
02/17/2022

PENDING ORIGINALS

*Submitted via digital format



Please return this approval, along with the original description and plat of survey, as prepared by the surveyor, signed, sealed and dated in blue ink.

DESCRIPTION OF A DRAINAGE EASEMENT
LOCATED WITHIN THAT 2.857 ACRE TRACT
NORTH OF WOERNER TEMPLE ROAD
WEST OF EMERALD PARKWAY
CITY OF DUBLIN, OHIO

Situated in the State of Ohio, County of Franklin, City of Dublin, being a strip of land located within that 2.857-acre tract as described in a deed to G. Gregory Arenstein, Co-Trustee (et al), of record in Instrument Number 202104130065739, Recorder's Office, Franklin County, Ohio, and being more particularly described as follows:

Beginning **FOR REFERENCE** at the northeasterly corner of said 2.857-acre tract and in the westerly right-of-way line of Emerald Parkway; thence South 0°20'56" West, along said right-of-way line, a distance of 42.50 feet to the **TRUE PLACE OF BEGINNING**:

Thence South 0°20'56" West, continuing along said right-of-way line, a distance of 20.00 feet to a point;

Thence into and through said 2.857-acre tract the following courses:

1. North 89°39'04" West, a distance of 30.00 feet to a point;
2. South 0°20'56" West, a distance of 61.79 feet to a point;
3. North 87°54'24" West, a distance of 86.07 feet to a point;
4. North 2°05'36" East, a distance of 9.00 feet to a point;
5. North 87°54'24" west, a distance of 167.00 feet to a point;
6. With the arc of a non-tangent curve to the left, having a radius of 50.00 feet, a central angle of 34°01'47", an arc length of 29.70 feet, the chord of which bears South 19°06'29" West, a chord distance of 29.26 feet to the point of tangency;
7. South 2°05'36" West, a distance of 38.00 feet to a point;
8. South 87°54'24" West, a distance of 5.50 feet to a point of curvature;
9. With the arc of a curve to the left, having a radius of 67.91 feet, a central angle of 25°30'01", an arc length of 30.23 feet, the chord of which bears South 77°58'57" West, a chord distance of 29.98 feet to the point of tangency;
10. South 65°13'56" West, a distance of 11.21 feet to a point;
11. North 5°36'43" West, a distance of 196.63 feet to a point in the northerly line of said 2.857-acre tract;

Thence South 87°51'00" East, along said northerly line, a distance of 70.00 feet to a point;

Thence again into and through said 2.857-acre tract the following courses:

1. South 2°09'00" West, a distance of 75.00 feet to a point;
2. South 42°52'46" East, a distance of 27.47 feet to a point;
3. South 87°54'24" East, a distance of 80.00 feet to a point;
4. North 2°04'50" East, a distance of 8.85 feet to a point;
5. South 87°54'24" East, a distance of 140.00 feet to a point;
6. North 0°20'56" East, a distance of 41.25 feet to a point;
7. South 89°39'04" East, a distance of 52.00 feet to the **TRUE PLACE OF BEGINNING**.

Bearings herein are based on GPS observations of the Ohio State Plane Coordinate System, South Zone, NAD 83 (2011), establishing a bearing of North 87°54'24" West for Woerner Temple Road.

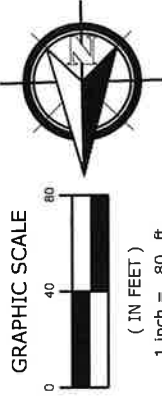
This description was prepared by IBI Group, based on information obtained from an actual field survey of the premises performed in February 2022.



IBI GROUP

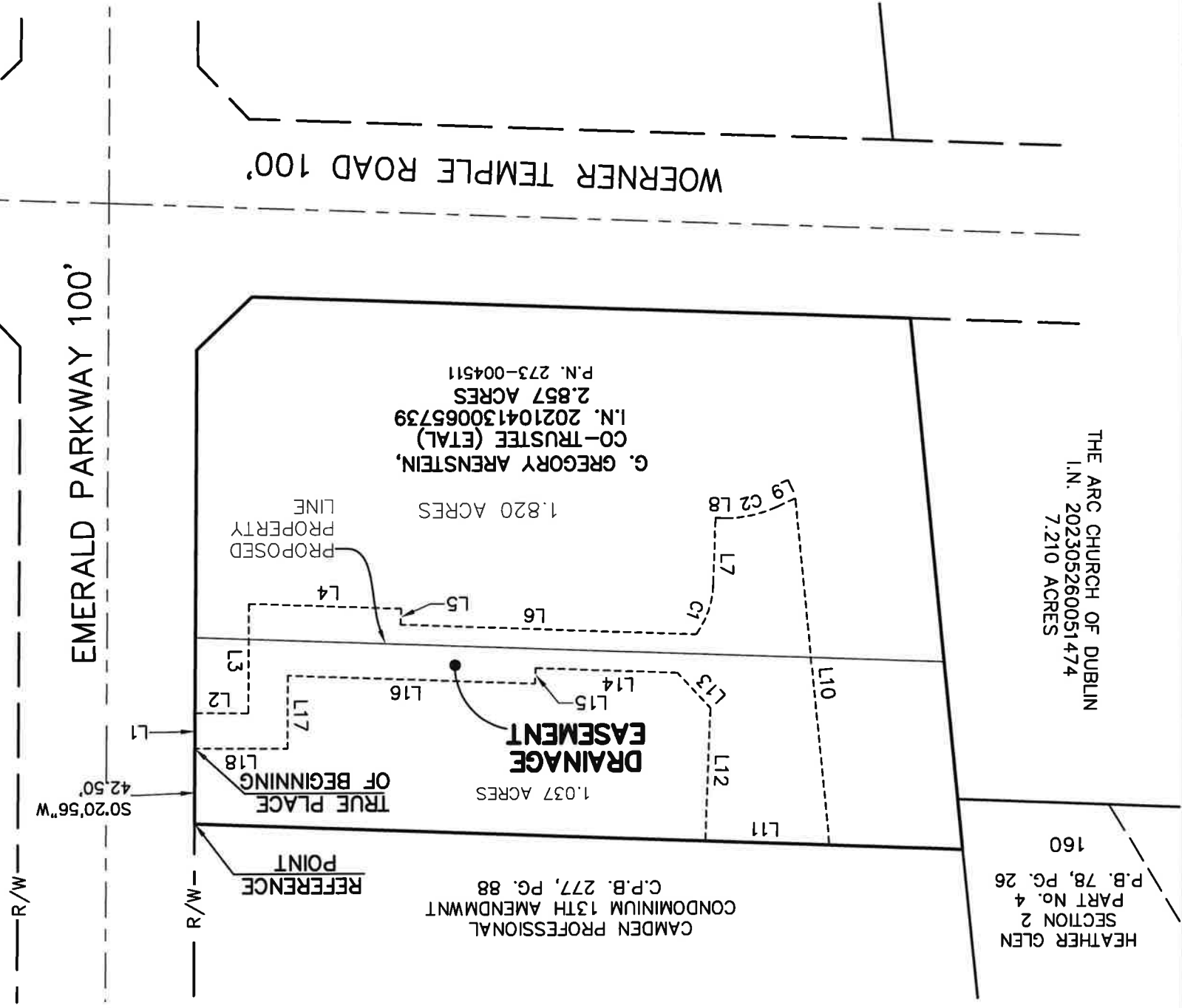
8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

