

Approved Development Text (City Council 02/10/2020, ORD. 07-20)
The Overlook at Tartan Ridge
Subarea F of the Tartan Ridge Development

A. Description: The Overlook at Tartan Ridge is located at the southwestern portion of the Tartan Ridge Development, northeast of and adjacent to the intersection of McKittrick Road and Hyland-Croy Road. This development shall consist of approximately 24 acres and shall re-zone all of the existing Tartan Ridge Subarea E and Subarea F, and a portion of the existing Subarea D1, into this new development. The rezoning would eliminate the townhome residential in the existing Subarea E and the neighborhood retail in Subarea F, and would allow for the development of up to 56 single-family patio homes. The areas of the site being re-zoned in this application are as identified in the attached legal descriptions and Preliminary Plan Exhibits.

B. Introduction: The development of an upscale empty-nester detached cluster home community in the Tartan Ridge Development will help to satisfy the need for housing catering to the growing demand for maintenance-free, first floor master living. The high-quality architecture in this subarea will compliment the rest of the Tartan Ridge development, while serving to create its own unique sense of place within the broader Tartan Ridge community. This new section will incorporate all the landscape / streetscape standards from the larger Tartan Ridge development and will be designed to meet the lifestyle needs of empty nester adults within an upscale, walkable development. A pond overlook and shelter will provide residents of the community with a scenic place to gather, picnic, or host small community events. Interior sidewalks and pathways will connect residents to the Tartan Ridge pedestrian / greenspace network, while the multi-use pathway along Hyland-Croy Road and McKittrick Road will serve to connect the development with the broader Dublin Community and will complete an important section of the pedestrian network in that region. Generous setbacks and mounding and landscaping along Hyland-Croy Road and McKittrick Road serve to add privacy to the development and preserve a more setback from the exterior roadways.

C. Applicability: The development text, and preliminary plan exhibits, submitted herein are intended to replace the standards established within Section XI (Subarea E) and Section XII (Subarea F) of the existing Tartan Ridge zoning.

D. Permitted Uses: Only single-family homes shall be permitted in The Overlook at Tartan Ridge.

E. Number of Units: The maximum number of dwelling units in The Overlook at Tartan Fields shall be fifty-six (56). Of this total, a minimum of twenty-two (22) shall be Courtyard Lots as described below.

F. Development Standards: The following Standards shall govern the Overlook at Tartan Ridge and include with permission all of the applicable requirements from Section V of the approved Tartan Ridge Development Text.

1. **Residential Lot Types:** To compliment the residential lot types outlined within the Tartan Ridge Zoning text, the following lot types shall be permitted within The Overlook at Tartan Ridge.

a. **Courtyard Lots:** Courtyard lots are generally located on the western, and southern perimeter of the development, or on corner lots within the development, and feature an extended side-loaded garage designed to create a small auto-court in the front of the house (fig D(1)(a)). Courtyard lots shall be a minimum of 60 feet in width at the building line, but shall be permitted at a variety of lot widths exceeding this minimum, and shall allow for 2 and 3 car garage configurations. Courtyard lots shall have a minimum setback line of 15 feet, and a maximum setback line of 25 feet from the right-of-way of the street or as otherwise shown on Exhibits C-2 and C-3, revised November 29, 2023.

