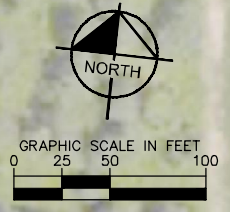


Drawing name: K:\CDE\190016002_SpotHeight_Luff\2_Design\CAD\PlanSheets\Tree surveying_EX G.2 2D TREE MITIGATION PLAN (NORTH) (3) (2) Jun 08, 2023 2:35pm by bframpton
 This document, together with the concepts and designs presented herein, is an instrument of service. It is intended only for the specific purpose and client for which it was prepared. None of the information on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



AMLIN CROSSING COSGRAY ROAD DUBLIN, OH 43016	TREE PRESERVATION PLAN	SCALE: 1"=50' DESIGNED BY: BP DRAWN BY: JDI CHECKED BY: BP	<small>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 10000 KIMLEY-HORN AVENUE, SUITE 200, COLUMBUS, OH 43235 PHONE: 614-454-6889 WWW.KIMLEY-HORN.COM</small>
ORIGINAL ISSUE: 6/7/23	KHA PROJECT NO. 190016002	SHEET NUMBER EX G.2	REVISIONS
			No. DATE BY

Drawing name: K:\CLE\JOB\190016002_Schottstein\Luff\2_Design\CAD\PlanSheet\Tree Surveying_EX G.3 2D TREE MITIGATION PLAN (NORTH). (3) (2) (2) Jun 08, 2023 2:35pm. Dr. Irionrenger
 This document, together with the concepts and designs presented herein, is an instrument of service. It is intended only for the specific purpose and client for which it was prepared. None of the engineer's services or liability to Kimley-Horn and Associates, Inc.



AMLIN CROSSING COSGRAY ROAD DUBLIN, OH 43016		TREE PRESERVATION PLAN		SCALE: 1"=50' DESIGNED BY: BP DRAWN BY: JDI CHECKED BY: BP	© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 10000 KIMLEY-HORN DRIVE, SUITE 200, COLUMBUS, OH 43235 PHONE: 614-454-6889 WWW.KIMLEY-HORN.COM	No. _____ DATE _____ BY _____
ORIGINAL ISSUE: 6/7/23		KHA PROJECT NO. 190016002		SHEET NUMBER EX G.3		

1"=50'

Drawing name: K:\CDE\190016002_Spot\Kestrel_Luff\2_Design\CAD\PlanSheets\Tree surveying_EX G.4 2D TREE MITIGATION PLAN (NORTH). Jun 08, 2023 2:35pm by: brianpranger
 This document, together with the concepts and designs presented herein, is an instrument of service. It is intended only for the specific purpose and client for which it was prepared. Review of and approval of services is intended only for the specific purpose and client for which it was prepared. Review of and approval of services is intended only for the specific purpose and client for which it was prepared.



<p>Kimley-Horn © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 3900 WILSON AVENUE, SUITE 200, COLUMBUS, OH 43235 PHONE: 614-454-6889 WWW.KIMLEY-HORN.COM</p>		<p>SCALE: 1"=50' DESIGNED BY: BP DRAWN BY: JDI CHECKED BY: BP</p>		<p>TREE PRESERVATION PLAN</p>		<p>AMLIN CROSSING COSGRAY ROAD DUBLIN, OH 43016</p>		<p>ORIGINAL ISSUE: 6/7/23 KHA PROJECT NO. 190016002</p>		<p>SHEET NUMBER EX G.4</p>	
								<p>REVISIONS</p>		<p>No. DATE BY</p>	

1"=50'

Drawing name: K:\CDE\190016002_Spotheights_Luff\2_Design\CAD\PlanSheets\Tree surveying_EX G.5_20 TREE MITIGATION PLAN (NORTH) (3) Jun 08, 2023 2:35pm by: brnspnrgnr
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Users of any other purpose on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

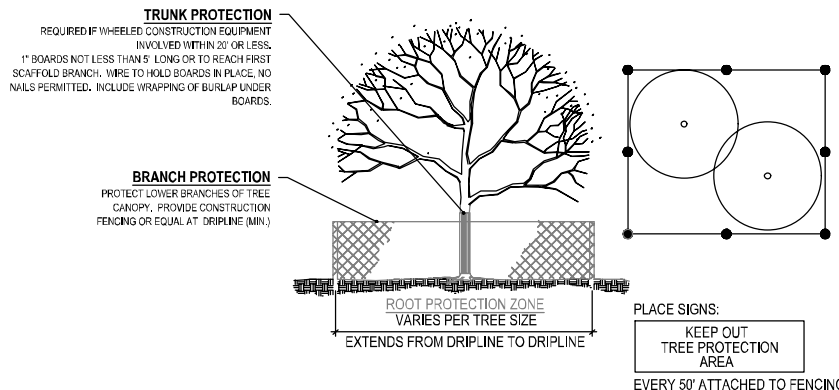


AMLIN CROSSING COSGRAY ROAD DUBLIN, OH 43016	TREE PRESERVATION PLAN	Kimley-Horn <small>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 200 EAST MAIN STREET, SUITE 200, COLUMBUS, OH 43215 PHONE: 614-454-6889 WWW.KIMLEY-HORN.COM</small>
ORIGINAL ISSUE: 6/7/23	DESIGNED BY: BP	SCALE: 1"=50'
KHA PROJECT NO. 190016002	DRAWN BY: JDI	CHECKED BY: BP
SHEET NUMBER EX G.5	REVISIONS	
	No.	DATE
	BY	BY

1"=50'

TREE OBSERVATION							
TREE #	Species	Common Name	DBH (")	Tree Condition	Status	Replacement Inches	
4022	quercus alba	white oak	72	good	Preserve	0.0	
4023	carya ovata	shagbark hickory	19	good	Preserve	0.0	
4024	celtis occidentalis	hackberry	28	good	Preserve	0.0	
4025	carya ovata	shagbark hickory	25	good	Preserve	0.0	
4026	quercus alba	white oak	28	good	Preserve	0.0	
4027	quercus alba	white oak	23	good	Preserve	0.0	
4028	quercus alba	white oak	28	good	Preserve	0.0	
4029	quercus alba	white oak	18	good	Preserve	0.0	
4030	quercus alba	white oak	12	good	Preserve	0.0	
4031	quercus alba	white oak	50	good	Preserve	0.0	
4032	quercus alba	white oak	11	good	Preserve	0.0	
4033	quercus alba	white oak	21	good	Preserve	0.0	
4034	quercus alba	white oak	25	good	Preserve	0.0	
4035	quercus alba	white oak	26	good	Preserve	0.0	
4036	quercus alba	white oak	23	good	Preserve	0.0	
4037	quercus alba	white oak	15	good	Preserve	0.0	
4038	quercus alba	white oak	19	good	Preserve	0.0	
4039	quercus alba	white oak	35	good	Preserve	0.0	
4040	carya ovata	shagbark hickory	22.3, 11.3, 13.7	good	Preserve	47.3	
4041	carya ovata	shagbark hickory	31	good	Preserve	31.0	
4042	acer saccharum	sugar maple	19	good	Preserve	19.0	
4043	quercus palustris	pin oak	15	good	Preserve	0.0	
4044	quercus palustris	pin oak	8	good	Preserve	0.0	
4045	carya ovata	shagbark hickory	10	good	Preserve	0.0	
4046	carya ovata	shagbark hickory	12	good	Preserve	0.0	
4047	carya ovata	shagbark hickory	12	good	Preserve	0.0	
4048	carya ovata	shagbark hickory	17	good	Preserve	0.0	
4049	carya ovata	shagbark hickory	16	good	Preserve	0.0	
4050	carya ovata	shagbark hickory	12	good	Remove	12.0	
4051	carya ovata	shagbark hickory	18	good	Remove	18.4	
4052	carya ovata	shagbark hickory	12	good	Remove	12.3	
4053	carya ovata	shagbark hickory	13	good	Remove	12.6	
4054	carya ovata	shagbark hickory	15	good	Remove	15.0	
4055	carya ovata	shagbark hickory	11	good	Remove	11.3	
4056	carya ovata	shagbark hickory	11	good	Remove	10.5	
4057	carya ovata	shagbark hickory	12	good	Remove	12.4	
4058	carya ovata	shagbark hickory	14	good	Remove	13.7	
4059	carya ovata	shagbark hickory	12	good	Remove	11.9	
4060	carya ovata	shagbark hickory	12	good	Remove	11.5	
4061	carya ovata	shagbark hickory	18	good	Remove	18.3	
4062	carya ovata	shagbark hickory	14	good	Remove	14.4	
4063	populus deltoides	cottonwood	10.6, 7.5	good	Remove	18.1	
4064	populus deltoides	cottonwood	7	good	Remove	7.1	
4065	populus deltoides	cottonwood	6.2, 7.5	good	Remove	13.7	
4066	populus deltoides	cottonwood	8.2, 8.5	good	Remove	16.7	
4067	populus deltoides	cottonwood	6.5, 7.6	good	Remove	14.1	
4068	celtis occidentalis	hackberry	12	good	Remove	12.0	
4069	ulmus	elm	7	good	Remove	7.1	
4070	acer rubrum	red maple	10	good	Remove	9.7	
4071	celtis occidentalis	hackberry	6.6, 3.7	good	Remove	10.3	
4072	celtis occidentalis	hackberry	7	good	Remove	6.6	
4073	quercus alba	white oak	10	good	Remove	9.7	
4074	morus	mulberry	10	good	Remove	10.0	
4075	fraxinus americana	white ash	7	good	Remove	7.0	
4076	celtis occidentalis	hackberry	9	good	Remove	9.3	
4077	celtis occidentalis	hackberry	8	good	Remove	7.7	
4078	celtis occidentalis	hackberry	9	good	Remove	9.0	
4079	acer rubrum	red maple	3.9, 11.6, 3.3, 4.1	good	Remove	22.9	
4080	ulmus	elm	6	good	Remove	6.0	
4081	acer rubrum	red maple	10	good	Remove	10.4	
4082	acer rubrum	red maple	6	good	Remove	6.0	
4083	acer rubrum	red maple	8	good	Remove	8.0	
4084	acer rubrum	red maple	8	good	Remove	7.5	
4085	acer rubrum	red maple	12	good	Remove	11.7	
4086	fraxinus americana	white ash	12	good	Remove	11.7	
4087	juniperus virginiana	eastern red cedar	9	good	Remove	9.0	
4088	acer rubrum	red maple	52	good	Remove	52.0	
4089	quercus rubra	red oak	8	good	Preserve	0.0	
4090	ulmus	elm	16	good	Preserve	0.0	
4091	fraxinus pennsylvanica	green ash	9	good	Preserve	0.0	
4092	ulmus	elm	14	good	Preserve	0.0	
4093	quercus alba	red oak	10	good	Preserve	0.0	
4094	ulmus	elm	9	good	Preserve	9.0	
4095	quercus alba	red oak	31	good	Preserve	31.0	
4096	morus	mulberry	9	poor	Preserve	0.0	
4097	celtis occidentalis	hackberry	9	good	Preserve	0.0	
4098	celtis occidentalis	hackberry	8	good	Preserve	0.0	
4099	acer rubrum	red maple	7	good	Preserve	0.0	
4100	acer saccharum	silver maple	9.6, 7.4	good	Preserve	0.0	
4101	populus deltoides	cottonwood	16	good	Preserve	0.0	
4102	quercus rubra	red oak	14	good	Preserve	0.0	
4103	morus	mulberry	8	poor	Preserve	0.0	
4104	quercus alba	white oak	52	good	Preserve	0.0	
4105	morus	mulberry	13	fair	Remove	12.7	
4106	morus	mulberry	9	fair	Remove	8.5	
4107	morus	mulberry	10	fair	Remove	9.5	
4108	morus	mulberry	12	fair	Remove	11.5	
4109	acer rubrum	red maple	9	good	Remove	9.2	
4110	acer rubrum	red maple	8	good	Remove	8.0	
4111	prunus avium	cherry	20	poor	Remove	0.0	
4112	celtis occidentalis	hackberry	9	good	Remove	9.2	
4113	prunus avium	cherry	8	fair	Remove	8.1	
4114	prunus avium	cherry	8	fair	Remove	8.3	
4115	acer rubrum	red maple	9, 13, 18, 32, 24, 22	poor	Remove	0.0	
4116	celtis occidentalis	hackberry	8	fair	Remove	7.5	
4117	celtis occidentalis	hackberry	38	good	Remove	38.0	
4118	celtis occidentalis	hackberry	14	good	Remove	14.4	
4119	acer rubrum	red maple	18, 11, 16, 18, 15, 20	fair	Remove	98.0	
4120	acer rubrum	red maple	8	good	Remove	7.5	
4121	morus	mulberry	10	fair	Remove	9.5	
4122	quercus alba	white oak	13	good	Remove	13.0	
4123	celtis occidentalis	hackberry	12	good	Remove	12.3	
4124	morus	mulberry	12	poor	Remove	0.0	
4125	celtis occidentalis	hackberry	12	fair	Remove	12.0	
4126	fraxinus americana	white ash	18	fair	Preserve	0.0	
4127	quercus rubra	red oak	8	good	Preserve	0.0	
4128	morus	mulberry	13.5	poor	Preserve	0.0	
4129	ulmus	elm	37.2	good	Preserve	0.0	
4130	celtis occidentalis	hackberry	12	good	Preserve	0.0	
4131	celtis occidentalis	hackberry	10	poor	Preserve	0.0	

TREE #	Species	Common Name	DBH (")	Tree Condition	Status	Replacement Inches		
4132	morus	mulberry	10.5	poor	Preserve	0.0		
4133	acer nigrum	black maple	8.8	fair	Preserve	0.0		
4134	celtis occidentalis	hackberry	10.1	fair	Preserve	0.0		
4135	celtis occidentalis	hackberry	10.7	fair	Preserve	0.0		
4136	celtis occidentalis	hackberry	7.8	fair	Preserve	0.0		
4137	celtis occidentalis	hackberry	15	fair	Preserve	0.0		
4138	morus	mulberry	18	fair	Preserve	0.0		
4139	celtis occidentalis	hackberry	15.7	fair	Preserve	0.0		
4140	quercus rubra	red oak	16.4	fair	Preserve	0.0		
4141	celtis occidentalis	hackberry	18.8	good	Preserve	0.0		
4142	ulmus	elm	6.9	good	Preserve	0.0		
4143	celtis occidentalis	hackberry	10.5	good	Preserve	0.0		
4144	ulmus	elm	11.3	good	Preserve	0.0		
4240	populus deltoides	Cottonwood	12.1	good	Remove	12.1		
4241	populus deltoides	Cottonwood	8.2	good	Remove	8.2		
4242	populus deltoides	Cottonwood	14	good	Remove	14		
4243	populus deltoides	Cottonwood	15.8	good	Remove	15.8		
4244	populus deltoides	Cottonwood	10	good	Remove	10		
4245	populus deltoides	Cottonwood	6.5	good	Remove	6.5		
4246	populus deltoides	Cottonwood	7.1	good	Remove	7.1		
4247	populus deltoides	Cottonwood	6.2	good	Remove	6.2		
4248	populus deltoides	Cottonwood	13	good	Remove	13		
4249	populus deltoides	Cottonwood	6.3	good	Remove	6.3		
4250	populus deltoides	Cottonwood	6.5	good	Remove	6.5		
4251	populus deltoides	Cottonwood	8.2	good	Remove	8.2		
4252	populus deltoides	Cottonwood	6	good	Remove	6		
4253	populus deltoides	Cottonwood	8.3	good	Remove	8.3		
4254	populus deltoides	Cottonwood	12	good	Remove	12		
4255	populus deltoides	Cottonwood	10.6	good	Remove	10.6		
4256	populus deltoides	Cottonwood	9.5	good	Remove	9.5		
4257	populus deltoides	Cottonwood	7.8	good	Remove	7.8		
4258	populus deltoides	Cottonwood	7	good	Remove	7		
4259	populus deltoides	Cottonwood	7.2	good	Remove	7.2		
4260	populus deltoides	Cottonwood	8.5	good	Remove	8.5		
4261	populus deltoides	Cottonwood	7.1	good	Remove	7.1		
4262	populus deltoides	Cottonwood	6.2	good	Remove	6.2		
4263	populus deltoides	Cottonwood	7.8	good	Remove	7.8		
4264	populus deltoides	Cottonwood	6.3	good	Remove	6.3		
4266	populus deltoides	Cottonwood	7.5	good	Remove	7.5		
4267	populus deltoides	Cottonwood	8.3	good	Remove	8.3		
4269	populus deltoides	Cottonwood	6.9	good	Remove	6.9		
4270	populus deltoides	Cottonwood	8.5	good	Remove	8.5		
4271	populus deltoides	Cottonwood	8	good	Remove	8		
4272	populus deltoides	Cottonwood	8.4	good	Remove	8.4		
4273	populus deltoides	Cottonwood	9.8	good	Remove	9.8		
4274	populus deltoides	Cottonwood	6.1	good	Remove	6.1		
4275	populus deltoides	Cottonwood	8	good	Remove	8		
4276	populus deltoides	Cottonwood	6.7	good	Remove	6.7		
4277	populus deltoides	Cottonwood	14.1	good	Remove	14.1		
4282	populus deltoides	Cottonwood	11.2	good	Remove	11.2		
4283	populus deltoides	Cottonwood	6.2	good	Remove	6.2		
4285	populus deltoides	Cottonwood	10.5	good	Remove	10.5		
4286	populus deltoides	Cottonwood	13.4	good	Remove	13.4		
4287	populus deltoides	Cottonwood	6.3	good	Remove	6.3		
4288	populus deltoides	Cottonwood	9.5	good	Remove	9.5		
4289	populus deltoides	Cottonwood	7.8	good	Remove	7.8		
4290	Salix	willow	13	good	Remove	13		
4291	populus deltoides	Cottonwood	8.6	good	Remove	8.6		
4292	populus deltoides	Cottonwood	9.3	good	Remove	9.3		
4293	populus deltoides	Cottonwood	7.3	good	Remove	7.3		
4294	populus deltoides	Cottonwood	7.1	good	Preserve	0		
						Total Replacement Caliper	1353.2	



TREE PROTECTION NOTES

1. ALL TREES TO BE PROTECTED AND PRESERVED SHALL BE PER DETAIL. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
2. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE.
3. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
4. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
5. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, WHEN ROOT ENERGY SUPPLIES ARE HIGH AND CONDITIONS ARE LEAST FAVORABLE FOR DISEASE CAUSING AGENTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST.
6. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
7. AUGER TUNNELING RATHER THAN TRENCHING SHOULD BE USED FOR UTILITY PLACEMENT WITHIN DRIP LINE.
8. FENCING MATERIAL SHALL ENCIRCLE ANY TREE OR SHRUB WHOSE OUTER DRIP LINE EDGE IS WITHIN 20 FEET OF ANY CONSTRUCTION ACTIVITIES.
9. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
10. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
11. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.
12. REFER TO PLANS FOR FENCE STAKING LOCATIONS.

1 TREE PROTECTION NTS

TREE REPLACEMENT CALCULATIONS

TREES TO BE REMOVED

EXISTING GOOD AND FAIR TREES TO BE REMOVED $\geq 6"$ DBH TO BE REPLACED ON A 1" DBH - 1" REPLACEMENT CALIPER RATIO.

116 TREES TO BE REPLACED ON A 1" - 1" BASIS

1353.2" DBH REMOVED TO BE REPLACED WITH 1353.2" TOTAL CAL. REPLACEMENT TREES.

NO.	REVISIONS	DATE	BY
Kimley-Horn			
<small>© 2003 KIMLEY-HORN AND ASSOCIATES, INC.<</small>			

EX H.1 - Open Space Plan

DEVELOPMENT DATA

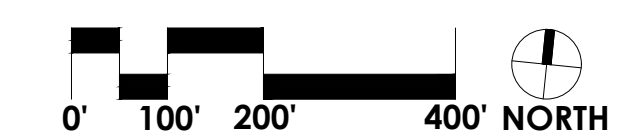
Gross Area:	+/-105.02 AC.
Open Space Requirement per Section 152.086 & 152.087	22.51 AC.
Open Space Required per Resolution 27-04 Conservation Design Resolution	52.51 AC.
Proposed Land Dedication	51.25 AC.
Open Space	46.89 AC.
Future Tuttle Crossing Blvd. R/W	4.36 AC.

LEGEND

- Open Space Reserve Area
- Includes:
 - Open Green Spaces
 - Ponds and Basins
 - Existing Tree Stands
 - Existing Wetlands
 - Existing Utility Easements
- Future Tuttle Crossing Open Space Area

LAND DEDICATION/ MAINTENANCE MATRIX

Name	Area (AC)	Ownership	Maintenance
A	3.35	City of Dublin	HOA
B	0.46	City of Dublin	HOA
C	2.65	City of Dublin	HOA
D	1.12	City of Dublin	HOA
E	23.85	City of Dublin	City of Dublin
F	2.81	City of Dublin	HOA
G	2.98	City of Dublin	HOA
H	1.41	City of Dublin	HOA
I	1.65	City of Dublin	HOA
J	0.56	City of Dublin	HOA
K	0.32	City of Dublin	HOA
L	0.55	City of Dublin	HOA
M	0.18	City of Dublin	HOA
N	5.00	City of Dublin	HOA
SUBTOTAL	46.89		
O	1.97	City of Dublin	HOA
P	2.39	City of Dublin	HOA
SUBTOTAL	4.36		
TOTAL	51.25		



PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
 Dublin, OH
 August 4, 2023



EX H.2 - Open Space Enlargement North

DEVELOPMENT DATA

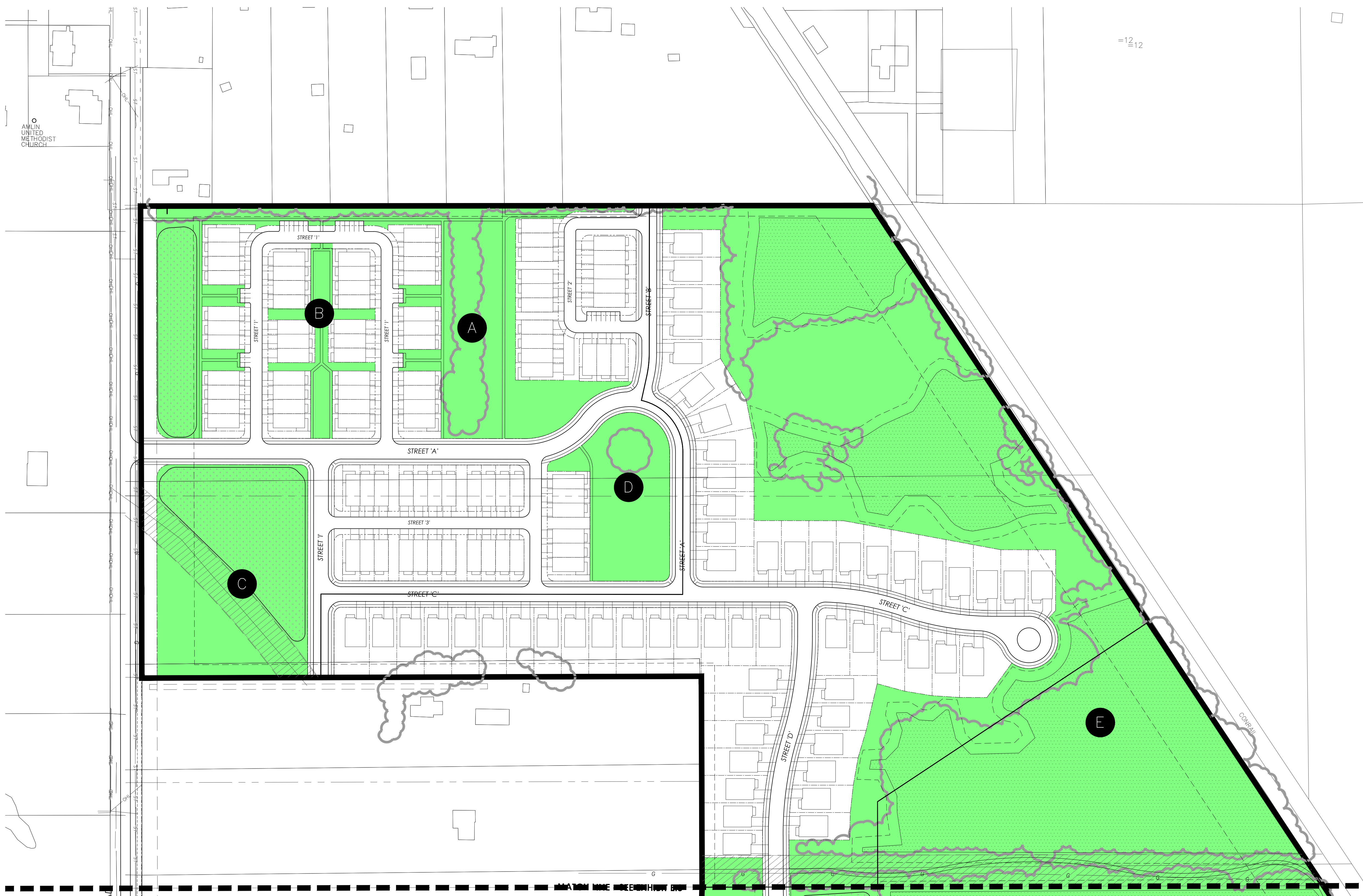
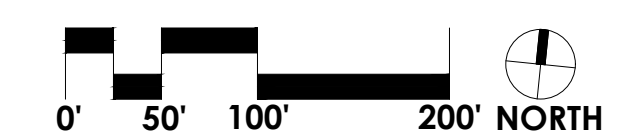
Gross Area:	+/-105.02 AC.
Open Space Requirement per Section 152.086 & 152.087	22.51 AC.
Open Space Required per Resolution 27-04 Conservation Design Resolution	52.51 AC.
Proposed Land Dedication	51.25 AC.
Open Space	48.89 AC.
Future Tuttle Crossing Blvd. R/W	4.36 AC.

