

*Preliminary Development Plan Application*

# AMLIN CROSSING

Dublin, Ohio

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# **SECTION 1**

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## Development Overview

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**I. INTRODUCTION**

The Amlin Crossing PD District is intended to create a truly unique neighborhood of diverse housing types within a master-planned community. Using open spaces as organizing elements, the accompanying preliminary development plan provides numerous opportunities for outdoor living and enjoyment with pedestrian connectivity throughout. It includes two types of townhome products along with single-family detached homes, some of which are designed to attract empty nesters as residents and others which will serve a broader market. The architectural designs of homes have been created specifically for Amlin Crossing and provide a style that is unlike anything that exists in Dublin. A mix of front and rear-loaded garages throughout the community also adds to the variety of styles and designs.

The development site is in a location with existing or future conditions that have informed the site plan. An existing residential subdivision in the City of Columbus is south of and adjacent to the site. A railroad track runs along the eastern boundary of the district from southeast to northwest. The City of Dublin’s future thoroughfare plan requires the site to accommodate a significant future street improvement in the form of the Tuttle Parkway Extension to run east-west through the lower half of the site. This accommodation includes the provision of substantial right-of-way dedication, a contemplation of the effect of a future railway overpass for that street, and the provision of vehicular access to the southern portion of the site until such time as the City funds and constructs this major street.

**II. APPLICABILITY**

Development in the Amlin Crossing PD District will comply with the development standards contained in this text. Unless otherwise specified in the submitted drawings or in this text, the development standards of relevant and applicable provisions of the Dublin Zoning Code shall apply. If there is a conflict between the development standards contained in the Dublin Zoning Code and this text, the standards contained in this text shall govern.

The proposed development will include five subareas. Development standards shall apply to all subareas except where specifically identified and limited within this text.

**III. PERMITTED USES**

**A. Subarea A:**

1. Attached residential townhomes,
2. Publicly or privately owned parks and open spaces,
3. Accessory structures for residential uses as defined in Section 153.074 of the Code,

- 4. Accessory uses for residential uses as defined in Section 153.074 of the Code,
- 5. Temporary sales offices and model homes.

**B. Subarea B:**

- 1. Detached single-family homes,
- 2. Publicly or privately owned parks and open spaces,
- 3. Accessory structures for residential uses as defined in Section 153.074 of the Code,
- 4. Accessory uses for residential uses as defined in Section 153.074 of the Code,
- 5. Temporary sales offices and model homes.

**C. Subarea C**

- 1. Public thoroughfares,
- 2. Publicly or privately owned parks and open spaces,

**D. Subarea D**

- 1. Detached single-family patio homes. A “patio home” shall be defined to mean a single-family detached home that is one or one and one-half stories in height and which includes a rear loaded garage.
- 2. Publicly or privately owned parks and open spaces,
- 3. Accessory structures for residential uses as defined in Section 153.074 of the Code,
- 4. Accessory uses for residential uses as defined in Section 153.074 of the Code,
- 5. Temporary sales offices and model homes.

**E. Subarea E**

- 1. Attached residential townhomes,
- 2. Publicly or privately owned parks and open spaces,
- 3. Accessory structures for residential uses as defined in Section 153.074 of the Code,
- 4. Accessory uses for residential uses as defined in Section 153.074 of the Code,
- 5. Temporary sales offices and model homes.

**F. Temporary Sales Offices and Model Homes**

Temporary sales offices shall be permitted to be located within any subarea and shall be permitted to be operated until at least one model home is open for use in every subarea. These offices shall consist of a temporary structure used by a homebuilder or developer to display home styles and lot availability in the subdivision to promote the sale of new housing units. The model homes and temporary sales office may be staffed and furnished. Model homes and temporary sales offices shall be identified for approval as part of a final development plan. Notwithstanding anything to the contrary in the City’s Codified Ordinances, upon approval of a final plat by the City the developer may commence construction of model homes. Construction of model homes may occur in advance of, or in conjunction with, installation of public infrastructure for the subdivision, provided that no certificate of occupancy for any model home shall be issued by the City until such time as public infrastructure serving the model home has been constructed by the developer and has been accepted for ownership by the City.

**III. DENSITY**

**A.** A maximum of 371 residential dwelling units are permitted within the boundary of this PUD.

**B. Subareas:** Each individual subarea is limited to a maximum number of dwelling units as follows:

- a. Subarea A            90
- b. Subarea B            58
- c. Subarea C            0
- d. Subarea D            43
- e. Subarea E            180

**C. Density Transfer:** Transfer of units between subareas A, B, D and E is permitted. The maximum number of residential dwelling units for these subareas may be increased by 10%, provided that the maximum permitted total of 371 residential dwelling units within the PUD is maintained by reducing the unit count in other subareas.

**IV. LOT STANDARDS**

**A. Subarea A:**

**1. Lot Size**

- a. Lot Width: Twenty-two (22) feet minimum.
- b. Lot Depth: Seventy (70) feet minimum.

**2. Lot Setbacks**

- a. Cosgray Road: There shall be a scenic setback along Cosgray Road. This shall be a building and pavement setback of seventy (70) feet from the proposed Cosgray Road right-of-way. Streets, utilities, storm water management, landscaping, shared-use paths, open space, park amenities and entry features may be located within this setback.
- b. Northern Property Boundary: There shall be a minimum building and pavement setback of twenty (20) feet from the northern property boundary.
- c. Public Streets: There shall be a minimum building setback of eight (8) feet from public street rights-of-way.
- d. Public Service Streets: There shall be a minimum building setback of eight (8) feet from public service street rights-of-way. Garage doors shall be setback a minimum of eighteen (18) feet from any public service street it faces.
- e. Adjacent Reserves: There shall be a minimum building setback of five (5) feet from the lot line when adjacent to a reserve.
- f. Front Yard: N/A
- g. Rear yard: N/A
- h. Side yard: There shall be a zero (0) setback between individual units within a building.

**3. Lot Coverage**

- a. Lot Coverage: No maximum

**4. Encroachments**

- a. Steps may encroach up to five (5) feet into all yards and setbacks.

**B. Subarea B:**

**1. Lot Size**

- a. Lot Width: Fifty (50) feet minimum.
- b. Lot Depth: One hundred ten (110) feet minimum.

**2. Lot Setbacks**

- a. Cosgray Road: There shall be a scenic setback along Cosgray Road. This shall be a building and pavement setback of seventy (70) feet from the proposed Cosgray Road

right-of-way. Streets, utilities, storm water management, landscaping, shared-use paths, open space, park amenities and entry features may be located within this setback.

- b. Railroad: There shall be a minimum building and pavement setback of one hundred (100) feet from the railroad right-of-way.
- c. Northern Property Boundary: There shall be a minimum building and pavement setback of twenty (20) feet from the northern property boundary.
- d. Southern Property Boundary: There shall be a minimum building and pavement setback of twenty-five (25) feet from the southern property boundary.
- e. Front Yard: Eight (8) feet minimum, eighteen (18) feet maximum. Garage doors shall be set back a minimum of twenty (20) feet from the right of way or sidewalk, whichever is closer.
- f. Rear yard: Fifteen (15) feet.
- g. Side yard: Six (6) feet.

**3. Lot Coverage**

- a. Lot Coverage: Sixty-five (65) percent maximum.

**4. Encroachments**

- a. Steps may encroach up to five (5) feet into all yards and setbacks.

**C. Subarea C:**

**1. Lot Size**

- a. Lot Width: N/A
- b. Lot Depth: N/A

**2. Lot Setbacks**

- a. Tuttle Crossing Boulevard: There shall be a minimum building and pavement setback of one hundred fifty (150) feet from the right-of-way.
- b. Railroad: There shall be a minimum building setback of one hundred (100) feet from the railroad right-of-way.
- c. Western Property Boundary (Miller Parcel): There shall be a minimum pavement setback of one hundred (100) feet and a minimum building setback of three hundred twenty-five (325) feet from the western property boundary.

**3. Lot Coverage**

- a. Lot Coverage: N/A

**D. Subarea D:**

**1. Lot Size**

- a. Lot Width: Fifty (50) feet minimum.
- b. Lot Depth: One hundred five (105) feet minimum.

**2. Lot Setbacks**

- a. Cosgray Road: There shall be a scenic setback along Cosgray Road. This shall be a building and pavement setback of seventy (70) feet from the proposed Cosgray Road right-of-way. Streets, utilities, storm water management, landscaping, shared-use paths, open space, park amenities and entry features may be located within this setback.
- b. Tuttle Crossing Boulevard: There shall be a minimum building and pavement setback of fifty (50) feet from the right-of-way. Cross streets, utilities, storm water management, landscaping, shared-use paths, open space, park amenities and entry features may be located within this setback.
- c. Public Streets: There shall be a minimum building setback of eight (8) feet from public street rights-of-way.
- d. Public Service Streets: There shall be a minimum building setback of eight (8) feet from public service street rights-of-way. Garage doors shall be setback a minimum of eighteen (18) feet from any public service street it faces.
- e. Adjacent Reserves: There shall be a minimum building setback of five (5) feet from the lot line when adjacent to a reserve
- f. Front Yard: N/A
- g. Rear yard: N/A
- h. Side yard: Six (6) feet for main structures,

**3. Lot Coverage**

- a. Lot Coverage: Sixty-five (65) percent maximum.

**4. Encroachments**

- a. Steps may encroach up to five (5) feet into all yards and setbacks.

- b. Rear load garages may encroach up to three (3) feet into the side yard and reserve setback.

**E. Subarea E:**

**1. Lot Size**

- a. Lot Width: Twenty-two (22) feet minimum.
- b. Lot Depth: Seventy (70) feet minimum.

**2. Lot Setbacks**

- a. Tuttle Crossing Boulevard: There shall be a minimum building and pavement setback of fifty (50) feet from the right-of-way. Cross streets, utilities, storm water management, landscaping, shared-use paths, open space, park amenities and entry features may be located within this setback.
- b. Railroad: There shall be a minimum building setback of one hundred (100) feet from the railroad right-of-way.
- c. Public Streets: There shall be a minimum building setback of eight (8) feet from public street rights-of-way. Garage doors shall be set back a minimum of twenty (20) feet from the right of way or sidewalk, whichever is closer.
- d. Public Service Streets: There shall be a minimum building setback of eight (8) feet from public service street rights-of-way. Garage doors shall be setback a minimum of eighteen (18) feet from any public service street right-of-way it faces.
- e. Adjacent Reserves: There shall be a minimum building setback of five (5) feet from the lot line when adjacent to a reserve.
- f. Front Yard: N/A
- g. Rear yard: N/A
- h. Side yard: There shall be a zero (0) setback between individual units within a building.

**3. Lot Coverage**

- a. Lot Coverage: No maximum

**4. Encroachments**

- a. Steps may encroach up to five (5) feet into all yards and setbacks.



**V. STREET ACCESS AND/OR IMPROVEMENTS**

**A. Access**

**1. Cosgray Road:**

- a. One full-movement site access point shall be provided as indicated on the Preliminary Plan.

**2. Tuttle Crossing Boulevard:**

- a. Two full-movement site access points shall be provided as indicated on the Preliminary Plan.

**3. Filner Road:**

- a. Filner Road shall be extended from the Hayden Farms neighborhood to connect with the proposed street network as indicated on the Preliminary Plan.

**4. Gerlach Road:**

- a. Gerlach Road shall be extended from the Hayden Farms neighborhood to connect with the proposed street network as indicated on the Preliminary Plan.

**5. Ellis Brook Drive:**

- a. Ellis Brook Drive shall be extended from the Hayden Farms neighborhood to connect with the proposed street network as indicated on the Preliminary Plan.

**6. Pedestrian Access:**

- a. A multi-use path shall be provided in the Cosgray Road setback, connecting to and extending the existing pathway stubbed at the south boundary northward. Final alignments and design shall be presented for approval as part of the Final Development Plan.
- b. A multi-use path shall be provided on the north side of Tuttle Crossing Boulevard. Final alignments and design shall be presented for approval as part of the Final Development Plan.
- c. An existing shared-use path shall be extended from the Bishop’s Run neighborhood, along the east side of Mill Springs Drive, connecting to the proposed pedestrian circulation system.
- d. A shared use path, within Reserve C, shall provide a connection from the playground area in Park Place Park to the pedestrian circulation system along Oliver Way. This pathway shall be field located to minimize impacts to the existing trees. Final design

details, including material, shall be presented for approval as part of the Final Development Plan.

**B. Improvements**

Rights-of-way and/or reserves shall be provided to accommodate site development from Cosgray Road eastward and for future extension to the railroad right of way. Required improvements for Tuttle Crossing Boulevard, Cosgray Road and other off-site improvements shall be identified and included in an infrastructure agreement between the developer and the City of Dublin, as approved by City Council, or as a condition of preliminary plat approval if no infrastructure agreement is completed.

**VI. STREET STANDARDS**

**A. Tuttle Crossing Boulevard**

- 1. **Right-of-Way Width:** One hundred sixteen (116) feet minimum

**B. Public Streets**

- 1. **Right-of-Way Width:** Fifty (50) feet minimum
- 2. **Pavement Width:** Twenty-eight (28) feet minimum for all public streets, as measured back-of-curb to back-of-curb
- 3. **Drive Lanes:** Two (2)
- 4. **Parking Lanes:** Parking shall be permitted on one side of public streets internal to the site opposite the waterline and fire hydrants.
- 5. **Tree Lawn:** Seven (7) feet in width.
- 6. **Sidewalk:** Four (4) feet wide minimum; sidewalks shall be concrete and located on both sides of the street except where a shared use path may be utilized in lieu of a sidewalk, as shown on the Pedestrian Circulation Plan.
- 7. **Shared-use path:** Eight (8) feet wide minimum; shared-use paths shall be constructed of asphalt, except when located in front of lots. When located in front of lots, the path shall be constructed of concrete with saw cut joints.

**C. Public Service Streets**

- 1. **Right-of-Way Width:** Twenty-four (24) feet minimum
- 2. **Pavement Width:** Twenty-two (22) feet minimum for all public service streets, as measured to the outside edge of the gutter sections.
- 3. **Drive Lanes:** Two (2)
- 4. **Parking Lanes:** Parking is prohibited.

**VII. UTILITIES**

**A. Design and Construction**

- 1. All utilities shall be designed and constructed to meet the standards established by the City of Dublin Engineer, which includes City of Columbus standards as required.

**B. Location**

- 1. All utilities shall be placed in appropriate locations on the individual lots and reserve areas that will with good faith efforts to preserve existing trees in good or fair condition.

**VIII. STORM WATER MANAGEMENT**

**A. Design and Construction**

- 1. A comprehensive storm water management system shall be developed, following the Ohio EPA and City of Dublin storm water management policies.
- 2. The stormwater management system shall be designed to include both dry and wet basins.

**B. Location**

- 1. Storm water management facilities may be located in any reserve areas or easements. Final design and details will be provided in the Final Development Plan.

**C. Maintenance Responsibility**

- 1. The City of Dublin shall maintain all storm water structures/areas.

**IX. TREE PRESERVATION, REMOVAL AND REPLACEMENT**

**A. Tree Preservation/Removal**

1. It is the intent of the developer to preserve as many good and fair condition trees as possible on site. A good faith effort will be made to preserve existing trees in good and fair condition. The developer will work with staff at the final development plan stage to identify appropriate measures and best practices to ensure continued preservation.
2. A Tree Removal and Preservation Plan will be provided as part of the Final Development Plan.
3. Tree protection fencing shall be shown on the Tree Removal and Preservation Plan at or beyond the critical root zone of all trees to be preserved.
4. City approval of tree protection fencing locations shall be required prior to the issuance of construction permits.
5. If critical root zones of preserved trees cannot be maintained during construction, those impacted trees shall be replaced in accordance with code.

**B. Tree Replacement Plan**

1. If approved by the City Council, tree replacement shall be as outlined below.
  - a. Existing trees removed that measure 6 inches and up to, but not including 24 inches in caliper, in good or fair condition, shall be replaced tree for tree, one replacement tree for every tree removed in good or fair condition.
  - b. Existing trees in good or fair condition, removed that measure 24 inches and greater in caliper shall be replaced “inch per inch”, one replacement inch for every inch removed in good or fair condition.
  - c. Replacement trees shall have a minimum caliper size of 2 ½ inches and may include evergreen species.
  - d. The developer shall be responsible for the replacement of all subject trees affected due to the development of the site.
  - e. All site required tree replacement must be completed prior to the issuance of the first building permit or within 6 months, due to unfavorable weather conditions.
2. Replacement trees may be located in all open space reserve areas.
3. Replacement trees shall be appropriately located to ensure the long-term survival of the replacement trees, per staff approval.

**X. PARKS AND OPEN SPACE**

**A. Dedication**

1. The open space will meet that which is required under the code.
2. Ownership of open space reserves will be coordinated with City Staff and will be provided as part of the Final Development Plan.

**B. Maintenance**

1. Maintenance of open space reserves will be coordinated with City Staff and will be provided as part of the Final Development Plan.

**C. Programming**

1. All reserves shall be programmed in coordination with City Staff and will be provided as part of the Final Development Plan.
2. Open space programming may include shared-use paths, entry features, seating, landscaping, preservation zones, naturalizing zones, plays areas, play fields, seating, open play areas and/or storm water management facilities.
3. Future design and development of parks and open spaces shall be permitted with administrative approval based on the above programming standards.

**XI. ARCHITECTURE**

**A. Architectural Standards**

1. Architectural standards are addressed in this text regarding plan approval, character, diversity, permitted materials and colors, configuration of materials and architectural elements.
2. Unless otherwise set forth herein, all structures shall meet the City of Dublin Zoning Code Residential Appearance Standards.

**B. General Character**

1. The development shall be made of multiple coordinated themed communities. Homes shall be 1 and 2 stories, including two types of townhome products along with single-family detached homes, some of which are designed to attract empty nesters as residents and others which will serve a broader market. A mix of front and rear-loaded garages throughout the community also adds to the variety of styles and designs. The architectural designs of homes have been created specifically for Amlin Crossing and provide a unique style.

**C. Architectural Diversity**

1. The same or similar front elevations shall not be repeated within:
  - a. Two lots on either side of subject lot.
  - b. Three lots directly across the street from the subject lot.
  - c. Any lot on a cul-de-sac bulb.
2. Corner lots apply to the street on which the home’s front facade is situated.
3. A lot diversity matrix will be presented for approval at the final development plan phase.

**D. Themed Communities**

1. Themed or architecturally coordinated communities featuring a specific architectural style with one or more builders may be permitted and are not subject to the diversity standard. In the event that such a community is proposed, the developer shall file a single final development plan for that community with illustrations of representative building elevations and anticipated product mix for review by the Planning Commission.

**E. Plan Approval**

1. The developer shall retain the right of individual plan approval for all home designs within the PUD.

**F. Permitted Building Height**

1. Maximum of thirty-five (35) feet, as measured per code.

**G. Permitted Exterior Materials**

1. Cladding and Siding Materials
  - a. The exterior cladding and siding of all structures shall be finished using all natural materials, including brick, thin brick, stone, manufactured stone, wood, engineered wood, fiber-cement siding products, stucco or any combination thereof.
2. Trim Materials
  - a. Wood, engineered wood, fiber cement, EIFS, PVC, urethane foam, factory finished aluminum/metal or copper.
  - b. Vinyl is permitted for limited use as a trim material for soffit, fascia and vented louvers.

- c. Shutters shall be considered as trim for the purpose of meeting the Residential Appearance Code requirements.

3. Roofing Materials

- a. All homes shall utilize architectural/dimensional asphalt shingles, factory finished metal, wood, slate, concrete, or tile. Standing seam metal roofs are permitted on porches and secondary roofs.

**H. Permitted Exterior Colors**

1. Cladding Colors

- a. Muted colors, natural earth tones, neutrals and whites are permitted.
- b. High-chroma colors are not permitted.

2. Trim Colors

- a. Muted colors, natural earth tones, neutrals and whites, matching or contrasting to siding color, are permitted.
- b. High-chroma colors are not permitted.

3. Roofing Colors

- a. Natural earth tones and/or neutral colors, including black.
- b. High-chroma colors are not permitted.

**I. Configuration of Materials (for primary and accessory structures)**

- 1. Four-sided architecture shall be required so that similar architectural design elements and details shall be consistent throughout all elevations of the structure.
  - a. All sides of a house shall display a high level of quality and architectural interest.
  - b. The majority of a building’s architectural features and treatments shall not be restricted to a single façade.
  - c. Blank facades are not permitted for any detached garages or accessory structures.
  - d. Watertables which extend the entire length of a side or rear elevation shall be considered a design element for the purposes of meeting four-sided architecture requirements.

2. Changes in cladding material shall occur at logical locations, typically at interior corners where one building mass meets another. Masonry transitions at exterior corners are permitted with a minimum 12” material return and trim detail.
3. The number of cladding/siding materials utilized on prominent facades, excluding fenestration and trim details, shall not exceed three (3) materials.

#### **J. Architectural Elements**

1. Prominent Facades
  - a. All street facing elevations must contain at least three design elements, in any combination, per Dublin Zoning Code 153.190.
  - b. All side elevations adjacent to large open spaces and parks must contain at least three design elements, in any combination, per Dublin Zoning Code 153.190.
2. Roofs
  - a. Primary roof pitches shall have a minimum slope of 6:12 rise over run.
  - b. Secondary roofs, such as minor gables, dormers and porch pediments shall be permitted to have minimum slope of 4:12 rise over run. When the primary roof pitch is a gable with the pediment end oriented towards the street a less roof pitch shall be permitted.
  - c. Flat roofs are permitted but must integrate strong cornice lines.
3. Chimneys
  - a. “Cantilevered” or “through-the-wall” chimneys are not permitted.
  - b. All chimneys shall be built on an integral foundation.
  - c. All exterior portions of chimneys shall be finished masonry, consisting of brick, stone, and/or manufactured stone.
4. Garages
  - a. All dwellings shall have an attached or detached garage of sufficient size to accommodate a minimum of two (2) standard sized automobiles, side by side.
  - b. All garage doors shall be decorative in appearance, such as “carriage-style” doors, and shall utilize detail features, such as decorative hinges, handles, locks, brackets and/or windows, as appropriate to the design character of the individual home.
  - c. Garage doors on the front façade of detached dwelling units shall be setback from the primary façade a minimum of two (2) feet and a maximum of six (6) feet.



5. Shutters

- a. Shutters shall be sized to fully cover the adjacent window.
- b. Shutters that are operable or appear as such shall utilize appropriate shutter hardware (s-clips and hinges).
- c. Shutters shall be constructed of wood, vinyl, synthetic, PVC or fiber-cement and shall be painted or have integral color.
- d. Raised Panel, flat panel, louvered and board-and-batten are permitted shutter styles.

6. Front Porches

- a. All dwelling units in subareas A, B and D shall provide a front porch, having a minimum depth of six (6) feet.
- b. All dwelling units in subarea E shall provide a front porch, having a minimum depth of four and one-half (4 1/2) feet.
- c. Front porches may be covered and/or uncovered. Front porches enclosed by glass or screen enclosures are prohibited.

**XII. LANDSCAPING**

**A. Entry Features**

- 1. Entry features may include integrated project signage, landscaping, and irrigation.
- 2. Final location, design, and standards for entry features and related landscaping and signage details shall be presented and approved during the Final Development Plan phase.
- 3. All entry features will be owned and maintained by the homeowner’s association.
- 4. Necessary easements or reserves shall be provided on the final plat.

**B. Street Trees**

- 1. Street trees shall be installed in accordance with the City of Dublin Code. The City Forester shall determine the final type and location.

**C. Private Sidewalks**

- 1. A minimum four (4) feet wide sidewalk shall be required for every residence. This private sidewalk shall extend from the front door to the public sidewalk.

**D. Fencing**

1. Decorative and privacy fences are permitted.
2. Limitations on fencing locations, detailing, materials and heights shall be provided and presented for approval at the final development plan phase.

**E. Mail Facilities**

1. Mail delivery locations and types will be determined by the local postmaster.
2. Limitations on mail facility locations, detailing, materials and heights shall be provided and presented for approval at the final development plan phase.

**F. Cul-de-Sac Islands**

1. Cul-de-sac islands shall be landscaped with lawn and /or plant material. A landscape plan shall be presented for approval as part of the Final Development Plan.
2. Any lawn and/or landscaping within an island shall be maintained by the HOA.

**G. Cosgray Road Landscape Treatment**

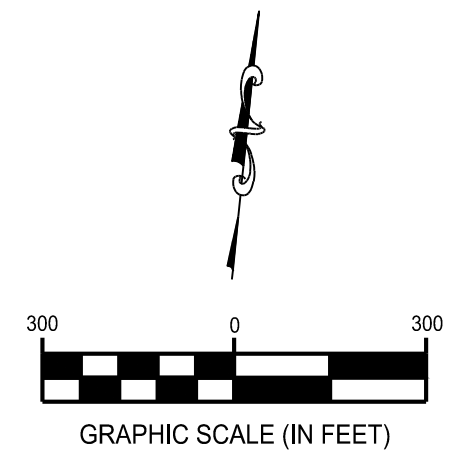
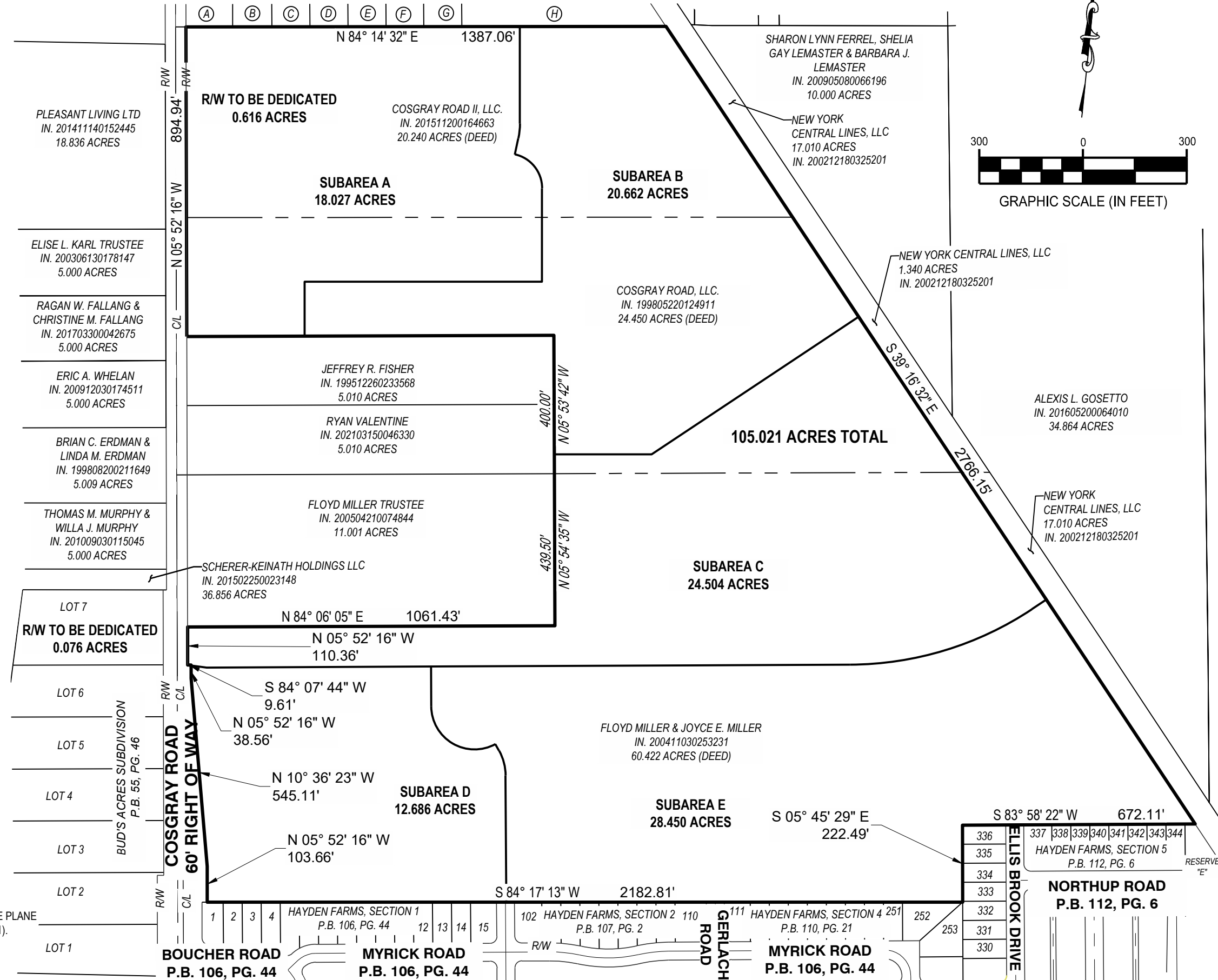
1. A landscape treatment shall be installed in the setback along Cosgray Road to enhance the rural character of the corridor. Masonry piers, stone walls and/or fencing may be included as part of this landscape treatment.
2. Plantings shall create a natural effect that is consistent with the established character of the corridor. The treatment may consist of deciduous or evergreen trees and shrubs, ornamental trees, perennials or any combination thereof. This effect shall be installed across the Cosgray Road frontage.
3. Signs and/or entry features may be located within this setback. Details shall be provided for approval as part of the Final Development Plan.
4. Pedestrian pathways, shared-use paths, water features and pond access may be provided in this treatment.
5. Final design and details of the landscape treatment shall be provided for approval as part of the Final Development Plan.

**XIII. HOMEOWNERS ASSOCIATION**

All residential property owners located within the Amlin Crossing PUD shall be required to join and maintain membership in one or more forced and funded homeowner’s associations, which will be formed prior to any lots being sold. The developer anticipates the creation of a master association, of

which all residents are members. In addition, it is anticipated that a sub-association will be created for each of the subareas A, B, D and E, of which only residents of these subareas are members. Homeowners' association responsibilities shall be detailed within Declarations of Covenants and Restrictions. These Declarations of Covenants and Restrictions shall run with the land and shall include, without limitation, the requirements imposed upon the homeowner's association in this text.