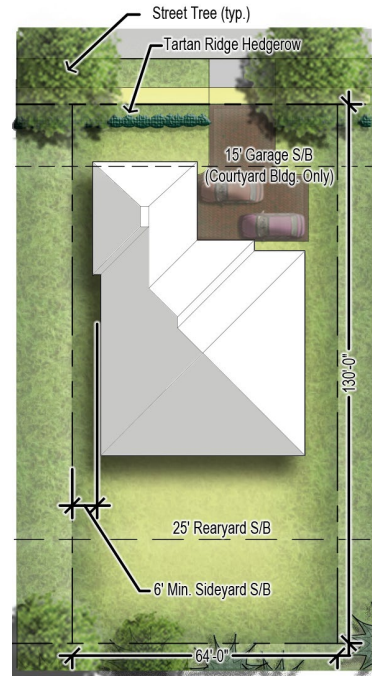


Fig D(1)(a) – Courtyard Lot

b. **Patio lots:** Patio lots are generally located to the interior of the site and are intended to allow for the development of high-end patio homes with front oriented garages (fig D(1)(b)). Patio lots shall be a minimum of 52 feet in width at the building setback line, and feature homes with rear facing patios. 2-car street loaded / front oriented garages with single bay and double bay doors are permitted on Patio Lots within the development. Face of garages shall be placed at the maximum 25-foot setback from the right of way, or as otherwise shown on Exhibits C-2 and C-3, revised November 29, 2023, while non-garage portions of the front façade will be permitted to extend up to the minimum 15' setback line.

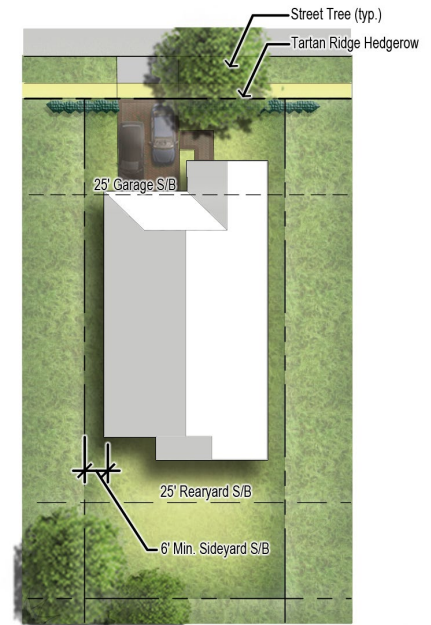


Fig D(1)(b) – Patio Lot

2. Lot Dimensions, Setbacks, Garage Types: The following standards shall apply to each permitted residential lot type in The Overlook at Tartan Fields:

a. Courtyard Lots: Courtyard Lots are subject to the following standards:

- i. Lot Width: Minimum of sixty (60) feet at the building line
- ii. Lot depth: Minimum of one hundred twenty-five (125) feet
- iii. Front yard setback: Minimum of fifteen (15) feet, and a maximum of twenty-five (25) feet from the right-of-way or as otherwise shown on Exhibits C-2 and C-3, revised November 29, 2023.
- iv. Rear yard setback: Minimum of twenty-five (25) feet from the rear property line. At-grade patios may be permitted to encroach a maximum of 10 feet into the required rear yard provided no walls greater than 36 inches in height are incorporated into the patio design.
- v. Side yard setback: Minimum of six (6) feet
- vi. Lot Coverage: The maximum lot coverage shall be sixty percent (60%) including structure and driveway
- vii. Permitted Garages (See section F(8) below)
 - aa. Street Loaded / Court Oriented

b. Patio Lots: Patio Lots are subject to the following standards:

- i. Lot Width: Minimum of fifty-two (52) feet at the building line
- ii. Lot depth: Minimum of one hundred twenty-five (125) feet
- iii. Front yard setback: Minimum of fifteen (15) feet, and maximum of twenty-five (25) feet, from the right-of-way, or as otherwise shown on Exhibits C-2 and C-3, revised November 29, 2023. Front loaded garages must be located at the maximum setback of twenty-five (25) feet while non-garage portions of the front façade may be permitted to extend up to the minimum fifteen (15) foot setback.
- iv. Rear yard setback: Minimum of twenty-five (25) feet from the rear property line. At-grade patios may be permitted to encroach a maximum of 10 feet into the required rear yard provided no walls greater than 36 inches in height are incorporated into the patio design.
- v. Side yard setback: Minimum of six (6) feet
- vi. Lot Coverage: The maximum lot coverage shall be sixty percent (60%) including structure and driveway
- vii. Permitted Garages (See section D(3) above)

