

City of Dublin, Ohio Final Development Plan

Date Submitted: October 14, 2020
Revised: December 22, 2020
Revised: March 19, 2021
Amended FDP: October 16, 2023

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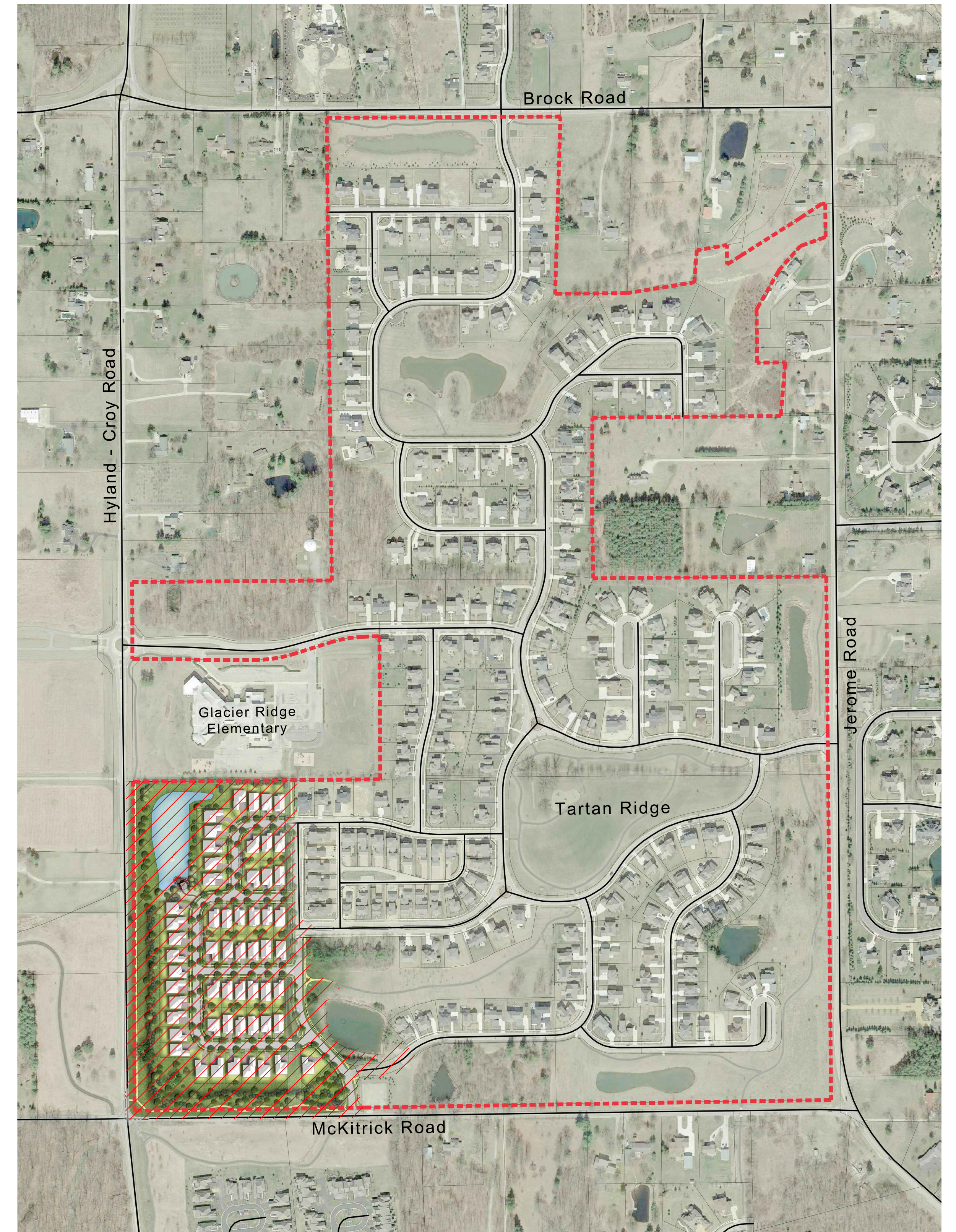
SITE DATA

| | |
|-------------------------|----------------------|
| Development Acreage: | ±23.975 Acres |
| Limits of Work Acreage: | ±25.47 |
| Total Number of Lots: | 56 |
| Gross Density: | ±2.33 Lots/Acre |
| Total Open Space: | ±7.843 Acres (32.7%) |

| | |
|--------------|---|
| Exhibit E-0 | EMHT Letter of Transmittal |
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PROJECT NARRATIVE