- (A) ADAMS REAL ESTATE INVESTMENT CO.  
IN. 201411140152445  
1.000 ACRES
- (B) DAVID J. CRONE & MARTHA E. CRONE  
IN. 201507060089747  
1.346 ACRES
- (C) TAMARA SUE DAVENPORT  
IN. 201802210024442  
1.329 ACRES
- (D) DAN B. MORRIS  
IN. 200812230183313  
1.331 ACRES
- (E) MARK ANDREWS & CHRISTINA ANDREWS  
IN. 202108310155122  
1.333 ACRES
- (F) BECKY J. KINNAIRD  
IN. 202001140006214  
1.337 ACRES
- (G) HAMDAD AHMAD ABU  
IN. 202209220135264  
1.337 ACRES
- (H) HUGH FERRELL II AND SHARON LYNN FERREL, SHELIA GAY LEMASTER  
IN. 200511290250942  
4.973 ACRES



**BASIS OF BEARING**  
BEARINGS ARE BASED ON THE OHIO STATE PLANE SOUTH COORDINATE SYSTEM, NAD83 (2011).



**AMLIN CROSSING**  
STATE OF OHIO, COUNTY OF FRANKLIN,  
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,  
V.M.S. 6953

---

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Project Number: 762460

Scale: 1"=300'

Drawn By: OPG

Checked By: MJA

Date: 6/7/2023

Issue: N/A

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Drawing Title:

**OVERALL**

# LEGAL DESCRIPTION

## Subarea A

18.027 Acres

Situated in the State of Ohio, County of Franklin, City of Dublin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 20.240 acre tract of land as conveyed to Cosgray Road II, LLC, of record in Instrument Number 201511200164663, and part of a 24.450 acre tract of land as conveyed to Cosgray Road, LLC, of record in Instrument Number 199805220124911, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

**BEGINNING FOR REFERENCE** at Franklin County Engineer monument "FCGS 8853", being in the centerline intersection of Rings Road (County Road 33) and Cosgray Road;

Thence South 5°52'16" East, with the centerline of said Cosgray Road, a distance of 370.74 feet to the northwesterly corner of said 20.240 acre tract ;

Thence North 84°14'32" East, a distance of 30.00 feet with the south line of a 1.000 acre tract of land as conveyed to Adams Real Estate Investment Co., of record in Instrument Number 201411140152445, and being a point in the easterly right of way line of Cosgray Road being the **TRUE POINT OF BEGINNING**;

Thence continuing North 84°14'32" East, with the southerly line of said 1.000 acre tract, and with the southerly lines of a 1.346 acre tract of land as conveyed to David J. Crone and Martha E. Crone, of record in Instrument Number 201507060089747, a 1.329 acre tract of land as conveyed to Tamara Sue Davenport, of record in Instrument Number 201802210024442, a 1.331 acre tract of land as conveyed to Dan B. Morris, of record in Instrument Number 200812230183313, a 1.333 acre tract of land as conveyed to Mark Andrews and Christina Andrews, of record in Instrument Number 202108310155122, a 1.337 acre tract of land as conveyed to Becky J. Kinnaird, of record in Instrument Number 202001140006214, a 1.337 acre tract of land as conveyed to Hammad Ahmad Abu, of record in Instrument Number 202209220135264, and a 4.973 acre tract of land as conveyed to Hugh Ferrell II, Sharon Lynn Ferrell and Shelia Gay Lemaster, of record in Instrument Number 200511290250942, a distance of 964.85 feet to a point in the southerly line of said 4.973 acre tract;

Thence through said 20.240 acre tract and said 24.450 acre tract the following courses:

South 5°42'44" East, a distance of 280.64 feet to a point of curvature;

With a curve to the right, having a central angle of 12°15'57", a radius of 200.00 feet, an arc length of 42.82 feet, and a chord which bears South 0°25'14" West, for a chord distance of 42.73 feet to a point of tangency;

South 6°33'13" West, a distance of 47.73 feet to a point;

With a curve to the right, having a central angle of 77°44'03", a radius of 100.00 feet, an arc length of 135.67 feet, and a chord which bears South 44°34'46" East, for a chord distance of 125.50 feet to a point of tangency;

South 5°42'44" East, a distance of 270.00 feet to a point;

South 84°17'16" West, a distance of 686.00 feet to a point;

South 5°42'44" East, a distance of 157.09 feet to a point in the northerly line of a 5.010 acre tract of land as conveyed to Jeffrey R. Fisher, of record in Instrument Number 199512260233568;

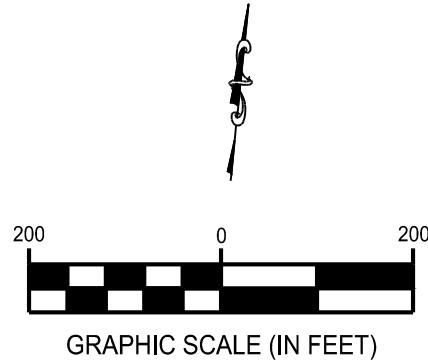
Thence South 84°05'56" West, with said northerly line, a distance of 340.42 feet to a point in the easterly right of way line of Cosgray Road;

Thence North 5°52'16" West, with said easterly right of way line, a distance of 894.94 feet to the **POINT OF BEGINNING** and containing 18.027 acres of land, more or less;

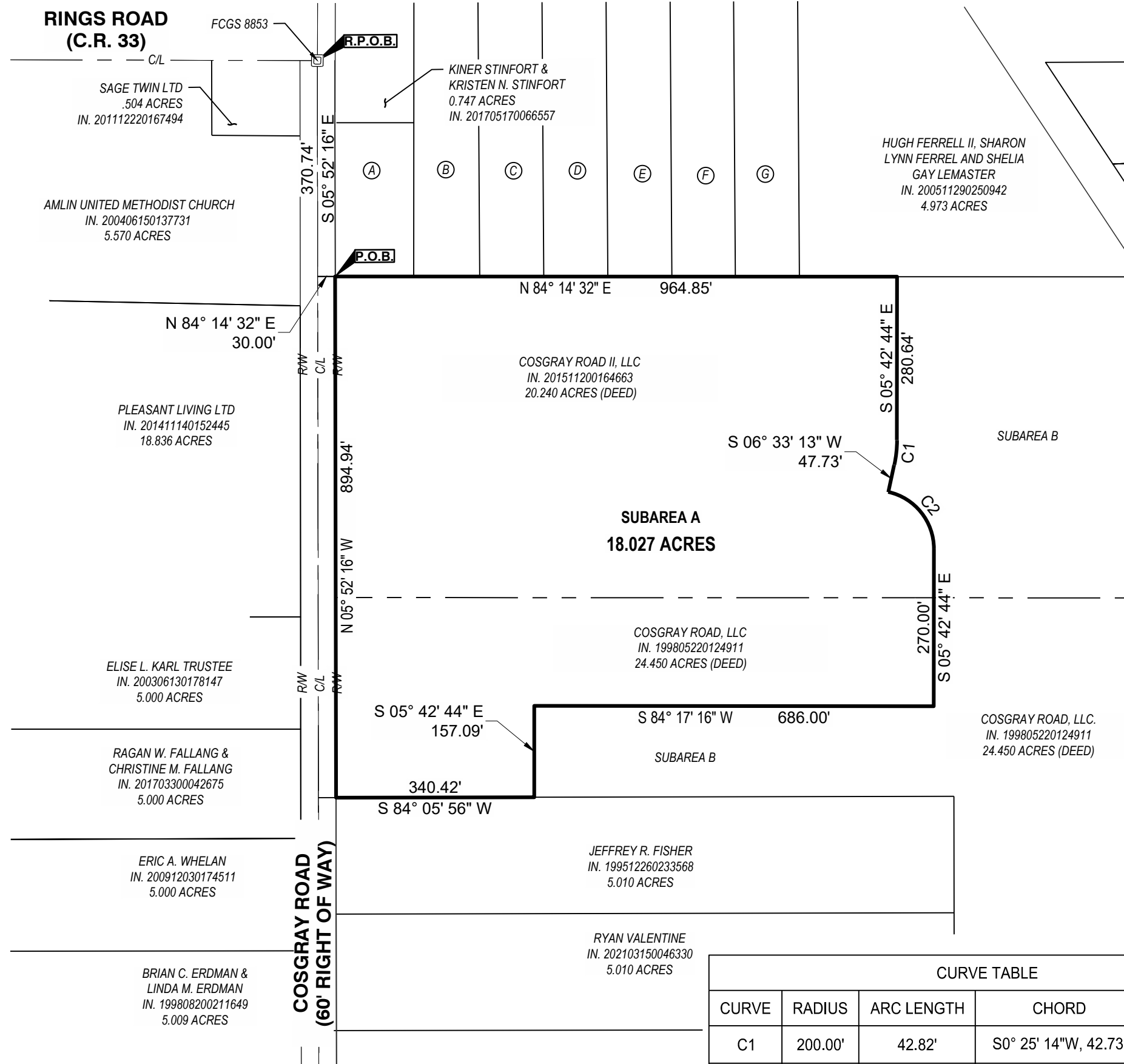
The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.

W:\PROJECTS\KIMBLEY HORN\762460-01\_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SUBAREA-A.dwg - 6/8/2023 - Matt Ackroyd



- (A) ADAMS REAL ESTATE INVESTMENT CO.  
IN. 201411140152445  
1.000 ACRES
- (B) DAVID J. CRONE & MARTHA E. CRONE  
IN. 201507060089747  
1.346 ACRES
- (C) TAMARA SUE DAVENPORT  
IN. 201802210024442  
1.329 ACRES
- (D) DAN B. MORRIS  
IN. 200812230183313  
1.331 ACRES
- (E) MARK ANDREWS & CHRISTINA ANDREWS  
IN. 202108310155122  
1.333 ACRES
- (F) BECKY J. KINNAIRD  
IN. 202001140006214  
1.337 ACRES
- (G) HAMMAD AHMAD ABU  
IN. 202209220135264  
1.337 ACRES



BASIS OF BEARING  
BEARINGS ARE BASED ON THE OHIO STATE PLANE SOUTH COORDINATE SYSTEM, NAD83 (2011).

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	200.00'	42.82'	S0° 25' 14"W, 42.73'	12° 15' 57"
C2	100.00'	135.67'	S44° 34' 46"E, 125.50'	77° 44' 03"



**AMLIN CROSSING**  
STATE OF OHIO, COUNTY OF FRANKLIN,  
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,  
V.M.S. 6953

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Project Number:	762460
Scale:	1"=200'
Drawn By:	OPG
Checked By:	MJA
Date:	6/7/2023
Issue:	N/A

Drawing Title:  
**SUBAREA A**

# LEGAL DESCRIPTION

## Subarea B

20.662 Acres

Situated in the State of Ohio, County of Franklin, City of Dublin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 20.240 acre tract of land as conveyed to Cosgray Road II, LLC, of record in Instrument Number 201511200164663, and part of a 24.450 acre tract of land as conveyed to Cosgray Road, LLC, of record in Instrument Number 199805220124911, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

**BEGINNING FOR REFERENCE** at Franklin County Engineer monument "FCGS 8853", being in the centerline intersection of Rings Road (County Road 33) and Cosgray Road;

Thence South 5°52'16" East, with the centerline of said Cosgray Road, a distance of 370.74 feet to the northwesterly corner of said 20.240 acre tract;

Thence North 84°14'32" East, with the southerly lines of a 1.000 acre tract of land as conveyed to Adams Real Estate Investment Co., of record in Instrument Number 201411140152445,, with the southerly lines of a 1.346 acre tract of land as conveyed to David J. Crone and Martha E. Crone, of record in Instrument Number 201507060089747, a 1.329 acre tract of land as conveyed to Tamara Sue Davenport, of record in Instrument Number 201802210024442, a 1.331 acre tract of land as conveyed to Dan B. Morris, of record in Instrument Number 200812230183313, a 1.333 acre tract of land as conveyed to Mark Andrews and Christina Andrews, of record in Instrument Number 202108310155122, a 1.337 acre tract of land as conveyed to Becky J. Kinnaird, of record in Instrument Number 202001140006214, a 1.337 acre tract of land as conveyed to Hammad Ahmad Abu, of record in Instrument Number 202209220135264, a distance of 994.85 feet to a point in the southerly line of a 4.973 acre tract of land as conveyed to Hugh Ferrell II, Sharon Lynn Ferrell and Shelia Gay Lemaster, of record in Instrument Number 200511290250942, being the **TRUE POINT OF BEGINNING**;

Thence continuing North 84°14'32" East, a distance of 422.20 feet to a point in the westerly line of 17.010 acre railroad right of way as conveyed to New York Central Lines, LLC, of record in Instrument Number 200212180325201,

Thence South 39°16'32" East, with the westerly lines of said 17.010 acre railroad right of way and a 1.340 acre railroad right of way as conveyed to New York Central Lines, LLC, of record in Instrument Number 200212180325201, a distance of 1006.97 feet to a point;

Thence through said 24.450 acre tract, the following courses:

South 50°39'29" West, a distance of 718.18 feet to a point;

South 84°17'16" West, a distance of 281.25 feet to a point in the easterly line of a 5.010 acre tract as conveyed to Ryan Valentine of record in Instrument Number 202103150046330;

Thence North 5°53'42" West, with the easterly line of said 5.010 acre tract and with the easterly line of a 5.010 acre tract as conveyed to Jeffrey R. Fisher of record in Instrument Number 199512260233568, a distance of 344.29 feet to the northeasterly corner of said Fisher tract;

Thence South 84°05'56" West, with the northerly line of said 5.010 acre tract, a distance of 720.54 feet to a point;

Thence through said 24.450 acre tract and said 20.420 acre tract, the following courses:

North 5°42'44" West, a distance of 157.09 feet to a point;

North 84°17'16" East, a distance of 686.00 feet to a point;

North 5°42'44" West, a distance of 270.00 feet to a point of curvature;

With a curve to the left, having a central angle of 77°44'03", a radius of 100.00 feet, an arc length of 135.67 feet, and a chord which bears North 44°34'46" West, for a chord distance of 125.50 feet to a point of tangency;

North 6°33'13" East, a distance of 47.73 feet to a point of curvature;

With a curve to the left, having a central angle of 12°15'57", a radius of 200.00 feet, an arc length of 42.82 feet, and a chord which bears North 0°25'14" East, for a chord distance of 42.73 feet to a point of tangency;

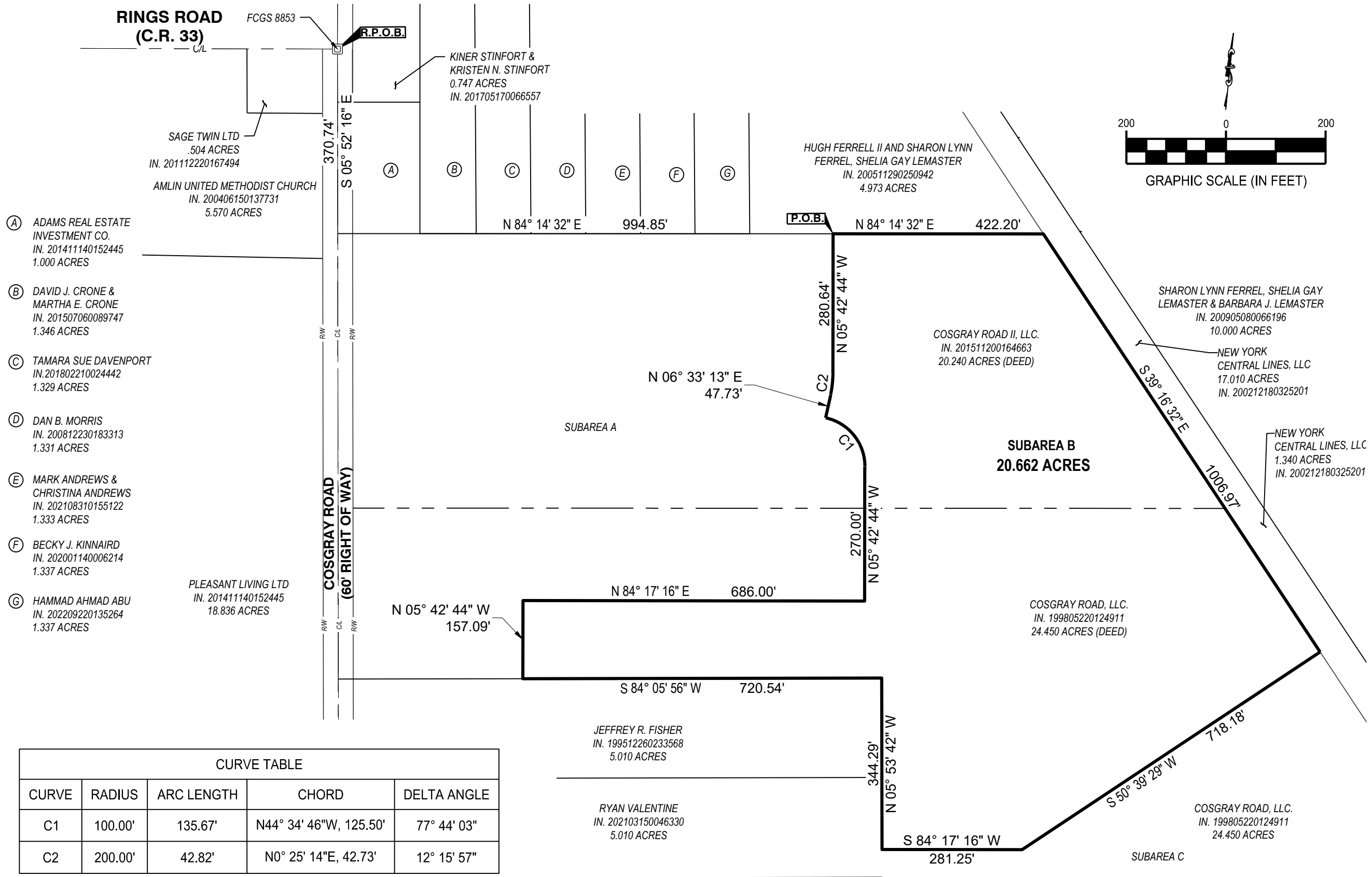
North 5°42'44" West, a distance of 280.64 feet to the **POINT OF BEGINNING**, and containing 20.662 acres of land, more or less;

The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.



W:\PROJECTS\KIMLEY HORN\762460-01\_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SUBAREA-B.dwg - 6/8/2023 - Matt Ackroyd



- ① ADAMS REAL ESTATE INVESTMENT CO.  
IN. 201411140152445  
1.000 ACRES
- ② DAVID J. CRONE & MARTHA E. CRONE  
IN. 201507060089747  
1.346 ACRES
- ③ TAMARA SUE DAVENPORT  
IN. 201802210024442  
1.329 ACRES
- ④ DAN B. MORRIS  
IN. 200812230183313  
1.331 ACRES
- ⑤ MARK ANDREWS & CHRISTINA ANDREWS  
IN. 202108310155122  
1.333 ACRES
- ⑥ BECKY J. KINNAIRD  
IN. 202001140006214  
1.337 ACRES
- ⑦ HAMMAD AHMAD ABU  
IN. 202209220135264  
1.337 ACRES

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	100.00'	135.67'	N44° 34' 46"W, 125.50'	77° 44' 03"
C2	200.00'	42.82'	N0° 25' 14"E, 42.73'	12° 15' 57"

**BASIS OF BEARING**  
 BEARINGS ARE BASED ON THE OHIO STATE PLANE  
 SOUTH COORDINATE SYSTEM, NAD83 (2011).

**AMLIN CROSSING**  
 STATE OF OHIO, COUNTY OF FRANKLIN,  
 CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,  
 V.M.S. 6953

© 2023 CESO, INC.  
 Project Number: 762460  
 Scale: 1"=200'  
 Drawn By: OPG  
 Checked By: MJA  
 Date: 6/7/2023  
 Issue: N/A

Drawing Title:  
**SUBAREA B**

# LEGAL DESCRIPTION

## Subarea C

24.504 Acres

Situated in the State of Ohio, County of Franklin, City of Dublin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 24.450 acre tract of land as conveyed to Cosgray Road, LLC, of record in Instrument Number 199805220124911, and part of a 64.12 acre original tract of land as conveyed to Floyd Miller and Joyce E. Miller, of record in Instrument Number 200411030253231, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

**BEGINNING FOR REFERENCE** at Franklin County Engineer monument "FCGS 1875", being in the centerline of right of way of Cosgray Road;

Thence North 5°52'16" West, with the centerline of said Cosgray Road, a distance of 367.05 feet to a point;

Thence North 84°07'44" East, a distance of 30.00 feet to a point in the easterly right of way line of Cosgray Road, being the **TRUE POINT OF BEGINNING**;

Thence North 5°52'16" West, through said 64.12 acre tract, a distance of 110.36 feet to a point in the southerly line of a 11.001 acre tract as conveyed to Floyd Miller and Joyce E. Miller, Trustees of record in Instrument Number 200504210074844;

Thence North 84°06'05" East, with the southerly line of said 11.001 acre tract, a distance of 1061.43 feet to the southeasterly corner thereof;

Thence North 5°54'35" West, with the easterly line of said 11.001 acre tract, a distance of 439.50 feet to the northeasterly corner thereof and the southeasterly corner of a 5.010 acre tract as conveyed to Ryan Valentine of record in Instrument Number 202103150046330;

Thence North 5°53'42" West, with the easterly line of said 5.010 acre tract, a distance of 55.71 feet to a point;

Thence through said 24.450 acre tract, the following courses:

North 84°17'16" East, a distance of 281.25 feet to a point;

North 50°39'29" East, a distance of 718.18 feet to a point in the westerly railroad right of way line of New York Central Lines, LLC, of record in Instrument Number 200212180325201;

Thence South 39°16'32" East, with said westerly right of way, a distance of 981.03 feet to a point;

Thence through said 64.12 acre tract, the following courses:

South 50°39'36" West, a distance of 49.90 feet to a point of curvature;

With a curve to the right, having a central angle of 33°21'50", a radius of 958.00 feet, an arc length of 557.85 feet, and a chord which bears South 67°20'31" West, for a chord distance of 550.01 feet to a point of tangency;

South 84°01'26" West, a distance of 1858.37 feet to a point;

North 88°03'13" West, a distance of 45.81 feet to a point in the easterly right of way of Cosgray Road;

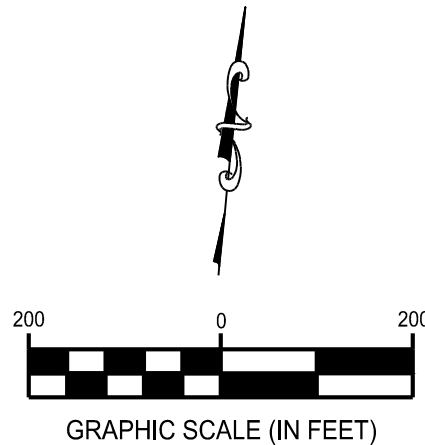
Thence North 5°52'16" West, with said easterly right of way, a distance of 1.12 feet to the northeasterly corner thereof;

Thence South 84°07'44" West, with the northerly line of said easterly right of way, a distance of 9.61 feet to the **POINT OF BEGINNING**, and containing 24.504 acres of land, more or less;

The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

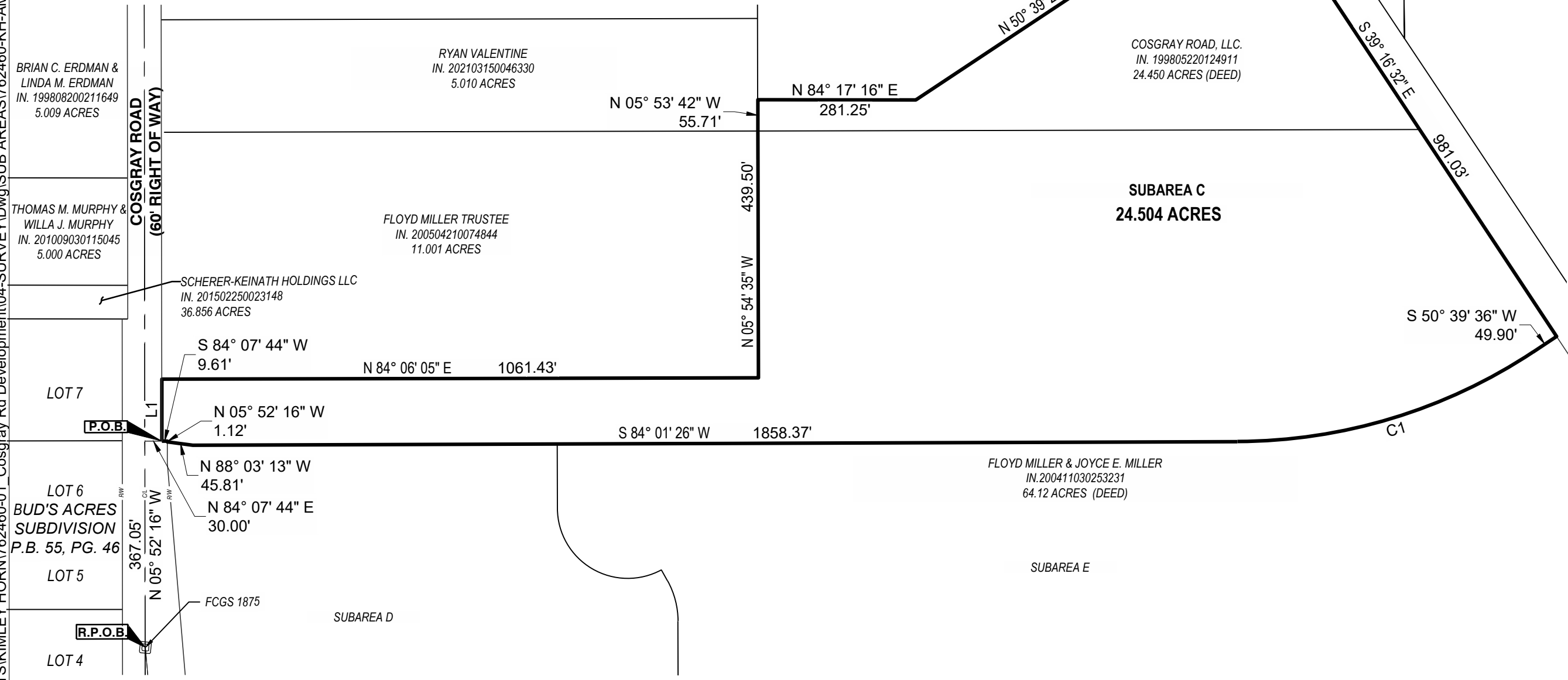
This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.

W:\PROJECTS\KIMBLEY HORN\762460-01\_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SUBAREA-C.dwg - 6/8/2023 - Rick Cross



CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	958.00'	557.85'	S67° 20' 31"W, 550.01'	33° 21' 50"

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N05° 52' 16"W	110.36



**AMLIN CROSSING**  
STATE OF OHIO, COUNTY OF FRANKLIN,  
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,  
V.M.S. 6953

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Project Number:	762460
Scale:	1"=200'
Drawn By:	OPG
Checked By:	MJA
Date:	6/7/2023
Issue:	N/A

---

Drawing Title:  
**SUBAREA C**

BASIS OF BEARING  
BEARINGS ARE BASED ON THE OHIO STATE PLANE  
SOUTH COORDINATE SYSTEM, NAD83 (2011).

# LEGAL DESCRIPTION

## Subarea D

12.686 Acres

Situated in the State of Ohio, City of Dublin, County of Franklin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 64.12 acre original tract of land as conveyed to Floyd Miller and Joyce E. Miller, of record in Instrument Number 200411030253231, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

**BEGINNING FOR REFERENCE** at Franklin County Engineer monument "FCGS 1875", being in the centerline of right of way of Cosgray Road;

Thence North 5°52'16" West, with the centerline of said Cosgray Road, a distance of 367.05 feet to a point;

Thence North 84°07'44" East, a distance of 39.61 feet to a corner of the easterly right of way line of said Cosgray Road;

Thence South 5°52'16" East, a distance of 1.12 feet to the **TRUE POINT OF BEGINNING**;

Thence through said 64.12 acre tract the following courses:

South 88°03'13" East, a distance of 45.81 feet to a point;

North 84°01'26" East, a distance of 648.17 feet to a point;

South 5°58'34" East, a distance of 114.92 feet to a point of curvature;

With a curve to the left, having a central angle of 118°31'51", a radius of 125.00 feet, an arc length of 258.59 feet, and a chord which bears South 65°14'29" East, for a chord distance of 214.89 feet to a point;

South 34°30'25" East, a distance of 22.53 feet to a point of curvature;

With a curve to the right, having a central angle of 28°27'34", a radius of 150.00 feet, an arc length of 74.51 feet, and a chord which bears South 20°16'38" East, for a chord distance of 73.74 feet to a point of tangency;

South 6°02'51" East, a distance of 366.09 feet to a point in the north line of Hayden Farms, Section 1 as recorded in Plat Book 106, Page 44;

Thence South 84°17'13" West, with the north line of said Hayden Farms, Section 1, a distance of 863.94 feet to a point in said easterly right of way line;

Thence with said easterly right of way line the following courses:

North 5°52'16" West, a distance of 103.66 feet to an angle point thereof;

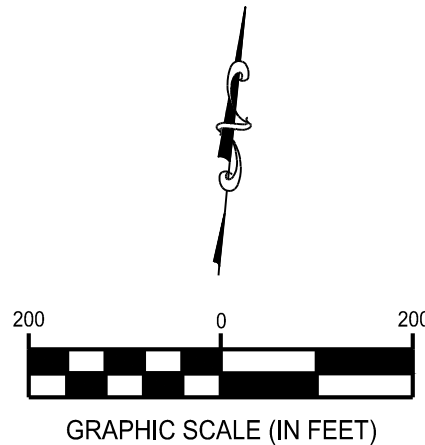
North 10°36'23" West, a distance of 545.11 feet to an angle point thereof;

North 5°52'16" East, a distance of 37.44 feet to the **POINT OF BEGINNING** and containing 12.686 acres of land, more or less;

The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.

W:\PROJECTS\KIMLEY HORN\762460-01\_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SUBAREA-D.dwg - 6/8/2023 - Matt Ackroyd



CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	125.00'	258.59'	S65° 14' 29"E, 214.89'	118° 31' 51"
C2	150.00'	74.51'	S20° 16' 38"E, 73.74'	28° 27' 34"



**COSGRAY ROAD**  
(60' RIGHT OF WAY)

- THOMAS M. MURPHY & WILLA J. MURPHY  
IN. 201009030115045  
5.000 ACRES
- SCHERER-KEINATH HOLDINGS LLC  
IN. 201502250023148  
36.856 ACRES
- LOT 7  
N 84° 07' 44" E  
39.61'
- LOT 6
- LOT 5  
N 05° 52' 16" W  
367.05'
- LOT 4  
R.P.O.B.  
FCGS 1875
- LOT 3
- LOT 2
- LOT 1

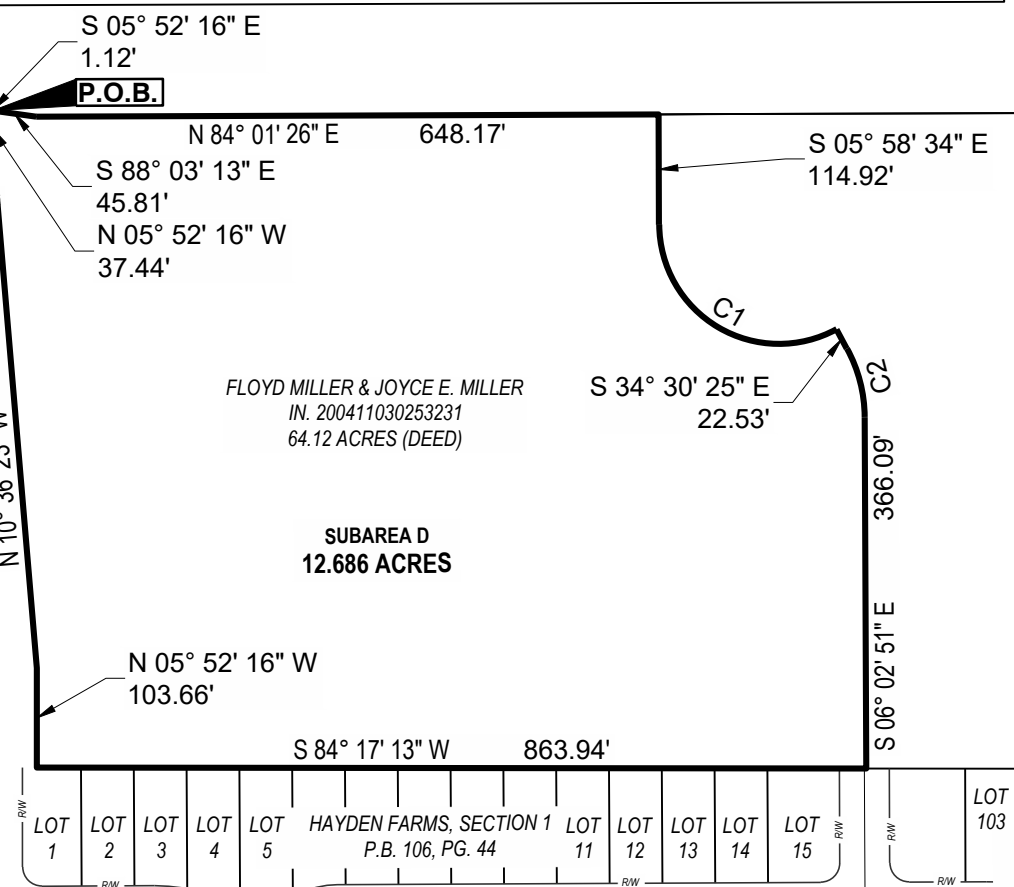
JEFFREY R. FISHER  
IN. 199512260233568  
5.010 ACRES

RYAN VALENTINE  
IN. 202103150046330  
5.010 ACRES

FLOYD MILLER TRUSTEE  
IN. 200504210074844  
11.001 ACRES

FLOYD MILLER & JOYCE E. MILLER  
IN. 200411030253231  
64.12 ACRES (DEED)

SUBAREA C



FLOYD MILLER & JOYCE E. MILLER  
IN. 200411030253231  
64.12 ACRES (DEED)

SUBAREA E

LOT 103 LOT 104 LOT 105 LOT 106 LOT 107 LOT 108 LOT 109 LOT 110  
HAYDEN FARMS, SECTION 2  
P.B. 107, PG. 2

LOT 111 LOT 112 LOT 245  
HAYDEN FARMS, SECTION 4  
P.B. 110, PG. 21

BASIS OF BEARING  
BEARINGS ARE BASED ON THE OHIO STATE PLANE  
SOUTH COORDINATE SYSTEM, NAD83 (2011).

**AMLIN CROSSING**  
STATE OF OHIO, COUNTY OF FRANKLIN,  
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,  
V.M.S. 6953

© 2023 CESO, INC.