aa. Street Loaded / Front Oriented

3. Hyland-Croy and McKitrick Setbacks: A minimum of ninety (90) feet shall be provided between any street or lot line within the development and the rights-of-way of Hyland-Croy Road and McKitrick Road:
4. Encroachments:
 - a. Encroachments: Encroachments into applicable setbacks shall be in accordance with the City of Dublin Zoning Code unless otherwise set forth in this text. Window wells may encroach into side yards a maximum of three and one-half (3 ½) feet, provided there shall be a minimum of eight (8) feet of separation between these permitted encroachments on adjoining lots, as measured from the nearest corners of the window wells. Air conditioners may encroach into side yards a maximum of two and one half (2 ½) feet.
5. Building Heights: The maximum height of any residential structure throughout the development shall be twenty-five (25) feet as measured per the City of Dublin Code.
6. Architectural Standards
 - a. Unless otherwise set forth herein, all structures shall meet the City of Dublin Zoning Code Residential Appearance Standards as they exist on the date that the preliminary development plan approval becomes effective.
 - b. Architectural Review: The HOA established declarant shall form an Architectural Review Committee (ARC) to review all architecture to ensure that all dwellings and accessory structures comply with or exceed the architectural standards set forth in this development text. Prior to filing for a building permit with the City of Dublin for the construction of, or any addition or major alteration to, each primary or accessory residential structure in this development, the owner or builder shall be required to subject the exterior architectural elevations and the site plan to a review by the ARC established by the declarant. The ARC shall undertake a review of these elevations and plans for compliance with the commitments made in this development text such as (but not limited to) setbacks, building heights, architectural style, diversity, types of materials, configuration of materials on individual building façades, consistency of materials on all elevations of the structure, and colors. The ARC shall approve only those structures that comply with or exceed the requirements set forth in this development text. The City of Dublin shall not be required to issue a building permit for any affected residential structure in this development without written evidence of approval of such structure from the ARC.

- c. Architectural Character: The architecture within this development shall be traditional in nature. Its vocabulary shall employ Midwestern Vernacular and European Country styles. Continuity of element and scale and the commonality of building materials between the referenced styles will reinforce an architectural cohesiveness while promoting architectural diversity within the site.

- i. European Country - Inspired primarily by provincial country homes in France, American examples of the European Country style first appeared in the 1920s. Characterized by the use of stone and stucco as cladding materials, the European Country style also



employs deep recesses and reveals for doors and windows as well as steeper roof pitches and flared eaves. Forms tend to be simple and rectangular and tall, well-proportioned windows are common, resulting in a simple, elegant residence. The single-story adaptation of European Country style provided in the Overlook at Tartan Ridge is designed to accommodate the desire for first-floor master living while complementing the architecture of the overall Tartan Ridge development.

- ii. Midwestern Vernacular - The character of Midwestern Vernacular architecture evolved throughout the mid- to late 19th and early 20th centuries and makes reference to a broad range of styles. Greek revival references incorporate simplicity and permanence of form while retaining versatility, while “farmhouse vernacular” is characterized by Gothic influences and verticality of proportion common to Early Victorian examples. The Midwestern Vernacular style reiterates local forms, strong examples of which are indigenous to Dublin and may also be found in Bexley and Upper Arlington.

- 7. Architectural Diversity: The Overlook at Tartan Ridge shall be subject to the following diversity standards:

- a. Area of Influence: With respect to a home on any particular lot, the same or similar front elevations and/or color treatment shall not be repeated for any home located within one lot on either side, directly across the street from, or within one home on either side of the home directly across the street from, the subject home (the “Area of Influence”). Except for corner lots, these requirements apply only to the street on which the home is

located; that is, they do not extend to homes on intersecting streets if fewer than two homes are located between the subject home and the end of the street. For corner lots the requirement shall apply to both streets on which the home is situated.