Since its adoption by the City of Dublin in 2007, the residential portions of the Tartan Ridge Planned Development have slowly been developing to completion over the last 12 years. While the residential component of Tartan Ridge has been extremely successful, it has not satisfied growing enthusiasm for a true empty-nester maintenance-free lifestyle product. In order to meet that market demand, the developer would like to petition the city to re-zone the remaining portions of the Tartan Ridge PUD to allow the development of an upscale empty-nester cluster home neighborhood. This petition would re-zone approximately 24 acres of the original Tartan Ridge PUD, and would primarily re-zone all of Sub-Area E and Sub-Area F, and a portion of Sub-Area D1. The subject area primarily borders Hyland-Croy Road to the west, McKittrick Road to the south, Glacier Ridge Elementary to the north, and the developed portions of Tartan Ridge to the east. The re-zoning would eliminate the townhome residential in Sub-Area E, and the neighborhood retail / office in Sub-Area F, and would allow for the development of up to 56 single-family cluster lots. This new section would incorporate all of the landscape / streetscape standards as the existing development, including the Tartan Ridge Hedge and Columns, and would include architecture that would be complimentary in style and detail to the overall development. The development would be designed to meet the lifestyle needs of empty nester adults within an upscale, walkable development, utilizing the traditional New Urbanism principles embodied in the Tartan Ridge development.



