

**SITE DATA:**

OWNER/DEVELOPER/  
APPLICANT: CORWIN PROPERTIES  
30 S HIGH ST.  
DUBLIN, OH 43017  
KWITT@BSDARCHITECTS.COM  
614-735-2592

PLAN DESIGNER: OSBORN ENGINEERING  
130 EAST CHESTNUT ST, SUITE 401  
COLUMBUS, OH 43215  
PHONE: 614-556-4272  
EMAIL: WDAVIS@OSBORN-ENG.COM

PID NO: 273-000008-00  
ADDRESS: 30 SOUTH HIGH STREET  
DUBLIN, OHIO 43017

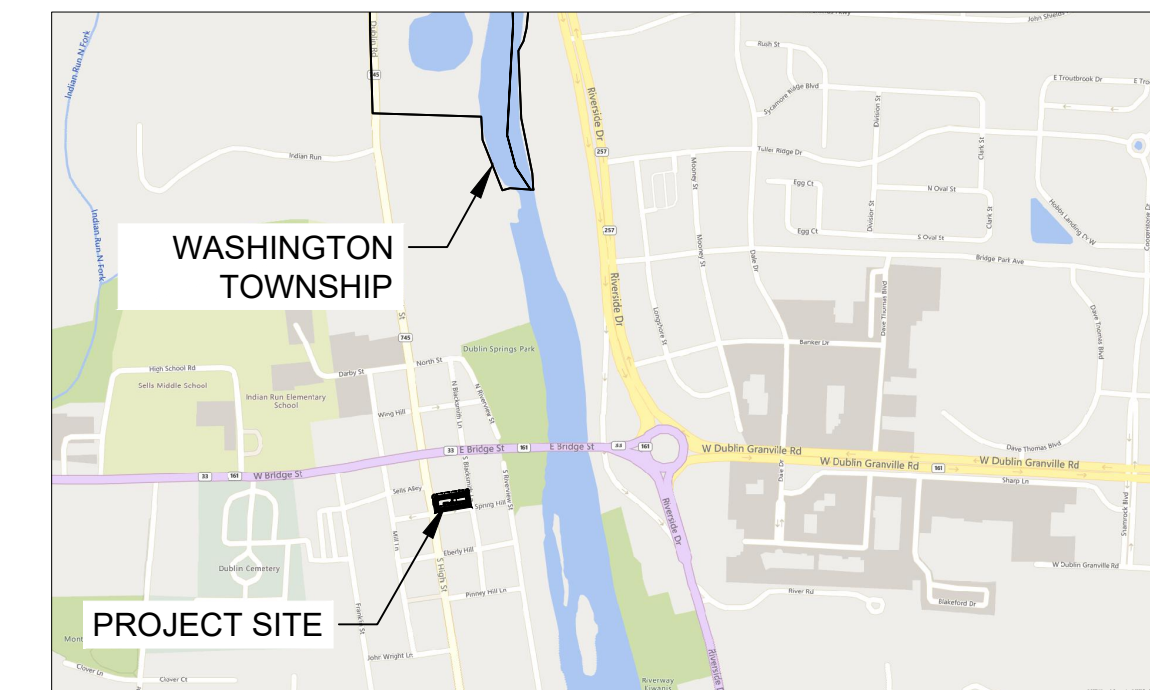
DEVELOPMENT: NEW WINE AND BOURBON BAR  
SITE GROUND COVER: CONCRETE SIDEWALK AND GRASS

SITE DRAINS TO: SITE GENERALLY SHEET FLOWS FROM  
THE WEST TO THE EAST

ADJACENT AREAS: COMMERCIAL, RESIDENTIAL

SITE DATA TABLE	
TOTAL SITE AREA	10,926 AF - 0.25 AC
TOTAL DISTURBED AREA	2,772 SF - 0.06 AC
INCREASED IMPERVIOUS AREA	1,967 SF - 0.05 AC
IMPERVIOUS DISTURBED AREA	783 SF - 0.02 AC

# AMENDED FINAL DEVELOPMENT PLANS FOR CORWIN PROPERTIES LLC THE APOTHECARY AND UNCORKED 30 SOUTH HIGH STREET CITY OF DUBLIN, FRANKLIN COUNTY, OHIO 43017 2023



VICINITY MAP  
1" = 1000'  
NORTH



**ZONING INFORMATION:**

ZONING DISTRICT: BSC-HC: BRIDGE STREET DISTRICT -  
HISTORIC CORE

MAX. BUILDING HEIGHT: 30'-0"

MAX. LOT COVERAGE: 85%

MAX. BUILDING FOOTPRINT: N/A

30 S. HIGH BUILDING AREA: EXISTING = 338 SF  
PROPOSED = 1147 SF ADDITION, 422 SF PAVILLION  
TOTAL = 1907 SF

32 S. HIGH BUILDING AREA: EXISTING = 1656 SF  
PROPOSED = 25 SF  
TOTAL = 1681 SF

GROSS BUILDING AREA: 3588 SF

FRONT BUILDING SETBACK: 0 FT  
SIDE BUILDING SETBACK: 0 FT  
REAR BUILDING SETBACK: 5 FT

**ZONING CALCULATIONS:**

- ONSITE PARKING CALCULATIONS**
  - REQUIRED: 30 S. HIGH: 1907 \* (10 SPACE / 1,000 SF) = 20 SPACES  
32 S. HIGH: 1681 \* (10 SPACE / 1,000 SF) = 17 SPACES  
TOTAL = 37 SPACES
  - PROPOSED: 0 PARKING SPACES
- BICYCLE PARKING CALCULATIONS**
  - REQUIRED: REQUIRED PARKING \* (1 BIKE / 10 SPACES) \* (1 RACK / 2 BIKES) = 10 SPACES \* (1 BIKE / 10 SPACES) \* (1 RACK / 2 BIKES) = 1 RACK
  - PROPOSED: 1 RACK
- MINIMUM LOT SIZE**
  - EXISTING: 0.12, 0.13 ACRES
  - PROPOSED: 0.12, 0.13 ACRES
- MAXIMUM LOT COVERAGE**
  - MAXIMUM: 85% MAX (0.21 ACRES)
  - PROPOSED: 40% (0.10 ACRES)

**REFUSE:**

65 GALLON LANDFILL AND RECYCLING TOTES WILL BE UTILIZED FOR REFUSE  
OWNER TO COORDINATE WITH SCHEDULED PICKUP

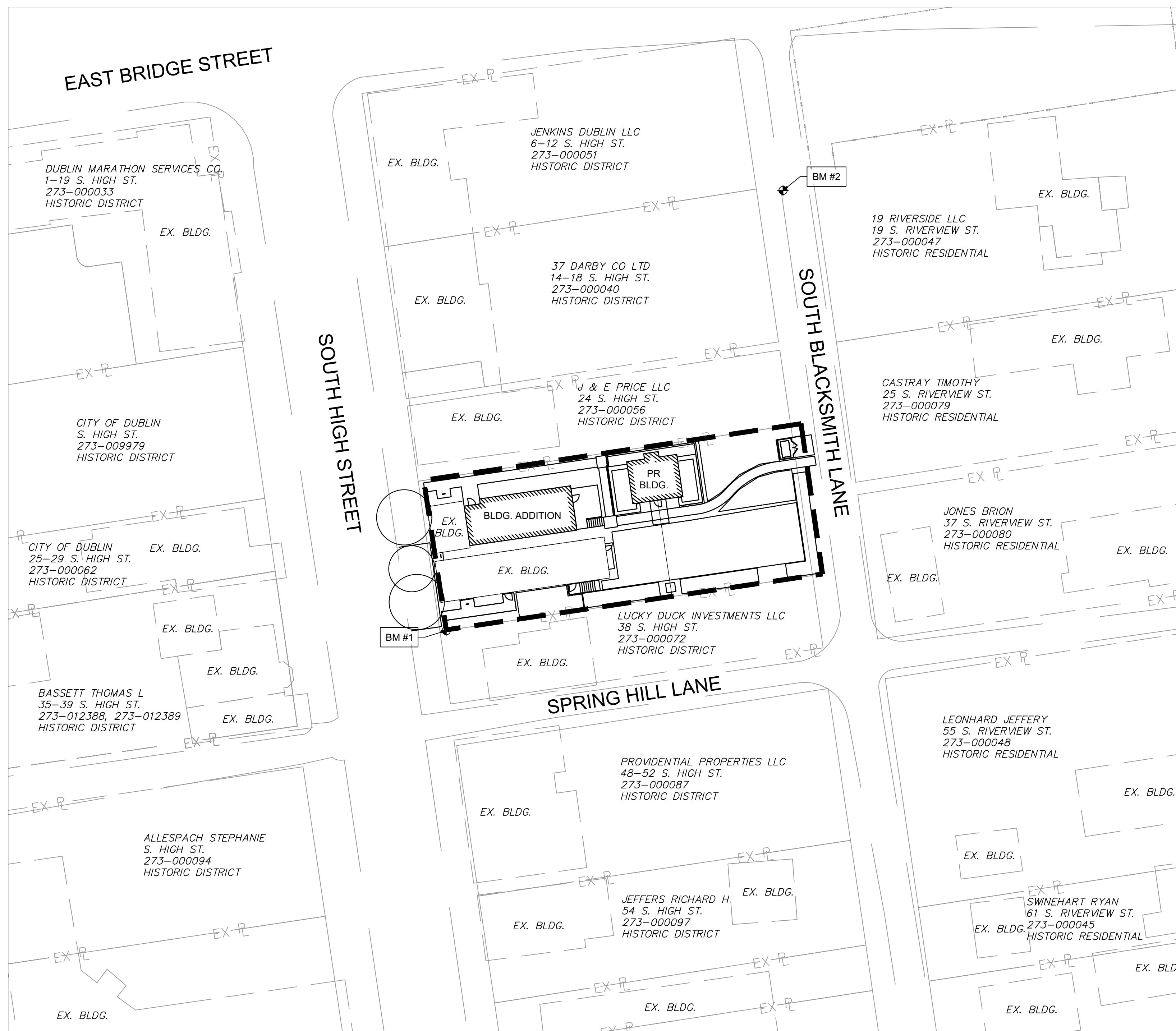
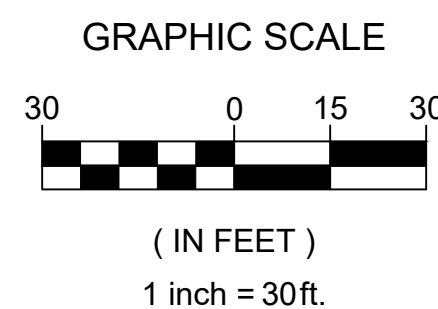
**STANDARD DRAWINGS:**

THE STANDARD DRAWINGS LISTED ON THIS PLAN SHALL  
BE CONSIDERED A PART THEREOF:

**CITY OF DUBLIN**

- RD-01: TYPICAL STREET SECTION
- RD-05: CONCRETE SIDEWALK AND SHARED-USED PATH
- RD-11: STRAIGHT 18" CONCRETE CURB
- RD-12: BRICK PAVER SIDEWALK

**UNDERGROUND UTILITIES**  
2 WORKING DAYS  
BEFORE YOU DIG  
CALL 800-362-2764 (TOLL FREE)  
OHIO UTILITIES  
PROTECTION SERVICE  
NON-MEMBER  
MUST BE CALLED DIRECTLY



INDEX MAP  
SCALE - 1"=30'

**SURVEY NOTE:**

A TOPOGRAPHIC SURVEY PROVIDED BY LANDMARK  
SURVEY GROUP INCORPORATED DATED 11-2017.

**BENCHMARK:**

BENCHMARK #1 ~ TOP OF IRON PIN AT SOUTH WEST  
CORNER OF SITE  
N = 765037.78 E = 1796861.74 ELEV=827.80

BENCHMARK #2 ~ RIM OF SANITARY SEWER 100 +/-  
NORTH OF SITE  
N = 765229.15 E = 1797007.86 ELEV=813.52

**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE  
OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE,  
NAD 83 DATUM (2011), TAKEN FROM GPS OBSERVATION

**VERTICAL DATUM:**

ELEVATIONS ARE BASED ON NORTH AMERICAN  
VERTICAL DATUM 1988 (NAVD88). DATUMS WERE  
ESTABLISHED USING GPS REFERENCING ODOT VRS  
NETWORK.

**FLOOD DESIGNATION**

ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE  
MAP #39049C0151K, DATED JUNE 17, 2008 FOR  
COMMUNITY NUMBER 390673, THIS PROPERTY IS IN  
ZONE X, AREA OF MINIMAL FLOOD HAZARD.

**INDEX OF SHEETS**

Sheet Number	Sheet Title
C-001	TITLE SHEET
C-001A	GENERAL NOTES
C-002	EXISTING CONDITIONS
C-002A	SURVEY
C-003	DEMOLITION PLAN
C-100	SITE PLAN
C-101	CONSTRUCTION DETAILS
C-102	CONSTRUCTION DETAILS
C-200	GRADING PLAN
C-201	RETAINING WALL PLAN
C-300	UTILITY PLAN
C-400	EROSION CONTROL PLAN
C-401	EROSION CONTROL DETAILS

**CORWIN PROPERTIES LLC**

**THE APOTHECARY AND UNCORKED**

PROJECT LOCATION:  
30 SOUTH HIGH STREET  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO 43017

TAG	ISSUED	DATE
1	ARB - REVISION	10/30/2023

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DRAWN BY DT  
CHECKED BY WD  
CLIENT PROJ. NO.

OSBORN PROJ. NO. J20211064.000

**TITLE SHEET**

DRAWING NO.  
**C-001**

CITY OF DUBLIN PROJECT NUMBER: 23-017-COM

**GENERAL NOTES**

1. CITY OF COLUMBUS AND OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITIONS, AND ANY SUPPLEMENTS THERETO (HEREAFTER REFERRED TO AS STANDARD SPECIFICATIONS), SHALL GOVERN ALL CONSTRUCTION ITEMS UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS IS FOUND, THE MORE STRICT SPECIFICATION WILL APPLY AS DECIDED BY THE CITY ENGINEER. ITEM NUMBERS LISTED REFER TO CITY OF COLUMBUS ITEM NUMBERS UNLESS OTHERWISE NOTED.

2. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION THAT ARE NOT SPECIFIED HEREIN. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE WORK SITE, OR FOR FAILURE BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO CONTRACT DOCUMENTS.

3. THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS INCLUDING BUT NOT LIMITED TO OHIO EPA PERMITS TO INSTALL (PTI) AND NOTICES OF INTENT (NOI), BUILDING PERMITS, ETC.

4. THE CONTRACTOR SHALL NOTIFY THE CITY OF DUBLIN DIVISION OF ENGINEERING IN WRITING AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.

6. FOLLOWING COMPLETION OF CONSTRUCTION OF THE SITE IMPROVEMENTS AND BEFORE REQUESTING OCCUPANCY, A PROOF SURVEY SHALL BE PROVIDED TO THE DIVISION OF ENGINEERING THAT DOCUMENTS "AS\_BUILT" ELEVATIONS, DIMENSIONS, SLOPES AND ALIGNMENTS OF ALL ELEMENTS OF THIS PROJECT. THE PROOF SURVEY SHALL BE PREPARED, SIGNED AND SUBMITTED BY THE PROFESSIONAL ENGINEER WHO SEALED THE CONSTRUCTIONS DRAWINGS.

7. THE CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITY TO PUBLIC RIGHT-OF-WAY AND AREAS DEFINED AS PERMANENT AND/OR TEMPORARY CONSTRUCTION EASEMENTS, UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.

8. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASES OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS. RESETTING OF MARKERS SHALL BE PERFORMED BY AN OHIO PROFESSIONAL SURVEYOR AS APPROVED BY THE CITY ENGINEER.

9. NON RUBBER TIRED VEHICLES SHALL NOT BE MOVED ON OR ACROSS PUBLIC STREETS OR HIGHWAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.

10. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS SECTIONS THAT EXISTED BEFORE CONSTRUCTION.

11. TRACKING OR SPILLING MUD, DIRT OR DEBRIS UPON STREETS, RESIDENTIAL OR COMMERCIAL DRIVES, SIDEWALKS OR BIKE PATHS IS PROHIBITED ACCORDING TO SECTION 97.38 OF THE DUBLIN CODE OF ORDINANCES. ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE CITY. IF THE CONTRACTOR FAILS TO REMOVE SAID MUD, DIRT, DEBRIS, OR SPILLAGE, THE CITY RESERVES THE RIGHT TO REMOVE THESE MATERIALS AND CLEAN AFFECTED AREAS, THE COST OF WHICH SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

12. DISPOSAL OF EXCESS EXCAVATION WITHIN SPECIAL FLOOD HAZARD AREAS (100-YEAR FLOODPLAIN) IS NOT PERMITTED.

13. ALL SIGNS, LANDSCAPING, STRUCTURES OR OTHER APPURTENANCES WITHIN RIGHT-OF-WAY DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER. THE COST OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

14. ALL FIELD TILE BROKEN OR ENCOUNTERED DURING EXCAVATION SHALL BE REPLACED OR REPAIRED AND CONNECTED TO THE PUBLIC STORM SEWER SYSTEM AS DIRECTED BY THE CITY ENGINEER. THE COST OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

15. ALL PRECAST CONCRETE PRODUCTS SHALL BE INSPECTED AT THE LOCATION OF MANUFACTURE. APPROVED PRECAST CONCRETE PRODUCTS WILL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT INSPECTION HAS BEEN CONDUCTED BY THE CITY OF COLUMBUS. PRECAST CONCRETE PRODUCTS WITHOUT PROOF OF INSPECTION SHALL NOT BE APPROVED FOR INSTALLATION.

16. BACKFILL WITHIN A 1:1 INFLUENCE LINE OF EXISTING STRUCTURES (HOUSES, GARAGES, ETC.) OR PUBLIC INFRASTRUCTURE (PAVEMENT, CURBS, SIDEWALKS, BIKE PATHS, ETC.) SHALL BE COMPACTED GRANULAR BACKFILL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS OR FLOWABLE CDF, TYPE II ACCORDING TO ITEM 613. ITEM 911 OF THE STANDARD SPECIFICATIONS SHALL BE USED ELSEWHERE.

17. THE CONTRACTOR SHALL SUBMIT A COPY OF THE APPROVED CONSTRUCTION DRAWINGS AND A LIST OF PROPOSED PRECAST CONCRETE PRODUCT MANUFACTURERS TO THE CITY OF COLUMBUS CONSTRUCTION INSPECTION DIVISION BEFORE COMMENCING CONSTRUCTION.

SEND THE INFORMATION TO THE FOLLOWING ADDRESS:

CONSTRUCTION INSPECTION DIVISION  
CITY OF COLUMBUS  
1800 EAST 17TH AVENUE  
COLUMBUS, OHIO 43219

SEND A COPY OF THE TRANSMITTAL LETTER TO THE FOLLOWING ADDRESS:

DIVISION OF ENGINEERING  
CITY OF DUBLIN  
6555 SHIER RINGS ROAD  
DUBLIN, OHIO 43016

18. ALL TRENCHES WITHIN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS OR SECURELY PLATED DURING NONWORKING HOURS. TRENCHES OUTSIDE THESE AREAS SHALL BE BACKFILLED OR SHALL BE PROTECTED BY APPROVED TEMPORARY FENCING OR BARRICADES DURING NONWORKING HOURS. CLEAN UP SHALL FOLLOW CLOSELY BEHIND THE TRENCHING OPERATION.

19. ALL TREES WITHIN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. TREES TO BE PRESERVED SHALL BE PROTECTED WITH HIGH VISIBILITY FENCING PLACED A MINIMUM 15 FEET FROM THE TREE TRUNK. TREES 6 - INCHES OR GREATER AT DBH (DIAMETER BREST HEIGHT) MUST BE PROTECTED WITH FENCING PLACED AT THE CRITICAL ROOT ZONE OR 15 FEET, WHICHEVER IS GREATER. TREES NOT INDICATED ON THE APPROVED CONSTRUCTION DRAWINGS FOR REMOVAL MAY NOT BE REMOVED WITHOUT PRIOR APPROVAL OF THE DIVISION OF ENGINEERING.

20. CONDUIT MUST BE DIRECTIONALLY BORED ACROSS STREETS INSTEAD OF OPEN CUT, UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER. USE OF PNEUMATIC AIR RAM DEVICES IS NOT PERMITTED. PERMITS TO CONSTRUCT IN THE RIGHT-OF-WAY OF EXISTING STREETS MUST BE

OBTAINED FROM THE CITY OF DUBLIN DIVISION OF ENGINEERING BEFORE COMMENCING CONSTRUCTION. SHOULD OPEN CUTTING OF EXISTING PAVEMENT BE PERMITTED, CONTROLLED DENSITY BACKFILL (TYPE II) SHALL BE USED IN PLACE OF COMPACTED GRANULAR BACKFILL, ACCORDING TO ITEM 613 OF THE STANDARD SPECIFICATIONS.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF TRENCHES WITHIN THE RIGHT-OF-WAY AND PUBLIC EASEMENTS FOR A PERIOD OF ONE YEAR FROM THE FINAL ACCEPTANCE OF THE WORK, AND SHALL MAKE ANY NECESSARY REPAIRS AT NO COST TO THE CITY.

22. PAVEMENTS SHALL BE CUT IN NEAT, STRAIGHT LINES THE FULL DEPTH OF THE EXISTING PAVEMENT, OR AS REQUIRED BY THE CITY ENGINEER. PAVEMENT REPLACEMENT SHALL BE CONDUCTED ACCORDING TO CITY OF COLUMBUS STANDARD DRAWING 1441 DR. A AND APPLICABLE CITY OF DUBLIN STANDARD DRAWINGS. THE REPLACEMENT OF DRIVEWAYS, HANDICAPPED RAMPS, SIDEWALKS, BIKE PATHS, PARKING LOT PAVEMENT, ETC. SHALL BE PROVIDED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS AND CITY OF DUBLIN STANDARD CONSTRUCTION DRAWINGS.

23. TREE TRIMMING WITHIN THE CONSTRUCTION ZONE IS TO BE COMPLETED BY A CERTIFIED ARBORIST. AT THE COMPLETION OF THE PROJECT, THE ARBORIST IS TO RETURN AND TRIM ANY BROKEN BRANCHES AS NEEDED.

24. ANY MODIFICATION TO THE WORK SHOWN ON DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY ENGINEER, CITY OF DUBLIN.

25. ALL INLETS SHALL BE CHANNELIZED.

26. PARK AREAS SHALL BE FINE\_GRADED AND SEEDED WITH THE FOLLOWING MIXTURE:

IMPROVED KENTUCKY BLUEGRASS: 40% OF WEIGHT (2 VARIETIES IN EQUAL PARTS)  
IMPROVED PERENNIAL RYE: 60% OF WEIGHT (2 VARIETIES IN EQUAL PARTS)  
GERMINATION RATE: 85%  
APPLICATION RATE: 7 LBS PER 1000 SQ FT OR AS DIRECTED BY THE DIVISION OF PARKS AND RECREATION, CITY OF DUBLIN, OHIO.

27. TRAFFIC CONTROL AND OTHER REGULATORY SIGNS SHALL BE TYPE S WITH A SQUARE POST ANCHOR BASE INSTALLATION AND MEET ALL REQUIREMENTS OF ODOT TC-41.20 AND APPLICABLE CITY OF DUBLIN SPECIFICATIONS.

28. STREET SIGNS SHALL MEET ALL CITY OF DUBLIN SPECIFICATIONS WITH LETTERING COLORED IN WHITE DISPLAYED OVER A BROWN BACKGROUND. SIGN TUBING SHALL BE BROWN IN COLOR AND CONFORM WITH THE TYPE S, SQUARE POST ANCHOR BASE INSTALLATION REQUIREMENTS OF ODOT TC-41.20.

**UTILITIES**

1. THE FOLLOWING UTILITIES ARE KNOWN TO BE LOCATED WITHIN THE LIMITS OF THIS PROJECT:

WATER: COLUMBUS DIVISION OF WATER  
PH: (330) 253-8267  
GAS: COLUMBIA GAS OF OHIO  
PH (614) 818-2104

SANITARY & STORM SEWER: CITY OF DUBLIN STREETS & UTILITIES  
PH: (614) 410-4750  
TELEPHONE: AT&T  
PH (614) 223-7276

ELECTRICITY: AMERICAN ELECTRIC POWER  
PH (740) 348-5322

2. THE CONTRACTOR SHALL GIVE NOTICE OF INTENT TO CONSTRUCT TO OHIO UTILITIES PROTECTION SERVICE (TELEPHONE NUMBER 800.362.2764), PRODUCER'S UNDERGROUND PROTECTION SERVICE (TELEPHONE NUMBER 614.587.0486), AND TO OWNERS OF UNDERGROUND UTILITIES THAT ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE. NOTICE SHALL BE GIVEN AT LEAST 2 WORKING DAYS BEFORE START OF CONSTRUCTION.

3. THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. THE CITY OF DUBLIN AND THE CITY ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR DEPTHS OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.

4. LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

5. WHEN UNKNOWN OR INCORRECTLY LOCATED UNDERGROUND UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE CITY ENGINEER.

6. PUBLIC STREET LIGHTING MAY BE IN THE VICINITY OF THIS PROJECT. CONTACT THE CITY OF DUBLIN, DIVISION OF ENGINEERING AT 410-4637, TWO DAYS PRIOR TO BEGINNING WORK.

**TRAFFIC CONTROL**

1. TRAFFIC CONTROL SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR ACCORDING TO OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD), CURRENT EDITION.

2. ALL TRAFFIC LANES OF PUBLIC ROADWAYS SHALL BE FULLY OPEN TO TRAFFIC FROM 7:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM UNLESS AUTHORIZED DIFFERENTLY BY THE CITY ENGINEER. AT ALL OTHER HOURS THE CONTRACTOR SHALL MAINTAIN MINIMUM ONE LANE TWO WAY TRAFFIC. UNIFORMED, OFF-DUTY POLICE OFFICERS SHALL REPLACE FLAGMEN DESIGNATED BY THE OMUTCD, AND SHALL BE PRESENT WHENEVER ONE LANE, TWO WAY TRAFFIC CONTROL IS IN EFFECT. POLICE CRUISERS MAY BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.

3. IF THE CITY ENGINEER DETERMINES THAT THE CONTRACTOR IS NOT PROVIDING PROPER PROVISIONS FOR TRAFFIC CONTROL, THE CITY ENGINEER SHALL ASSIGN UNIFORMED, OFF-DUTY POLICE OFFICERS TO THE PROJECT AT NO COST TO THE CITY.

4. STEADY\_BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS, AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.

5. ACCESS FROM PUBLIC ROADWAYS TO ALL ADJOINING PROPERTIES FOR EXISTING RESIDENTS OR BUSINESSES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT FOR MAIL, PUBLIC WATER AND SANITARY SEWER SERVICE, AND EMERGENCY VEHICLES. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN DETAILING THE PROPOSED MAINTENANCE OF TRAFFIC PROCEDURES. THE TRAFFIC CONTROL PLAN MUST INCORPORATE ANY TRAFFIC CONTROL DETAILS CONTAINED HEREIN. THE TRAFFIC CONTROL PLAN PROPOSED BY THE CONTRACTOR MUST BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.

**EROSION AND SEDIMENT CONTROL**

1. THE CONTRACTOR OR DEVELOPER IS RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT (NOI) TO BE REVIEWED AND APPROVED BY THE OHIO EPA. THE NOI MUST BE SUBMITTED TO OEPA 45 DAYS PRIOR TO THE START OF CONSTRUCTION AND MAY ENTITILE COVERAGE UNDER THE OHIO EPA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. A PROJECT LOCATION MAP MUST BE SUBMITTED WITH THE NOI. A SEDIMENT AND EROSION CONTROL PLAN MUST BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL IF A

SEDIMENT AND EROSION CONTROL PLAN HAS NOT ALREADY BEEN INCLUDED WITH THE APPROVED CONSTRUCTION DRAWINGS. THIS PLAN MUST BE MADE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE DESIGN OF EROSION CONTROL SYSTEMS SHALL FOLLOW THE REQUIREMENTS OF OHIO EPA, ITEM 207 OF OHIO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, AND THE CITY ENGINEER. AN INDIVIDUAL NPDES STORMWATER DISCHARGE PERMIT MAY BE REQUIRED. THE CONTRACTOR SHALL BE CONSIDERED THE PERMITTEE.

2. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER RUNOFF LEAVES THE PROJECT, INCLUDING WATERWAYS, OVERLAND SHEET FLOW, AND STORM SEWERS.

3. ACCEPTED METHODS OF PROVIDING EROSION/SEDIMENT CONTROL INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT BASINS, SILT FILTER FENCE, AGGREGATE CHECK DAMS, AND TEMPORARY GROUND COVER. HAY OR STRAW BALES ARE NOT PERMITTED.

4. THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE OF THE WORK AREA AT ALL TIMES CONSISTENT WITH EROSION CONTROL PRACTICES.

5. DISTURBED AREAS THAT WILL REMAIN UNWORKED FOR 30 DAYS OR MORE SHALL BE SEEDED OR PROTECTED WITHIN SEVEN CALENDAR DAYS OF THE DISTURBANCE. OTHER SEDIMENT CONTROLS THAT ARE INSTALLED SHALL BE MAINTAINED UNTIL VEGETATIVE GROWTH HAS BEEN ESTABLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY SEDIMENT DEVICES AT THE CONCLUSION OF CONSTRUCTION BUT NOT BEFORE GROWTH OF PERMANENT GROUND COVER.

**BLASTING (IF PERMITTED)**

1. THE CONTRACTOR MUST OBTAIN A BLASTING PERMIT FROM WASHINGTON TOWNSHIP FIRE DEPARTMENT PRIOR TO BLASTING FOR ROCK EXCAVATION. THE CONTRACTOR SHALL SUBMIT BLASTING REPORTS UPON COMPLETION OF BLASTING TO THE CITY ENGINEER, THE OWNER, AND THE OWNER'S ENGINEER. TOP OF ROCK ELEVATIONS SHALL BE SHOWN ON "AS\_BUILT" CONSTRUCTION DRAWINGS.

**SANITARY SEWERS**

1. GRANULAR BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS OR CONTROLLED DENSITY BACKFILL ACCORDING TO ITEM 613, TYPE II OF THE STANDARD SPECIFICATIONS AS DIRECTED BY THE CITY ENGINEER.

2. ALL PVC SEWER PIPES SHALL BE DEFLECTION TESTED NO LESS THAN 60 DAYS AFTER COMPLETION OF BACKFILLING OPERATIONS. ALL OTHER REQUIREMENTS SHALL BE ACCORDING TO ITEM 901.21 OF THE STANDARD SPECIFICATIONS.

3. ALL SANITARY SEWERS INCLUDING SANITARY SEWER SERVICE LINES SHALL BE SUBJECTED TO AND PASS INFILTRATION OR EXFILTRATION TESTS ACCORDING TO ITEM 901 OF THE STANDARD SPECIFICATIONS AND MUST BE APPROVED FOR USE BY THE CITY ENGINEER BEFORE ANY SERVICE CONNECTIONS ARE TAPPED INTO SEWERS.

4. FOR SANITARY SEWER INFILTRATION, LEAKAGE THROUGH JOINTS SHALL NOT EXCEED 100 GALLONS PER INCH OF TRIBUTARY SEWER DIAMETER PER 24 HOURS PER MILE OF LENGTH OR THE COMPUTED EQUIVALENT. ALL SANITARY SEWERS SHALL BE TESTED.

5. AT THE DETERMINATION OF THE CITY ENGINEER, THE CONTRACTOR MAY BE REQUIRED TO PERFORM A TV INSPECTION OF THE SANITARY SEWER SYSTEM PRIOR TO FINAL ACCEPTANCE BY THE CITY. THIS WORK SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.

6. VISIBLE LEAKS OR OTHER DEFECTS OBSERVED OR DISCOVERED DURING TV INSPECTION SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER.

7. ROOF DRAINS, FOUNDATION DRAINS, FIELD TILE OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE STRICTLY PROHIBITED ACCORDING TO SECTION 51.23 OF THE DUBLIN CODE OF ORDINANCES.

8. ALL WATER LINES SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY, FROM SANITARY SEWERS AND STORM SEWERS, TO THE GREATEST EXTENT PRACTICABLE. WHERE SANITARY SEWERS CROSS WATER MAINS OR OTHER SEWERS OR OTHER UTILITIES, TRENCH BACKFILL SHALL BE PLACED BETWEEN THE PIPES CROSSING AND SHALL BE COMPACTED GRANULAR MATERIAL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS. IN THE EVENT THAT A WATER LINE MUST CROSS WITHIN 18 INCHES OF A SANITARY SEWER, THE SANITARY SEWER SHALL BE CONCRETE ENCASED OR CONSIST OF DUCTILE IRON PIPE MATERIAL.

9. SERVICE RISERS SHALL BE INSTALLED WHERE THE DEPTH FROM WYES TO PROPOSED GROUND ELEVATION EXCEEDS 10 FEET. TOPS OF RISERS SHALL BE NO LESS THAN 9 FEET BELOW PROPOSED GROUND ELEVATION IF BASEMENT SERVICE IS INTENDED.

10. WHERE SERVICE RISERS ARE NOT INSTALLED, A MINIMUM 5 FOOT LENGTH OF SANITARY SEWER SERVICE PIPE OF THE SAME SIZE AS THE WYE OPENING SHALL BE INSTALLED.

11. THE CONTRACTOR SHALL FURNISH AND PLACE, AS DIRECTED, APPROVED WYE POLES MADE OF 2 INCHES X 2 INCHES LUMBER AT ALL WYE LOCATIONS, ENDS OF EXTENDED SERVICES, OR AT THE END OF EACH RISER WHERE RISERS ARE REQUIRED. WYE POLES SHALL BE VISIBLE BEFORE ACCEPTANCE BY THE CITY. THE COST OF THESE POLES SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE VARIOUS SEWER ITEMS.

12. EXISTING SANITARY SEWER FLOWS SHALL BE MAINTAINED AT ALL TIMES. COSTS FOR PUMPING AND BYPASSING SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE BID FOR THE RELATED ITEMS.

**WATER LINE**

1. ALL WATER LINE MATERIALS SHALL BE PROVIDED AND INSTALLED ACCORDING TO CURRENT SPECIFICATIONS OF THE CITY OF COLUMBUS DIVISION OF WATER.

2. ALL PUBLIC WATER PIPE WITH A DIAMETER 3 INCHES TO 8 INCHES SHALL BE DUCTILE IRON, CLASS 53. PUBLIC WATER PIPE 12 INCHES IN DIAMETER OR LARGER SHALL BE DUCTILE IRON, CLASS 54. PUBLIC WATER PIPE 20 INCHES IN DIAMETER OR LARGER MAY BE PRESTRESSED CONCRETE PIPE. PRIVATE WATER PIPE SHALL MEET THE APPROVAL OF THE CITY OF COLUMBUS DIVISION OF WATER PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS.

3. PUBLIC WATER LINES SHALL BE DISINFECTED BY THE CITY OF COLUMBUS DIVISION OF WATER. REQUESTS FOR WATER LINE CHLORINATION SHALL BE MADE THROUGH THE CITY OF DUBLIN DIVISION OF ENGINEERING. THE COST FOR CHLORINATION SHALL BE PAID FOR BY THE CONTRACTOR.

4. ALL WATER LINES SHALL BE DISINFECTED ACCORDING TO ITEM 801.13 OF THE STANDARD SPECIFICATIONS. SPECIAL ATTENTION IS DIRECTED TO APPLICABLE SECTIONS OF AMERICAN WATER WORKS ASSOCIATION SPECIFICATION C.651, PARTICULARLY FOR FLUSHING (SECTION 5) AND FOR CHLORINATING VALVES AND FIRE HYDRANTS (SECTION 7). PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 801.12 OF THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS. WHEN WATER LINES ARE READY FOR DISINFECTION, THE CITY OF DUBLIN SHALL SUBMIT TWO (2) SETS OF "AS-BUILT" PLANS, AND A LETTER STATING THAT THE WATER LINES HAVE BEEN PRESSURE TESTED AND NEED TO BE DISINFECTED, TO THE CITY OF COLUMBUS, DIVISION OF WATER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE DISINFECTION OF ALL WATER LINES CONSTRUCTION PER THIS PLAN. PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 801.12 OF THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS.

5. NO WATER TAPS OR SERVICE CONNECTIONS (E.G., TO CURB STOPS OR METER PITS) MAY BE ISSUED UNTIL ADJACENT PUBLIC WATER LINES SERVING THE CONSTRUCTION SITE HAVE BEEN DISINFECTED BY THE CITY OF COLUMBUS DIVISION OF WATER AND HAVE BEEN ACCEPTED BY THE

CITY ENGINEER. A TAP PERMIT FOR EACH WATER SERVICE MUST BE OBTAINED FROM THE CITY OF DUBLIN AND THE CITY OF COLUMBUS DIVISION OF WATER BEFORE MAKING ANY TAPS INTO PUBLIC WATER LINES.

6. THE CONTRACTOR SHALL NOTIFY THE CITY OF COLUMBUS DIVISION OF WATER AT 645\_7788 AND THE CITY OF DUBLIN DIVISION OF ENGINEERING AT LEAST 24 HOURS BEFORE TAPPING INTO EXISTING WATER LINES.

7. ALL BENDS, JOINT DEFLECTIONS AND FITTINGS SHALL BE BACKED WITH CONCRETE PER CITY OF COLUMBUS STANDARDS.

8. THE CONTRACTOR SHALL GIVE WRITTEN NOTICE TO ALL AFFECTED PROPERTY OWNERS AT LEAST 1 WORKING DAY BUT NOT MORE THAN 3 WORKING DAYS PRIOR TO ANY TEMPORARY INTERRUPTION OF WATER SERVICE. INTERRUPTION OF WATER SERVICE SHALL BE MINIMIZED AND MUST BE APPROVED BY THE CITY ENGINEER.

9. WATER METERS SHALL BE INSTALLED INSIDE PROPOSED STRUCTURES UNLESS A METER PIT INSTALLATION IS APPROVED BY THE CITY OF COLUMBUS DIVISION OF WATER. METER PITS MUST CONFORM TO STANDARD DRAWINGS L-7103, A&B FOR 5/8" THROUGH 1" METERS OR L-6317, A, B, C&D FOR 1-1/2" OR LARGER METERS.

10. WATER LINES TO BE INSTALLED IN EMBANKMENT AREAS SHALL BE PLACED AFTER THE EMBANKMENT HAS BEEN PLACED AND COMPACTED ACCORDING TO THE STANDARD SPECIFICATIONS.

11. CURB STOP BOXES SHALL BE LOCATED AT LEAST 1 FOOT INSIDE THE RIGHT\_OF\_WAY AND SET AT FINISHED GRADE.

12. IF THE TOP OF THE OPERATING NUT OF ANY VALVE IS GREATER THAN 36 INCHES BELOW FINISHED GRADE, AN EXTENSION STEM SHALL BE FURNISHED TO BRING THE TOP OF THE OPERATING NUT TO WITHIN 24 INCHES OF FINISHED GRADE ELEVATION.

13. ALL WATER LINES SHALL BE PLACED AT A MINIMUM DEPTH OF 4 FEET MEASURED FROM TOP OF FINISHED GRADE TO TOP OF WATER LINE. WATER LINES SHALL BE SET DEEPER AT ALL POINTS WHERE NECESSARY TO CLEAR EXISTING OR PROPOSED UTILITY LINES OR OTHER UNDERGROUND RESTRICTIONS BY A MINIMUM OF 18 INCHES.

**STORM SEWER**

1. WHERE PRIVATE STORM SEWERS CONNECT TO PUBLIC STORM SEWERS, THE LAST RUN OF PRIVATE STORM SEWER CONNECTING TO THE PUBLIC STORM SEWER SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM DESIGNATION C76, WALL B, CLASS IV FOR PIPE DIAMETERS 12 INCHES TO 15 INCHES, CLASS III FOR 18 INCHES TO 24 INCH PIPES, AND 27 INCHES AND LARGER PIPE SHALL BE CLASS II, UNLESS OTHERWISE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. INSPECTION IS REQUIRED BY THE CITY OF DUBLIN'S DIVISION OF ENGINEERING.

2. GRANULAR BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS OR CONTROLLED DENSITY BACKFILL ACCORDING TO ITEM 613, TYPE II OF THE STANDARD SPECIFICATIONS AS DIRECTED BY THE CITY ENGINEER.

3. ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM DESIGNATION C76, WALL B, CLASS IV FOR PIPE DIAMETERS 12 INCHES TO 15 INCHES, CLASS III FOR 18 INCHES TO 24 INCH PIPES, AND 27 INCHES AND LARGER PIPE SHALL BE CLASS II, UNLESS OTHERWISE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.

4. STORM INLETS OR CATCH BASINS SHALL BE CHANNELIZED AND HAVE BICYCLE SAFE GRATES. MANHOLE LIDS SHALL INCLUDE CITY OF DUBLIN LOGO AND ALL CURB INLET AND CATCH BASIN GRATES SHALL INCLUDE ENGRAVED LETTERINGS: "DUMP NO WASTE; DRAINS TO RIVER."

5. HP STORM AND HP SANITITE OR APPROVED EQUAL ARE APPROVED ALTERNATIVES TO REINFORCED CONCRETE PIPE IN PAVED AND NON PAVED AREAS AS APPROVED BY THE CITY ENGINEER. THIS INCLUDES APPLICATIONS INSIDE THE RIGHT-OF-WAY.

6. ALL BEDDING MATERIAL SHALL BE IN ACCORDANCE WITH CITY OF COLUMBUS STANDARD CONSTRUCTION DRAWING AA-S149.

7. BACKFILL MATERIAL SHALL BE PLACED IN ACCORDANCE WITH ITEM 911 OR ITEM 912 OF THE CITY OF COLUMBUS CONSTRUCTION MATERIAL SPECIFICATIONS (CMS).

8. BACKFILL MATERIAL IN AREAS LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY SHALL BE PLACED IN ACCORDANCE WITH ITEM 901 OF THE CITY OF COLUMBUS (CMS).

**MAIL DELIVERY**

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT US MAIL DELIVERY WITHIN THE PROJECT LIMITS IS NOT DISRUPTED BY CONSTRUCTION OPERATIONS. THIS RESPONSIBILITY IS LIMITED TO RELOCATION OF MAILBOXES TO A TEMPORARY LOCATION THAT WILL ALLOW THE COMPLETION OF THE WORK AND SHALL ALSO INCLUDE THE RESTORATION OF MAILBOXES TO THEIR ORIGINAL LOCATION OR APPROVED NEW LOCATION. ANY RELOCATION OF MAILBOX SERVICES MUST BE FIRST COORDINATED WITH THE US POSTAL SERVICE AND THE HOMEOWNER.

2. BEFORE RELOCATING ANY MAILBOXES, THE CONTRACTOR SHALL CONTACT THE U.S. POSTAL SERVICE AND RELOCATE MAILBOXES ACCORDING TO THE REQUIREMENTS OF THE POSTAL SERVICE.

**USE OF FIRE HYDRANTS**

1. THE CONTRACTOR SHALL MAKE PROPER ARRANGEMENTS WITH THE DUBLIN SERVICE DEPARTMENT AND THE COLUMBUS DIVISION OF WATER FOR THE USE OF FIRE HYDRANTS WHEN USED FOR WORK PERFORMED UNDER THIS CONTRACT AND PROVIDE THE CITY OF DUBLIN A COPY OF THE HYDRANT USAGE PERMIT OBTAINED FROM THE CITY OF COLUMBUS. THE CONTRACTOR SHALL ALSO SEND A COPIES OF PERMITS OBTAINED FROM DUBLIN AND COLUMBUS TO THE WASHINGTON AND/OR PERRY TOWNSHIP FIRE DEPARTMENT. PERMITS SHALL BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES.

2. BEFORE THE FINAL ESTIMATE IS PAID, THE CONTRACTOR SHALL SUBMIT A LETTER FROM THE CITY OF COLUMBUS DIVISION OF WATER TO THE CITY ENGINEER STATING THAT THE CONTRACTOR HAS RETURNED THE SIAMESE VALVE TO THE CITY OF COLUMBUS AND HAS PAID ALL COSTS ARISING FROM THE USE OF THE FIRE HYDRANTS.



**CORWIN PROPERTIES LLC**

**THE APOTHECARY AND UNCKORKED**

PROJECT LOCATION:  
30 SOUTH HIGH STREET  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO 43017

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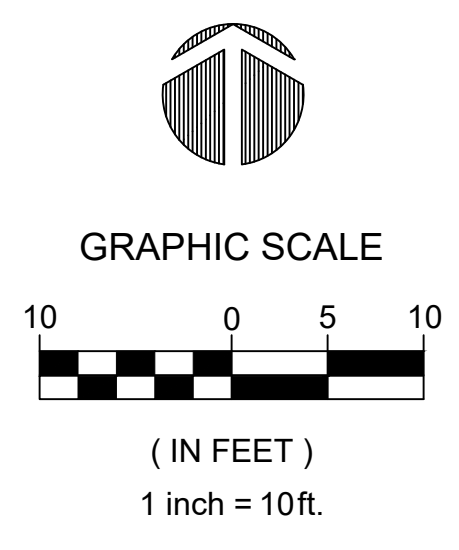
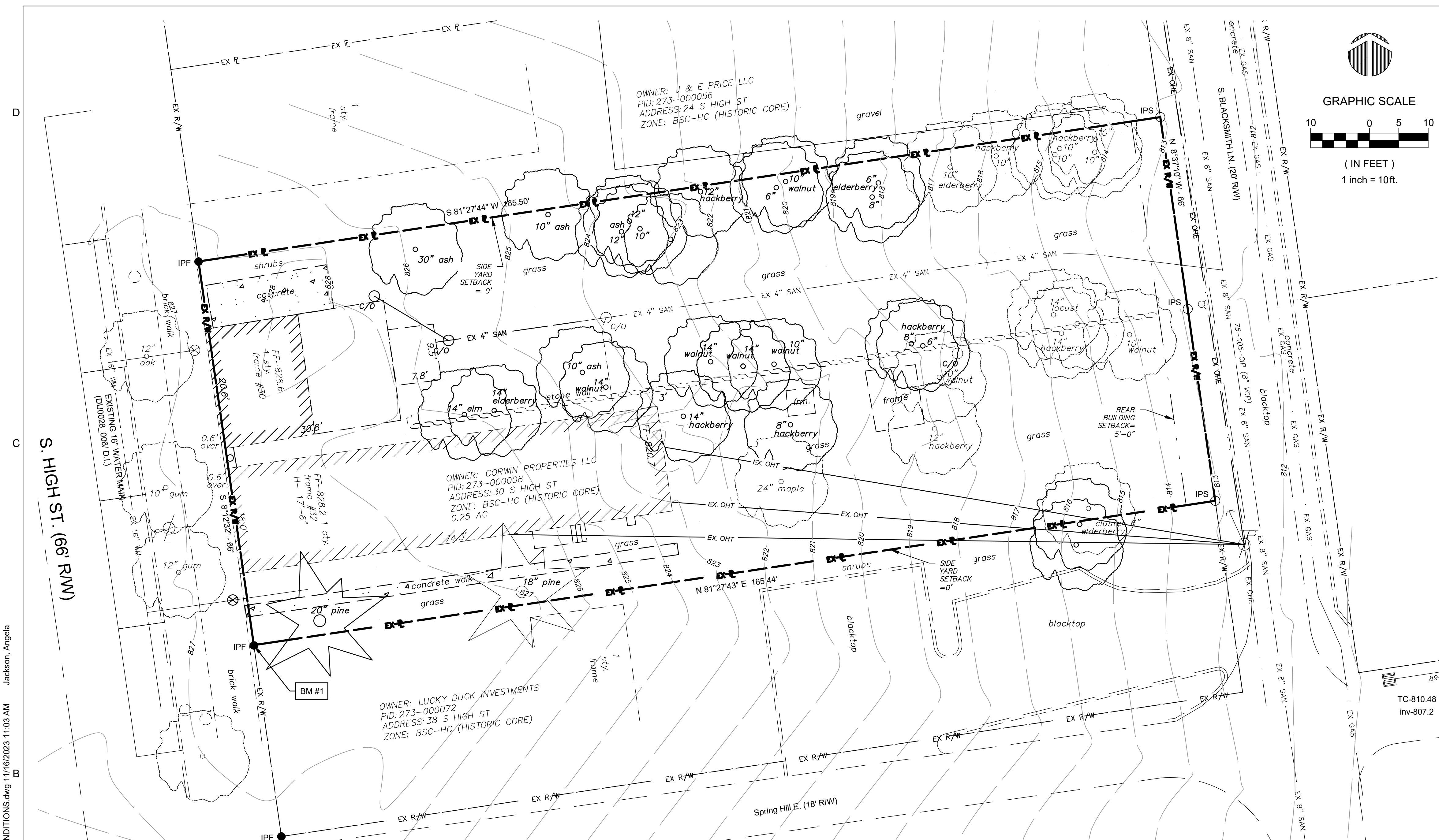
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**GENERAL NOTES**