- b. Administration of Standard: It will be the responsibility of the Architectural Review Committee (ARC) established by the declarant to evaluate each house plan in the development for compliance with the diversity standard. Compliance with the diversity requirement shall be required for the approval of the construction of each new dwelling within the Overlook at Tartan Ridge.
- c. Themed Communities: The Overlook at Tartan Ridge may be developed as a themed or architecturally-coordinated community featuring a specific architectural style. If developed as a themed community the Overlook at Tartan Ridge would not be subject to the diversity schedule outlined above. In the event that such a community is proposed, the developer shall file a single final development plan for the community with illustrations of representative building elevations and anticipated product mix for review by the Planning Commission. Minor variations to the elevations of homes within the themed community may be approved administratively by City of Dublin staff.

8. Architectural Massing: The following standards from the Tartan Ridge Development, as adapted to accommodate this housing type, shall apply to the Overlook at Tartan Ridge.

- a. Key Massing Principles
 - i. Street Presence
 - ii. Proportions and Purity of Form
 - iii. Clean Intersections

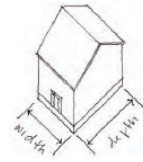
b. Permitted Massing

- i. Gable: Gable Spanning the short dimension of the main house block enhances the street presence
- ii. Hipped: Reduces roof massing; ideal for floor plans with more of a square proportion.



c. Prohibited Massing

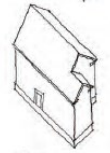
- i. Gable: Gabled roofs spanning the long dimension of the main block of the house results in awkward proportions.



- ii. Gable: When utilized with a square floor plan, the gabled roof results in awkward proportions.



- iii. Continuous Walls: Long continuous walls, devoid of fenestration, shall not be permitted. Long walls along the side of the patio homes shall be broken up using windows, doors, a change in materials, or a combination thereof.



9. Exterior Materials:

- a. Cladding materials: The exteriors of structures, including foundations, shall be constructed of stone, manufactured stone, stucco, wood, or cementitious fiberboard.
- b. Configuration of Materials:
 - i. Four-sided architecture shall be required so that similar architectural design elements and details shall be consistent throughout all elevations of the structure. All building elevations shall be articulated with a consistency of detailing.
 - ii. The primary building materials on the front elevation of a home shall be represented on all elevations. Secondary and complementary cladding materials found on the front elevation of the structure shall be utilized on all other elevations of the residence provided that the aesthetic integrity of the entire dwelling is maintained.
 - iii. Material transitions at exterior corners are permitted with an 8"-12" material return and trim detail.
 - iv. A masonry water table, a minimum of 30" high or to the height of the window sill, is required on all elevations.
 - v. If the main house block is rendered in masonry, hyphens/ connectors, dependencies, garages, etc., may utilize a secondary cladding material.
 - vi. Changes in cladding material should occur in logical locations, where one building mass meets another.
 - vii. Walls shall show no more than two (2) cladding materials (excluding trim) above the water table unless otherwise approved by the Architectural Review Committee.

- viii. For residences on feature lots the main house block shall be rendered with a constant cladding material on all sides exposed to view. Feature lots include lots 1, 8, 13, 17, 18, 27, 29, 30, 32, 33, 38, 39, 44, 45, 50, 51, and 56 as indicated on the Preliminary Plat.
- ix. Materials Application Examples
 - aa. Recommended Material Transition – Narrow Building Massing
 - For residences that are narrow / deep in plan a definable main elevation that presents a strong front to the street is preferred.
 - The residence has a consistent water table, and the predominant cladding material for portions of the side and rear of the residence is secondary in nature.
 - Material transitions may also occur along a consistent horizontal course, with the heavier (or primary) material occurring below the line.
 - bb. Recommended Material Transition – Court Oriented Building
 - For residences with court-loaded garages, a garage massing rendered in the primary material applied to the main house block is preferred.
 - The residence has a consistent water table, and the predominant cladding material for portions of the side and rear of the residence is secondary in nature.
 - Material transitions may also occur along a consistent horizontal course, with the heavier (or primary) material occurring below the line.
- c. Trim Materials: Permitted exterior trim materials shall include wood, foam backed vinyl, aluminum (for gutters and downspouts only), copper, fiber cement products, or any combination thereof.
- d. Shutters: Shutters, when used, shall be consistently used on all elevations and be sized to fully cover the adjacent window. Shutters must be painted, shall be louvered, raised or flat paneled, or board and batten, and shall be made of painted wood, vinyl, painted synthetic, PVC, or cementitious fiberboard. Shutters may be considered as “trim” within this development.