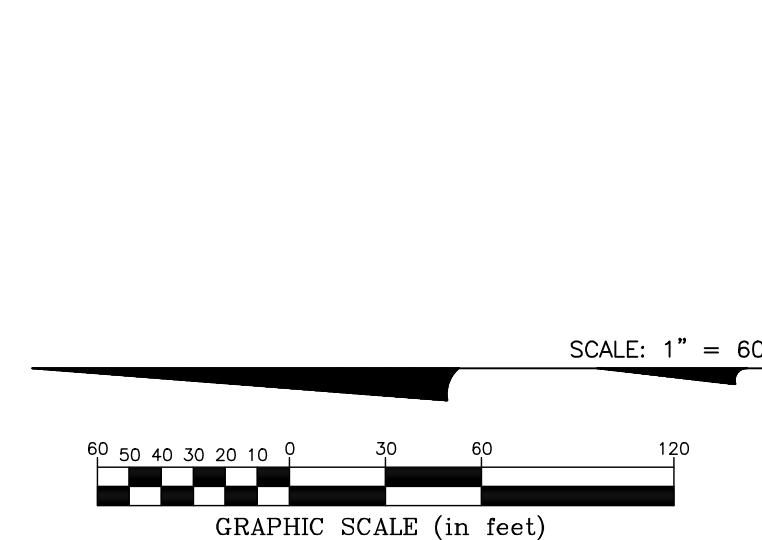
Site Vicinity Map / Site Context

The Overlook at Tartan Ridge

City of Dublin, Union County, Ohio 10.16.2023

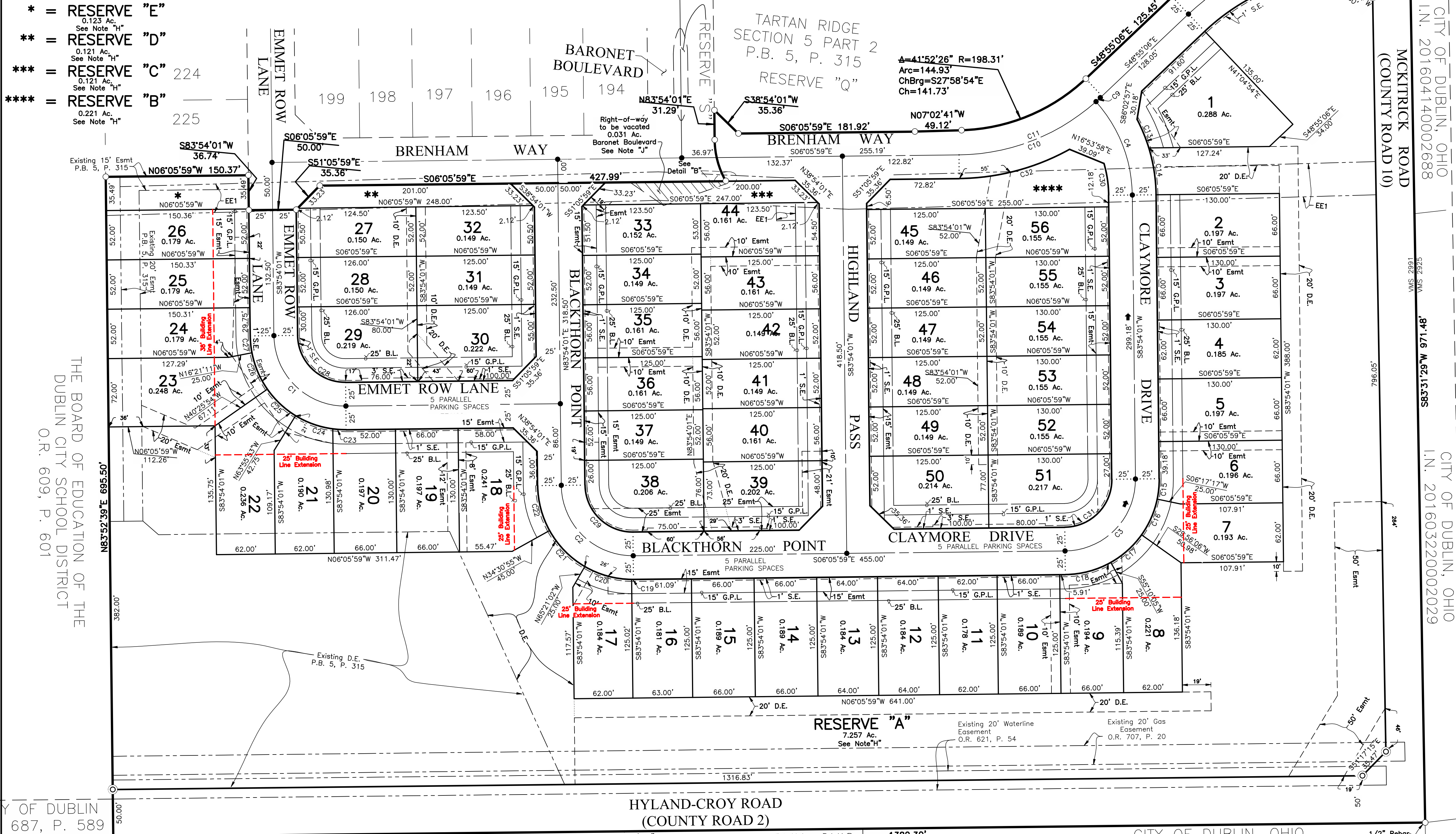
| CURVE NO. | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD DISTANCE |
|-----------|-----------|---------|---------|---------------|----------------|
| C1 | 90°00'00" | 75.00' | 117.81' | S 38°54'01" W | 106.07' |
| C2 | 90°00'00" | 75.00' | 117.81' | S 38°54'01" W | 106.07' |
| C3 | 90°00'00" | 75.00' | 117.81' | S 51°05'59" E | 106.07' |
| C4 | 41°13'42" | 150.00' | 107.94' | N 63°17'10" E | 105.62' |
| C5 | 17°59'55" | 250.00' | 78.53' | N 39°50'59" W | 78.21' |
| C6 | 24°26'41" | 250.00' | 106.66' | N 18°41'52" W | 105.85' |
| C7 | 42°26'35" | 250.00' | 185.19' | N 27°41'49" W | 180.99' |
| C8 | 9°32'21" | 295.10' | 49.13' | S 63°50'59" W | 49.07' |
| C9 | 1°35'27" | 220.00' | 6.11' | S 48°07'23" E | 6.11' |
| C10 | 41°13'41" | 220.00' | 158.30' | S 26°42'49" E | 154.91' |
| C11 | 42°49'07" | 220.00' | 164.41' | S 27°30'33" E | 160.61' |
| C12 | 42°37'06" | 225.00' | 167.36' | N 27°36'34" W | 163.53' |
| C13 | 10°38'46" | 175.00' | 32.52' | N 62°08'32" E | 32.47' |
| C14 | 16°26'06" | 175.00' | 50.20' | S 75°40'58" E | 50.03' |
| C15 | 12°23'16" | 100.00' | 21.62' | S 89°54'21" E | 21.58' |
| C16 | 23°38'48" | 100.00' | 41.27' | S 71°53'18" E | 40.98' |