DRAINAGE EASEMENT EXHIBIT EMERALD PARKWAY & WOERNER TEMPLE ROAD DUBLIN, OHIO



Curve Table				
Curve #	Length	Radius	Delta	CB
C1	29.70'	50.00'	34°01'47"	S19°06'29"W 29.26'
C2	30.23'	67.91'	25°30'01"	S77°58'57"W 29.98'
CHORD				

Line Table		
Line #	Length	Direction
L1	20.00'	S0°20'56"W
L2	30.00'	N89°39'04"W
L3	61.79'	S0°20'56"W
L4	86.07'	N87°54'24"W
L5	9.00'	N2°05'36"E
L6	167.00'	N87°54'24"W
L7	38.00'	S2°05'36"W
L8	5.50'	S87°54'24"E
L9	11.21'	S65°13'56"W
L10	196.63'	N5°36'43"W
L11	70.00'	S87°51'00"E
L12	75.00'	S2°09'00"W
L13	27.47'	S42°52'46"E
L14	80.00'	S87°54'24"E
L15	8.85'	N2°04'50"E
L16	140.00'	S87°54'24"E
L17	41.25'	N0°20'56"E
L18	52.00'	S89°39'04"E



DESCRIPTION OF 1.820 ACRES
NORTH OF WOERNER TEMPLE ROAD
WEST OF EMERALD PARKWAY
CITY OF DUBLIN, OHIO

Situated in the State of Ohio, County of Franklin, City of Dublin, being part of Virginia Military Survey Number 3011, also being part of that 2.857-acre tract as described in a deed to G. Gregory Arenstein, Co-Trustee (et al), of record in Instrument Number 202104130065739, all references herein being to the records of the Recorder's Office, Franklin County, Ohio, and being more particularly described as follows:

Beginning **FOR REFERENCE** at an iron pin set in the westerly line of said 2.857-acre tract and at the southeasterly corner of Heather Glen Section 2, Part 4, a subdivision of record in Plat Book 78, Page 26 and at the northeasterly corner of that 7.210-acre tract as described in a deed to Faith Evangelical Free Church of Central Ohio, of record in Official Record Volume 13723, Page G03; thence South 5°36'43" East, along the easterly line of said 7.210-acre tract, a distance of 77.98 feet to an iron pin set at the **TRUE PLACE OF BEGINNING**:

Thence South 87°54'24" East, through said 2.857-acre tract with a new division line, a distance of 423.38 feet to an iron pin set in the westerly right-of-way line of Emerald Parkway, 100 feet in width, as conveyed to the City of Dublin, Ohio and being part of a 7.904-acre tract of record in Official Record Volume 31969, Page B10;

Thence South 0°20'56" West, along said right-of-way line, a distance of 162.16 feet to an iron pin set at an angle point;

Thence South 46°13'16" West, continuing along said right-of-way line, a distance of 43.07 feet to an iron pin set at the intersection of the northerly right-of-way line of Woerner Temple Road, 100 feet in width, being also in the perimeter of said 7.904-acre tract;

Thence North 87°54'24" West, along said northerly right-of-way line, a distance of 372.22 feet to an iron pin found capped "M-E Companies" at the southwesterly corner of said 2.857-acre tract and the southeasterly corner of said 7.210-acre tract;

Thence North 5°36'43" West, along the easterly line of said 7.210-acre tract, a distance of 194.76 feet to the **TRUE PLACE OF BEGINNING** and containing 1.820 acres of land.

Bearings herein are based on GPS observations of the Ohio State Plane Coordinate System, South Zone, NAD 83 (2011), establishing a bearing of North 87°54'24" West for Woerner Temple Road.

Iron pins set consist of a 5/8-inch rebar, 30 inches long with an orange plastic cap stamped "IBI Group, S-6872/S-7740".

This description was prepared by IBI Group, based on information obtained from an actual field survey of the premises performed in February 2022.



IBI Group Survey

By Robert S. Wynd Date 2/17/22

Robert S. Wynd
Registered Surveyor No. 6872

PRELIMINARY APPROVAL.
Cornell R. Robertson, P.E., P.S.

BY: ajstuart
02/17/2022



PENDING ORIGINALS

*Submitted via digital format

Please return this approval, along with the original description and plat of survey, as prepared by the surveyor, signed, sealed and dated in blue ink.

EXHIBIT "A" LEGAL DESCRIPTION

File No.: 1089805

Situated in the State of Ohio, County of Franklin, City of Dublin, Virginia Military Survey No. 3011, being part of that original 54.795 acre tract of land as described in a deed to RR Partners, of record in Official Record 31014, Page C03, all references herein being to the records of the Recorder's Office, Franklin County, Ohio and being more particularly described as follows:

Beginning FOR REFERENCE at a permanent marker found (1-inch iron pipe with cap "M-E Companies/S-6872" in 4-inch diameter concrete) at the northeasterly corner of Trinity Park Section 2, Phase 1, a subdivision of record in Plat Book 82, Pages 98 and 99, the northwesterly corner of Tuttle Crossing North Section 2, a subdivision of record in Plat Book 111, Pages 48 and 49, in the southerly right of way line of Woerner Temple Road (100 feet in width), and in a westerly line of said 54.795-acre tract; thence North 06° 46' 38" West, crossing Woerner Temple Road, a distance of 100.91 feet to an iron pin set at the southeasterly corner of that 7.210-acre tract of land described in a deed to Faith Evangelical Free Church of Central Ohio, of record in Official Record 13723, Page G03, in the northerly right of way line of Woerner Temple Road, and being the TRUE PLACE OF BEGINNING;

Thence North 06° 46' 38" West, along the easterly line of said 7.210-acre tract, a distance of 272.74 feet to an iron pin found (no cap) at the northeasterly corner of same, and at the southeasterly corner of Lot 160 of Heather Glen Section Number 2, Part Number 4, a subdivision of record in Plat Book 78, Page 26;

Thence North 06° 56' 38" West, along the easterly line of said Lot 160, a distance of 28.30 feet to an iron pin set at the southwesterly corner of that original 4.216-acre tract as described in a deed to MBCS Properties, LLC, of record in Instrument No. 200409300227735;

Thence South 89° 04' 19" East, along the southerly line of said 4.216-acre tract, a distance of 434.51 feet to an iron pin set in the westerly right of way line of Emerald Parkway (100 feet in width);

Thence South 00° 48' 58" East, along said right of way line, a distance of 267.53 feet to an iron pin set; Thence South 45° 03' 21" West, along the right of way line between Emerald Parkway and Woerner Temple Road, a distance of 43.07 feet to a drill hole set in the concrete sidewalk;

Thence North 89° 04' 19" West, along the northerly right of way line of Woerner Temple Road, a distance of 372.22 feet to the TRUE PLACE OF BEGINNING and containing 2.857 acres of land.

Bearings herein are based on North 89° 04' 19" West for Woerner Temple Road as indicated on the plat "Tuttle Crossing North Section 2", of record in Plat Book 111, Pages 48 and 49.

Iron pins set consist of a 1" (O.D.) iron pipe, 30" long with a plastic cap inscribed "M-E Companies/S-6872".

This description was prepared by M-E Companies, Inc. based on actual field surveys of the premises.