Project Number: 762460  
Scale: 1"=200'  
Drawn By: OPG  
Checked By: MJA  
Date: 6/7/2023  
Issue: N/A

Drawing Title:  
**SUBAREA D**

# LEGAL DESCRIPTION

## Subarea E

28.450 Acres

Situated in the State of Ohio, City of Dublin, County of Franklin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 64.12 acre original tract of land as conveyed to Floyd Miller and Joyce E. Miller, of record in Instrument Number 200411030253231, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

**BEGINNING** at the northeasterly corner of Reserve "P" of a plat entitled Hayden Farms, Section 5, of record in Plat book 112, Page 6;

Thence with the northerly lines of said Hayden Farms, Section 5 and the northerly lines of Hayden Farms, Section 4, of record in Plat Book 110, Page 21, and Hayden Farms, Section 2, of record in Plat Book 107, Page 2, the following courses:

South 83°58'22" West, a distance of 672.21 feet to a point;

South 5°45'29" East, a distance of 222.49 feet to a point;

South 84°17'13" West, a distance of 1318.86 feet to a point;

Thence through said 64.12 acre tract, the following courses:

North 6°02'51" West, a distance of 366.09 feet to a point of curvature;

With a curve to the left, having a central angle of 28°27'34", a radius of 150.00 feet, an arc length of 74.51 feet, and a chord which bears North 20°16'38" West, for a chord distance of 73.74 feet to a point of tangency;

North 34°30'25" West, a distance of 22.53 feet to a point;

With a curve to the right, having a central angle of 118°31'51", a radius of 125.00 feet, an arc length of 258.59 feet, and a chord which bears North 65°14'29" West, for a chord distance of 214.89 feet to a point of tangency;

North 5°58'34" West, a distance of 114.92 feet to a point;

North 84°01'26" East, a distance of 1210.20 feet to a point of curvature;

With a curve to the left, having a central angle of 33°21'50", a radius of 958.00 feet, an arc length of 557.85 feet, and a chord which bears North 67°20'31" East, for a chord distance of 550.01 feet to a point of tangency;

North 50°39'36" East, a distance of 49.90 feet to a point in the westerly railroad right of way line of New York Central Lines, LLC, of record in Instrument Number 200212180325201;

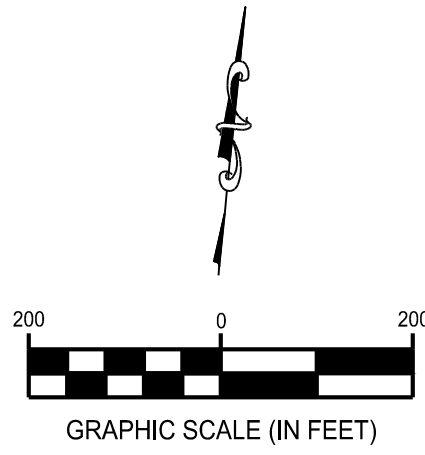
Thence South 39°16'32" East, with said westerly right of way line, a distance of 778.14 feet to the **POINT OF BEGINNING**, and containing 28.450 acres of land, more or less;

The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

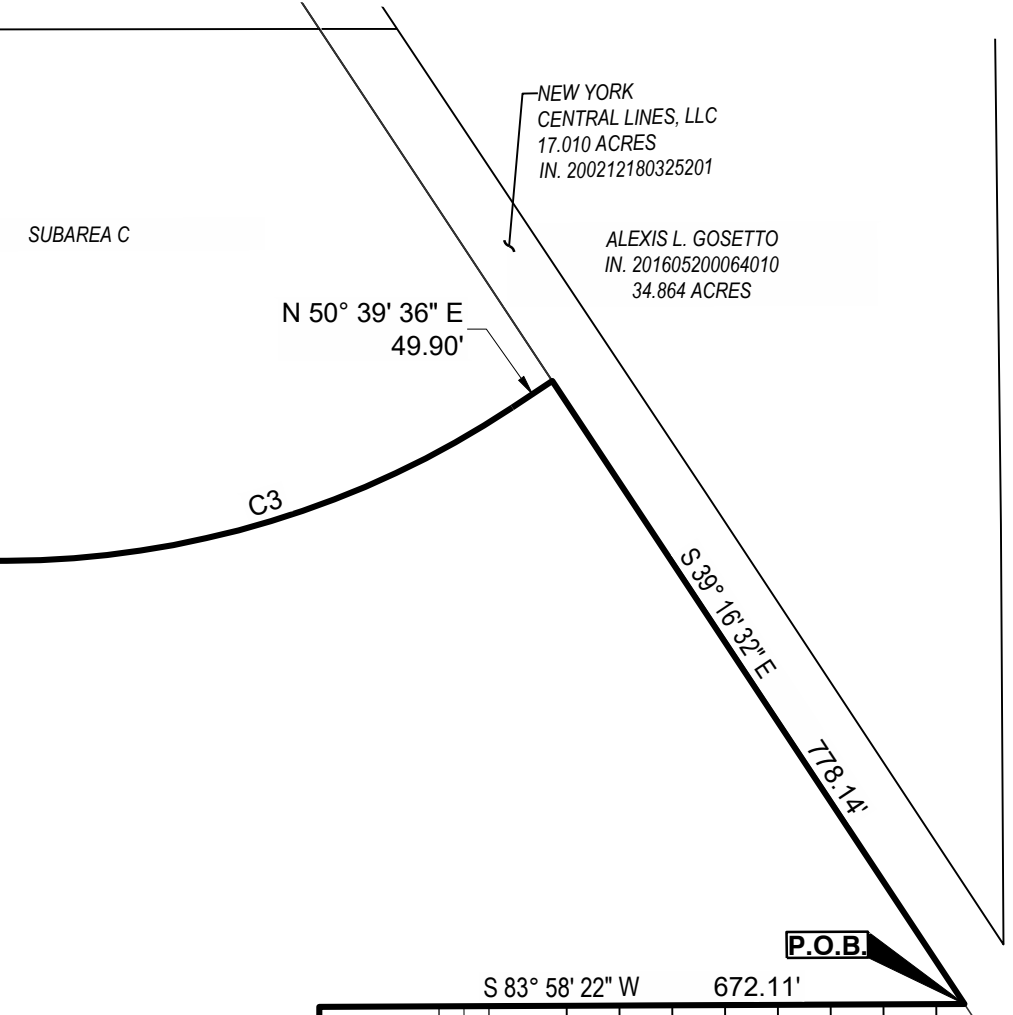
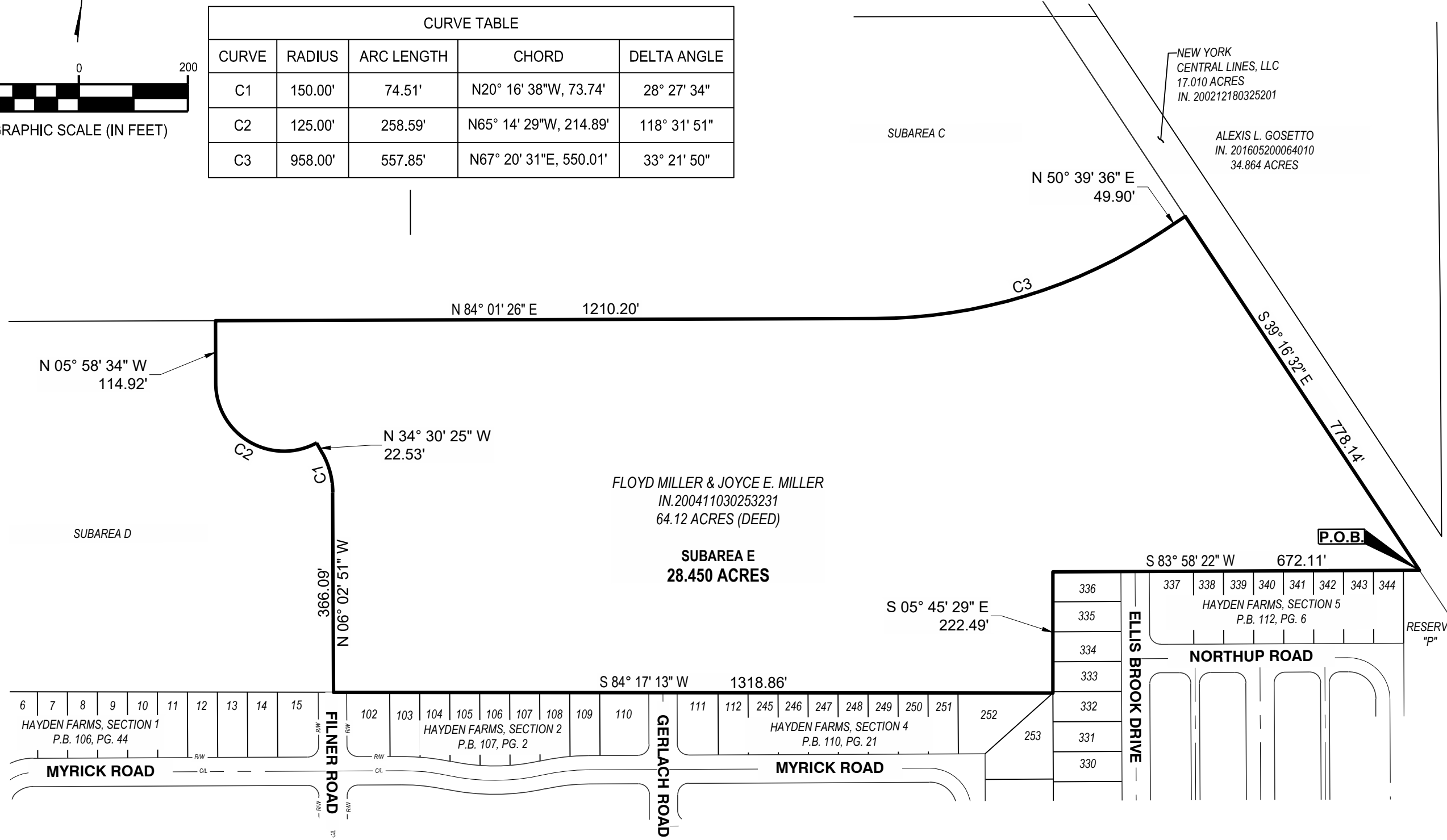
This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.



W:\PROJECTS\KIMBLEY HORN\762460-01\_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SUBAREA-E.dwg - 6/8/2023 - Matt Ackroyd



CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	150.00'	74.51'	N20° 16' 38"W, 73.74'	28° 27' 34"
C2	125.00'	258.59'	N65° 14' 29"W, 214.89'	118° 31' 51"
C3	958.00'	557.85'	N67° 20' 31"E, 550.01'	33° 21' 50"



**AMLIN CROSSING**  
STATE OF OHIO, COUNTY OF FRANKLIN,  
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,  
V.M.S. 6953

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Project Number:	762460
Scale:	1"=200'
Drawn By:	OPG
Checked By:	MJA
Date:	6/7/2023
Issue:	N/A

Drawing Title:  
**SUBAREA E**

BASIS OF BEARING  
BEARINGS ARE BASED ON THE OHIO STATE PLANE  
SOUTH COORDINATE SYSTEM, NAD83 (2011).

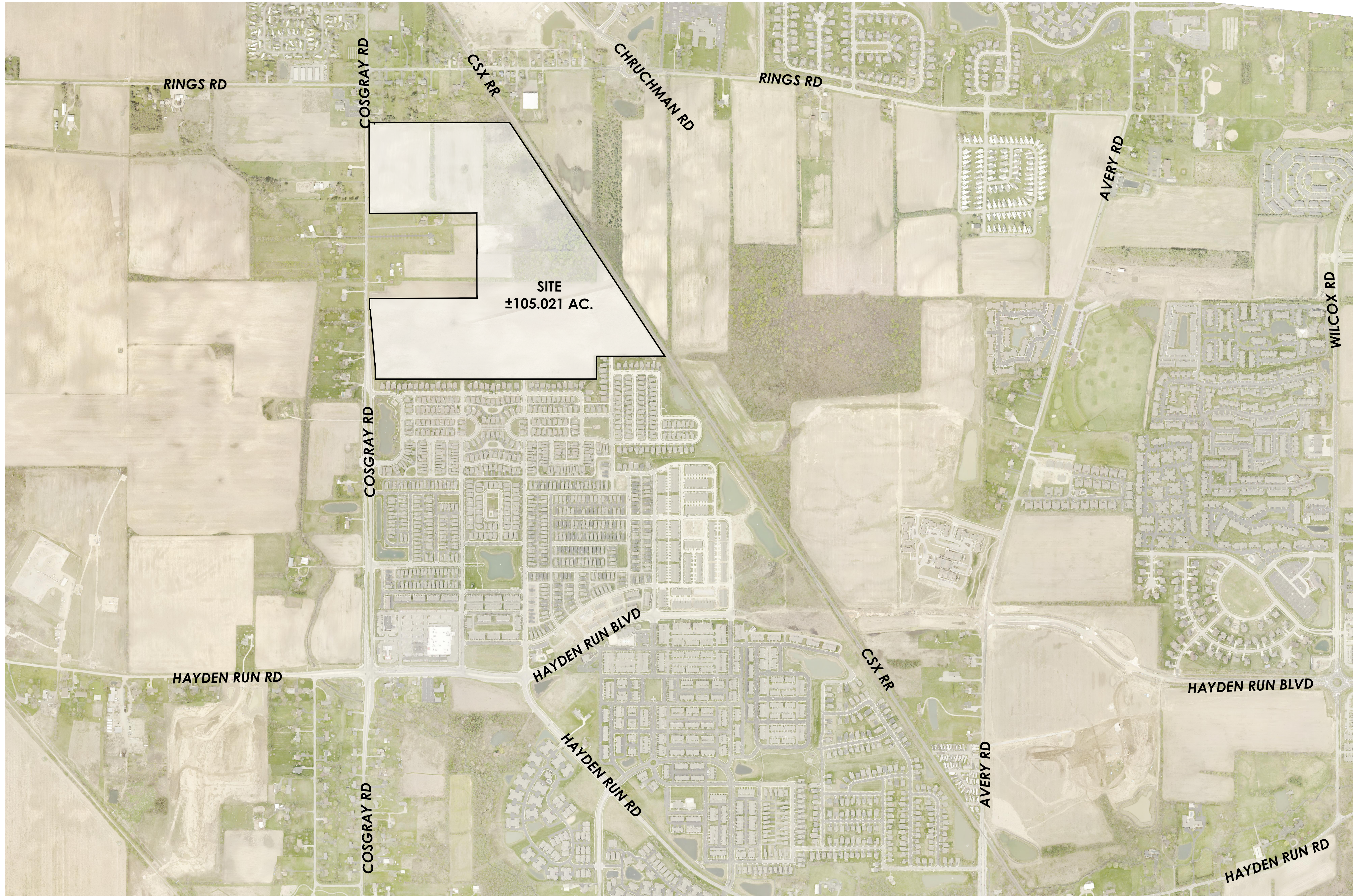
## **SECTION 2**

Exhibits

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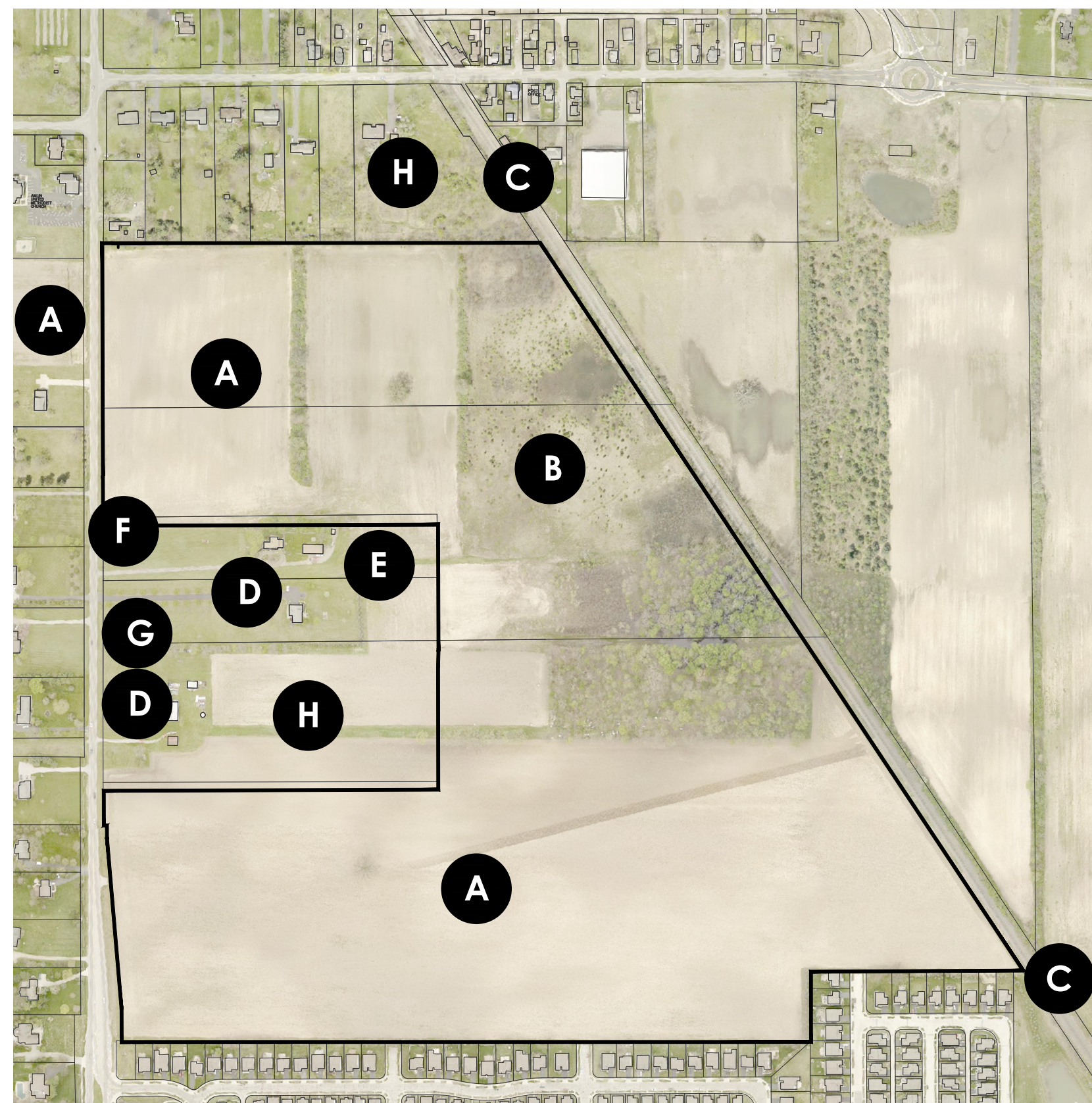


PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
Dublin, OH  
June 8, 2023



**EXISTING DEVELOPMENT INVENTORY**

- A** Agricultural Field
- B** Vacant Property
- C** Railroad
- D** Ex. Home
- E** Ex. Garage/Barn
- F** Ex. Gravel Drive
- G** Ex. Asphalt Drive
- H** Large Lot Residential

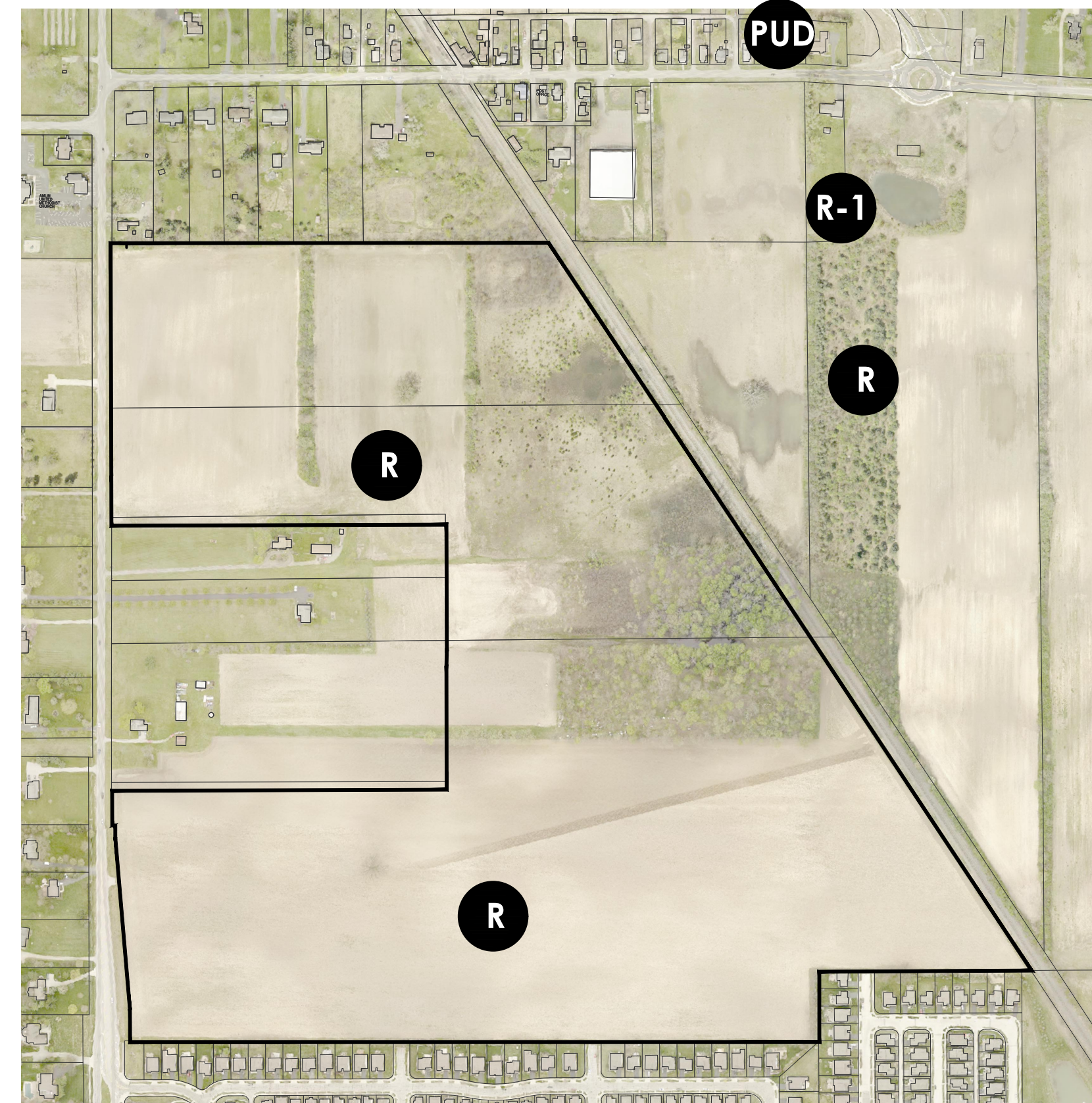


1 EXISTING DEVELOPMENT INVENTORY

Scale: 1" = 400'

**EXISTING ZONING & LAND USE**

- R** Rural District
- R-1** Restricted Suburban Residential
- PUD** Planned Unit Development



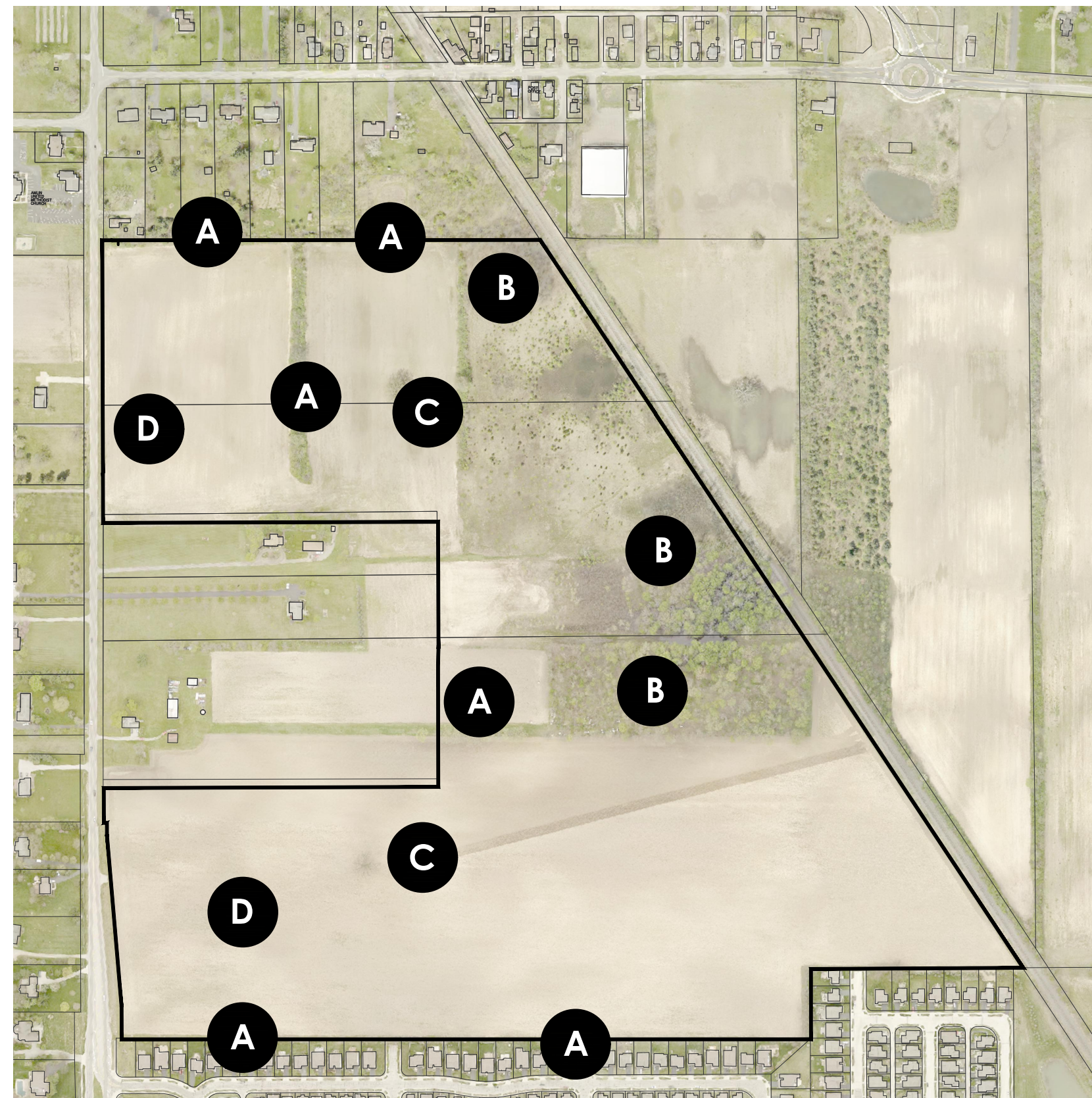
2 EXISTING ZONING & LAND USE

Scale: 1" = 400'

**EX B.1 - Existing Conditions**

**PRELIMINARY EXISTING VEGETATION INVENTORY-IN GOOD CONDITION**

- A** Tree Row
- B** Tree Grove
- C** Landmark Tree
- D** Agricultural Crops

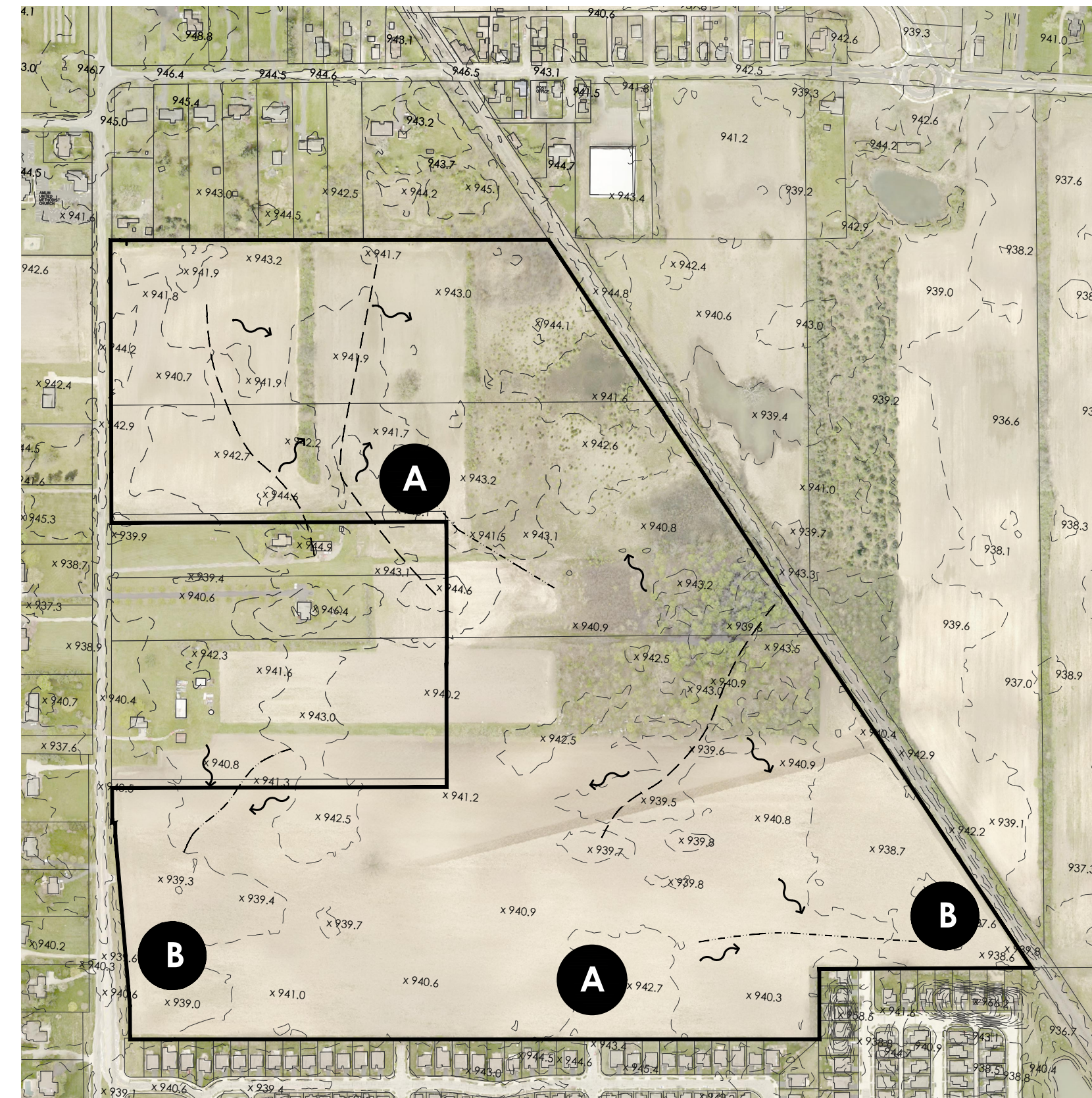


3 PRELIMINARY EXISTING VEGETATION INVENTORY-IN GOOD CONDITION

Scale: 1" = 400'

**TOPOGRAPHIC & HYDROLOGIC INVENTORY**

- A** High Point of Site
- B** Low Point of Site
- ~ Flow Lines/Drainage
- X Spot Grades
- Ridges
- Swales



4 TOPOGRAPHIC & HYDROLOGIC INVENTORY

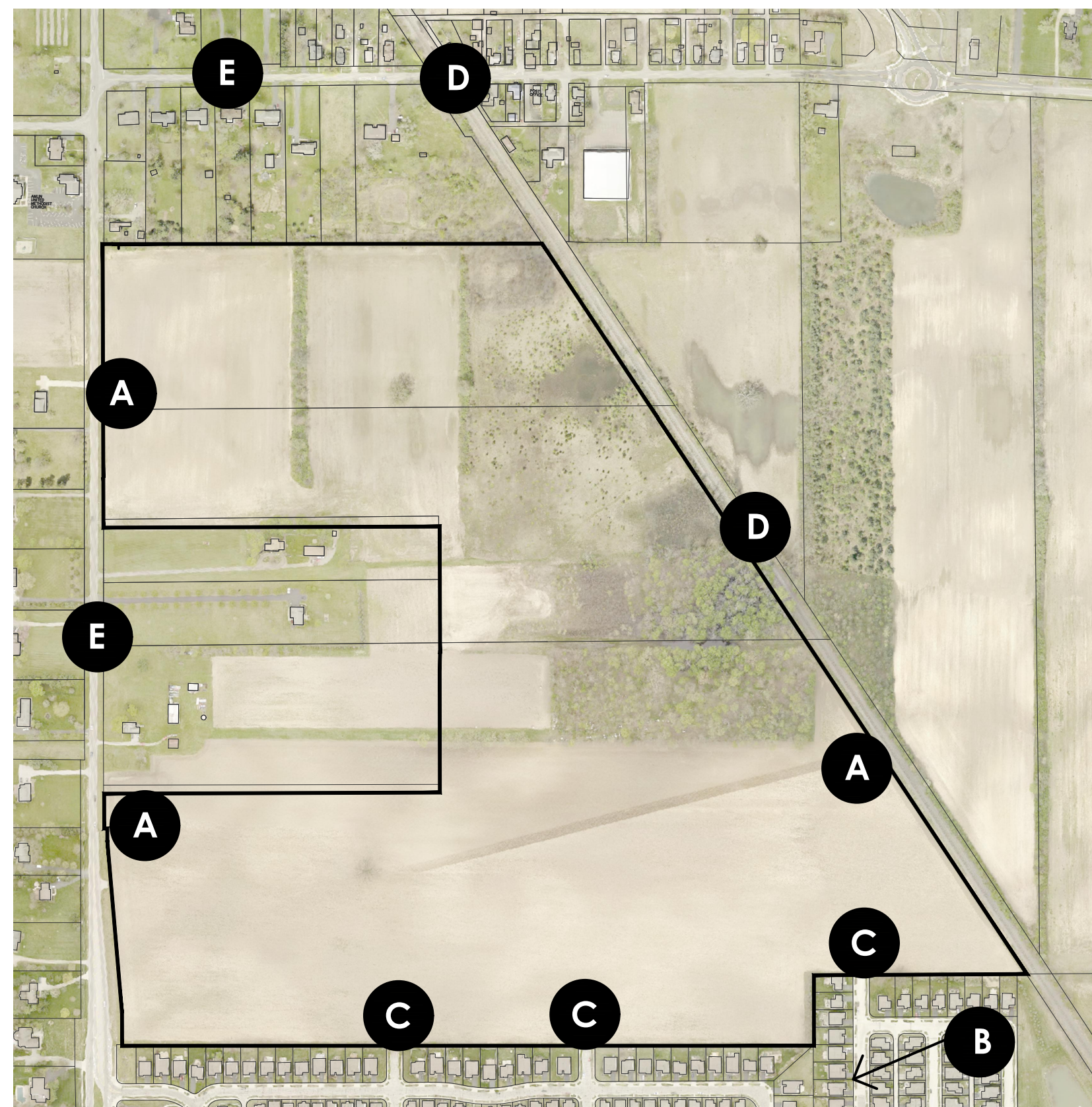
Scale: 1" = 400'





TRANSPORTATION & ACCESS INVENTORY

- A** Primary Site Access
- B** Ex. Sidewalk
- C** Potential Access
- D** Railroad
- E** Collector Road