DRAWING NO.  
**C-001A**

P:\Corwin\20211064.000 S High Wine And Bourbon Bar\Drawings\Civil\Sheets\C-002 EXISTING CONDITIONS.dwg 11/16/2023 11:03 AM Jackson, Angela



**CORWIN PROPERTIES LLC**  
**THE APOTHECARY AND UNCORKED**

PROJECT LOCATION:  
30 SOUTH HIGH STREET  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO 43017

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**EXISTING CONDITIONS**

DRAWING NO.  
**C-002**

**SURVEY LEGEND**

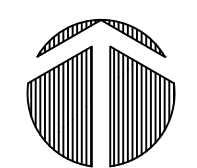
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EX PL	EX PROPERTY LINE	⊙	EX STORM MANHOLE
EX CL	EX ROAD CENTER LINE	⊙	EX SANITARY MANHOLE
EX STM	EX STORM SEWER	⊙	EX CLEANOUT
EX SAN	EX SANITARY SEWER	⊙	EX TELEPHONE MANHOLE
EX SS	EX SANITARY SERVICE	+	EX LIGHT POLE
EX WM	EX WATER MAIN	⊙	EX POWER POLE
EX WS	EX WATER SERVICE	⊙	EX GUY WIRE
EX GAS	EX GAS MAIN	⊙	EX TRANSFORMER
EX GS	EX GAS SERVICE	⊙	EX ELECTRIC METER
EX COMM	EX UNDERGROUND TELECOMMUNICATIONS	⊙	EX WATER VALVE
EX UGE	EX UNDERGROUND ELECTRIC	⊙	EX HYDRANT
EX OHE	EX OVERHEAD ELECTRIC	⊙	EX GAS VALVE
EX FENCE	EX FENCE	⊙	EX GAS METER
823	EX CONTOUR	●	3/4" IRON PIN FOUND
823.00	EX ELEVATION	⊙	5/8", 30" LONG, REBAR SET
		⊙	SURVEY NAIL SET

**SURVEY NOTE:**  
ALL EXISTINGS TREES ARE IN HEALTHY CONDITIONS WITH STRAIGHT TRUNKS AND STRONG BRANCHES.

**ABBREVIATION LEGEND**

PR	PROPOSED
EX	EXISTING
R/W	RIGHT OF WAY
PL	PROPERTY LINE
BLDG	BUILDING
SF	SQUARE FOOT
FFE	FINISH FLOOR ELEVATION
BM	BENCHMARK
SAN	SANITARY
MH	MANHOLE
CB	CATCH BASIN
MIN	MINIMUM

D  
C  
B  
A  
P:\Corwin\20211064.000 S High Wine And Bourbon Bar\Drawings\Civil\Sheets\C-002A SURVEY.dwg 11/16/2023 11:03 AM Jackson, Angela



0 20 40  
Scale 1" = 20'  
November, 2017

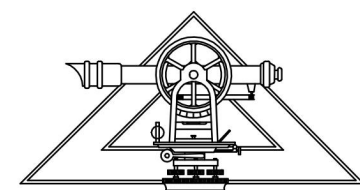
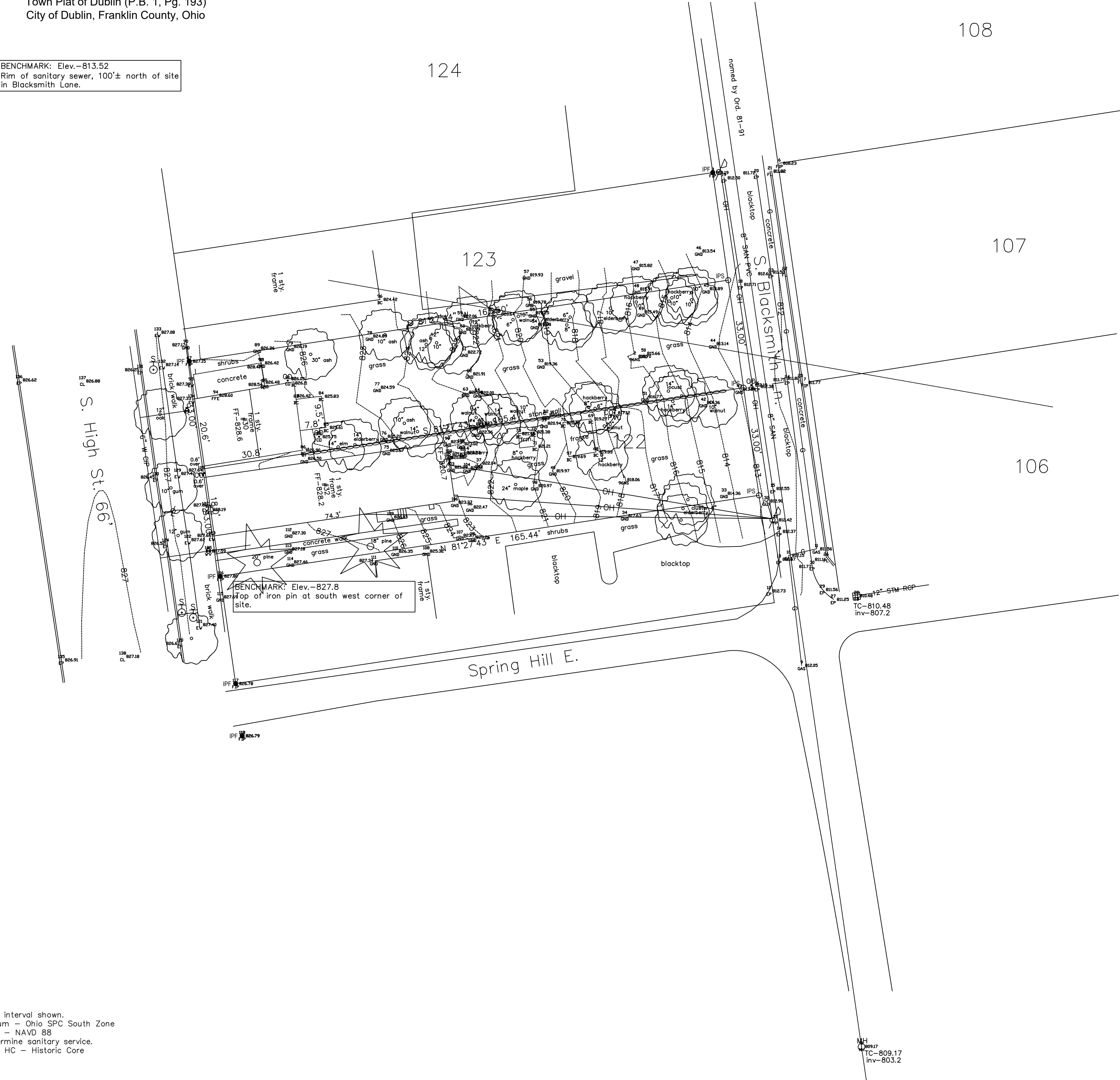
**SURVEY & TOPOGRAPHY**  
Being the north half of Lot 122 & south half of Lot 123  
Town Plat of Dublin (P.B. 1, Pg. 193)  
City of Dublin, Franklin County, Ohio

BENCHMARK: Elev. -813.52  
Rim of sanitary sewer, 100± north of site  
in Blacksmith Lane.

1 foot contour interval shown.  
Horizontal Datum - Ohio SPC South Zone  
Vertical Datum - NAVD 88  
Unable to determine sanitary service.  
Present Zoning HC - Historic Core

**LEGEND**

- IPS ○ Iron Pin Set
- IPF ● Iron Pipe Found
- W ——— Water Main
- G ——— Gas Line
- SAN ——— Sanitary Sewer
- STM ——— Storm Sewer
- OH ——— Overhead Lines
- MH ○ Manhole
- SI □ Storm Inlet
- CO ○ Cleanout
- UP ○ Utility Pole
- GW ○ Guy Wire
- F ——— Fence
- WV ○ Water Valve
- DT ○ Deciduous Tree
- PT ★ Pine Tree
- S ○ Sign



PATRIDGE  
SURVEYING L.L.C.  
9464 DUBLIN ROAD  
POWELL, OHIO 43065  
TEL. (614)-799-0031  
FAX (614)-300-5076

1 foot contour interval shown.  
Horizontal Datum - Ohio SPC South Zone  
Vertical Datum - NAVD 88  
Unable to determine sanitary service.  
Present Zoning HC - Historic Core



**CORWIN  
PROPERTIES  
LLC**  
  
**THE  
APOTHECARY  
AND  
UNCORKED**

PROJECT LOCATION:  
30 SOUTH HIGH STREET  
CITY OF DUBLIN, FRANKLIN  
COUNTY, OHIO 43017

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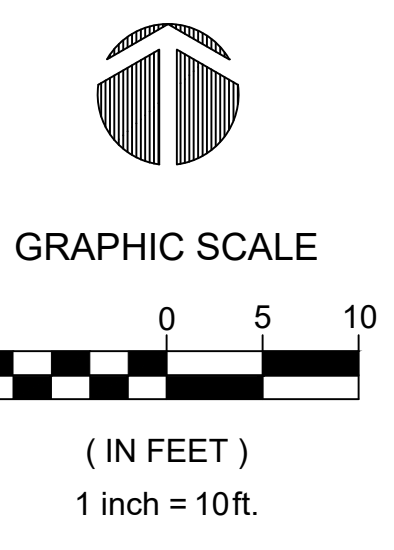
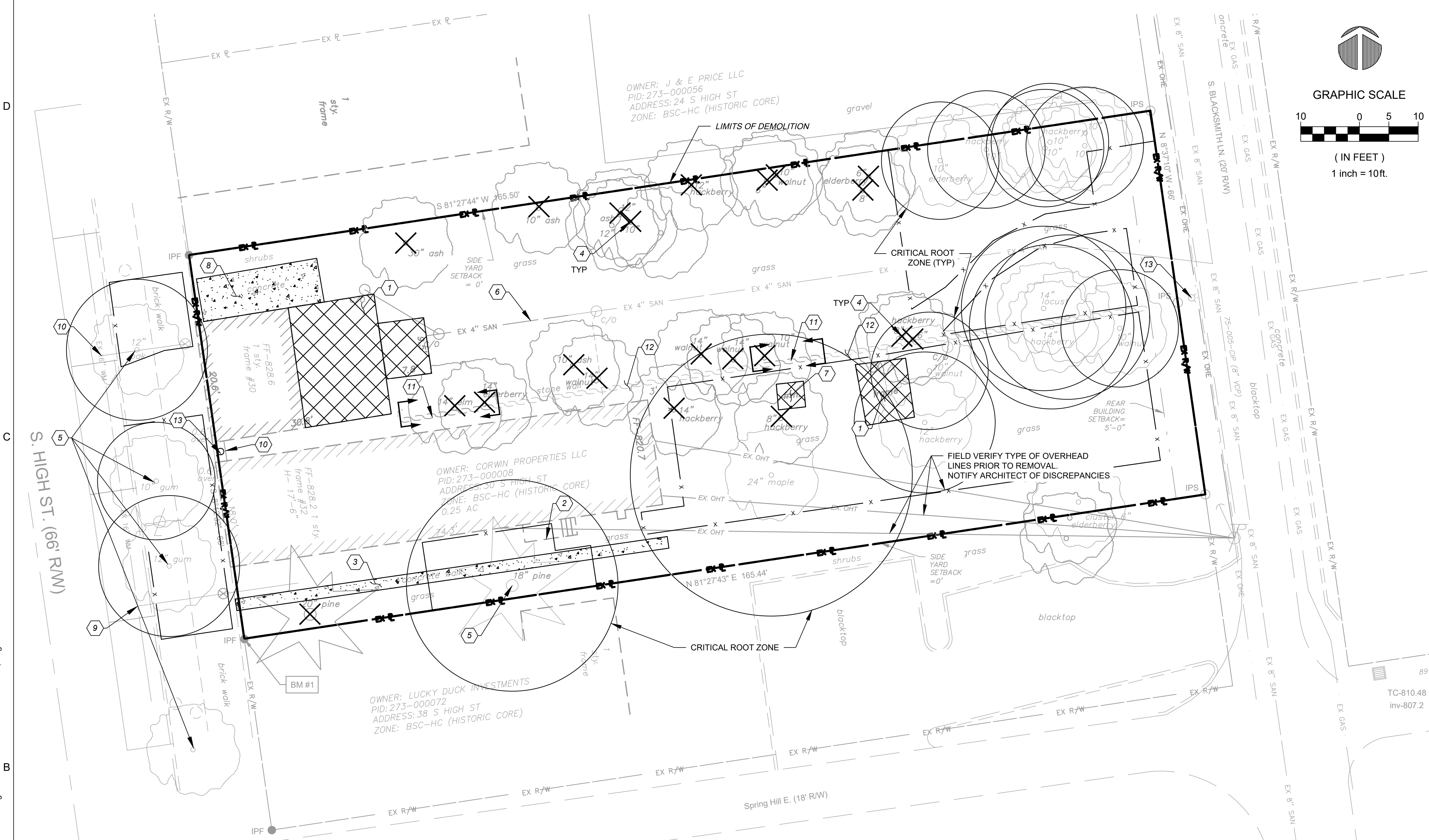
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**SURVEY**

DRAWING NO.  
**C-002A**

P:\Corwin\20211064.000 S High Wine And Bourbon Bar\Drawings\Civil\Sheets\C-003 DEMOLITION PLAN.dwg 11/16/2023 11:30 AM Jackson, Angela



**# SITE DEMOLITION PLAN CODED NOTES:**

1. EXISTING BUILDING TO BE DEMOLISHED
2. EXISTING STEPS TO BE REMOVED
3. EXISTING WALK TO BE REMOVED
4. EXISTING TREE TO BE REMOVED (TYPICAL)
5. EXISTING TREES TO BE PROTECTED IN PLACE PER CITY STANDARDS. SEE SHEET C-400 FOR TREE PROTECTION FENCING DETAIL.
6. EXISTING SANITARY SERVICE LINE. LOCATION SHOWN PER RECORD PLANS. CONTRACTOR TO FIELD VERIFY LOCATION BEFORE CONSTRUCTION.
7. EXISTING PRIVY STRUCTURE TO BE RELOCATED. REFER TO LANDSCAPE PLANS
8. EXISTING CONCRETE STOOP TO BE REMOVED
9. EXISTING WATER SERVICE TO BE ABANDONED AT THE TAP PER COC 808.06. REFER TO WSP7185.
10. EXISTING FENCE TO BE REMOVED.
11. EXISTING HISTORIC STACKED STONE WALL TO BE REMOVED. STACKED SAFELY AND RE-USED TO RE-CONSTRUCT DRYSTACKED WALL. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
12. EXISTING HISTORIC STACKED STONE WALL TO BE PRESERVED DURING CONSTRUCTION. COORDINATE WITH LANDSCAPING PLAN.
13. HISTORIC HYDRANT TO BE REMOVED AND SALVAGED TO BE RETAINED BY OWNER AS AN ARTIFACT. REFER TO ARCHITECTURAL SUBMISSION DOCUMENTS. (DO NOT DISCARD).

**SITE DEMOLITION PLAN NOTES:**

1. ALL ITEMS TO BE TRANSPORTED TO A LEGAL DUMPSITE.
2. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO REMOVE CONCRETE TO NEAREST JOINT, WHERE APPLICABLE.
4. CONTRACTOR TO STRIP EXISTING VEGETATION AND TOP SOIL TO ACCOMMODATE BUILDING ADDITION AND SITE IMPROVEMENTS.

**NOTE:**

1. NO WORK SHOULD BE STARTED UNTIL THE TREE PROTECTION FENCING HAS BEEN INSTALLED AND INSPECTED BY THE CITY. CALL 614 410-4660 FOR INSPECTION. REFER TO THE TREE PROTECTION DETAILS ON SHEET C-400.

**SITE DEMOLITION LEGEND**

- EXISTING CONCRETE TO BE REMOVED
- EXISTING STRUCTURE TO BE REMOVED
- ITEMS TO BE REMOVED
- LIMITS OF DEMOLITION
- LIMITS OF HISTORIC WALL TO BE REMOVED
- CRITICAL TREE ROOT ZONE
- PROTECTIVE TREE FENCE

**DEMOLITION NOTES**

1. ALL DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL LAWS AND ORDINANCES.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE APPLICABLE UTILITIES PROTECTION SERVICE AT A MINIMUM OF 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN.
3. CONTRACTOR SHALL NOT DISTURB EXISTING PAVEMENT OUTSIDE OF DEMOLITION AREA.
4. ITEMS DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL THEY ARE FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
5. THE SIZE AND LOCATION OF UNDERGROUND UTILITIES HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE POSSIBLE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
8. UPON DISCOVERY OF UNDERGROUND TANKS OR CONTAMINATED SOILS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS OR CONTAMINATED SOILS SHALL OCCUR UNTIL AUTHORIZED BY THE OWNER AND PROPER AUTHORITIES.
9. ALL EARTHWORK, SUBGRADE PREPARATION AND BACKFILL REQUIREMENTS SHALL BE PER THE LATEST CITY OF DUBLIN STANDARD DETAILS AND SPECIFICATIONS.
10. THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
11. EXISTING ABANDONED UTILITIES WITHIN THE PROPOSED WORK LIMITS SHALL BE REMOVED IF POSSIBLE. IF SUCH UTILITIES ARE PRESENT, THEY SHOULD BE REMOVED AND RELOCATED OR ABANDONED IN PLACE. IF ABANDONED IN PLACE, IT IS RECOMMENDED THAT THE UTILITIES PIPE BE FILLED WITH LOW STRENGTH MORTAR GROUT TO AVOID POTENTIAL COLLAPSE IN THE FUTURE. SHOULD THE UTILITIES LINES BE REMOVED FROM THE SITE, THE RESULTANT TRENCH EXCAVATIONS SHOULD BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE CITY OF DUBLIN STANDARD DETAILS AND SPECIFICATIONS.
12. ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF WATER, ELECTRIC OR GAS METERS WHEN THE METERS ARE READY FOR REMOVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
13. THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWING HEREON.
14. EXISTING WATER SERVICE CONNECTIONS NOTED SHALL BE ABANDONED IN ACCORDANCE WITH THE CITY OF DUBLIN AND THE CITY OF COLUMBUS WATER STANDARDS.
15. ALL EXISTING CONDITIONS WITHIN THE RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE IMMEDIATELY RESTORED TO THE PRE-CONSTRUCTION CONDITION OR BETTER.
16. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS AND STAKES.
17. ANY DAMAGE CAUSED TO THE PAVEMENT, DRIVE, DRAINAGE SYSTEMS, UNDERGROUND OR OVERHEAD UTILITIES, PIPE LINES OR LANDSCAPING, EITHER WITHIN THE RIGHT-OF-WAY OR ON ADJACENT PROPERTIES, SHALL BE FULLY RESTORED PROMPTLY BY THE CONTRACTOR WITH ALL RELATED COSTS BEING THE FULL RESPONSIBILITY OF THE CONTRACTOR.
18. WHERE NECESSARY TO REMOVE PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE SAWCUT FULL DEPTH IN NEAT, STRAIGHT LINES. WHERE REMOVED IN WALK AREAS, SHALL BE SAWCUT AT NEAREST JOINT.
19. ALL PAVEMENT AND/OR FOUNDATIONS THAT ARE REMOVED SHALL BE DISPOSED OF OFFSITE PROPERLY.
20. EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED DURING DEMOLITION ACTIVITIES.
21. THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE, SCOPE OF WORK AND ALL EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.

**ABBREVIATION LEGEND**

- |      |                        |
|------|------------------------|
| PR   | PROPOSED               |
| EX   | EXISTING               |
| R/W  | RIGHT OF WAY           |
| R    | PROPERTY LINE          |
| BLDG | BUILDING               |
| SF   | SQUARE FOOT            |
| FFE  | FINISH FLOOR ELEVATION |
| BM   | BENCHMARK              |
| SAN  | SANITARY               |
| MH   | MANHOLE                |
| CB   | CATCH BASIN            |
| MIN  | MINIMUM                |



**CORWIN PROPERTIES LLC**  
**THE APOTHECARY AND UNCORKED**

PROJECT LOCATION:  
30 SOUTH HIGH STREET  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO 43017

TAG	ISSUED	DATE
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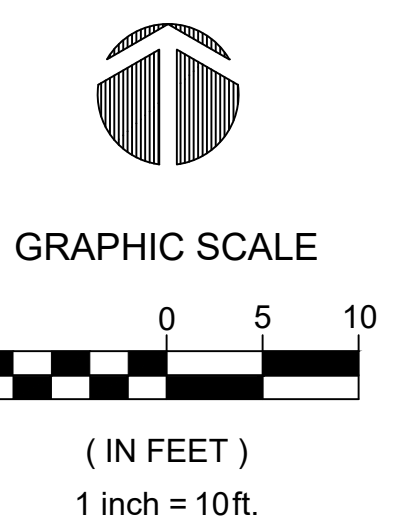
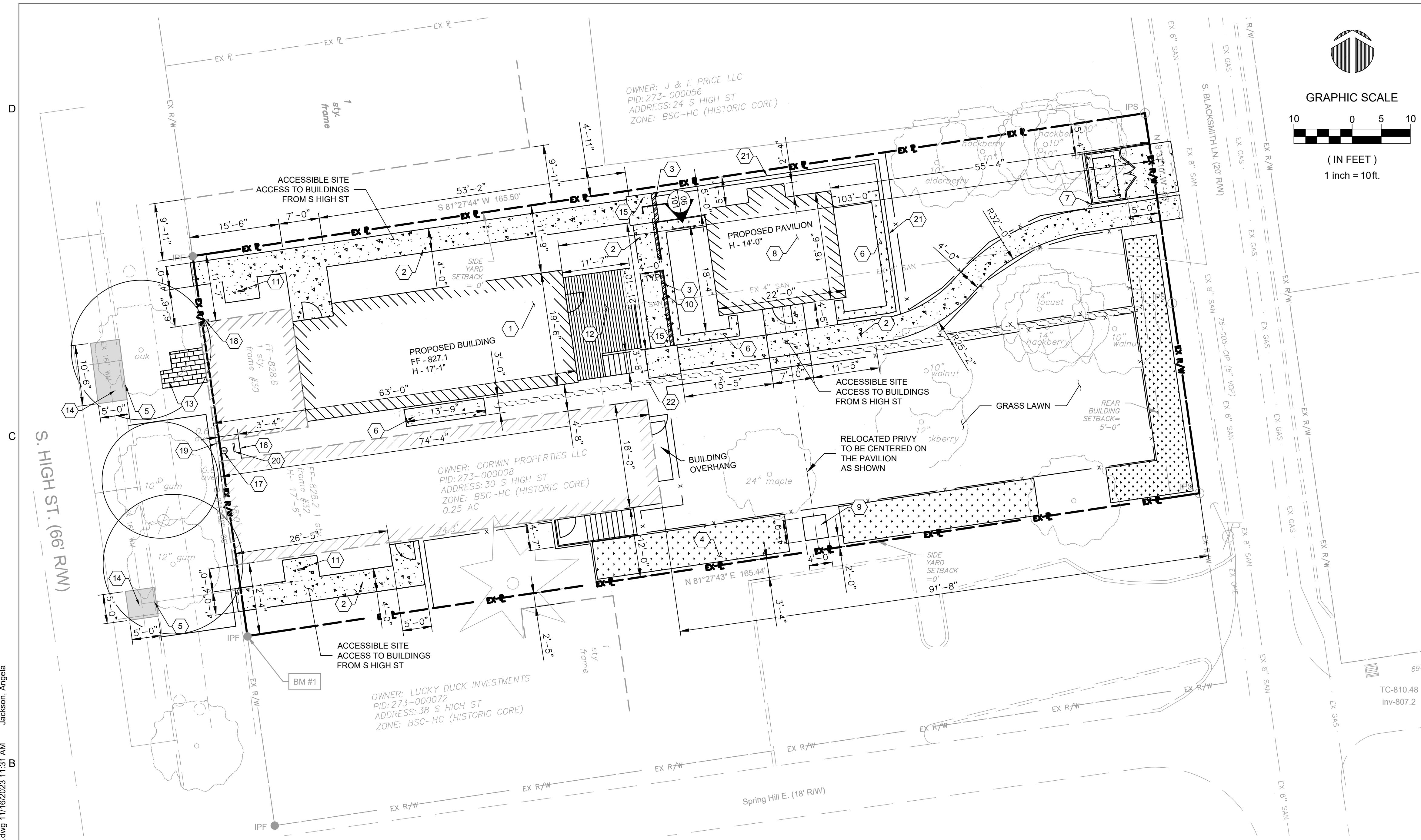
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**DEMOLITION PLAN**