Parcel Number 273-004511-00

ALL OF:
(273)
004511



DESCRIPTION OF 1.820 ACRES
NORTH OF WOERNER TEMPLE ROAD
WEST OF EMERALD PARKWAY
CITY OF DUBLIN, OHIO

Situated in the State of Ohio, County of Franklin, City of Dublin, being part of Virginia Military Survey Number 3011, also being part of that 2.857-acre tract as described in a deed to Gregory Arenstein, Co-Trustee (et al), of record in Instrument Number 202104130065739, all references herein being to the records of the Recorder's Office, Franklin County, Ohio, and being more particularly described as follows:

Beginning **FOR REFERENCE** at an iron pin set in the westerly line of said 2.857-acre tract and at the southeasterly corner of Heather Glen Section 2, Part 4, a subdivision of record in Plat Book 78, Page 26 and at the northeasterly corner of that 7.210-acre tract as described in a deed to Faith Evangelical Free Church of Central Ohio, of record in Official Record Volume 13723, Page G03; thence South 5°36'43" East, along the easterly line of said 7.210-acre tract, a distance of 77.98 feet to an iron pin set at the **TRUE PLACE OF BEGINNING**:

Thence South 87°54'24" East, through said 2.857-acre tract with a new division line, a distance of 423.38 feet to an iron pin set in the westerly right-of-way line of Emerald Parkway, 100 feet in width, as conveyed to the City of Dublin, Ohio and being part of a 7.904-acre tract of record in Official Record Volume 31969, Page B10;

Thence South 0°20'56" West, along said right-of-way line, a distance of 162.16 feet to an iron pin set at an angle point;

Thence South 46°13'16" West, continuing along said right-of-way line, a distance of 43.07 feet to an iron pin set at the intersection of the northerly right-of-way line of Woerner Temple Road, 100 feet in width, being also in the perimeter of said 7.904-acre tract;

Thence North 87°54'24" West, along said northerly right-of-way line, a distance of 372.22 feet to an iron pin found capped "M-E Companies" at the southwesterly corner of said 2.857-acre tract and the southeasterly corner of said 7.210-acre tract;

Thence North 5°36'43" West, along the easterly line of said 7.210-acre tract, a distance of 194.76 feet to the **TRUE PLACE OF BEGINNING** and containing 1.820 acres of land.

Bearings herein are based on GPS observations of the Ohio State Plane Coordinate System, South Zone, NAD 83 (2011), establishing a bearing of North 87°54'24" West for Woerner Temple Road.

Iron pins set consist of a 5/8-inch rebar, 30 inches long with an orange plastic cap stamped "IBI Group, S-6872/S-7740".

This description was prepared by IBI Group, based on information obtained from an actual field survey of the premises performed in February 2022.



IBI Group Survey

By Robert S. Wynd Date 2/17/22

Robert S. Wynd
Registered Surveyor No. 6872

PRELIMINARY APPROVAL.
Connell R. Robertson, P.E., P.S.

BY: ajstuart
02/17/2022

PENDING ORIGINALS

*Submitted via digital format

Please return this approval, along with the original description and plat of survey, as prepared by the surveyor, signed, sealed and dated in blue ink.

**DESCRIPTION OF AN ACCESS EASEMENT
LOCATED WITHIN THAT 2.857 ACRE TRACT
NORTH OF WOERNER TEMPLE ROAD
WEST OF EMERALD PARKWAY
CITY OF DUBLIN, OHIO**

Situated in the State of Ohio, County of Franklin, City of Dublin, being a strip of land located within that 2.857-acre tract as described in a deed to G. Gregory Arenstein, Co-Trustee (et al), of record in Instrument Number 202104130065739, Recorder's Office, Franklin County, Ohio, and being more particularly described as follows:

Beginning **FOR REFERENCE** at the southwesterly corner of said 2.857-acre tract and in the northerly right-of-way line of Woerner Temple Road; thence South 87°54'24" East, along said right-of-way line, a distance of 73.14 feet to the **TRUE PLACE OF BEGINNING**:

Thence into and through said 2.857-acre tract the following courses:

1. With the arc of a non-tangent curve to the left, having a radius of 55.00 feet, a central angle of 24°26'41", an arc length of 23.47 feet, the chord of which bears North 37°43'49" East, a chord distance of 23.29 feet to the point of tangency;
2. North 25°30'42" East, a distance of 37.74 feet to a point of curvature;
3. With the arc of a curve to the left, having a radius of 55.00 feet, a central angle of 23°25'07", an arc length of 22.48 feet, the chord of which bears North 13°48'09" East, a chord distance of 22.32 feet to the point of tangency;
4. North 2°05'36" East, a distance of 78.60 feet to a point of curvature;
5. With the arc of a curve to the right, having a radius of 50.00 feet, a central angle of 90°00'00", an arc length of 78.54 feet, the chord of which bears North 47°05'36" East, a chord distance of 70.71 feet to the point of tangency;
6. South 87°54'24" East, a distance of 162.90 feet to a point of curvature;
7. With the arc of a curve to the left, having a radius of 25.00 feet, a central angle of 91°44'39", an arc length of 40.03 feet, the chord of which bears North 46°13'16" East, a chord distance of 35.89 feet to the point of tangency;
8. North 0°20'56" East, a distance of 39.36 feet to a point of curvature;
9. With the arc of a curve to the right, having a radius of 25.00 feet, a central angle of 90°06'21", an arc length of 39.32 feet, the chord of which bears North 45°24'07" East, a chord distance of 35.39 feet to the point of tangency;
10. South 89°32'43" East, a distance of 18.70 feet to a point of curvature;
11. With the arc of a curve to the left, having a radius of 25.00 feet, a central angle of 19°16'17", an arc length of 8.41 feet, the chord of which bears North 80°49'09" East, a chord distance of 8.37 feet to a point in the westerly right-of-way line of Emerald Parkway;

Thence South 0°20'56" West, along said right-of-way line, a distance of 26.06 feet to a point;

Thence again into and through said 2.857-acre tract the following courses;

1. With the arc of a non-tangent curve to the left, having a radius of 20.00 feet, a central angle of 120°00'00", an arc length of 41.89 feet, the chord of which bears South 60°20'56" West, a chord distance of 34.64 feet to the point of tangency;
2. South 0°20'56" West, a distance of 39.86 feet to a point of curvature;
3. With the arc of a curve to the right, having a radius of 30.00 feet, a central angle of 91°44'39", an arc length of 48.04 feet, the chord of which bears South 46°13'16" West, a chord distance of 43.07 feet to the point of tangency;
4. North 87°54'24" West, a distance of 180.43 feet to a point of curvature;
5. With the arc of a curve to the left, having a radius of 28.00 feet, a central angle of 90°00'00", an arc length of 43.98 feet, the chord of which bears South 47°05'36" West, a chord distance of 39.60 feet to the point of tangency;
6. South 2°05'36" West, a distance of 96.44 feet to a point;
7. South 3°54'24" East, a distance of 22.02 feet to a point of curvature;
8. With the arc of a curve to the left, having a radius of 69.85 feet, a central angle of 33°47'22", an arc length of 41.19 feet, the chord of which bears South 26°24'02" East, a chord distance of 40.60 feet to a point in the northerly right-of-way line of Woerner Temple Road;

Thence North 87°54'24" West, along said right-of-way line, a distance of 66.77 feet to the **TRUE PLACE OF BEGINNING**.

Bearings herein are based on GPS observations of the Ohio State Plane Coordinate System, South Zone, NAD 83 (2011), establishing a bearing of North 87°54'24" West for Woerner Temple Road.

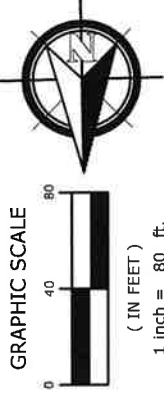
This description was prepared by IBI Group, based on information obtained from an actual field survey of the premises performed in February 2022.