LEGEND

- Open Space Reserve Area
- Includes:
 - Open Green Spaces
 - Ponds and Basins
 - Existing Tree Stands
 - Existing Wetlands
 - Existing Utility Easements
- Future Tuttle Crossing Open Space Area

LAND DEDICATION/ MAINTENANCE MATRIX

Name	Area (AC)	Ownership	Maintenance
A	3.35	City of Dublin	HOA
B	0.46	City of Dublin	HOA
C	2.65	City of Dublin	HOA
D	1.12	City of Dublin	HOA
E	23.85	City of Dublin	City of Dublin
F	2.81	City of Dublin	HOA
G	2.98	City of Dublin	HOA
H	1.41	City of Dublin	HOA
I	1.65	City of Dublin	HOA
J	0.56	City of Dublin	HOA
K	0.32	City of Dublin	HOA
L	0.55	City of Dublin	HOA
M	0.18	City of Dublin	HOA
N	5.00	City of Dublin	HOA
SUBTOTAL	46.89		
O	1.97	City of Dublin	HOA
P	2.39	City of Dublin	HOA
SUBTOTAL	4.36		
TOTAL	51.25		



EX H.3 - Open Space Enlargement South

DEVELOPMENT DATA

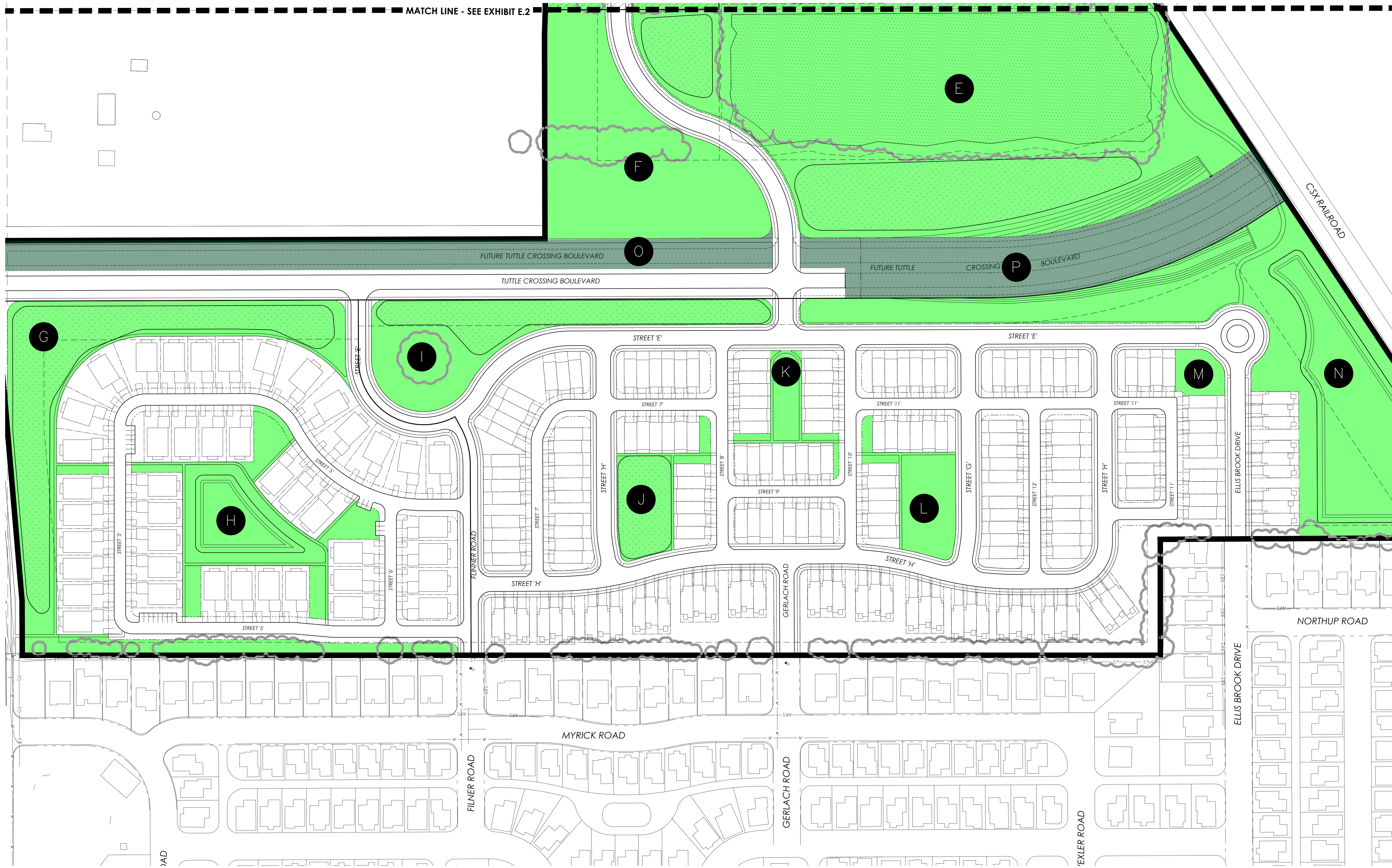
Gross Area:	+/-105.02 AC.
Open Space Requirement per Section 152.086 & 152.087	22.51 AC.
Open Space Required per Resolution 27-04 Conservation Design Resolution	52.51 AC.
Proposed Land Dedication	51.25 AC.
Open Space	46.89 AC.
Future Tuttle Crossing Blvd. R/W	4.36 AC.

LEGEND

- Open Space Reserve Area
- Includes:
 - Open Green Spaces
 - Ponds and Basins
 - Existing Tree Stands
 - Existing Wetlands
 - Existing Utility Easements
- Future Tuttle Crossing Open Space Area

LAND DEDICATION/ MAINTENANCE MATRIX

Name	Area (AC)	Ownership	Maintenance
A	3.35	City of Dublin	HOA
B	0.46	City of Dublin	HOA
C	2.65	City of Dublin	HOA
D	1.12	City of Dublin	HOA
E	23.85	City of Dublin	City of Dublin
F	2.81	City of Dublin	HOA
G	2.98	City of Dublin	HOA
H	1.41	City of Dublin	HOA
I	1.65	City of Dublin	HOA
J	0.56	City of Dublin	HOA
K	0.32	City of Dublin	HOA
L	0.55	City of Dublin	HOA
M	0.18	City of Dublin	HOA
N	5.00	City of Dublin	HOA
SUBTOTAL	46.89		
O	1.97	City of Dublin	HOA
P	2.39	City of Dublin	HOA
SUBTOTAL	4.36		
TOTAL	51.25		

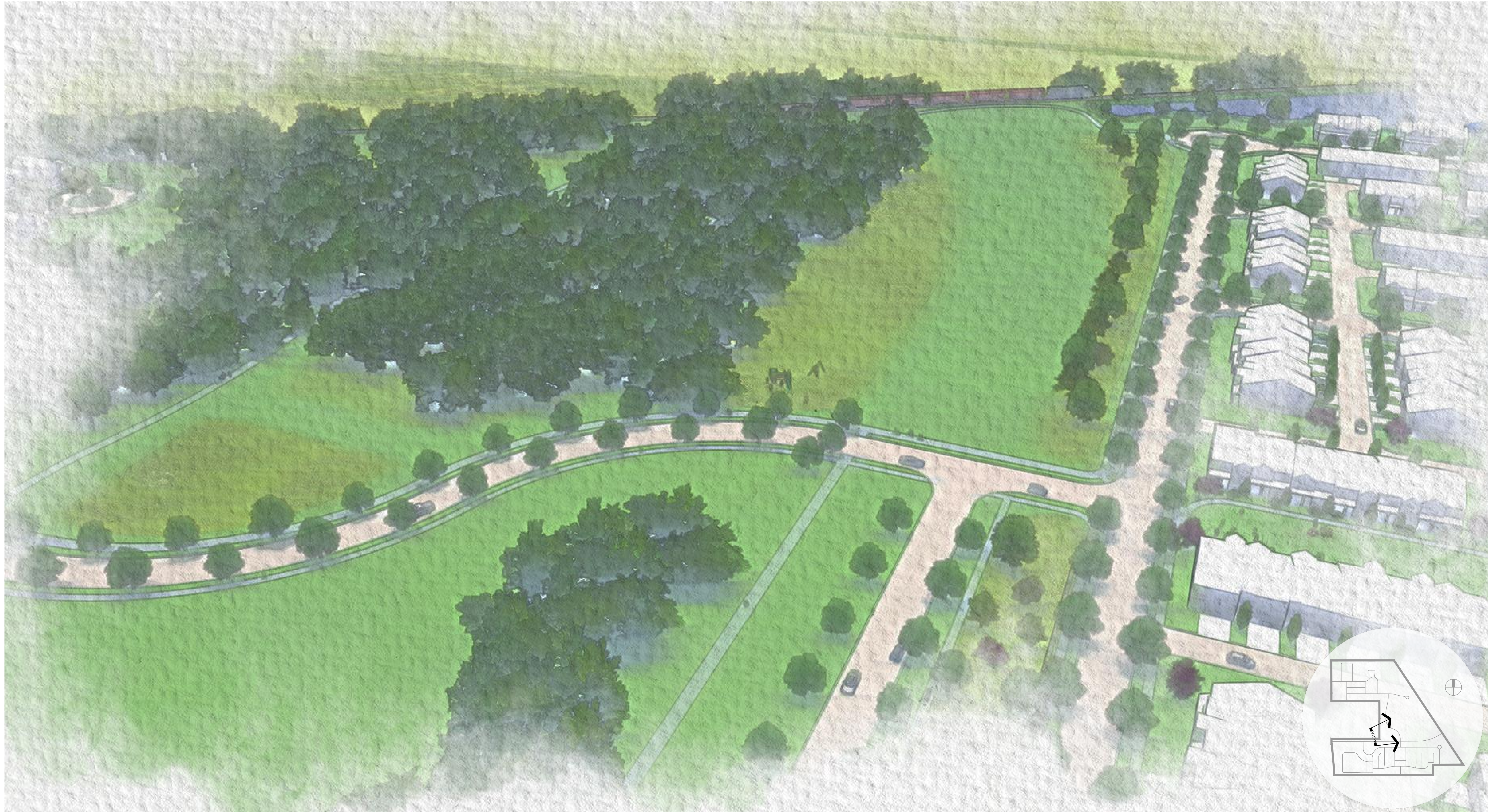


EX H.4 - Open Space Character Vignette
Southern Landmark Tree



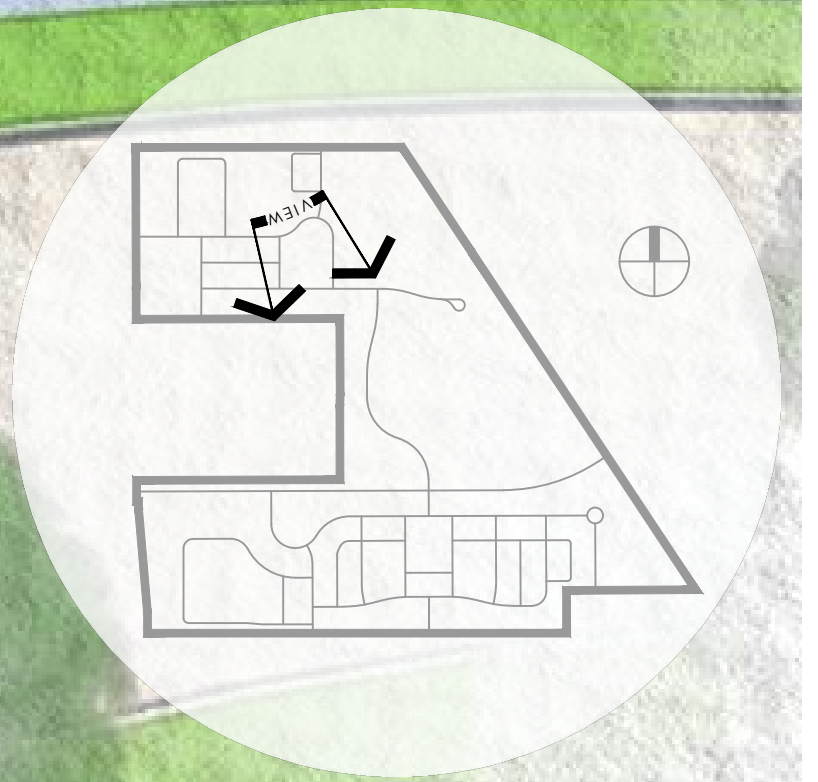
PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
Dublin, OH
August 4, 2023

EX H.5 - Open Space Character Vignette
Subarea C Amenities



PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
Dublin, OH
August 4, 2023

EX H.6 - Open Space Character Vignette
Northern Landmark Tree

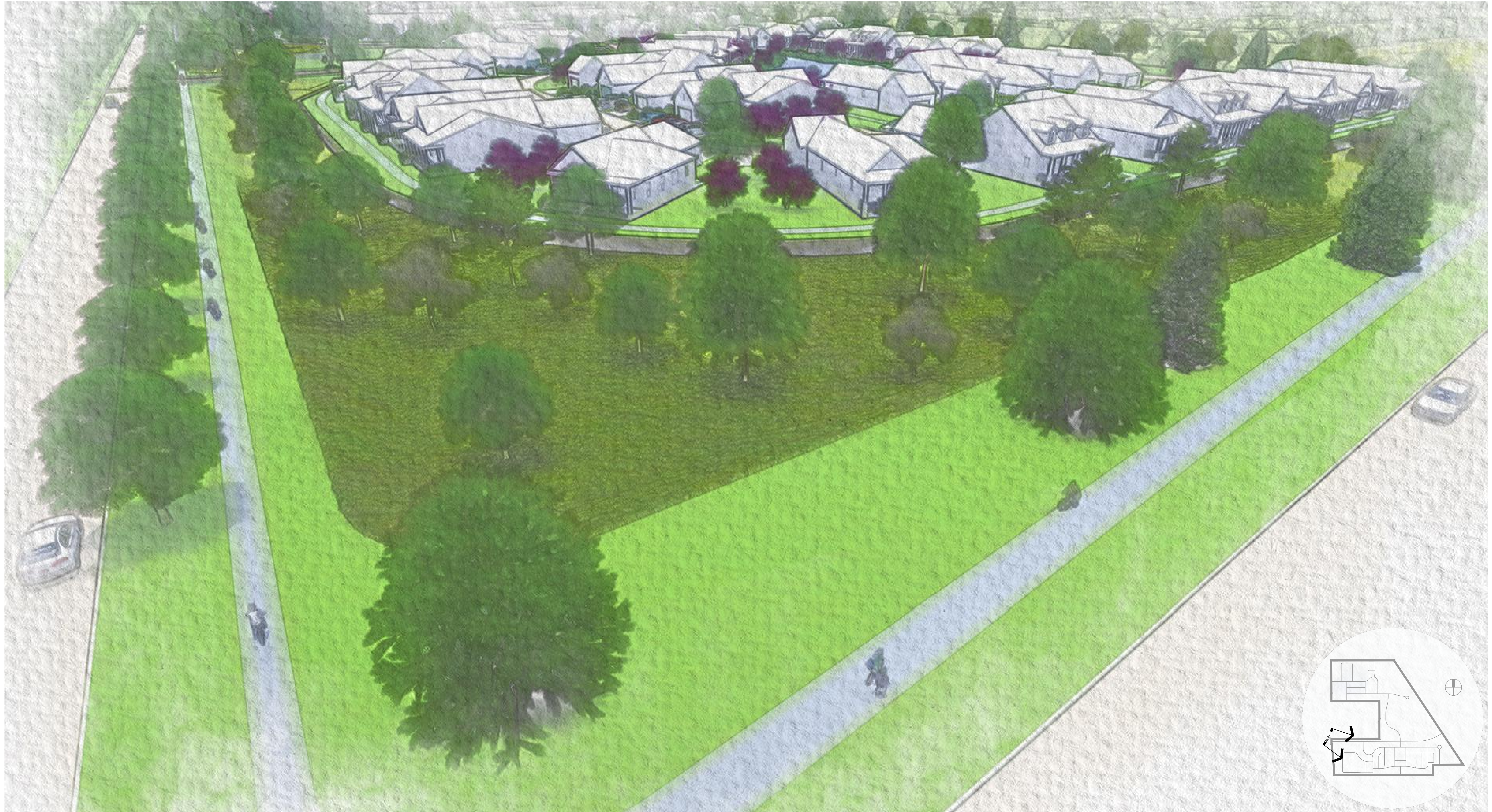


PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
Dublin, OH
August 4, 2023

EX H.7 - Open Space Character Vignette
Northern Preserved Tree Row

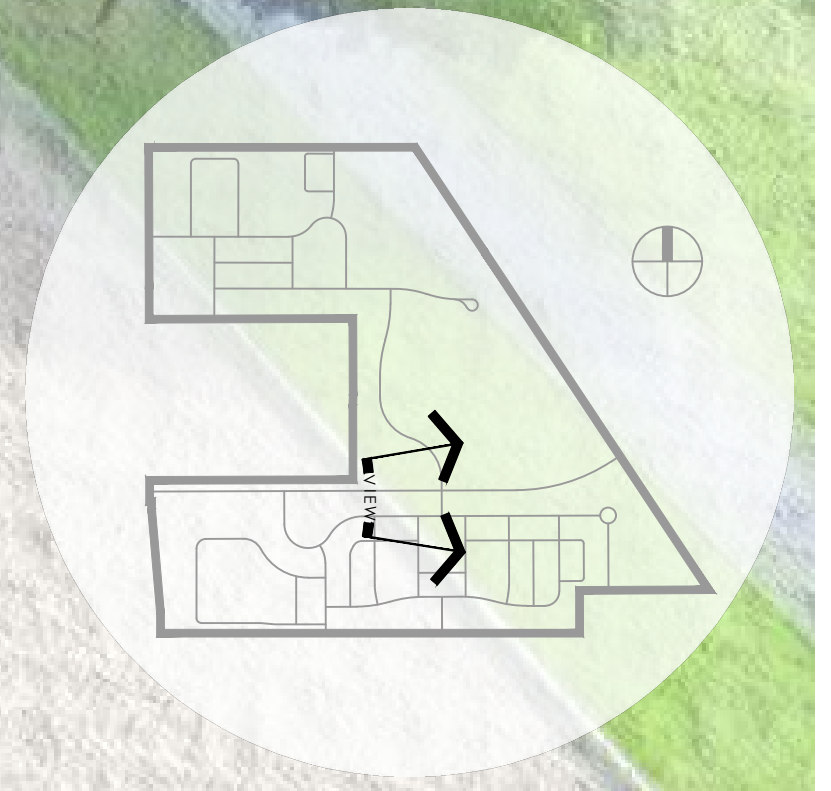
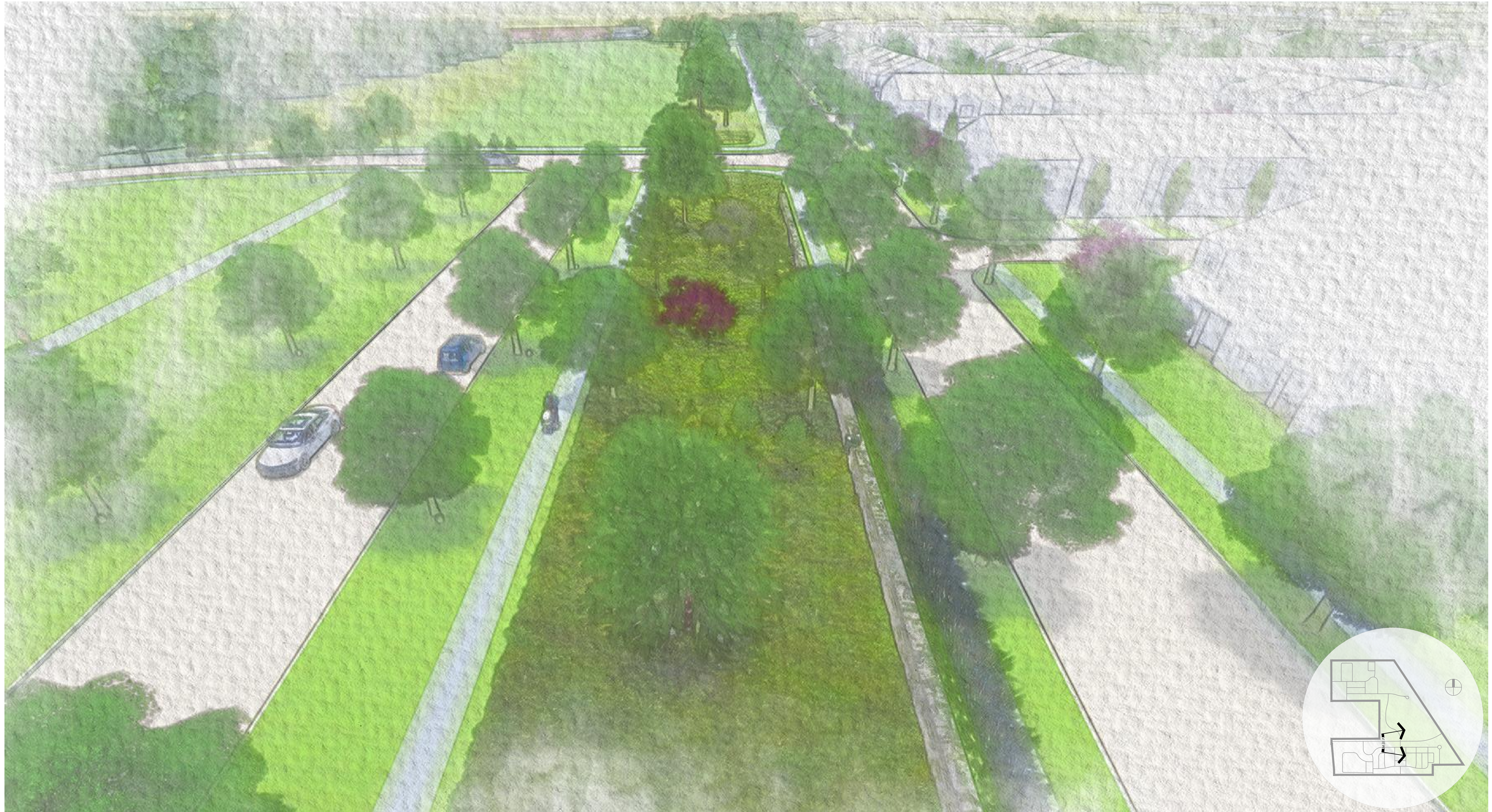


EX H.8 - Open Space Character Vignette
Tuttle Crossing Boulevard Buffer



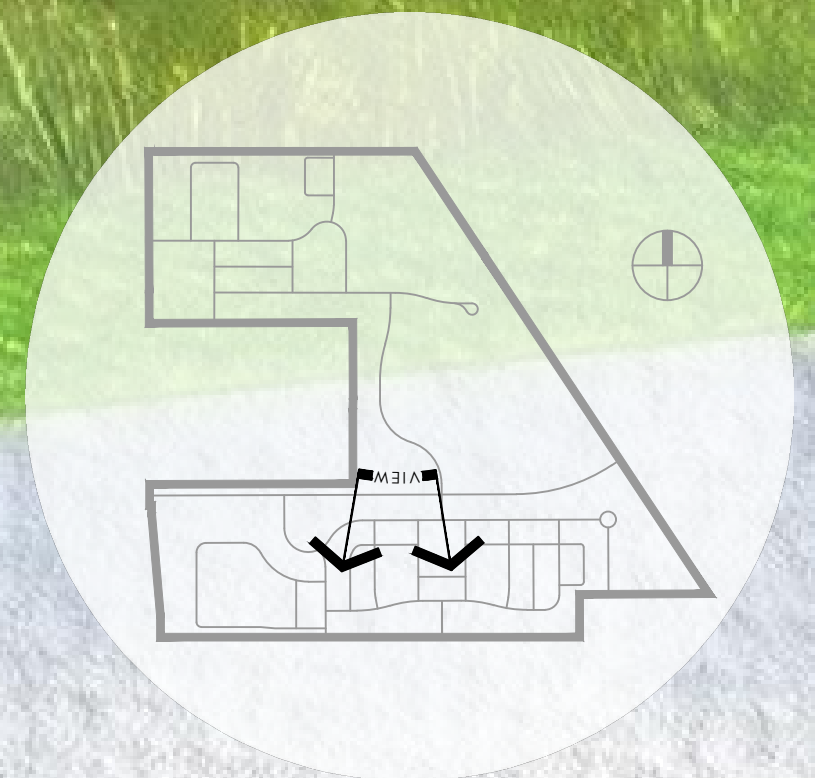
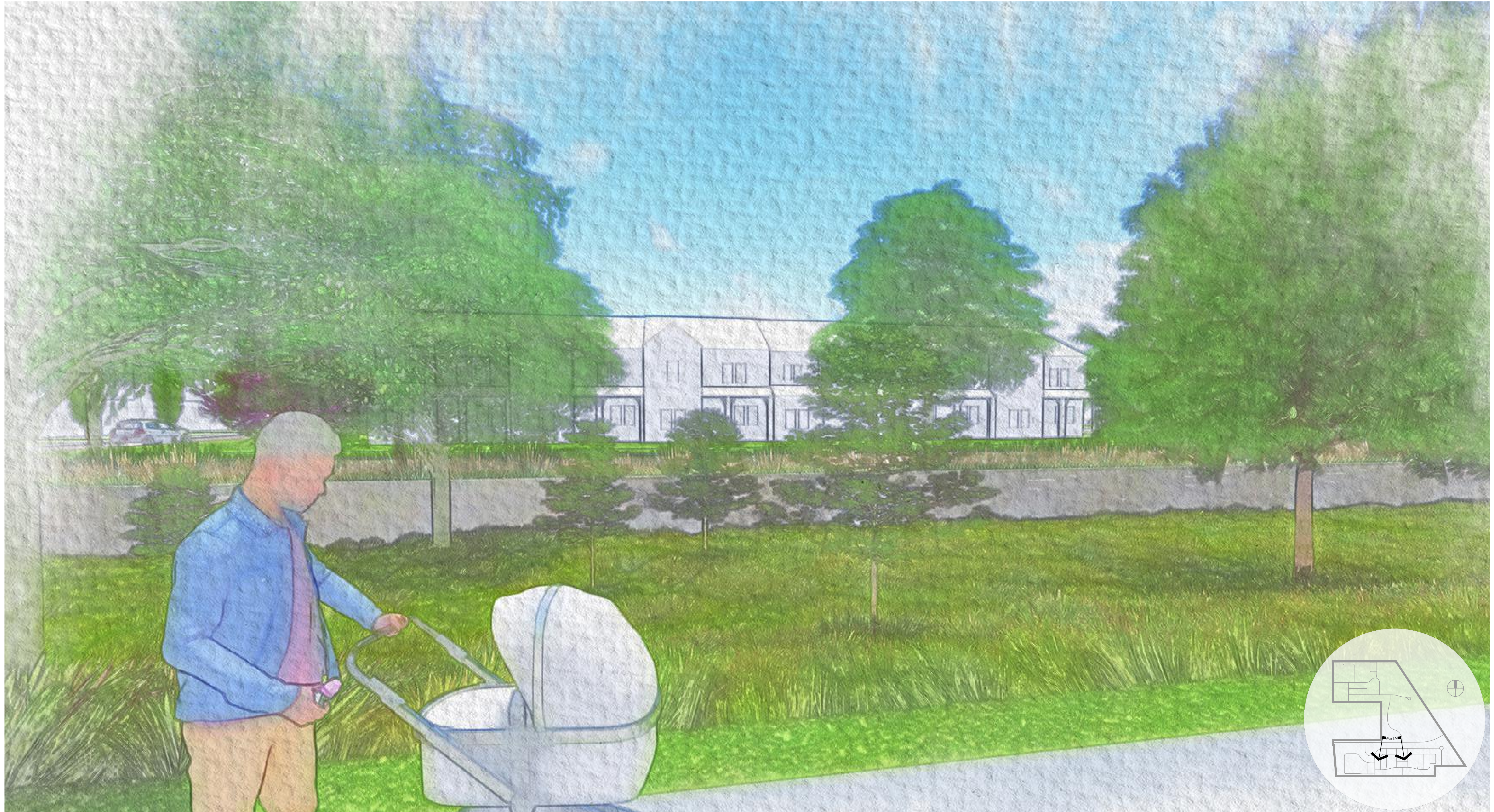
PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
Dublin, OH
August 4, 2023