i. Shutter Requirements



- aa. Sized to cover the adjacent window
- bb. Shutters that are operable, or appear as such, shall utilize approved hardware (s-clips and hinges)
- cc. While shutters are to be used consistently on all elevations, they should be used judiciously and not on every window.

ii. Approve Shutter Types

- aa. Flat Panel – European Country
- bb. Board and Batten – European Country



e. Roofs

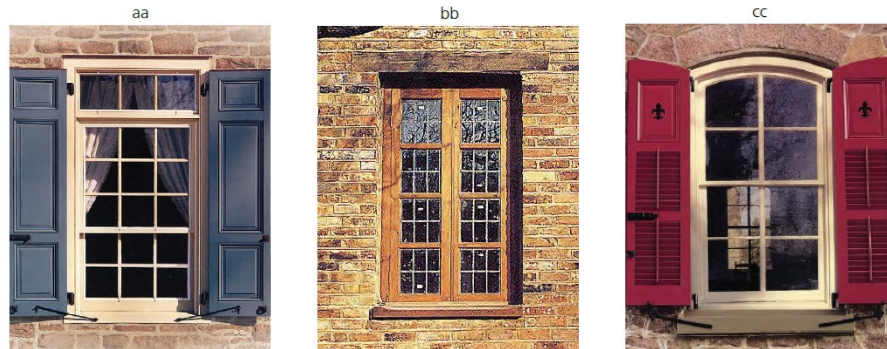
- i. Materials: All homes shall utilize an architectural grade dimensional asphalt shingle, wood shake or wood shingle, or natural or synthetic slate. Metal standing seam materials shall be permitted on porches, hyphens, and dependencies.
 - ii. Principal Roofs: Principal roofs, where sloped, shall be a symmetrical gable or hip, or gambrel. Sloped principal roofs shall have a minimum slope of 7:12 rise over run. Roof penetrations, including, without limitation, vent stacks, shall not be located on the front roof slope and shall be painted to match the color of the roof.
 - iii. Eaves: Eaves shall be continuous. Eaves which overhang less than one (1) foot shall have closed soffit.
 - iv. Dormers: Dormers shall have gabled, hipped, arched, or shed roofs. Dormer windows shall either match the standard window size of the house or be smaller. Dormers may be no larger than necessary to hold their windows and framing unless otherwise approved by the Architectural Review Committee.
 - v. Gutters and Downspouts: Traditional half-round gutters and/or ogee gutters with downspouts shall be used and shall be made of aluminum materials that are painted to match or compliment the color of the home's trim. Gutters and downspouts shall be placed at the corner of the building that is least visible from nearby streets or shall be symmetrically arranged as an integral part of the façade composition. Gutters shall be profiled at closed soffits and half-round at exposed eaves.
- f. Exterior Paint Colors: Exterior paint colors shall be selected from an historic color palette, i.e. Sherwin-Williams "Heritage Colors" or "Preservation Palette"; Benjamin Moore "Historical Color Collection", "Exterior Expressions"; or similar color lines by alternate manufacturers.