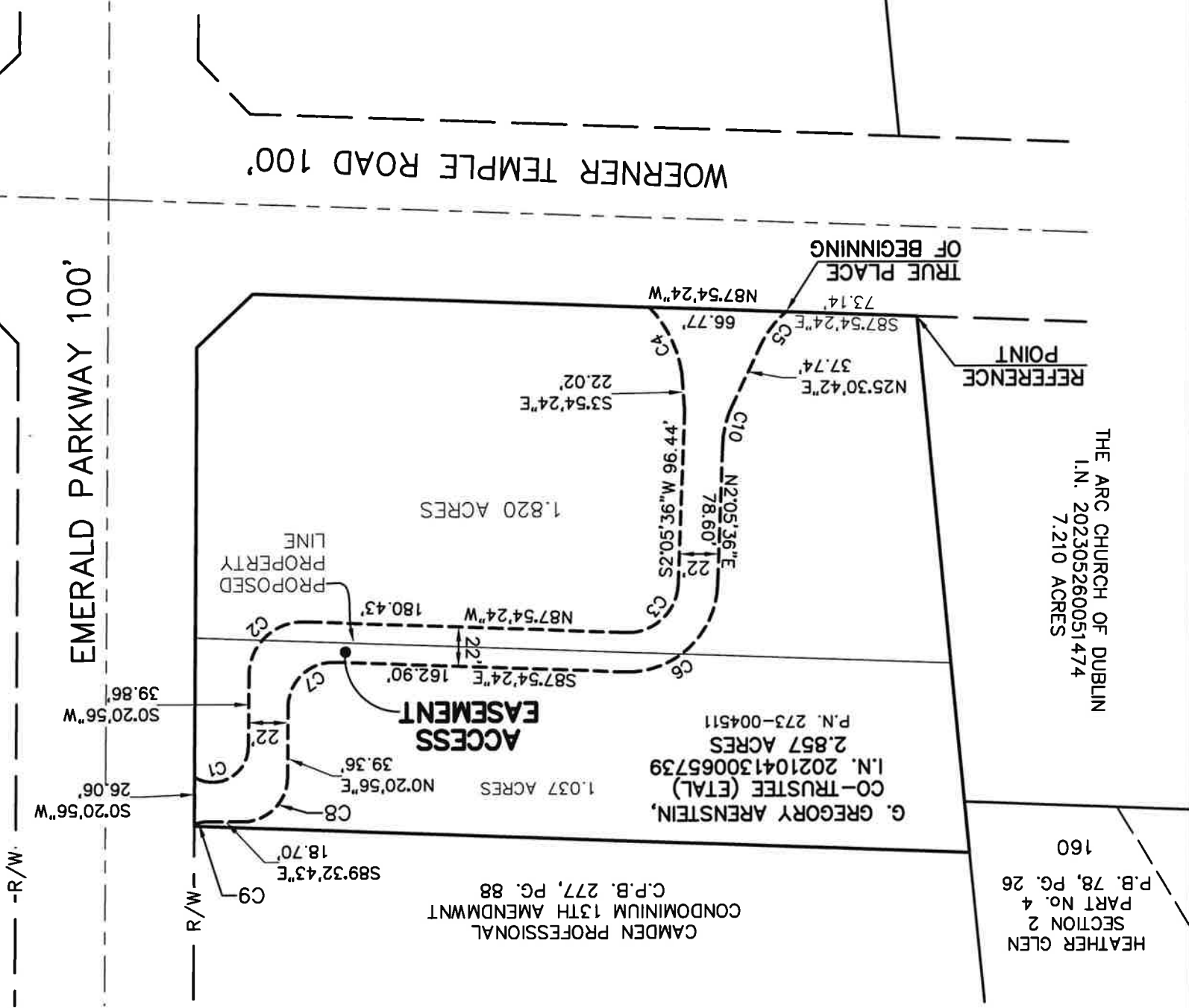
IBI GROUP

8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

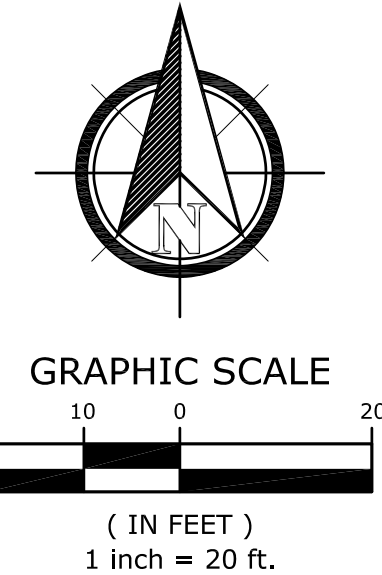
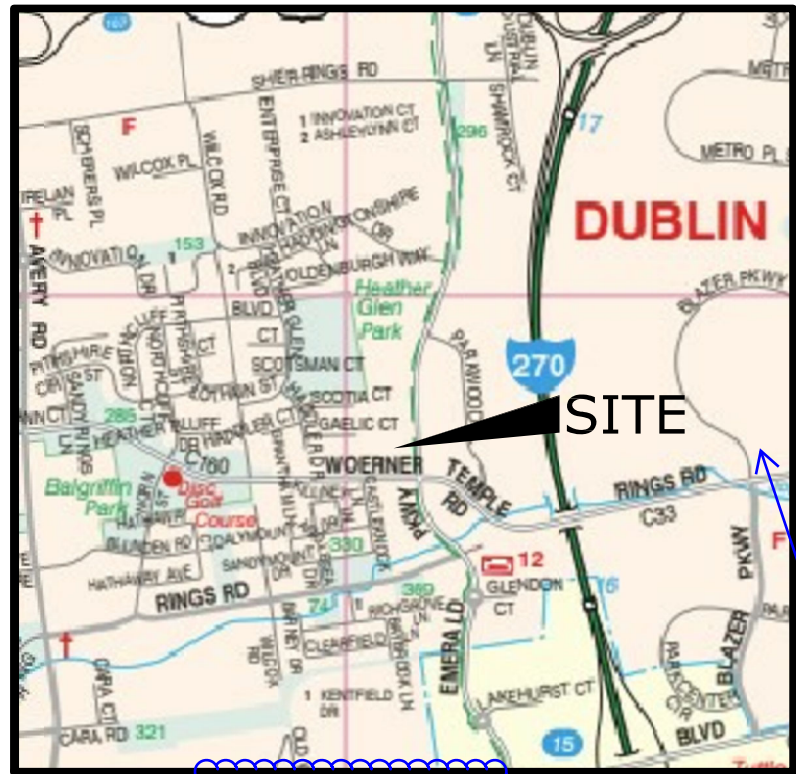
ACCESS EASEMENT EXHIBIT EMERALD PARKWAY & WOERNER TEMPLE ROAD DUBLIN, OHIO



Curve Table				
Curve #	Length	Radius	Delta	Chord
C1	41.89'	20.00'	S60°20'56"W	34.64'
C2	48.04'	30.00'	S46°13'16"W	43.07'
C3	43.98'	28.00'	S47°05'36"W	39.60'
C4	41.19'	69.85'	S26°24'02"E	40.60'
C5	23.47'	55.00'	N37°43'49"E	23.29'
C6	78.54'	50.00'	N47°05'36"E	70.71'
C7	40.03'	25.00'	N46°13'16"E	35.89'
C8	39.32'	25.00'	N45°24'07"E	35.39'
C9	8.41'	25.00'	N80°49'09"E	8.37'
C10	22.48'	55.00'	N13°48'09"E	22.32'



Reviewed
04/03/2023
Christopher M. Tebbe, P.E.