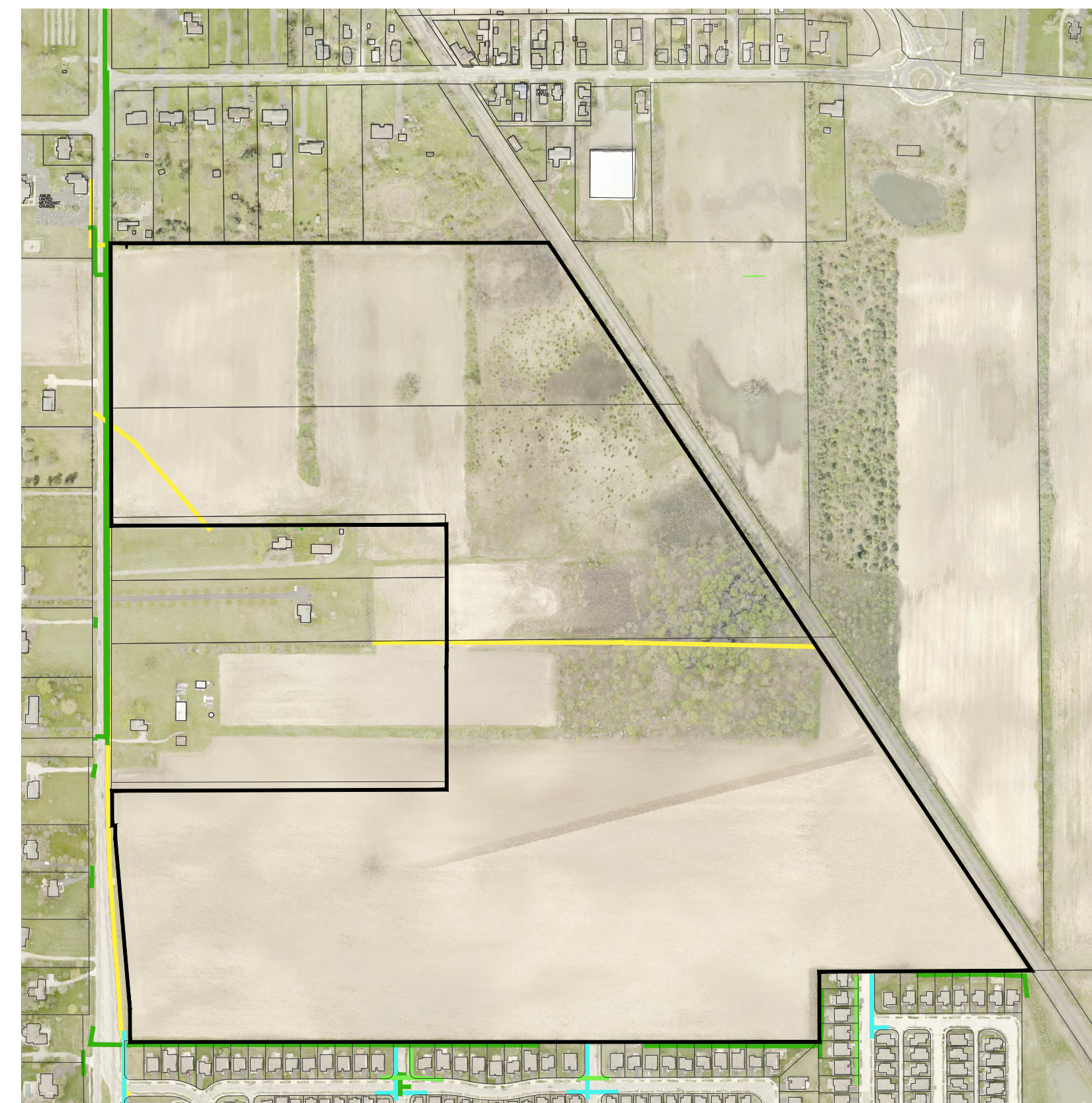


5 TRANSPORTATION & ACCESS INVENTORY

Scale: 1" = 400'

EXISTING PUBLIC UTILITY SERVICE INVENTORY

- Water Service (Typ.) (Blue)
- Sanitary Service (Typ.) (Green)
- Storm Service (Typ.) (Dark Green)
- Gas Service (Typ.) (Yellow)



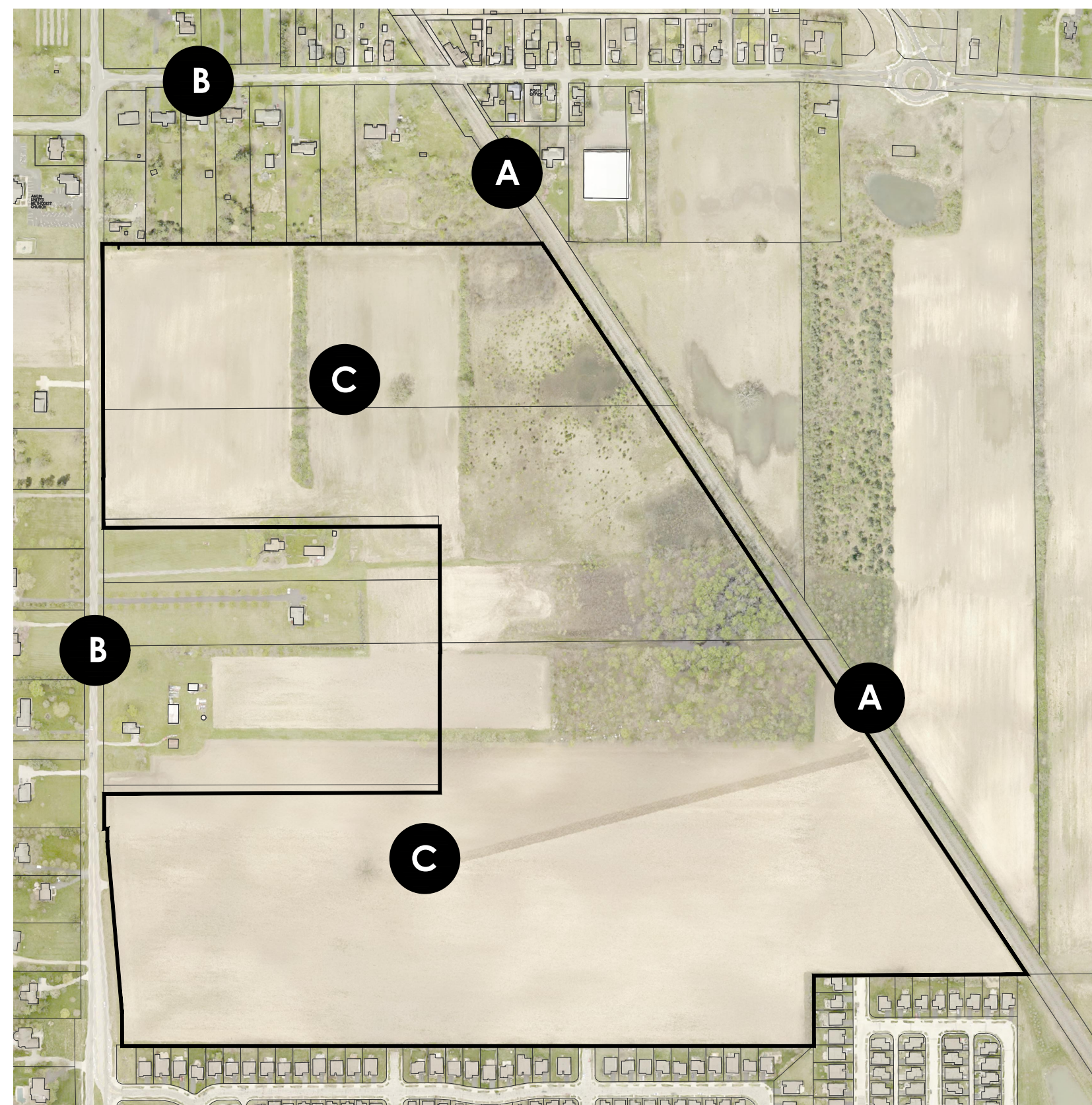
6 EXISTING PUBLIC UTILITY SERVICE INVENTORY

Scale: 1" = 400'

EX B.2 - Existing Conditions

HISTORIC AND CULTURAL ASSETS INVENTORY

- A** Railroad
- B** Collector Roads
- C** Landmark Trees

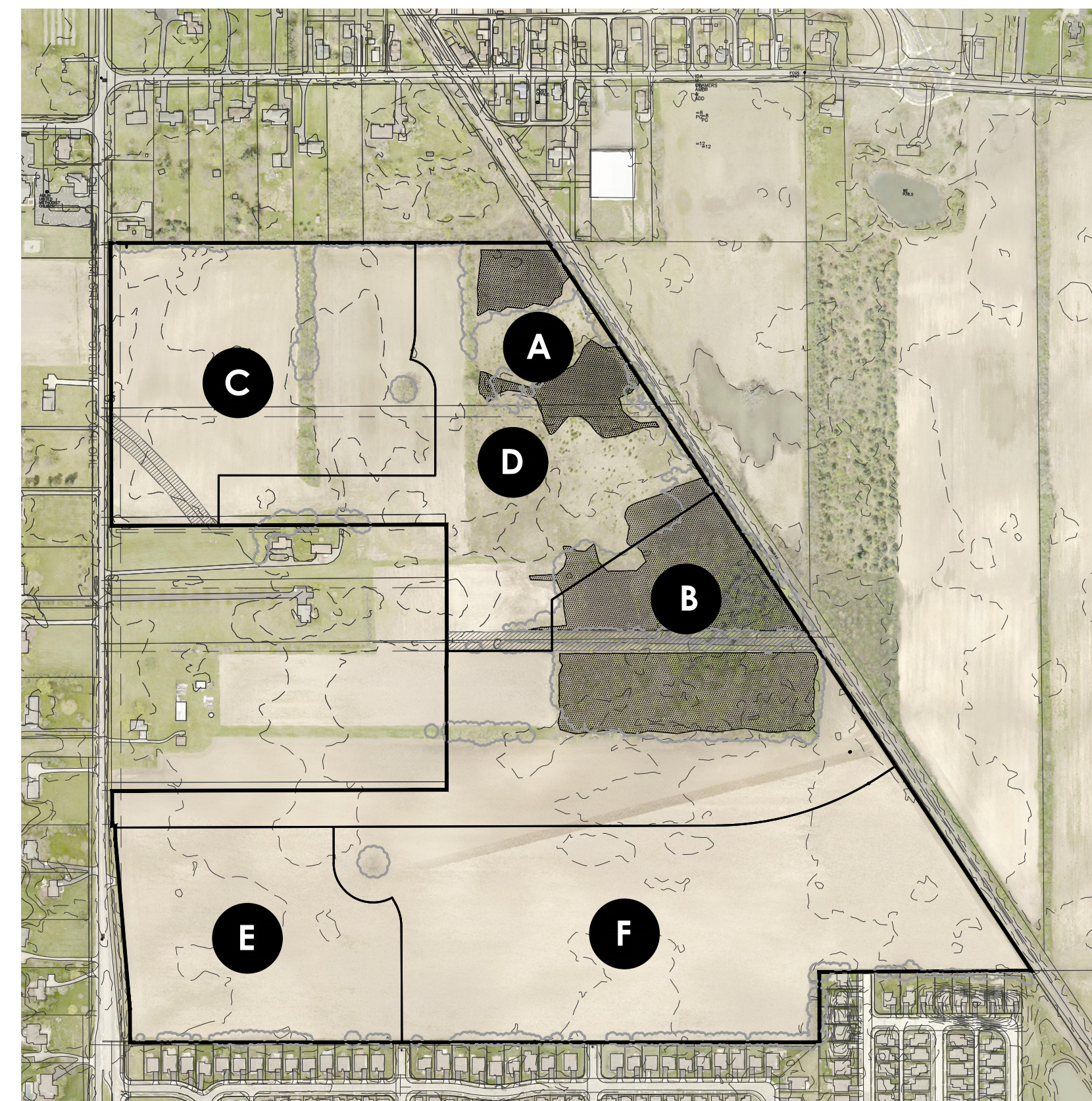


7 HISTORIC AND CULTURAL ASSETS INVENTORY

Scale: 1" = 400'

PRESERVATION/OPEN & DEVELOPABLE AREAS

- A** Preservation Area 1
- B** Preservation Area 2
- C** Development Area 1
- D** Development Area 2
- E** Development Area 3
- F** Development Area 4



8 PRESERVATION/OPEN & DEVELOPABLE AREAS

Scale: 1" = 400'

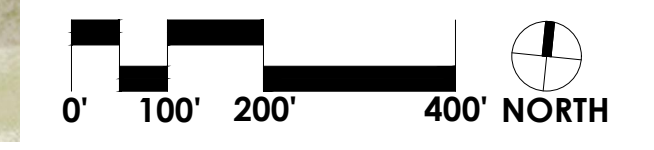
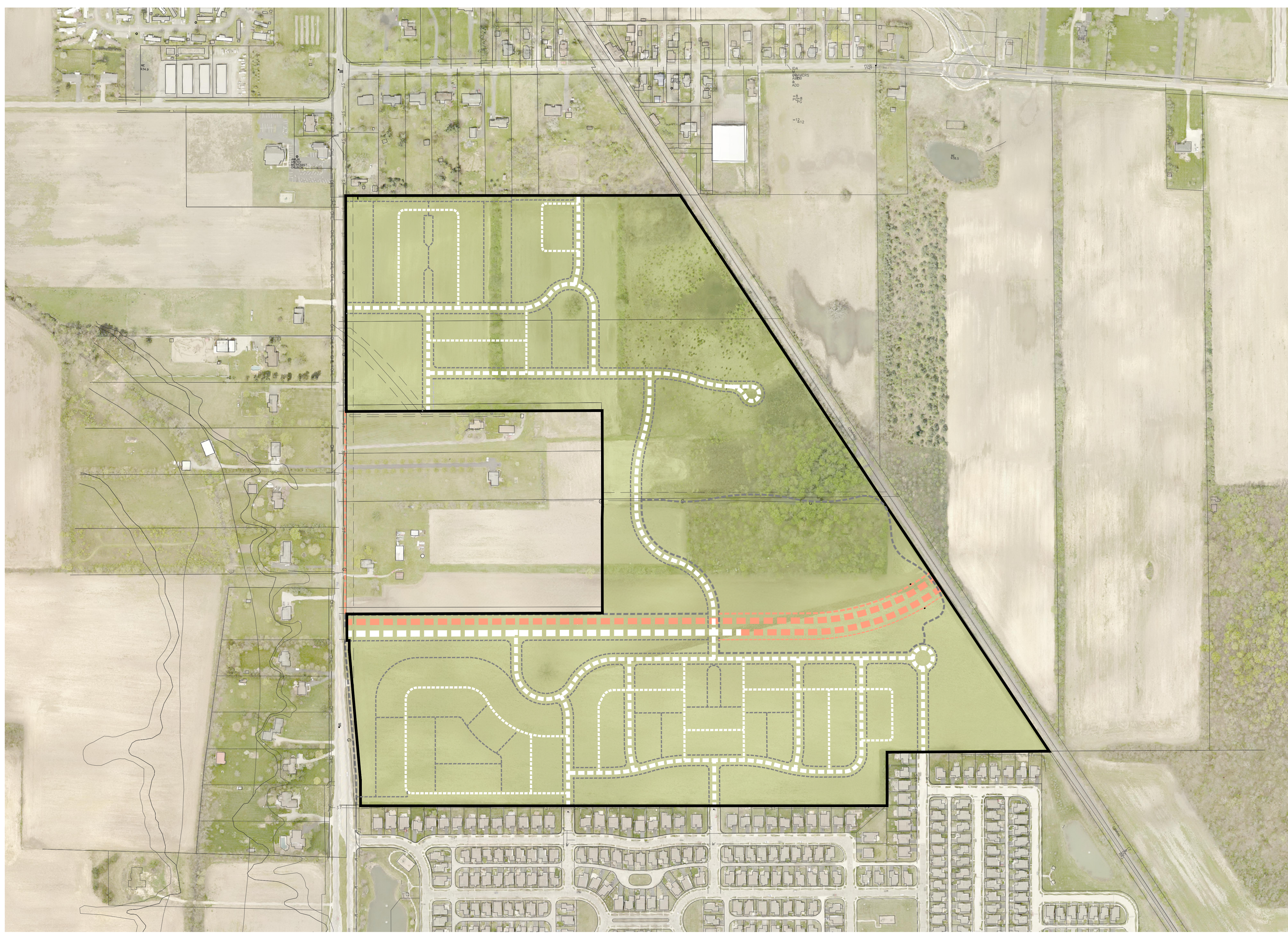




# EX C - Conceptual Street Network and Path System

LEGEND

	Public Boulevard
	Public Street
	Public Service Street
	Future Public Boulevard
	Public Multi-Use Path
	Public Sidewalk
	Future Public Multi-Use Path
	Future Public Sidewalk



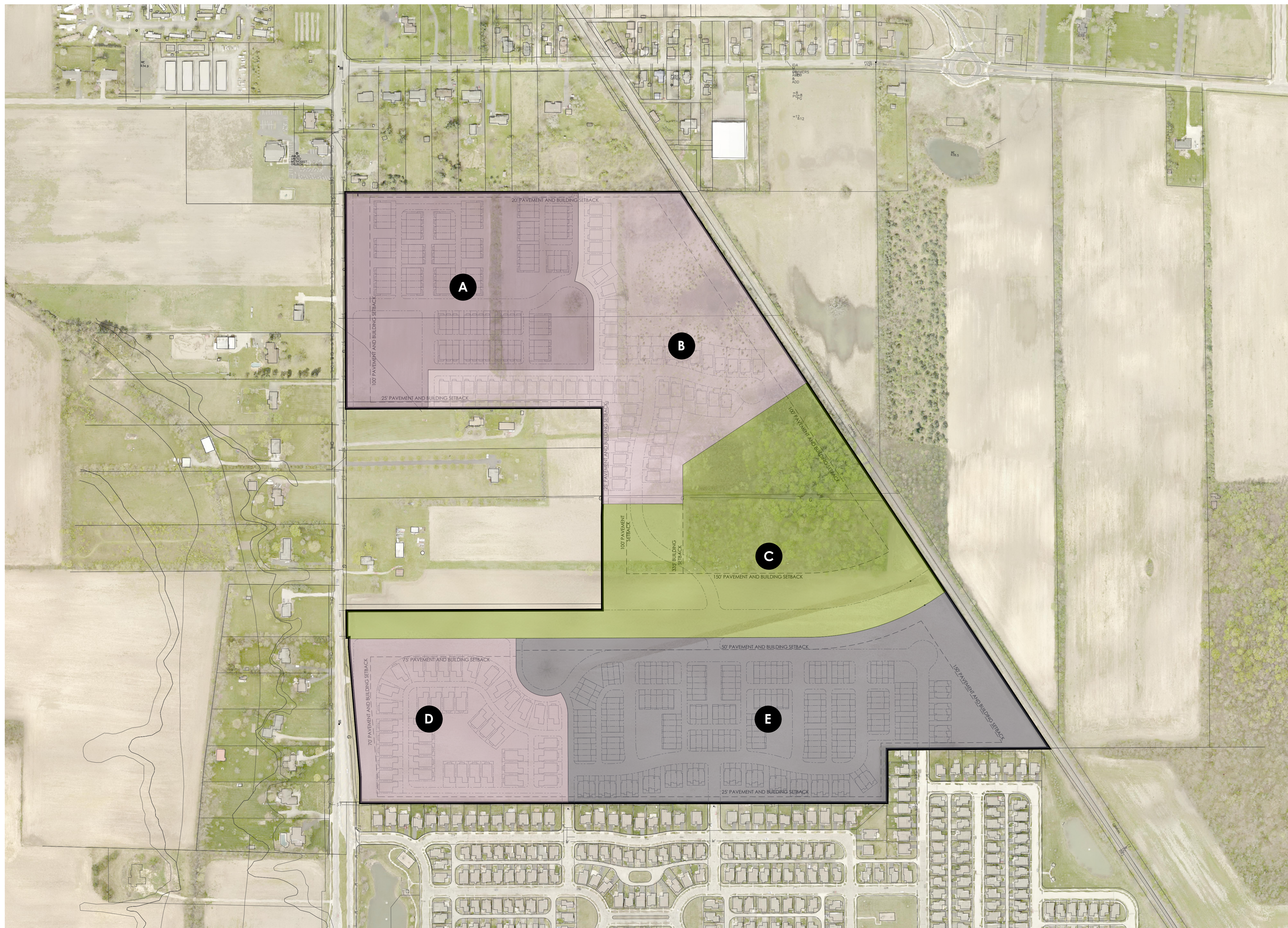
PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
 Dublin, OH  
 June 8, 2023



# EX D - Subarea Plan

## LAND USE KEY

- A** Use: RESIDENTIAL  
Type: Townhomes  
Area: +/-18.027 Acres  
Units: 90 Units  
Density: 5.0 D.U./Acre
  
- B** Use: RESIDENTIAL  
Type: SF Detached  
Area: +/-20.662 Acres  
Units: 58 Units  
Density: 2.81 D.U./Acre
  
- C** Use: OPEN SPACE / TUTTLE ROAD R.O.W.  
Type: Open Space, Existing Vegetation, Roads  
Area: +/-24.504 Acres  
Units: 0 Units  
Density: 0.0 D.U./Acre
  
- D** Use: RESIDENTIAL  
Type: SF Empty Nester  
Area: +/-12.686 Acres  
Units: 43 Units  
Density: 3.39 D.U./Acre
  
- E** Use: RESIDENTIAL  
Type: Townhomes - Rear Load Garage  
Townhomes - Front Load Garage  
Area: +/-28.450 Acres  
Units: 180 Units  
Density: 6.33 D.U./Acre



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
 Dublin, OH  
 June 8, 2023



# EX E.1 - Site Plan

## PLANNING INFORMATION

Included Parcels: Franklin County ID	Ac.	Owner
274001307	20.24	Cosgray Road II LLC
274001004	24.45	Cosgray Road LLC
274001218	60.422	Floyd & Joyce Miller
<b>TOTAL</b>	<b>105.112 Ac.</b>	

Planning Documents: City of Dublin, OH Dubscovery  
FEMA.gov  
Franklin County Auditor GIS  
National Wetlands Inventory

Existing Zoning District: R - Rural District

Existing Land Use: Rural Residential, Agricultural

Recommended Land Use: Mixed Residential Medium Density

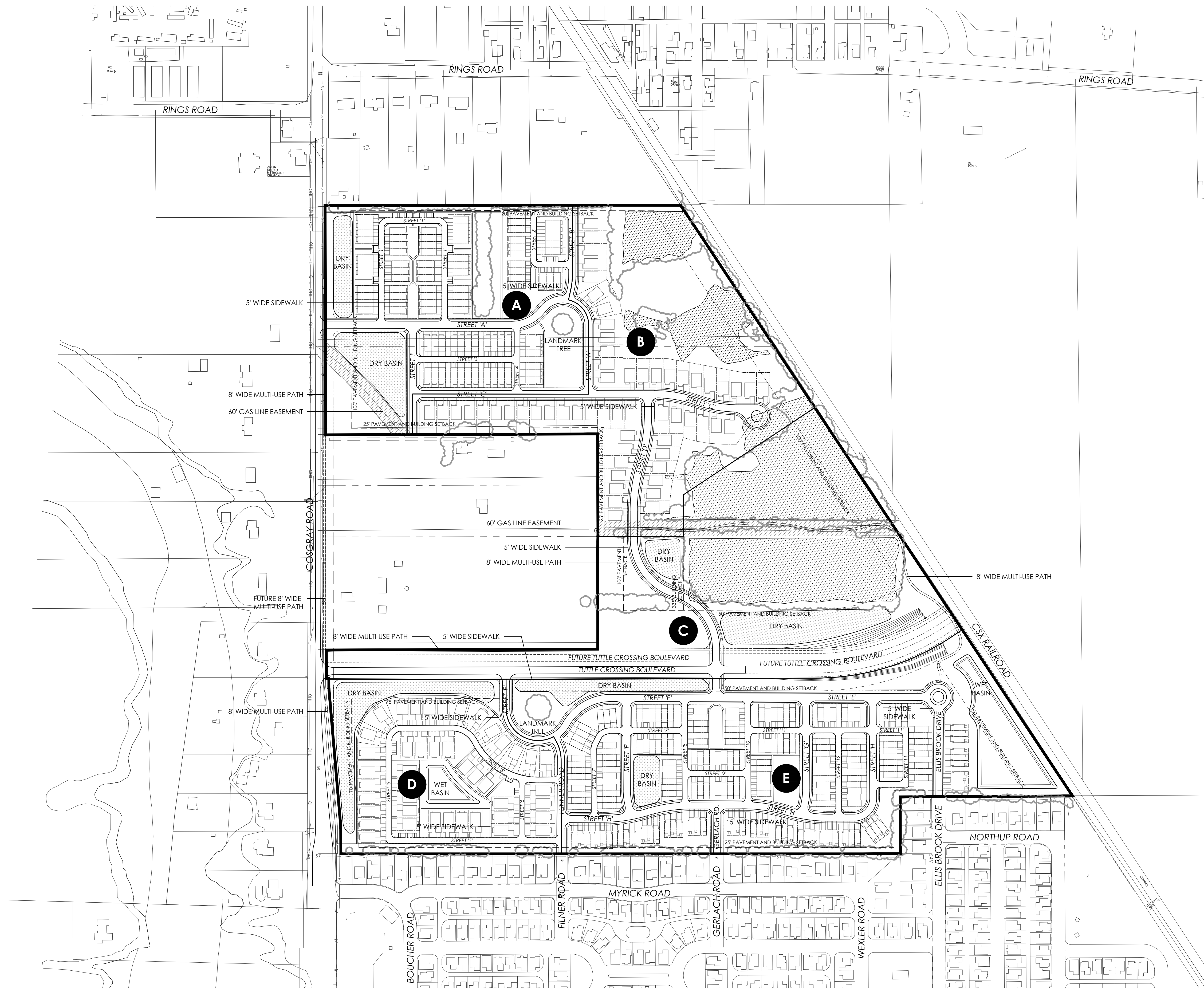
Flood Hazard Area: Zone X - minimal hazard

## DEVELOPMENT DATA

Gross Area:	+/-105.021 AC.
Cosgray R.O.W.:	+/-0.692 AC.
Net Area:	+/-104.329
Total Units:	371 Units
Gross Density:	3.53 D.U./AC.
Open Space Provided:	+/-54.30 AC. (51.70%)

## LAND USE KEY

- A** Use: RESIDENTIAL  
Type: Townhomes  
Area: +/-18.027 Acres  
Units: 90 Units  
Density: 5.0 D.U./Acre
- B** Use: RESIDENTIAL  
Type: SF Detached  
Area: +/-20.662 Acres  
Units: 58 Units  
Density: 2.81 D.U./Acre
- C** Use: OPEN SPACE / TUTTLE ROAD R.O.W.  
Type: Open Space, Existing Vegetation, Roads  
Area: +/-24.504 Acres  
Units: 0 Units  
Density: 0.0 D.U./Acre
- D** Use: RESIDENTIAL  
Type: SF Empty Nester  
Area: +/-12.686 Acres  
Units: 43 Units  
Density: 3.39 D.U./Acre
- E** Use: RESIDENTIAL  
Type: Townhomes - Rear Load Garage  
Townhomes - Front Load Garage  
Area: +/-28.450 Acres  
Units: 180 Units  
Density: 6.33 D.U./Acre



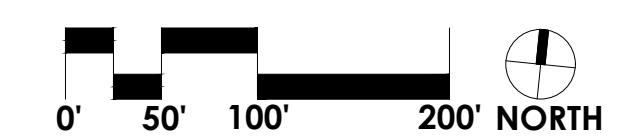
PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
Dublin, OH  
June 8, 2023



# EX E.2 - Enlargement: North Site Plan

## DEVELOPMENT DATA

Gross Area:	+/-105.021 AC.
Cosgray R.O.W.:	+/-0.692 AC.
Net Area:	+/-104.329
Total Units:	371 Units
Gross Density:	3.53 D.U./AC.
Open Space Provided:	+/-54.30 AC. (51.70%)



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
 Dublin, OH  
 June 8, 2023

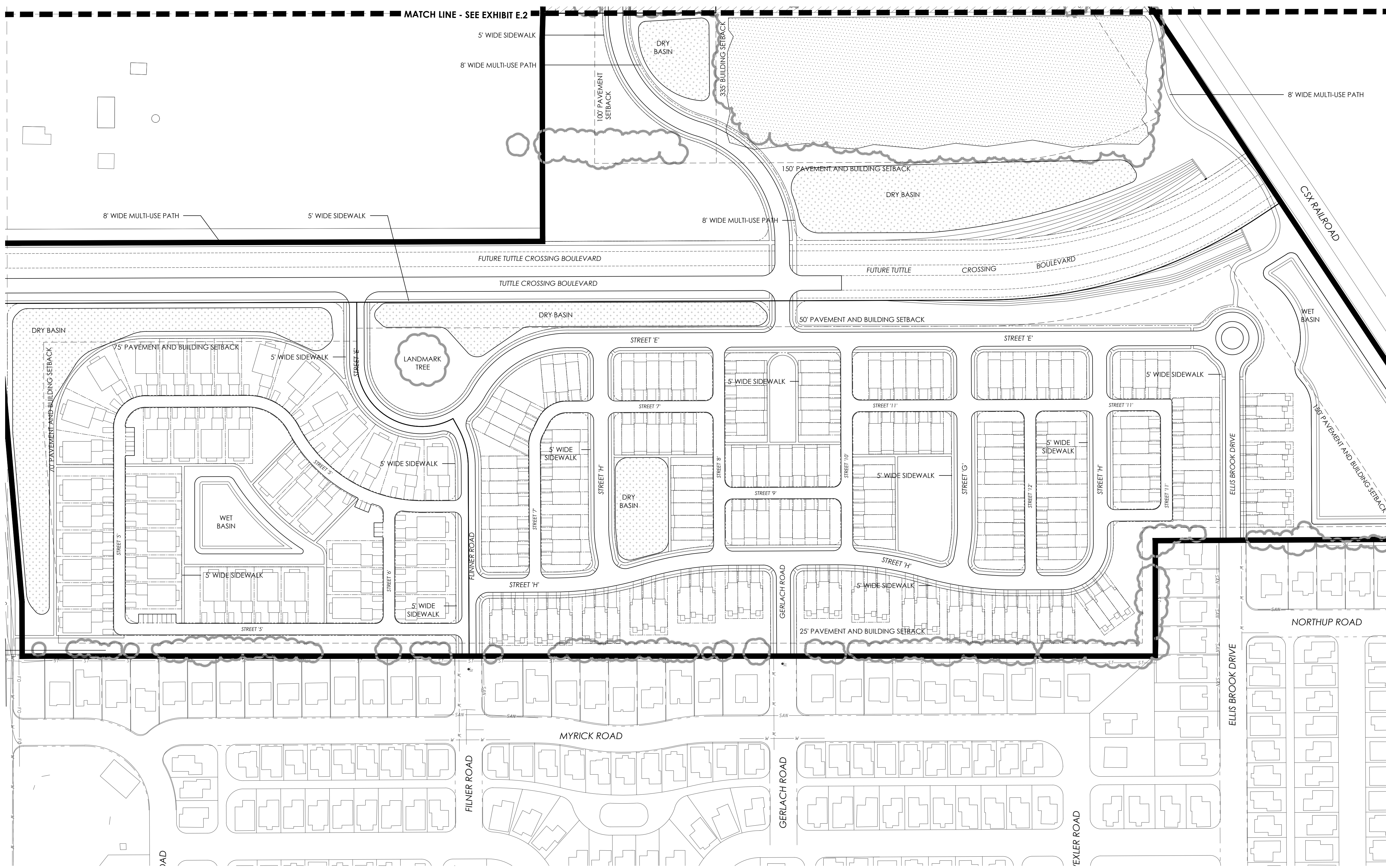




# EX E.3 - Enlargement: South Site Plan

## DEVELOPMENT DATA

Gross Area:	+/-105.021 AC.
Cosgray R.O.W.:	+/-0.692 AC.
Net Area:	+/-104.329
Total Units:	371 Units
Gross Density:	3.53 D.U./AC.
Open Space Provided:	+/-54.30 AC. (51.70%)



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
 Dublin, OH  
 June 8, 2023





# EX E.4 - Illustrative Site Plan

## PLANNING INFORMATION

Included Parcels: Franklin County ID	Ac.	Owner
274001307	20.24	Cosgray Road II LLC
274001004	24.45	Cosgray Road LLC
274001218	60.422	Floyd & Joyce Miller
<b>TOTAL</b>	<b>105.112 Ac.</b>	

Planning Documents: City of Dublin, OH Dubscovery  
FEMA.gov  
Franklin County Auditor GIS  
National Wetlands Inventory

Existing Zoning District: R - Rural District

Existing Land Use: Rural Residential, Agricultural

Recommended Land Use: Mixed Residential Medium Density

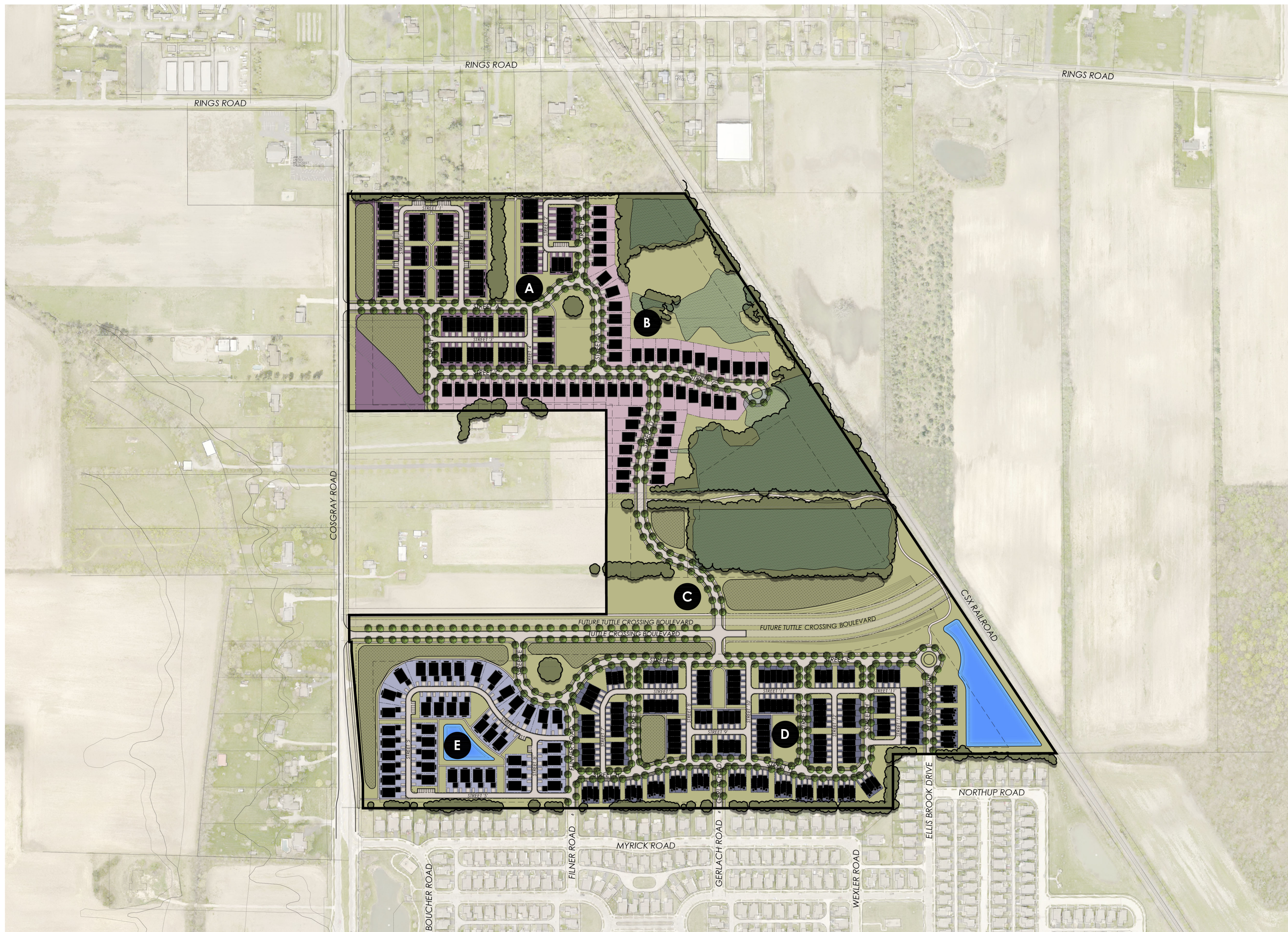
Flood Hazard Area: Zone X - minimal hazard