EX H.9 - Open Space Character Vignette
Tuttle Crossing Boulevard Buffer



PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
Dublin, OH
August 4, 2023

EX H.10 - Open Space Character Vignette
Tuttle Crossing Boulevard Buffer



PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
Dublin, OH
August 4, 2023

EX I.1 - Pedestrian Circulation Path

LEGEND

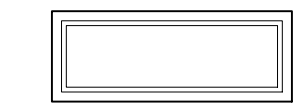
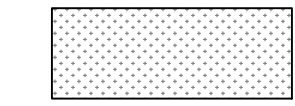
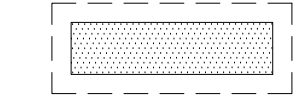
- Public Sidewalk
- Public Multi-Use Path
- Future Public Multi-Use Path
- Future Public Sidewalk
- Existing Streets
- Proposed Wet Basin
- Proposed Dry Basin
- Preserved Wetland with 20' Setback






PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
 Dublin, OH
 August 4, 2023

EX I.2 - Vehicular Circulation Path

LEGEND

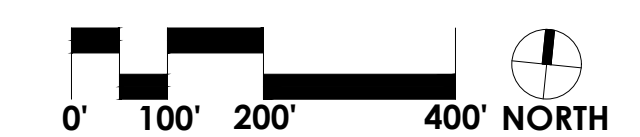
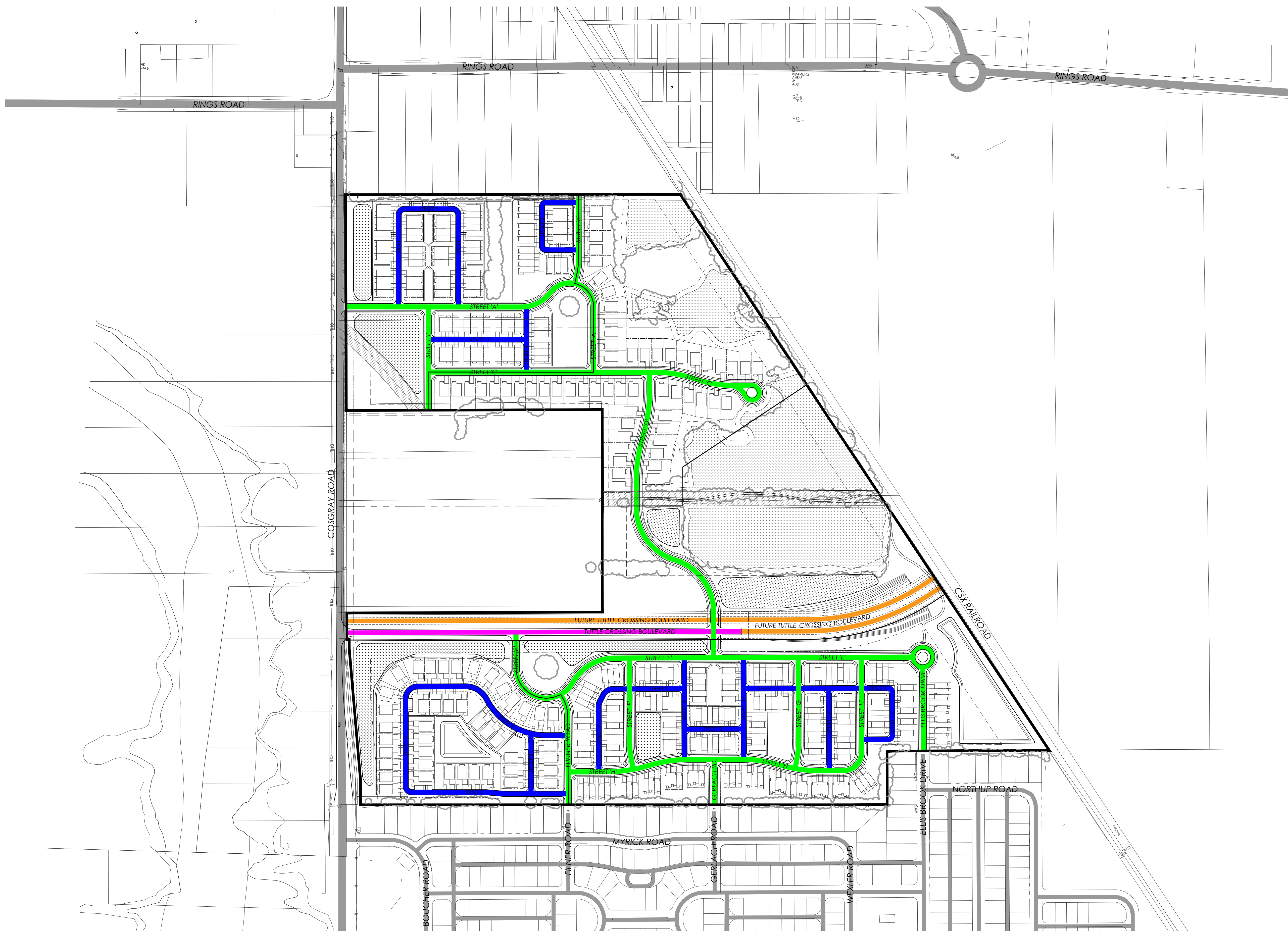
-  Proposed Wet Basin
-  Proposed Dry Basin
-  Preserved Wetland with 20' Setback

Regional Roadways

-  Minor Arterial (Public)
-  Minor Arterial - Future (Public)
-  Existing Streets

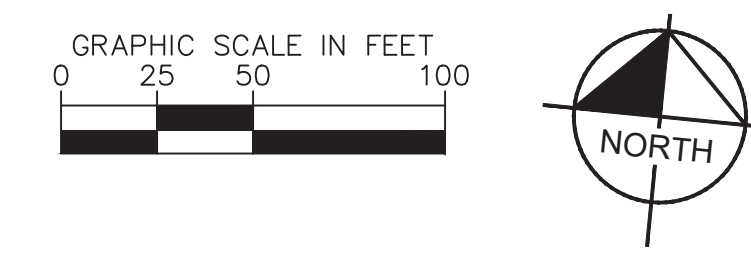
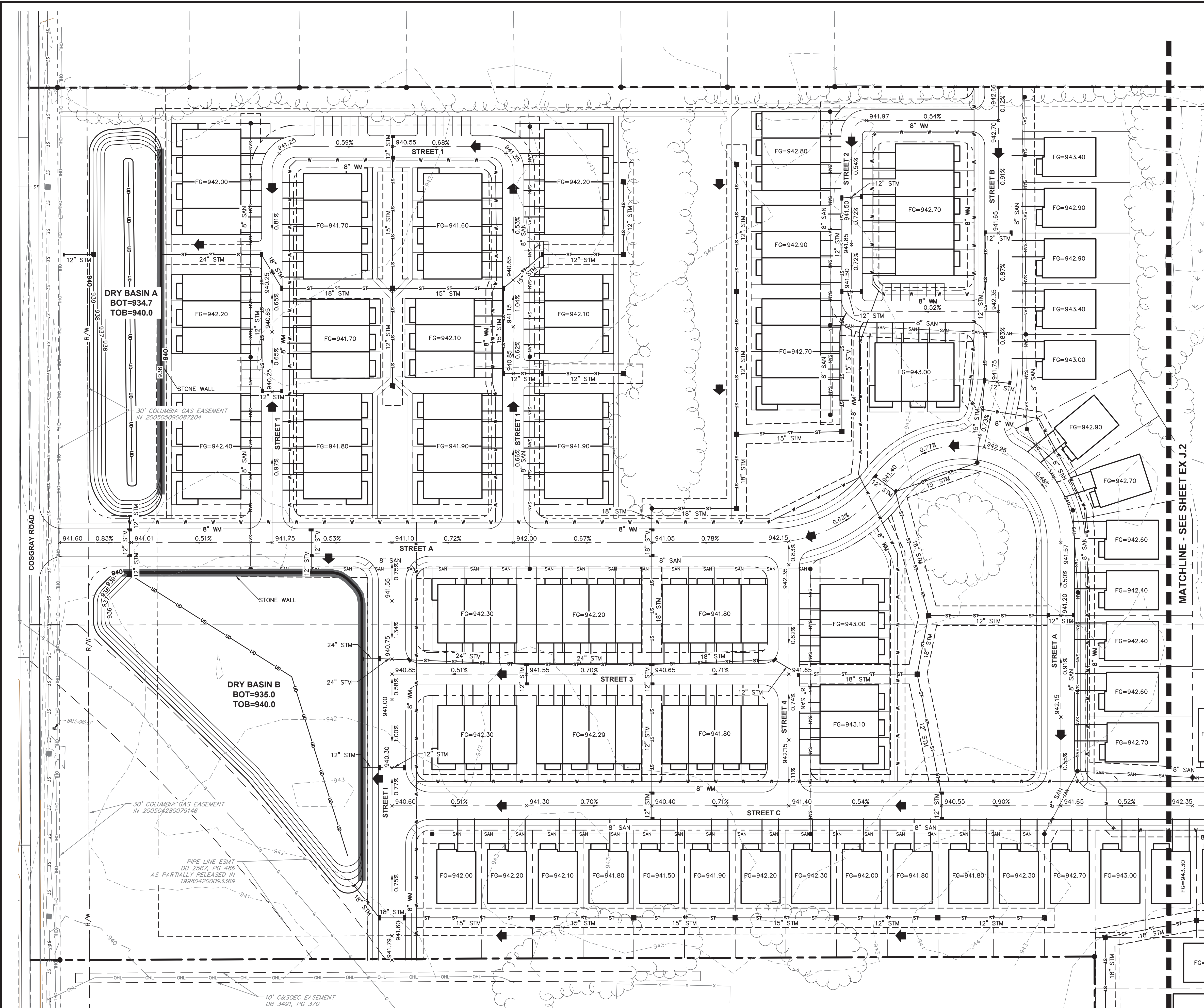
Local Roadways

-  Local Street (Public)
-  Service Street (Public)



PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
 Dublin, OH
 August 4, 2023

Drawing name: K:\CBE\DEV\190016002_Schottstein\Luffy\2_Design\CAD\PlanSheets\Preliminary Development Plan\Utility & Grading Plan - EX J.1 UTILITY & GRADING PLAN - Aug 03, 2023 10:21am by: Mike Reeves
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of and approval of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

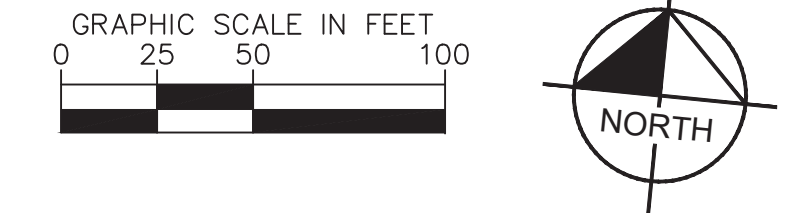


LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	PROPOSED TREE PRESERVATION LINE
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED CENTERLINE
	PROPOSED SETBACK
	PROPOSED BACK OF CURB
	PROPOSED SIDEWALK
	PROPOSED BUILDING OUTLINE
	PROPOSED DRIVEWAY
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM SEWER LINE
	PROPOSED CATCH BASIN
	PROPOSED HEADWALL
	PROPOSED STORM MANHOLE
	PROPOSED STORM CURB INLET
	PROPOSED YARD DRAIN
	FLOOD ROUTING ARROW
	FLOW ARROW
	PROPOSED STONE WALL
	PROPOSED FINISH GRADE ELEVATION
	PROPOSED BOTTOM OF BASIN
	PROPOSED TOP OF BANK
	PROPOSED NORMAL POOL
	PROPOSED UNDERDRAIN

NOTES
 1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

Kimley-Horn	
© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 10000 KIMLEY-HORN DRIVE, SUITE 200, COLUMBUS, OH 43235 PHONE: 614-454-6699 WWW.KIMLEY-HORN.COM	
UTILITY & GRADING PLAN	AMLIN CROSSING
DESIGNED BY: MCR	DRAWN BY: JUL
CHECKED BY: MCR	DATE: _____
COSGRAY ROAD DUBLIN, OH 43016	
ORIGINAL ISSUE: 8/2/23	
KHA PROJECT NO. 190016002	
SHEET NUMBER EX J.1	

Drawing name: K:\CDE\190016002_SpotHeight\Juffly\2_Design\CAD\PlanSheets\Development_Plan\Utility & Grading_Plan\EX J.2 UTILITY & GRADING PLAN Aug 03, 2023 10:21am by: Mike Reeves
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Views of and opinions herein are those of the author and do not constitute a contract or any other legal document. The author shall be without liability to Kimley-Horn and Associates, Inc.



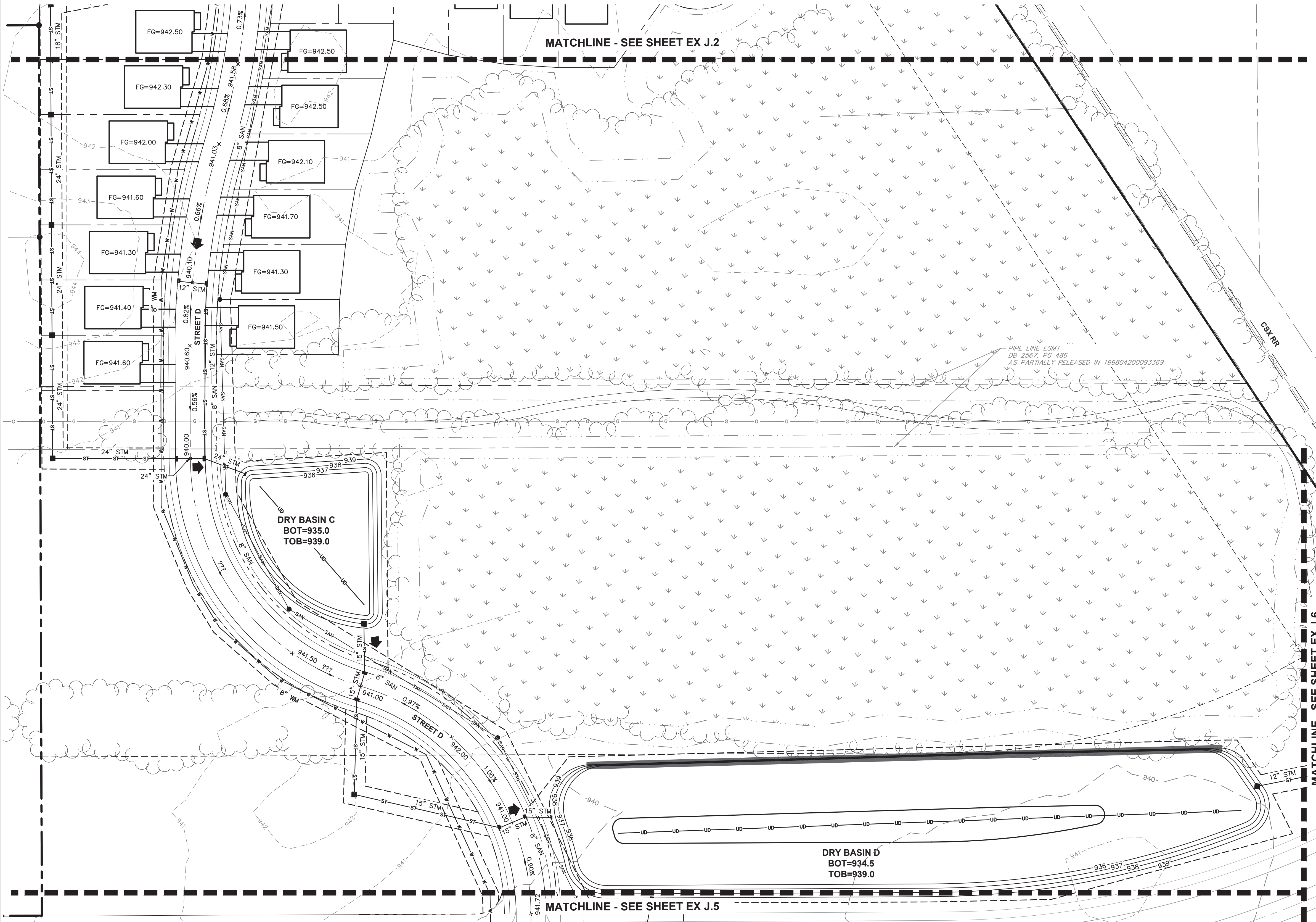
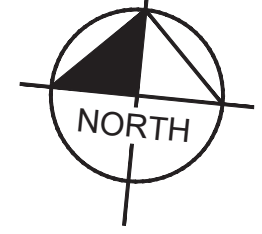
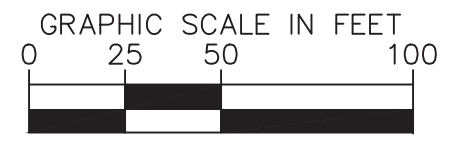
LEGEND

- — — — — EXISTING PROPERTY LINE
- — — — — EXISTING RIGHT-OF-WAY
- - - - - 860 EXISTING INDEX CONTOUR
- - - - - 859 EXISTING INTERMEDIATE CONTOUR
- - - - - EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- SAN — SAN — EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- - - - - PROPOSED TREE PRESERVATION LINE
- — — — — PROPOSED PROPERTY LINE
- - - - - PROPOSED RIGHT-OF-WAY
- - - - - PROPOSED CENTERLINE
- - - - - PROPOSED SETBACK
- - - - - PROPOSED BACK OF CURB
- - - - - PROPOSED SIDEWALK
- - - - - PROPOSED BUILDING OUTLINE
- - - - - PROPOSED DRIVEWAY
- - - - - 860 PROPOSED MAJOR CONTOUR
- - - - - 859 PROPOSED MINOR CONTOUR
- - - - - W W W W W PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
- SAN — SAN — PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- ST — ST — PROPOSED STORM SEWER LINE
- PROPOSED CATCH BASIN
- PROPOSED HEADWALL
- PROPOSED STORM MANHOLE
- PROPOSED STORM CURB INLET
- PROPOSED YARD DRAIN
- FLOOD ROUTING ARROW
- FLOW ARROW
- — — — — PROPOSED STONE WALL
- FG PROPOSED FINISH GRADE ELEVATION
- BOT PROPOSED BOTTOM OF BASIN
- TOB PROPOSED TOP OF BANK
- NP PROPOSED NORMAL POOL
- UD — UD — PROPOSED UNDERDRAIN

NOTES
1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

UTILITY & GRADING PLAN	
AMLIN CROSSING	COSGRAY ROAD DUBLIN, OH 43016
ORIGINAL ISSUE: 8/2/23	DESIGNED BY: MCR
KHA PROJECT NO. 190016002	DRAWN BY: JLL
SHEET NUMBER EX J.2	CHECKED BY: MCR
SCALE:	REVISIONS
DATE	BY

Drawing name: K:\CDE\190016002_Schotenstein_Luffly\2_Design\CAD\Final\Sheets\Utility & Grading\Plan\Utility & Grading Plan - EX J.3 UTILITY & GRADING PLAN - Aug 03, 2023 10:21am by: Mike Reeves
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Views of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING RIGHT-OF-WAY
- - - 860 EXISTING INDEX CONTOUR
- - - 859 EXISTING INTERMEDIATE CONTOUR
- W — W — W EXISTING WATERLINE
- SAN — SAN — SAN EXISTING FIRE HYDRANT
- SAN — SAN — SAN EXISTING SANITARY SEWER
- SAN — SAN — SAN EXISTING SANITARY MANHOLE
- PROPOSED TREE PRESERVATION LINE
- - - PROPOSED PROPERTY LINE
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED CENTERLINE
- - - PROPOSED SETBACK
- - - PROPOSED BACK OF CURB
- - - PROPOSED SIDEWALK
- - - PROPOSED BUILDING OUTLINE
- - - PROPOSED DRIVEWAY
- - - 860 PROPOSED MAJOR CONTOUR
- - - 859 PROPOSED MINOR CONTOUR
- W — W — W PROPOSED WATER LINE
- SAN — SAN — SAN PROPOSED FIRE HYDRANT
- SAN — SAN — SAN PROPOSED SANITARY SEWER
- SAN — SAN — SAN PROPOSED SANITARY MANHOLE
- ST — ST — ST PROPOSED STORM SEWER LINE
- PROPOSED CATCH BASIN
- PROPOSED HEADWALL
- PROPOSED STORM MANHOLE
- PROPOSED STORM CURB INLET
- PROPOSED YARD DRAIN
- FLOOD ROUTING ARROW
- FLOW ARROW
- FG PROPOSED STONE WALL
- BOT PROPOSED FINISH GRADE ELEVATION
- TOB PROPOSED BOTTOM OF BASIN
- NP PROPOSED TOP OF BANK
- UD PROPOSED NORMAL POOL
- UD PROPOSED UNDERDRAIN

NOTES

1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

	DATE
	BY
	REVISIONS
	No.