| CURVE NO. | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD DISTANCE |
|-----------|-----------|---------|---------|---------------|----------------|
| C17 | 25°13'59" | 100.00' | 44.04' | S 47°26'55" E | 43.69' |
| C18 | 28°43'56" | 100.00' | 50.15' | S 20°27'57" E | 49.62' |
| C19 | 1°05'41" | 100.00' | 1.91' | S 05°33'09" E | 1.91' |
| C20 | 29°39'17" | 100.00' | 51.76' | S 09°49'20" W | 51.18' |
| C21 | 30°50'07" | 100.00' | 53.82' | S 40°04'02" W | 53.17' |
| C22 | 28°24'56" | 100.00' | 49.59' | S 69°41'33" W | 49.09' |
| C23 | 8°02'52" | 100.00' | 14.05' | S 02°04'33" E | 14.03' |
| C24 | 24°07'13" | 100.00' | 42.10' | S 14°00'30" W | 41.79' |
| C25 | 23°29'59" | 100.00' | 41.01' | S 37°49'06" W | 40.73' |
| C26 | 24°04'43" | 100.00' | 42.03' | S 61°36'28" W | 41.72' |
| C27 | 10°15'12" | 100.00' | 17.90' | S 78°46'25" W | 17.87' |
| C28 | 90°00'00" | 50.00' | 78.54' | S 38°54'01" W | 70.71' |
| C29 | 90°00'00" | 50.00' | 78.54' | S 38°54'01" W | 70.71' |
| C30 | 15°34'53" | 125.00' | 33.99' | N 76°06'35" E | 33.89' |
| C31 | 90°00'00" | 50.00' | 78.54' | S 38°54'01" W | 70.71' |
| C32 | 28°25'14" | 245.00' | 121.53' | S 20°18'36" E | 120.29' |



B.L. = Building Line
 G.P.L. = Courtyard Garage/Porch Line
 D.E. = Drainage Easement
 Esmt = Easement
 S.E. = Sidewalk Easement
 EE1 = Existing Sanitary Sewer Easement
 O.R. 731, P. 971

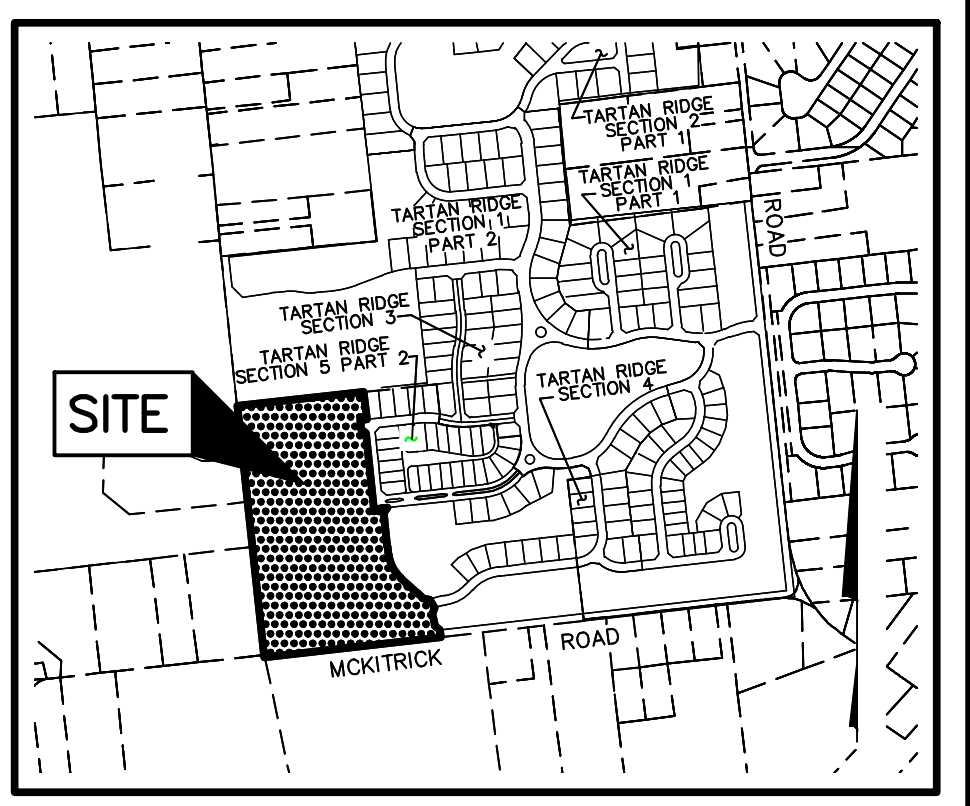
- * = RESERVE "E"
- ** = RESERVE "D"
- *** = RESERVE "C"
- **** = RESERVE "B"