DRAWING NO.  
**C-003**

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- # SITE LAYOUT PLAN CODED NOTES:**
- PROPOSED BUILDING (SEE ARCHITECTURAL DRAWINGS)
  - PROPOSED CONCRETE SIDEWALK (SEE CITY OF DUBLIN STANDARD DRAWING, RD-05)
  - PROPOSED TURNED-DOWN SLAB CHEEK WALL/RETAINING WALL, HEIGHT VARIES (SEE SHEET C-101, DETAIL 06 FOR SECTION DETAIL AND SHEET C-201 FOR GRADE ELEVATIONS)
  - PROPOSED LANDSCAPE AREA (SEE LANDSCAPE DRAWINGS)
  - PROPOSED 18" CONCRETE CURB (SEE CITY OF DUBLIN STANDARD DRAWING, RD-11)
  - PROPOSED CONCRETE PAD FOR AC UNITS. (SEE DETAIL 01 ON SHEET C-101).
  - PROPOSED ENCLOSURE FOR TRASH (65 GALLON) BINS (SEE DETAIL 02 ON SHEET C-101 )
  - PROPOSED OUTDOOR PAVILION (SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS)
  - RELOCATED PRIVY STRUCTURE (SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS)
  - PROPOSED HANDRAIL (SEE DETAIL 03 ON SHEET C-101, SEE ICC405.9 FOR EDGE PROTECTION)
  - PROPOSED BICYCLE PARKING (SEE DETAIL 04 ON SHEET C-101)
  - PROPOSED DECK (SEE STRUCTURAL DRAWINGS FOR DETAILS)
  - PROPOSED BRICK PAVER SIDEWALK (SEE CITY OF DUBLIN STANDARD DRAWING, RD-12)
  - PROPOSED ROADWAY REPAIR (SEE CITY OF DUBLIN STANDARD DETAIL RD-01)
  - PROPOSED LOW RAIL GUARDRAIL (<30° OF FALL) (SEE ARCHITECTURAL DRAWINGS)
  - PROPOSED FENCE. SEE SHEET C-101, DETAIL 05 FOR DETAILS.
  - PROPOSED FDC. SEE FIRE PROTECTION PLAN F1.0 FOR DETAILS.
  - PROVIDE KNOX BOX ON FRONT OF BUILDING. COORDINATE KNOX BOX SPECIFICATIONS AND EXACT LOCATION WITH THE FIRE CODE OFFICIAL.
  - OUTDOOR HORN/STROBE NOTIFICATION DEVICE. CONFIRM EXACT LOCATION WITH CHAD HAMILTON AT THE FIRE DEPARTMENT (614-652-3933) PRIOR TO INSTALLATION.
  - PROVIDE SIGNAGE IDENTIFYING THE FIRE DEPARTMENT CONNECTION. COORDINATE SIGNAGE SPECIFICATIONS AND EXACT LOCATION WITH THE FIRE CODE OFFICIAL.
  - STACKED STONE RETAINING WALL (SEE LANDSCAPE PLANS FOR DETAILS).
  - EXISTING DRYSTACKED STONE WALL TO BE RE-CONSTRUCTED (SEE LANDSCAPE PLANS FOR DETAILS)

**SITE NOTES**

- DIMENSIONS ARE FROM FACE OF CURB, UNLESS OTHERWISE NOTED.
- EXISTING PAVEMENT GRADES TO MATCH (FLUSH) WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- PAVEMENT JOINT WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT TO BE SEALED WITH HOT APPLIED JOINT SEALER.
- REFERENCE SURVEY LEGEND ON SHEET C-002.

**SITE PLAN LEGEND**

- PROPOSED ASPHALT PAVEMENT (SEE CITY OF DUBLIN STANDARD DRAWING RD-01)
- PROPOSED BUILDING
- PROPOSED LANDSCAPE (REFER TO SHEET L100 FOR DETAILS)
- PROPOSED CONCRETE (REFER TO CODED NOTES FOR DETAILS)
- PROPOSED BRICK PAVER SIDEWALK (SEE CITY OF DUBLIN STANDARD DRAWING, RD-12)
- PROPOSED RETAINING WALL (SEE STRUCTURAL DRAWINGS FOR DETAILS. SEE SHEET C-200 FOR ELEVATIONS)
- PROTECTIVE TREE FENCE

**ABBREVIATION LEGEND**

- PR PROPOSED
- EX EXISTING
- R/W RIGHT OF WAY
- PL PROPERTY LINE
- BLDG BUILDING
- SF SQUARE FOOT
- FFE FINISH FLOOR ELEVATION
- BM BENCHMARK
- SAN SANITARY
- MH MANHOLE
- CB CATCH BASIN
- MIN MINIMUM



CORWIN PROPERTIES LLC  
THE APOTHECARY AND UNCORKED

PROJECT LOCATION:  
30 SOUTH HIGH STREET  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO 43017

TAG	ISSUED	DATE
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**SITE PLAN**  
DRAWING NO.  
**C-100**

D

C

B

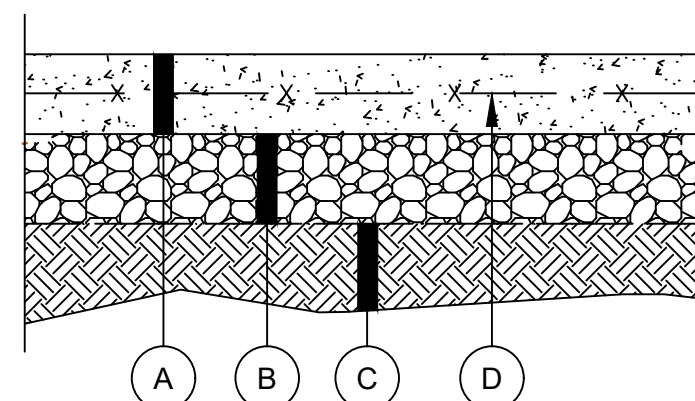
A

PAVEMENT LEGEND

- (A) 4" REINFORCED CONCRETE (ODOT CMS 451)
- (B) 8" AGGREGATE BASE (ODOT CMS 304)
- (C) SUBGRADE COMPACTION (ODOT CMS 204)
- (D) WELDED WIRE FABRIC MAT REINFORCEMENT (ODOT ITEM 509)

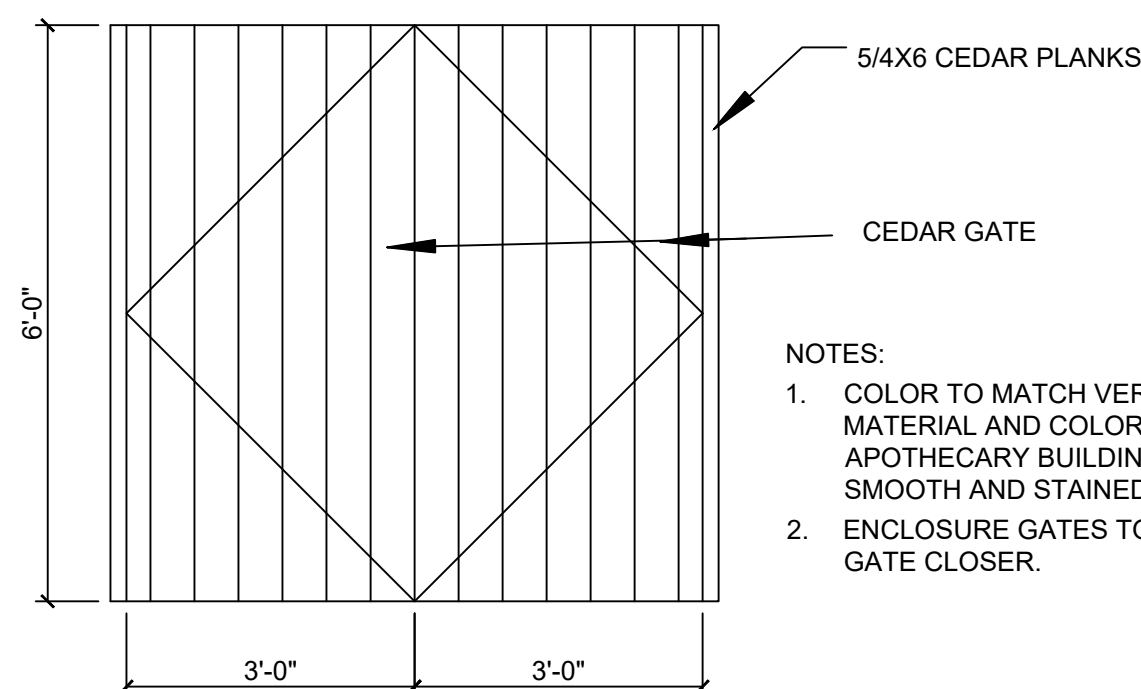
PAVEMENT NOTES:

- PAVEMENT SECTION TO BE VERIFIED WITH GEOTECHNICAL ENGINEER AND APPROVED BY OWNER PRIOR TO INSTALLATION.



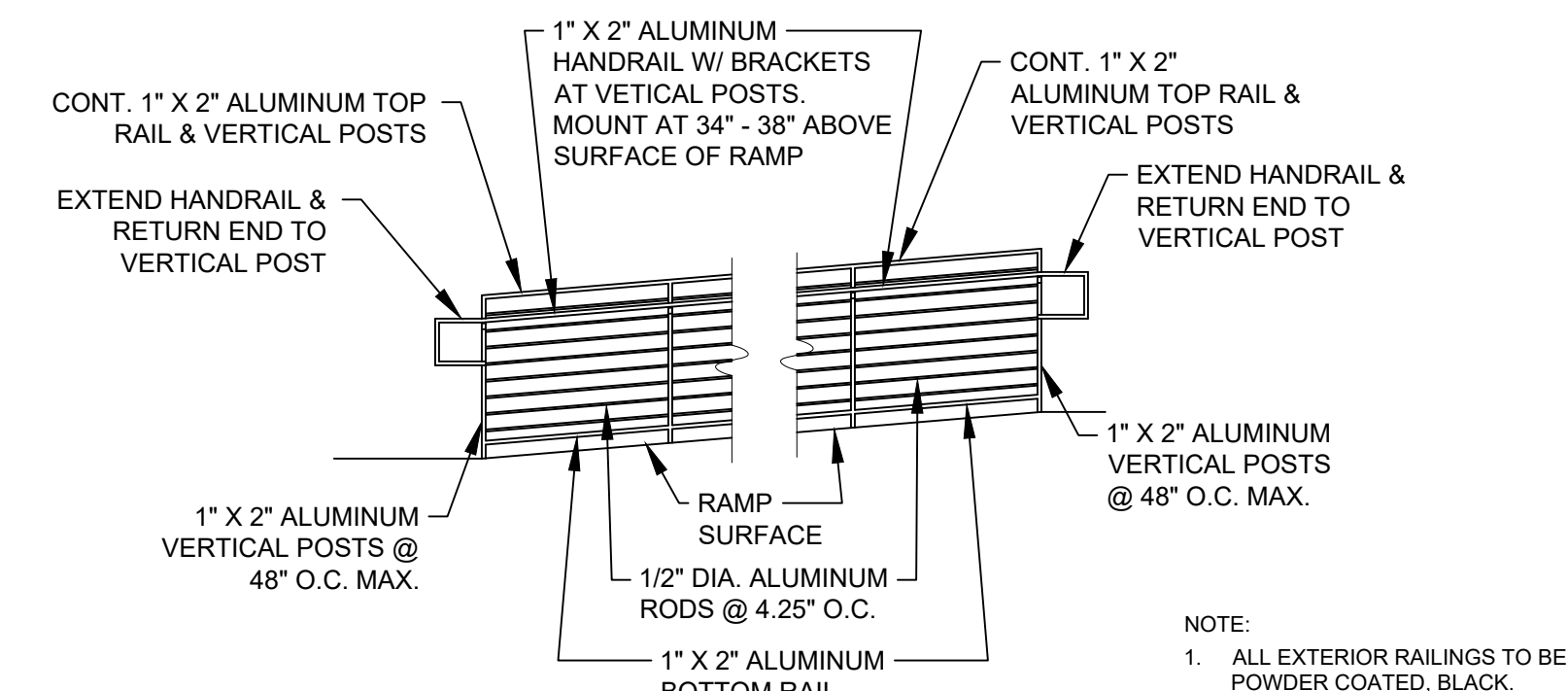
NOTES:  
1.) USE 6X6 W4.0X W4.0 MAT REINFORCEMENT

01 CONCRETE PAD FOR AC CONDENSORS  
NOT TO SCALE

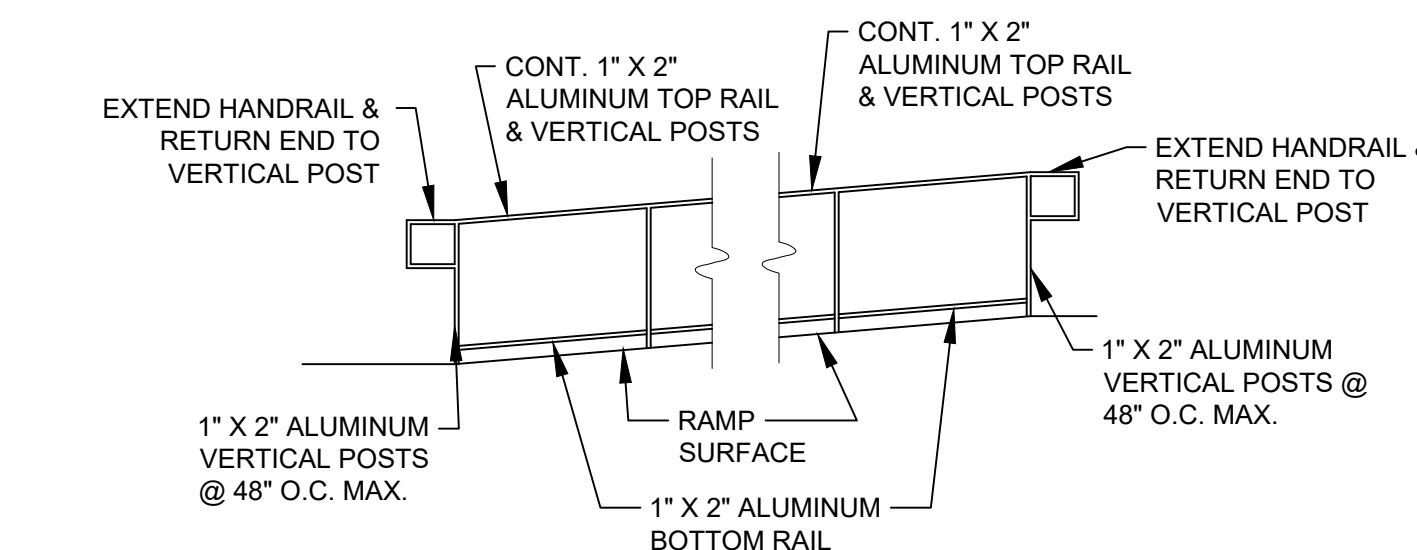


- NOTES:
1. COLOR TO MATCH VERTICAL SIDING MATERIAL AND COLOR OF THE APOTHECARY BUILDING, CEDAR, SANDED SMOOTH AND STAINED GREY.
  2. ENCLOSURE GATES TO HAVE SPRING GATE CLOSER.

02 DUMPSTER ENCLOSURE  
NOT TO SCALE



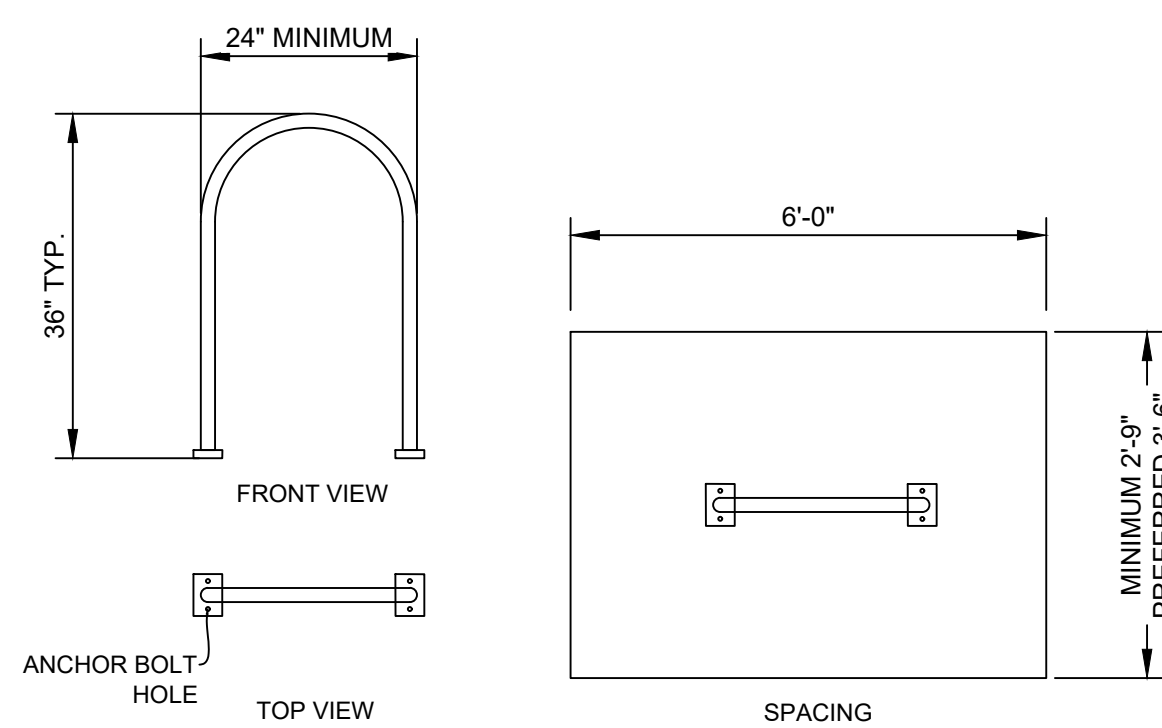
NOTE:  
1. ALL EXTERIOR RAILINGS TO BE POWDER COATED, BLACK.



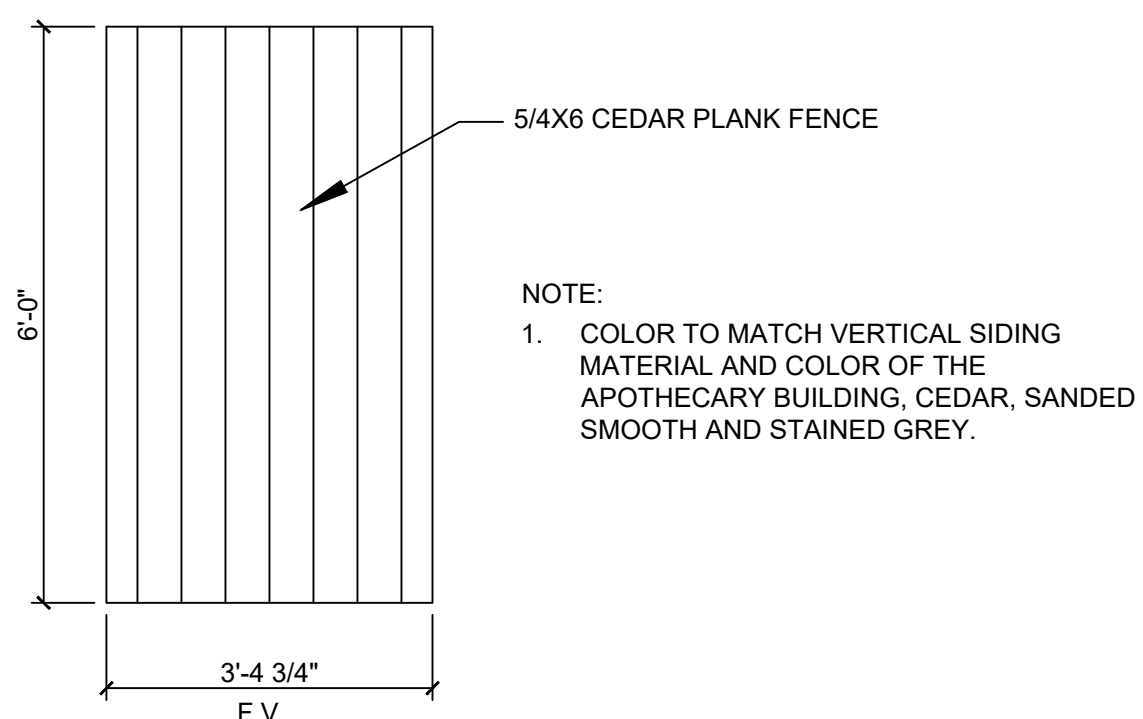
03 ADA HANDRAIL HEIGHT 505.4 STANDARD  
NOT TO SCALE

INVERTED "U" BICYCLE RACK NOTES:

1. BICYCLE PARKING SHALL BE LOCATED IN HIGHLY VISIBLE AREAS NEAR THE INTENDED USE.
2. BICYCLE PARKING RACKS SHALL BE POSITIONED OUT OF WALKWAY CLEAR ZONES AND NOT POSE A TRIPPING HAZARD FOR VISUALLY IMPAIRED PEDESTRIANS.
3. BICYCLE PARKING RACKS SHALL BE LOCATED TO AVOID POTENTIAL CONFLICT WITH PARKING AND CIRCULATION OF MOTOR VEHICLES.
4. BICYCLE PARKING RACKS SHALL BE OF THE INVERTED "U" TYPE DESIGN, UNLESS AN ALTERNATIVE DESIGN HAS BEEN APPROVED BY THE LOCAL PUBLIC SERVICE DEPARTMENT.
5. BICYCLE PARKING RACKS SHALL SUPPORT A BICYCLE UPRIGHT IN TWO PLACES.
6. BICYCLE PARKING RACKS SHALL ENABLE THE BICYCLE FRAME AND ONE OR BOTH WHEELS TO BE SECURED THROUGH THE USE OF A "U" TYPE LOCK.
7. BICYCLE PARKING RACKS SHALL BE SECURELY ANCHORED TO AN APPROVED HARD SURFACE.
8. A TWO FOOT BY SIX FOOT SPACE IS REQUIRED TO ACCOMMODATE TWO BICYCLES.
9. PARALLEL BIKE RACKS SHALL BE A MINIMUM ON-CENTER SPACING OF 30 INCHES. SPACING OF 48 INCHES IS OPTIMAL.
10. BICYCLE RACK COLOR TO BE GREY.