Kimley-Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 100 SOUTH HIGHWAY 100, SUITE 200,
 COLUMBUS, OH 43235
 PHONE: 614-454-6699
 WWW.KIMLEY-HORN.COM

SCALE:	DESIGNED BY: MCR	DRAWN BY: JUL	CHECKED BY: MCR
--------	------------------	---------------	-----------------

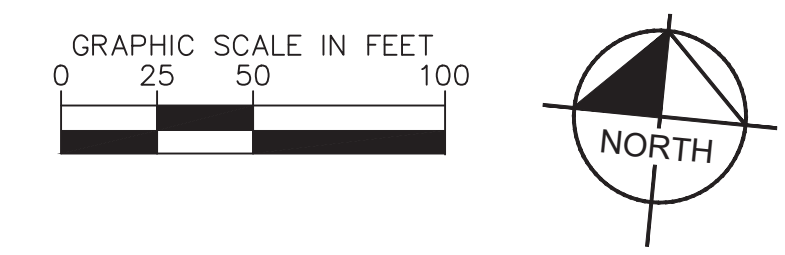
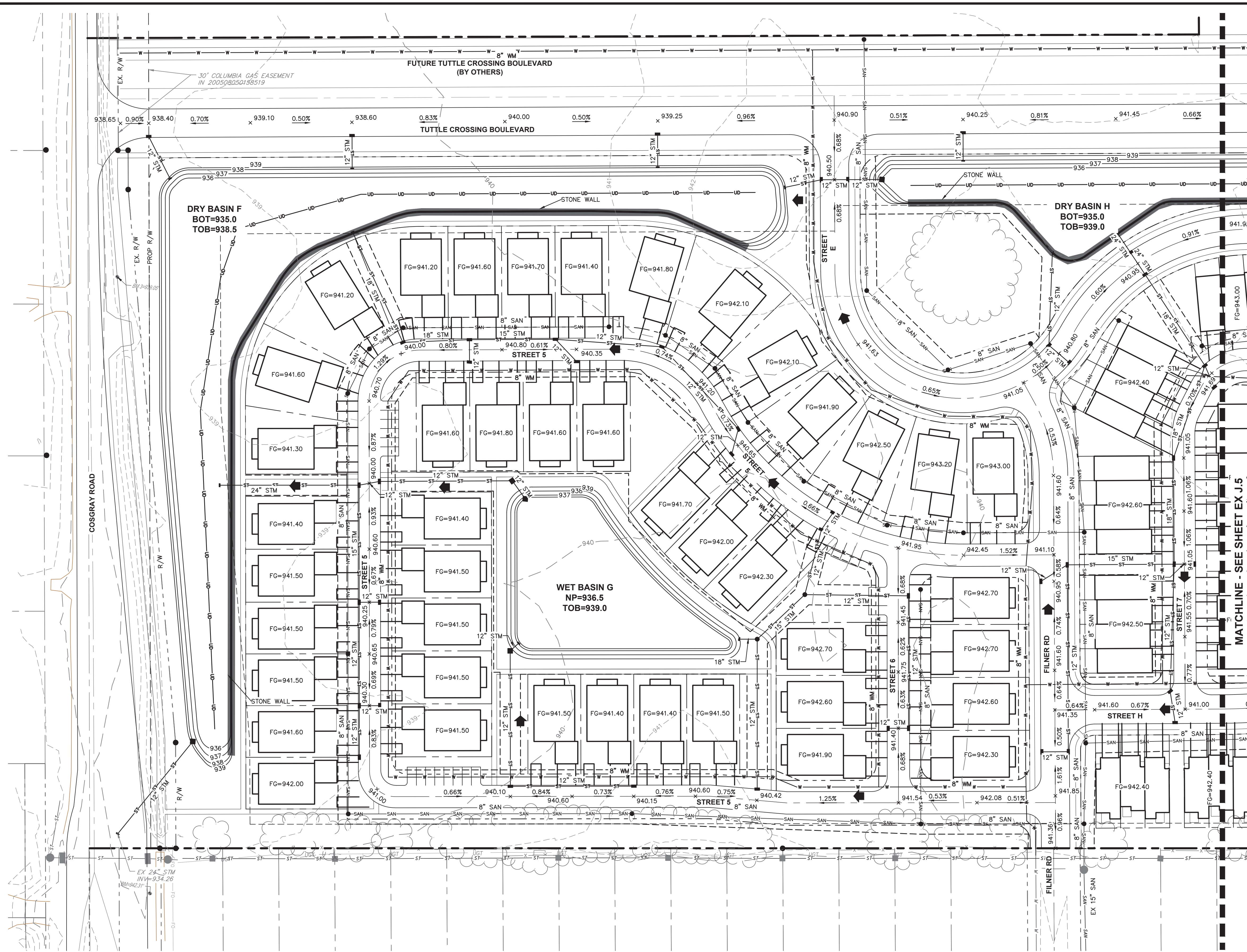
**UTILITY & GRADING
PLAN**

AMLIN CROSSING

COSGRAY ROAD
 DUBLIN, OH 43016

ORIGINAL ISSUE:
 8/2/23
 KHA PROJECT NO.
 190016002
 SHEET NUMBER
EX J.3

Drawing name: K:\CDE\190016002_Schottstein\Utility & Grading\Plan\Utility & Grading Plan - Aug 03, 2023 10:21am by: Mike Reeves
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Views of and/or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

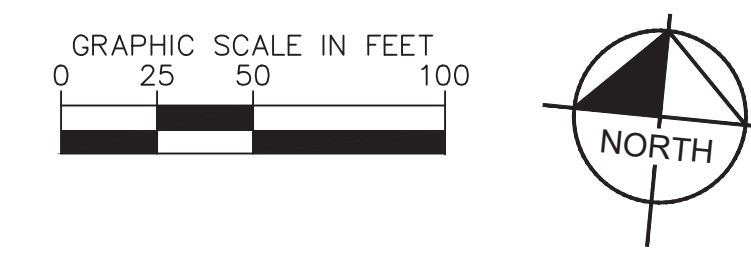
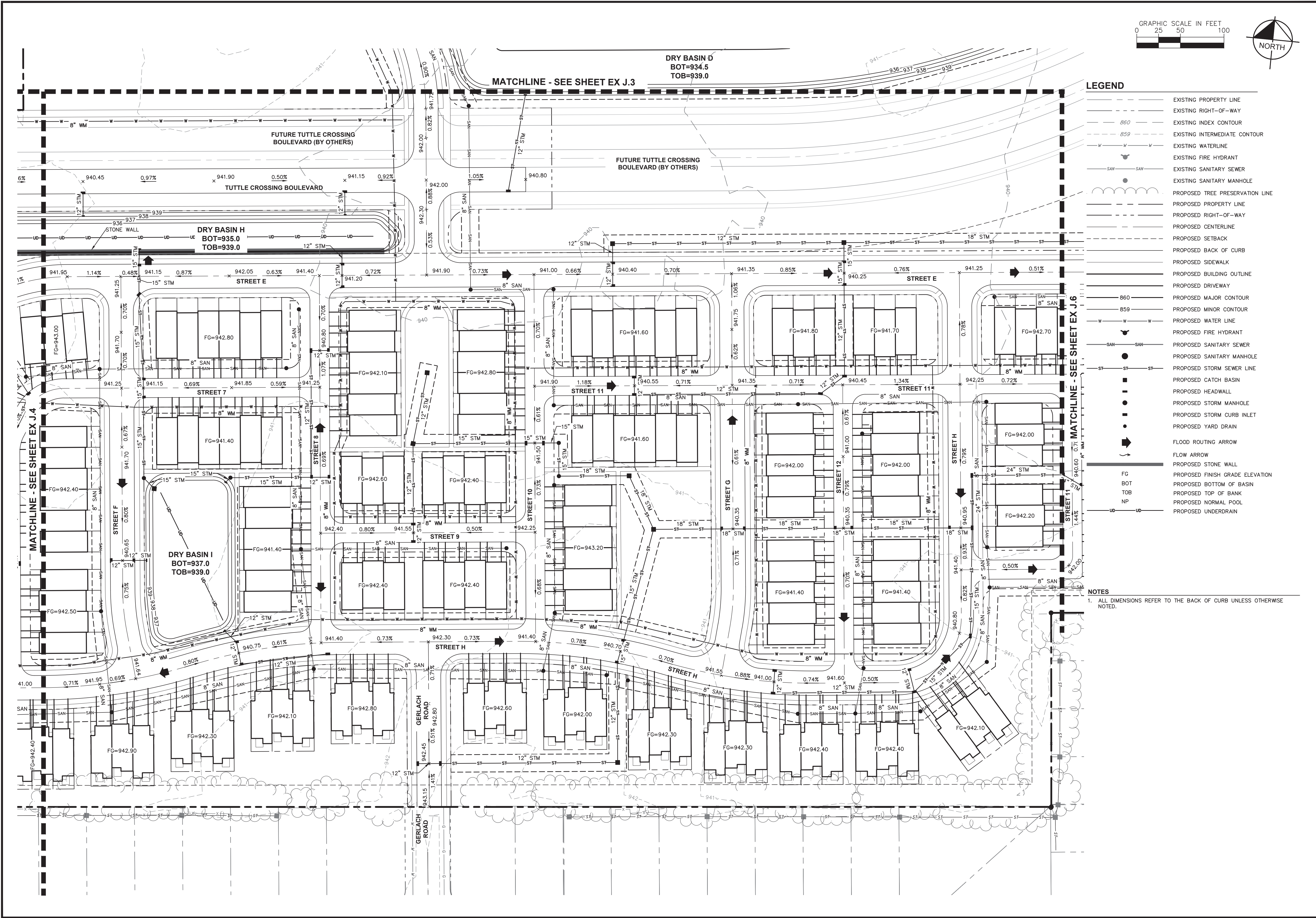


LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	PROPOSED TREE PRESERVATION LINE
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED CENTERLINE
	PROPOSED SETBACK
	PROPOSED BACK OF CURB
	PROPOSED SIDEWALK
	PROPOSED BUILDING OUTLINE
	PROPOSED DRIVEWAY
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM SEWER LINE
	PROPOSED CATCH BASIN
	PROPOSED HEADWALL
	PROPOSED STORM MANHOLE
	PROPOSED STORM CURB INLET
	PROPOSED YARD DRAIN
	FLOOD ROUTING ARROW
	FLOW ARROW
	PROPOSED STONE WALL
	PROPOSED FINISH GRADE ELEVATION
	PROPOSED BOTTOM OF BASIN
	PROPOSED TOP OF BANK
	PROPOSED NORMAL POOL
	PROPOSED UNDERDRAIN

NOTES
 1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

Kimley-Horn							
© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 10000 WOODBURN AVENUE, SUITE 200, COLUMBUS, OH 43235 PHONE: 614-454-6699 WWW.KIMLEY-HORN.COM							
UTILITY & GRADING PLAN							
AMLIN CROSSING							
COSGRAY ROAD DUBLIN, OH 43016							
ORIGINAL ISSUE: 8/2/23 KHA PROJECT NO. 190016002 SHEET NUMBER EX J.4							
SCALE:	DESIGNED BY: MCR	DRAWN BY: JLL	CHECKED BY: MCR	REVISIONS	DATE	BY	NO.

Drawing name: K:\CDE\DEV\190016002_Schottstein\luffj\2_Design\CAD\PlanSheets\Preliminary Development Plan\Utility & Grading Plan EX J.5 UTILITY & GRADING PLAN Aug 03, 2023 10:21am by: Mike Reeves
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Views of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

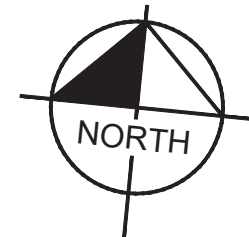
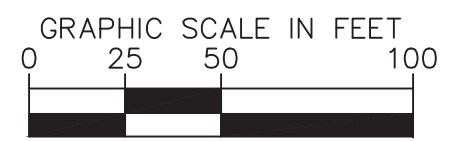
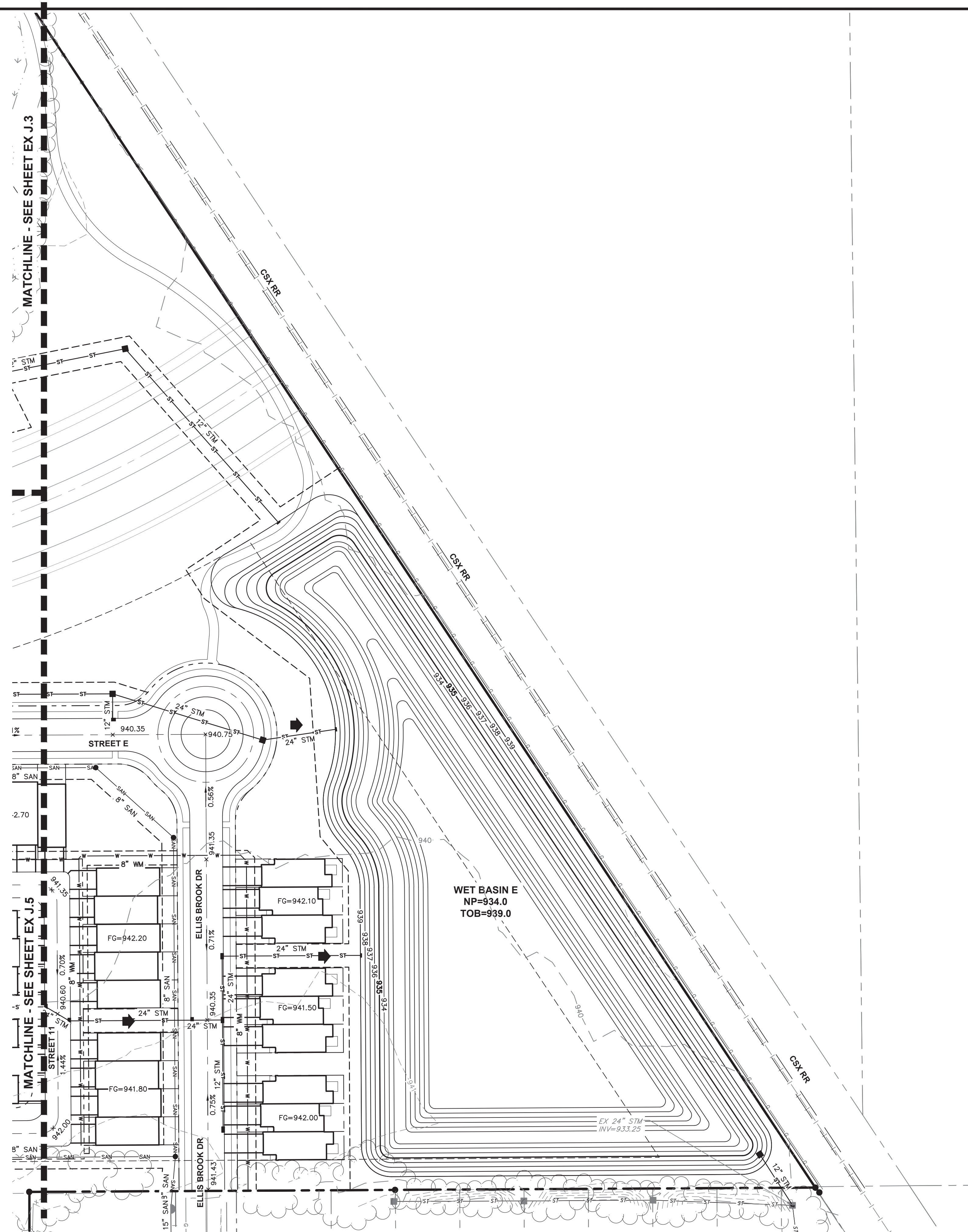


LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	PROPOSED TREE PRESERVATION LINE
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED CENTERLINE
	PROPOSED SETBACK
	PROPOSED BACK OF CURB
	PROPOSED SIDEWALK
	PROPOSED BUILDING OUTLINE
	PROPOSED DRIVEWAY
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM SEWER LINE
	PROPOSED CATCH BASIN
	PROPOSED HEADWALL
	PROPOSED STORM MANHOLE
	PROPOSED STORM CURB INLET
	PROPOSED YARD DRAIN
	FLOOD ROUTING ARROW
	FLOW ARROW
	PROPOSED STONE WALL
	PROPOSED FINISH GRADE ELEVATION
	PROPOSED BOTTOM OF BASIN
	PROPOSED TOP OF BANK
	PROPOSED NORMAL POOL
	PROPOSED UNDERDRAIN

NOTES
 1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

Kimley-Horn	<small>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 10000 WOODBURN ROAD, SUITE 200, COLUMBUS, OH 43235 PHONE: 614-454-6699 WWW.KIMLEY-HORN.COM</small>							
UTILITY & GRADING PLAN	SCALE:	DESIGNED BY: MCR	DRAWN BY: JLL	CHECKED BY: MCR	REVISIONS			DATE
AMLIN CROSSING	COSGRAY ROAD DUBLIN, OH 43016							
ORIGINAL ISSUE: 8/2/23	KHA PROJECT NO. 190016002							
SHEET NUMBER EX J.5								

Drawing name: K:\CDE\DEV\190016002_SpotHeight\Luff\2_Design\CAD\PlanSheets\Preliminary Development_Plan\Utility & Grading Plan_EX J.6 UTILITY & GRADING PLAN_Aug 03, 2023 10:21am by: Mike Reeves
 This document, together with the concepts and designs presented herein, is an instrument of service. It is intended only for the specific purpose and client for which it was prepared. Users of and proper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING RIGHT-OF-WAY
- 860 --- EXISTING INDEX CONTOUR
- 859 --- EXISTING INTERMEDIATE CONTOUR
- W --- EXISTING WATERLINE
- SAN --- EXISTING SANITARY SEWER
- ST --- EXISTING STORM SEWER LINE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY MANHOLE
- PROPOSED TREE PRESERVATION LINE
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED CENTERLINE
- PROPOSED SETBACK
- PROPOSED BACK OF CURB
- PROPOSED SIDEWALK
- PROPOSED BUILDING OUTLINE
- PROPOSED DRIVEWAY
- 860 --- PROPOSED MAJOR CONTOUR
- 859 --- PROPOSED MINOR CONTOUR
- W --- PROPOSED WATER LINE
- SAN --- PROPOSED SANITARY SEWER
- ST --- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED HEADWALL
- PROPOSED STORM MANHOLE
- PROPOSED STORM CURB INLET
- PROPOSED YARD DRAIN
- FLOOD ROUTING ARROW
- FLOW ARROW
- PROPOSED STONE WALL
- FG --- PROPOSED FINISH GRADE ELEVATION
- BOT --- PROPOSED BOTTOM OF BASIN
- TOB --- PROPOSED TOP OF BANK
- NP --- PROPOSED NORMAL POOL
- UD --- PROPOSED UNDERDRAIN

NOTES

1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

No.	REVISIONS	DATE	BY

Kimley-Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 200 EAST MAIN STREET, SUITE 200,
 COLUMBUS, OH 43235
 PHONE: 614-454-6699
 WWW.KIMLEY-HORN.COM

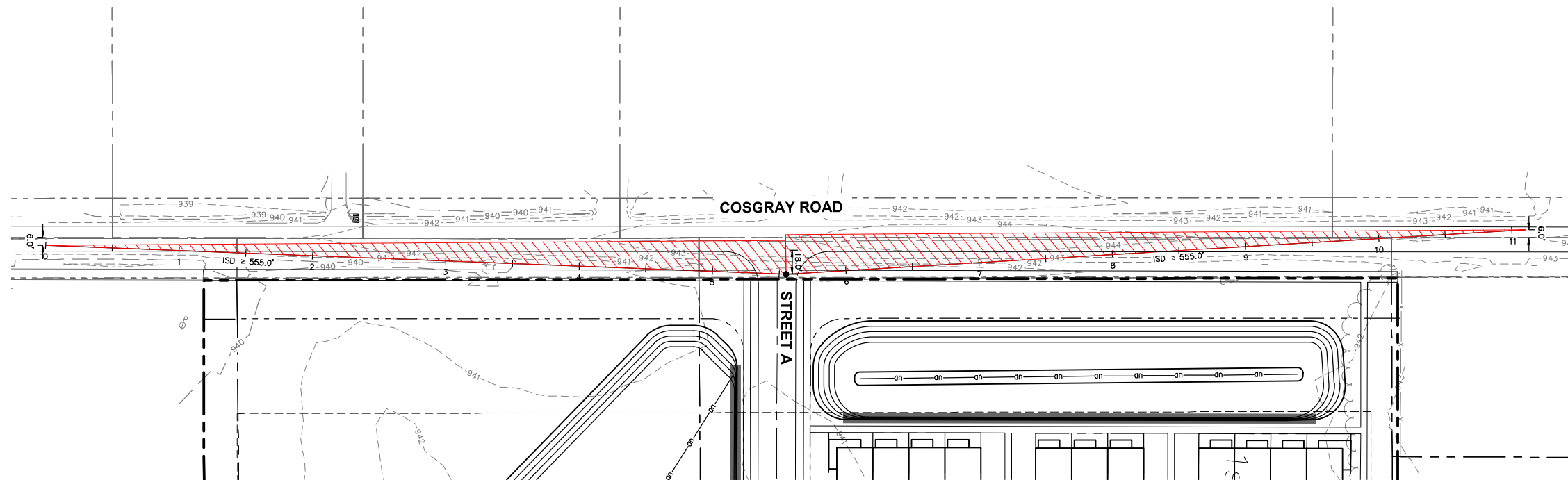
SCALE:
 DESIGNED BY: MCR
 DRAWN BY: JUL
 CHECKED BY: MCR

**UTILITY & GRADING
 PLAN**

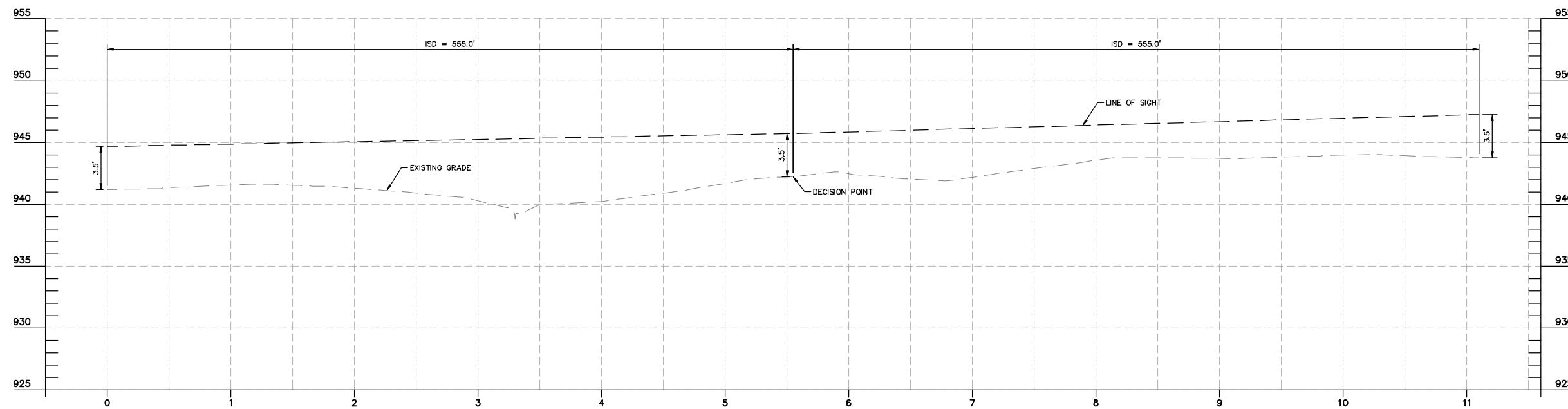
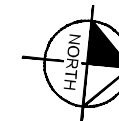
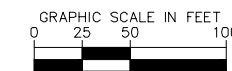
AMLIN CROSSING
 COSGRAY ROAD
 DUBLIN, OH 43016

ORIGINAL ISSUE:
 8/2/23
 KHA PROJECT NO.
 190016002
 SHEET NUMBER
EX J.6

Drawing name: K:\CDE\190016002_SpotHeight\190016002_Design\CAD\Exhibits\Site Distance Exhibits.dwg EX J.7 INTERSECTION SIGHT DISTANCE Jun 08, 2023 2:35pm by: brian.premper
 This document, together with the concepts and designs presented herein, is an instrument of service. It is prepared, issued and adopted by Kimley-Horn and Associates, Inc. and shall be without liability to Kimley-Horn and Associates, Inc.



**AMLIN CROSSING
SIGHT DISTANCE PLAN**
 SPEED LIMIT=45 MPH
 DESIGN SPEED=50 MPH



**STREET A
SIGHT DISTANCE PROFILE**
 SCALE: H: 1"=50' ; V: 1"=5'

NOTES

- DESIGN SPEED: 50 MPH
- INTERSECTION SIGHT DISTANCE (LT/RT): 555 FT
- TABLE 1 FROM THE CITY OF DUBLIN DIVISION OF ENGINEERING ADMINISTRATIVE POLICY AND PROCEDURE MEMO DATED 5/10/18 REFERENCED FOR INTERSECTION SIGHT DISTANCES.

Kimley-Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 COLUMBUS, OH 43235
 PHONE: 614-454-6699
 WWW.KIMLEY-HORN.COM

SCALE: H: 1"=50'
 V: 1"=5'
 DESIGNED BY: BP
 DRAWN BY: JDI
 CHECKED BY: BP

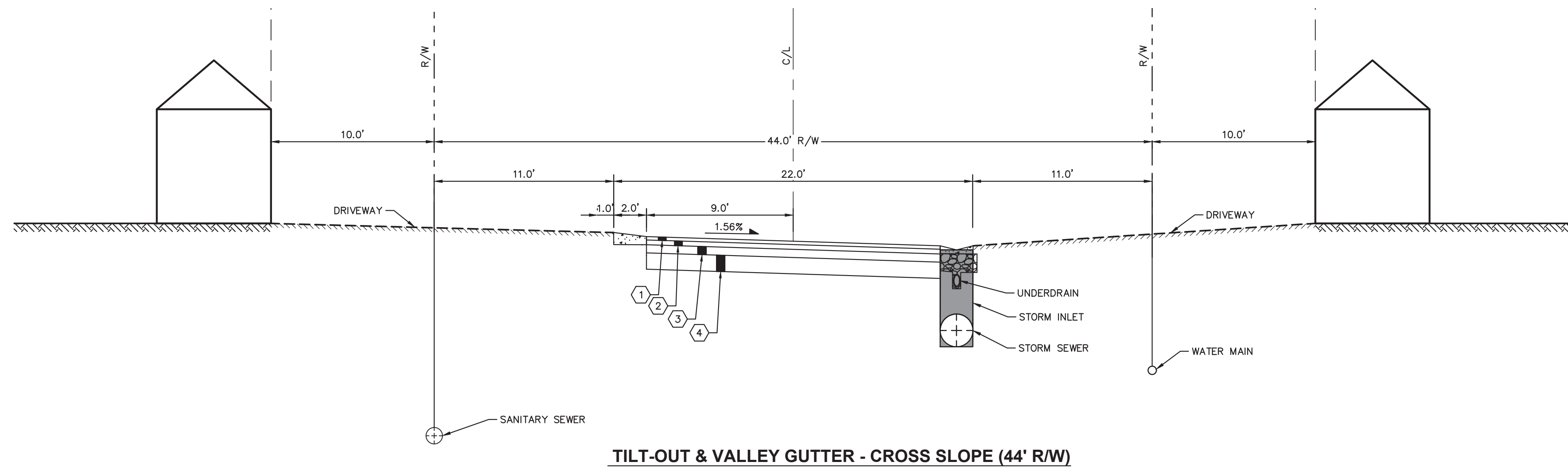
**AMLIN CROSSING
INTERSECTION SIGHT
DISTANCE**