## DEVELOPMENT DATA

Gross Area:	+/-105.021 AC.
Cosgray R.O.W.:	+/-0.692 AC.
Net Area:	+/-104,329
Total Units:	371 Units
Gross Density:	3.53 D.U./AC.
Open Space Provided:	+/-51.79 AC. (49.31%)

## LAND USE KEY

- A** Use: RESIDENTIAL  
Type: Townhomes  
Area: +/-18.027 Acres  
Units: 90 Units  
Density: 5.0 D.U./Acre
- B** Use: RESIDENTIAL  
Type: SF Detached  
Area: +/-20.662 Acres  
Units: 58 Units  
Density: 2.81 D.U./Acre
- C** Use: OPEN SPACE / TUTTLE ROAD R.O.W.  
Type: Open Space, Existing Vegetation, Roads  
Area: +/-24.504 Acres  
Units: 0 Units  
Density: 0.0 D.U./Acre
- D** Use: RESIDENTIAL  
Type: SF Empty Nester  
Area: +/-12.686 Acres  
Units: 43 Units  
Density: 3.39 D.U./Acre
- E** Use: RESIDENTIAL  
Type: Townhomes - Rear Load Garage  
Townhomes - Front Load Garage  
Area: +/-28.450 Acres  
Units: 180 Units  
Density: 6.33 D.U./Acre



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
Dublin, OH  
June 8, 2023

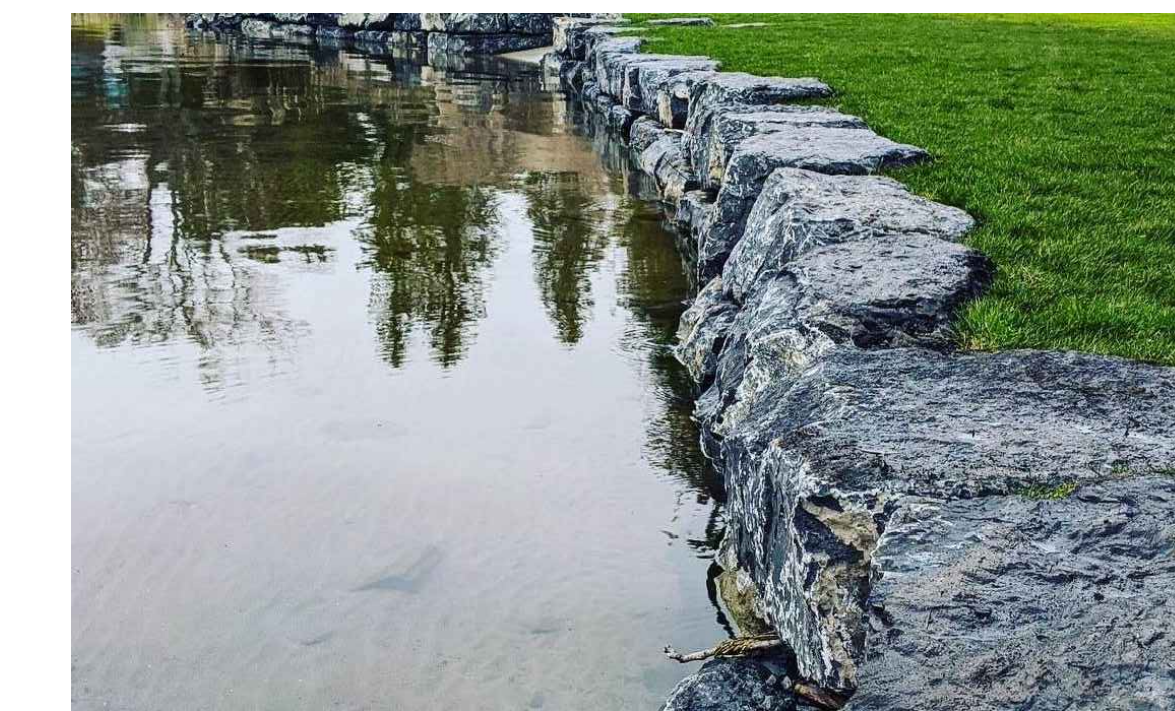


# EX F - Conceptual Landscape Plan

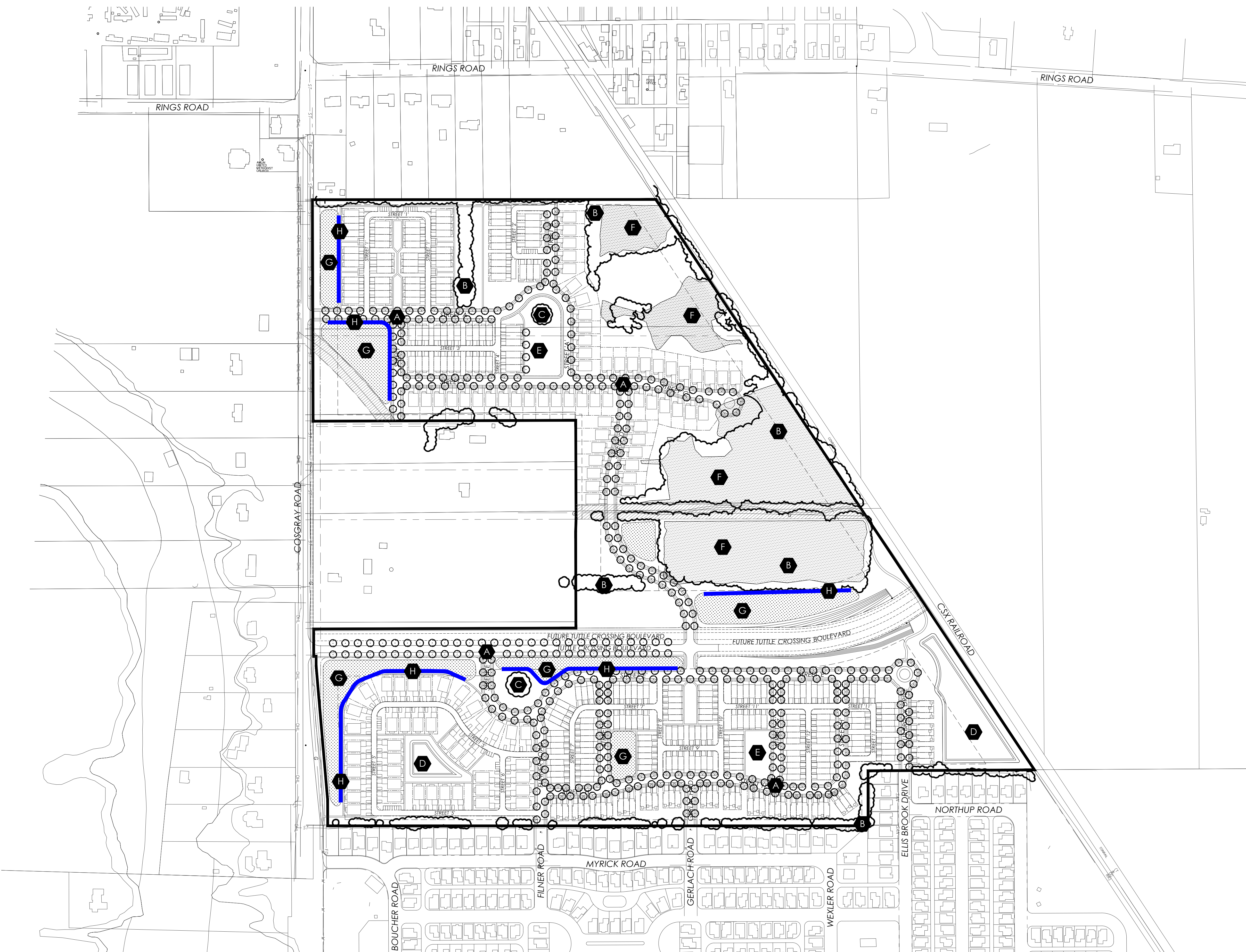
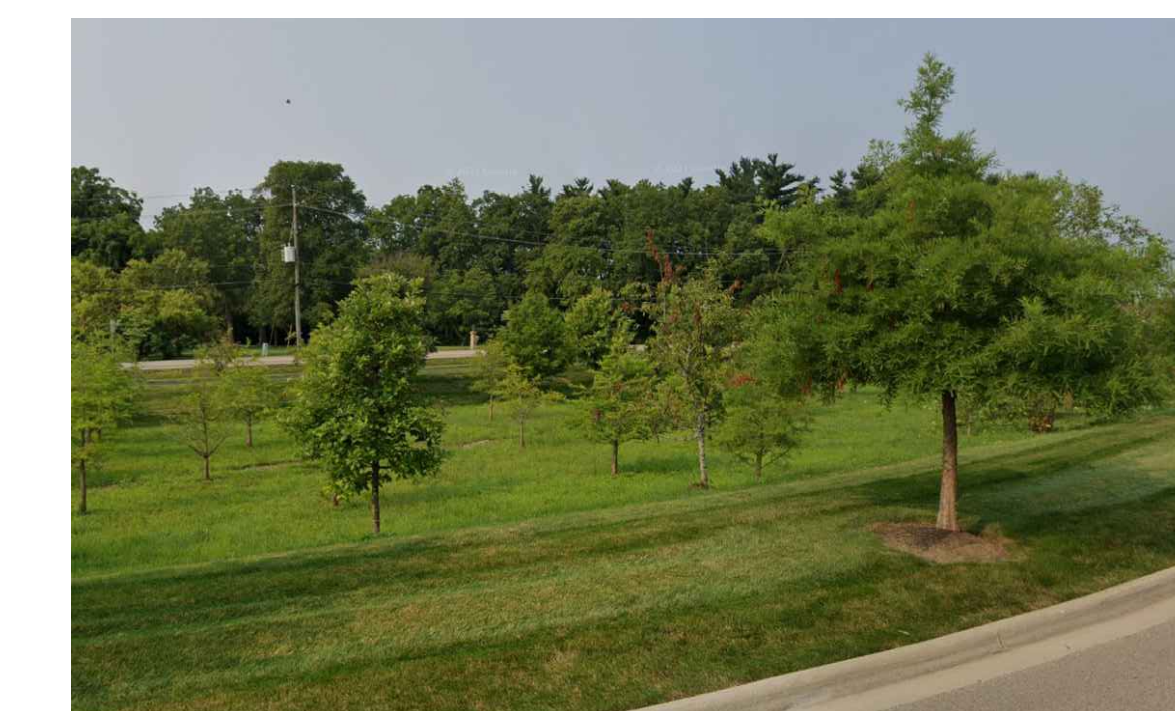
## LANDSCAPE KEY

- A** STREET TREES
- B** EXISTING TREES TO REMAIN
- C** LANDMARK TREE TO REMAIN
- D** POND WITH AERATOR
- E** PARK / AMENITY AREA
- F** EXISTING WETLAND TO REMAIN
- G** WETLAND PLANTING AREA
- H** STONE OUTCROPPING

## SAMPLE STONE OUTCROPPING



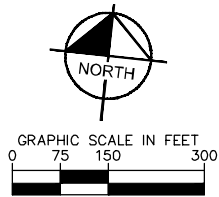
## SAMPLE WETLAND PLANTING AREA



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
 Dublin, OH  
 June 8, 2023



Drawing name: K:\CDE\190016002\_SpotHeight\_Luff\2\_Design\CAD\PlanSheets\Tree surveying\_EX G.1\_25 TREE MITIGATION PLAN (NORTH) (2) Jun 08, 2023 2:35pm By: Brian Springer  
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ORIGINAL ISSUE: 6/7/23		SHEET NUMBER EX G.1	
KHA PROJECT NO. 190016002		COSGRAY ROAD DUBLIN, OH 43016	
<b>TREE PRESERVATION PLAN</b>			
SCALE: 1" = 150'			
DESIGNED BY: BP	DRAWN BY: JDI	CHECKED BY: BP	
<b>Kimley-Horn</b>		© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 190016002 PROJECT, SUITE 200, COSGRAY ROAD, DUBLIN, OH 43016 PHONE: 614-454-6889 WWW.KIMLEY-HORN.COM	
REVISIONS		No.	DATE BY







Drawing name: K:\CDE\190016002\_Schotenstein\_Luff\2\_Design\CAD\PlanSheets\Tree Surveying\_EX G.3 2D TREE MITIGATION PLAN (NORTH) (3) (2) (2) Jun 08, 2023 2:35pm By: brionrenger  
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No.	DATE	BY																		
<p>SCALE: 1"=50'</p> <p>DESIGNED BY: BP</p> <p>DRAWN BY: JDI</p> <p>CHECKED BY: BP</p>	<p><b>TREE PRESERVATION PLAN</b></p>																			
<p><b>AMLIN CROSSING</b></p> <p>COSGRAY ROAD          DUBLIN, OH 43016</p>	<p>ORIGINAL ISSUE:          6/7/23</p> <p>KHA PROJECT NO.          190016002</p> <p>SHEET NUMBER  <b>EX G.3</b></p>																			

1"=50'



Drawing name: K:\CLE\_DE\190016002\_Spot\temple\_luff\2\_Design\CAD\PlanSheets\Tree surveying\_EX G.4 2D TREE MITIGATION PLAN (NORTH). Jun 08, 2023 2:35pm by: brianpranger  
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DESIGNED BY: BP	DRAWN BY: JDI	<p><b>TREE PRESERVATION PLAN</b></p>													
CHECKED BY: BP		<p><b>AMLIN CROSSING</b>          COSGRAY ROAD          DUBLIN, OH 43016</p>													
<p>ORIGINAL ISSUE:          6/7/23</p>		<p>KHA PROJECT NO.          190016002</p>													
<p>SHEET NUMBER  <b>EX G.4</b></p>		<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		No.	DATE	BY									
No.	DATE	BY													

1"=50'



Drawing name: K:\CDE\190016002\_Spotheights\_Luff\2\_Design\CAD\PlanSheets\Tree surveying\_EX G.5\_20 TREE MITIGATION PLAN (NORTH) (3) Jun 08, 2023 2:35pm by: brian.prieger  
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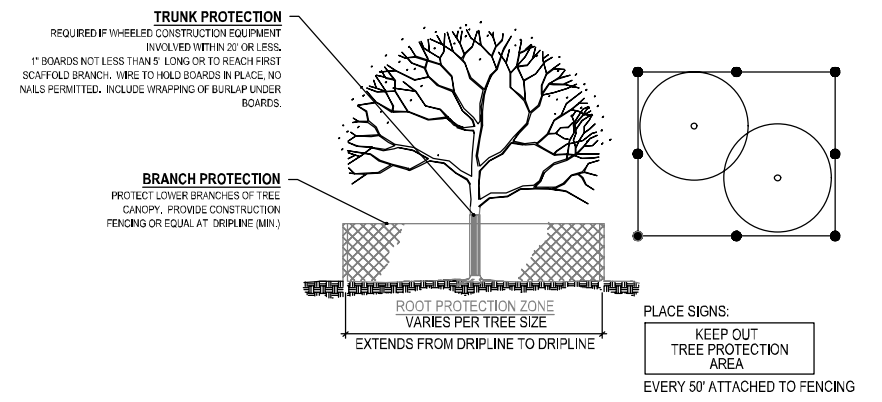
<b>AMLIN CROSSING</b> COSGRAY ROAD DUBLIN, OH 43016	<b>TREE PRESERVATION PLAN</b>	<b>Kimley-Horn</b> <small>© 2023 KIMLEY-HORN AND ASSOCIATES, INC.          200 EAST MAIN STREET, SUITE 200,          COLUMBUS, OH 43215          PHONE: 614-454-6889          WWW.KIMLEY-HORN.COM</small>
ORIGINAL ISSUE: 6/7/23	DESIGNED BY: BP	SCALE: 1"=50'
KHA PROJECT NO. 190016002	DRAWN BY: JDI	CHECKED BY: BP
SHEET NUMBER <b>EX G.5</b>	REVISIONS	
	No.	DATE



Drawing name: K:\CBL\DEV\190016002\_SpotCheck\190016002\_0203060203\_23:35pm by: brian.premier  
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended to be read and interpreted in conjunction with the contract documents and specifications, and shall be subject to the terms and conditions of the contract documents and specifications.

TREE OBSERVATION						
TREE #	Species	Common Name	DBH(")	Tree Condition Ranking	Status	Replacement Inches
4022	quercus alba	white oak	72	good	Preserve	0.0
4023	carya ovata	shagbark hickory	19	good	Preserve	0.0
4024	celtis occidentalis	hackberry	28	good	Preserve	0.0
4025	carya ovata	shagbark hickory	25	good	Preserve	0.0
4026	quercus alba	white oak	28	good	Preserve	0.0
4027	quercus alba	white oak	23	good	Preserve	0.0
4028	quercus alba	white oak	28	good	Preserve	0.0
4029	quercus alba	white oak	18	good	Preserve	0.0
4030	quercus alba	white oak	12	good	Preserve	0.0
4031	quercus alba	white oak	50	good	Preserve	0.0
4032	quercus alba	white oak	11	good	Preserve	0.0
4033	quercus alba	white oak	21	good	Preserve	0.0
4034	quercus alba	white oak	25	good	Preserve	0.0
4035	quercus alba	white oak	26	good	Preserve	0.0
4036	quercus alba	white oak	23	good	Preserve	0.0
4037	quercus alba	white oak	15	good	Preserve	0.0
4038	quercus alba	white oak	19	good	Preserve	0.0
4039	quercus alba	white oak	35	good	Preserve	0.0
4040	carya ovata	shagbark hickory	22.3,11.3,13.7	good	Preserve	47.3
4041	carya ovata	shagbark hickory	31	good	Preserve	31.0
4042	acer saccharum	sugar maple	19	good	Preserve	19.0
4043	quercus palustris	pin oak	15	good	Preserve	0.0
4044	quercus palustris	pin oak	8	good	Preserve	0.0
4045	carya ovata	shagbark hickory	10	good	Preserve	0.0
4046	carya ovata	shagbark hickory	12	good	Preserve	0.0
4047	carya ovata	shagbark hickory	12	good	Preserve	0.0
4048	carya ovata	shagbark hickory	17	good	Preserve	0.0
4049	carya ovata	shagbark hickory	16	good	Preserve	0.0
4050	carya ovata	shagbark hickory	12	good	Remove	12.0
4051	carya ovata	shagbark hickory	18	good	Remove	18.4
4052	carya ovata	shagbark hickory	12	good	Remove	12.3
4053	carya ovata	shagbark hickory	13	good	Remove	12.6
4054	carya ovata	shagbark hickory	15	good	Remove	15.0
4055	carya ovata	shagbark hickory	11	good	Remove	11.3
4056	carya ovata	shagbark hickory	11	good	Remove	10.5
4057	carya ovata	shagbark hickory	12	good	Remove	12.4
4058	carya ovata	shagbark hickory	14	good	Remove	13.7
4059	carya ovata	shagbark hickory	12	good	Remove	11.9
4060	carya ovata	shagbark hickory	12	good	Remove	11.5
4061	carya ovata	shagbark hickory	18	good	Remove	18.3
4062	carya ovata	shagbark hickory	14	good	Remove	14.4
4063	populus deltoides	cottonwood	10.6,7.5	good	Remove	18.1
4064	populus deltoides	cottonwood	7	good	Remove	7.1
4065	populus deltoides	cottonwood	6.2,7.5	good	Remove	13.7
4066	populus deltoides	cottonwood	8.2,8.5	good	Remove	16.7
4067	populus deltoides	cottonwood	6.5,7.6	good	Remove	14.1
4068	celtis occidentalis	hackberry	12	good	Remove	12.0
4069	ulmus	elm	7	good	Remove	7.1
4070	acer rubrum	red maple	10	good	Remove	9.7
4071	celtis occidentalis	hackberry	6.6,3.7	good	Remove	10.3
4072	celtis occidentalis	hackberry	7	good	Remove	6.6
4073	quercus alba	white oak	10	good	Remove	9.7
4074	morus	mulberry	10	good	Remove	10.0
4075	fraxinus americana	white ash	7	good	Remove	7.0
4076	celtis occidentalis	hackberry	9	good	Remove	9.3
4077	celtis occidentalis	hackberry	8	good	Remove	7.7
4078	celtis occidentalis	hackberry	9	good	Remove	9.0
4079	acer rubrum	red maple	3.9,11.6,3.3,4.1	good	Remove	22.9
4080	ulmus	elm	6	good	Remove	6.0
4081	acer rubrum	red maple	10	good	Remove	10.4
4082	acer rubrum	red maple	6	good	Remove	6.0
4083	acer rubrum	red maple	8	good	Remove	8.0
4084	acer rubrum	red maple	8	good	Remove	7.5
4085	acer rubrum	red maple	12	good	Remove	11.7
4086	fraxinus americana	white ash	12	good	Remove	11.7
4087	juniperus virginiana	eastern red cedar	9	good	Remove	9.0
4088	acer rubrum	red maple	52	good	Remove	52.0
4089	quercus rubra	red oak	8	good	Preserve	0.0
4090	ulmus	elm	16	good	Preserve	0.0
4091	fraxinus pennsylvanica	green ash	9	good	Preserve	0.0
4092	ulmus	elm	14	good	Preserve	0.0
4093	quercus alba	red oak	10	good	Preserve	0.0
4094	ulmus	elm	9	good	Preserve	9.0
4095	quercus alba	red oak	31	good	Preserve	31.0
4096	morus	mulberry	9	poor	Preserve	0.0
4097	celtis occidentalis	hackberry	9	good	Preserve	0.0
4098	celtis occidentalis	hackberry	8	good	Preserve	0.0
4099	acer rubrum	red maple	7	good	Preserve	0.0
4100	acer saccharinum	silver maple	9.6,7.4	good	Preserve	0.0
4101	populus deltoides	cottonwood	16	good	Preserve	0.0
4102	quercus rubra	red oak	14	good	Preserve	0.0
4103	morus	mulberry	8	poor	Preserve	0.0
4104	quercus alba	white oak	52	good	Preserve	0.0
4105	morus	mulberry	13	fair	Remove	12.7
4106	morus	mulberry	9	fair	Remove	8.5
4107	morus	mulberry	10	fair	Remove	9.5
4108	morus	mulberry	12	fair	Remove	11.5
4109	acer rubrum	red maple	9	good	Remove	9.2
4110	acer rubrum	red maple	8	good	Remove	8.0
4111	prunus avium	cherry	20	poor	Remove	0.0
4112	celtis occidentalis	hackberry	9	good	Remove	9.2
4113	prunus avium	cherry	8	fair	Remove	8.1
4114	prunus avium	cherry	8	fair	Remove	8.3
4115	acer rubrum	red maple	9,13,18,32,24,22	poor	Remove	0.0
4116	celtis occidentalis	hackberry	8	fair	Remove	7.5
4117	celtis occidentalis	hackberry	38	good	Remove	38.0
4118	celtis occidentalis	hackberry	14	good	Remove	14.4
4119	acer rubrum	red maple	18,11,16,18,15,20	fair	Remove	98.0
4120	acer rubrum	red maple	8	good	Remove	7.5
4121	morus	mulberry	10	fair	Remove	9.5
4122	quercus alba	white oak	13	good	Remove	13.0
4123	celtis occidentalis	hackberry	12	good	Remove	12.3
4124	morus	mulberry	12	poor	Remove	0.0
4125	celtis occidentalis	hackberry	12	fair	Remove	12.0
4126	fraxinus americana	white ash	18	fair	Preserve	0.0
4127	quercus rubra	red oak	8	good	Preserve	0.0
4128	morus	mulberry	13.5	poor	Preserve	0.0
4129	ulmus	elm	37.2	good	Preserve	0.0
4130	celtis occidentalis	hackberry	12	good	Preserve	0.0
4131	celtis occidentalis	hackberry	10	poor	Preserve	0.0

4132	morus	mulberry	10.5	poor	Preserve	0.0
4133	acer nigrum	black maple	8.8	fair	Preserve	0.0
4134	celtis occidentalis	hackberry	10.1	fair	Preserve	0.0
4135	celtis occidentalis	hackberry	10.7	fair	Preserve	0.0
4136	celtis occidentalis	hackberry	7.8	fair	Preserve	0.0
4137	celtis occidentalis	hackberry	15	fair	Preserve	0.0
4138	morus	mulberry	18	fair	Preserve	0.0
4139	celtis occidentalis	hackberry	15.7	fair	Preserve	0.0
4140	quercus rubra	red oak	16.4	fair	Preserve	0.0
4141	celtis occidentalis	hackberry	18.8	good	Preserve	0.0
4142	ulmus	elm	6.9	good	Preserve	0.0
4143	celtis occidentalis	hackberry	10.5	good	Preserve	0.0
4144	ulmus	elm	11.3	good	Preserve	0.0
4240	populus deltoides	Cottonwood	12.1	good	Remove	12.1
4241	populus deltoides	Cottonwood	8.2	good	Remove	8.2
4242	populus deltoides	Cottonwood	14	good	Remove	14
4243	populus deltoides	Cottonwood	15.8	good	Remove	15.8
4244	populus deltoides	Cottonwood	10	good	Remove	10
4245	populus deltoides	Cottonwood	6.5	good	Remove	6.5
4246	populus deltoides	Cottonwood	7.1	good	Remove	7.1
4247	populus deltoides	Cottonwood	6.2	good	Remove	6.2
4248	populus deltoides	Cottonwood	13	good	Remove	13
4249	populus deltoides	Cottonwood	6.3	good	Remove	6.3
4250	populus deltoides	Cottonwood	6.5	good	Remove	6.5
4251	populus deltoides	Cottonwood	8.2	good	Remove	8.2
4252	populus deltoides	Cottonwood	6	good	Remove	6
4253	populus deltoides	Cottonwood	8.3	good	Remove	8.3
4254	populus deltoides	Cottonwood	12	good	Remove	12
4255	populus deltoides	Cottonwood	10.6	good	Remove	10.6
4256	populus deltoides	Cottonwood	9.5	good	Remove	9.5
4257	populus deltoides	Cottonwood	7.8	good	Remove	7.8
4258	populus deltoides	Cottonwood	7	good	Remove	7
4259	populus deltoides	Cottonwood	7.2	good	Remove	7.2
4260	populus deltoides	Cottonwood	8.5	good	Remove	8.5
4261	populus deltoides	Cottonwood	7.1	good	Remove	7.1
4262	populus deltoides	Cottonwood	6.2	good	Remove	6.2
4263	populus deltoides	Cottonwood	7.8	good	Remove	7.8
4264	populus deltoides	Cottonwood	6.3	good	Remove	6.3
4266	populus deltoides	Cottonwood	7.5	good	Remove	7.5
4267	populus deltoides	Cottonwood	8.3	good	Remove	8.3
4269	populus deltoides	Cottonwood	6.9	good	Remove	6.9
4270	populus deltoides	Cottonwood	8.5	good	Remove	8.5
4271	populus deltoides	Cottonwood	8	good	Remove	8
4272	populus deltoides	Cottonwood	8.4	good	Remove	8.4
4273	populus deltoides	Cottonwood	9.8	good	Remove	9.8
4274	populus deltoides	Cottonwood	6.1	good	Remove	6.1
4275	populus deltoides	Cottonwood	8	good	Remove	8
4276	populus deltoides	Cottonwood	6.7	good	Remove	6.7
4277	populus deltoides	Cottonwood	14.1	good	Remove	14.1
4278	populus deltoides	Cottonwood	8	good	Remove	8
4281	populus deltoides	Cottonwood	9.5	good	Remove	9.5
4282	populus deltoides	Cottonwood	11.2	good	Remove	11.2
4283	populus deltoides	Cottonwood	6.2	good	Remove	6.2
4285	populus deltoides	Cottonwood	10.5	good	Remove	10.5
4286	populus deltoides	Cottonwood	13.4	good	Remove	13.4
4287	populus deltoides	Cottonwood	6.3	good	Remove	6.3
4288	populus deltoides	Cottonwood	9.5	good	Remove	9.5
4289	populus deltoides	Cottonwood	7.8	good	Remove	7.8
4290	Salix	willow	13	good	Remove	13
4291	populus deltoides	Cottonwood	8.6	good	Remove	8.6
4292	populus deltoides	Cottonwood	9.3	good	Remove	9.3
4293	populus deltoides	Cottonwood	7.3	good	Remove	7.3
4294	populus deltoides	Cottonwood	7.1	good	Preserve	0
Total Replacement Caliper						1353.2



- TREE PROTECTION NOTES**
- ALL TREES TO BE PROTECTED AND PRESERVED SHALL BE PER DETAIL. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
  - TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE.
  - TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
  - TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
  - WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, WHEN ROOT ENERGY SUPPLIES ARE HIGH AND CONDITIONS ARE LEAST FAVORABLE FOR DISEASE CAUSING AGENTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST.
  - WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
  - AUGER TUNNELING RATHER THAN TRENCHING SHOULD BE USED FOR UTILITY PLACEMENT WITHIN DRIP LINE.
  - FENCING MATERIAL SHALL ENCIRCLE ANY TREE OR SHRUB WHOSE OUTER DRIP LINE EDGE IS WITHIN 20 FEET OF ANY CONSTRUCTION ACTIVITIES.
  - FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
  - FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
  - ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.
  - REFER TO PLANS FOR FENCE STAKING LOCATIONS.

**1 TREE PROTECTION** NTS

**TREE REPLACEMENT CALCULATIONS**

TREES TO BE REMOVED

EXISTING GOOD AND FAIR TREES TO BE REMOVED ≥6" DBH TO BE REPLACED ON A 1" DBH - 1" REPLACEMENT CALIPER RATIO.

116 TREES TO BE REPLACED ON A 1" - 1" BASIS

1353.2" DBH REMOVED TO BE REPLACED WITH 1353.2" TOTAL CAL. REPLACEMENT TREES.