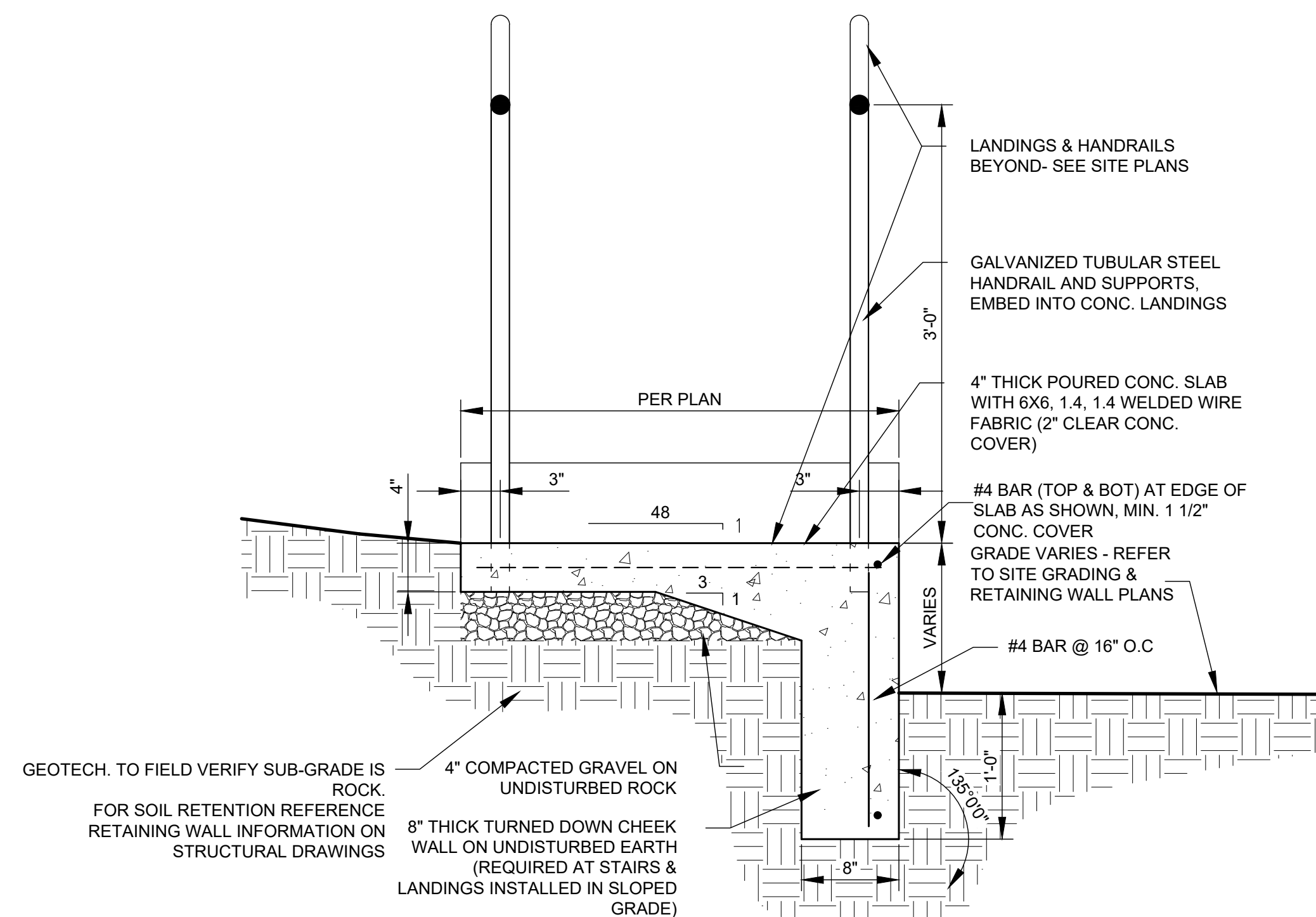


04 BICYCLE RACK DETAIL  
NOT TO SCALE



- NOTE:
1. COLOR TO MATCH VERTICAL SIDING MATERIAL AND COLOR OF THE APOTHECARY BUILDING, CEDAR, SANDED SMOOTH AND STAINED GREY.

05 FRONT FENCE  
NOT TO SCALE



06 CHEEK WALL DETAIL  
NOT TO SCALE



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CONSTRUCTION DETAILS

DRAWING NO.  
C-101

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NOTE: SEE RD-02 FOR CURB & GUTTER DETAIL

4' MINIMUM SIDEWALK \*  
 1.56%  
 8' MINIMUM  
 1.56%  
 2'  
 12' MINIMUM  
 1.56%  
 3:1 MAXIMUM  
 3:1 MAXIMUM

\* 5'-0" SIDEWALK ( WHERE REQUIRED )  
 8'-0" SHARED-USE PATH ( WHERE REQUIRED )

MINOR AND LOCAL STREETS	(MINIMUM PAVEMENT DEPTH-)	ALTERNATIVE ***
① ITEM 441 ASPHALT CONCRETE SURFACE COURSE TYPE 1 PG. 64-22 MEDIUM TRAFFIC	1 1/4"	1 1/4"
② ITEM 441 ASPHALT CONCRETE INTERMEDIATE COURSE TYPE 2 PG. 64-22 MEDIUM TRAFFIC	1 3/4"	1 3/4"
③ ITEM 301 BITUMINOUS AGGREGATE BASE (TWO COURSES OF 3")	3"	6"
④ ITEM 304 AGGREGATE BASE	6"	N/A

\* NOTE: MINIMUM PAVEMENT DEPTH ARE TYPICAL FOR RESIDENTIAL APPLICATIONS. ROADWAYS IN INDUSTRIAL AND COMMERCIAL AREAS MAY BE REQUIRED TO HAVE DEPTHS DESIGNED FOR ACTUAL TRAFFIC LOADINGS USING AASHTO METHODS AS DIRECTED BY THE CITY ENGINEER.

COLLECTOR AND ARTERIAL STREETS **	(MINIMUM PAVEMENT DEPTH-)	ALTERNATIVE ***
① ITEM 441 ASPHALT CONCRETE SURFACE COURSE TYPE 1 PG. 64-22 MEDIUM TRAFFIC	1 1/4"	1 1/4"
② ITEM 441 ASPHALT CONCRETE INTERMEDIATE COURSE TYPE 2 PG. 64-22 MEDIUM TRAFFIC	1 3/4"	1 3/4"
③ ITEM 301 BITUMINOUS AGGREGATE BASE (TWO COURSES OF 3")	6"	9"
④ ITEM 304 AGGREGATE BASE	6"	N/A

\*\* NOTE: COLLECTOR AND ARTERIAL STREET PAVEMENT DEPTHS SHALL BE DESIGNED TO ACTUAL TRAFFIC LOADINGS USING THE AASHTO GUIDE FOR DESIGN OF PAVEMENT STRUCTURES. SHOULD CALCULATED DEPTHS BE LESS THAN THE MINIMUM DEPTHS, THE MINIMUM DEPTHS SHALL BE USED.

\*\*\* NOTE: ALTERNATIVE PAVEMENT SECTION REQUIRES CITY ENGINEER'S APPROVAL PRIOR TO INSTALLATION.

Date: 01/01/2020

City of Dublin ENGINEERING

STANDARD DRAWING

TYPICAL STREET SECTIONS

SHEET 1 OF 1 DRAWING NO. RD-01

7' MINIMUM  
 10' VERTICAL CLEARANCE OBSTRUCTIONS  
 HORIZONTAL CLEARANCE 2' MIN. FROM EDGE OF SIDEWALK TO CLOSEST POINT OF OBSTRUCTION, OR AS APPROVED BY CITY ENGINEER.  
 TYPICAL SIDEWALK WIDTH SHALL BE 4'-0" OR 5'-0". TYPICAL SHARED USE PATH SHALL BE 8' UNLESS OTHERWISE SPECIFIED IN APPROVED CONSTRUCTION DRAWINGS.  
 STANDARD DRIVEWAY  
 RESIDENTIAL DRIVEWAY  
 NON-RESIDENTIAL DRIVEWAY  
 1.56%  
 4"  
 8"  
 1"  
 SIDEWALK EASEMENT  
 ITEM 204 COMPACTED SUBGRADE  
 COMPACTED 4" ITEM 304 OR NO. 57 STONE

- ALL WALKWAYS SHALL BE CONSTRUCTED PER CCMS ITEM 608 OR AS DIRECTED BY CITY ENGINEER.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED. SEED MIXTURE SHALL BE APPROVED BY THE CITY ENGINEER.
- CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITIONS, AND ANY OTHER SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS UNLESS OTHERWISE NOTED.
- SIDEWALKS/BIKE PATHS CROSSING RESIDENTIAL DRIVEWAYS SHALL BE 6" COC 6 CONCRETE ITEM 499. SIDEWALKS/SHARED USE PATHS CROSSING NON-RESIDENTIAL DRIVEWAY APPROACHES SHALL BE MINIMUM 8" COC 6 CONCRETE, ITEM 499 UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- ALL COMMERCIAL DRIVES SHALL HAVE 6" OF ITEM 304.
- INSPECTION SCHEDULING SHALL BE MADE WITH THE BUILDING DIVISION WHEN CONCRETE FORMS ARE READY FOR INSPECTION, AT LEAST 48 HOURS BEFORE CONCRETE IS TO BE PLACED AT (614) 410 - 4680.
- ALL SHARED USE PATH JOINTS ARE TO BE SAWCUT.
- SIDEWALKS/FLATWORK SHALL BE TOOL CUT & RETRACTED.
- FULL DEPTH EXPANSION MATERIAL (1/2" THICK) SHALL BE PLACED ADJOINING ALL EXISTING CONCRETE CONFORMING TO ASTM D-1752 TYPE 1.

Date: 01/01/2020

City of Dublin ENGINEERING

STANDARD DRAWING

CONCRETE SIDEWALK AND SHARED-USE PATH

SHEET 1 OF 1 DRAWING NO. RD-05

6"  
 1/4" RADIUS  
 3" RADIUS  
 6"  
 18"  
 6"  
 13"  
 6"  
 PAVEMENT AS SPECIFIED BY PLAN  
 MATCH STREET SUB GRADE  
 ITEM 499 - COC 6 CONCRETE  
 #57 AGGREGATE OR ITEM 304 CRUSHED AGGREGATE \*  
 #57 AGGREGATE  
 ITEM 605 - 4" PIPE UNDERDRAIN (720.01)

\* FOR NEW ROAD CONSTRUCTION, ITEM 304 AGGREGATE BASE SHALL BE USED UNDER THE CURB SECTION AND PLACED AT THE SAME TIME AND LIFT THICKNESS AS THE 304 AGGREGATE BASE UNDER THE PAVEMENT SECTION.

Date: 01/01/2020

City of Dublin ENGINEERING

STANDARD DRAWING

STRAIGHT 18" CONCRETE CURB

SHEET 1 OF 1 DRAWING NO. RD-11

4' MINIMUM  
 6"  
 6"  
 MIN. 1/16" TO MAX 3/16" POLYMERIC SAND FILLED JOINTS, SLATE GRAY COLOR  
 NEOPRENE MODIFIED ASPHALT ADHESIVE  
 3/8" COMPACTED BITUMINOUS SETTING BED  
 4" COMPACTED AGGREGATE BASE (ITEM 304)  
 TACK COAT (ITEM 407)  
 4" COC 6 CONCRETE BASE (ITEM 305)  
 COMPACTED SUBGRADE  
 SOLDIER COURSE  
 PERMALOC EDGING OR EQUIVALENT, BLACK IN COLOR  
 EDGE OF BASE MATERIALS  
 BELDEN BELCREST 530 S CLAY PAVERS 45° HERRING BONE PATTERN

NOTES:

- THE PAVERS SHALL BE BELDEN BELCREST 530 S CLAY PAVERS, 2 1/4" x 3 5/8" x 7 5/8", MADE BY BELDEN BRICK COMPANY, CANTON, OHIO, LAID IN A 45° HERRINGBONE PATTERN.
- ALL JOINTS SHALL BE FILLED WITH A POLYMERIC SAND. SAND SHALL BE ALLIANCE GATOR MAXX POLYMERIC SAND FOR OVERLAYS AND SLATE GRAY IN COLOR OR AN APPROVED EQUAL.
- FURNISH NEOPRENE MODIFIED ASPHALT ADHESIVE THAT CONTAINS 2% GRADE WM1 NEOPRENE, OXIDIZED ASPHALT WITH A 150 DEGREE SOFTENING POINT (77 PENETRATION), AND 10% LONG-FIBERED INERT MATERIAL, AS SUPPLIED BY SEIDEL COMPANY, INC., NEWBURYPORT, MA, (617) 649-6740; HASTINGS PAVEMENT COMPANY, INC., LAKE SUCCESS, NY, (516) 379-3500; OR APPROVED EQUAL.
- FURNISH ASPHALT CEMENT CONFORMING TO ASTM D 3381, PG64-22. FINE AGGREGATE SHALL BE NATURAL SAND AND/OR STONE SAND COMPOSED OF HARD, DURABLE, UNCOATED PARTICLES, FREE FROM CLAY, SILT, ORGANIC MATERIAL, OR OTHER DELETERIOUS SUBSTANCES. ALL SAND SHALL BE UNIFORMLY GRADED AND PASS A NO. 4 SIEVE, MEETING THE REQUIREMENTS OF ASTM C 136. THE DRIED FINE AGGREGATE SHALL BE MIXED WITH HOT ASPHALT CEMENT AT THE PLANT AND HEATED TO APPROXIMATELY 300 DEGREES (F). APPROXIMATE MATERIAL PROPORTIONS SHALL BE 7% ASPHALT CEMENT AND 93% FINE AGGREGATE; OR 140 LBS ASPHALT TO 1,860 LBS FINE AGGREGATE PER TON.

Date: 01/01/2020

City of Dublin ENGINEERING

STANDARD DRAWING

HISTORIC DISTRICT BRICK PAVER SIDEWALK

SHEET 1 OF 1 DRAWING NO. RD-12

OSBORN ENGINEERING  
 130 East Chestnut St - Suite 401 | Columbus, OH 43212  
 614-566-4272

CORWIN PROPERTIES LLC

THE APOTHECARY AND UNCORKED

PROJECT LOCATION:  
 30 SOUTH HIGH STREET  
 CITY OF DUBLIN, FRANKLIN COUNTY, OHIO 43017

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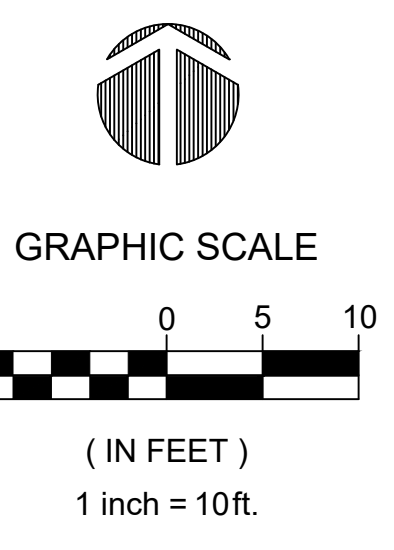
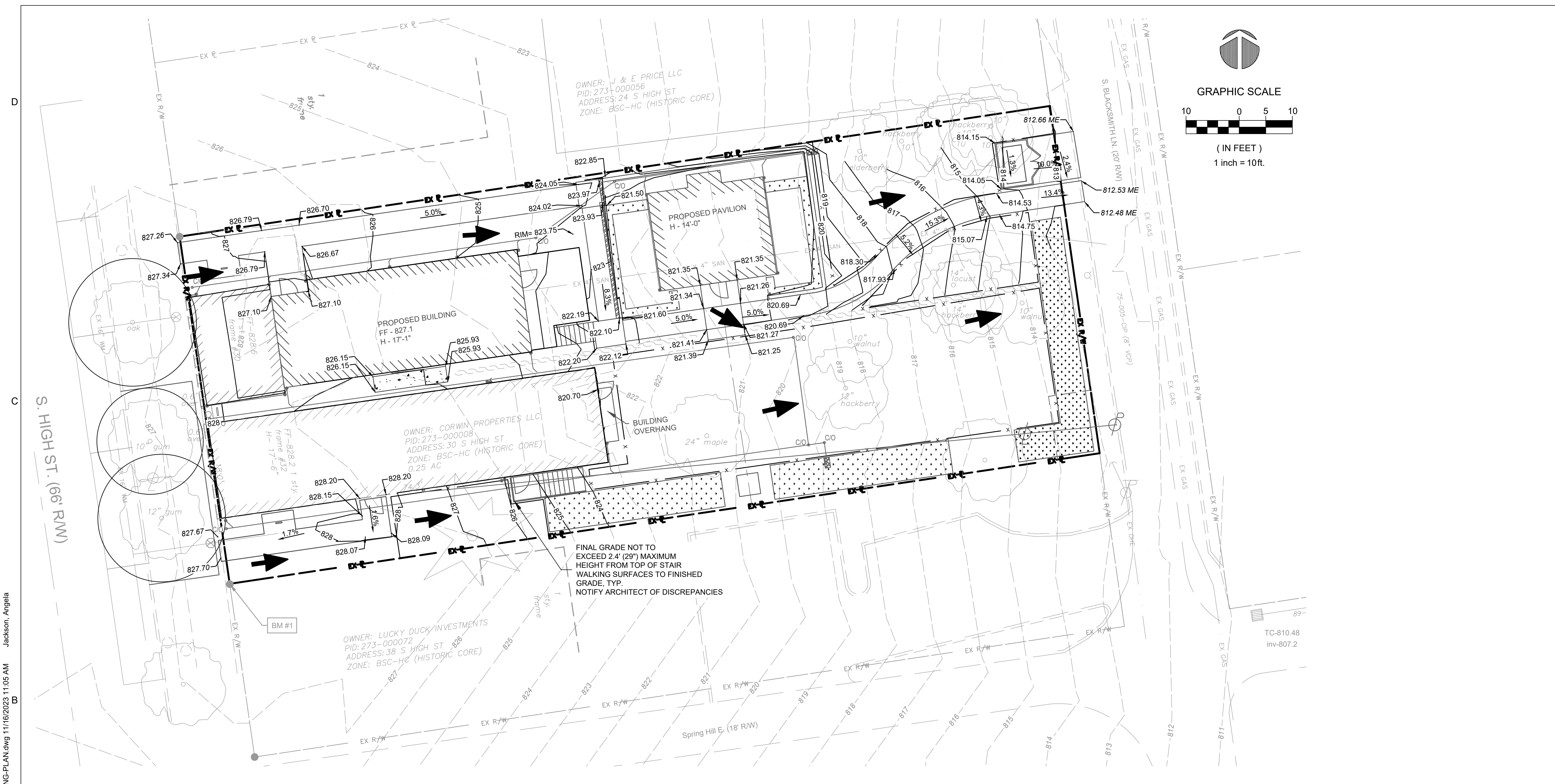
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CONSTRUCTION DETAILS

DRAWING NO. C-102





CORWIN PROPERTIES LLC  
THE APOTHECARY AND UNCORKED

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GRADING PLAN

DRAWING NO.  
**C-200**

GRADING LEGEND

- 801.88 PROPOSED ELEVATION
- 793.95 ME MEET EXISTING ELEVATION
- 1.5% PROPOSED SLOPE
- 795 PROPOSED CONTOUR
- 795 EXISTING CONTOUR
- 948.50 TOP OF CURB
- 948.00 BOTTOM OF CURB
- FLOOD ROUTING
- PROTECTIVE TREE FENCE

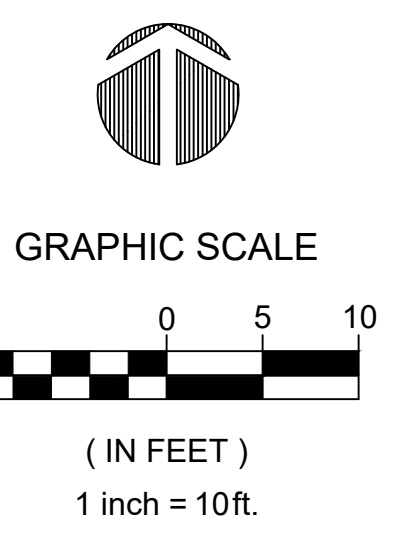
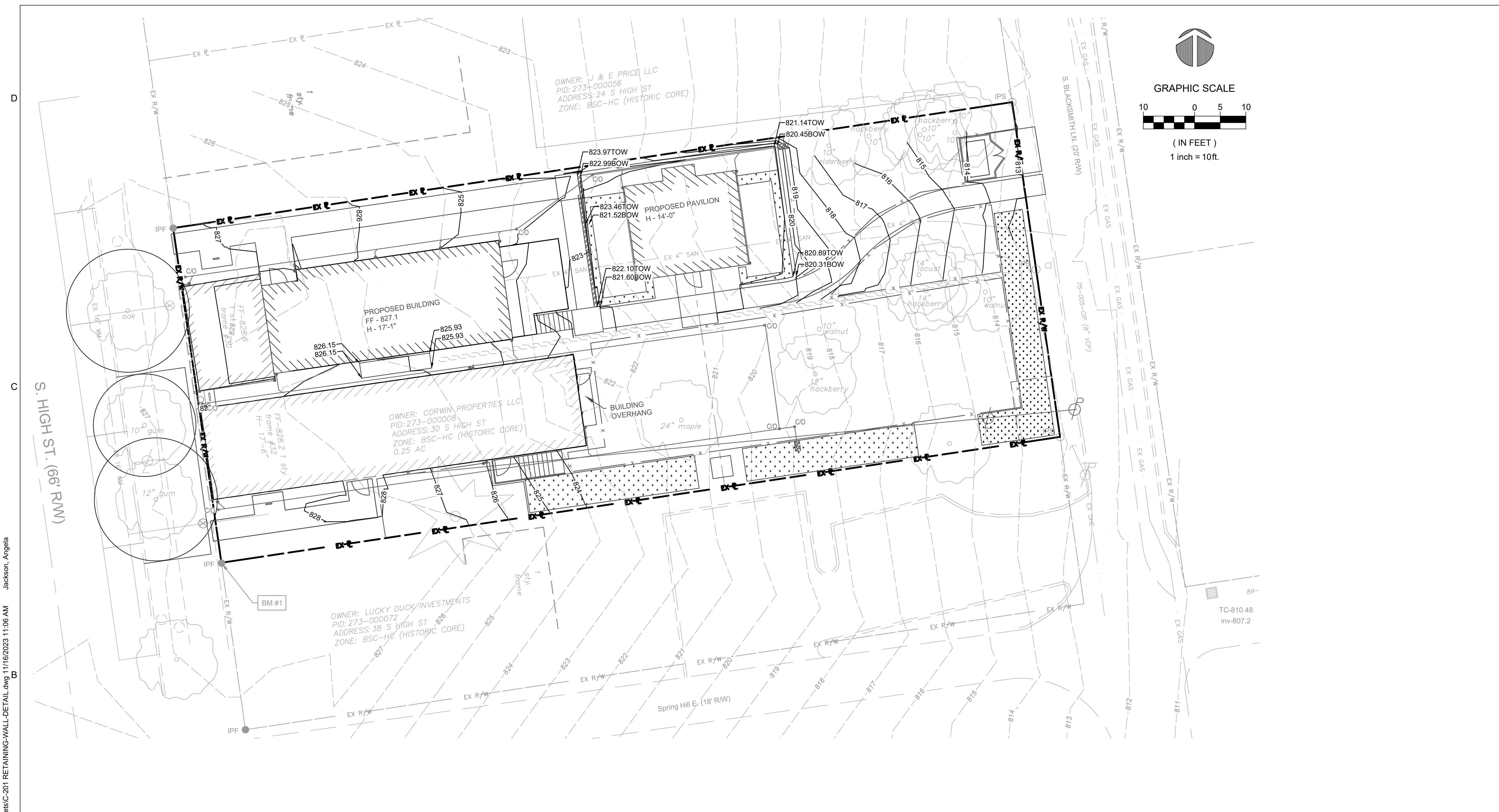
SITE GRADING PLAN NOTES:

1. ALL GRADES ARE FINISH PAVEMENT GRADES UNLESS OTHERWISE NOTED.
2. REFER TO SHEET C-002 FOR SURVEY LEGEND.
3. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. EXACT LOCATIONS TO BE FIELD VERIFIED.