AMLIN CROSSING
 COSGRAY ROAD
 DUBLIN, OH 43016

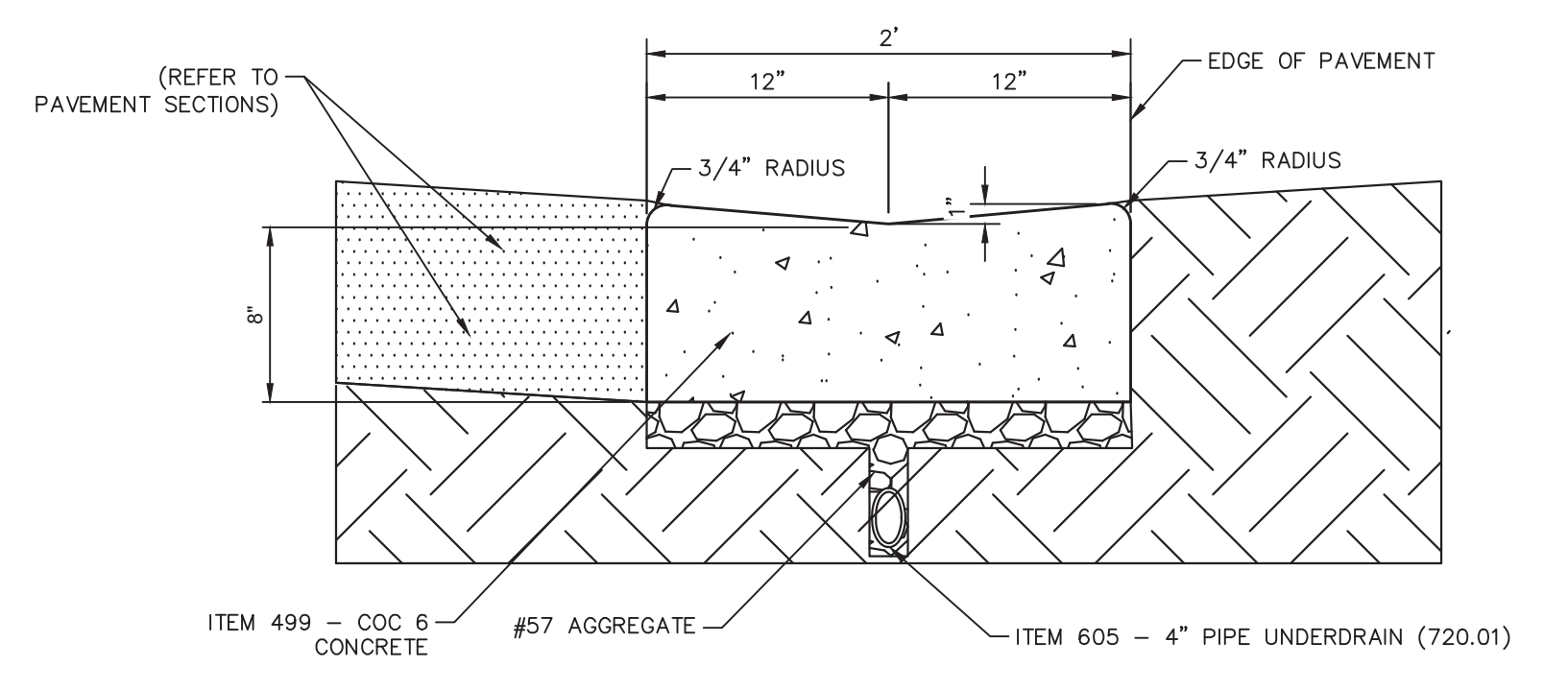
ORIGINAL ISSUE:
 6/7/23
 KHA PROJECT NO.
 190016002
 SHEET NUMBER
EX J.7

NO.	REVISIONS	DATE	BY

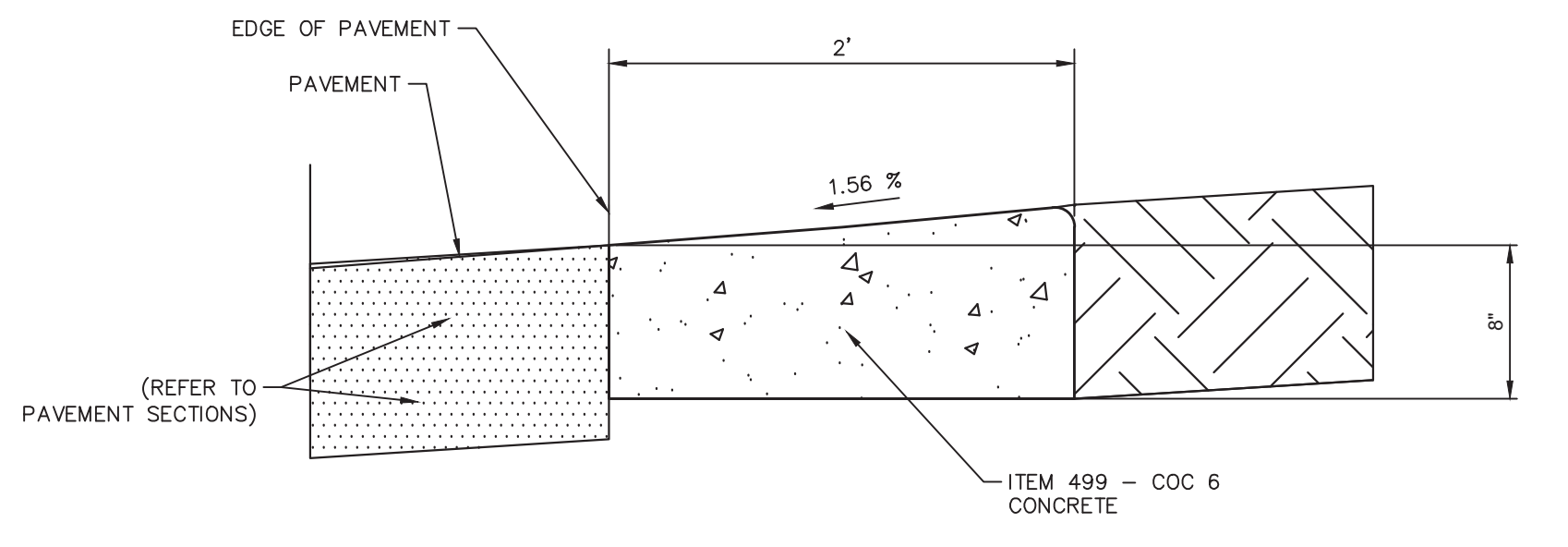
Drawing name: K:\CDE_DEVA\190016002_Schottsteinm_Luffly_2_Design\CAD\FinalSheets\Typical Sections.dwg Ex J.9 TYPICAL SECTIONS Aug 02, 2023 9:41am by: Mike Reeves
 This document, together with the concepts and design presented herein, is an instrument of service, in intended only for the specific purpose and client for which it was prepared. Users of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



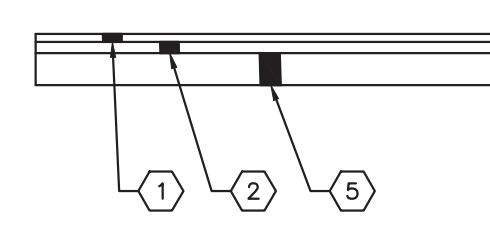
TILT-OUT & VALLEY GUTTER - CROSS SLOPE (44' R/W)



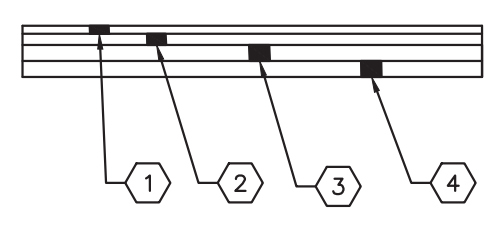
24" CONCRETE VALLEY GUTTER
N.T.S.



24" TILT OUT CURB
N.T.S.



- RCC PAVEMENT LEGEND**
- ① ITEM 441 - 1- $\frac{3}{4}$ " ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG. 64-22 MEDIUM TRAFFIC
 - ② ITEM 441 - 1- $\frac{3}{4}$ " ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG. 64-22 MEDIUM TRAFFIC
 - ⑤ ITEM 307 - 6" ROLLER COMPACTED CONCRETE



- FLEXIBLE PAVEMENT LEGEND**
- ① ITEM 441 - 1- $\frac{3}{4}$ " ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG. 64-22 MEDIUM TRAFFIC
 - ② ITEM 441 - 1- $\frac{3}{4}$ " ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG. 64-22 MEDIUM TRAFFIC
 - ③ ITEM 301 - 3" BITUMINOUS AGGREGATE BASE
 - ④ ITEM 304 - 6" AGGREGATE BASE

No.	REVISIONS	DATE	BY

Kimley-Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 200 EAST MAIN STREET, SUITE 200,
 COLUMBUS, OH 43215
 PHONE: 614-454-6699
 WWW.KIMLEY-HORN.COM

SCALE: N.T.S.
 DESIGNED BY: MCR
 DRAWN BY: JUL
 CHECKED BY: MCR

TYPICAL SECTIONS

AMLIN CROSSING
 COSGRAY ROAD
 DUBLIN, OH 43016

ORIGINAL ISSUE:
 6/7/23
 KHA PROJECT NO.
 190016002
 SHEET NUMBER
EX J.9

**EX K.1 - Schottenstein
Townhome Elevations**



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

**EX K.2 - Schottenstein
Townhome Elevations**



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

**EX K.3 - Schottenstein
Townhome Elevations**



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

**EX K.4 - Schottenstein
Townhome Elevations**



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

**EX K.5 - Schottenstein
Townhome Elevations**



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

PRELIMINARY DEVELOPMENT PLAN
AMLIN CROSSING
Dublin, OH
August 4, 2023

ROOFING MATERIALS

Asphalt Shingles



Metal Roofing



EXTERIOR CLADDING MATERIALS

Fiber Cement Cladding & Trim

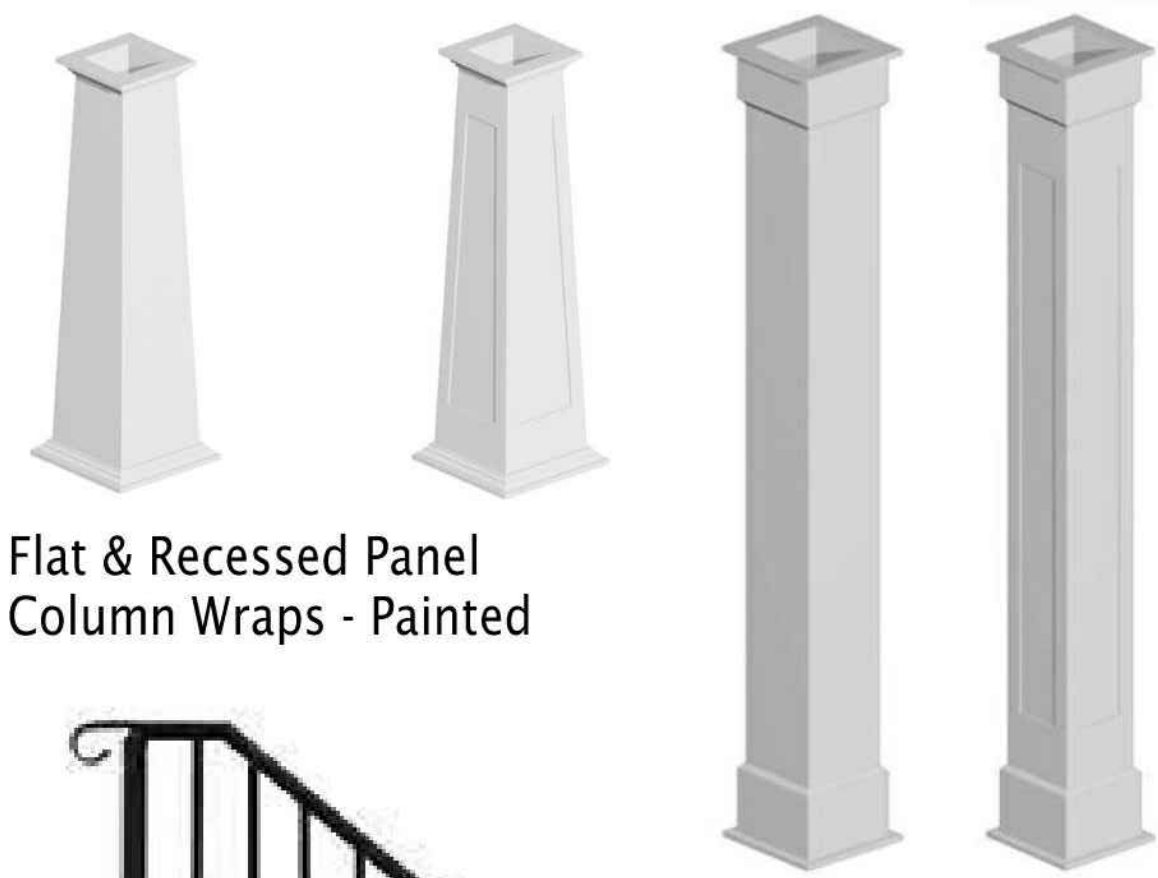


Masonry

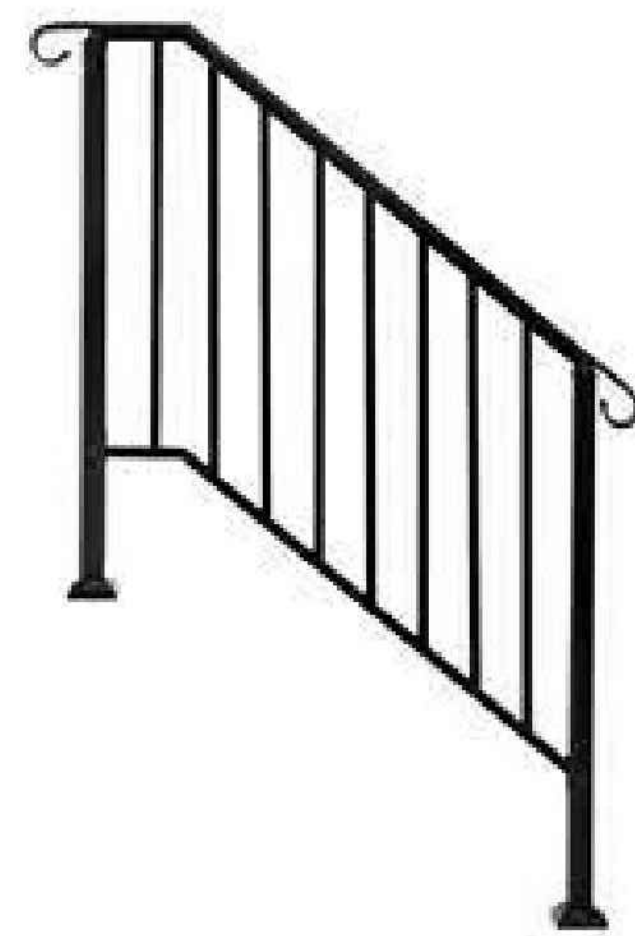


Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

**PORCH ROOF SUPPORTS &
RAILS**



Flat & Recessed Panel
Column Wraps - Painted



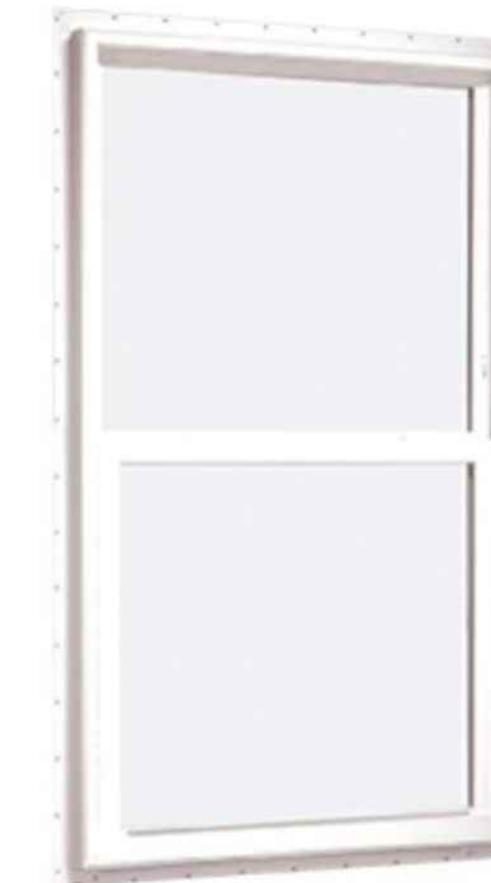
Square Picket & Rail
Painted



Square Picket & Rail
Painted

EXTERIOR WINDOWS & DOORS

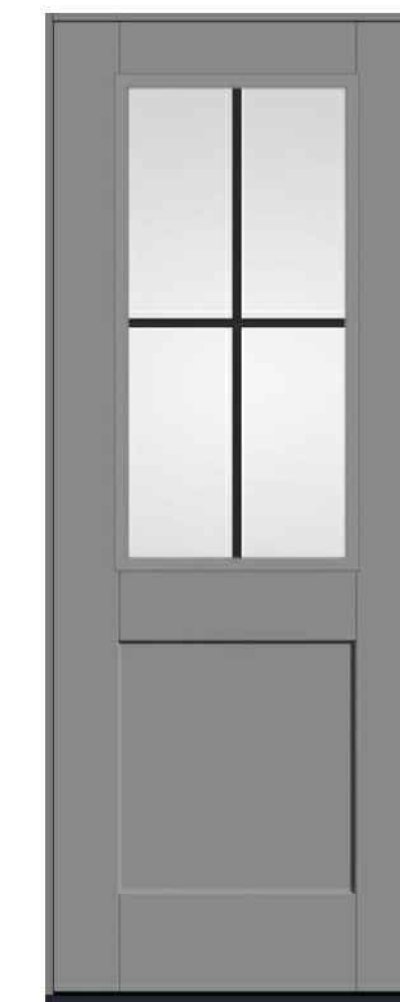
Single Hung Windows
Black - Exterior
White - Interior



Interior



Exterior



Shaker Panel
Painted
Color coordinated with
siding color

EXTERIOR DETAIL



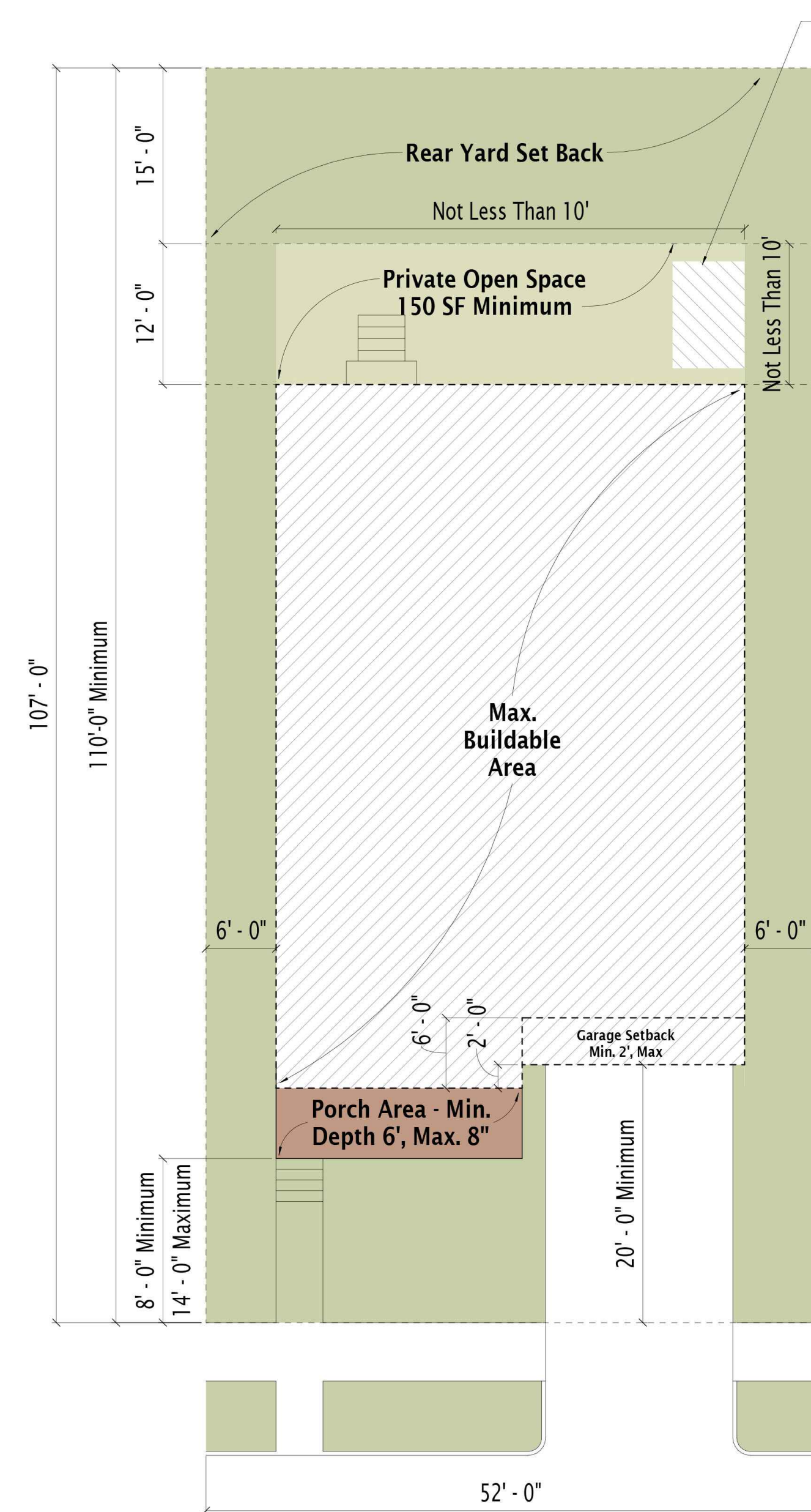
Up/Down Light Fixture
Painted Aluminum - Bronze

Carriage House Steel Garage Door
Painted
Color coordinated with siding color



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

EX L.1 - Schottenstein Single Family Elevations

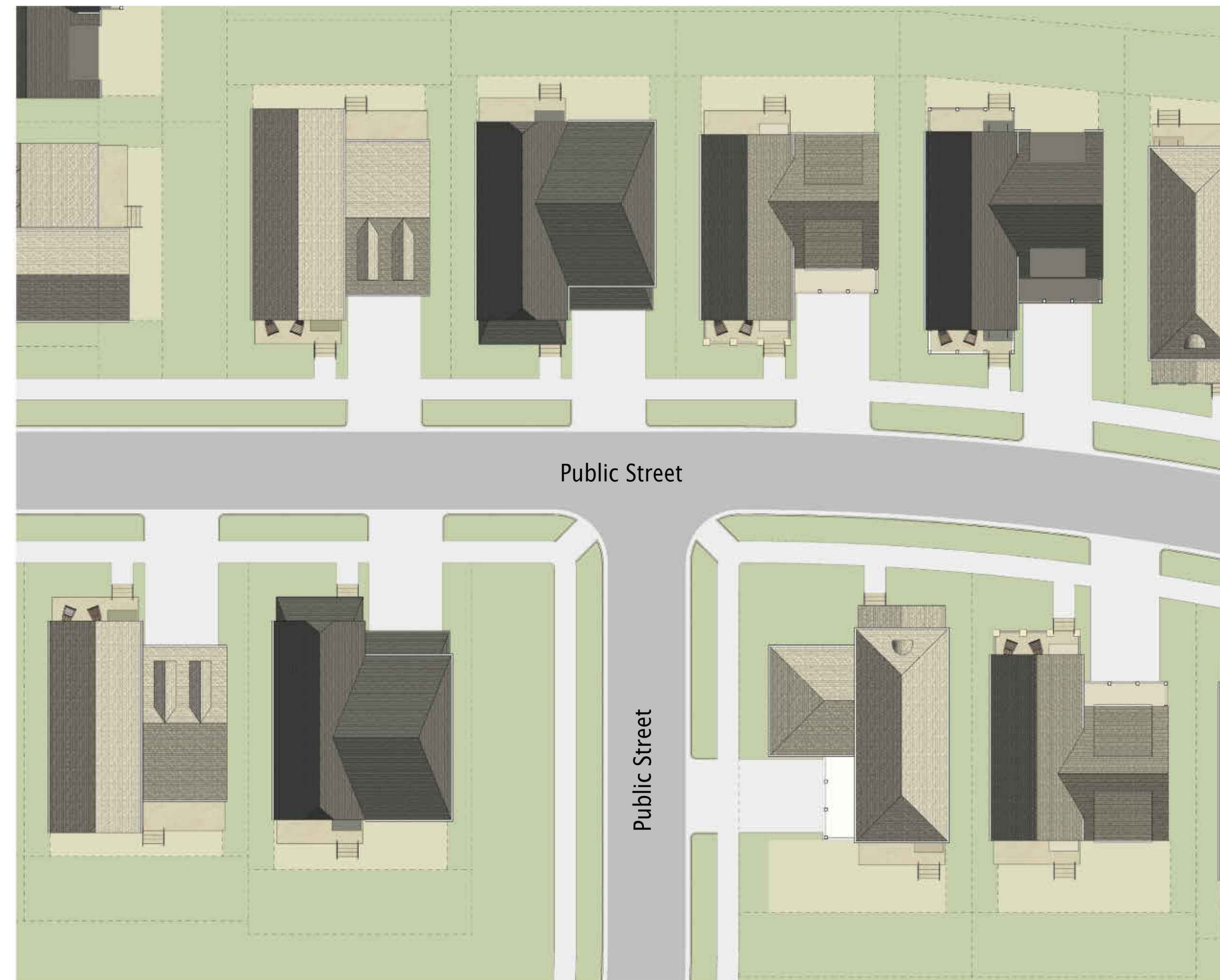


Detached Accessory Structure
Location, Size Limits, and Construction shall comply with §153.074



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

**EX L.2 - Schottenstein
Single Family Elevations**



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

ROOFING MATERIALS

Asphalt Shingles



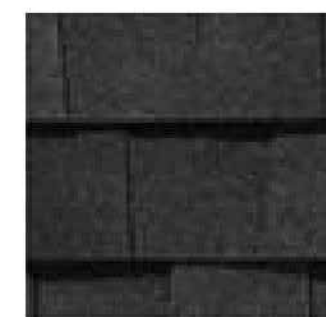
Certainteed Asphalt Shingles
Landmark Series
Colonial Slate



Certainteed Asphalt Shingles
Landmark Series
Driftwood



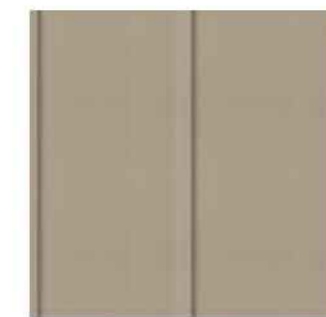
Certainteed Asphalt Shingles
Landmark Series
Cobblestone Gray



Certainteed Asphalt Shingles
Landmark Series
Moire Black

EXTERIOR CLADDING MATERIALS

Fiber Cement Cladding & Trim



Hardie Trim & Panel
with Vertical Batten
16" on Center
Rugged Path



Hardie Trim & Panel
with Vertical Batten
16" on Center
Warm Clay



Hardie Trim & Panel
with Vertical Batten
16" on Center
Arctic White



Hardie Trim & Panel
with Vertical Batten
16" on Center
Slate Steps



Hardie Trim & Panel
with Vertical Batten
16" on Center
Last Embers



Hardie Panel with
Vertical Batten
16" on Center
Iron Gray



Hardie Trim & Panel
with Vertical Batten
16" on Center
Stone Paver



Hardie Trim & Panel
with Vertical Batten
16" on Center
Stone Beach



Hardie Trim
Midnight Black

Masonry



Prestige Stone
Southern Limestone
Braemar (202)