CITY OF DUBLIN, OHIO PARCEL 19-WD I.N. 201805140003711
 CITY OF DUBLIN, OHIO PARCEL 18-WD I.N. 201805140003709
 CITY OF DUBLIN, OHIO PARCEL 16-WD I.N. 201805140003710

Line Type Legend

- Existing Property Line
- - - Existing R/W Line
- · - Existing R/W Centerline
- - - Existing Easement Line
- Proposed Subdivision Boundary Line
- Proposed Lot Line
- Proposed R/W Line
- · - Proposed R/W Centerline
- - - Proposed Easement Line



SITE STATISTICS:

| | |
|------------------------|-----------------|
| TOTAL ACREAGE: | ±23.975 ACRES |
| NUMBER OF LOTS: | 56 |
| GROSS DENSITY: | ±2.33 LOTS/ACRE |
| OPEN SPACE: | |
| REQUIRED: | 3.56 ACRES |
| PROVIDED: | ±7.843 ACRES |
| RESERVE "A": | ±7.257 ACRES |
| RESERVE "B": | ±0.221 ACRES |
| RESERVE "C": | ±0.121 ACRES |
| RESERVE "D": | ±0.121 ACRES |
| RESERVE "E": | ±0.123 ACRES |
| ZONING CLASSIFICATION: | PUD |

DEVELOPMENT STANDARDS:

| | |
|-----------------------------|--------------------------|
| MINIMUM LOT AREA: | 6,500 SQ. FT. |
| MINIMUM LOT WIDTH: | 52 FEET |
| (AT BUILDING LINE) | |
| BUILDING SETBACKS: | |
| FRONT YARD / BUILDING LINE: | 15' MINIMUM; 25' MAXIMUM |
| SIDE YARD: | 6' MINIMUM EACH SIDE |
| REAR YARD: | 25' MINIMUM |
| BUILDING HEIGHT: | 25' MAXIMUM |

NOTE "A" - MINIMUM SETBACKS: Zoning regulations for The Overlook at Tartan Ridge in effect at the time of platting specify the following dimensions for the minimum front, side and rear yard setbacks for each lot:

Front 25' Building Line (maximum)
 15' Courtyard Garage/Porch Line (minimum)
 Unless otherwise indicated hereon
 Side Yard 6' Minimum Each Side
 Rear Yard 25' Minimum

Said zoning regulations and any amendments thereto passed subsequent to acceptance of this plat, should be reviewed to determine the then current requirements. This notice is solely for the purpose of notifying the public of the existence, at the time of platting, of certain zoning regulations applicable to this property. This notice shall not be interpreted as creating plat or subdivision restrictions, private use restrictions covenants running with the land or title encumbrances of any nature, and is for informational purposes only.

NOTE "B" - FENCES: No fence may be placed in a "Drainage Easement" area. Fences, where permitted in the The Overlook at Tartan Ridge subdivision, are subject to the requirements of the City Dublin code.

NOTE "C" - FEMA ZONE: At the time of platting, all of The Overlook at Tartan Ridge is within Zone X (areas determined to be outside the 0.2% annual chance floodplain) as shown on FEMA Flood Insurance Rate Map for Union County, Ohio and Incorporated Areas Map Number 39159C0395D, with effective date of December 16, 2008.