ABBREVIATION LEGEND

- PR PROPOSED
- EX EXISTING
- R/W RIGHT OF WAY
- P PROPERTY LINE
- BLDG BUILDING
- SF SQUARE FOOT
- FFE FINISH FLOOR ELEVATION
- BM BENCHMARK
- SAN SANITARY
- MH MANHOLE
- CB CATCH BASIN
- MIN MINIMUM

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**CORWIN PROPERTIES LLC**  
**THE APOTHECARY AND UNCORKED**

PROJECT LOCATION:  
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**RETAINING WALL PLAN**

DRAWING NO.  
**C-201**

**GRADING LEGEND**

- 801.88TOW PROPOSED TOP OF RETAINING WALL ELEVATION
- 801.88BOW PROPOSED BOTTOM OF RETAINING WALL ELEVATION
- 795 — PROPOSED CONTOUR
- 795 — EXISTING CONTOUR
- RETAINING WALLS (SEE STRUCTURAL DETAIL, RW-1)

**GENERAL NOTE:**

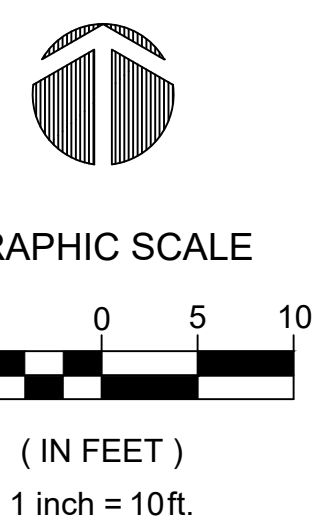
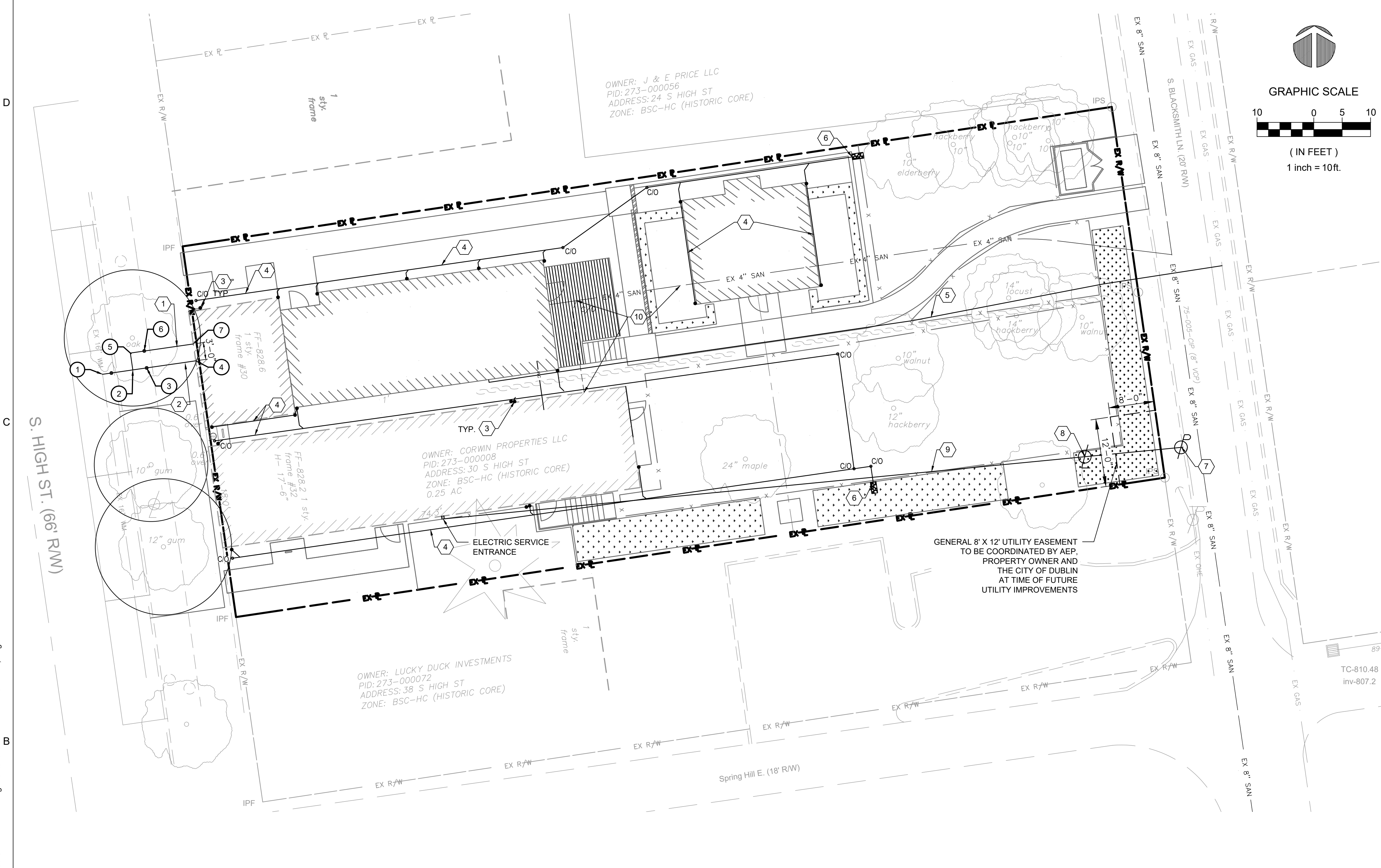
1. REFERENCE STRUCTURAL PLANS, SHEET S-511 FOR RETAINING WALL DETAILS.

**ABBREVIATION LEGEND**

- PR PROPOSED
- EX EXISTING
- R/W RIGHT OF WAY
- PL PROPERTY LINE
- BLDG BUILDING
- SF SQUARE FOOT
- FFE FINISH FLOOR ELEVATION
- BM BENCHMARK
- SAN SANITARY
- MH MANHOLE
- CB CATCH BASIN
- MIN MINIMUM

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- UTILITY PLAN CODED NOTES:**
- PROPOSED 1.5" DOMESTIC WATER SERVICE.
  - PROPOSED 4" FIRE PROTECTION SERVICE.
  - PROPOSED 4" ROOF DOWNSPOUT (SEE ARCHITECTURAL DRAWINGS).
  - PROPOSED 4" ROOF DRAIN.
  - PROPOSED GAS LINE.
  - PROPOSED DAYLIGHT PIPE WITH ROCK CHANNEL PROTECTION.
  - PROPOSED AEP UTILITY POLE.
  - PROPOSED PRIVATE UTILITY POLE.
  - PROPOSED OVERHEAD ELECTRICAL SERVICE (SEE ELECTRICAL PLANS FOR DETAILS).
  - EXISTING CLAY TILE SANITARY TO REMAIN (SEE PLUMBING PLANS FOR DETAILS).

- GENERAL NOTES:**
- PRIVATE UTILITY WORK (GAS, ELECTRIC, ETC.) WITHIN RIGHT-OF-WAY AND/OR PUBLIC EASEMENT REQUIRE SEPARATE RIGHT-OF-WAY PERMIT(S).
  - TAPS INTO EXISTING SEWER SYSTEMS ARE TO BE CORE DRILLED AND CITY OF DUBLIN INSPECTED.
  - NEW SANITARY TAP IS TO PROVIDE SERVICE FOR BOTH BUILDINGS.
  - COORDINATE BUILDING UTILITY SERVICES WITH MEP BUILDING DRAWINGS.

**UTILITY LEGEND**

ROCK CHANNEL PROTECTION



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**ABBREVIATION LEGEND**

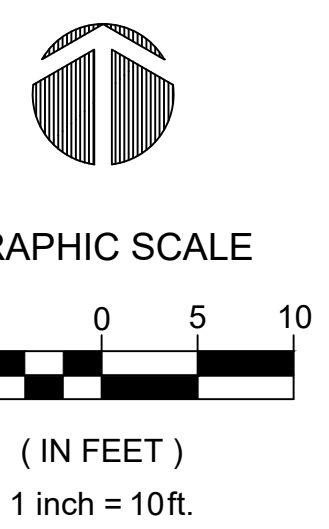
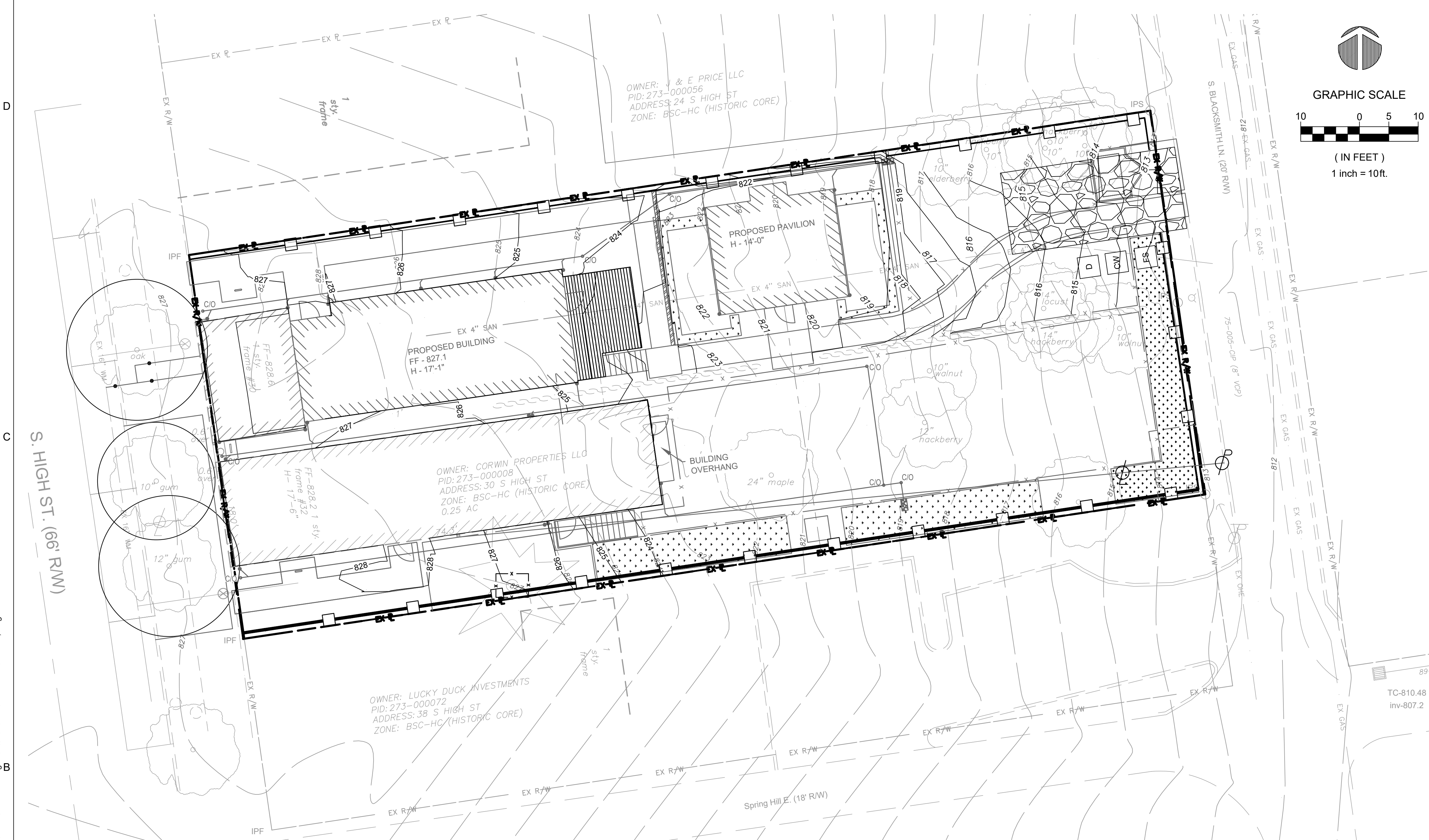
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- BLDG BUILDING
- SF SQUARE FOOT
- FFE FINISH FLOOR ELEVATION
- BM BENCHMARK
- SAN SANITARY
- MH MANHOLE
- CB CATCH BASIN
- MIN MINIMUM
- C/O CLEAN OUT
- STY. STORY

Point	Northing	Easting	Description
1	765080.62	1796837.92	16" X 4" TAPPING SLEEVE & VALVE W/ COLUMBUS HDVB
2	765081.39	1796843.25	1.5" TAP (CORP.)
3	765081.76	1796845.69	4" WATER SERVICE VALVE & COLS. STD. VB
4	765082.99	1796854.33	4" FWS BUILDING ENTRANCE
5	765084.26	1796842.95	1.5" 90° HORIZ. DEFLECTION
6	765084.74	1796845.26	1.5" CURB STOP & BOX
7	765085.96	1796853.90	1.5" DWS BUILDING ENTRANCE

**UTILITY PLAN**

DRAWING NO.  
**C-300**

P:\Corwin\20211064.000 S High Wine And Bourbon Bar\Drawings\Civil\Sheets\C-400 EROSION-CONTROL-PLAN.dwg 11/16/2023 11:32 AM Jackson, Angela



**A. PROJECT DESCRIPTION:** BUILDING/SITE RENOVATIONS  
**B. PROJECT ADDRESS:** 30-32 S HIGH STREET  
**C. PID:** 273-00008-00, 273-000089-00  
**D. OWNER:** CORWIN  
 30-32 S HIGH STREET  
 DUBLIN, OH 43017  
 PHONE: TBD  
 EMAIL: TBD  
**E. PLAN DESIGNER:** OSBORN ENGINEERING  
 130 EAST CHESTNUT ST., SUITE 401  
 COLUMBUS, OH 43215  
 PHONE: 614-556-4272  
 EMAIL: WDAVIS@OSBORN-ENG.COM  
**F. DISTURBED AREA:** 0.062 AC  
**G. TOTAL ON-SITE AREA:** 0.25 AC  
**H. RUNOFF CALCULATIONS:**

**PRE-CONSTRUCTION RUNOFF COEFFICIENTS**  
 EXISTING IMPERVIOUS AREA  
 • ON-SITE IMPERVIOUS = 0.05 AC  
 • R/W IMPERVIOUS = 0.00 AC  
 EXISTING PERVIOUS AREA  
 • ON-SITE PERVIOUS = 0.20 AC  
 • R/W PERVIOUS = 0.00 AC  
 TOTAL DISTURBED AREA = 0.25 AC  
 CN 83

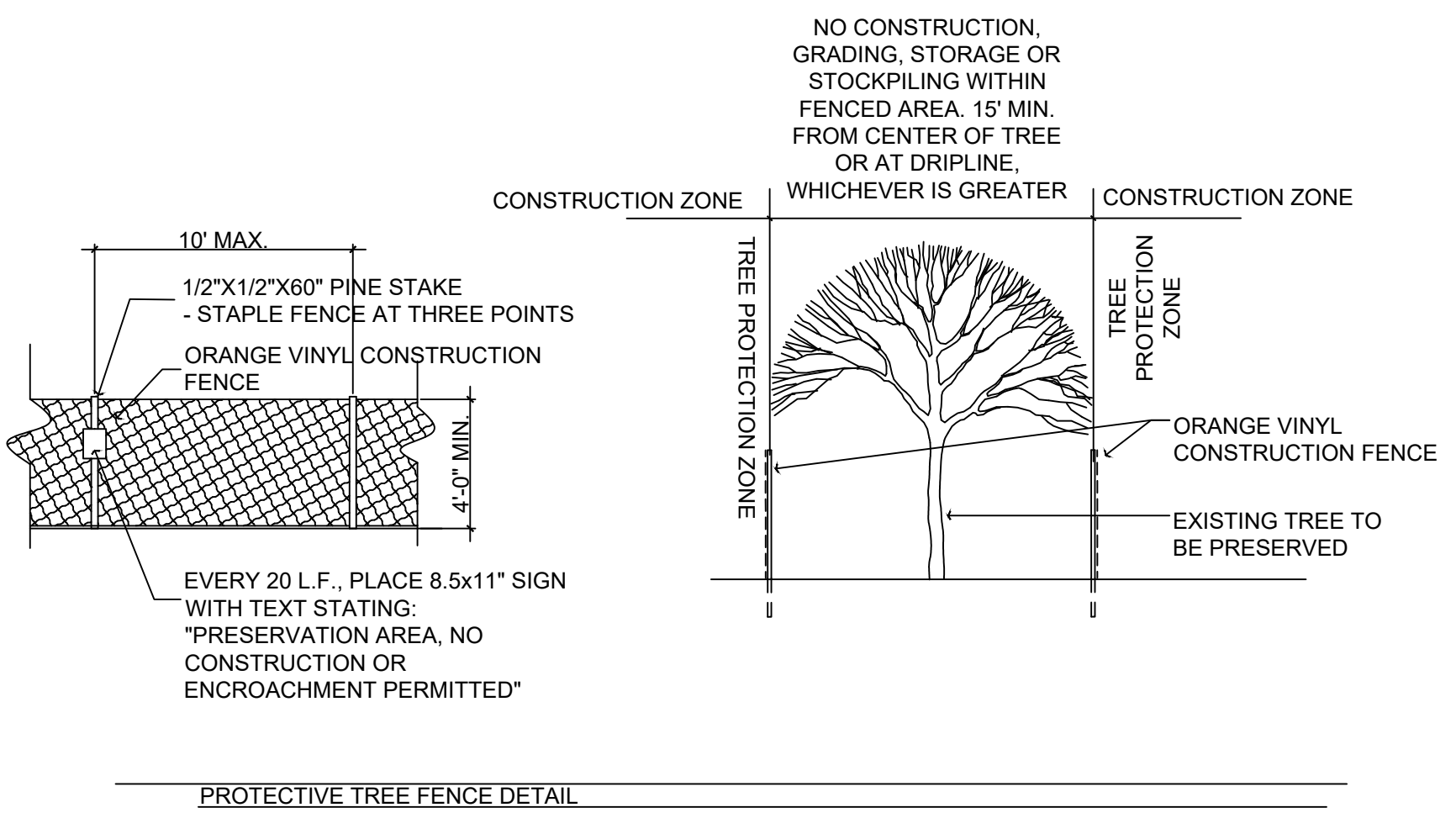
**POST-CONSTRUCTION RUNOFF COEFFICIENTS**  
 PROPOSED IMPERVIOUS AREA  
 • ON-SITE IMPERVIOUS = 0.10 AC  
 • R/W IMPERVIOUS = 0.00 AC  
 PROPOSED PERVIOUS AREA  
 • ON-SITE PERVIOUS = 0.15 AC  
 • R/W PERVIOUS = 0.00 AC  
 TOTAL DISTURBED AREA = 0.25 AC  
 CN 93

**I. EXISTING SOILS:** MpB - MILTON-URBAN LAND COMPLEX, 2-6% SLOPES  
 MpC - MILTON-URBAN LAND COMPLEX, 6-12% SLOPES  
**J. PRIOR LAND USE:** AGGREGATE AND GRASS  
**K. ESTIMATED START DATE:** 02/24  
**L. ESTIMATED COMPLETION DATE:** 02/25  
**M. PERSON RESPONSIBLE FOR AUTHORIZING & AMENDING THE SWPPP:** WES DAVIS (614-556-4272)

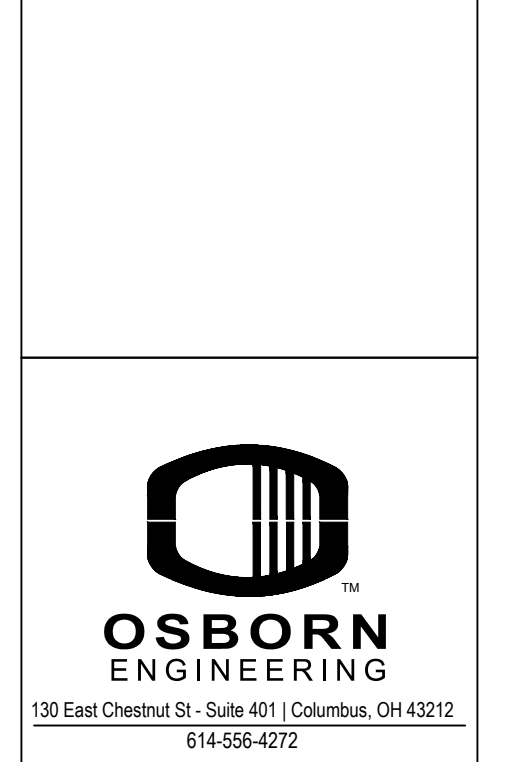
- N. CONSTRUCTION SEQUENCE:**
- STAKE AND/OR FLAG LIMITS OF CLEARING
  - DURING PRE-CONSTRUCTION MEETING ALL EROSION AND SEDIMENT CONTROL SHALL BE DISCUSSED.
  - INSTALL SILT FENCE PERIMETER CONTROLS AS SHOWN ON THE PLANS AND INLET PROTECTION ON EXISTING INLET STRUCTURES WITHIN 7 DAYS OF CLEARING/GRUBBING AND PRIOR TO GRADING ACTIVITIES.
  - INSTALL CONSTRUCTION ENTRANCE, IF CONDITIONS ARE SUCH THAT MUD IS COLLECTING ON VEHICLE TIRES, THE TIRES MUST BE CLEANED BEFORE THE VEHICLES ENTER THE PUBLIC ROADWAY. THE SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOW OF MUD INTO THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE ROADWAY MUST BE REMOVED PROMPTLY.
  - CONSTRUCT STORM DRAIN. DURING CONSTRUCTION OF STORM DRAINS THE ENDS OF ALL OPEN PIPES SHALL BE PROTECTED BY FILTER BARRIERS OR OTHER APPROVED MEANS.
    - PROMPTLY UPON BACKFILL OF STORM STRUCTURES, FILTER BARRIERS SHALL BE PLACED.
    - CONSTRUCT TEMPORARY SWALES TO DRAINAGE STRUCTURES.
  - ANY REMAINING EXPOSED AREAS SHALL BE SEEDED AND MULCHED OR SODDED WITHIN 7 DAYS OF FINAL GRADE.
  - MAINTAIN EROSION & SEDIMENT CONTROL MEASURES UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED & APPROVED BY CITY OF DUBLIN.
  - REMOVE SEDIMENT CONTROLS.
  - CONSTRUCTION WASTE (INCLUDING CONCRETE WASHOUT) WILL NEED TO BE TRANSPORTED TO A LEGAL DUMP SITE.

**Q. STORM WATER DISCHARGE:** SITE GENERALLY SHEET FLOWS FROM THE WEST TO EAST.

- EROSION CONTROL LEGEND**
- CONCRETE WASHOUT (SEE SHEET C-401 FOR DETAIL)
  - FUEL STORAGE
  - DUMPSTER
  - STABILIZED CONSTRUCTION ENTRANCE (SEE SHEET C-401 FOR DETAIL)
  - FILTER SOCK OR SILT FENCE
  - LIMITS OF CONSTRUCTION
  - PROTECTIVE TREE FENCE (SEE THIS SHEET FOR DETAIL)



- ABBREVIATION LEGEND**
- PR PROPOSED
  - EX EXISTING
  - R/W RIGHT OF WAY
  - P PROPERTY LINE
  - BLDG BUILDING
  - SF SQUARE FOOT
  - FFE FINISH FLOOR ELEVATION
  - BM BENCHMARK
  - SAN SANITARY
  - MH MANHOLE
  - CB CATCH BASIN
  - MIN MINIMUM



**CORWIN PROPERTIES LLC**  
**THE APOTHECARY AND UNCORKED**  
 PROJECT LOCATION:  
 30 SOUTH HIGH STREET  
 CITY OF DUBLIN, FRANKLIN COUNTY, OHIO 43017

TAG	ISSUED	DATE
1	ARB - REVISION	10/30/2023

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 OSBORN PROJ. NO. J20211064.000

**EROSION CONTROL PLAN**  
 DRAWING NO.  
**C-400**

**EROSION AND SEDIMENT CONTROL**

**QUALITY CONTROL**

- LAND-DISTURBING ACTIVITIES MUST COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS AND ORDINANCES. ALL LAND-DISTURBING ACTIVITIES SHALL BE SUBJECT TO INSPECTION AND SITE INVESTIGATION BY THE LOCAL JURISDICTIONAL AUTHORITY AND/OR THE STATE EPA. FAILURE TO COMPLY WITH LOCAL CODES, REGULATIONS AND/OR ORDINANCES IS SUBJECT TO LEGAL ENFORCEMENT ACTION. IN ADDITION, DUMPING OF MATERIALS INTO THE STORM SEWERS WILL NOT BE PERMITTED.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE LOCAL JURISDICTIONAL AUTHORITY AND/OR THE STATE EPA.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE INSPECTED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES PER 24 HOUR PERIOD. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH THE EXCEPTION OF A SEDIMENT SETTLING POND, IT MUST BE REPAIRED OR MAINTAINED WITHIN 3 DAYS OF THE INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF THE INSPECTION.

