



## PLANNING REPORT

# Planning and Zoning Commission

Thursday, December 7, 2023

## OVERLOOK AT TARTAN RIDGE 23-111AFDP

[www.dublinohiousa.gov/pzc/23-111](http://www.dublinohiousa.gov/pzc/23-111)

### Case Summary

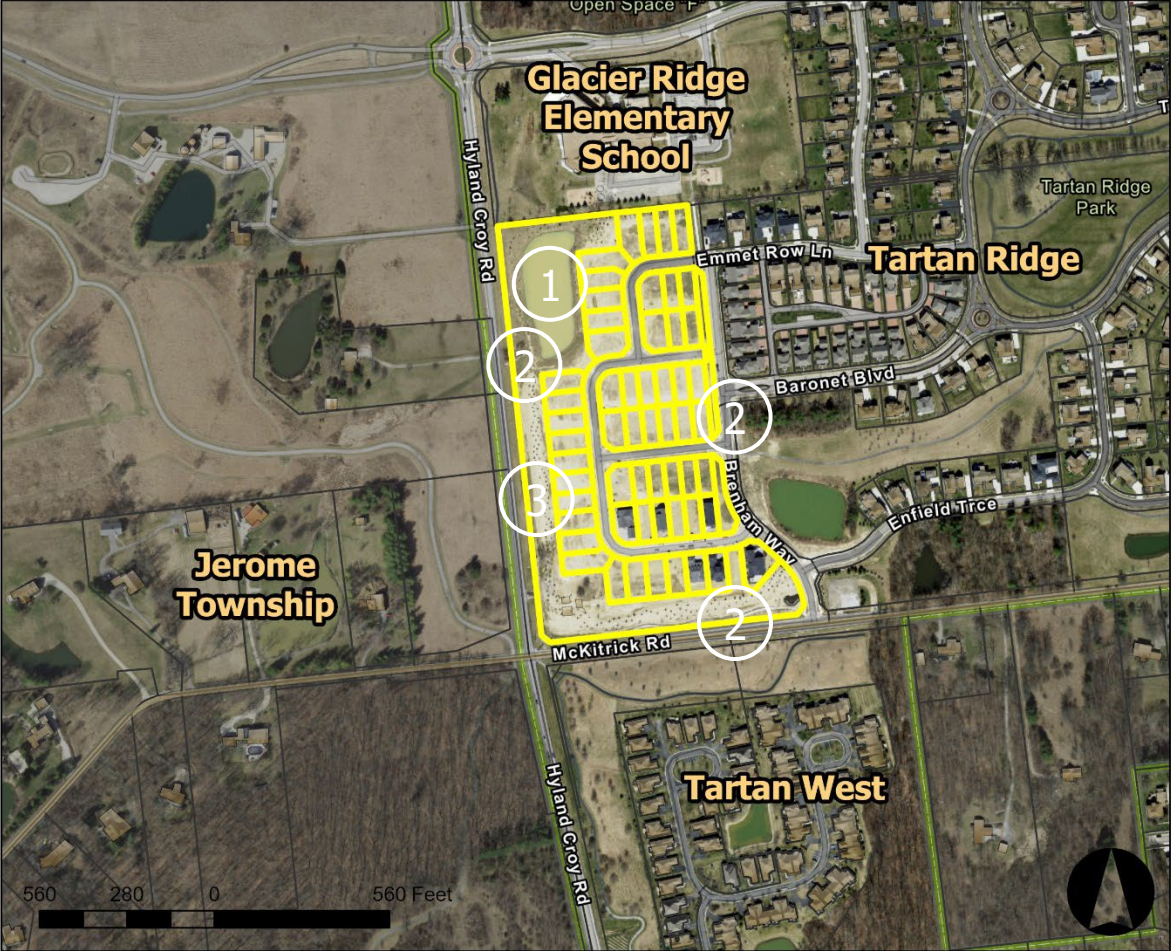
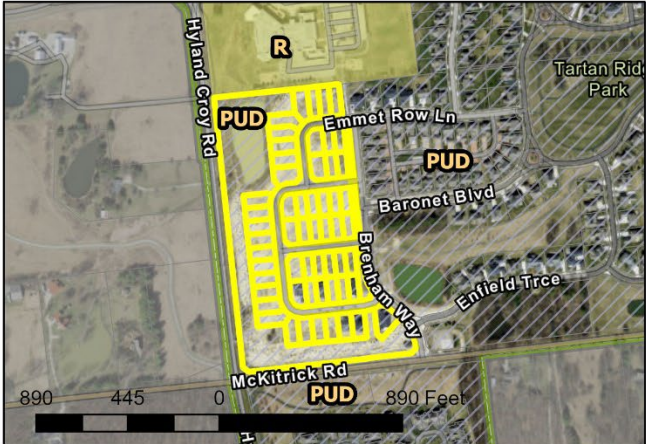
Address	7520 McKittrick Rd.
Proposal	Proposal for an Amended Final Development Plan to modify the development text standards of an existing Planned Unit Development (PUD).
Request	Request for review and approval of an Amended Final Development Plan with a Text Modification under the provisions of Zoning Code Sections 153.055 and 153.053 (E)(2)(b)(4)(b).
Zoning	Planned Unit Development (PUD) – The Overlook at Tartan Ridge
Planning Recommendation	<u>Approval of the Amended Final Development Plan with a Minor Text Modification with condition.</u>
Next Steps	Upon approval of the Amended Final Development Plan (AFDP) with a Text Modification, the applicant may file for building permits through Building Standards.
Applicant	Gary Smith, G2 Planning & Design Phil Moorehead, G2 Planning & Design Kyle Shreves, EMH&T Derick Moseley, EMH&T Leanne Brewster, RH-Homes Jim Ohlin, RH-Homes
Case Manager	Taylor Mullinax, AICP, Planner I (614) 410-4632 <a href="mailto:tmullinax@dublin.oh.us">tmullinax@dublin.oh.us</a>