<b>Kimley-Horn</b>	© 2003 KIMLEY-HORN AND ASSOCIATES, INC. COLUMBUS, OH 43235 PHONE: 614-454-6699 WWW.KIMLEY-HORN.COM
DESIGNED BY: BP	DRAWN BY: JDI
CHECKED BY: BP	DATE: _____
<b>TREE PRESERVATION TABLE</b>	
<b>AMLIN CROSSING</b>	
COSGRAY ROAD DUBLIN, OH 43016	
ORIGINAL ISSUE: 6/7/23	
KHA PROJECT NO. 190016002	
SHEET NUMBER <b>EX G.6</b>	



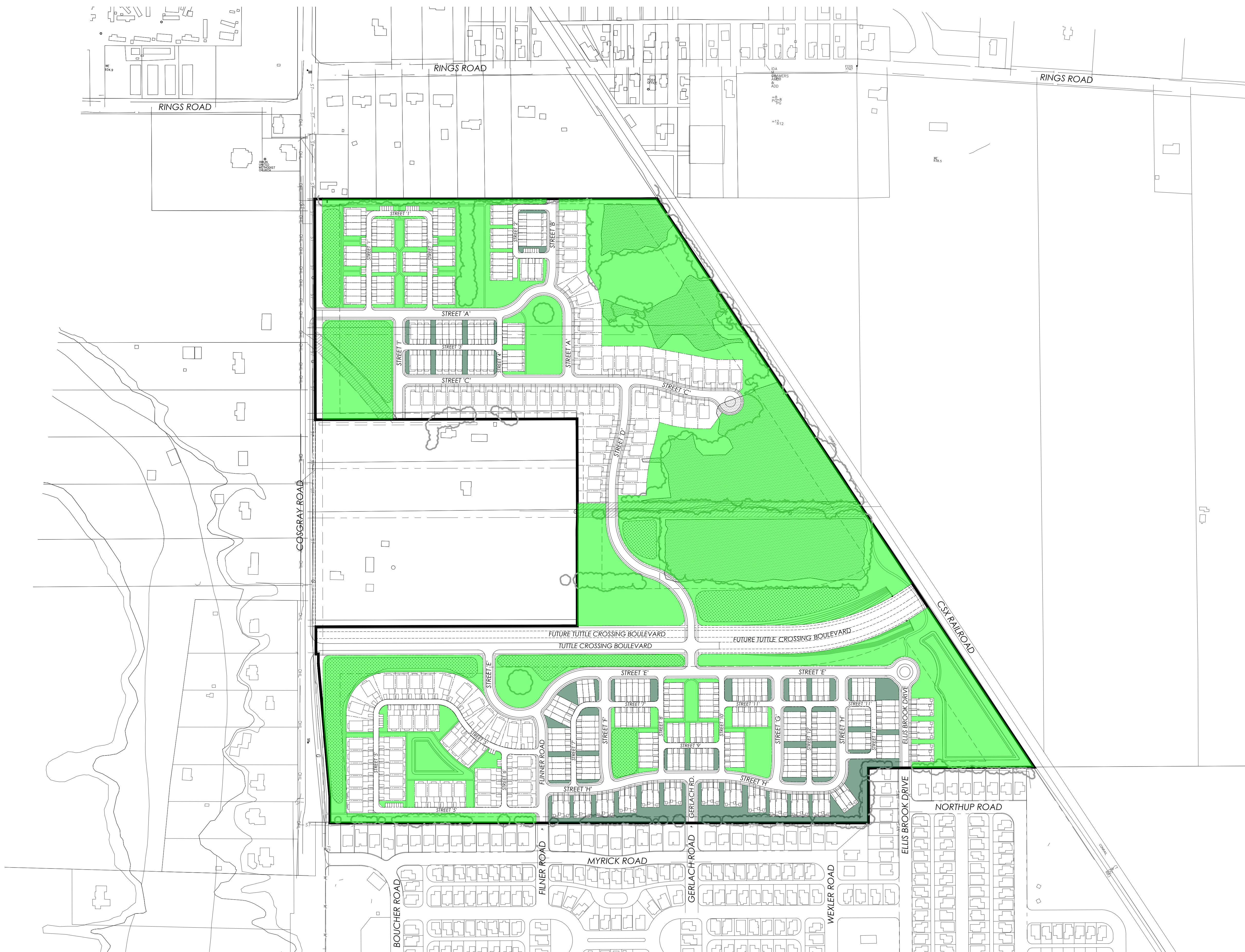
# EX H - Open Space Plan

## DEVELOPMENT DATA

Gross Area:	+/-105.021 AC.
Reserve Area Provided:	+/-49.12 AC.
Other Open Space Provided:	+/-5.18 AC.
Open Space Provided:	+/-54.30 AC. (51.70%)

## LEGEND

- Open Space Reserve Area
- Other Open Space



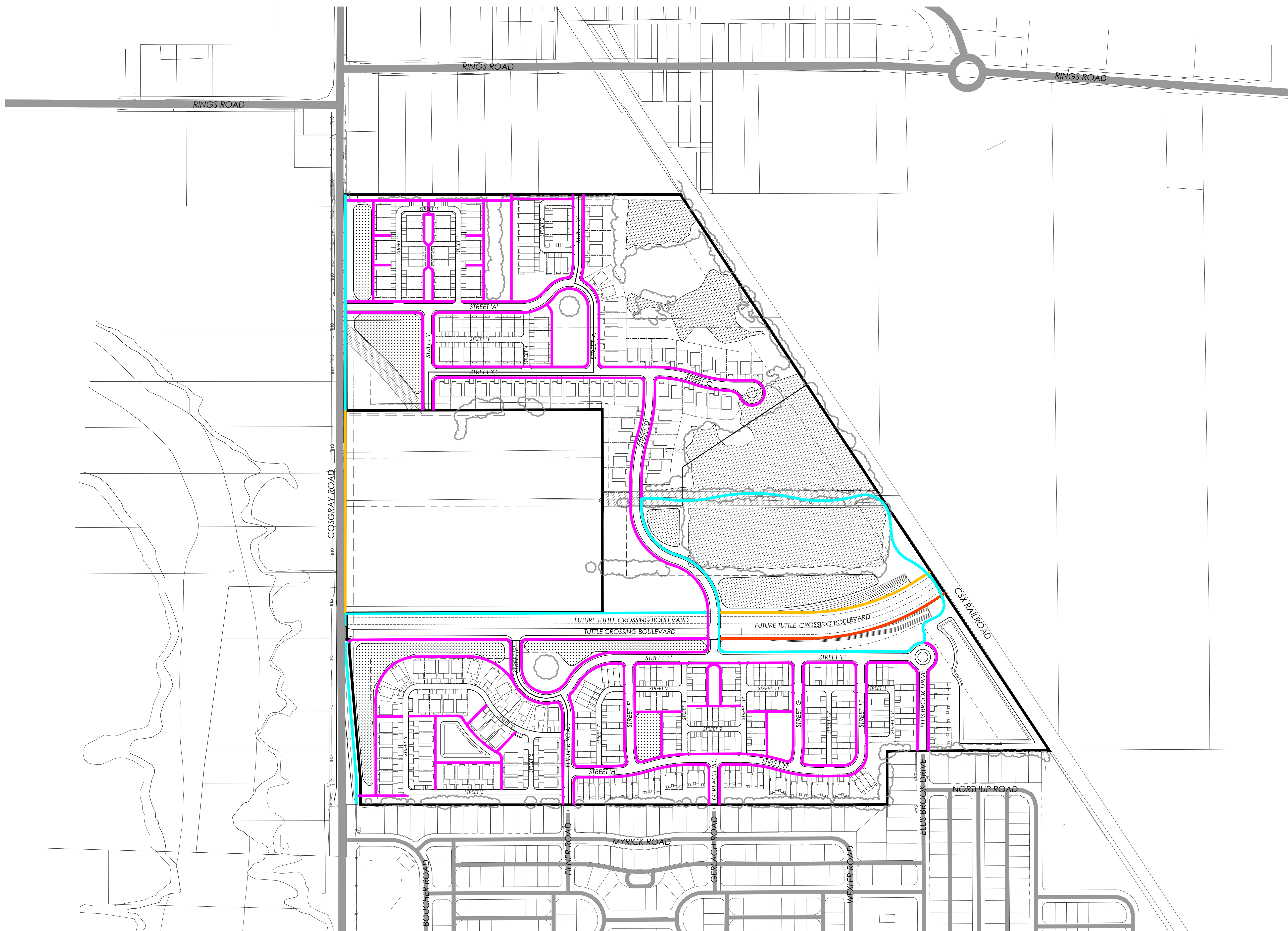
PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
 Dublin, OH  
 June 8, 2023



# EX I.1 - Pedestrian Circulation Path

## LEGEND

- Public Sidewalk
- Public Multi-Use Path
- Future Public Multi-Use Path
- Future Public Sidewalk
- Existing Streets



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
 Dublin, OH  
 June 8, 2023



# EX I.2 - Vehicular Circulation Path

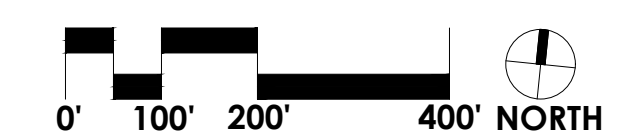
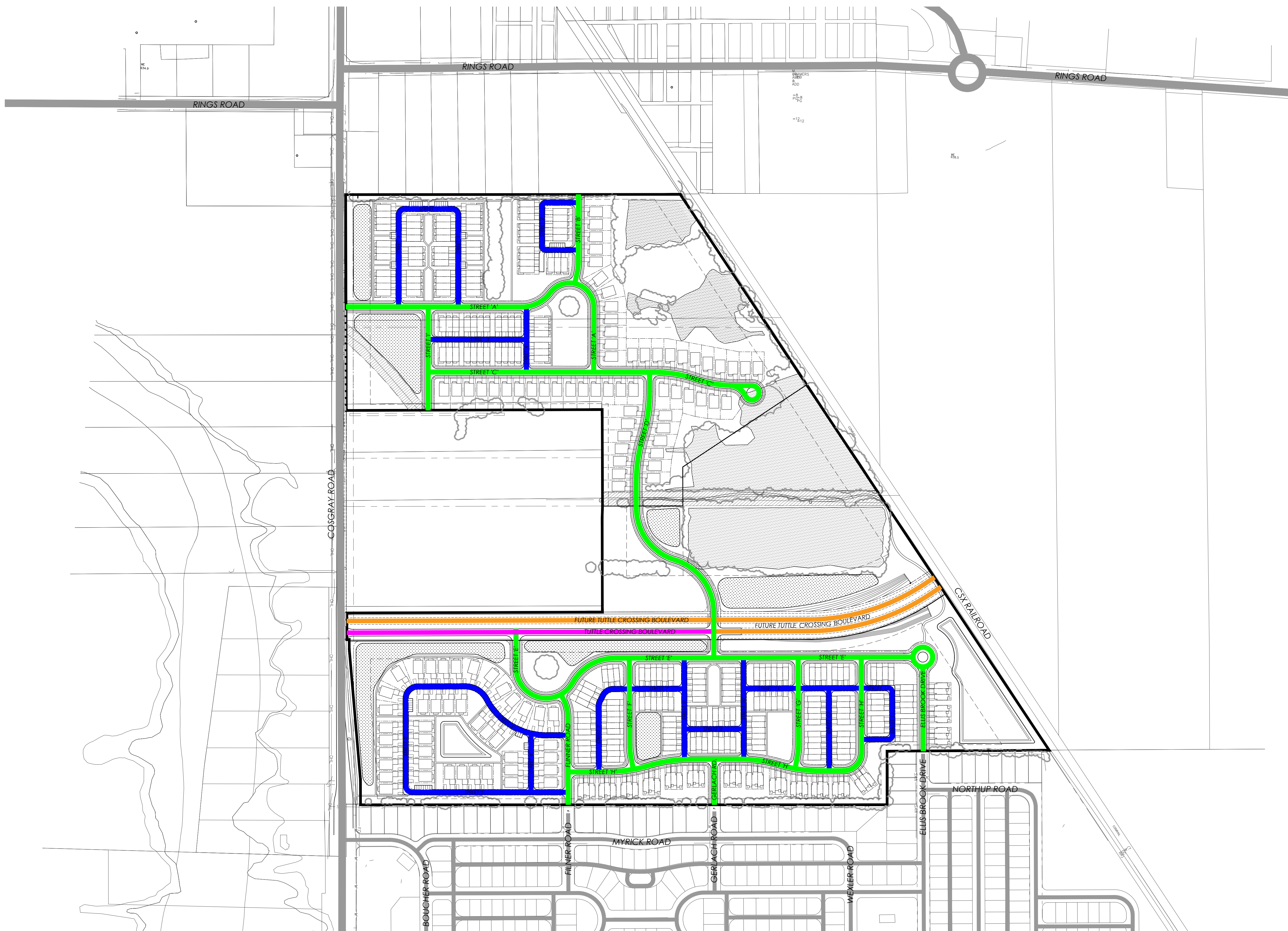
## LEGEND

### Regional Roadways

- Minor Arterial (Public)
- Minor Arterial - Future (Public)
- Existing Streets

### Local Roadways

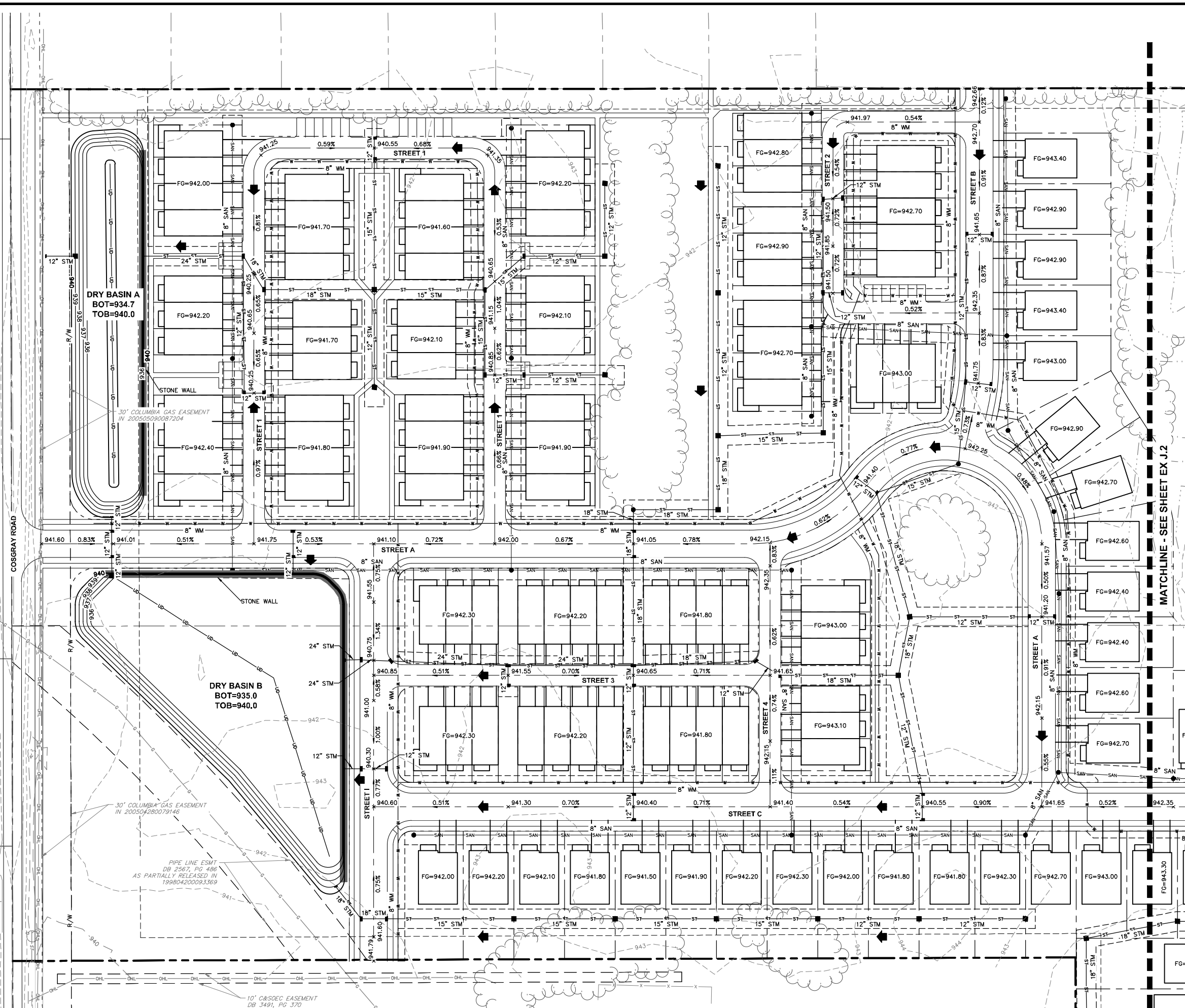
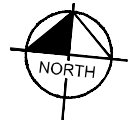
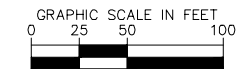
- Local Street (Public)
- Service Street (Public)



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
 Dublin, OH  
 June 8, 2023



Drawing name: K:\CBL\JOB\190016002\_Spot\KHA\190016002\_Initial\Utility & Grading\Plan\Utility & Grading\Plan.dwg EX J.1 UTILITY & GRADING PLAN Jun 08, 2023 2:35pm by: brian.prenner  
 This document, together with the contracts and design presented herein, is an instrument of service, in which it is intended that the contractor shall be without liability to Kimley-Horn and Associates, Inc.



**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- 860 — EXISTING INDEX CONTOUR
- 859 — EXISTING INTERMEDIATE CONTOUR
- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- SAN — SAN — EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- PROPOSED TREE PRESERVATION LINE
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED CENTERLINE
- PROPOSED SETBACK
- PROPOSED BACK OF CURB
- PROPOSED SIDEWALK
- PROPOSED BUILDING OUTLINE
- PROPOSED DRIVEWAY
- 860 — PROPOSED MAJOR CONTOUR
- 859 — PROPOSED MINOR CONTOUR
- W — W — PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT
- SAN — SAN — PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- ST — ST — ST — PROPOSED STORM SEWER LINE
- PROPOSED CATCH BASIN
- PROPOSED HEADWALL
- PROPOSED STORM MANHOLE
- PROPOSED STORM CURB INLET
- ● — PROPOSED YARD DRAIN
- FLOOD ROUTING ARROW
- FLOW ARROW
- PROPOSED STONE WALL
- FG — PROPOSED FINISH GRADE ELEVATION
- BOT — PROPOSED BOTTOM OF BASIN
- TOB — PROPOSED TOP OF BANK
- NP — PROPOSED NORMAL POOL
- UD — UD — PROPOSED UNDERDRAIN

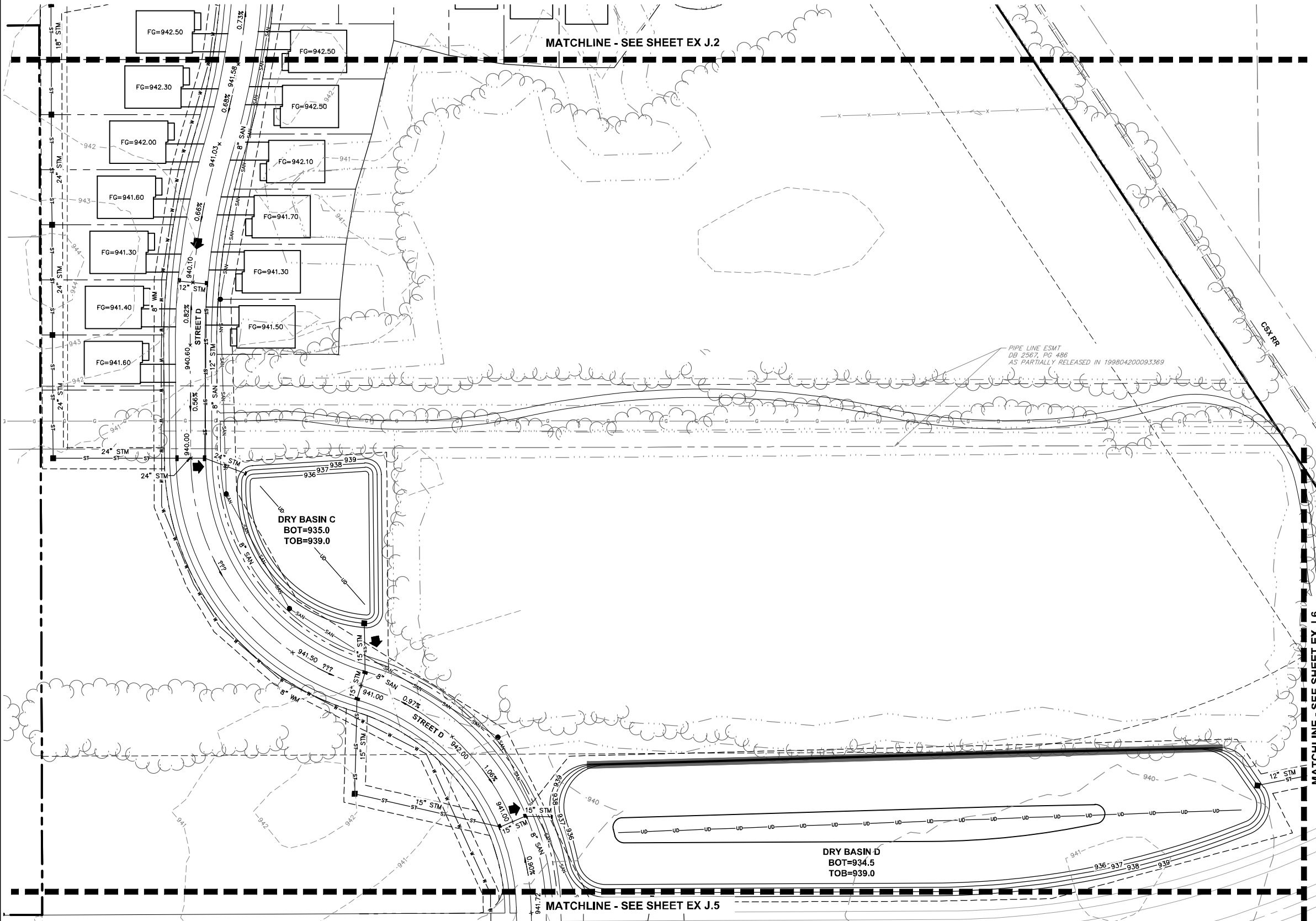
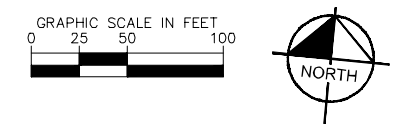
**NOTES**

1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

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<b>UTILITY &amp; GRADING PLAN</b>		SCALE: 1"=50'
<b>AMLIN CROSSING</b>	COSGRAY ROAD DUBLIN, OH 43016	DESIGNED BY: BP DRAWN BY: JDI CHECKED BY: BP
ORIGINAL ISSUE: 6/7/23		KHA PROJECT NO. 190016002
SHEET NUMBER <b>EX J.1</b>		
REVISIONS		DATE BY



Drawing name: K:\CDE\190016002\_SpotHeight\_Luff\2\_Design\CAD\PlanSheets\Primary Development\Plan\UTILITY & GRADING PLAN - Jun 08, 2023 2:35pm by: brianprenger  
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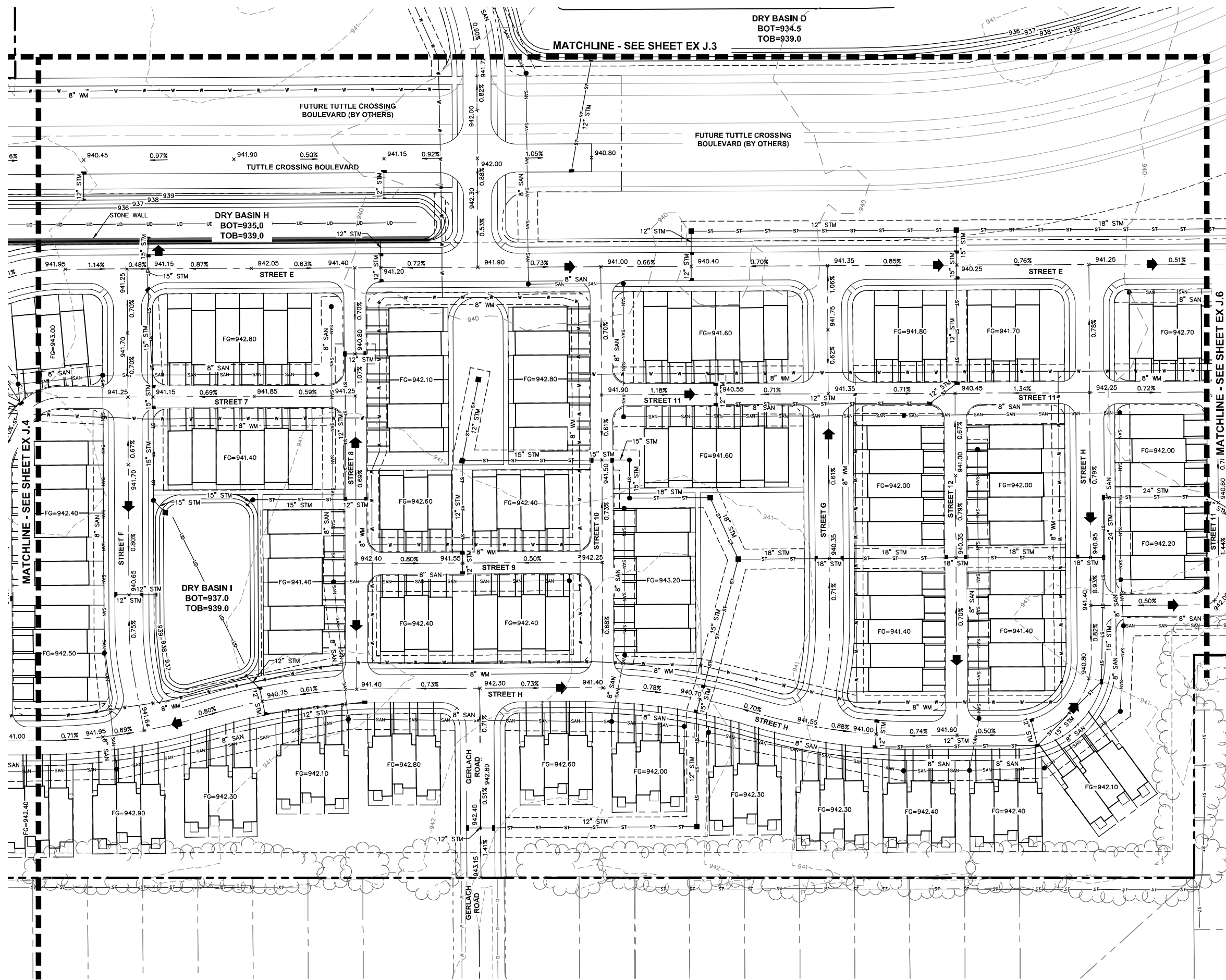
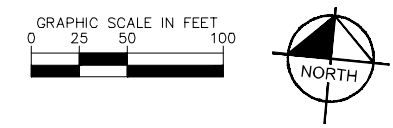


- LEGEND**
- EXISTING PROPERTY LINE
  - - - EXISTING RIGHT-OF-WAY
  - - - 860 EXISTING INDEX CONTOUR
  - - - 859 EXISTING INTERMEDIATE CONTOUR
  - - - EXISTING WATERLINE
  - W — W — EXISTING FIRE HYDRANT
  - SAN — SAN — EXISTING SANITARY SEWER
  - EXISTING SANITARY MANHOLE
  - - - PROPOSED TREE PRESERVATION LINE
  - - - PROPOSED PROPERTY LINE
  - - - PROPOSED RIGHT-OF-WAY
  - - - PROPOSED CENTERLINE
  - - - PROPOSED SETBACK
  - - - PROPOSED BACK OF CURB
  - - - PROPOSED SIDEWALK
  - - - PROPOSED BUILDING OUTLINE
  - - - PROPOSED DRIVEWAY
  - - - 860 PROPOSED MAJOR CONTOUR
  - - - 859 PROPOSED MINOR CONTOUR
  - - - W — W — PROPOSED WATER LINE
  - SAN — SAN — PROPOSED FIRE HYDRANT
  - SAN — SAN — PROPOSED SANITARY SEWER
  - PROPOSED SANITARY MANHOLE
  - ST — ST — PROPOSED STORM SEWER LINE
  - PROPOSED CATCH BASIN
  - PROPOSED HEADWALL
  - PROPOSED STORM MANHOLE
  - PROPOSED STORM CURB INLET
  - PROPOSED YARD DRAIN
  - ➔ FLOOD ROUTING ARROW
  - ➔ FLOW ARROW
  - PROPOSED STONE WALL
  - FG PROPOSED FINISH GRADE ELEVATION
  - BOT PROPOSED BOTTOM OF BASIN
  - TOB PROPOSED TOP OF BANK
  - NP PROPOSED NORMAL POOL
  - UD — UD — PROPOSED UNDERDRAIN

**NOTES**  
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SCALE: 1"=50'	DESIGNED BY: BP	DRAWN BY: JDI	CHECKED BY: BP	<b>UTILITY &amp; GRADING PLAN</b>			
<b>AMLIN CROSSING</b>				COSGRAY ROAD DUBLIN, OH 43016			
ORIGINAL ISSUE: 6/7/23							
KHA PROJECT NO. 190016002							
SHEET NUMBER <b>EX J.3</b>							
							DATE
							BY

Drawing name: K:\CDE\190016002\_Spotheights\_Luff\2 Design\AAD\PlanSheets\Primary Development\Plan\UTILITY & GRADING PLAN - EX J.5 UTILITY & GRADING PLAN - Jun 08, 2023 2:35pm by: brianrengier  
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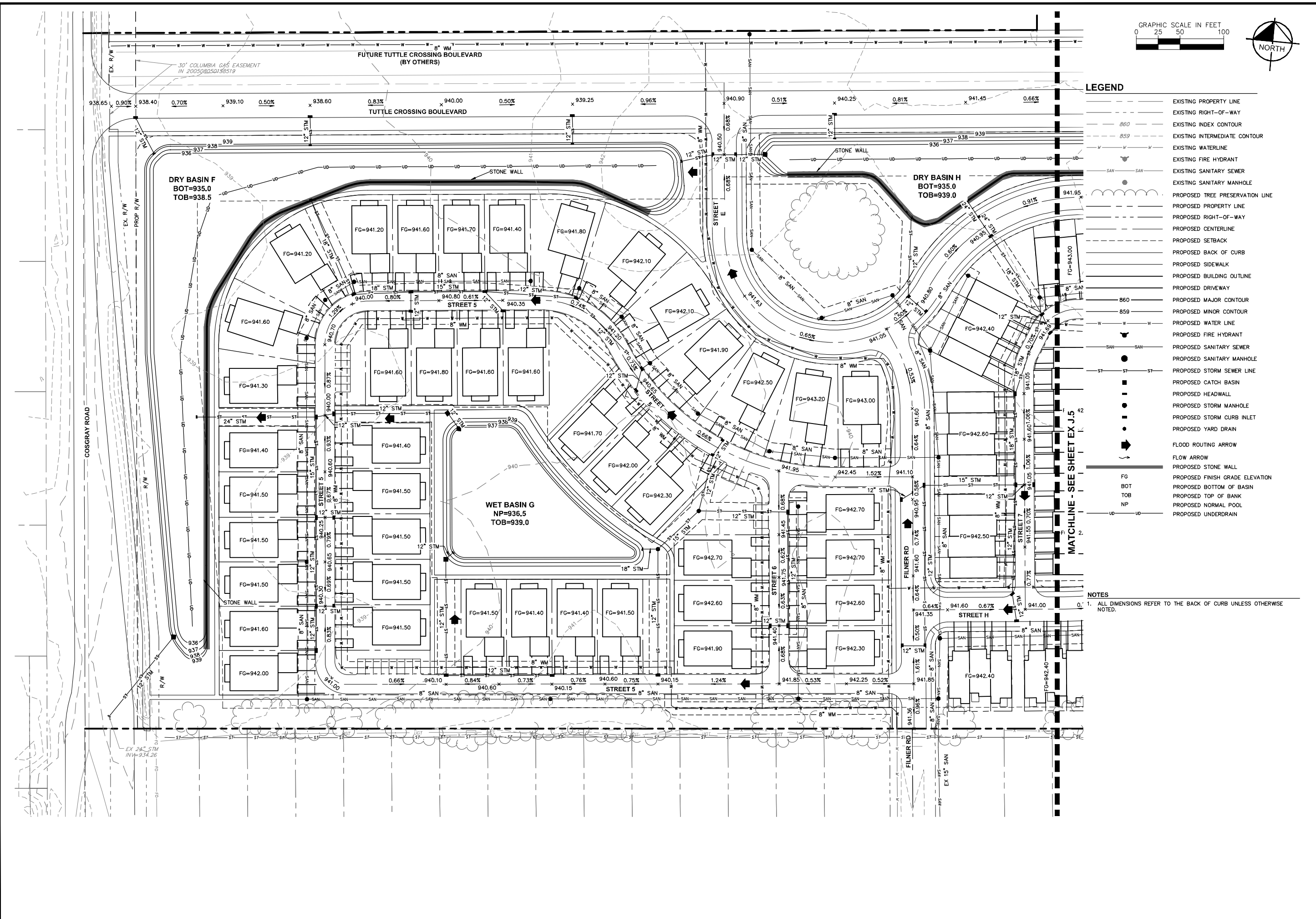


- ### LEGEND
- EXISTING PROPERTY LINE
  - EXISTING RIGHT-OF-WAY
  - 860 — EXISTING INDEX CONTOUR
  - 859 — EXISTING INTERMEDIATE CONTOUR
  - EXISTING WATERLINE
  - EXISTING FIRE HYDRANT
  - EXISTING SANITARY SEWER
  - EXISTING SANITARY MANHOLE
  - PROPOSED TREE PRESERVATION LINE
  - PROPOSED PROPERTY LINE
  - PROPOSED RIGHT-OF-WAY
  - PROPOSED CENTERLINE
  - PROPOSED SETBACK
  - PROPOSED BACK OF CURB
  - PROPOSED SIDEWALK
  - PROPOSED BUILDING OUTLINE
  - PROPOSED DRIVEWAY
  - 860 — PROPOSED MAJOR CONTOUR
  - 859 — PROPOSED MINOR CONTOUR
  - PROPOSED WATER LINE
  - PROPOSED FIRE HYDRANT
  - PROPOSED SANITARY SEWER
  - PROPOSED SANITARY MANHOLE
  - PROPOSED STORM SEWER LINE
  - PROPOSED CATCH BASIN
  - PROPOSED HEADWALL
  - PROPOSED STORM MANHOLE
  - PROPOSED STORM CURB INLET
  - PROPOSED YARD DRAIN
  - FLOOD ROUTING ARROW
  - FLOW ARROW
  - PROPOSED STONE WALL
  - FG — PROPOSED FINISH GRADE ELEVATION
  - BOT — PROPOSED BOTTOM OF BASIN
  - TOB — PROPOSED TOP OF BANK
  - NP — PROPOSED NORMAL POOL
  - PROPOSED UNDERDRAIN

**NOTES**  
 1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

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<b>UTILITY &amp; GRADING PLAN</b>	<b>EX J.5</b>
<b>AMLIN CROSSING</b>	COSGRAY ROAD DUBLIN, OH 43016
SCALE: 1"=50'	DESIGNED BY: BP
DRAWN BY: JDI	CHECKED BY: BP
ORIGINAL ISSUE: 6/7/23	KHA PROJECT NO. 190016002
SHEET NUMBER EX J.5	REVISIONS
NO.	DATE