LOCATION MAP
Vicinity Map

Avoid copied raster maps and use vector map (B&W or grayscale)

Response: Complied

PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

ENGINEER
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

Is this the intended name of the subdivision? The proposed name of the subdivision shall not duplicate the name of any other subdivision already in use in Franklin County.

- Response: Yes, this is the name and is not a duplication.
- ALL UTILITIES SHOWN HEREON ARE EXISTING
 - ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

LEGEND

	STORM SEWER INLET		SIGN
	WATERLINE		WATER VALVE
	SANITARY SEWER		SANITARY MANHOLE
	STORM SEWER		STORM SEWER MANHOLE
	FIRE HYDRANT		IRON PIN FOUND
	UTILITY BOX		TRAFFIC BOX
	LIGHT POLE		IRON PIN SET

Provide:
The location of present property, section and Congressional Township Lines, U.S. Survey

Response: Not applicable as this site is VMS. A reference to VMS 3011 has been added under the plat name.

The names of the record owners of adjoining parcels

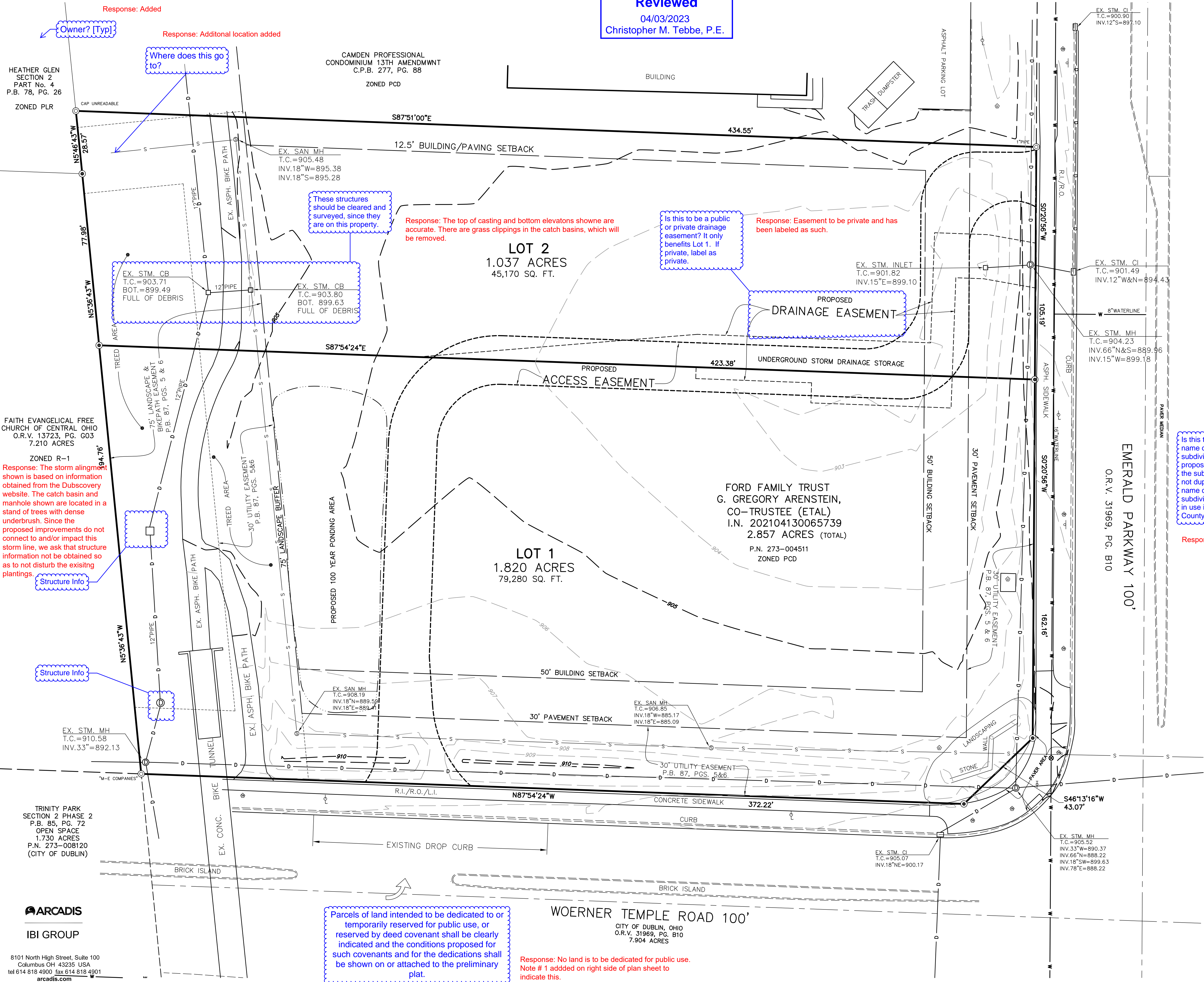
Response: Complied

Provide Date of this submission

Response: Date added in bottom right corner

Is there existing zoning/limitation text that should be included with this plat? If so, provide.

Response: No limitation text is proposed. Note # 2 was added to indicate the development is to keep with the PCD zoning text for the Thomas/Kohler property, January 2002, Subarea C.



Parcels of land intended to be dedicated to or temporarily reserved for public use, or reserved by deed covenant shall be clearly indicated and the conditions proposed for such covenants and for the dedications shall be shown on or attached to the preliminary plat.

Response: No land is to be dedicated for public use. Note # 1 added on right side of plan sheet to indicate this.

Response: Added

Owner? [Typ]

Response: Additional location added

Where does this go to?

These structures should be cleared and surveyed, since they are on this property.

Response: The top of casting and bottom elevations shown are accurate. There are grass clippings in the catch basins, which will be removed.

Is this to be a public or private drainage easement? It only benefits Lot 1. If private, label as private.