**GENERAL**

- ALL DEWATERING FLOWS SHALL BE SILT-FREE PRIOR TO DISCHARGE, AND DISCHARGE SHALL BE DIRECTED TO STABILIZED SITES SUCH AS STREAMS, PONDS, STORM SEWERS OR EXISTING GRASSED DRAINAGE WAYS ACCEPTABLE TO THE OWNER. NOT ONTO EXPOSED SOILS OR ANY OTHER SITE WHERE FLOWS COULD CAUSE EROSION.
- THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS IF THEY ARE TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN TWENTY-ONE (21) DAYS. FOR AREAS WITHIN FIFTY (50) FEET OF ANY STREAM, FIRST ORDER OR LARGER (CREEK IS FIRST ORDER), SOIL STABILIZATION PRACTICES SHALL BE INITIATED WITHIN TWO (2) DAYS ON ALL INACTIVE, DISTURBED AREAS AND WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. IF DUE TO WEATHER, FINAL GRADING CANNOT BE ACCOMPLISHED IMMEDIATELY, MULCHING AND TEMPORARY SEEDING IF FEASIBLE, OR SOME OTHER TYPE OF TEMPORARY EROSION CONTROL MEASURES MUST BE USED WITHIN SEVEN (7) DAYS UNTIL LONG-TERM RESTORATION CAN OCCUR. WHEN SEASONAL CONDITIONS PROHIBIT THE APPLICATION OF TEMPORARY OR PERMANENT SEEDING, NON-VEGETATIVE SOIL STABILIZATION PRACTICES SUCH AS MULCHING AND MATTING SHALL BE USED. ANY AREAS AT FINAL GRADE OR THAT WILL LIE DORMANT FOR ONE YEAR OR MORE REQUIRE PERMANENT SEEDING WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE.
- ANY AREAS AT FINAL GRADE OR THAT WILL LIE DORMANT FOR MORE THAN ONE YEAR OR MORE SHALL BE PERMANENTLY SEEDED WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE. THE SEEDED ARE WILL BE CONSIDERED STABILIZED WHEN THERE IS A 70% VEGETATIVE DENSITY.
- PRESERVATION SHALL TAKE PRECEDENCE OVER REMOVAL WITHIN THE TEMPORARY WORK LIMITS. REMOVE ONLY THOSE TREES, SHRUBS AND STRUCTURES NECESSARY TO COMPLETE CONSTRUCTION AND MAINTAIN THE NEW FACILITIES. REPLACEMENT "IN-KIND" OF REMOVED ITEMS SHOULD OCCUR WHEREVER POSSIBLE.
- STOCKPILED TOPSOIL AND MATERIALS SHALL BE PROTECTED WITH EROSION CONTROL BARRIERS OR TEMPORARY SEEDING.
- EXCESS SOIL THAT IS STOCKPILED MUST BE EITHER REMOVED OR REGRADED WITHIN 15 DAYS OF THE COMPLETION OF THE CONSTRUCTION.
- NO FILL, TOPSOIL OR HEAVY EQUIPMENT SHALL BE STORED WITHIN 200 FEET OF A STREAM BANK OR WITHIN THE DRIPLINE OF TREE AREAS.
- ALL DISTURBED VEGETATION IS TO BE RESEEDED AS PART OF RESTORATION UNLESS THE AREAS WILL BE PAVED OR OCCUPIED.
- ONLY WATER OR CALCIUM CHLORIDE WILL BE USED AS A DUST PALLIATIVE.
- CONTRACTOR SHALL INSPECT ALL INSTALLATIONS OF SOIL EROSION AND SEDIMENTATION CONTROL METHODS DAILY. ANY DAMAGED OR NON FUNCTIONAL AREAS SHALL BE REPAIRED IMMEDIATELY AND MAINTAINED THROUGH THE DURATION OF THE PROJECT OR UNTIL STABILIZED VEGETATION IS ESTABLISHED.
- SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT EARTH DISTURBING ACTIVITY. SEDIMENT PONDS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RESTABILIZED.
- IN THE EVENT OF CONFLICT BETWEEN THESE REQUIREMENTS AND POLLUTION CONTROL LAWS, RULES OR REGULATIONS OF OTHER FEDERAL, STATE, OR LOCAL AGENCIES, THE MORE RESTRICTIVE LAWS, RULES OR REGULATIONS SHALL APPLY.

**SILT FENCE**

- FILTER FABRIC MATERIAL FOR SILT FENCE SHALL BE PURCHASED IN A CONTINUOUS ROLL. CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM 18 INCHES).
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP FOR THE SILT FENCE ALONG THE LINE OF POSTS, UPSLOPE FROM THE BARRIER.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER MATERIAL.
- THE SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
- THE CONTRACTOR SHALL MAINTAIN SILT FENCE UNTIL UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

**SILT FENCE MAINTENANCE**

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. EXTRA CARE SHALL BE TAKEN TO MAINTAIN SILT FENCE NEAR POND.
- SHOULD THE FABRIC ON THE SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

**GENERAL NOTES**

- ALL GRADES SHOWN ARE FINAL FINISH GRADES.
- MEET ALL EXISTING GRADES FLUSH, INCLUDING EXISTING CURBS.
- ALL LAWN AREAS TO MEET PAVEMENT EDGES FLUSH, UNLESS NOTED OTHERWISE ON THE PLAN.
- ALL LAWN AREAS TO HAVE 2% MIN. SLOPE.
- ALL PROPOSED CURBS ARE 6" HIGH, UNLESS NOTED OTHERWISE ON PLAN.
- ALL SPOT ELEVATIONS AT CURBS ARE AT BOTTOM OF CURB, UNLESS NOTED OTHERWISE ON PLAN.
- FOR ALL CURBS THAT DO NOT TERMINATE INTO A WALL OR ANOTHER CURB, TAPER FROM A 6" REVEAL TO 0"

OVER 2'-0" AT CURB TERMINATION.

**12. OWNER TO PROVIDE GEOTECHNICAL REPORT.**

- REMOVE UNSUITABLE MATERIALS TO A DEPTH OF AT LEAST 18" BELOW PAVEMENT SUBGRADE ELEVATIONS AND REPLACE W/ ENGINEERED FILL, PER THE PROJECT GEOTECHNICAL REPORT, AND AS DIRECTED ON SITE, BY THE GEOTECHNICAL ENGINEER.
- REFER TO UTILITY PLAN FOR HORIZONTAL LOCATIONS OF DRAINAGE STRUCTURES.
- ALL SITE UTILITIES, INCLUDING SITE DRAINAGE, ARE SHOWN FOR REFERENCE ONLY. SEE SITE ELECTRICAL AND SITE UTILITY PLANS.
- REFER TO SURVEY DRAWING FOR BENCHMARK INFORMATION.

**SPECIFICATIONS FOR MULCH**

- MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 14 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
- MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
  - STRAW - STRAW SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90LBS/1,000 SQ. FT. (TWO TO THREE BALES), THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQ FT SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.
  - HYDROSEEDERS - WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB/AC OR 46 LB/1,000 SQ. FT.
  - OTHER - OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 10-20 TONS/AC.
- MULCH ANCHORING - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH.
  - MECHANICAL - USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 INCHES.
  - MULCH NETTINGS - USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. FOLLOWING ALL PLACEMENT AND ANCHORING SUGGESTIONS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
  - ASPHALT EMULSION - FOR STRAW MULCH, APPLY AT THE RATE OF 160 GAL/AC (0.1 GAL/SY) INTO THE MULCH AS IT IS BEING APPLIED OR AS RECOMMENDED BY THE MANUFACTURE.
  - SYNTHETIC BINDERS - FOR STRAW MULCH, SYNTHETIC BINDERS AS ACRYLIC DLR(AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
  - WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB/AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB/100 GAL OF WOOD CELLULOSE FIBER.

**SPECIFICATIONS FOR TEMPORARY SEEDING**

**TEMPORARY SEEDING SPECIES SELECTION**

SEEDING DATES	SPECIES	LB/1,000 SQ.FT.	PER ACRE
MARCH 1 TO AUGUST 15	OATS	3	4 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
	PERENNIAL RYEGRASS	1	40 LB
	TALL FESCUE	1	40 LB
AUGUST 16 TO NOVEMBER 1	RYE	3	2 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
	WHEAT	3	2 BUSHEL
	TALL FESCUE	1	40 LB
NOVEMBER 1 TO SPRING SEEDING USE MULCH ONLY, SODDING PRACTICES OR DORMANT SEEDING.	ANNUAL RYEGRASS	1	40 LB
	PERENNIAL RYEGRASS	1	40 LB
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
	ANNUAL RYEGRASS	1	40 LB

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

- STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 21 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEEDED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
- THE SEEDBED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS - APPLICATION OF TEMPORARY VEGETATION SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER.
- SEEDING METHOD - SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

**SPECIFICATIONS FOR PERMANENT SEEDING**

PLANTING TIME: PROCEED WITH - AND COMPLETE - LAWN WORK AS RAPIDLY AS PORTIONS OF THE SITE BECOME AVAILABLE. WORKING WITHIN SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED. NORMAL SEEDING TIMES ARE AS FOLLOWS:

- MARCH 15 TO JUNE 10
- AUGUST 15 TO OCTOBER 1

SEEDING DURING OTHER THAN NORMAL SEEDING TIMES SHALL BE PERFORMED ONLY WITH THE PRIOR WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT WITH THE UNDERSTANDING THAT THE CONTRACT WILL THEREFOR BE ALTERED BY THE CHANGE ORDER.

GRASS SEED: PROVIDE FRESH, CLEAN, NEW CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY THE OFFICIAL SEED ANALYSTS OF MINIMUM PERCENTAGES OF PURITY, GERMINATION AND MAXIMUM PERCENTAGES OF WEED SEED, AS FOLLOWS:

BOTANICAL AND COMMON NAME	PERCENTAGE BY WEIGHT (MINIMUM)	PERCENTAGE PURITY (MINIMUM)	PERCENTAGE GERMINATION (MINIMUM)	PERCENTAGE WEED SEED (MINIMUM)
TALL FESCUE	20%	85%	80%	1.00%
INFERNO TALL FESCUE	20%	85%	80%	1.00%
CROSSFIRE II TALL FESCUE	0%	85%	80%	1.00%
AVENGER TALL FESCUE	20%	85%	80%	1.00%
BRIGHTSTAR SLT PERENNIAL RYEGRASS	10%	85%	80%	1.00%
BROOKLAWN KENTUCKY BLUEGRASS	10%	85%	80%	1.00%

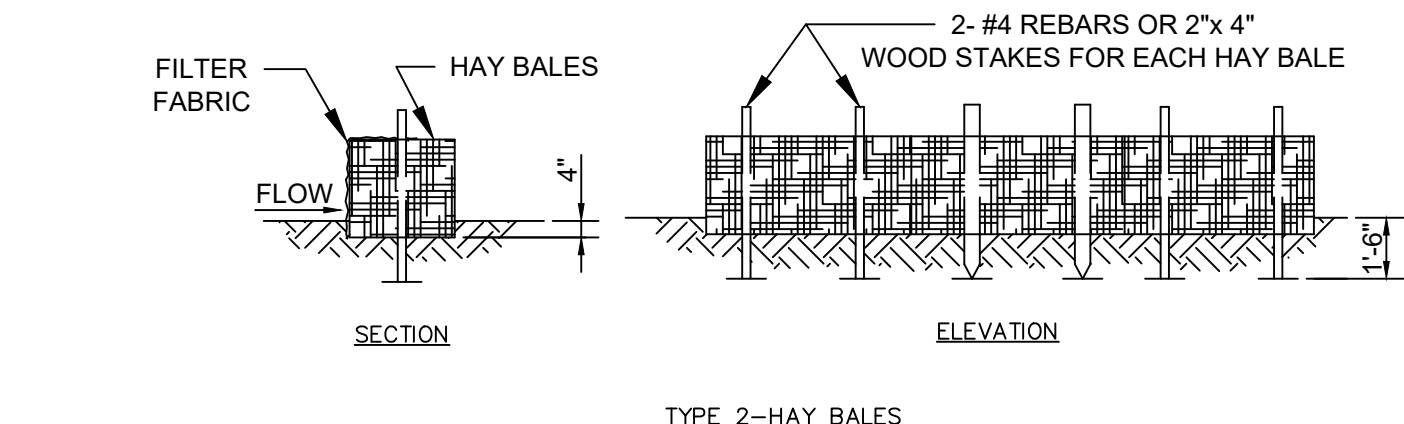
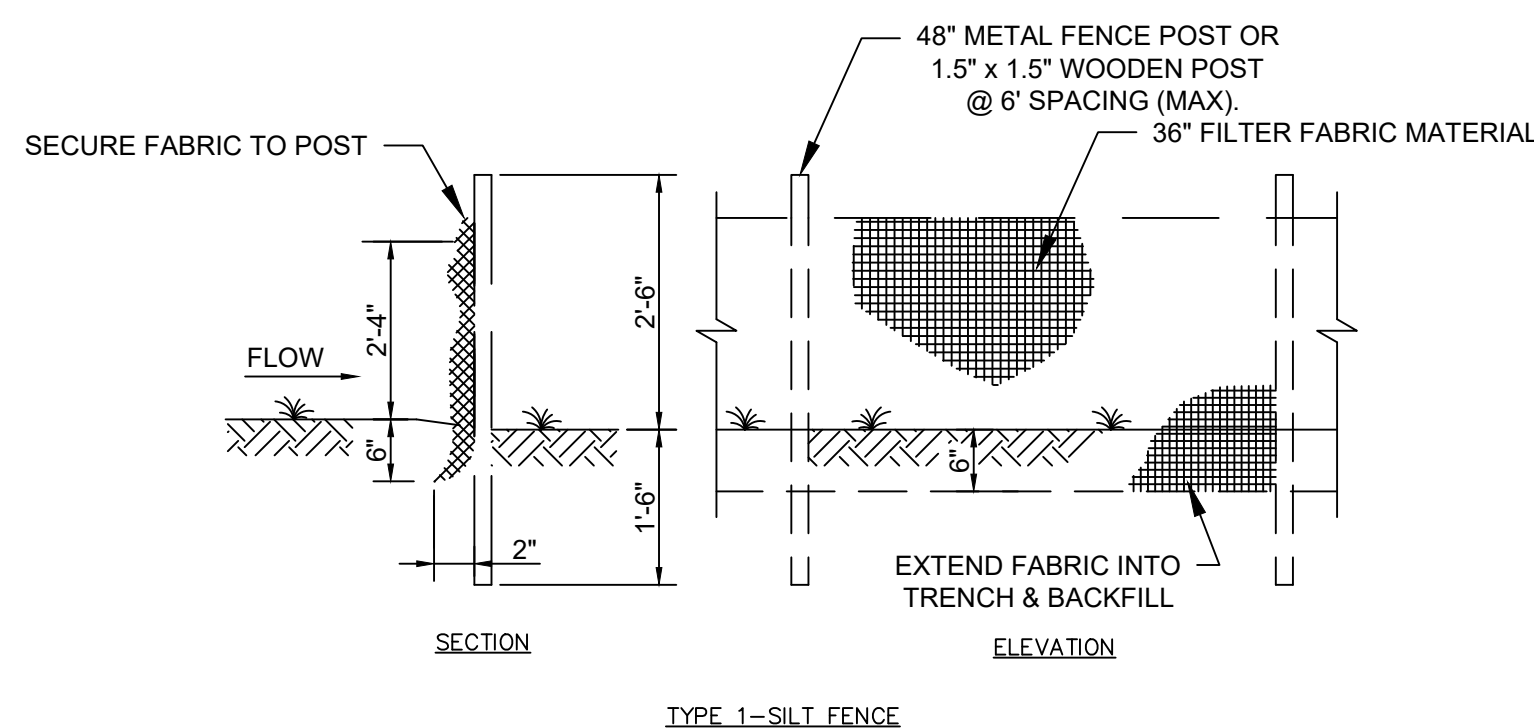
PERFORM ALL LIMING, FERTILIZING, RAKING, AND COMPACTING OPERATIONS ONLY AT TIMES WHEN LOCAL WEATHER AND OTHER CONDITIONS AFFECTING SUCH WORK ARE NORMAL AND FAVORABLE TO THE PROPER PROSECUTION OF THE PARTICULAR WORK WITHIN THE DATES SPECIFIED OR WITHIN AN EXTENDED PERIOD OF TIME APPROVED BY THE OWNER'S REPRESENTATIVE.

FERTILIZING AND LIMING: THE CONTRACTOR SHALL INTRODUCE A 10-20-10 FERTILIZER AT THE RATE OF 20 POUNDS PER 100 SQUARE FEET. LIME OR OTHER ADDITIVES AT THE RATE APPROVED BY THE ARCHITECT. THE ABOVE ITEMS SHALL BE WORKED INTO THE TOP 2 INCHES OF SOIL AND SMOOTHED TO GRADE TO PREPARE A PROPER BED FOR SEEDING.

SOW SEED AT THE RATE OF 5 POUNDS PER 1000 SQUARE FEET FOR EACH AREA, UNIFORMLY, AND BY BROADCAST, DRILL, OR HAND SEEDING METHOD. IMMEDIATELY AFTER SOWING, RAKE DRAG, OR OTHERWISE TREAT THE AREA SO AS TO COVER THE SEED TO A DEPTH OF OF APPROXIMATELY 1/4 INCH.

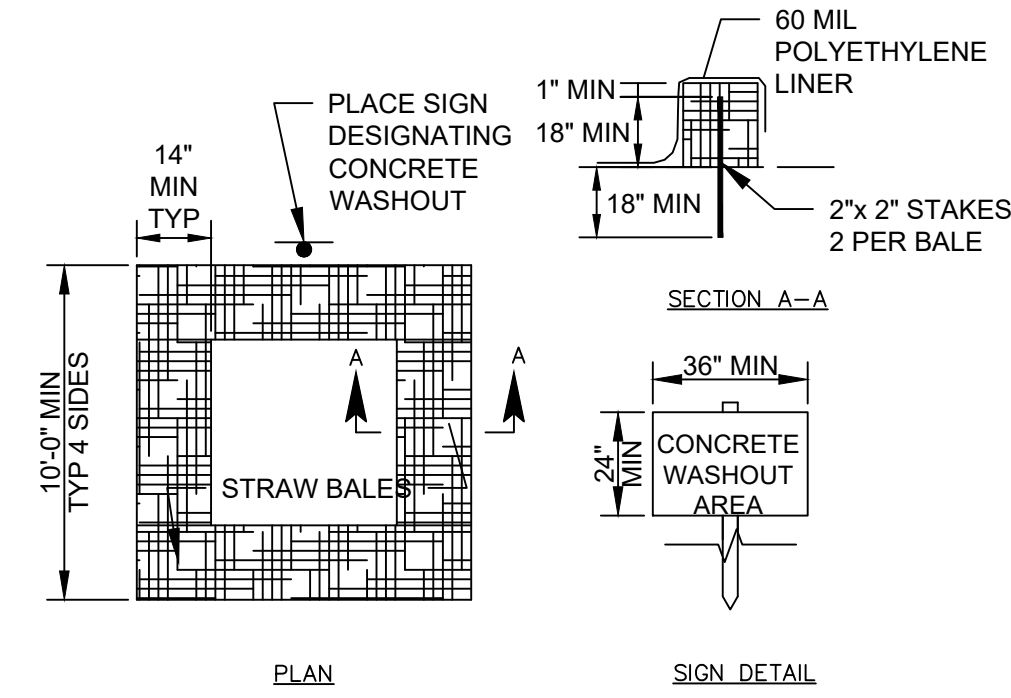
NO SEEDING SHALL BE DONE DURING WINDY WEATHER, OR WHEN THE GROUND SURFACE IS MUDDY, FROZEN OR OTHERWISE NON-TILLABLE.

WHEN LANDSCAPE WORK IS COMPLETED, INCLUDING MAINTENANCE, THE LANDSCAPE ARCHITECT WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY.



**EROSION CONTROL DETAILS  
SEDIMENT BARRIERS**

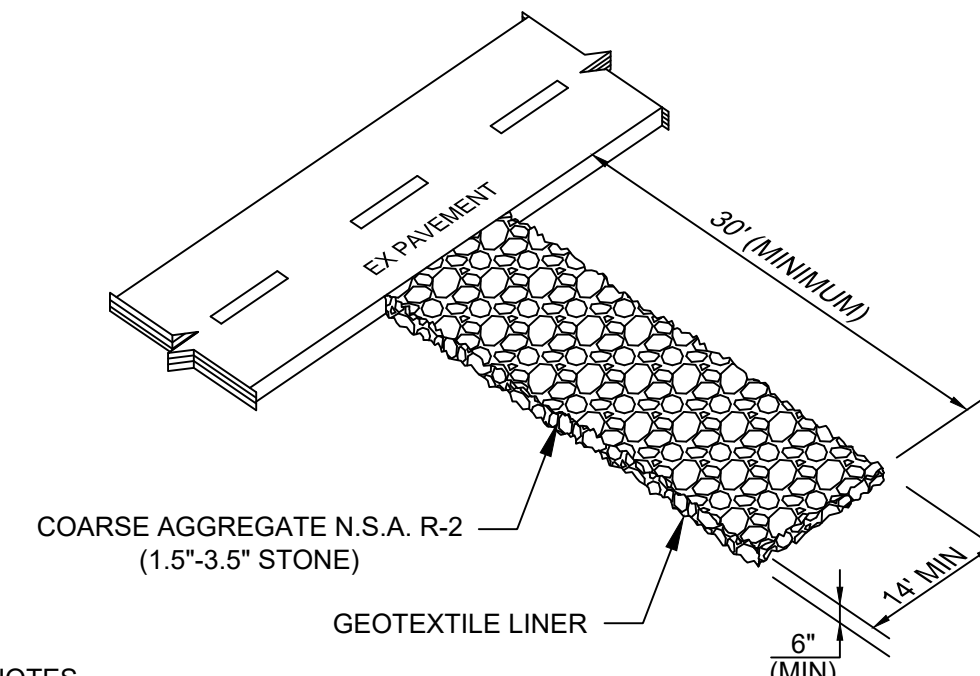
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NOTE: A CONCRETE WASHOUT AREASHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS BE ALLOWED TO ENTER STREAMS OR DRAINS.

**CONCRETE WASHOUT  
BASIN DETAIL**

NOT TO SCALE



**NOTES**

- LOCATE STONE PAD AT ANY POINT WHERE VEHICULAR TRAFFIC WILL BE LEAVING THE SITE ONTO A PUBLIC RIGHT-OF-WAY STREET, ROADWAY, OR PARKING AREA.
- PAD WIDTH - 14'-0" MINIMUM BUT NOT LESS THAN FULL WIDTH OF ALL POINTS OF VEHICULAR EGRESS. PAD LENGTH - 30'-0" MINIMUM.
- MAINTAIN THE EXIT TO PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. PROVIDE PERIODIC TOP DRESSING WITH 1.5-3.5" STONE, AS CONDITIONS DEMAND. IMMEDIATELY REMOVE ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO ROADWAY, INTO STORM DRAINS OR DITCHES.
- CLEAN WHEELS TO REMOVE MUD PRIOR TO EXITING CONSTRUCTION SITE. WHEN WASHING IS REQUIRED, DO SO ON AREAS STABILIZED WITH CRUSHED STONE DRAINING INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**EROSION CONTROL DETAILS  
CONSTRUCTION DRIVE STABILIZATION**

NOT TO SCALE



**CORWIN  
PROPERTIES  
LLC**  
**THE  
APOTHECARY  
AND  
UNCORKED**

PROJECT LOCATION:  
30 SOUTH HIGH STREET  
CITY OF DUBLIN, FRANKLIN  
COUNTY, OHIO 43017

TAG	ISSUED	DATE
1	ARB - REVISION	10/30/2023

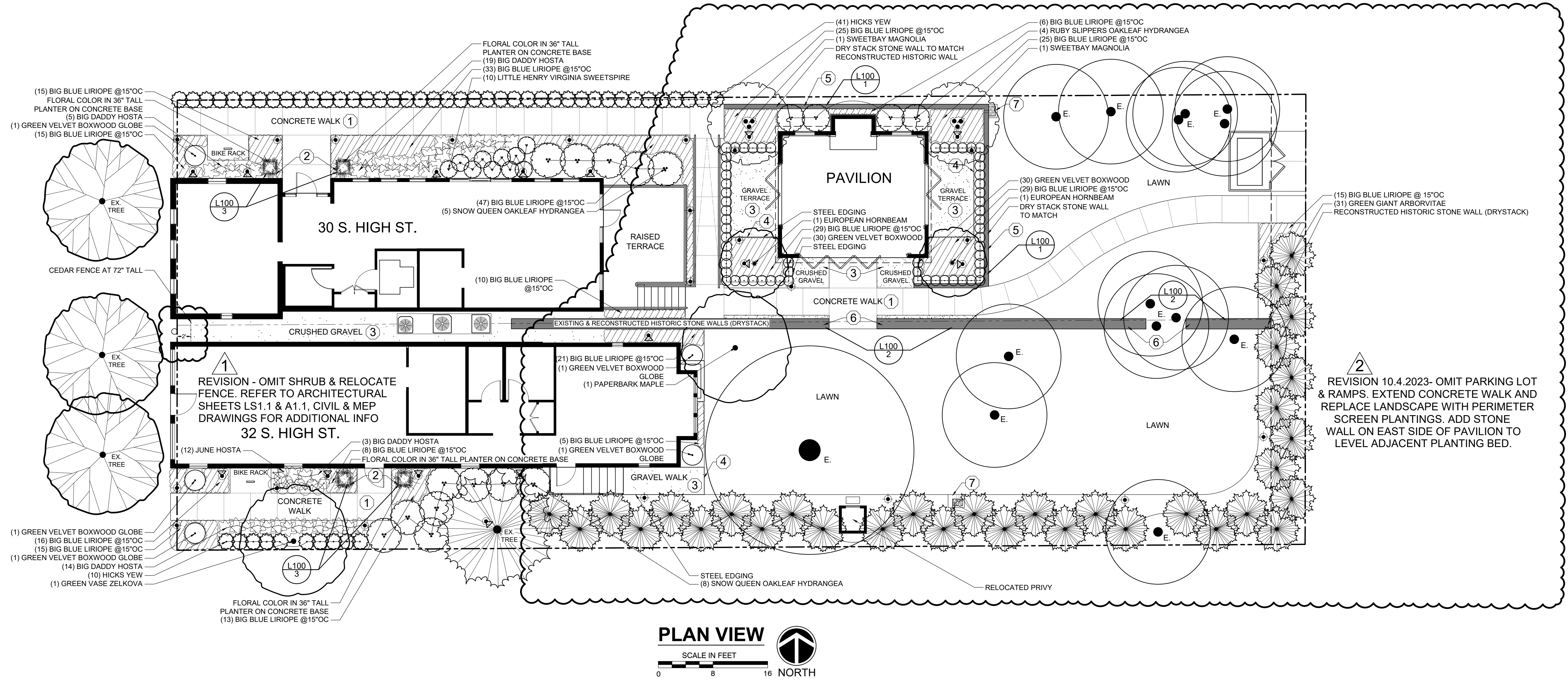
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**EROSION  
CONTROL  
DETAILS**  
DRAWING NO.  
**C-401**

P:\Corwin\20211064.000 S High Wine And Bourbon Bar\Drawings\Civil\Sheets\C-401 EROSION-CONTROL-DETAILS.dwg 11/15/2023 2:19 PM Jackson, Angela



**2** REVISION 10.4.2023- OMIT PARKING LOT & RAMPS. EXTEND CONCRETE WALK AND REPLACE LANDSCAPE WITH PERIMETER SCREEN PLANTINGS. ADD STONE WALL ON EAST SIDE OF PAVILION TO LEVEL ADJACENT PLANTING BED.