- g. Front Doors: Front doors: Front doors shall be wood or an approved composite material, typically painted a dark value, and shall be of a style appropriate to the architectural character of the home.
 - i. Five Pillars of Entry Design
 - aa. Pediment/Entablature: entry pediments shall be classically detailed and proportioned.
 - bb. Transom: light cuts shall be consistent in scale and proportion to the rest of the residence.
 - cc. Door: front doors shall be of a style appropriate to the architectural character of the residence.
 - dd. Stoop: stoops shall be constructed of a natural material; the use of brick or bluestone is encouraged.
 - ee. Railing: railings are to be integral with the architecture and character of the residence. They are not to be treated as an independent feature.
 - ii. Front doors and entries may provide the residence with an additional touch of personality. Special care shall be given to the design and detail of such elements and shall be based on the fundamental principles of the Classical Orders.
 - iii. Certain architectural styles, for example, European Country or Midwestern Vernacular, allow for heavier entryways and more deeply recessed doors. Classical principles of proportion still apply in the design and detailing of this type of surround.
- h. Chimneys: All exterior portions of chimneys shall be finished with masonry consisting of brick, stone, or manufactured stone. The use of stucco, siding, and wood shall be prohibited. Cantilevered chimneys are not permitted. Chimneys located on exterior walls must be continuous to the grade line or a substantial structure (e.g., deck, porch, patio slab, etc.).
- i. Lighting: Each unit shall have a minimum of one (1) approved yard post light near the sidewalk at the front entry and one (1) wall-mounted porch light at the front door. Lamp locations shall be consistent from unit to unit.
- j. Front Porches: Front porches shall be covered and open. Glass and screens shall be prohibited.
- k. Windows: Windows shall be constructed either of wood, painted aluminum, or vinyl clad and shall have clear glass. All windows must have grid patterns. Windows shall be double hung or operable casements. Transoms shall be oriented horizontally with vertically proportioned panes of glass. There shall be no flush-mounted windows. Bay windows shall not be cantilevered.



- i. Window Requirements:

- aa. Window grids are to be proportionally similar on all windows with vertical orientation.
 - bb. Light cuts with equivalent horizontal and vertical dimensions are permitted provided that the window maintains an overall vertical proportion.
 - cc. Window surrounds and/or trim appropriate to the architectural character of the residence are required.
- ii. Typical Window Types and Proportions
- aa. Double Hung - Typical of Classical and Colonial Revival styles; American Period Revival; appropriate for all styles.
 - bb. Casement - Typical of Classical and Colonial Revival styles.
 - cc. Arched Top - Typical of European Country styles; also appropriate for Midwestern Vernacular.



- I. Soffit and Fascia: Soffit, fascia, and trim shall consist of vinyl, aluminum, wood, or wood composite materials. Fascia and trim may be capped with vinyl or aluminum. Colors for soffit, fascia, trim, and gutter materials shall be compatible with the color of the dwelling.
8. Garages:
- a. Permitted Garage Configurations: The various lot types to be found in the Overlook at Tartan Ridge development are each intended to accommodate certain garage configurations. The range of permissible garage configurations shall be defined as follows:
 - i. Street loaded / front oriented: Garage faces the public street frontage of the lot and is loaded from a public street in front of the lot. This type of garage must be located at the maximum 25-foot setback line of the lot, or as otherwise shown on Exhibits C-2 and C-3, revised November 29, 2023. Other portions of the front façade, not including the garage, shall be permitted to extend up to the 15-foot minimum setback line. Single bay and double bay overhead doors are permitted. The garage shall comprise no more

than 45% of the total width of the front elevation (not applicable to sideloaded/court-oriented garages where garage does not face front of house)