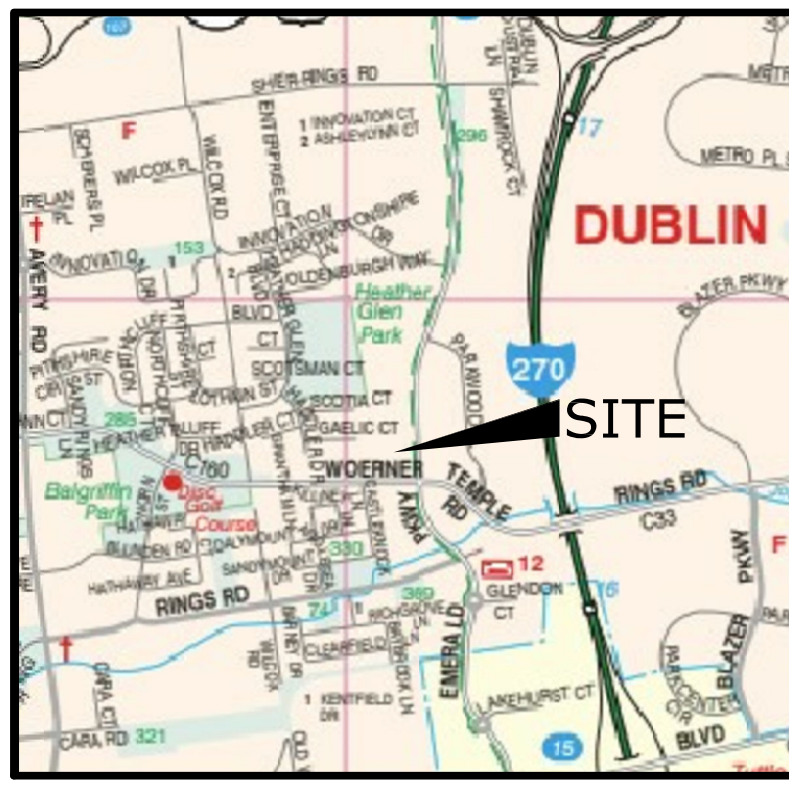
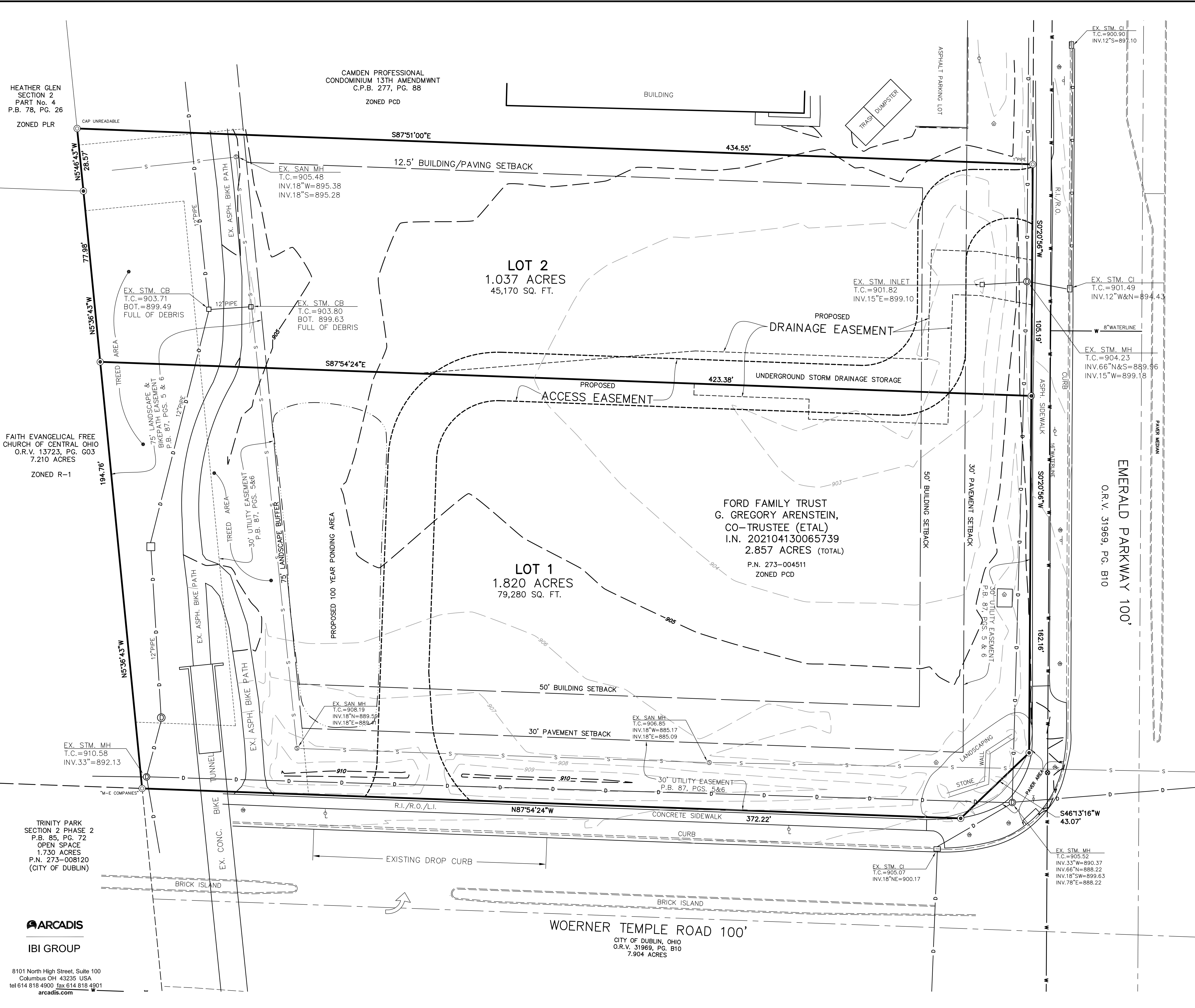
Response: Easement to be private and has been labeled as such.

Response: The storm alignment shown is based on information obtained from the Dubscopy website. The catch basin and manhole shown are located in a stand of trees with dense underbrush. Since the proposed improvements do not connect to and/or impact this storm line, we ask that structure information not be obtained so as to not disturb the existing plantings.

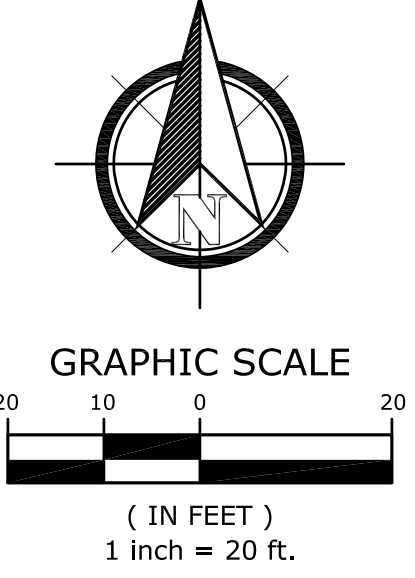
Structure Info

Structure Info

ARCADIS
IBI GROUP
8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com



LOCATION MAP



PRELIMINARY PLAT TUTTLE CROSSING NORTH SECTION 3

NORTHWEST CORNER EMERALD PARKWAY &
WOERNER TEMPLE ROAD

OWNER
FORD FAMILY TRUST
G. GREGORY ARENSTEIN, CO-TRUSTEE et al (4)
6740 AVERY MUIRFIELD DRIVE, STE. B
DUBLIN, OHIO 43017-1240

DEVELOPER
RR PARTNERS
CHARLES DRISCOLL, V.P.
495 SOUTH HIGH STREET, STE. 150
TELE: (614) 241-2070

ENGINEER
ARCADIS IBI GROUP
8101 N. HIGH STREET, STE. 100
COLUMBUS, OHIO 43235
ATTN: BOB WYND, P.S.
TELE: (614) 361-5863

- ALL UTILITIES SHOWN HEREON ARE EXISTING
- ALL EASEMENTS SHOWN HEREON ARE EXISTING UNLESS LABELED "PROPOSED"

This Preliminary Plat, consisting of two lots, provides for building sites to facilitate office development in keeping with the existing PCD zoning for the Thomas/Kohler Property, January 2002.

LEGEND

- | | | | |
|-------|-------------------|---|---------------------|
| □ □ | STORM SEWER INLET | — | SIGN |
| — w — | WATERLINE | ⊗ | WATER VALVE |
| — s — | SANITARY SEWER | ⊙ | SANITARY MANHOLE |
| — d — | STORM SEWER | ⊕ | STORM SEWER MANHOLE |
| ⊕ | FIRE HYDRANT | ⊙ | IRON PIN FOUND |
| ⊕ | UTILITY BOX | ⊕ | TRAFFIC BOX |
| ⊕ | LIGHT POLE | ⊕ | IRON PIN SET |

Add to existing statement: Provide statement conforming to 152.018C1 - Statement of proposed use of lots, giving type and number of dwelling units and type of business or industry, if known.

Response: Statement added. Note that this statement is included in note # 2.