Prestige Stone
Southern Limestone
Ohio (306)

EXTERIOR WINDOWS & DOORS

Windows



Exterior



Interior

Single Hung Windows
White - Exterior
White - Interior

Garage Doors



Carriage House Steel Garage
Door Painted
Color coordinated with siding color

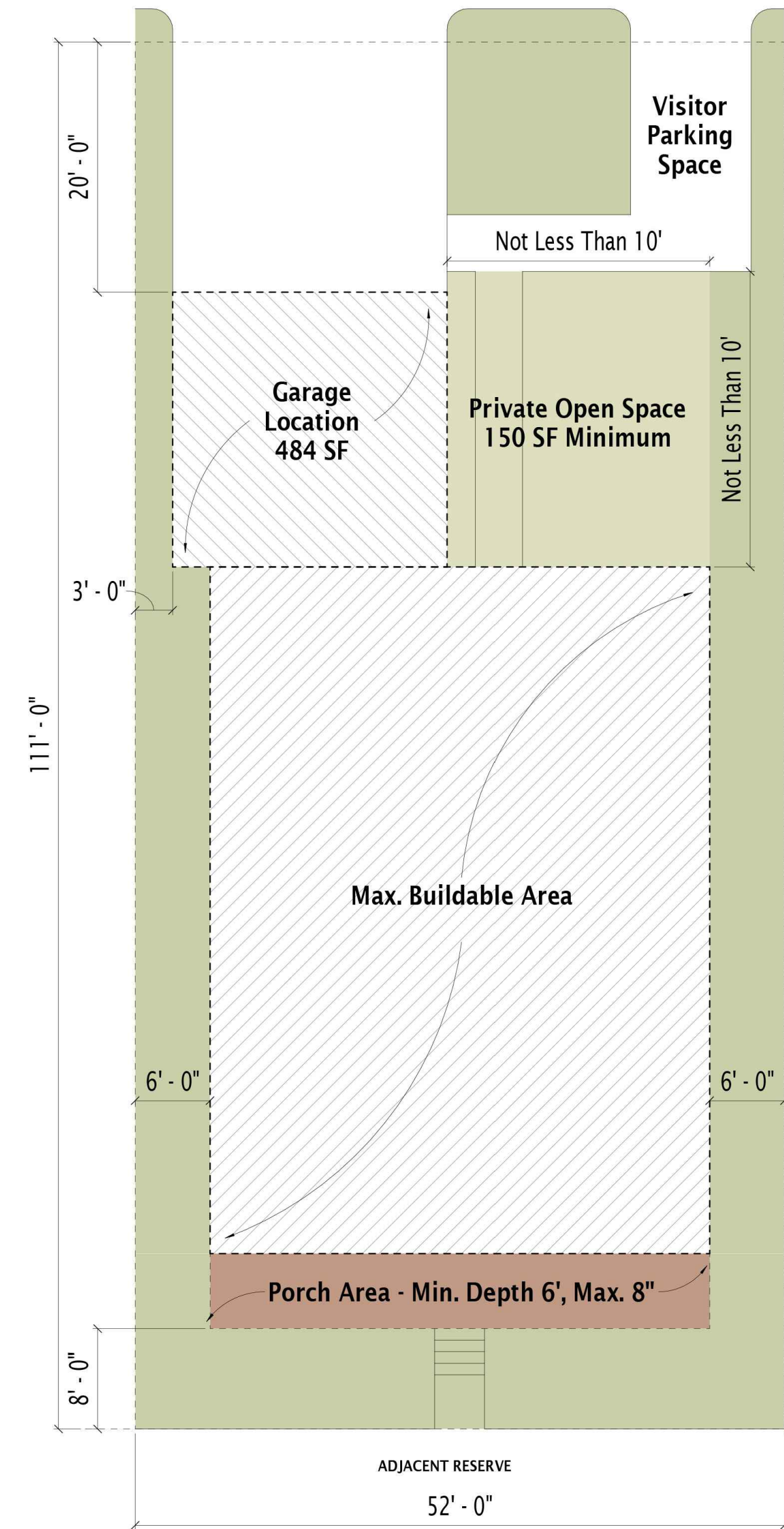
Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

**EX L.4 - Schottenstein
Single Family Elevations**



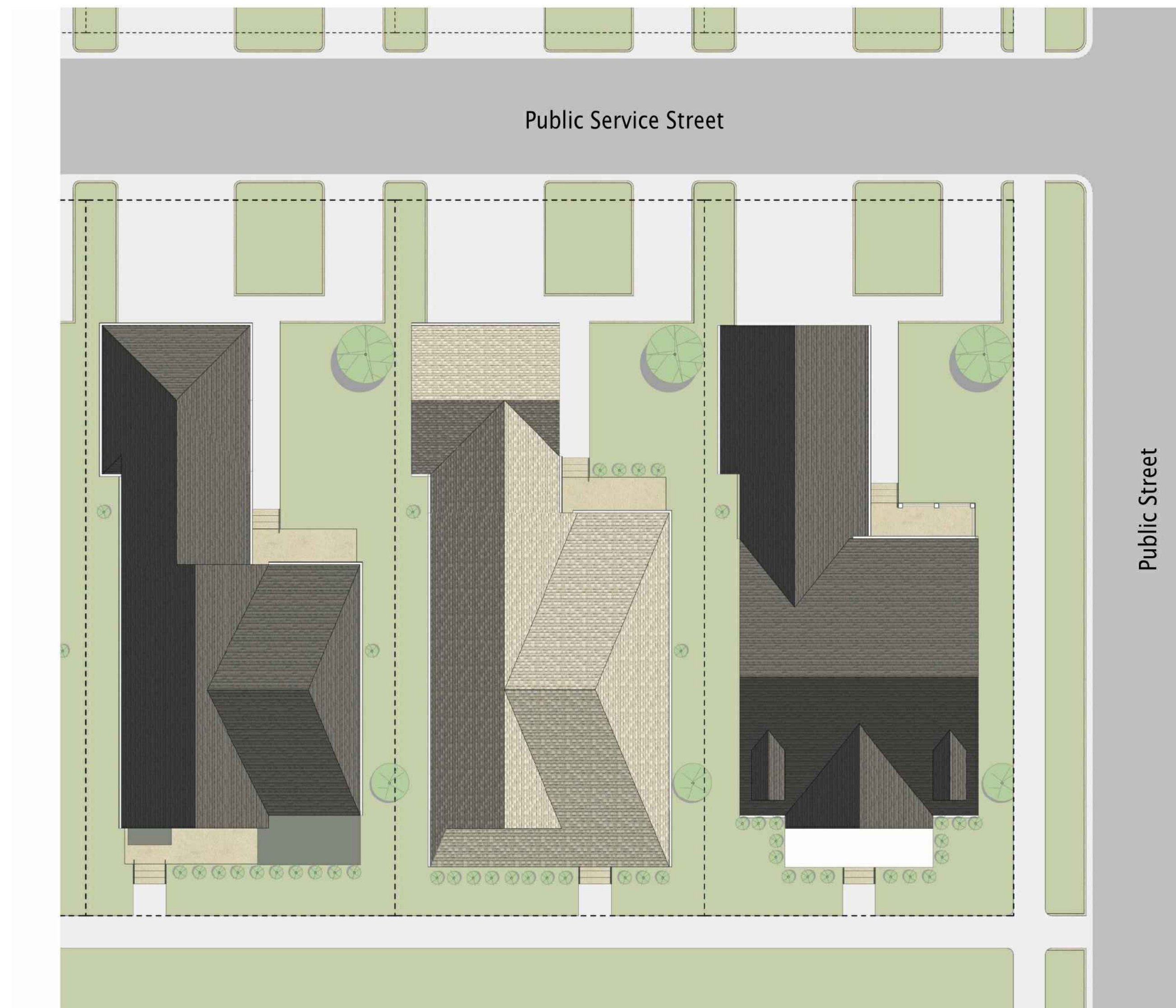
Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

EX M.1 - Schottenstein Cottage Elevations



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

EX M.2 - Schottenstein Cottage Elevations



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

ROOFING MATERIALS

Asphalt Shingles



Certainteed Asphalt Shingles
Landmark Series
Colonial Slate



Certainteed Asphalt Shingles
Landmark Series
Driftwood



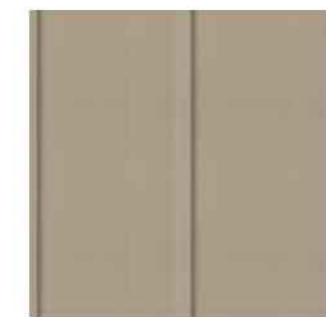
Certainteed Asphalt Shingles
Landmark Series
Cobblestone Gray



Certainteed Asphalt Shingles
Landmark Series
Moire Black

EXTERIOR CLADDING MATERIALS

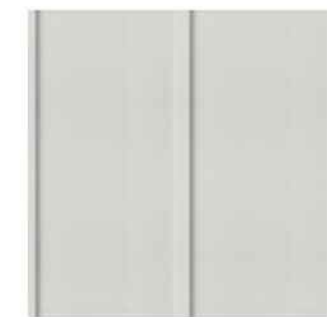
Fiber Cement Cladding & Trim



Hardie Trim & Panel
with Vertical Batten
16" on Center
Rugged Path



Hardie Trim & Panel
with Vertical Batten
16" on Center
Warm Clay



Hardie Trim & Panel
with Vertical Batten
16" on Center
Arctic White



Hardie Trim & Panel
with Vertical Batten
16" on Center
Slate Steps



Hardie Trim & Panel
with Vertical Batten
16" on Center
Last Embers



Hardie Panel with
Vertical Batten
16" on Center
Iron Gray



Hardie Trim & Panel
with Vertical Batten
16" on Center
Stone Paver



Hardie Trim & Panel
with Vertical Batten
16" on Center
Stone Beach



Hardie Trim
Midnight Black

Masonry



Prestige Stone
Southern Limestone
Braemar (202)



Prestige Stone
Southern Limestone
Ohio (306)

EXTERIOR WINDOWS & DOORS

Windows



Exterior



Interior

Single Hung Windows
White - Exterior
White - Interior

Garage Doors



Carriage House Steel Garage
Door Painted
Color coordinated with siding color

Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

**EX M.4 - Schottenstein
Cottage Elevations**

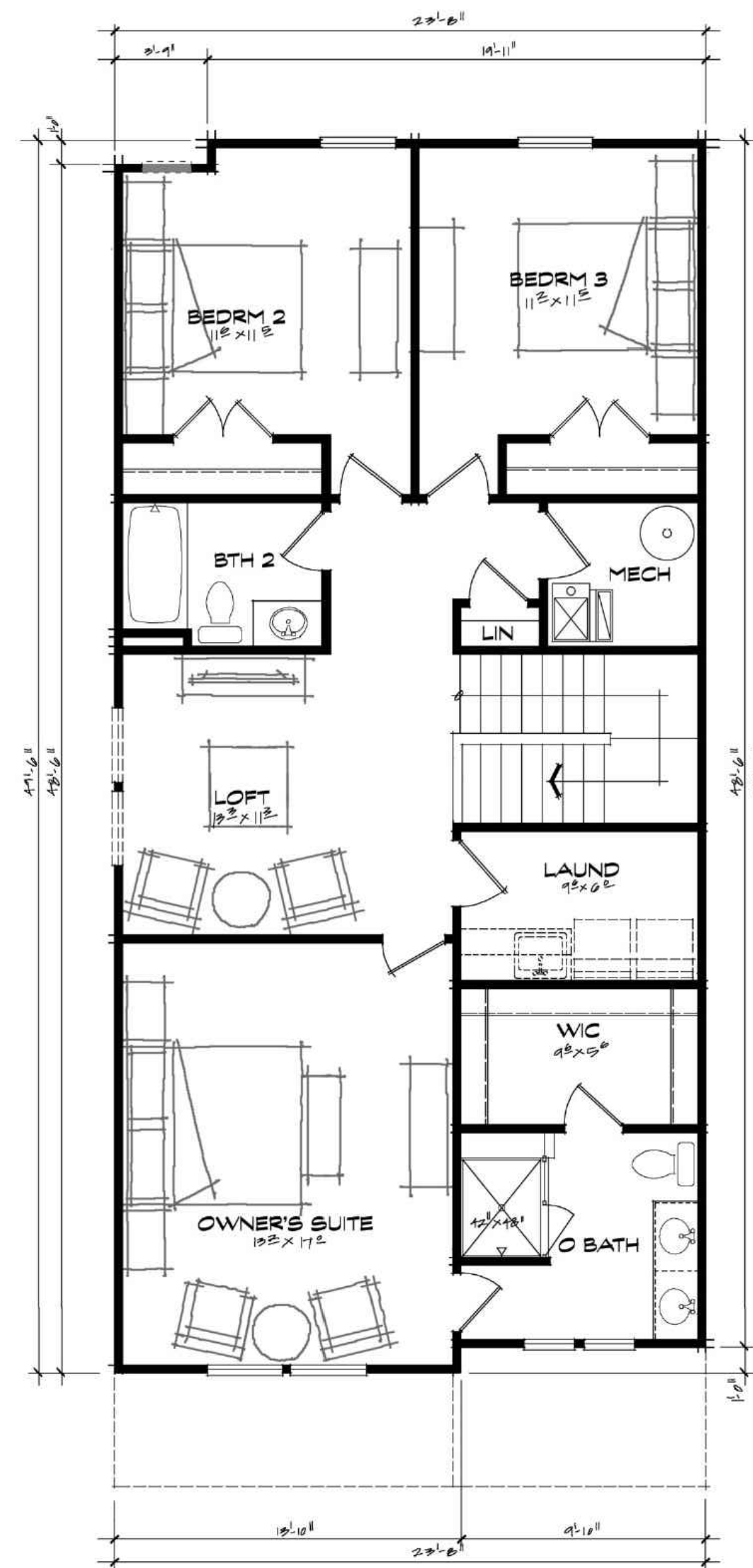


Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

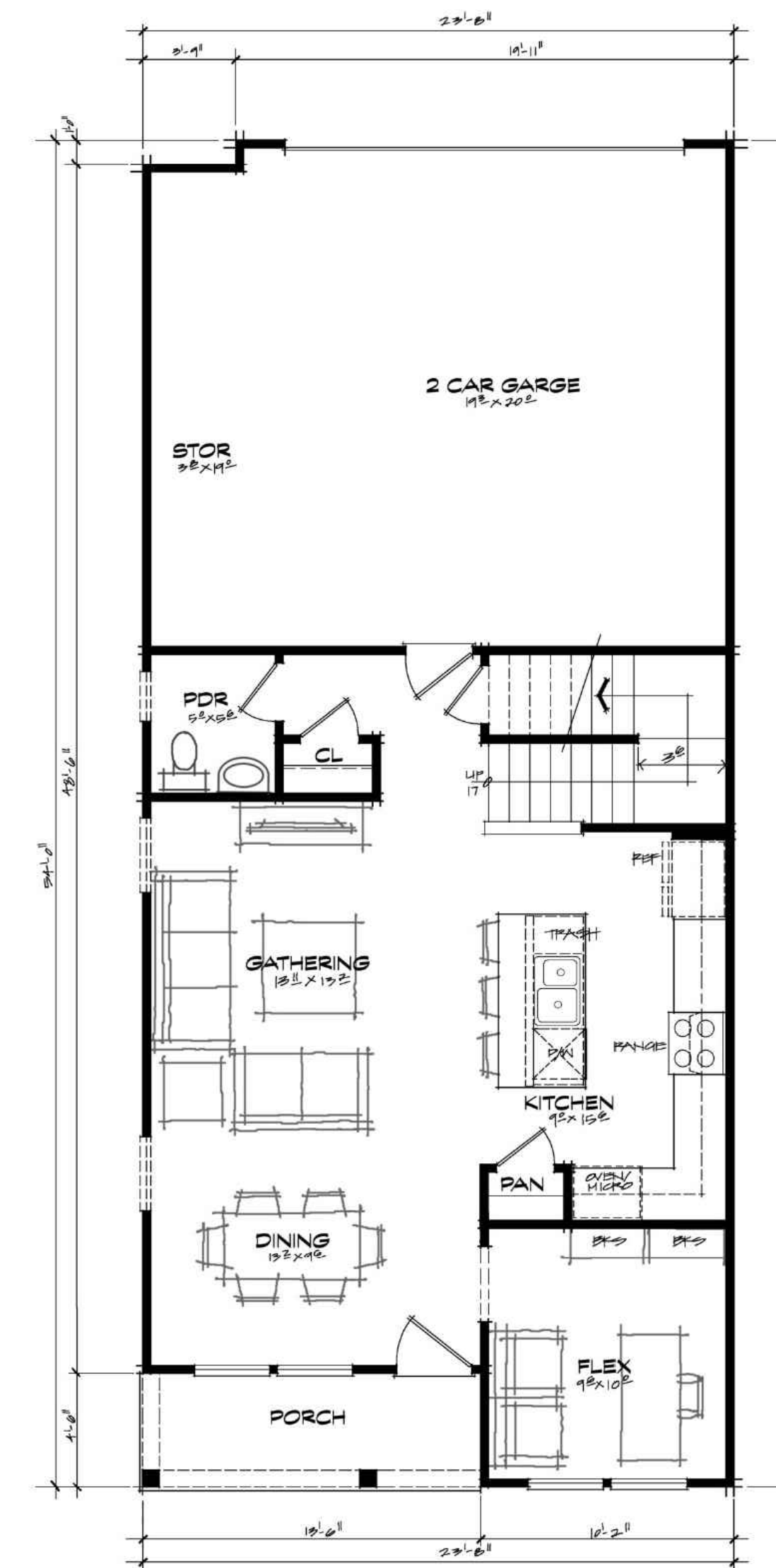
EX N.1 - Pulte Townhome Elevations



FRONT ELEV - FARMHOUSE
SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN 1096 SF
SCALE: 1/8"=1'-0"



FIRST FLOOR PLAN 739 SF
SCALE: 1/8"=1'-0"

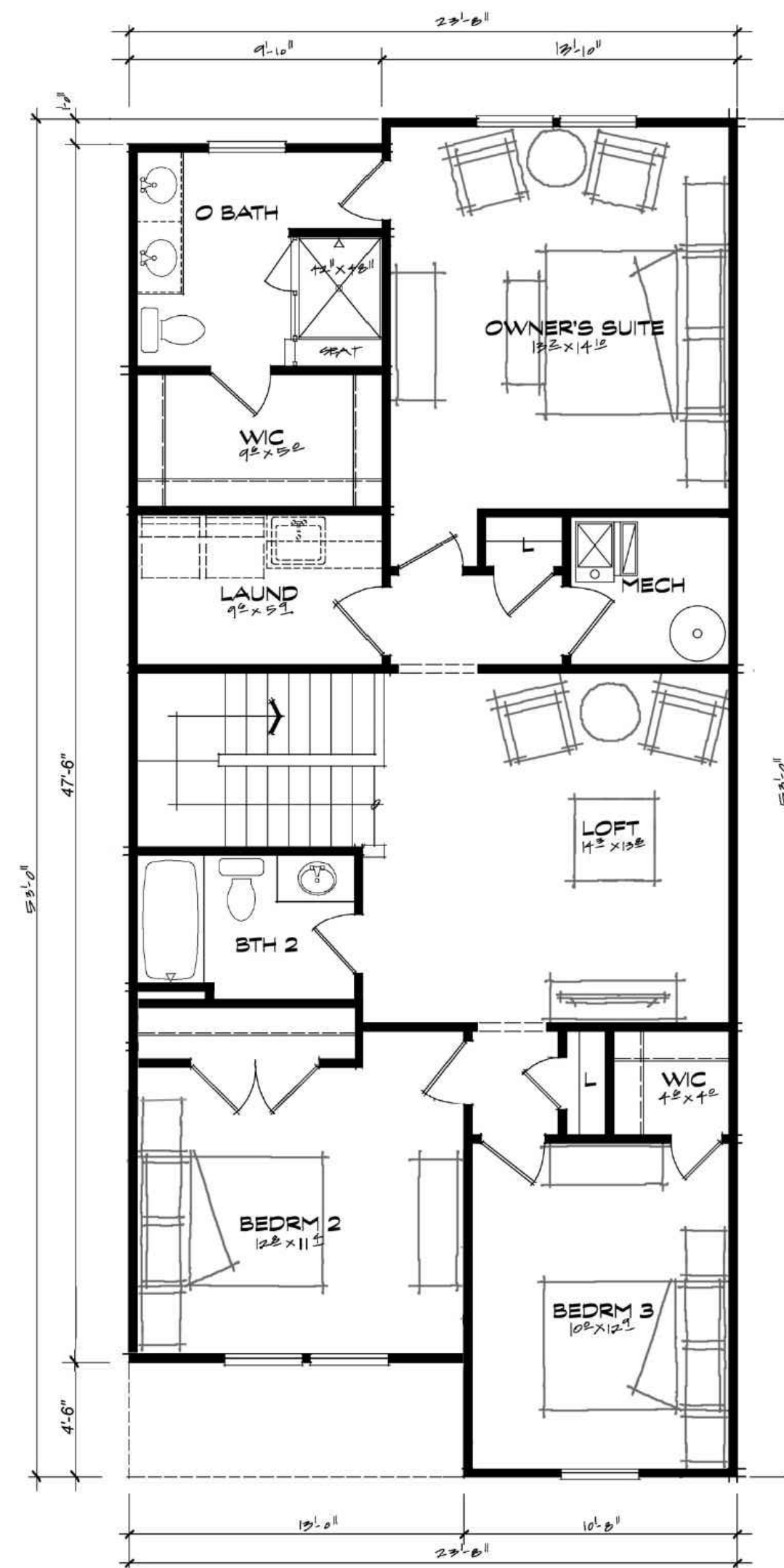
1835 SF TOTAL

Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

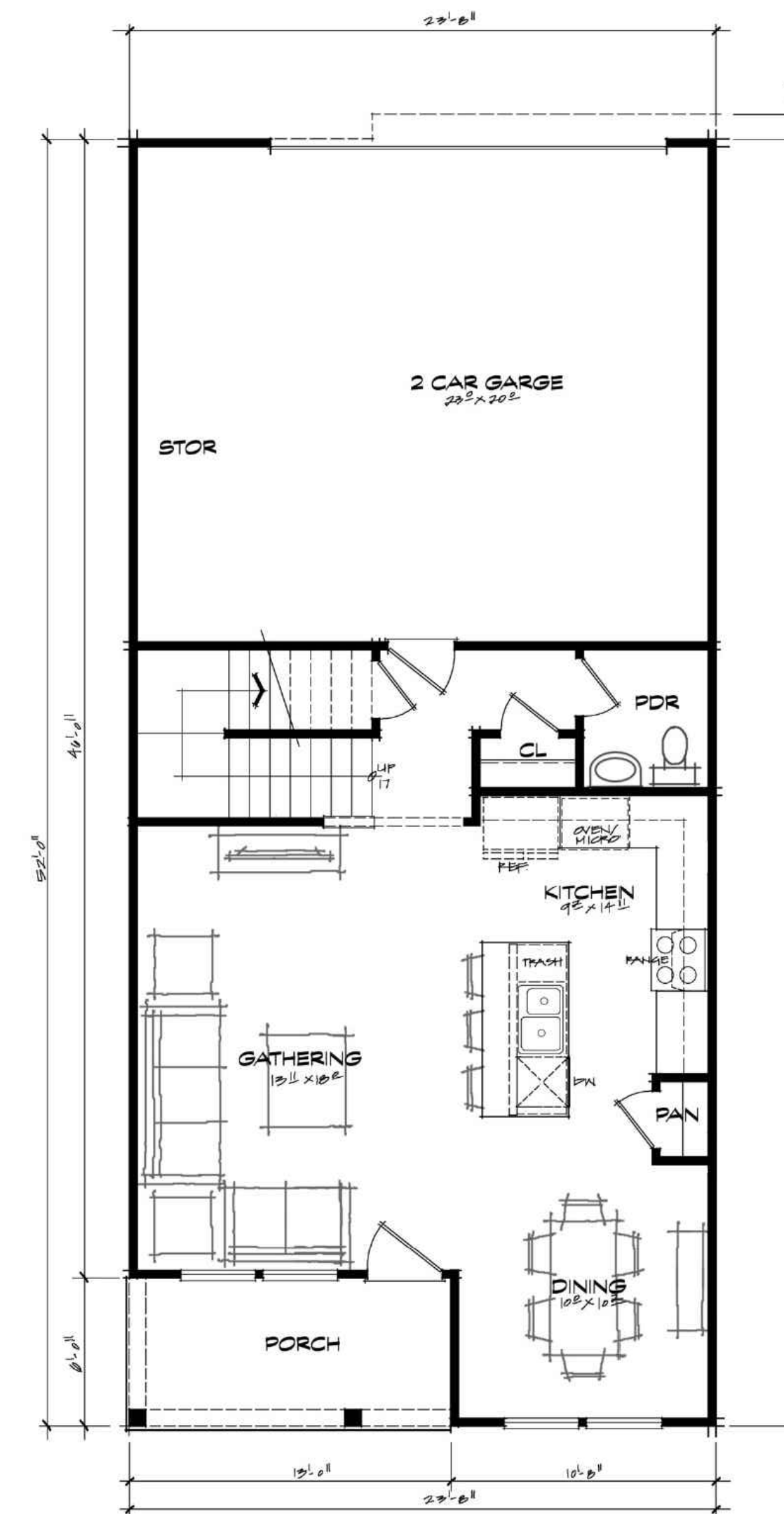
EX N.2 - Pulte Townhome Elevations



FRONT ELEV - FARMHOUSE



SECOND FLOOR PLAN 1108 SF
SCALE: 1/8"=1'-0"



FIRST FLOOR PLAN 678 SF
SCALE: 1/8"=1'-0"

1780 SF TOTAL

Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

EX N.3 - Pulte Townhome Elevations



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

EX N.4 - Pulte Townhome Elevations



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

EX N.5 - Pulte Townhome Elevations



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

ASHTON & BOWMAN

Ashton & Bowman

1,883+ Sq./Ft.
2-4 Bed, 2-3.5
Bath



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

ASHTON & BOWMAN

Ashton & Bowman

1,883+ Sq./Ft.
2-4 Bed, 2-3.5 Bath



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

BOWMAN & PROVENCE

Bowman & Provence

1,883+ Sq./Ft.
2-4 Bed, 2-3.5 Bath



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

ASHTON & BOWMAN

Ashton & Bowman

1,883+ Sq./Ft.
2-4 Bed, 2-3.5 Bath



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

ASHTON & BOWMAN

Ashton & Bowman

1,883+ Sq./Ft.
2-4 Bed, 2-3.5 Bath



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

SHARON – TERRACE COLLECTION

SHARON
1,914+ Sq./Ft.
2-3 Bed, 2.5 Bath
2 Car Garage



Note: These drawings are intended to demonstrate the general character of the prototypical designs of the proposed buildings and to demonstrate potential exterior design, character, and general design elements. Elevations and materials shown are not limiting. Final designs may include any materials or standards as approved within the Development Text.