- ii. Street loaded / court oriented: Garage faces the side of the lot and is loaded from a public street in front of the lot via a driveway court. Court oriented garages shall be set back a minimum of 15 feet, and a maximum of 25 feet from the right-of-way, or as otherwise shown on Exhibits C-2 and C-3, revised on November 29, 2023. Garages with two (2) or three (3) bays shall be permitted in this configuration. Single bay and double bay overhead doors are permitted. A minimum of 22 lots within The Overlook at Tartan Ridge shall have street loaded / court-oriented garages.
 - b. Additional Garage Standards: Double bay overhead doors and garages containing three (3) or more garage bays shall be permitted unless otherwise set forth herein.
 - c. Percentage of Elevation: The garage shall comprise no more than 45% of the total linear width of the front elevation (not applicable to sideloaded/court-oriented garages where garage does not face front of house)
9. Driveways: All driveways within The Overlook at Tartan Ridge shall be constructed of brick pavers as indicated on the preliminary development plans.
10. Gates and Gateposts: Either (a) gateposts or (b) gateposts and a gate shall be required on the front of each lot at the end of the brick sidewalk running from the front door, if such sidewalk is connected to the public sidewalk.
- a. Gate and Gatepost Requirements

- i. Gateposts are required and shall be located at the intersection of the public sidewalk and the brick sidewalk running from the front door, if the brick sidewalk is connected to the public sidewalk.
- ii. Gateposts shall integrate with the standard landscape hedge.
- iii. The design of gates and gateposts shall be appropriate to the architectural character the residence. For example, the iron gate and stone piers pictured below are





Curved Rail



Iron Gate & Stone Piers



Painted Wood Picket

appropriate for European Country styles but may not be appropriate for Classical or Colonial Revival styles.

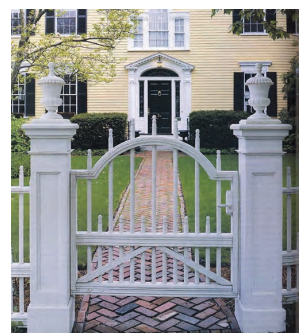
b. Brick or stone Piers

- i. Brick or stone piers are required for Courtyard Lots, and Patio Lots, and shall be installed on either side of the brick driveway. Piers may be freestanding or used in combination with an entry gate. The pier material shall coordinate with the primary masonry material used on the residence.



c. Wood Posts

- i. Wood posts shall be detailed in a manner appropriate to the architectural character of the residence.
- ii. When wood posts are freestanding, they shall portray the appearance of solidity.
- iii. Special attention should be given to the incorporation of the gateposts and gates with the landscape hedge and brick sidewalk.
- iv. The relationship between the residence, front entry, and gateposts should be taken into account when considering a gatepost's design.



11. Access, Loading and other Traffic-Related Commitments:

- a. Public Streets: All roadways constructed as a part of this residential development shall be public. All public streets shall have a minimum right-of-way width of fifty (50) feet. Pavement width shall be a minimum of twenty-eight (28) feet measured back of curb to back of curb. Public streets shall be constructed in accordance with the City of Dublin Code and the standards established by the City of Dublin Engineer.
- b. Frontage: all dwelling units in the Overlook at Tartan Ridge shall front a public roadway.
- c. Sidewalks, bike path, leisure trails:
 - i. For Public Use: A final system of sidewalks, bike paths, and leisure trails shall be provided as approved in the final development plan. Sidewalks shall be constructed of concrete and shall be a minimum of four (4) feet in width. Bike paths shall be constructed of asphalt and shall be a minimum of eight (8) feet in width. Leisure trails shall be constructed of a pervious surface and shall be a minimum of eight (8) feet in width.
 - ii. For Private Use: Private sidewalks on individual lots shall be constructed of Brick Pavers to match the driveways and may be connected from the front door to the driveway, or from the front door to the public sidewalk. If private sidewalks are extended from the front door to the public sidewalk, the Gates and Gateposts section shall apply.