Site Location Map

23-111AFDP | Overlook at Tartan Ridge



- Site Features**
- 1 Existing stormwater management pond
  - 2 Existing shared use path
  - 3 Reserve A



## 1. Background

### Site Summary

The ±24-acre site is located northeast of the intersection of Hyland-Croy Road and McKittrick Road in the southwestern portion of the Tartan Ridge development. The previously-existing Tartan Ridge Subareas E, F, and a portion of D1 were rezoned to PUD - The Overlook at Tartan Ridge. The site is under construction and partially developed with homes with reserve space to the north, west, and south of the development. Access to the neighborhood is off McKittrick Road on Brenham Way.

The site was annexed into the City of Dublin in 2002 (Ord. 71-02) and originally rezoned in 2007 (Ord. 16-07) to PUD - Tartan Ridge. The 2007 zoning of the subareas called for a mix of housing and commercial development and was rezoned in 2020 to permit single-family homes in Subarea F.

### Development History

#### *March 2021*

City Council approved a Final Plat (FP) (Resolution 16-21).

#### *January 2021*

The Planning & Zoning Commission (PZC) reviewed and approved a Final Development Plan (FDP), and made a recommendation for approval of a FP to City Council.

#### *February 2020*

City Council approved a Rezoning/Preliminary Development Plan (PDP) (Ord. 07-20), and accepted a Preliminary Plat (PP) (Resolution 16-20).

#### *December 2019*

PZC reviewed and recommended approval of a PP, Rezoning, and a PDP to City Council. The site was proposed to be rezoned from PUD - Tartan Ridge, to PUD - The Overlook at Tartan Ridge.

#### *July 2019*

PZC provided non-binding feedback on a Concept Plan.

### Process

The PZC is the reviewing body for an AFDP. Development of a site is generally a three-step process with an additional fourth step if amendments to an FDP or Development Text is required.

- 1) Concept Plan (CP)
- 2) Preliminary Development Plan (PDP)/Rezoning
- 3) Final Development Plan (FDP)
- 4) *Amended Final Development Plan (AFDP)*

## 2. City Plans and Policies

### *Interim Land Use Principles*

As Envision Dublin, the City's Community Plan update, is developed, City Council has adopted Interim Land Use Principles to guide development during this transition. The goal was to provide a clear policy document to supplement adopted plans and accepted planning practices in the interim. These principles are to be utilized similar to the recommendations of the Community Plan, as both are guiding policies and principles for the City. These policies were not established to supersede Zoning Code requirements. The proposed project aligns with all Interim Land Use Principles.

## 3. Project

### **Project Summary**

This is a request for an AFDP with a Minor Text Modification to adjust the maximum building line setback for applicable courtyard and patio lots at the Overlook at Tartan Ridge PUD.

As described in the applicant's narrative, the maximum building line setback did not account for conflict areas on outside corners of lots while maintaining the development's design intent to align homes up and down each street. As designed, the homes on the affected lots cannot be placed within the required building zone and meet the 25-foot maximum front building line setback that follows the road curve without encroaching into additional setback areas.

### **Existing Development Text Details**

The development includes 56 single-family lots separated into two different lot types: courtyard and patio. Courtyard lots are primarily located on the perimeter of the site and are a minimum of 60 feet wide at the building line and a minimum of 125 feet deep. Patio lots are primarily located on the interior of the site and are a minimum of 52 feet wide at the building line and require a minimum lot depth of 125 feet.

For courtyard homes, the front yard setback is a minimum of 15 feet and a maximum of 25 feet from the right-of-way, or as otherwise shown on the PP. For patio homes, the front yard setbacks are also a minimum of 15 feet and a maximum of 25 feet; however, front loaded garages must be located at the maximum setback of 25 feet, while non-garage portions of the front façade may be permitted to extend up to the minimum 15-foot setback. The minimum rear yard setback (25 feet) and side yard setback (6 feet) are the same for both types and will not change with this request.

### **Proposed Changes to the Development Text**

The proposed request is for lots with frontage on the outside radius of roadway segments as shown on Exhibit C-3 (lots 6-9, 16-18, and 20-24). The 25-foot maximum building line setback from the adjacent straight segments of the roadway shall extend in line from those straight segments, whereas the minimum front building line setback will continue to follow the curvature of the road. The lot width is measured at the maximum front building line setback and/or building line extension as described and shown on the exhibits.