LEGAL DESCRIPTION

105.021 Acres

Situated in the State of Ohio, County of Franklin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being all of the 20.240-acre tract of land as conveyed to Cosgray Road II, LLC, of record in Instrument Number 201511200164663, all of a 24.450-acre tract of land as conveyed to Cosgray Road, LLC, of record in Instrument Number 199805220124911, and all of a 60.422-acre tract of land as conveyed to Floyd Miller and Joyce E. Miller, of record in Instrument Number 200411030253231, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

BEGINNING at the northeasterly corner of Reserve "E" of a plat entitled Hayden Farms, Section 5, of record in Plat Cabinet 112, Page 6;

Thence South 83°58'22" West, with the northerly line of said Hayden Farms, Section 5, a distance of 672.11 feet to the northwesterly corner of lot 336 of said Hayden Farms, Section 5;

Thence South 5°45'29" East, with the westerly line of said Hayden Farms, Section 5, South 5°45'29" East, a distance of 222.49 feet to the northwesterly corner of lot 252 of Hayden Farms, Section 4, of record in Plat Book 110, Page 21;

Thence South 84°17'13" West, with the northerly lines of said Hayden Farms, Section 4, Hayden Farms, Section 2, of record in Plat Book 107, Page 2, and Hayden Farms, Section 1, of record in Plat Book 106, Page 44, a distance of 2182.81 feet to a point in the easterly right-of-way line of Cosgray Road (public right-of-way width varies) as depicted in "FRA-32/FRA-39 Hayden Run Road/Cosgray Road" right-of-way plans;

Thence with said easterly right-of-way lines the following courses:

North 5°52'16" West, a distance of 103.66 feet to an angle point thereof;

North 10°36'23" West, a distance of 545.11 feet to an angle point thereof;

North 5°52'16" West, a distance of 38.56 feet to an angle point thereof;

South 84°07'44" West, a distance of 9.61 feet to an angle point thereof;

North 5°52'16" West, a distance of 110.36 feet to the southerly line of an 11.001 acre tract of land as conveyed to Floyd and Joyce Miller, of record in Instrument Number 200411030253231;

Thence North 84°06'05" East, with the southerly line of said 11.001 acre tract, a distance of 1061.43 feet to the southeasterly corner thereof;

Thence North 5°54'35" West, with the easterly line of said 11.001 acre tract, a distance of 439.50 feet to the southeasterly corner of a 5.010 acre tract of land as conveyed to Ryan and Nicole Valentine, of record in Instrument Number 202103150046330;

Thence North 5°43'42" West, with the easterly line of said 5.01-acre tract and the easterly line of a 5.010 acre tract of land conveyed to Jeffrey R. Fisher, of record in Volume 30801 H05, a distance of 400.00 feet to the northeasterly corner of said Fisher's 5.01-acre tract;

Thence South 84°06'52" West, with the northerly line of said Fisher's 5.01-acre tract, a distance of 1060.97 feet to a point in easterly right of way of Cosgray Road;

Thence North 5°52'16" West, with said right of way of Cosgray Road, a distance of 894.94 feet to a point in the southerly line of a 1.00 acre tract of land conveyed to Adams Real Estate Investment Co., of record in Instrument Number 201411140152445;

Thence North 84°14'32" East, with the southerly line of said 1.00 acre tract, and with the southerly lines of a 1.346 acre tract of land as conveyed to David J. Crone and Martha E. Crone, of record in Instrument Number 201507060089747, a 1.329 acre tract of land as conveyed to Tamara Sue Davenport, of record in Instrument Number 201802210024442, a 1.331 acre tract of land as conveyed to Dan B. Morris, of record in Instrument Number 200812230183313, a 1.333 acre tract of land as conveyed to Mark Andrews and Christina Andrews, of record in Instrument Number 202108310155122, a 1.337 acre tract of land as conveyed to Becky J. Kinnaird, of record in Instrument Number 202001140006214, a 1.337 acre tract of land as conveyed to Hammad Ahmad Abu, of record in Instrument Number 202209220135264, a 4.973 acre tract of land as conveyed to Hugh Ferrell II, Sharon Lynn Ferrell and Shelia Gay Lemaster, of record in Instrument Number 200511290250942, a distance of 1387.06 feet to the southeasterly corner of said 4.973-acre tract in the westerly railroad right-of-way line of a 17.010-acre tract of land conveyed to New York Central Lines, LLC, of record in Instrument Number 200212180325201;

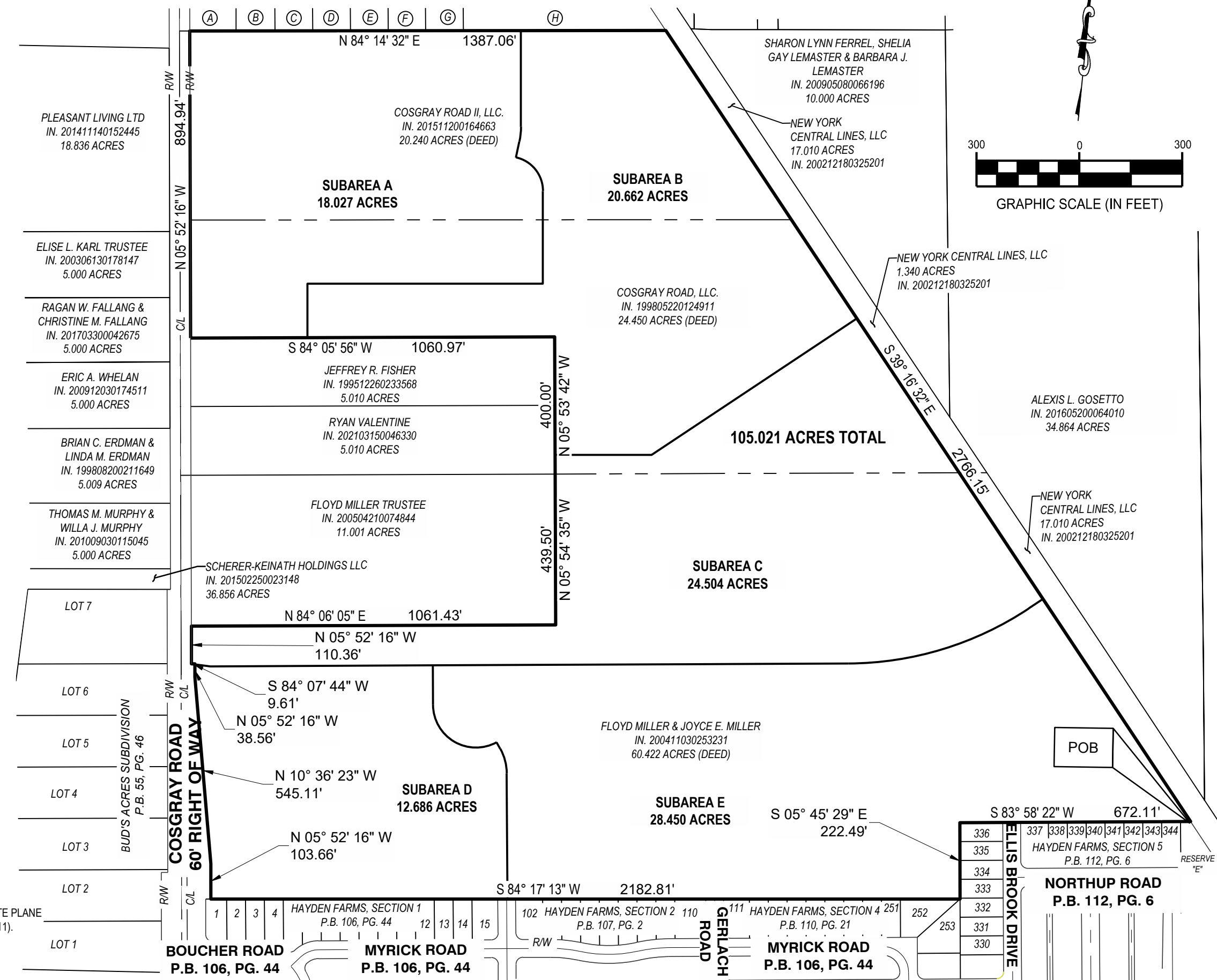
Thence South 39°16'32" East, with said westerly railroad right-of-way line, a distance of 2766.15 feet to the **POINT OF BEGINNING** and containing 105.021 acres of land, more or less;

The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

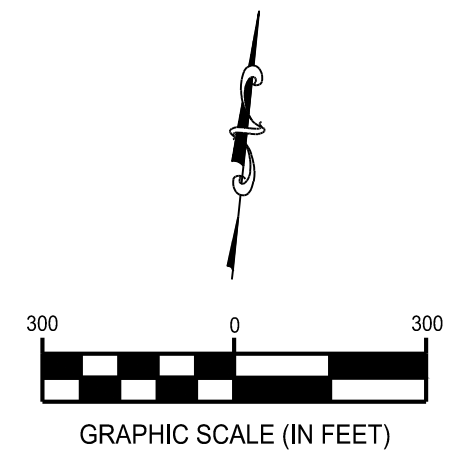
This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.

W:\PROJECTS\KIMBLEY HORN\762460-01_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SITE.dwg - 8/2/2023 - Matt Ackroyd

- (A) ADAMS REAL ESTATE INVESTMENT CO.
IN. 201411140152445
1.000 ACRES
- (B) DAVID J. CRONE & MARTHA E. CRONE
IN. 201507060089747
1.346 ACRES
- (C) TAMARA SUE DAVENPORT
IN. 201802210024442
1.329 ACRES
- (D) DAN B. MORRIS
IN. 200812230183313
1.331 ACRES
- (E) MARK ANDREWS & CHRISTINA ANDREWS
IN. 202108310155122
1.333 ACRES
- (F) BECKY J. KINNAIRD
IN. 202001140006214
1.337 ACRES
- (G) HAMMAD AHMAD ABU
IN. 202209220135264
1.337 ACRES
- (H) HUGH FERRELL II AND SHARON LYNN FERREL, SHELIA GAY LEMASTER
IN. 200511290250942
4.973 ACRES



BASIS OF BEARING
 BEARINGS ARE BASED ON THE OHIO STATE PLANE SOUTH COORDINATE SYSTEM, NAD83 (2011).



AMLIN CROSSING
 STATE OF OHIO, COUNTY OF FRANKLIN,
 CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,
 V.M.S. 6953

© 2023 CESO, INC.

Project Number: 762460
 Scale: 1"=300'
 Drawn By: OPG
 Checked By: MJA
 Date: 8/2/2023
 Issue: N/A

Drawing Title:
OVERALL

LEGAL DESCRIPTION

Subarea A

18.027 Acres

Situated in the State of Ohio, County of Franklin, City of Dublin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 20.240 acre tract of land as conveyed to Cosgray Road II, LLC, of record in Instrument Number 201511200164663, and part of a 24.450 acre tract of land as conveyed to Cosgray Road, LLC, of record in Instrument Number 199805220124911, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

BEGINNING FOR REFERENCE at Franklin County Engineer monument "FCGS 8853", being in the centerline intersection of Rings Road (County Road 33) and Cosgray Road;

Thence South 5°52'16" East, with the centerline of said Cosgray Road, a distance of 370.74 feet to the northwesterly corner of said 20.240 acre tract ;

Thence North 84°14'32" East, a distance of 30.00 feet with the south line of a 1.000 acre tract of land as conveyed to Adams Real Estate Investment Co., of record in Instrument Number 201411140152445, and being a point in the easterly right of way line of Cosgray Road being the **TRUE POINT OF BEGINNING**;

Thence continuing North 84°14'32" East, with the southerly line of said 1.000 acre tract, and with the southerly lines of a 1.346 acre tract of land as conveyed to David J. Crone and Martha E. Crone, of record in Instrument Number 201507060089747, a 1.329 acre tract of land as conveyed to Tamara Sue Davenport, of record in Instrument Number 201802210024442, a 1.331 acre tract of land as conveyed to Dan B. Morris, of record in Instrument Number 200812230183313, a 1.333 acre tract of land as conveyed to Mark Andrews and Christina Andrews, of record in Instrument Number 202108310155122, a 1.337 acre tract of land as conveyed to Becky J. Kinnaird, of record in Instrument Number 202001140006214, a 1.337 acre tract of land as conveyed to Hammad Ahmad Abu, of record in Instrument Number 202209220135264, and a 4.973 acre tract of land as conveyed to Hugh Ferrell II, Sharon Lynn Ferrell and Shelia Gay Lemaster, of record in Instrument Number 200511290250942, a distance of 964.85 feet to a point in the southerly line of said 4.973 acre tract;

Thence through said 20.240 acre tract and said 24.450 acre tract the following courses:

South 5°42'44" East, a distance of 280.64 feet to a point of curvature;

With a curve to the right, having a central angle of 12°15'57", a radius of 200.00 feet, an arc length of 42.82 feet, and a chord which bears South 0°25'14" West, for a chord distance of 42.73 feet to a point of tangency;

South 6°33'13" West, a distance of 47.73 feet to a point;

With a curve to the right, having a central angle of 77°44'03", a radius of 100.00 feet, an arc length of 135.67 feet, and a chord which bears South 44°34'46" East, for a chord distance of 125.50 feet to a point of tangency;

South 5°42'44" East, a distance of 270.00 feet to a point;

South 84°17'16" West, a distance of 686.00 feet to a point;

South 5°42'44" East, a distance of 157.09 feet to a point in the northerly line of a 5.010 acre tract of land as conveyed to Jeffrey R. Fisher, of record in Instrument Number 199512260233568;

Thence South 84°05'56" West, with said northerly line, a distance of 340.42 feet to a point in the easterly right of way line of Cosgray Road;

Thence North 5°52'16" West, with said easterly right of way line, a distance of 894.94 feet to the **POINT OF BEGINNING** and containing 18.027 acres of land, more or less;

The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.

W:\PROJECTS\KIMBLEY HORN\762460-01_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SUBAREA-A.dwg - 6/8/2023 - Matt Ackroyd

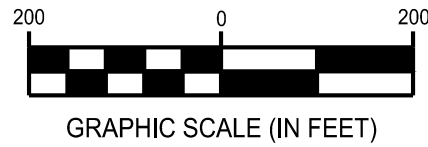


AMLIN CROSSING
STATE OF OHIO, COUNTY OF FRANKLIN,
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,
V.M.S. 6953

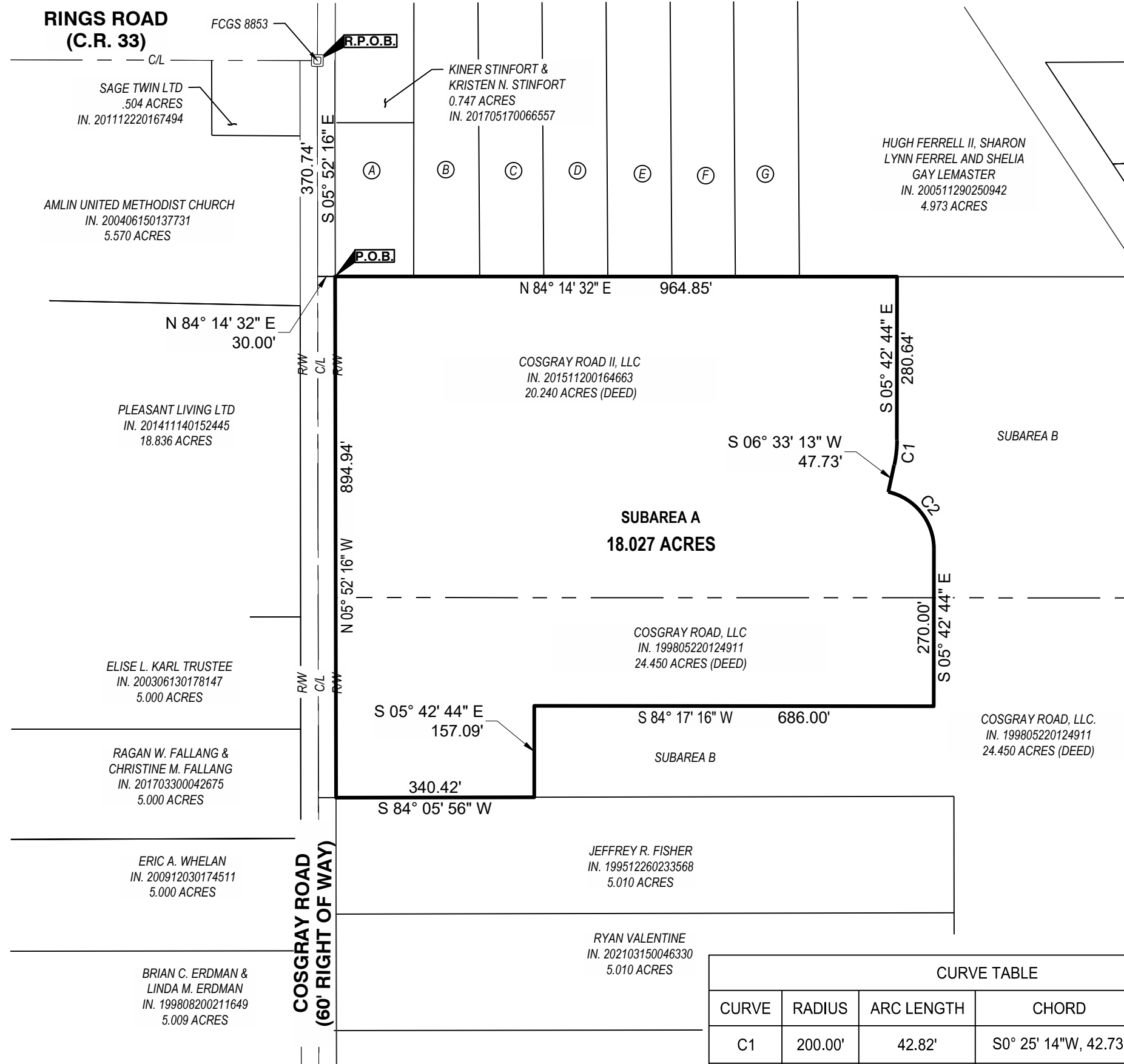
© 2023 CESO, INC.

Project Number:	762460
Scale:	1"=200'
Drawn By:	OPG
Checked By:	MJA
Date:	6/7/2023
Issue:	N/A

Drawing Title:
SUBAREA A



- (A) ADAMS REAL ESTATE INVESTMENT CO.
IN. 201411140152445
1.000 ACRES
- (B) DAVID J. CRONE & MARTHA E. CRONE
IN. 201507060089747
1.346 ACRES
- (C) TAMARA SUE DAVENPORT
IN. 201802210024442
1.329 ACRES
- (D) DAN B. MORRIS
IN. 200812230183313
1.331 ACRES
- (E) MARK ANDREWS & CHRISTINA ANDREWS
IN. 202108310155122
1.333 ACRES
- (F) BECKY J. KINNAIRD
IN. 202001140006214
1.337 ACRES
- (G) HAMMAD AHMAD ABU
IN. 202209220135264
1.337 ACRES



BASIS OF BEARING
BEARINGS ARE BASED ON THE OHIO STATE PLANE SOUTH COORDINATE SYSTEM, NAD83 (2011).

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	200.00'	42.82'	S0° 25' 14"W, 42.73'	12° 15' 57"
C2	100.00'	135.67'	S44° 34' 46"E, 125.50'	77° 44' 03"

LEGAL DESCRIPTION

Subarea B

20.662 Acres

Situated in the State of Ohio, County of Franklin, City of Dublin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 20.240 acre tract of land as conveyed to Cosgray Road II, LLC, of record in Instrument Number 201511200164663, and part of a 24.450 acre tract of land as conveyed to Cosgray Road, LLC, of record in Instrument Number 199805220124911, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

BEGINNING FOR REFERENCE at Franklin County Engineer monument "FCGS 8853", being in the centerline intersection of Rings Road (County Road 33) and Cosgray Road;

Thence South 5°52'16" East, with the centerline of said Cosgray Road, a distance of 370.74 feet to the northwesterly corner of said 20.240 acre tract;

Thence North 84°14'32" East, with the southerly lines of a 1.000 acre tract of land as conveyed to Adams Real Estate Investment Co., of record in Instrument Number 201411140152445,, with the southerly lines of a 1.346 acre tract of land as conveyed to David J. Crone and Martha E. Crone, of record in Instrument Number 201507060089747, a 1.329 acre tract of land as conveyed to Tamara Sue Davenport, of record in Instrument Number 201802210024442, a 1.331 acre tract of land as conveyed to Dan B. Morris, of record in Instrument Number 200812230183313, a 1.333 acre tract of land as conveyed to Mark Andrews and Christina Andrews, of record in Instrument Number 202108310155122, a 1.337 acre tract of land as conveyed to Becky J. Kinnaird, of record in Instrument Number 202001140006214, a 1.337 acre tract of land as conveyed to Hammad Ahmad Abu, of record in Instrument Number 202209220135264, a distance of 994.85 feet to a point in the southerly line of a 4.973 acre tract of land as conveyed to Hugh Ferrell II, Sharon Lynn Ferrell and Shelia Gay Lemaster, of record in Instrument Number 200511290250942, being the **TRUE POINT OF BEGINNING**;

Thence continuing North 84°14'32" East, a distance of 422.20 feet to a point in the westerly line of 17.010 acre railroad right of way as conveyed to New York Central Lines, LLC, of record in Instrument Number 200212180325201,

Thence South 39°16'32" East, with the westerly lines of said 17.010 acre railroad right of way and a 1.340 acre railroad right of way as conveyed to New York Central Lines, LLC, of record in Instrument Number 200212180325201, a distance of 1006.97 feet to a point;

Thence through said 24.450 acre tract, the following courses:

South 50°39'29" West, a distance of 718.18 feet to a point;

South 84°17'16" West, a distance of 281.25 feet to a point in the easterly line of a 5.010 acre tract as conveyed to Ryan Valentine of record in Instrument Number 202103150046330;

Thence North 5°53'42" West, with the easterly line of said 5.010 acre tract and with the easterly line of a 5.010 acre tract as conveyed to Jeffrey R. Fisher of record in Instrument Number 199512260233568, a distance of 344.29 feet to the northeasterly corner of said Fisher tract;

Thence South 84°05'56" West, with the northerly line of said 5.010 acre tract, a distance of 720.54 feet to a point;

Thence through said 24.450 acre tract and said 20.420 acre tract, the following courses:

North 5°42'44" West, a distance of 157.09 feet to a point;

North 84°17'16" East, a distance of 686.00 feet to a point;

North 5°42'44" West, a distance of 270.00 feet to a point of curvature;

With a curve to the left, having a central angle of 77°44'03", a radius of 100.00 feet, an arc length of 135.67 feet, and a chord which bears North 44°34'46" West, for a chord distance of 125.50 feet to a point of tangency;

North 6°33'13" East, a distance of 47.73 feet to a point of curvature;

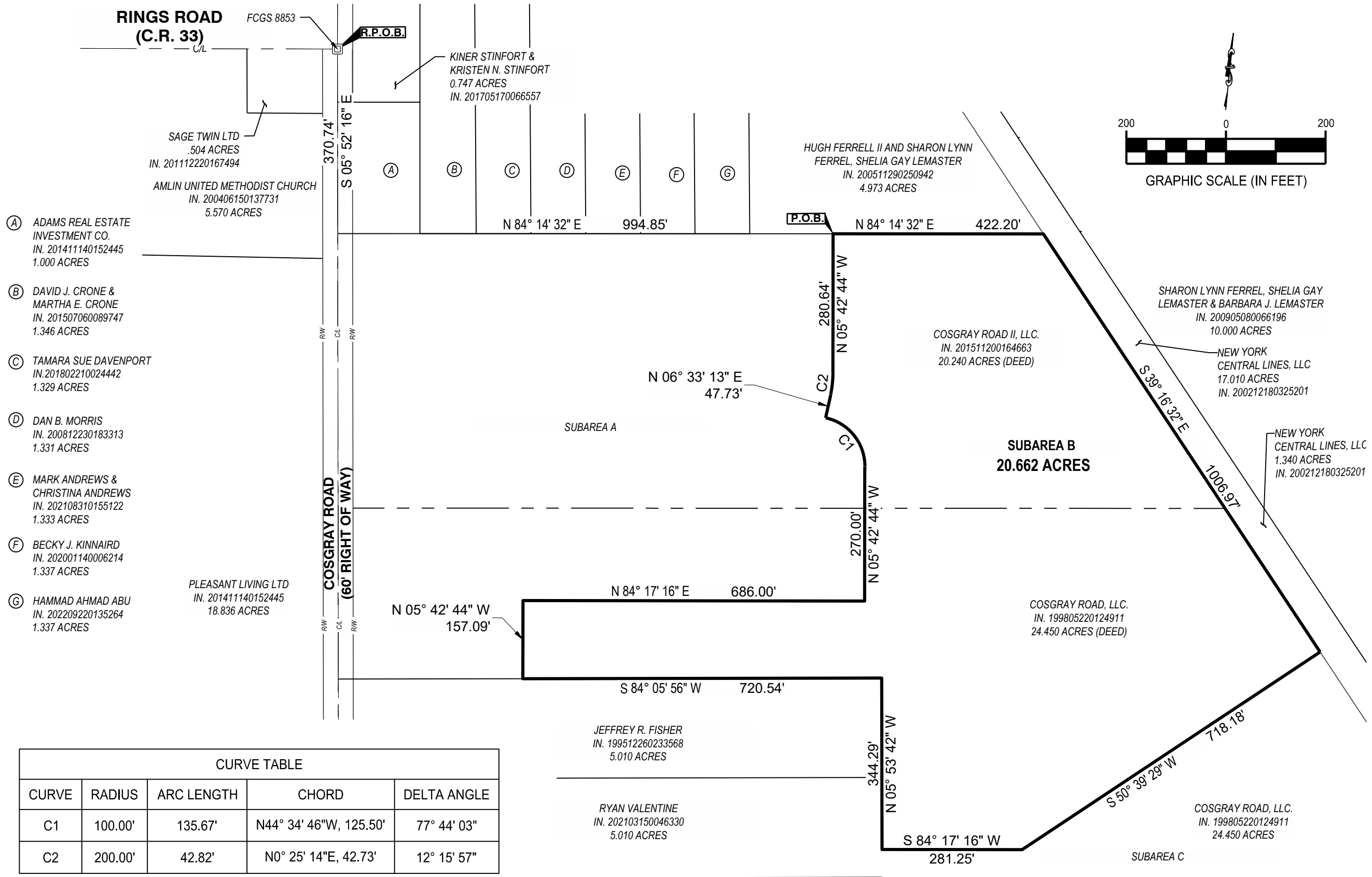
With a curve to the left, having a central angle of 12°15'57", a radius of 200.00 feet, an arc length of 42.82 feet, and a chord which bears North 0°25'14" East, for a chord distance of 42.73 feet to a point of tangency;

North 5°42'44" West, a distance of 280.64 feet to the **POINT OF BEGINNING**, and containing 20.662 acres of land, more or less;

The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.