12. Buffering, Landscaping, Open Space, and Screening Commitments:

- a. A landscaping plan for this subarea shall be submitted to the Planning Commission as a part of the Final Development Plan. Landscaping shall be in conformance with that which is approved as a part of the Final Development Plan and shall conform to these general standards
- b. All residential landscaping shall meet the requirements of Sections 153.130 through 153.148 of the City of Dublin Zoning Code.
- c. Maintenance of Open Space: Reserve 'A' shall be owned by the City of Dublin and maintained by the Tartan Ridge Master Homeowners Association. The overlook structure and associated path adjacent to the retention basin within Reserve 'A' shall be maintained by The Overlook at Tartan Ridge homeowners sub-association.
- d. Street Trees: Street trees shall be required along all public streets. These trees shall be located in the tree lawn and shall be spaced to accommodate driveway locations and public utilities. Spacing shall be determined at the time of final development plan in order to ensure the proper streetscape for each portion of the development. All trees shall be a minimum of two and one-half (2 ½) inches in caliper at installation. Trees may be grouped as indicated on the final development plan, provided

that the quality is in accordance with applicable City of Dublin landscaping standards. Trees shall not obstruct sight distance or signage, subject to staff approval.

- e. Hedges: A hedgerow planting shall be required in front of all residential units in the development. This hedgerow shall be located on the residential property and run parallel to the front property line of each lot containing a single-family home. Details on hedgerow plantings shall be provided at the time of final development plan.
- f. Fences: All fencing in the Tartan Ridge PUD shall conform to the requirements of the City of Dublin Zoning Code unless otherwise set forth in these standard.
- g. Hyland-Croy & McKitrick Road Landscape Buffer: A landscape buffer consisting of a combination of landscape mounding (+/- 4-5' ht.), evergreen trees (2 per 30 L.F.), ornamental trees (3 per 90 L.F.), and deciduous trees (1 per 45 L.F.) planted in a more naturalized manner, similar to the landscape buffer shown on the Preliminary Development Plans, shall be installed along Hyland-Croy and McKitrick Road within the required ninety (90) foot setback behind lots 1-17.

13. Graphics and Signage Commitments:

- a. Unless otherwise set forth herein or approved as a part of a final development plan for this subarea, all signage shall comply with the City of Dublin Signage Code, Sections 153.150 through 153.164.
- b. A signage and graphics plan with exhibits conforming to these guidelines shall be submitted to the Planning Commission as part of the Final Development Plan for The Overlook at Tartan Fields. All signage shall be in conformance with that which is approved as a part of the final development plan.
- c. Ground Signage:
 - i. One (1) ground monument sign identifying the neighborhood, similar in character to the existing Tartan Ridge sign located at Brock Road and Wilton Chase Street, shall be permitted at the main entry of Brenham Way and McKitrick Road.
 - ii. A maximum graphic area of fifty (25) square feet per sign face shall be permitted, with a limit of no more than two (2) faces per sign.
 - iii. The maximum height of each ground sign shall be six (6) feet above grade.
 - iv. The ground sign shall have a rectangular profile and shall have a masonry base that is harmonious to the masonry used on the other entries in the Tartan Ridge Development.

14. Homeowners' Association: All residential property owners located within the Overlook at Tartan Ridge PUD shall be required to join and maintain membership in the Tartan Ridge Master Association as well as a forced and funded homeowners' association, which shall be a sub-association of the overall Tartan Ridge master association and will be formed prior to any lots being sold. Homeowners' association responsibilities shall be detailed within Declarations of Covenants and Restrictions that shall be duly recorded in the office of the Union County Recorder. These Declarations of Covenants and Restrictions shall run with the land and shall include a requirement that Reserve 'A' shall be owned by the City of Dublin and maintained by the Tartan Ridge Master Homeowners Association, and that the hedgerows, overlook structure and associated path adjacent to the retention basin within Reserve 'A' shall be maintained by The Overlook at Tartan Ridge homeowners sub-association as outlined in this text.
15. Model Homes: Homes may be used as model homes in each subarea for the purpose of marketing and sales. A manufactured modular building or model home may be used as a sales office during the development of the project and the construction of homes therein, subject to City of Dublin Zoning Code Section 153.098.