**CODED NOTES**

- CONCRETE WALKS - USE STANDARD CONCRETE WITH LIGHT BROOM FINISH AND NO VISIBLE TOOLING MARKS ALONG EDGES OR AT EXPANSION JOINTS. SAW CUT CONTROL JOINTS.
- PLANTER BASE & PLANTER - FORM & POUR IN PLACE 24"x24"x4" CONCRETE PLANTER BASE WITH LIGHT BROOM FINISH OVER 4" MIN. CRUSHED AGGREGATE. SEE SECTION DETAIL 3 THIS SHEET. USE CAMPANIA INTERNATIONAL STEEL TALL CUBE PLANTER. PLANTER CAN BE VIEWED AT CAMPANIAINTERNATIONAL.COM AND SEE ATTACHED CUT SHEET.
- GRAVEL TERRACE/CRUSHED GRAVEL - USE GOLD DUST CRUSHED STONE OR EQUIVALENT AT 2"-3" MAX DEPTH ON 6" COMPACTED 411'S CRUSHED LIMESTONE BASE OVER GEOTEXTILE FABRIC. STONE CAN BE VIEWED AT LANGSTONE.COM AND SEE PHOTO THIS SHEET.
- STEEL EDGING - USE COL-MET 12 GAUGE STEEL EDGING (BROWN) OR EQUIVALENT INSTALLED PER MANUFACTURERS RECOMMENDATIONS TO FRAME GRAVEL TERRACES & CRUSHED GRAVEL AREAS.
- RETAINING WALL - USE NEW WALLSTONE TO MATCH HISTORIC STONE WALLS ON COMPACTED AGGREGATE BASE WITH MINIMUM OF ONE ROW OF STONE INSTALLED BELOW GRADE FOR STABILITY. SET BACK STONE FACE 1/4" PER ROW AND/OR 1" FOR EVERY VERTICAL FOOT. UTILIZE MORTAR FOR LEVELING & STABILITY. BACKFILL WALL WITH GRAVEL & PERFORATED PIPE TO AID IN DRAINAGE. BUILD WALL TO HEIGHT NEEDED TO CREATE LEVEL PLANTING AREAS ABOVE AND BELOW THE WALL. SEE SECTION DETAIL 1 THIS SHEET.
- HISTORIC WALLS - PRESERVE EXISTING WALLS WHERE POSSIBLE. WHEN REBUILD/MODIFICATION OCCURS USE NEW MATCHING STONE TO SUPPLEMENT. FACE/SETBACK OF NEW WALLS TO MATCH EXISTING TO ENSURE SEAMLESS BLEND BETWEEN NEW & OLD. BUILD WALL ON COMPACTED AGGREGATE BASE WITH MINIMUM OF ONE ROW OF STONE INSTALLED BELOW GRADE FOR STABILITY. UTILIZE MORTAR FOR LEVELING & STABILITY AND FILL VOID BETWEEN WALLS WITH GRAVEL & MORTAR AS NEEDED. SECURE CAP ROW OF STONE WITH MORTAR. SEE SECTION DETAIL 2 THIS SHEET.
- FRENCH DRAIN - EXCAVATE PIT TO DEPTH OF 12". USE WOVEN FILTER FABRIC TO LINE THE PIT. USE WALLSTONE TO FRAME PIT AND TO COVER DRAIN TILE AT POINT OF DAYLIGHT. USE WASHED COBBLES TO FILL PIT AND CONTAIN RUNOFF.

**GENERAL NOTES**

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- ALL PLANTING HOLES ARE TO BE DUG A MINIMUM OF 2 TIMES THE DIAMETER OF THE ROOT BALL OR CONTAINER AND BACK FILLED WITH QUALITY BLENDED SOIL, FERTILIZER AND ROOT STIMULATOR.
- MULCH ALL BEDS WITH MULCH (CUSTOM HARDWOOD MULCH WITH LEAF COMPOST FROM KURTZ BROTHERS) MINIMUM OF 3" IN NEW BEDS.
- APPLY PRE-EMERGENT HERBICIDE TO BED BEFORE MULCH APPLICATION IN ALL LANDSCAPE AREAS.
- ALL LARGE TREES AND SHRUBS ARE TO BE APPROVED BY LANDSCAPE DESIGNER OR OWNER PRIOR TO INSTALLATION. POOR QUALITY PLANT MATERIAL WILL BE REJECTED. TOP QUALITY PLANT MATERIAL IS REQUIRED! SOIL BELOW PROPOSED LAWN IS TO BE AMENDED HEAVILY TO ALLOW DRAINAGE TO PERFORATED DRAINS. SOD IS TO BE TOP QUALITY.
- SLEEVES ARE TO BE ADDED THROUGHOUT THE PROJECT TO ALLOW FOR IRRIGATION AND LIGHTING INSTALLATION. FLAG ALL SLEEVE ACCESS LOCATIONS.
- IF LIGHTING IS REQUESTED, LOW VOLTAGE LED LIGHTING FIXTURES ARE TO BE USED. FINAL FIXTURE CUT SHEETS ARE TO BE APPROVED BY OWNER AND OUTDOOR SPACE DESIGN PRIOR TO ORDERING. SEE ATTACHED CUT SHEETS.
- ALL STRUCTURES ARE TO HAVE ADEQUATE FOOTERS INSTALLED PER BEST PRACTICE.
- CONTRACTOR IS TO ASSURE ADEQUATE PERCOLATION OF ALL LANDSCAPE BEDS AND SOD AREAS PRIOR TO INSTALLATION OF PLANTINGS. IF IMPROPER DRAINAGE IS DISCOVERED, A PERFORATED DRAINAGE PIPE IS TO BE INSTALLED TO DRAIN AREA TO OUTLET. COORDINATE DETAILS THROUGH OWNER AND OUTDOOR SPACE DESIGN.
- TAKE GREAT CARE TO NOT DAMAGE EXISTING PLANT MATERIAL TO REMAIN.
- ALL GROUND COVER AND PERENNIAL MASSING TO BE TRIANGULAR SPACING. SEE PLANT LIST FOR SPACING.
- COORDINATE PLACEMENT OF OUTDOOR SPEAKERS AND CONDUIT WITH AUDIO VISUAL CONTRACTOR TO AVOID CONFLICTS WITH PLANTING.

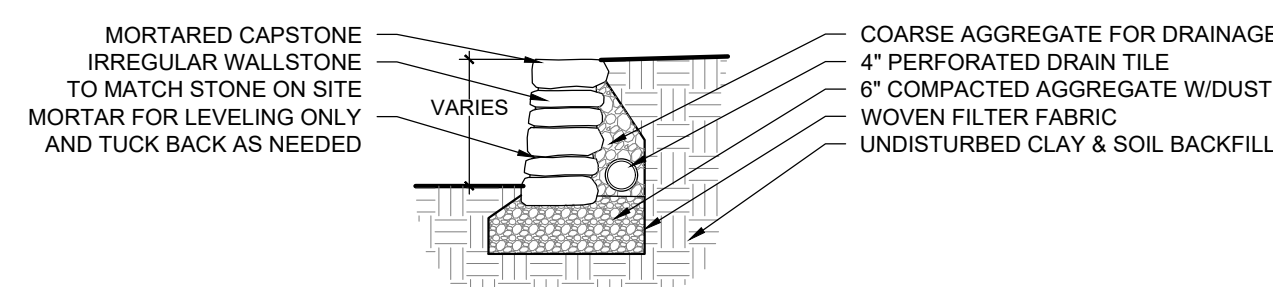
**GENERAL CONTRACTOR NOTES**

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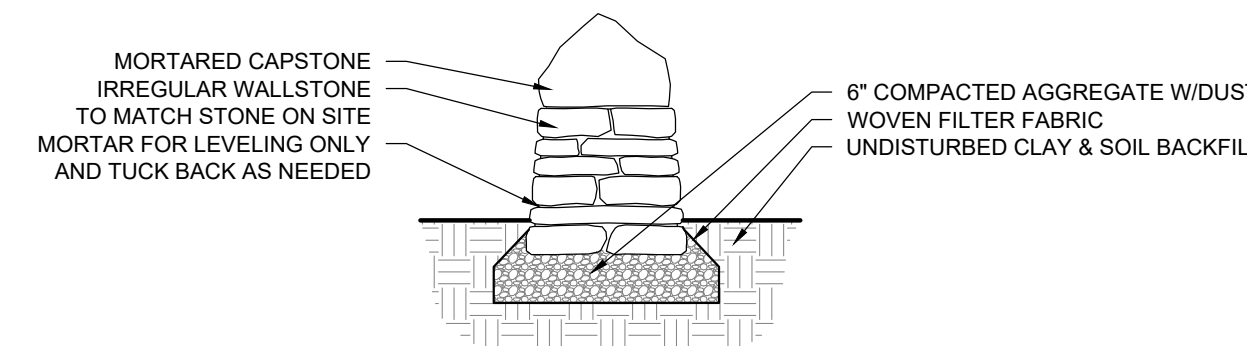
PLANTING KEY			
COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
Pyramidal European Hornbeam	Carpinus betulus 'Fastigiata'	2.5" cal	2
'Green Vase' Zelkova	Zelkova serrata 'Green Vase'	2.5" cal	1
Paperbark Maple	Acer griseum	2.5 cal	1
Sweetbay Magnolia	Magnolia virginiana	8-10'	2
Green Giant Arborvitae	Thuja (standish x plicata)	7-8'	32
Hicks Yew	Taxus x media 'Hicksii'	30"	51
'Green Velvet' Boxwood Globe	Buxus x 'Green Velvet'	30"	5
'Green Velvet' Boxwood	Buxus x 'Green Velvet'	5 gal	60
'Snow Queen' Oakleaf Hydrangea	Hydrangea quercifolia 'Snow Queen'	5 gal	13
'Ruby Slippers' Oakleaf Hydrangea	Hydrangea quercifolia 'Ruby Slippers'	5 gal	4
'Little Henry' Dwarf Virginia Sweetspire	Itea virginica 'Sprich'	5 gal	10
Big Blue Liriope	Liriope muscari 'Big Blue'	1 gal	327
Big Daddy Hosta	Hosta x 'Big Daddy'	1 gal	41
June Hosta	Hosta x 'June'	1 gal	12



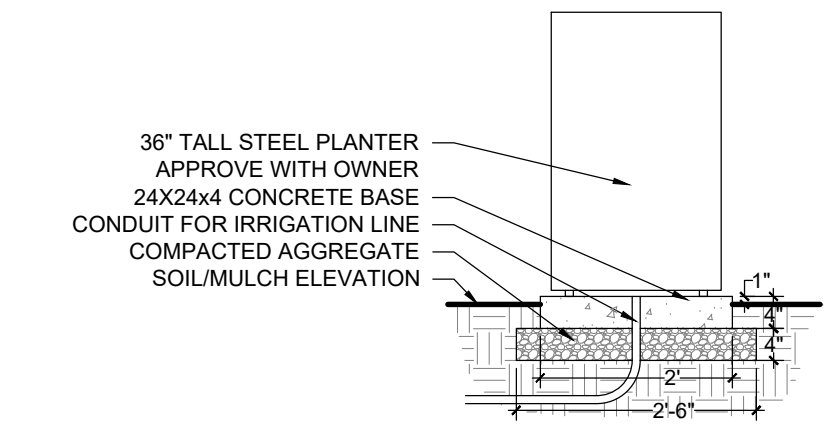
**PHOTO: GOLD DUST CRUSHED STONE**



**SECTION: RETAINING WALL**  
SCALE 1/2" = 1'-0"

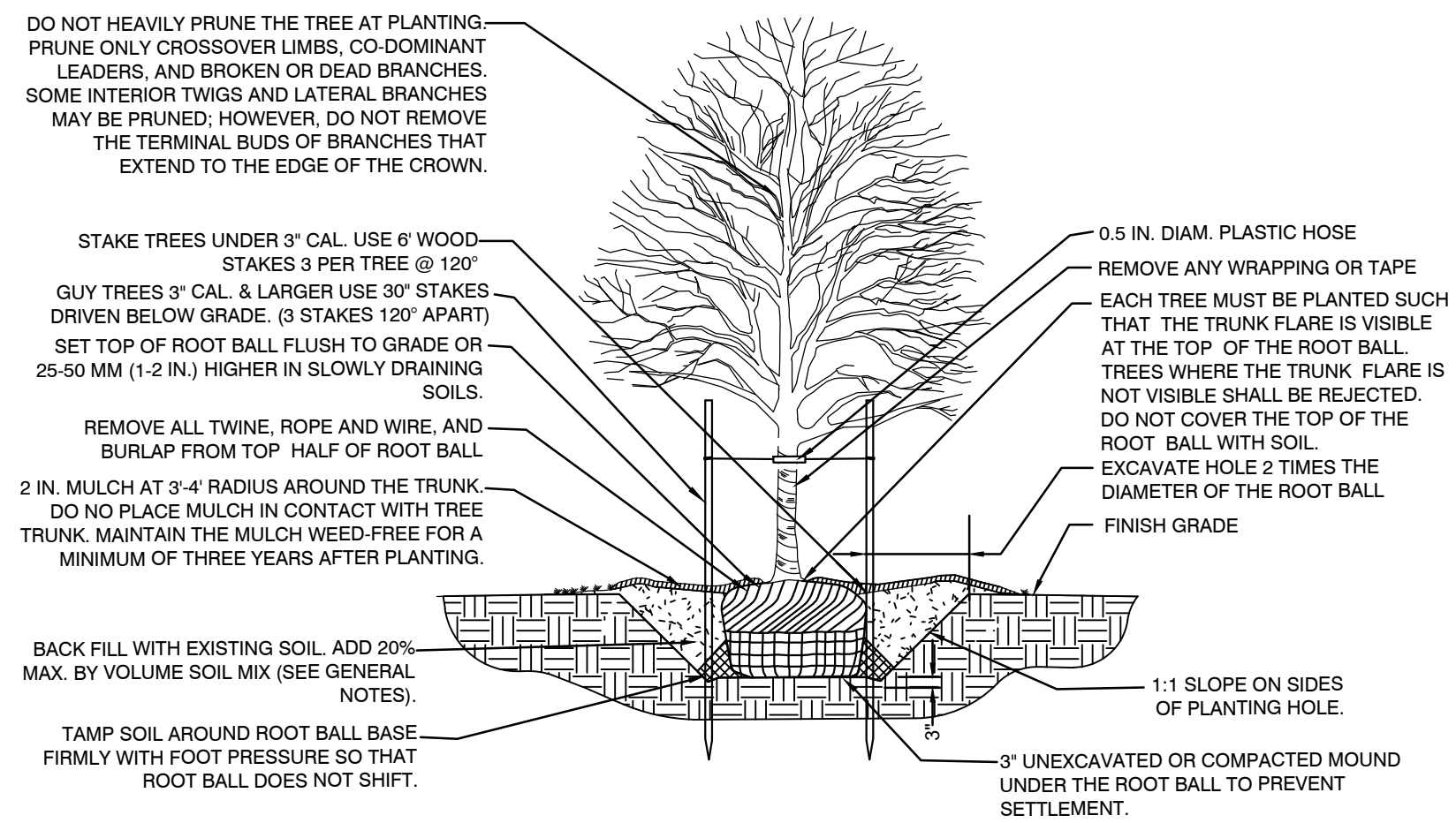


**SECTION: HISTORIC WALL**  
SCALE 1/2" = 1'-0"

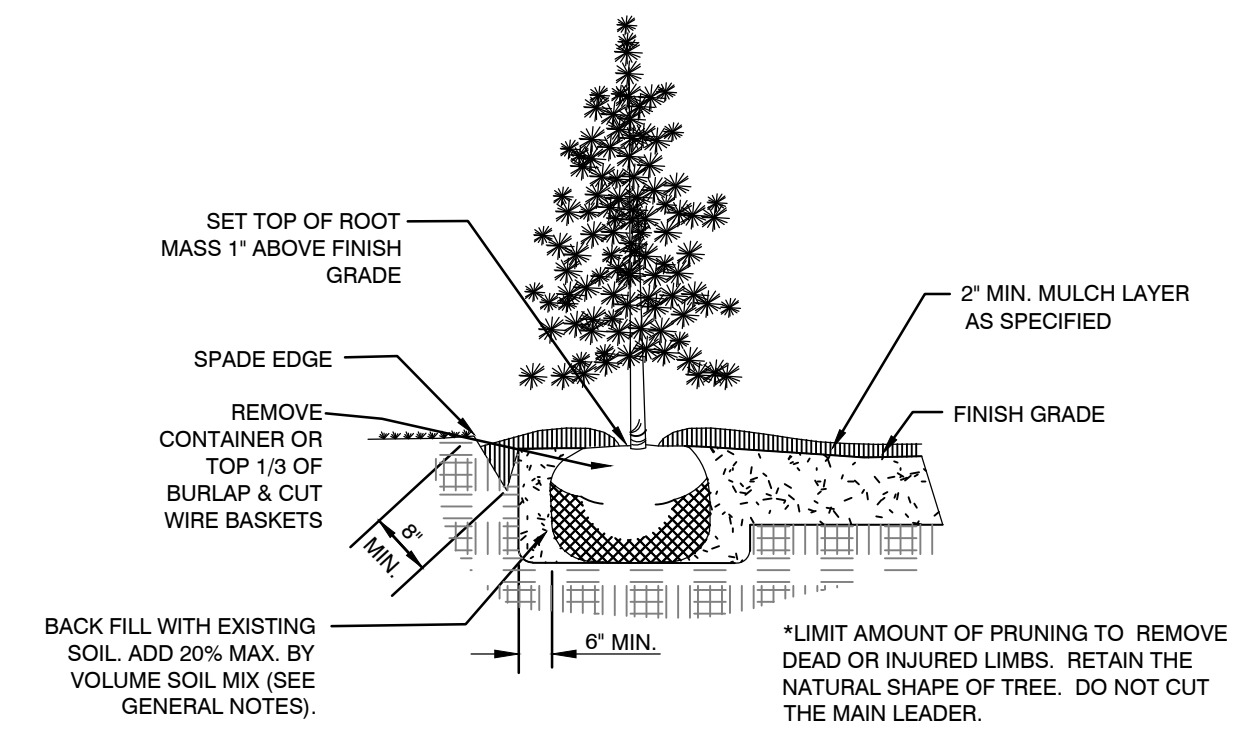


**SECTION: PLANTER & BASE**  
SCALE 1/2" = 1'-0"

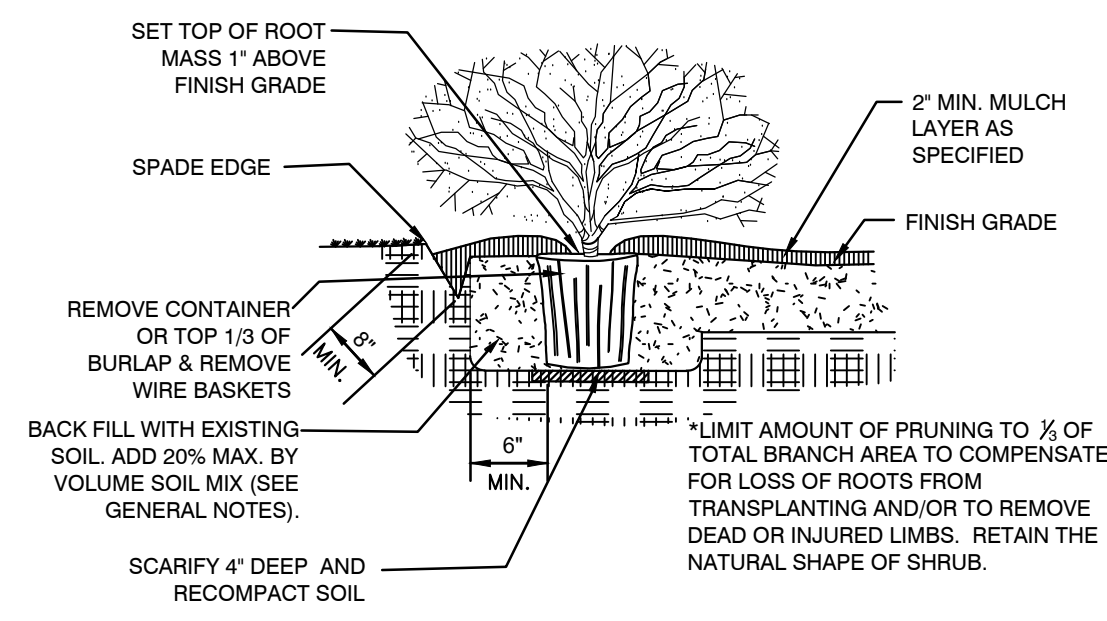
- LIGHTING KEY**
- UPLIGHT/SPLASH/ACCENT
  - PATH LIGHT
  - SCONCE LIGHT
  - IN GROUND/WELL LIGHT



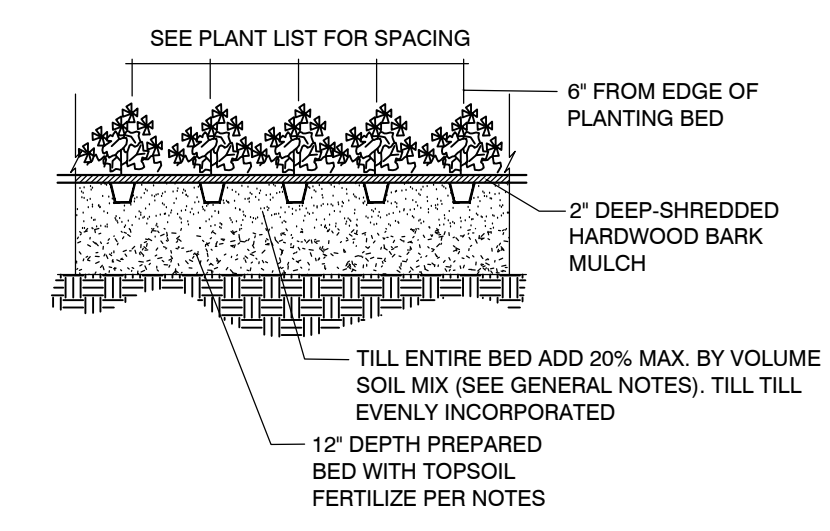
L200 1  
**DETAIL: TREE PLANTING & STAKING**  
N.T.S.



L200 2  
**DETAIL: EVERGREEN TREE PLANTING**  
N.T.S.



L200 3  
**DETAIL: SHRUB PLANTING**  
N.T.S.



L200 4  
**DETAIL: GROUNDCOVER PLANTING**  
N.T.S.

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