W:\PROJECTS\KIMLEY HORN\762460-01_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SUBAREA-B.dwg - 6/8/2023 - Matt Ackroyd



- ① ADAMS REAL ESTATE INVESTMENT CO.
IN. 201411140152445
1.000 ACRES
- ② DAVID J. CRONE & MARTHA E. CRONE
IN. 201507060089747
1.346 ACRES
- ③ TAMARA SUE DAVENPORT
IN. 201802210024442
1.329 ACRES
- ④ DAN B. MORRIS
IN. 200812230183313
1.331 ACRES
- ⑤ MARK ANDREWS & CHRISTINA ANDREWS
IN. 202108310155122
1.333 ACRES
- ⑥ BECKY J. KINNAIRD
IN. 202001140006214
1.337 ACRES
- ⑦ HAMMAD AHMAD ABU
IN. 202209220135264
1.337 ACRES

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	100.00'	135.67'	N44° 34' 46"W, 125.50'	77° 44' 03"
C2	200.00'	42.82'	N0° 25' 14"E, 42.73'	12° 15' 57"

BASIS OF BEARING
BEARINGS ARE BASED ON THE OHIO STATE PLANE
SOUTH COORDINATE SYSTEM, NAD83 (2011).

AMLIN CROSSING
STATE OF OHIO, COUNTY OF FRANKLIN,
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,
V.M.S. 6953

© 2023 CESO, INC.
Project Number: 762460
Scale: 1"=200'
Drawn By: OPG
Checked By: MJA
Date: 6/7/2023
Issue: N/A

Drawing Title:
SUBAREA B

LEGAL DESCRIPTION

Subarea C

24.504 Acres

Situated in the State of Ohio, County of Franklin, City of Dublin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 24.450 acre tract of land as conveyed to Cosgray Road, LLC, of record in Instrument Number 199805220124911, and part of a 64.12 acre original tract of land as conveyed to Floyd Miller and Joyce E. Miller, of record in Instrument Number 200411030253231, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

BEGINNING FOR REFERENCE at Franklin County Engineer monument "FCGS 1875", being in the centerline of right of way of Cosgray Road;

Thence North 5°52'16" West, with the centerline of said Cosgray Road, a distance of 367.05 feet to a point;

Thence North 84°07'44" East, a distance of 30.00 feet to a point in the easterly right of way line of Cosgray Road, being the **TRUE POINT OF BEGINNING**;

Thence North 5°52'16" West, through said 64.12 acre tract, a distance of 110.36 feet to a point in the southerly line of a 11.001 acre tract as conveyed to Floyd Miller and Joyce E. Miller, Trustees of record in Instrument Number 200504210074844;

Thence North 84°06'05" East, with the southerly line of said 11.001 acre tract, a distance of 1061.43 feet to the southeasterly corner thereof;

Thence North 5°54'35" West, with the easterly line of said 11.001 acre tract, a distance of 439.50 feet to the northeasterly corner thereof and the southeasterly corner of a 5.010 acre tract as conveyed to Ryan Valentine of record in Instrument Number 202103150046330;

Thence North 5°53'42" West, with the easterly line of said 5.010 acre tract, a distance of 55.71 feet to a point;

Thence through said 24.450 acre tract, the following courses:

North 84°17'16" East, a distance of 281.25 feet to a point;

North 50°39'29" East, a distance of 718.18 feet to a point in the westerly railroad right of way line of New York Central Lines, LLC, of record in Instrument Number 200212180325201;

Thence South 39°16'32" East, with said westerly right of way, a distance of 981.03 feet to a point;

Thence through said 64.12 acre tract, the following courses:

South 50°39'36" West, a distance of 49.90 feet to a point of curvature;

With a curve to the right, having a central angle of 33°21'50", a radius of 958.00 feet, an arc length of 557.85 feet, and a chord which bears South 67°20'31" West, for a chord distance of 550.01 feet to a point of tangency;

South 84°01'26" West, a distance of 1858.37 feet to a point;

North 88°03'13" West, a distance of 45.81 feet to a point in the easterly right of way of Cosgray Road;

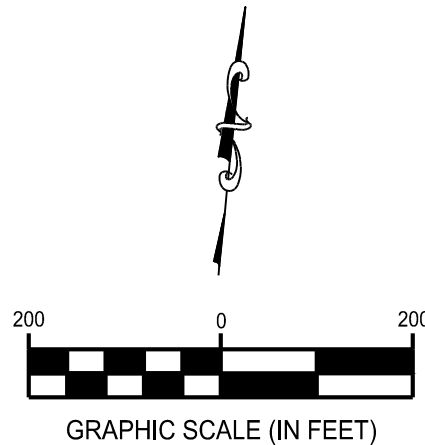
Thence North 5°52'16" West, with said easterly right of way, a distance of 1.12 feet to the northeasterly corner thereof;

Thence South 84°07'44" West, with the northerly line of said easterly right of way, a distance of 9.61 feet to the **POINT OF BEGINNING**, and containing 24.504 acres of land, more or less;

The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

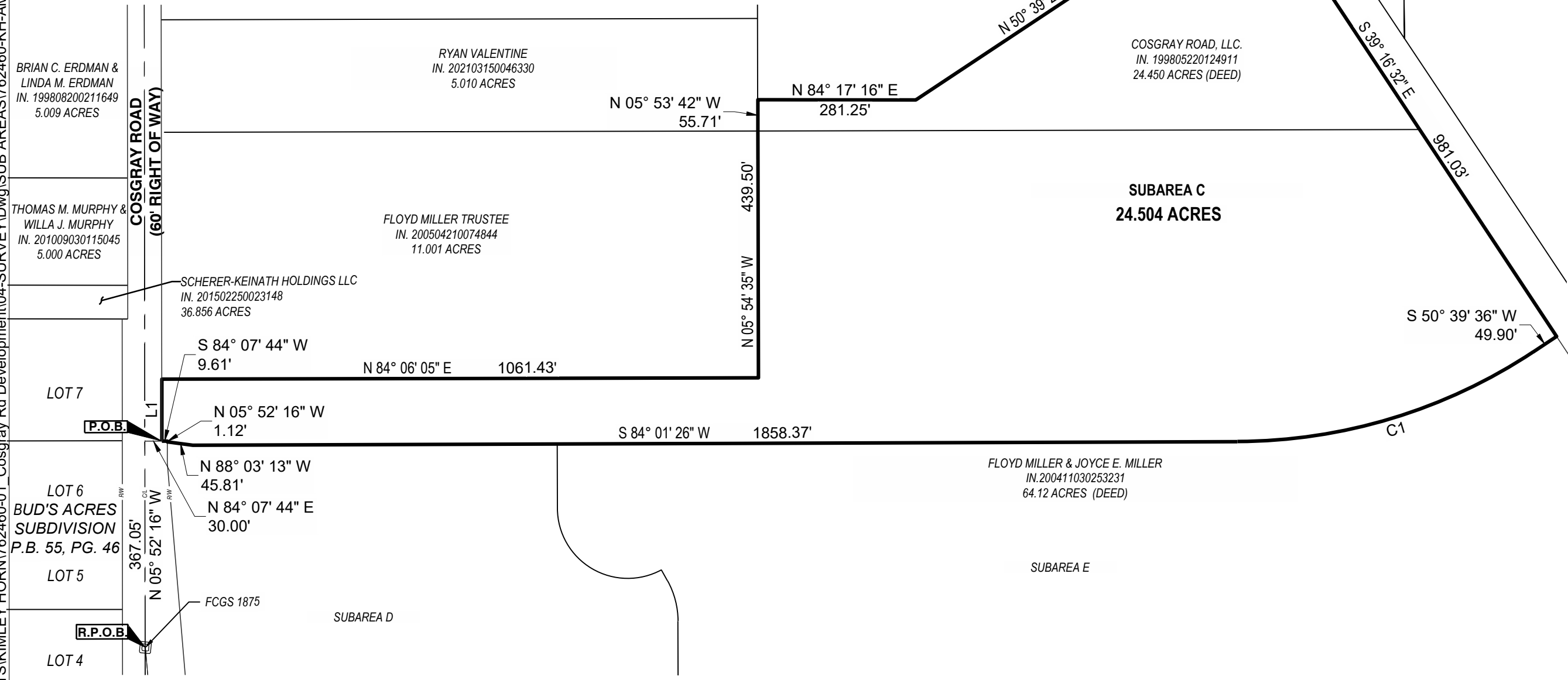
This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.

W:\PROJECTS\KIMBLEY HORN\762460-01_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SUBAREA-C.dwg - 6/8/2023 - Rick Cross



CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	958.00'	557.85'	S67° 20' 31"W, 550.01'	33° 21' 50"

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N05° 52' 16"W	110.36



AMLIN CROSSING
STATE OF OHIO, COUNTY OF FRANKLIN,
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,
V.M.S. 6953

© 2023 CESO, INC.

Project Number:	762460
Scale:	1"=200'
Drawn By:	OPG
Checked By:	MJA
Date:	6/7/2023
Issue:	N/A

Drawing Title:
SUBAREA C

BASIS OF BEARING
BEARINGS ARE BASED ON THE OHIO STATE PLANE
SOUTH COORDINATE SYSTEM, NAD83 (2011).

LEGAL DESCRIPTION

Subarea D

12.686 Acres

Situated in the State of Ohio, City of Dublin, County of Franklin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 64.12 acre original tract of land as conveyed to Floyd Miller and Joyce E. Miller, of record in Instrument Number 200411030253231, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

BEGINNING FOR REFERENCE at Franklin County Engineer monument "FCGS 1875", being in the centerline of right of way of Cosgray Road;

Thence North 5°52'16" West, with the centerline of said Cosgray Road, a distance of 367.05 feet to a point;

Thence North 84°07'44" East, a distance of 39.61 feet to a corner of the easterly right of way line of said Cosgray Road;

Thence South 5°52'16" East, a distance of 1.12 feet to the **TRUE POINT OF BEGINNING**;

Thence through said 64.12 acre tract the following courses:

South 88°03'13" East, a distance of 45.81 feet to a point;

North 84°01'26" East, a distance of 648.17 feet to a point;

South 5°58'34" East, a distance of 114.92 feet to a point of curvature;

With a curve to the left, having a central angle of 118°31'51", a radius of 125.00 feet, an arc length of 258.59 feet, and a chord which bears South 65°14'29" East, for a chord distance of 214.89 feet to a point;

South 34°30'25" East, a distance of 22.53 feet to a point of curvature;

With a curve to the right, having a central angle of 28°27'34", a radius of 150.00 feet, an arc length of 74.51 feet, and a chord which bears South 20°16'38" East, for a chord distance of 73.74 feet to a point of tangency;

South 6°02'51" East, a distance of 366.09 feet to a point in the north line of Hayden Farms, Section 1 as recorded in Plat Book 106, Page 44;

Thence South 84°17'13" West, with the north line of said Hayden Farms, Section 1, a distance of 863.94 feet to a point in said easterly right of way line;

Thence with said easterly right of way line the following courses:

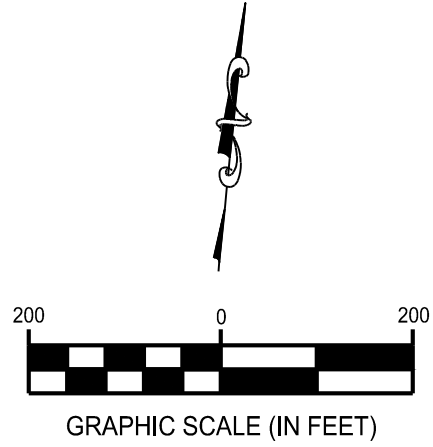
North 5°52'16" West, a distance of 103.66 feet to an angle point thereof;

North 10°36'23" West, a distance of 545.11 feet to an angle point thereof;

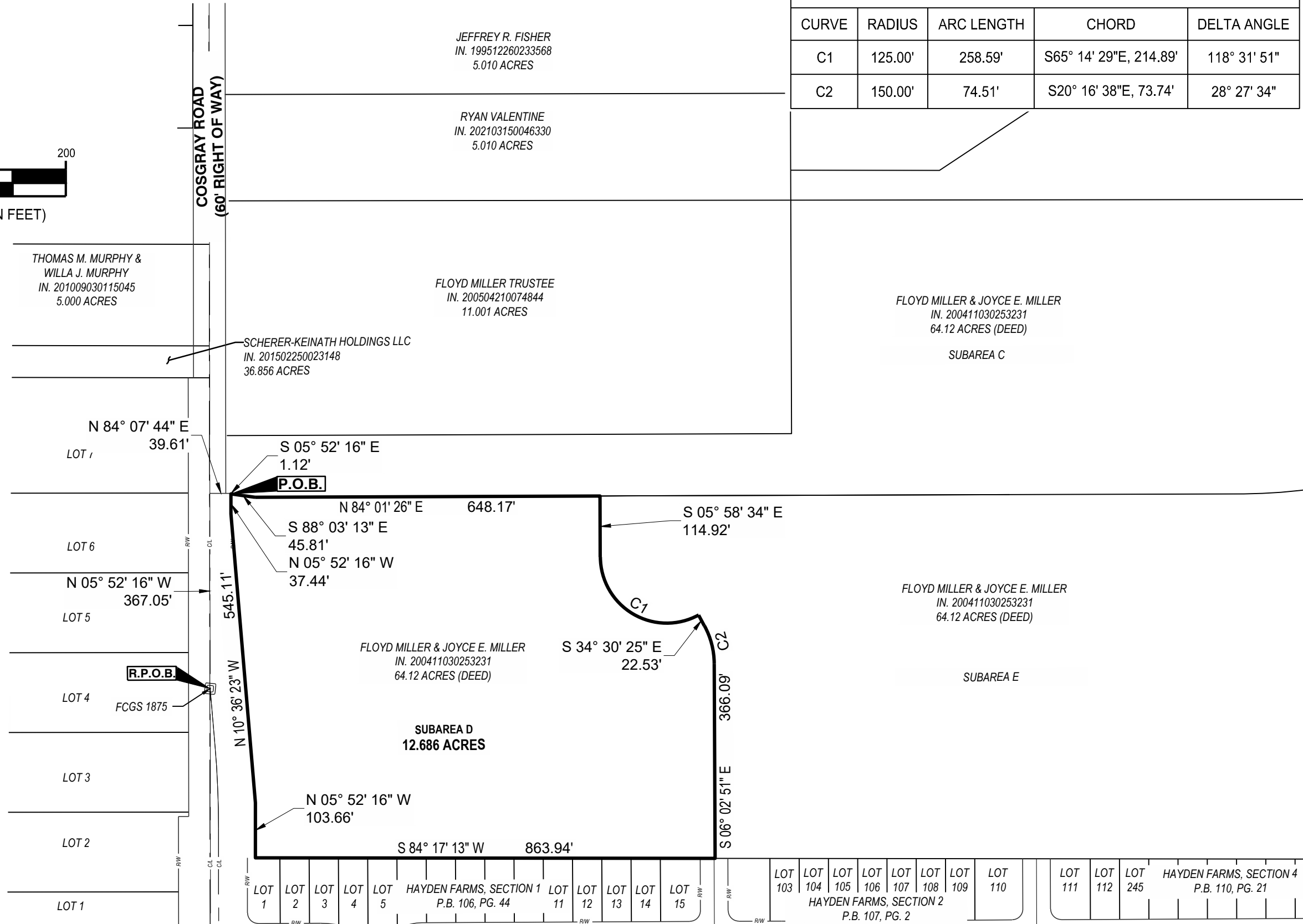
North 5°52'16" East, a distance of 37.44 feet to the **POINT OF BEGINNING** and containing 12.686 acres of land, more or less;

The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.



CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	125.00'	258.59'	S65° 14' 29"E, 214.89'	118° 31' 51"
C2	150.00'	74.51'	S20° 16' 38"E, 73.74'	28° 27' 34"



BASIS OF BEARING
BEARINGS ARE BASED ON THE OHIO STATE PLANE
SOUTH COORDINATE SYSTEM, NAD83 (2011).

AMLIN CROSSING
STATE OF OHIO, COUNTY OF FRANKLIN,
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,
V.M.S. 6953

© 2023 CESO, INC.
Project Number: 762460
Scale: 1"=200'
Drawn By: OPG
Checked By: MJA
Date: 6/7/2023
Issue: N/A

Drawing Title:
SUBAREA D

LEGAL DESCRIPTION

Subarea E

28.450 Acres

Situated in the State of Ohio, City of Dublin, County of Franklin, Township of Washington, being a part of Virginia Military Survey Number 6953, and being part of a 64.12 acre original tract of land as conveyed to Floyd Miller and Joyce E. Miller, of record in Instrument Number 200411030253231, all document references are to the records of the Recorder's Office of Franklin County, Ohio, and being more particularly described as follows:

BEGINNING at the northeasterly corner of Reserve "P" of a plat entitled Hayden Farms, Section 5, of record in Plat book 112, Page 6;

Thence with the northerly lines of said Hayden Farms, Section 5 and the northerly lines of Hayden Farms, Section 4, of record in Plat Book 110, Page 21, and Hayden Farms, Section 2, of record in Plat Book 107, Page 2, the following courses:

South 83°58'22" West, a distance of 672.21 feet to a point;

South 5°45'29" East, a distance of 222.49 feet to a point;

South 84°17'13" West, a distance of 1318.86 feet to a point;

Thence through said 64.12 acre tract, the following courses:

North 6°02'51" West, a distance of 366.09 feet to a point of curvature;

With a curve to the left, having a central angle of 28°27'34", a radius of 150.00 feet, an arc length of 74.51 feet, and a chord which bears North 20°16'38" West, for a chord distance of 73.74 feet to a point of tangency;

North 34°30'25" West, a distance of 22.53 feet to a point;

With a curve to the right, having a central angle of 118°31'51", a radius of 125.00 feet, an arc length of 258.59 feet, and a chord which bears North 65°14'29" West, for a chord distance of 214.89 feet to a point of tangency;

North 5°58'34" West, a distance of 114.92 feet to a point;

North 84°01'26" East, a distance of 1210.20 feet to a point of curvature;

With a curve to the left, having a central angle of 33°21'50", a radius of 958.00 feet, an arc length of 557.85 feet, and a chord which bears North 67°20'31" East, for a chord distance of 550.01 feet to a point of tangency;

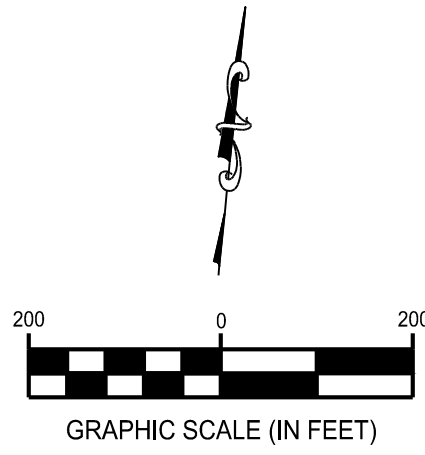
North 50°39'36" East, a distance of 49.90 feet to a point in the westerly railroad right of way line of New York Central Lines, LLC, of record in Instrument Number 200212180325201;

Thence South 39°16'32" East, with said westerly right of way line, a distance of 778.14 feet to the **POINT OF BEGINNING**, and containing 28.450 acres of land, more or less;

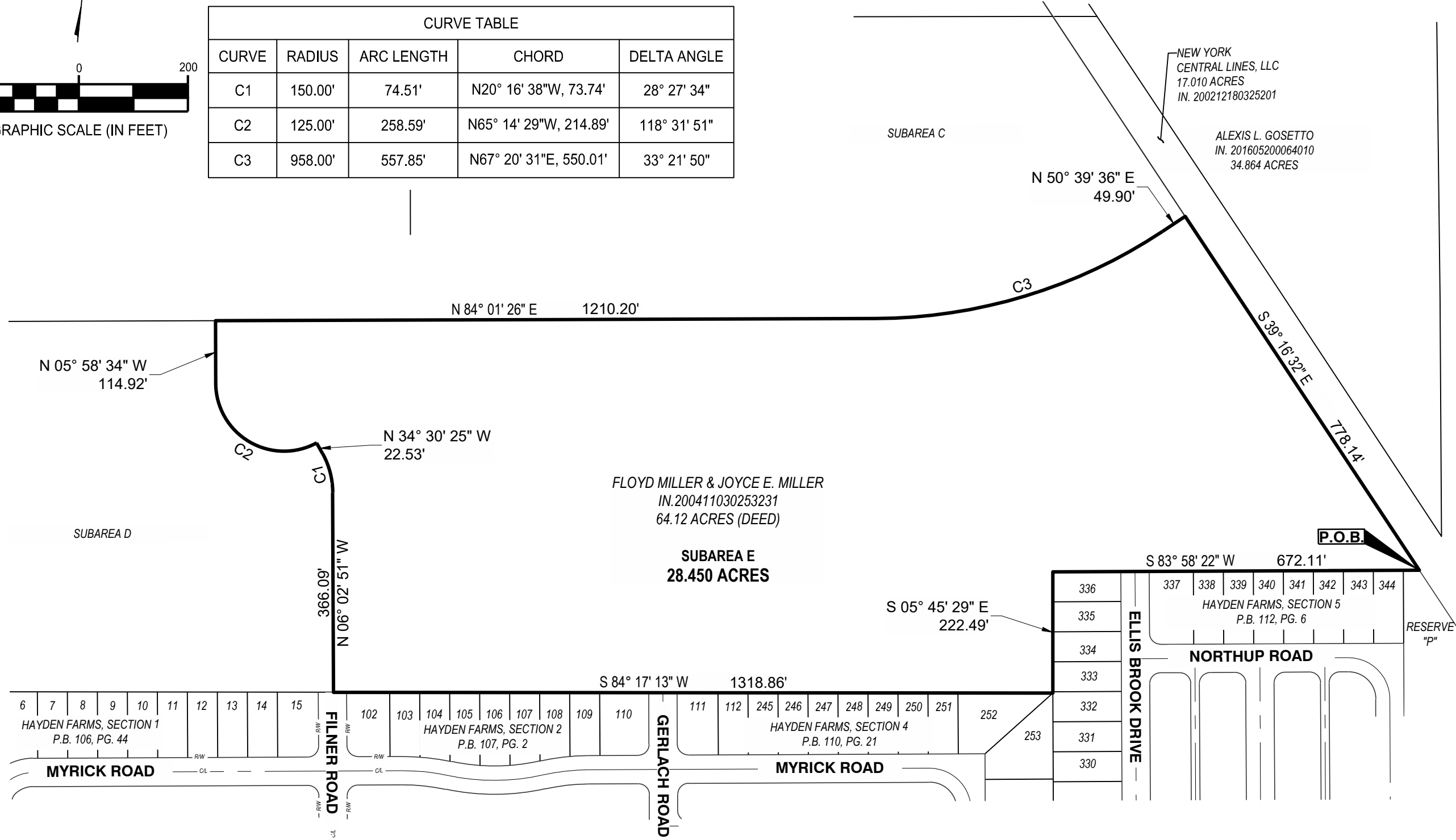
The bearings are based on the Ohio State Plane South Coordinate System, NAD83 (2011).

This description is not intended for transfer and does not meet Franklin County Transfer and Conveyance Standards.

W:\PROJECTS\KIMLEY HORN\762460-01_Cosgray Rd Development\04-SURVEY\DWG\SUB AREAS\762460-KH-AMLIN-SUBAREA-E.dwg - 6/8/2023 - Matt Ackroyd



CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE
C1	150.00'	74.51'	N20° 16' 38"W, 73.74'	28° 27' 34"
C2	125.00'	258.59'	N65° 14' 29"W, 214.89'	118° 31' 51"
C3	958.00'	557.85'	N67° 20' 31"E, 550.01'	33° 21' 50"



BASIS OF BEARING
BEARINGS ARE BASED ON THE OHIO STATE PLANE
SOUTH COORDINATE SYSTEM, NAD83 (2011).



AMLIN CROSSING
STATE OF OHIO, COUNTY OF FRANKLIN,
CITY OF DUBLIN, TOWNSHIP OF WASHINGTON,
V.M.S. 6953

© 2023 CESO, INC.

Project Number:	762460
Scale:	1"=200'
Drawn By:	OPG
Checked By:	MJA
Date:	6/7/2023
Issue:	N/A

Drawing Title:
SUBAREA E