HEATHER GLEN SECTION 2 PART No. 4 P.B. 78, PG. 26 ZONED PLR

CAMDEN PROFESSIONAL CONDOMINIUM 13TH AMENDMNT C.P.B. 277, PG. 88 ZONED PCD

FAITH EVANGELICAL FREE CHURCH OF CENTRAL OHIO O.R.V. 13723, PG. 603 7.210 ACRES ZONED R-1

LOT 2
1.037 ACRES
45,170 SQ. FT.

LOT 1
1.820 ACRES
79,280 SQ. FT.

FORD FAMILY TRUST
G. GREGORY ARENSTEIN,
CO-TRUSTEE (ETAL)
I.N. 202104130065739
2.857 ACRES (TOTAL)
P.N. 273-004511
ZONED PCD

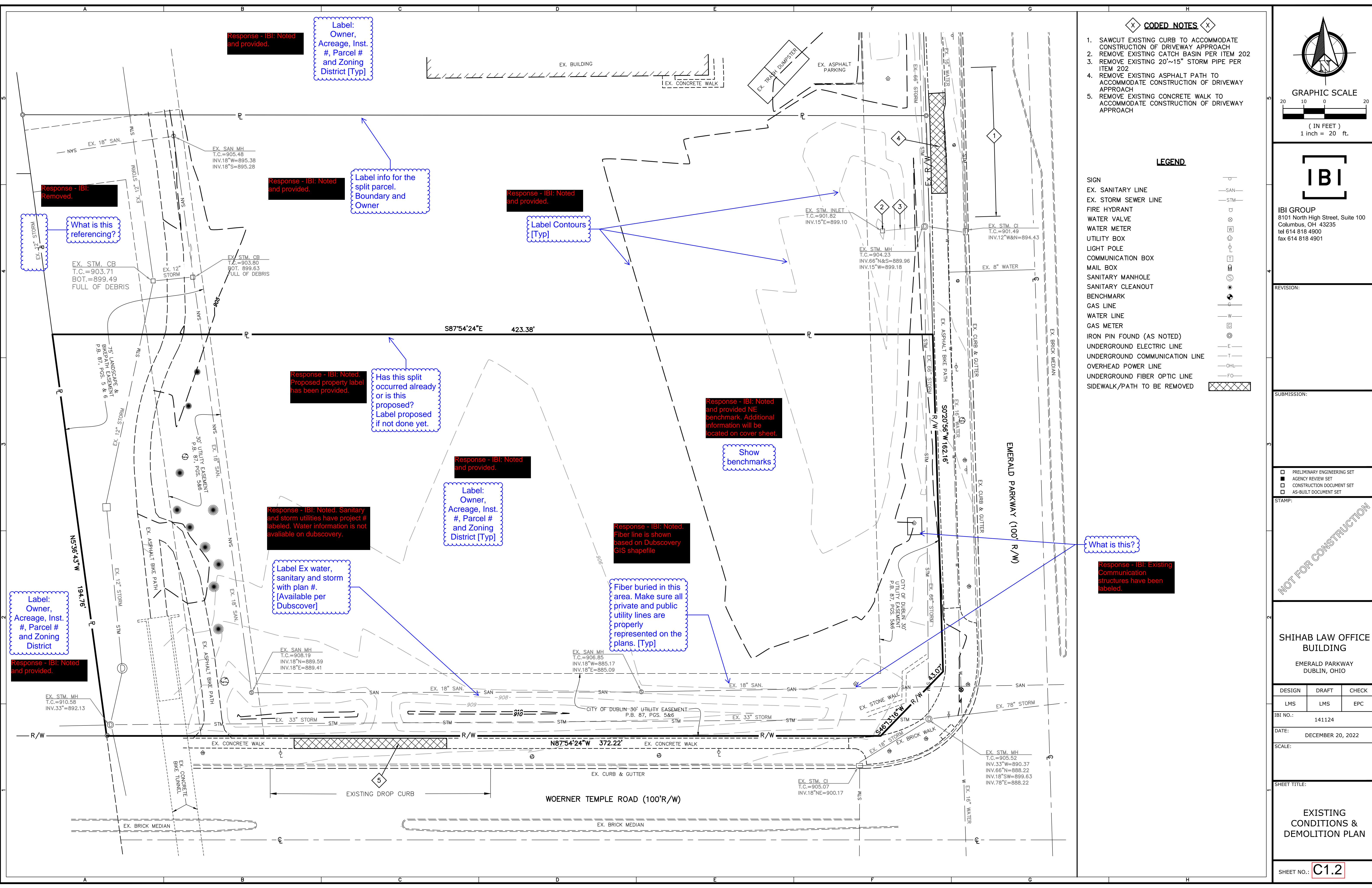
TRINITY PARK SECTION 2 PHASE 2 P.B. 65, PG. 72 OPEN SPACE 1.730 ACRES P.N. 273-008120 (CITY OF DUBLIN)

ARCADIS
IBI GROUP

8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

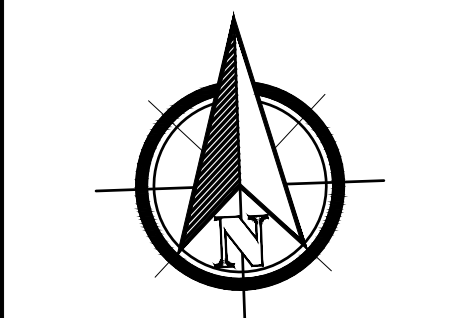
WOERNER TEMPLE ROAD 100'
CITY OF DUBLIN, OHIO
O.R.V. 31969, PG. B10
7.904 ACRES

J:\119862_RK_Tuttle\5.9 Drawings\basemap\survey\PRELIMINARY PLAT.dwg by: david.chess on 03/20/2023 @ 06:57:23 am ~ © IBI Group

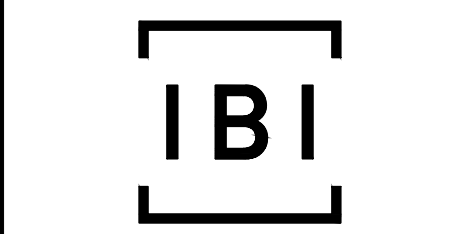


CODED NOTES

1. SAWCUT EXISTING CURB TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
2. REMOVE EXISTING CATCH BASIN PER ITEM 202
3. REMOVE EXISTING 20"~15" STORM PIPE PER ITEM 202
4. REMOVE EXISTING ASPHALT PATH TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH
5. REMOVE EXISTING CONCRETE WALK TO ACCOMMODATE CONSTRUCTION OF DRIVEWAY APPROACH



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



IBI GROUP
8101 North High Street, Suite 100
Columbus, OH 43235
tel 614 818 4900
fax 614 818 4901

LEGEND

- SIGN
- EX. SANITARY LINE
- EX. STORM SEWER LINE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- UTILITY BOX
- LIGHT POLE
- COMMUNICATION BOX
- MAIL BOX
- SANITARY MANHOLE
- SANITARY CLEANOUT
- BENCHMARK
- GAS LINE
- WATER LINE
- GAS METER
- IRON PIN FOUND (AS NOTED)
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND COMMUNICATION LINE
- OVERHEAD POWER LINE
- UNDERGROUND FIBER OPTIC LINE
- SIDEWALK/PATH TO BE REMOVED

REVISION:

SUBMISSION:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE BUILDING
EMERALD PARKWAY
DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124

DATE: DECEMBER 20, 2022

SCALE:

SHEET TITLE:

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NO.: **C1.2**

Label:
Owner,
Acreage, Inst
#, Parcel #
and Zoning
District [Typ]

Response - IBI. Noted
and provided.