Drawing name: K:\CDE\190016002\_Spot\Kestrel\_Luff\2\_Design\CAD\PlanSheet\Development\_Plan\UTILITY & GRADING PLAN - EX J.4 UTILITY & GRADING PLAN - Jun 08, 2023 2:35pm by: brianprenger  
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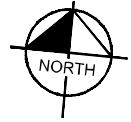
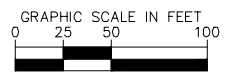
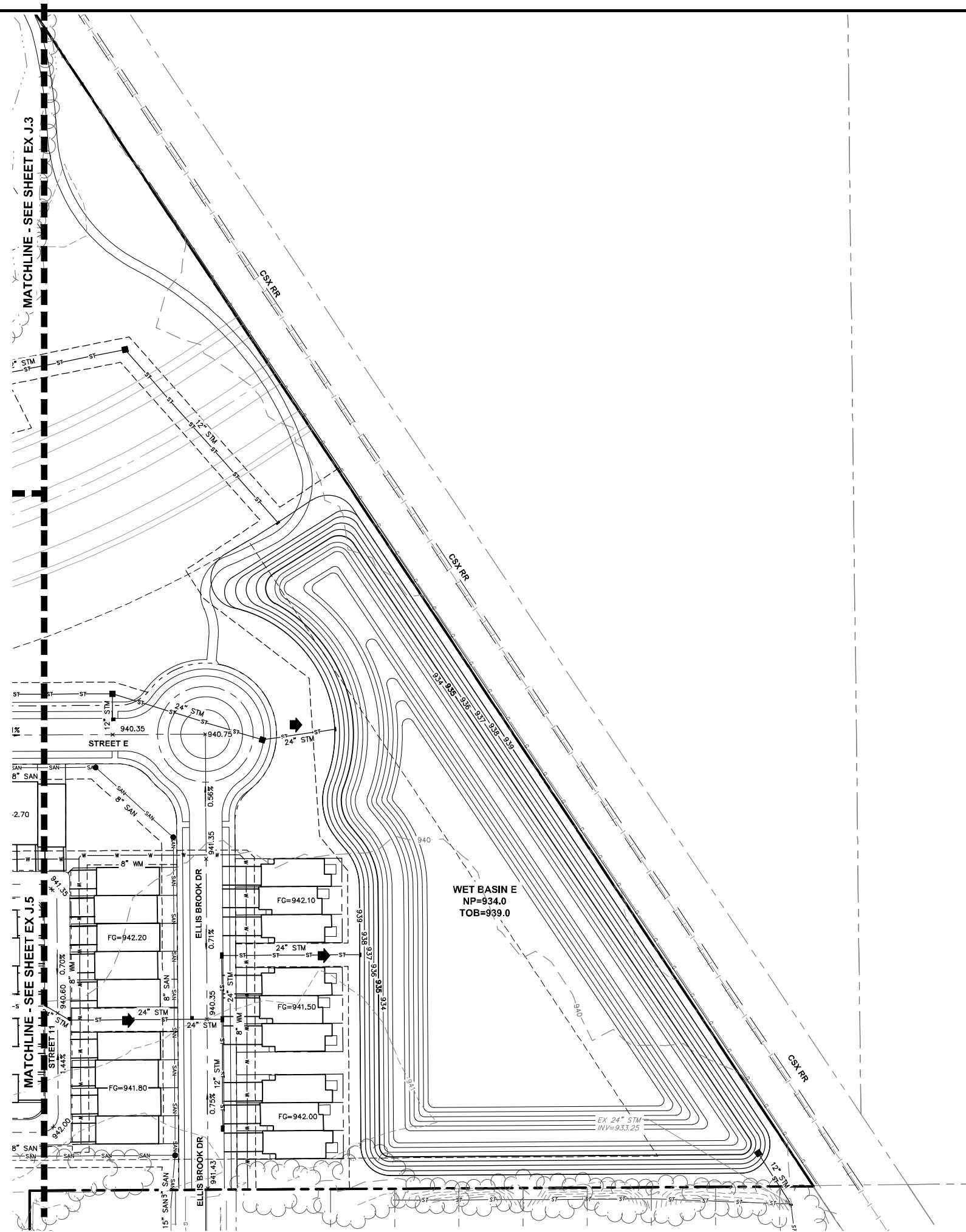
- LEGEND**
- — — — — EXISTING PROPERTY LINE
  - — — — — EXISTING RIGHT-OF-WAY
  - 860 — — — — — EXISTING INDEX CONTOUR
  - 859 — — — — — EXISTING INTERMEDIATE CONTOUR
  - — — — — EXISTING WATERLINE
  - — — — — EXISTING FIRE HYDRANT
  - SAN — — — — — EXISTING SANITARY SEWER
  - — — — — EXISTING SANITARY MANHOLE
  - — — — — PROPOSED TREE PRESERVATION LINE
  - — — — — PROPOSED PROPERTY LINE
  - — — — — PROPOSED RIGHT-OF-WAY
  - — — — — PROPOSED CENTERLINE
  - — — — — PROPOSED SETBACK
  - — — — — PROPOSED BACK OF CURB
  - — — — — PROPOSED SIDEWALK
  - — — — — PROPOSED BUILDING OUTLINE
  - — — — — PROPOSED DRIVEWAY
  - 860 — — — — — PROPOSED MAJOR CONTOUR
  - 859 — — — — — PROPOSED MINOR CONTOUR
  - — — — — PROPOSED WATER LINE
  - — — — — PROPOSED FIRE HYDRANT
  - SAN — — — — — PROPOSED SANITARY SEWER
  - — — — — PROPOSED SANITARY MANHOLE
  - ST — — — — — PROPOSED STORM SEWER LINE
  - — — — — PROPOSED CATCH BASIN
  - — — — — PROPOSED HEADWALL
  - — — — — PROPOSED STORM MANHOLE
  - — — — — PROPOSED STORM CURB INLET
  - — — — — PROPOSED YARD DRAIN
  - — — — — — FLOOD ROUTING ARROW
  - — — — — — FLOW ARROW
  - FG — — — — — PROPOSED FINISH GRADE ELEVATION
  - BOT — — — — — PROPOSED BOTTOM OF BASIN
  - TOB — — — — — PROPOSED TOP OF BANK
  - NP — — — — — PROPOSED NORMAL POOL
  - — — — — PROPOSED UNDERDRAIN

**NOTES**  
1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

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<p>SCALE: 1"=50'</p> <p>DESIGNED BY: BP</p> <p>DRAWN BY: JDI</p> <p>CHECKED BY: BP</p>	<p><b>AMLIN CROSSING</b></p> <p>COSGRAY ROAD DUBLIN, OH 43016</p>						
<p>ORIGINAL ISSUE: 6/7/23</p> <p>KHA PROJECT NO. 190016002</p> <p>SHEET NUMBER EX J.4</p>							
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 80%;">DATE</th> <th style="width: 15%;">BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	BY				
NO.	DATE	BY					



Drawing name: K:\CDE\190016002\_SpotHeight\_Luff\2\_Design\CAD\PlanSheets\Primary Development\_Plan\UTILITY & GRADING PLAN\_EX J.6 UTILITY & GRADING PLAN Jun 08, 2023 2:35pm by: brianprenger  
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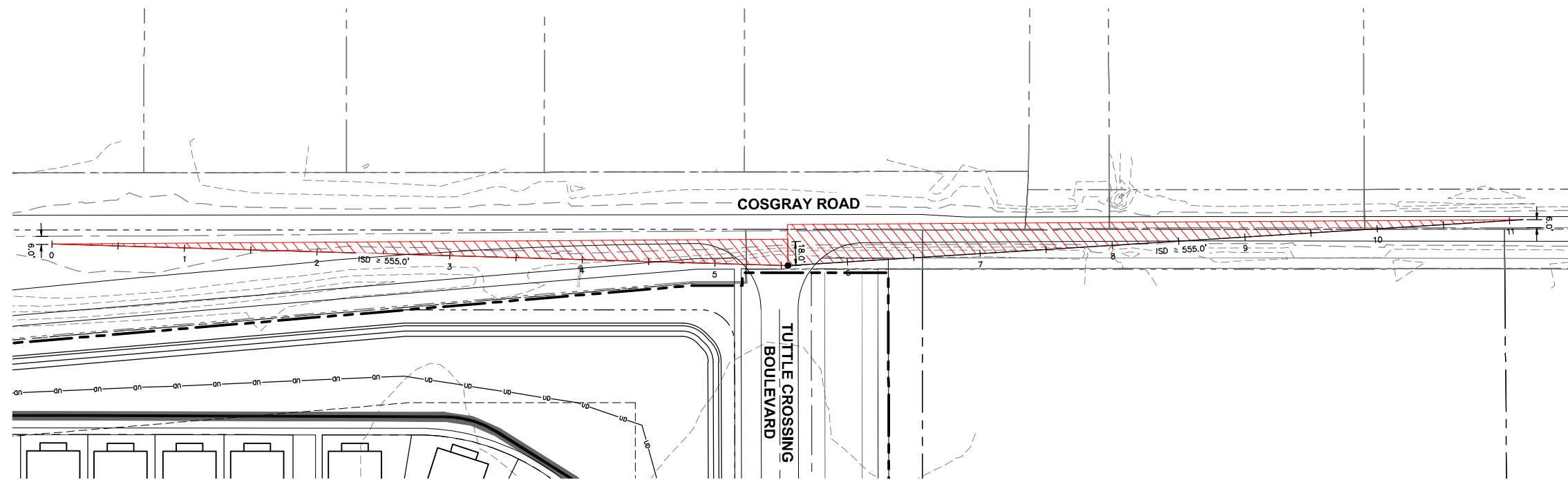
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	PROPOSED TREE PRESERVATION LINE
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED CENTERLINE
	PROPOSED SETBACK
	PROPOSED BACK OF CURB
	PROPOSED SIDEWALK
	PROPOSED BUILDING OUTLINE
	PROPOSED DRIVEWAY
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM SEWER LINE
	PROPOSED CATCH BASIN
	PROPOSED HEADWALL
	PROPOSED STORM MANHOLE
	PROPOSED STORM CURB INLET
	PROPOSED YARD DRAIN
	FLOOD ROUTING ARROW
	FLOW ARROW
	PROPOSED STONE WALL
	PROPOSED FINISH GRADE ELEVATION
	PROPOSED BOTTOM OF BASIN
	PROPOSED TOP OF BANK
	PROPOSED NORMAL POOL
	PROPOSED UNDERDRAIN

**NOTES**  
 1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

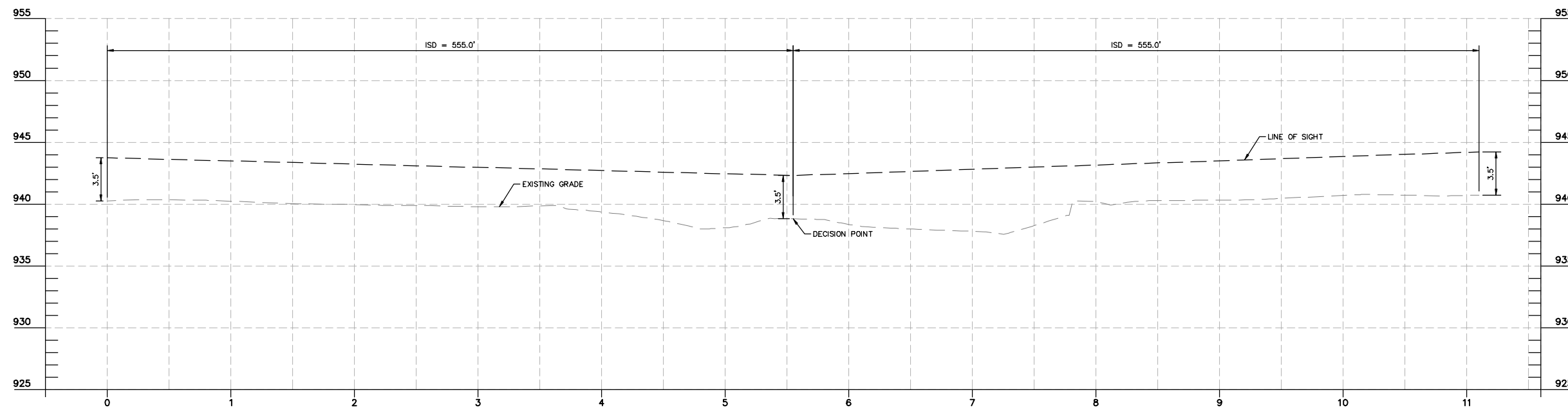
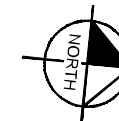
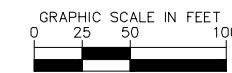
<b>Kimley-Horn</b>								
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SCALE: 1"=50'	DESIGNED BY: BP	DRAWN BY: JDI	CHECKED BY: BP	<b>UTILITY &amp; GRADING PLAN</b>				REVISIONS
				<b>AMLIN CROSSING</b>				DATE
				COSGRAY ROAD DUBLIN, OH 43016				BY
				ORIGINAL ISSUE: 6/7/23				NO.
				KHA PROJECT NO. 190016002				DATE
				SHEET NUMBER <b>EX J.6</b>				BY



Drawing name: K:\CDE\190016002\_SpotHeight\Luff\2\_Design\AAD\Exhibits\Site Distance Exhibit.dwg EX J.8 INTERSECTION SIGHT DISTANCE Jun 08, 2023 2:35pm by: brianprenger  
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**AMLIN CROSSING  
SIGHT DISTANCE PLAN**  
 SPEED LIMIT=45 MPH  
 DESIGN SPEED=50 MPH



**TUTTLE CROSSING BOULEVARD  
SIGHT DISTANCE PROFILE**  
 SCALE H: 1"=50' ; V: 1"=5'

**NOTES**

1. DESIGN SPEED: 50 MPH
2. INTERSECTION SIGHT DISTANCE (LT/RT): 555 FT
3. TABLE 1 FROM THE CITY OF DUBLIN DIVISION OF ENGINEERING ADMINISTRATIVE POLICY AND PROCEDURE MEMO DATED 5/10/18 REFERENCED FOR INTERSECTION SIGHT DISTANCES.

No.	REVISIONS	DATE	BY

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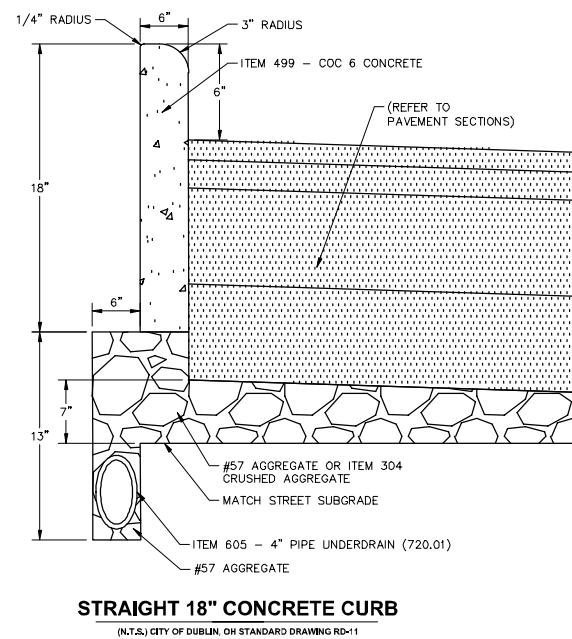
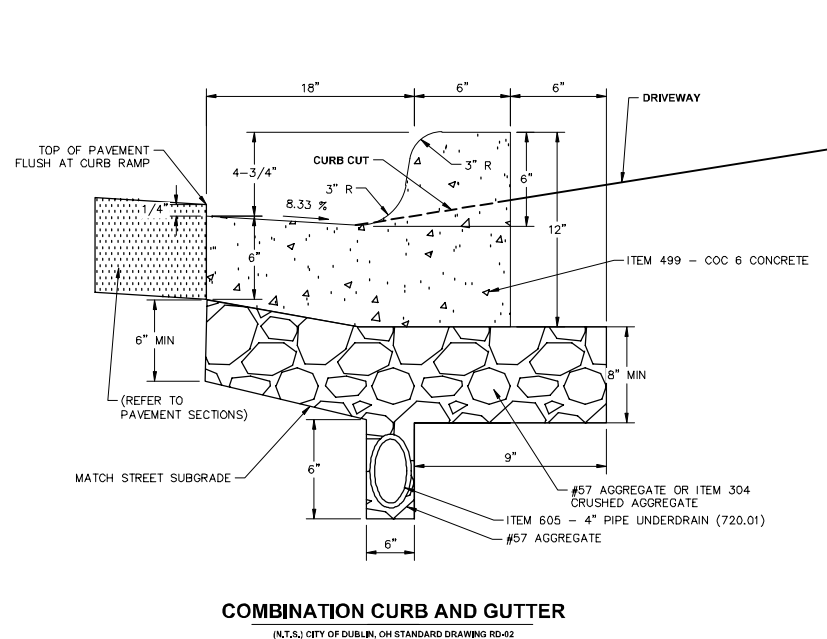
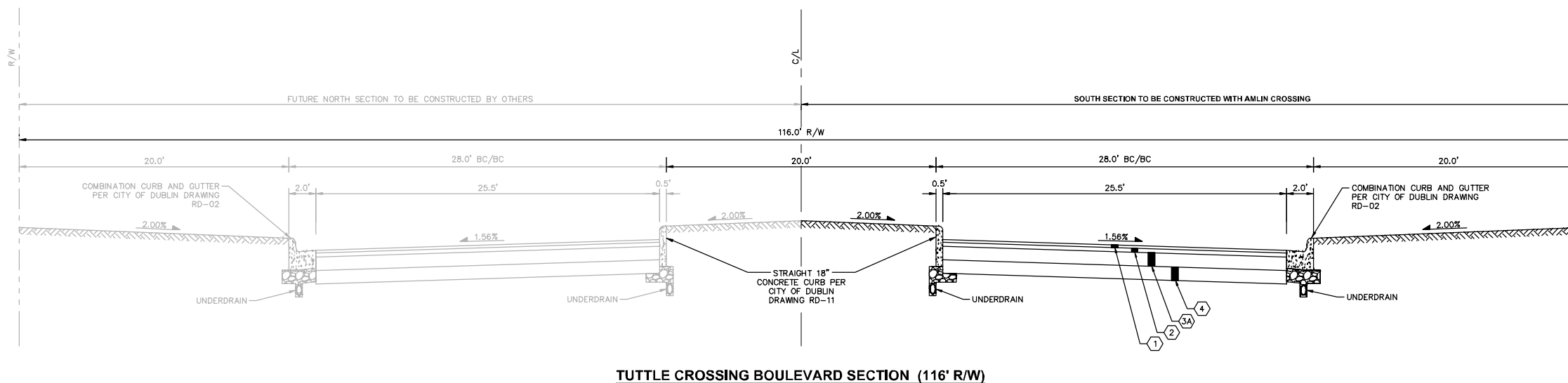
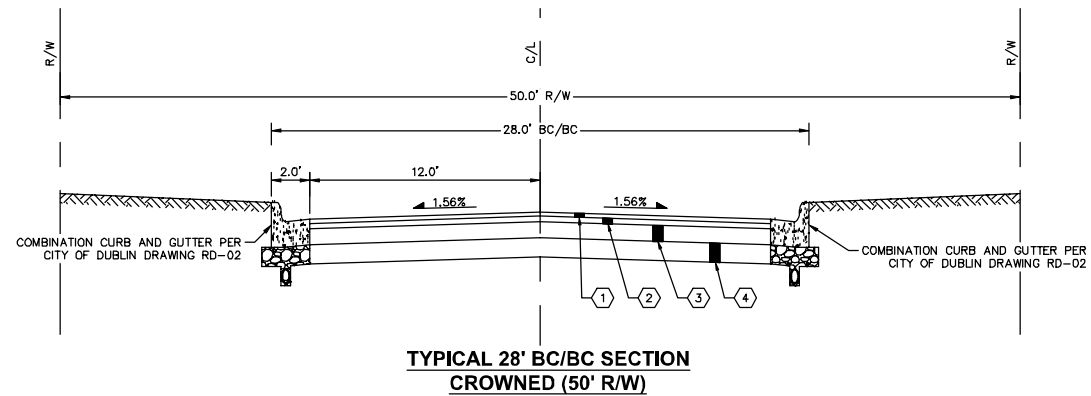
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DESIGNED BY: BP
DRAWN BY: JDI
CHECKED BY: BP

**INTERSECTION SIGHT  
DISTANCE**

**AMLIN CROSSING**  
 COSGRAY ROAD  
 DUBLIN, OH 43016

ORIGINAL ISSUE:  
 6/7/23  
 KHA PROJECT NO.  
 190016002  
 SHEET NUMBER  
**EX J.8**

Drawing name: K:\CDE\190016002\_Shotcrete\190016002\_Design\CAD\Plan\Aerial\Typical Sections.dwg, EX J10 TYPICAL SECTIONS, Jun 08, 2023 2:35pm, By: brian.pruitt  
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**PAVEMENT LEGEND**

- 1 ITEM 441 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG. 64-22 MEDIUM TRAFFIC
- 2 ITEM 441 - 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG. 64-22 MEDIUM TRAFFIC
- 3 ITEM 301 - 3" BITUMINOUS AGGREGATE BASE
- 3A ITEM 301 - 6" BITUMINOUS AGGREGATE BASE (TWO COURSES OF 3")
- 4 ITEM 304 - 6" AGGREGATE BASE

NO.	REVISIONS	DATE	BY

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 190016002 EX J10 TYPICAL SECTIONS  
 COLUMBUS, OH 43235, SUITE 200  
 PHONE: 614-454-6699  
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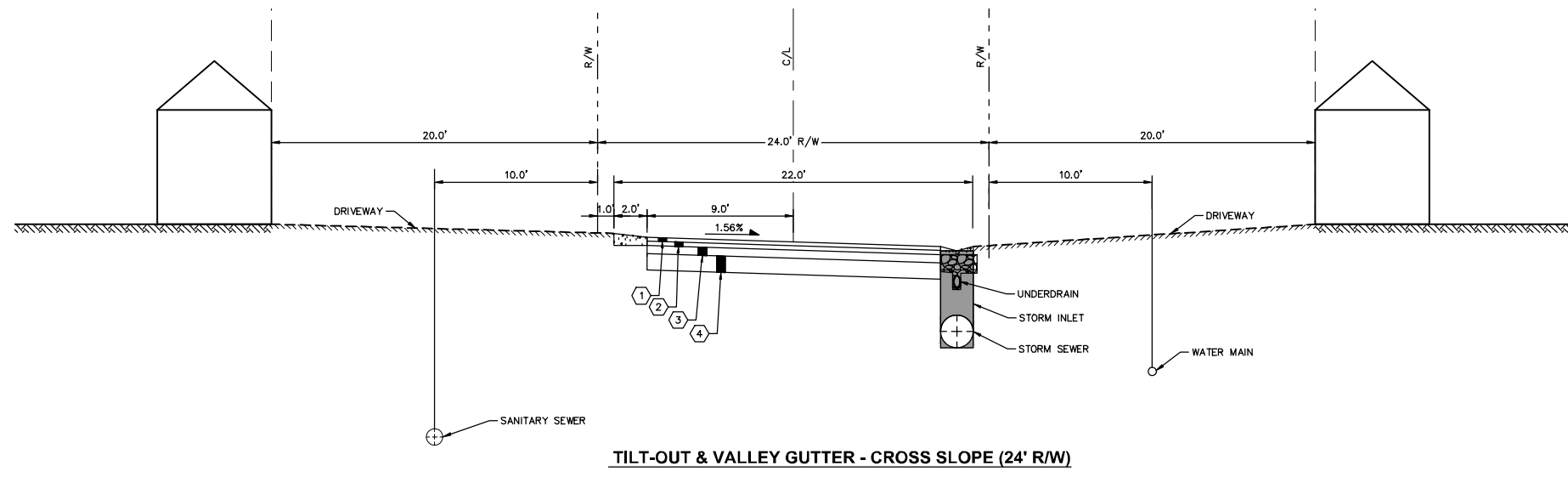
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 DRAWN BY: JDI  
 CHECKED BY: BP

**TYPICAL SECTIONS**

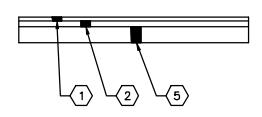
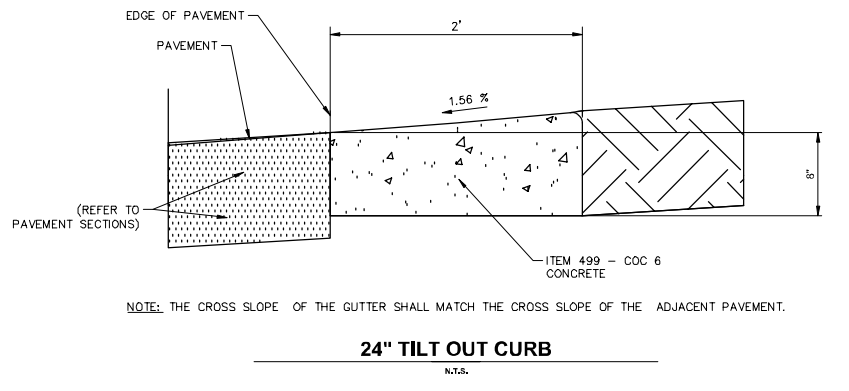
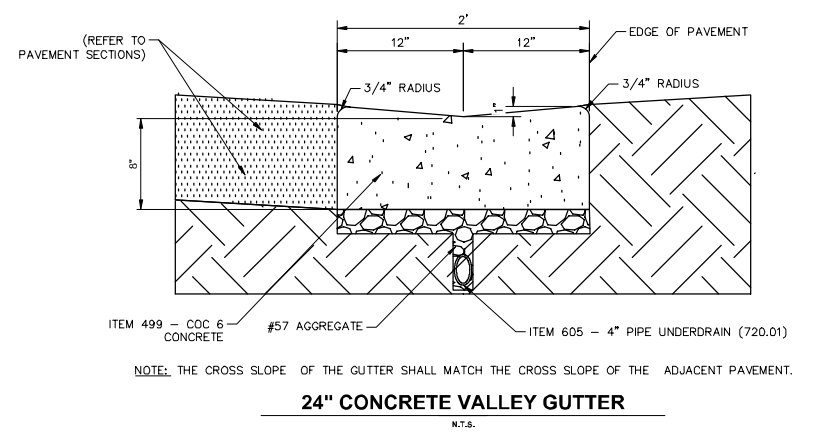
**AMLIN CROSSING**  
 COSGRAY ROAD  
 DUBLIN, OH 43016

ORIGINAL ISSUE:  
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 KHA PROJECT NO.  
 190016002  
 SHEET NUMBER  
**EX J.10**

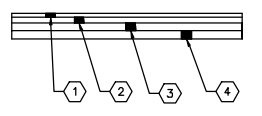
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**TILT-OUT & VALLEY GUTTER - CROSS SLOPE (24' R/W)**



- RCC PAVEMENT LEGEND**
- ① ITEM 441 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG. 64-22 MEDIUM TRAFFIC
  - ② ITEM 441 - 1-3/4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG. 64-22 MEDIUM TRAFFIC
  - ⑤ ITEM 307 - 6" ROLLER COMPACTED CONCRETE



- FLEXIBLE PAVEMENT LEGEND**
- ① ITEM 441 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG. 64-22 MEDIUM TRAFFIC
  - ② ITEM 441 - 1-3/4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG. 64-22 MEDIUM TRAFFIC
  - ③ ITEM 301 - 3" BITUMINOUS AGGREGATE BASE
  - ④ ITEM 304 - 6" AGGREGATE BASE