The requested change primarily affects courtyard lots, although one patio lot is also affected. The applicant has confirmed that both house types will now fit with these new setback configurations.

If PZC should approve of the AFDP and concerns arise with the placement of building line setbacks and/or extensions as depicted on the exhibits, the applicant shall work with staff to make minor adjustments to the building lines while meeting the intent of the development standards. A recommended condition of approval addresses this.

Staff requested the minimum courtyard lot width be added to Exhibit C-2 to distinguish between courtyard and patio lot width minimums. The additional information on the exhibit provides ultimate clarity and aligns with the development text; there is no change to either minimum lot width standard.

**4. Plan Review**

**Minor Text Modification: Section 153.053(E)(2)(b)(4)(b)**

**Criteria**

- 1) The Planning and Zoning Commission determines that, for this Planned District, the code compliance is not needed in order to ensure that the Planned District is consistent with the Community Plan and compatible with existing, approved, or planned adjacent development;
- 2) The Planning and Zoning Commission determines that the proposed modification does not significantly alter the list of permitted or conditional uses, cause an inappropriate increase in density or cause inconsistencies with the Community Plan;
- 3) The proposed modification results in a development of equivalent or higher quality than that which could be achieved through strict application of the requirement(s);
- 4) The principles of §153.052(B) are achieved; and
- 5) The development, as proposed on the final development plan, will have no adverse impact upon the surrounding properties or upon the health, safety or general welfare of the community.

Request	Review
<p>1. To modify the Overlook at Tartan Ridge development text under Development Standards, Section F (1)(a and b), (2)(a and b)(iii), and (8)(a)(i and ii), setback requirements: to extend the maximum building line setback for lots 6-9, 16-18, and 20-24 to be in line with that of the adjacent lots along the straight roadway segments, or as otherwise shown on Exhibits C-2 and C-3.</p>	<p><b>Criteria Met:</b> The proposed text modification does not violate or create inconsistencies in the recommendations of the Community Plan and allows the development of the neighborhood to continue with construction in an orderly and efficient manner. The modified maximum building line setback for applicable lots allows the homes to be located in line with adjacent homes and maintain the overall neighborhood design intent. The request has no adverse impact upon the surrounding properties and community. A recommended condition of approval allows staff to approve minor adjustments to building line setbacks should any future issues arise.</p>

**Amended Final Development Plan**

Criteria	Review
1. The plan conforms in all pertinent respects to the approved preliminary development plan.	<b>Criteria Met with Condition:</b> The AFDP is consistent with the approved PDP, except for the text modification and requested changes to the maximum building setback line. If concerns arise at permitting with the placement of building line setbacks and/or extensions as depicted on the exhibits, the applicant shall work with staff to make minor adjustments to the building lines while meeting the intent of the development standards.
2. Adequate provision is made for safe and efficient pedestrian and vehicular circulations within the site and to the adjacent property.	<b>Not Applicable:</b> The AFDP does not affect pedestrian and vehicular circulation within the site and adjacent property.
3. The development has adequate public services and open spaces.	<b>Not Applicable:</b> The AFDP does not affect public services or open spaces.
4. The development preserves and is sensitive to the natural characteristics of the site in a manner that complies with the applicable regulations set forth in the Code.	<b>Not Applicable:</b> The AFDP does not alter existing preserves and natural characteristics of the site.
5. The development provides adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas without unnecessarily spilling or emitting light onto adjacent properties or the general vicinity.	<b>Not Applicable:</b> The AFDP does not affect development lighting.
6. The proposed signs are coordinated within the PUD and with adjacent development.	<b>Not Applicable:</b> There are no proposed signs or changes to existing signs with this AFDP request.
7. The landscape plan will adequately enhance the principle building and site; maintain existing trees to the extent possible; buffer adjacent incompatible uses; break up large expanses of pavement with natural material; and provide appropriate plant materials for the buildings, site, and climate.	<b>Not Applicable:</b> The AFDP does not affect approved landscape plans.

Criteria	Review
8. Adequate provision is made for storm drainage within and through the site which complies with the applicable regulations in the Code and any other design criteria established by the City or any other government entity which may have jurisdiction over such matters.	<b>Criteria Met:</b> The requested modifications in the AFDP continue to provide adequate storm drainage within and through the site.
9. If the project is to be carried out in progressive stages, each stage shall be so planned that the foregoing conditions are complied with at the completion of each stage.	<b>Not Applicable:</b> The AFDP is not to be carried out in phases.
10. The City believes the project to be in compliance with all other local, state, and federal laws and regulations.	<b>Criteria Met:</b> The proposed modifications in the AFDP are in compliance with all local, state, and federal laws and regulations.

**Recomendation**

**Planning Recommendation:** Approval of an Amended Final Development Plan with a Text Modification with condition.

- 1) After approval of the AFDP, should concerns arise with the placement of building line setbacks and/or extensions as depicted on the exhibits, the applicant shall work with staff to make minor adjustments to the building lines while meeting the intent of the development standards.