Response - IBI. Noted
and provided.

Label info for the
split parcel.
Boundary and
Owner

Response - IBI. Noted
and provided.

Label Contours
[Typ]

Response - IBI. Noted.
Proposed property label
has been provided.

Has this split
occurred already
or is this
proposed?
Label proposed
if not done yet.

Response - IBI. Noted
and provided.

Label:
Owner,
Acreage, Inst
#, Parcel #
and Zoning
District [Typ]

Response - IBI. Noted. Sanitary
and storm utilities have project #
labeled. Water information is not
available on dubscovery.

Label Ex water,
sanitary and storm
with plan #.
[Available per
Dubscovery]

Response - IBI. Noted.
Fiber line is shown
based on Dubscovery
GIS shapefile

Fiber buried in this
area. Make sure all
private and public
utility lines are
properly
represented on the
plans. [Typ]

Response - IBI. Noted
and provided. NE
benchmark. Additional
information will be
located on cover sheet.

Show
benchmarks

What is this?

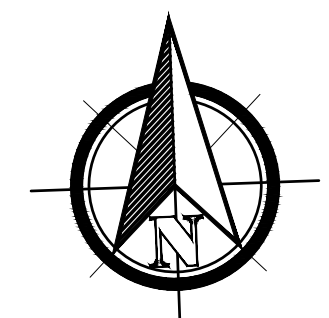
Response - IBI. Existing
Communication
structures have been
labeled.

Response - IBI. Noted
and provided.

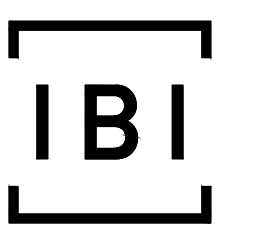
What is this
referencing?

Label:
Owner,
Acreage, Inst
#, Parcel #
and Zoning
District

Response - IBI. Noted
and provided.



GRAPHIC SCALE
 20 10 0 10 20
 (IN FEET)
 1 inch = 20 ft.



IBI GROUP
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 Columbus, OH 43235
 tel 614 818 4900
 fax 614 818 4901

REVISION:

SUBMISSION:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:

NOT FOR CONSTRUCTION

SHIHAB LAW OFFICE
 BUILDING
 EMERALD PARKWAY
 DUBLIN, OHIO

DESIGN	DRAFT	CHECK
Design	DIMR	CERCK

IBI No.: 141124

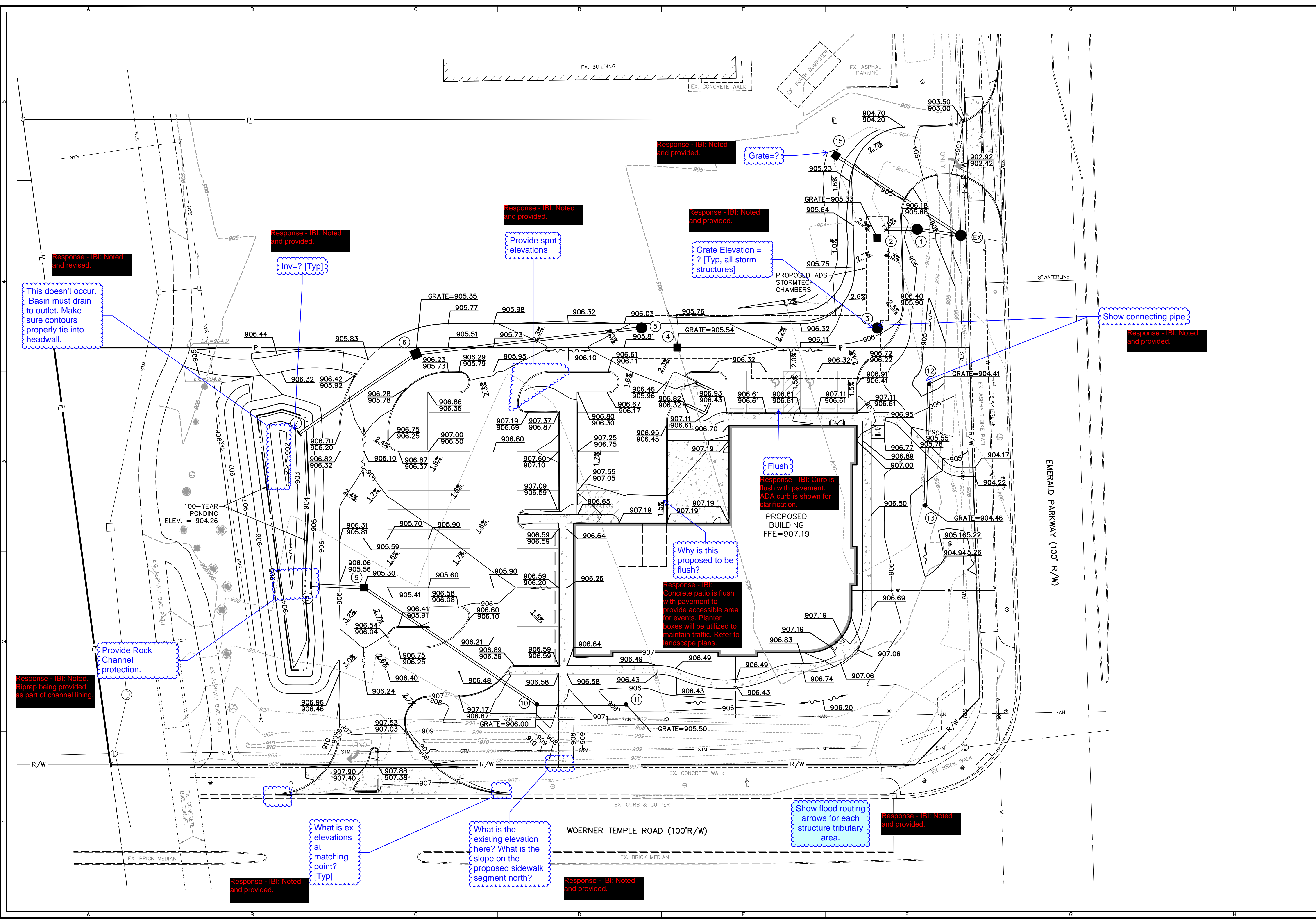
DATE: DECEMBER 20, 2022

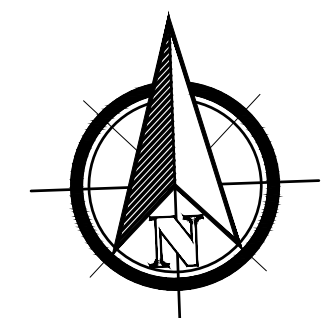
SCALE:

SHEET TITLE:

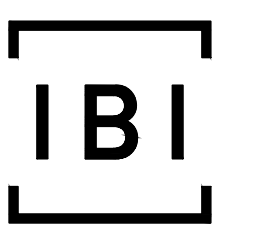
SITE GRADING PLAN

SHEET NO.: **C1.3**





GRAPHIC SCALE
 20 10 0 20
 (IN FEET)
 1 inch = 20 ft.



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 BUILDING
 EMERALD PARKWAY
 DUBLIN, OHIO

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI No.: 141124

DATE: DECEMBER 20, 2022

SCALE:

SHEET TITLE:

SITE UTILITY PLAN

SHEET NO.: C1.4