No.	REVISIONS	DATE	BY

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SCALE: N.T.S.  
 DESIGNED BY: BP  
 DRAWN BY: JDI  
 CHECKED BY: BP

**TYPICAL SECTIONS**

**AMLIN CROSSING**  
 COSGRAY ROAD  
 DUBLIN, OH 43016

ORIGINAL ISSUE:  
 6/7/23  
 KHA PROJECT NO.  
 190016002  
 SHEET NUMBER  
**EX J.9**



# EX K.1 - Schottenstein Townhome Elevations





EX K.2 - Schottenstein  
Townhome Elevations





**EX K.3 - Schottenstein  
Townhome Elevations**



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
Dublin, OH  
June 8, 2023



**EX K.4 - Schottenstein  
Townhome Elevations**



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
Dublin, OH  
June 8, 2023



**EX K.5 - Schottenstein  
Townhome Elevations**



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
Dublin, OH  
June 8, 2023



**ROOFING MATERIALS**

**Asphalt Shingles**



**Metal Roofing**



**EXTERIOR CLADDING MATERIALS**

**Fiber Cement Cladding & Trim**

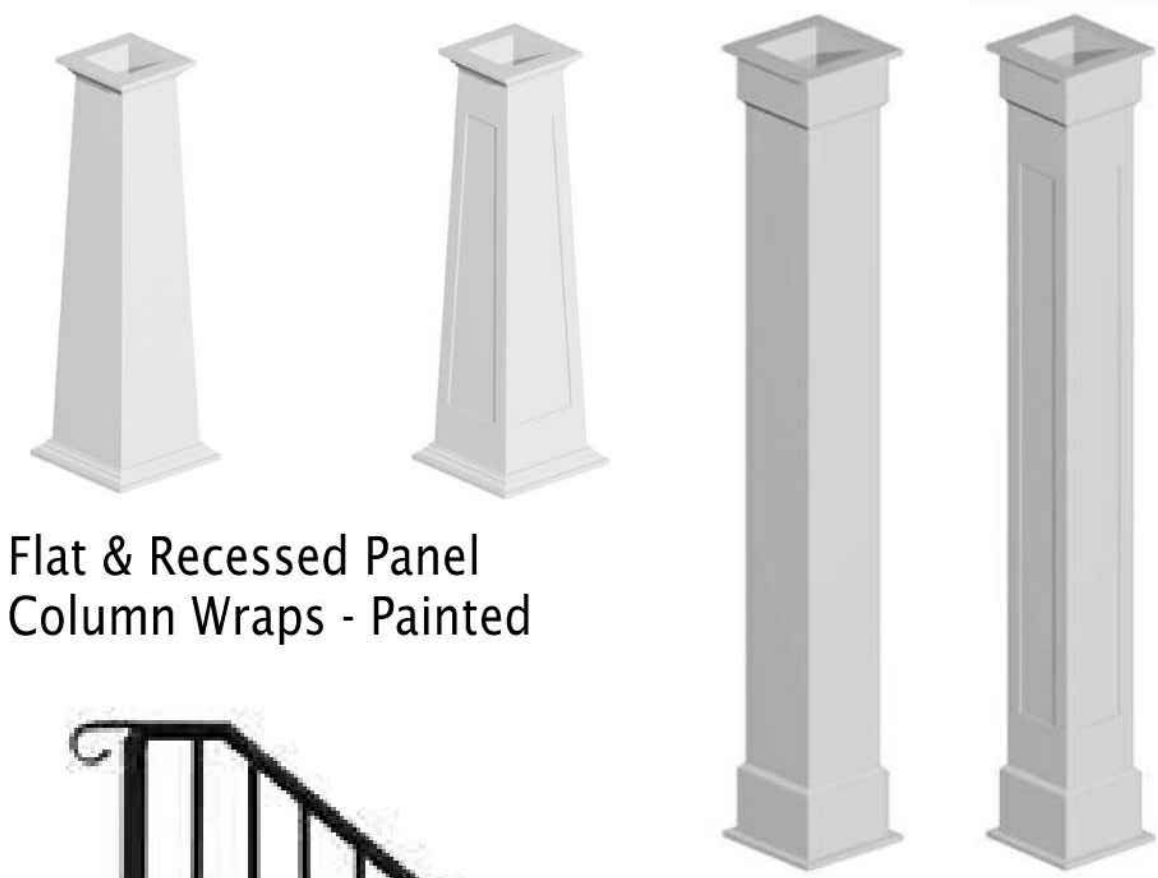


**Masonry**

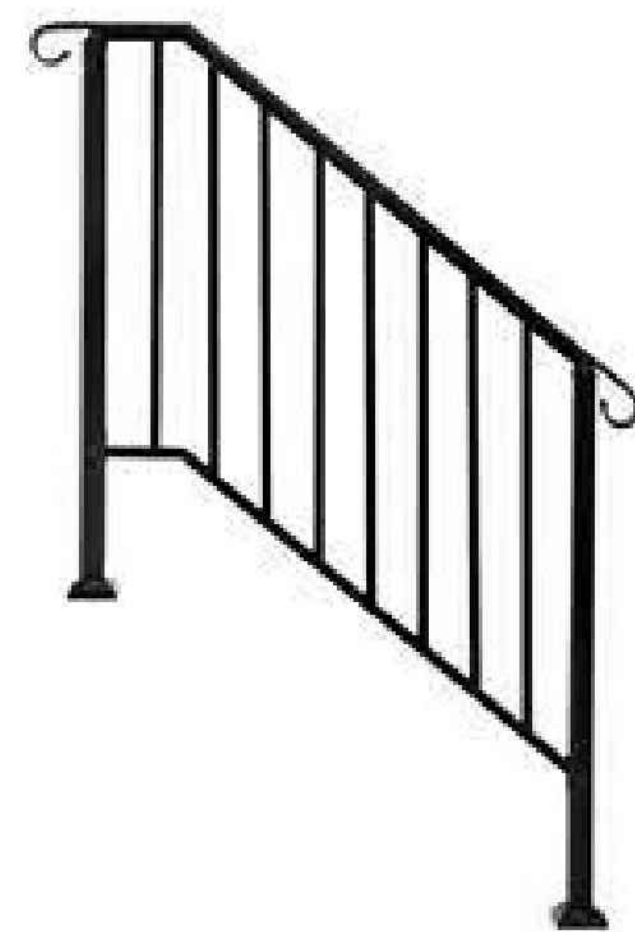




**PORCH ROOF SUPPORTS &  
RAILS**



Flat & Recessed Panel  
Column Wraps - Painted



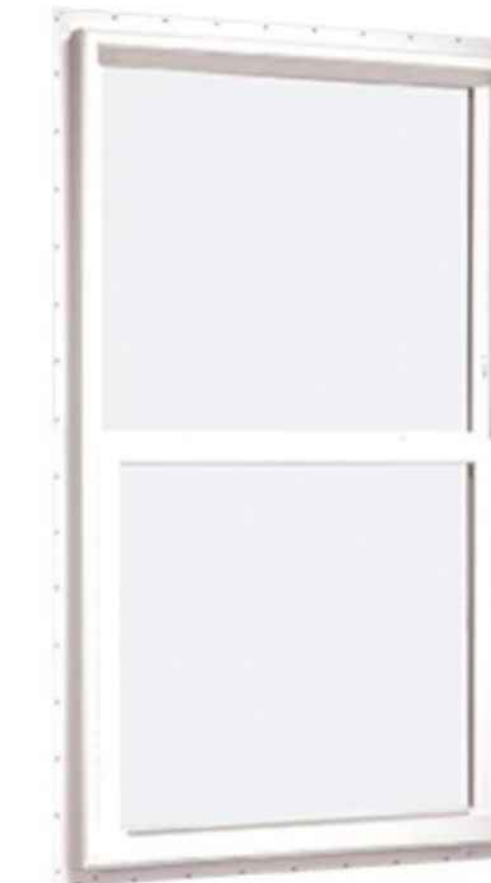
Square Picket & Rail  
Painted



Square Picket & Rail  
Painted

**EXTERIOR WINDOWS & DOORS**

Single Hung Windows  
Black - Exterior  
White - Interior



Interior



Exterior



Shaker Panel  
Painted  
Color coordinated with  
siding color

**EXTERIOR DETAIL**



Up/Down Light Fixture  
Painted Aluminum - Bronze

Carriage House Steel Garage Door  
Painted  
Color coordinated with siding color



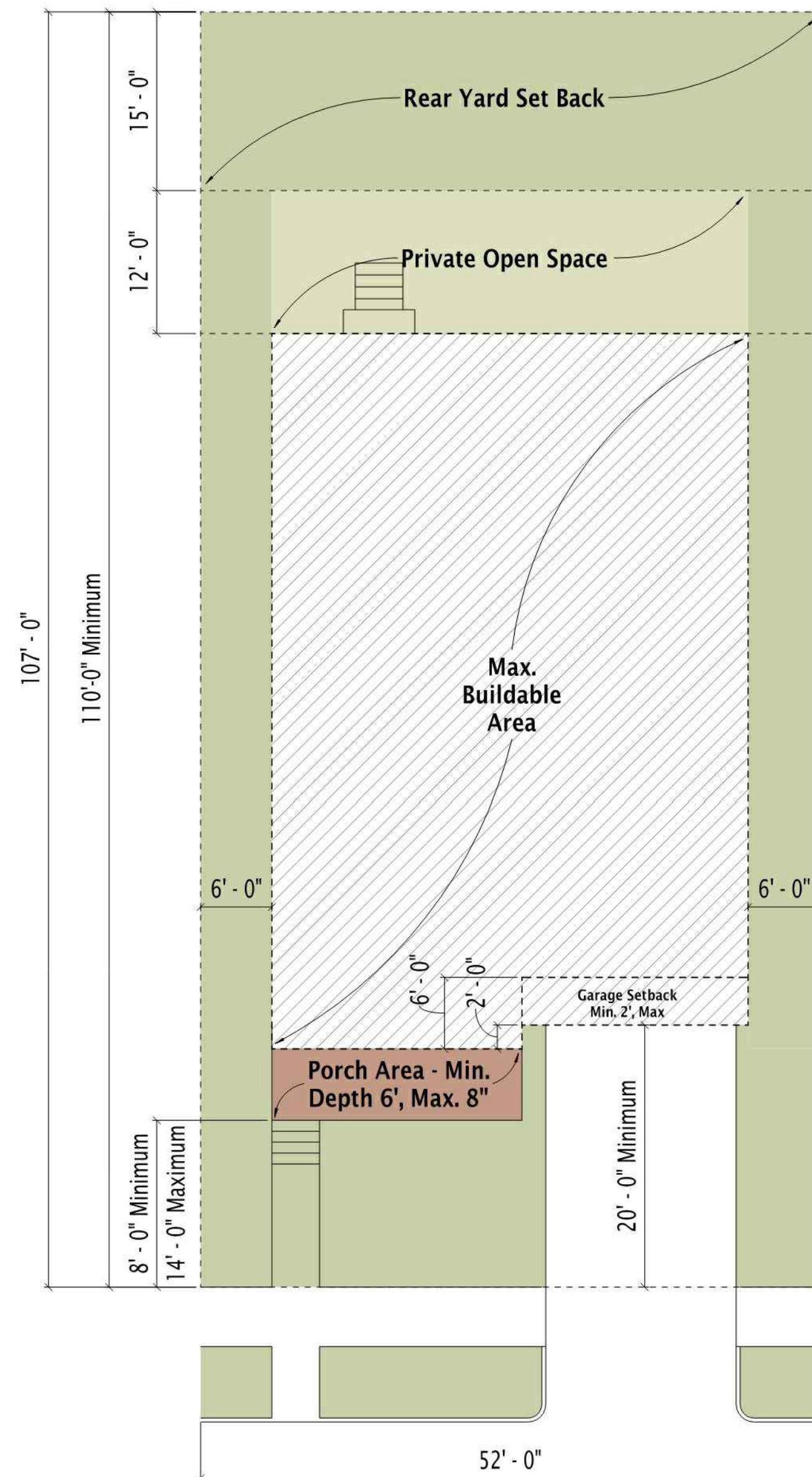


EX L.2 - Schottenstein  
Single Family Elevations





**EX L.1 - Schottenstein  
Single Family Elevations**





**ROOFING MATERIALS**

**Asphalt Shingles**



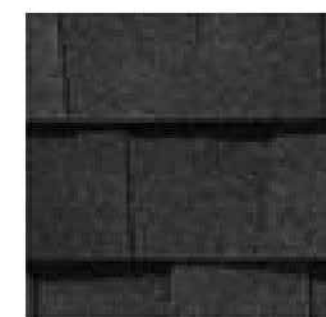
Certainteed Asphalt Shingles  
Landmark Series  
Colonial Slate



Certainteed Asphalt Shingles  
Landmark Series  
Driftwood



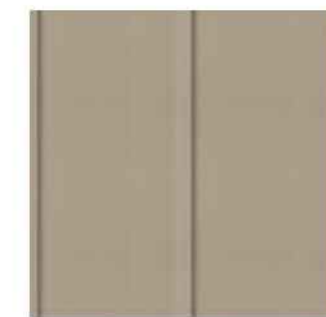
Certainteed Asphalt Shingles  
Landmark Series  
Cobblestone Gray



Certainteed Asphalt Shingles  
Landmark Series  
Moire Black

**EXTERIOR CLADDING MATERIALS**

**Fiber Cement Cladding & Trim**



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Rugged Path



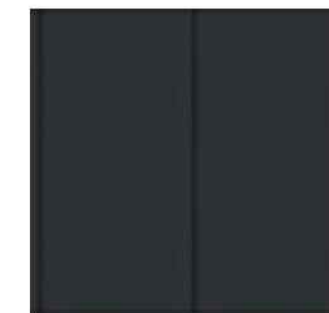
Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Warm Clay



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Arctic White



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Slate Steps



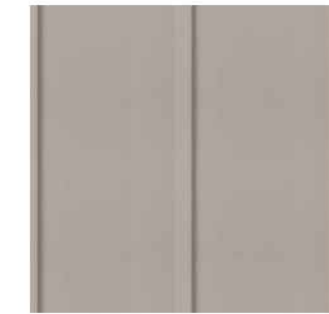
Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Last Embers



Hardie Panel with  
Vertical Batten  
16" on Center  
Iron Gray



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Stone Paver



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Stone Beach



Hardie Trim  
Midnight Black

**Masonry**



Prestige Stone  
Southern Limestone  
Braemar (202)



Prestige Stone  
Southern Limestone  
Ohio (306)

**EXTERIOR WINDOWS & DOORS**

**Windows**



Exterior



Interior

Single Hung Windows  
White - Exterior  
White - Interior

**Garage Doors**



Carriage House Steel Garage  
Door Painted  
Color coordinated with siding color



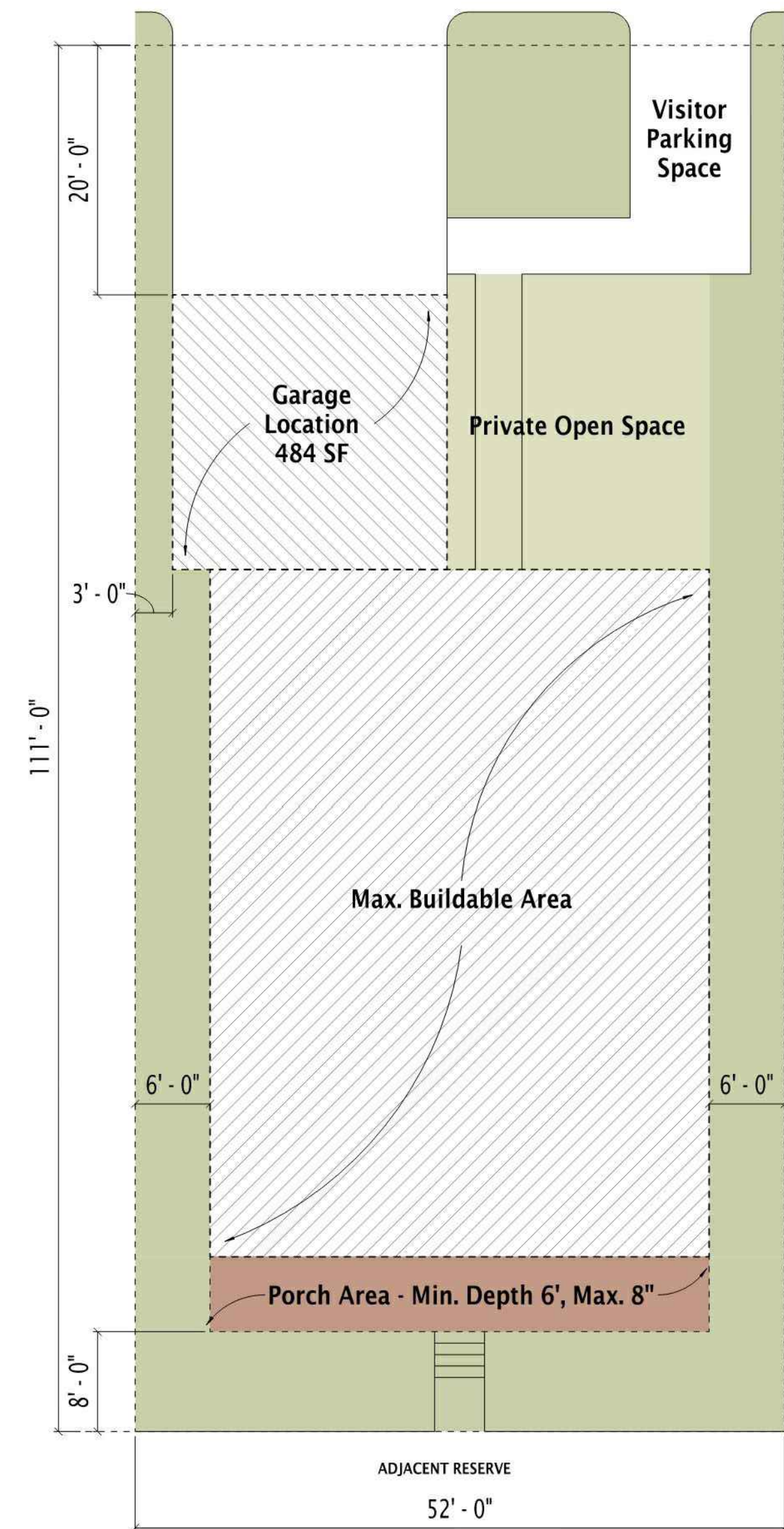
**EX L.4 - Schottenstein  
Single Family Elevations**



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
Dublin, OH  
June 8, 2023

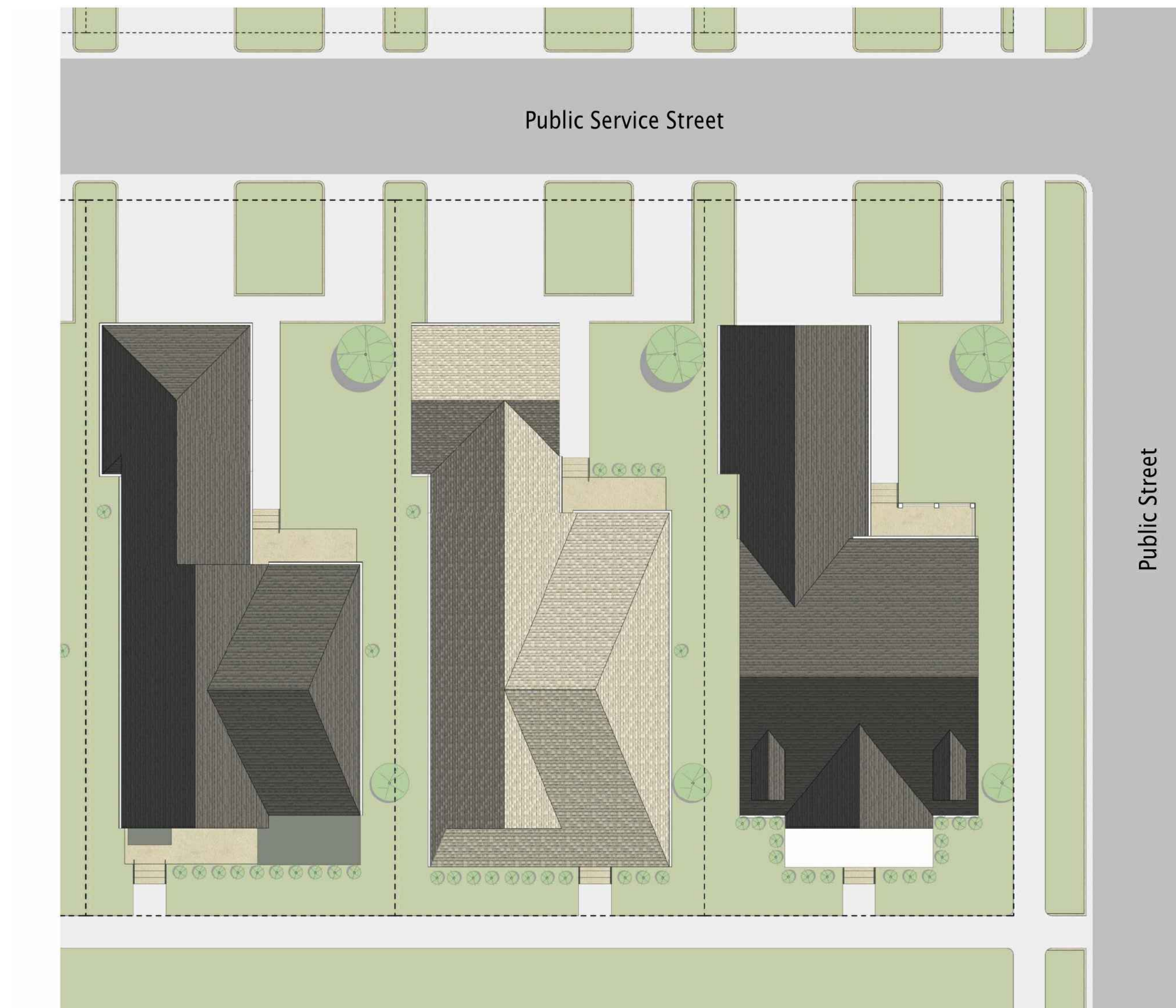


**EX M.1 - Schottenstein  
Cottage Elevations**





EX M.2 - Schottenstein  
Cottage Elevations



PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
Dublin, OH  
June 8, 2023



**ROOFING MATERIALS**

**Asphalt Shingles**



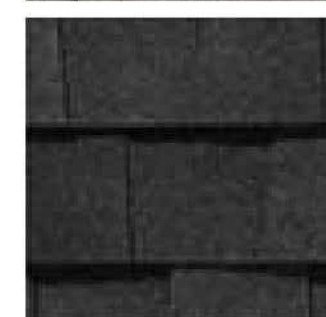
Certainteed Asphalt Shingles  
Landmark Series  
Colonial Slate



Certainteed Asphalt Shingles  
Landmark Series  
Driftwood



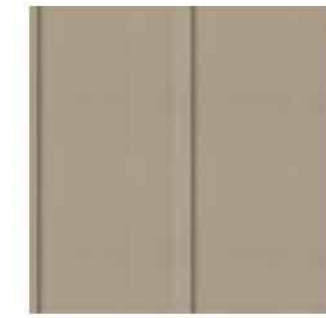
Certainteed Asphalt Shingles  
Landmark Series  
Cobblestone Gray



Certainteed Asphalt Shingles  
Landmark Series  
Moire Black

**EXTERIOR CLADDING MATERIALS**

**Fiber Cement Cladding & Trim**



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Rugged Path



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Warm Clay



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Arctic White



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Slate Steps



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Last Embers



Hardie Panel with  
Vertical Batten  
16" on Center  
Iron Gray



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Stone Paver



Hardie Trim & Panel  
with Vertical Batten  
16" on Center  
Stone Beach



Hardie Trim  
Midnight Black

**Masonry**



Prestige Stone  
Southern Limestone  
Braemar (202)



Prestige Stone  
Southern Limestone  
Ohio (306)

**EXTERIOR WINDOWS & DOORS**

**Windows**



Exterior



Interior

Single Hung Windows  
White - Exterior  
White - Interior

**Garage Doors**



Carriage House Steel Garage  
Door Painted  
Color coordinated with siding color



**EX M.4 - Schottenstein  
Cottage Elevations**



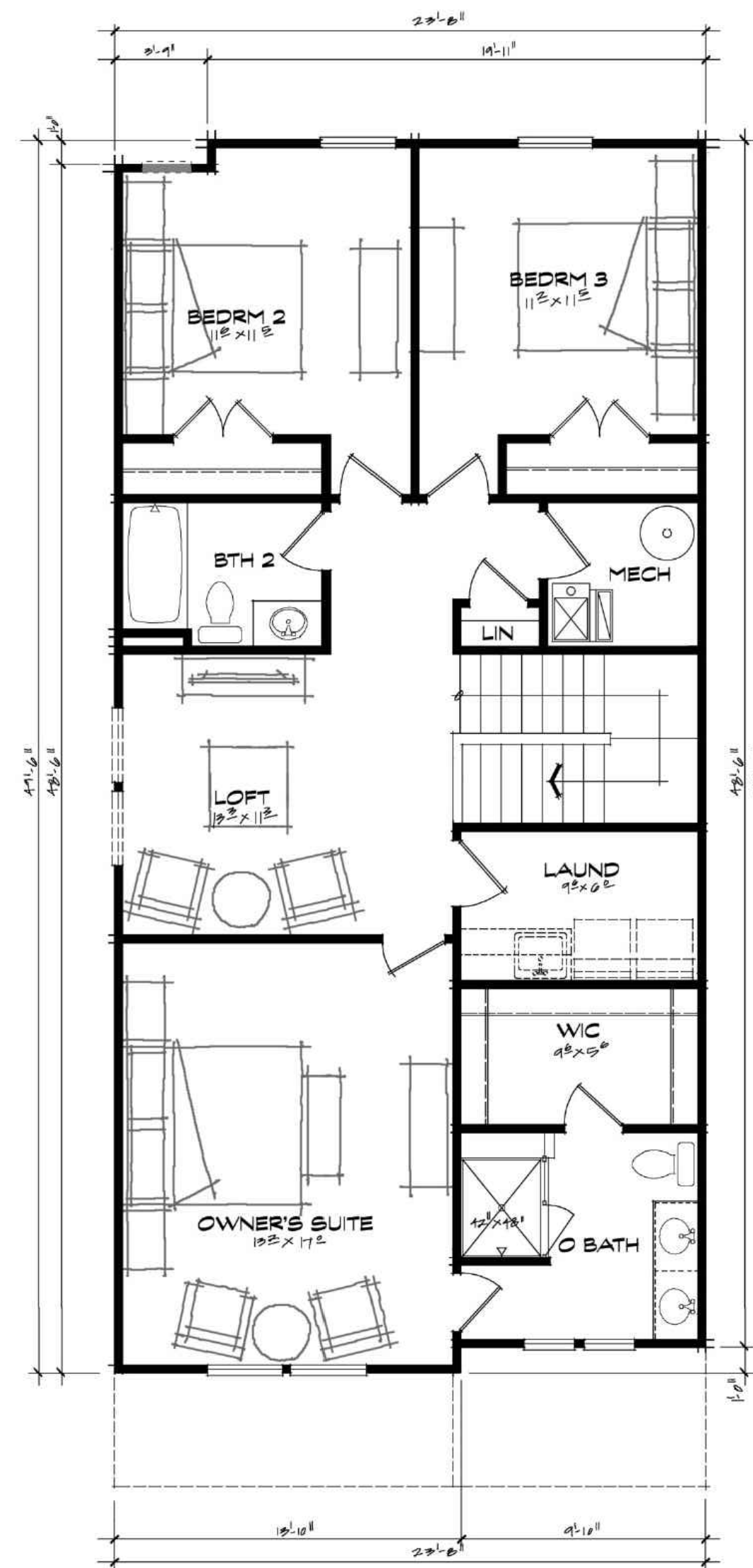
PRELIMINARY DEVELOPMENT PLAN  
**AMLIN CROSSING**  
Dublin, OH  
June 8, 2023



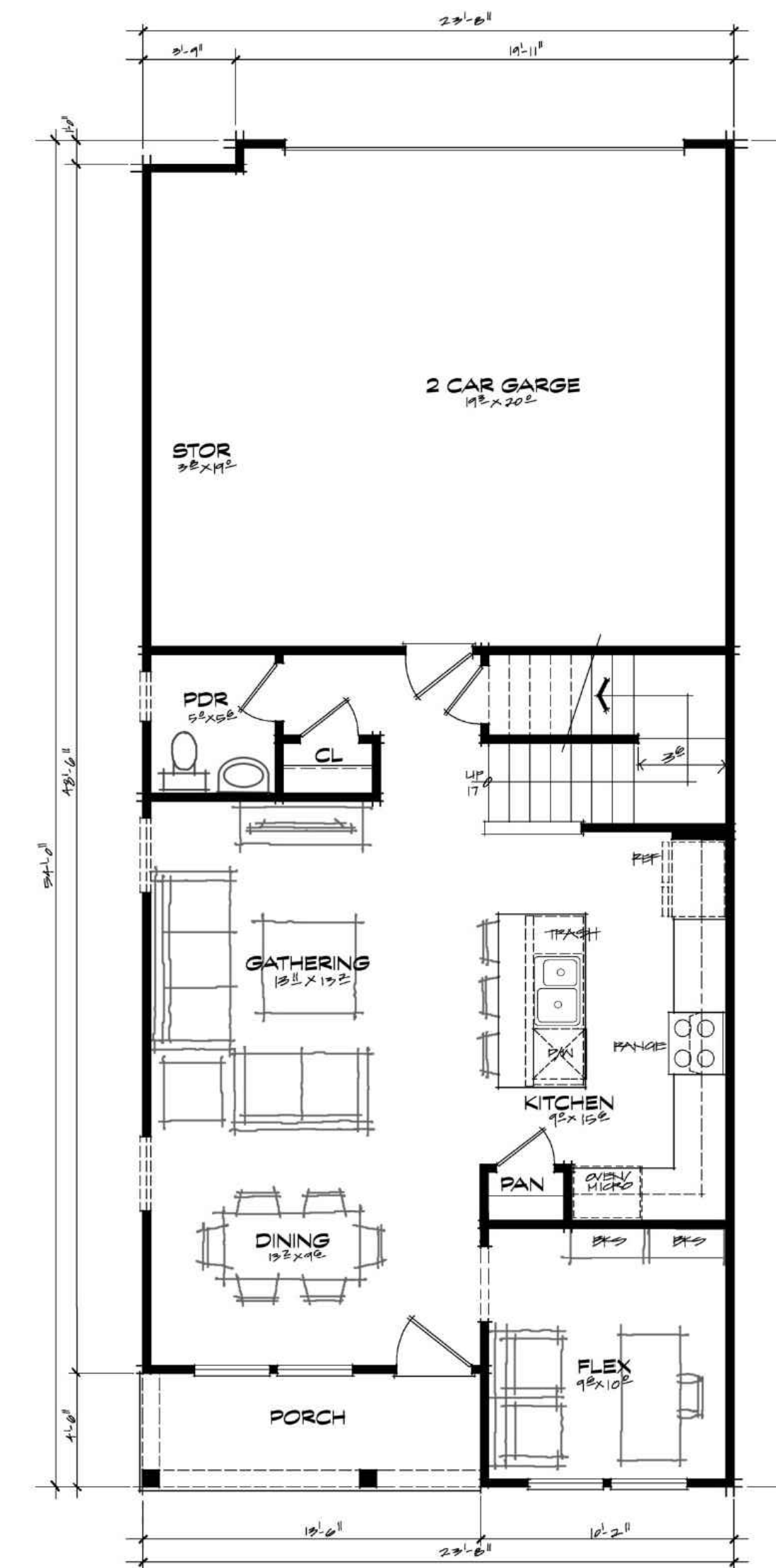
# EX N.1 - Pulte Townhome Elevations



**FRONT ELEV - FARMHOUSE**  
SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN** 1096 SF  
SCALE: 1/8"=1'-0"



**FIRST FLOOR PLAN** 739 SF  
SCALE: 1/8"=1'-0"

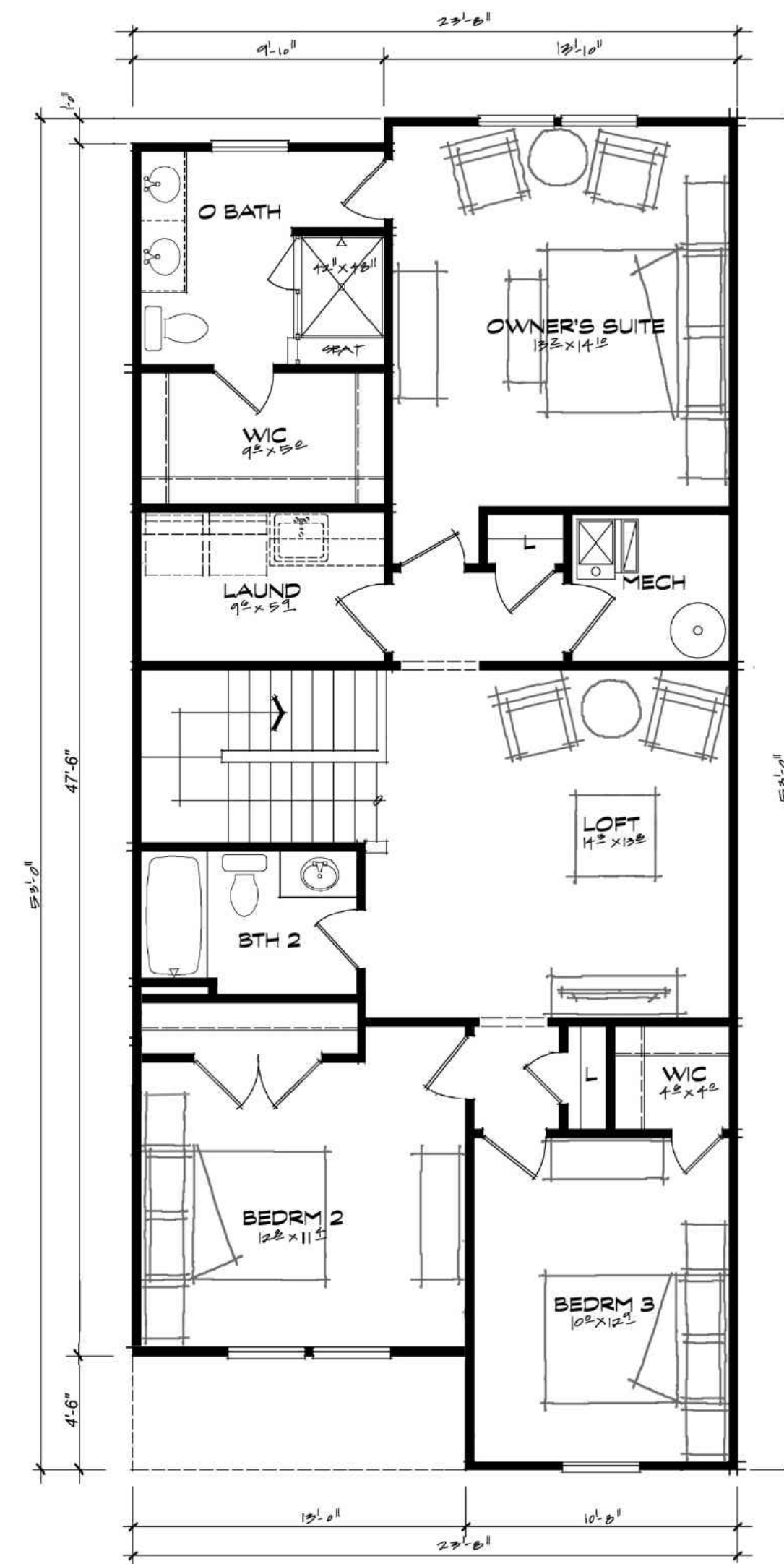
**1835 SF TOTAL**



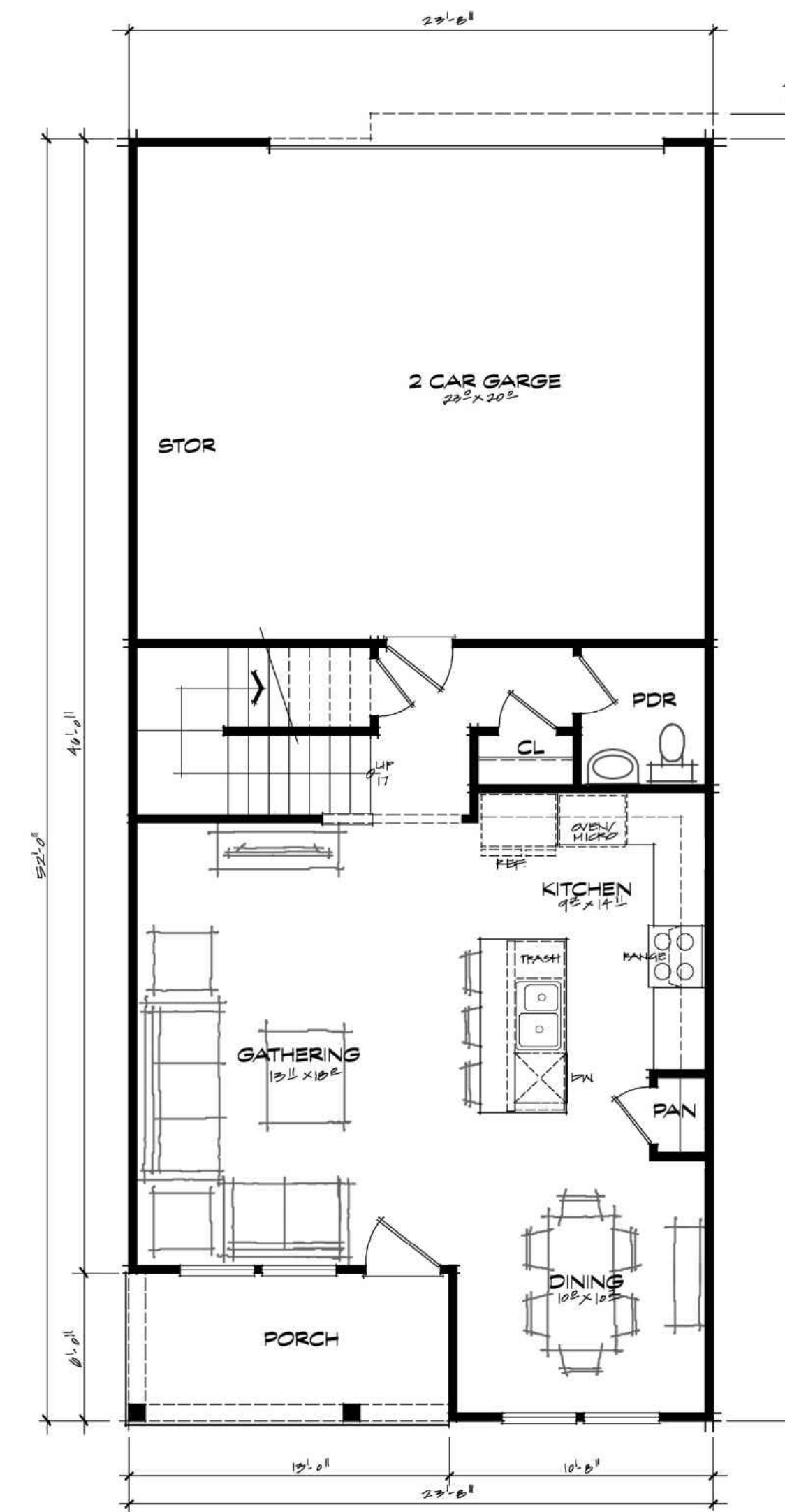
**EX N.2 - Pulte Townhome Elevations**



**FRONT ELEV - FARMHOUSE**



**SECOND FLOOR PLAN** 1108 SF  
SCALE: 1/8"=1'-0"



**FIRST FLOOR PLAN** 678 SF  
SCALE: 1/8"=1'-0"

**1780 SF TOTAL**







EX N.4 - Pulte Townhome Elevations





**EX N.5 - Pulte Townhome Elevations**





# ASHTON & BOWMAN

## Ashton & Bowman

1,883+ Sq./Ft.  
2-4 Bed, 2-3.5  
Bath





# ASHTON & BOWMAN

## Ashton & Bowman

1,883+ Sq./Ft.  
2-4 Bed, 2-3.5 Bath





# BOWMAN & PROVENCE

## Bowman & Provence

1,883+ Sq./Ft.  
2-4 Bed, 2-3.5 Bath





# ASHTON & BOWMAN

## Ashton & Bowman

1,883+ Sq./Ft.  
2-4 Bed, 2-3.5 Bath





# ASHTON & BOWMAN

## Ashton & Bowman

1,883+ Sq./Ft.  
2-4 Bed, 2-3.5 Bath





# SHARON – TERRACE COLLECTION

**SHARON**  
1,914+ Sq./Ft.  
2-3 Bed, 2.5 Bath  
2 Car Garage