NOTE "D" - UTILITY PROVIDERS: Buyers of the lots in The Overlook at Tartan Ridge subdivision are hereby notified that, at the time of platting, utility service to The Overlook at Tartan Ridge, power is provided by Ohio Edison and Union Rural Electric and telephone service is provided by Frontier Communications.

NOTE "E": As per City of Dublin Zoning Code, all lots within The Overlook at Tartan Ridge are subject to the terms, conditions, restrictions (including lighting and house sizes) and special assessment districts as outlined in the preliminary plat entitled "The Overlook at Tartan Ridge" and said Zoning Code.

NOTE "F" - SCHOOL DISTRICT: At the time of platting, all of The Overlook at Tartan Ridge is in the Dublin City School District.

NOTE "G" - ACREAGE BREAKDOWN:

| | |
|----------------------------|--------|
| Total acreage: | 23.975 |
| Acreage in rights-of-way: | 5.985 |
| Acreage in Reserves: | 7.843 |
| Acreage in remaining lots: | 10.147 |

NOTE "H" - RESERVE "A": Reserve "A", as designated and delineated hereon, will be owned by the City of Dublin, Ohio and maintained by an association comprised of the owners of the fee simple titles to the Lots in The Tartan Ridge Subdivision(s) for the purpose of passive open space/storm water detention and any other uses allowed by the then current zoning. The Overlook structure and associated path adjacent to the retention basin within Reserve "A" shall be maintained by a sub-association comprised of the owners of the fee simple titles to the Lots in The Overlook at Tartan Ridge Subdivision(s).

NOTE "I" - RESERVES "B", "C" AND "D": Reserves "B", "C" and "D", as designated and delineated hereon, will be owned by the City of Dublin, Ohio and maintained by an association comprised of the owners of the fee simple titles to the Lots in The Tartan Ridge Subdivision(s) for the purpose of passive open space/storm water detention and any other uses allowed by the then current zoning.

NOTE "J" - ACREAGE BREAKDOWN: Tartan Ridge is out of the following Union County Parcel Number and Map Number:

| | |
|--------------------|------------|
| P.N. 390014058000 | 6.944 Ac. |
| M.N. 1271303003001 | |
| P.N. 3900140580020 | 13.688 Ac. |
| M.N. 1360000196000 | |
| P.N. 4000140580020 | 2.717 Ac. |
| M.N. 1360000195000 | |
| P.N. 4000140580920 | 0.146 Ac. |
| M.N. 1370112006000 | |
| P.N. 4001470581010 | 0.448 Ac. |
| M.N. 1370104002001 | |

NOTE "K" - VACATION OF PUBLIC STREETS: The portion of Baronet Boulevard dedicated to the City of Dublin by the subdivision plat entitled "Tartan Ridge Section 5 Part 2", of record in Plat Book 5, Page 315, shown hereon by hatching is hereby vacated.

NOTE "L" - PARKING: 5 parallel parking spaces are being provided in each of these areas on Emmet Row Lane, Overlook Drive, and Claymore Drive.

NOTE "M": At the time of platting, electric, cable, and telephone service providers have not issued information required so that easement areas, in addition to those shown on this plat, as deemed necessary by these providers, for the installation and maintenance of all of their main line facilities, could conveniently be shown on this plat. Existing recorded easement information about The Overlook at Tartan Ridge or any part thereof can be acquired by a competent examination of the then current public records, including those in the Union County Recorder's Office.

REVISIONS

| DATE | DESCRIPTION |
|------|-------------|
| | |
| | |
| | |



ROMANELLI & HUGHES
 148 WEST SCHROCK ROAD
 WESTERVILLE, OHIO 43081

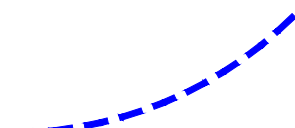

CITY OF DUBLIN, UNION COUNTY, OHIO
 FINAL DEVELOPMENT PLAN
 FOR
THE OVERLOOK AT TARTAN RIDGE
 SITE PLAN

LOCATED IN:
 VIRGINIA MILITARY SURVEY NUMBER 2991
 STATE OF OHIO, COUNTY OF UNION, CITY OF DUBLIN, TOWNSHIP OF JEROME

| | | | |
|-------|---------------|---------|----------|
| Date | DECEMBER 2020 | Job No. | 20190043 |
| Scale | 1"=60' | | |

EXHIBIT "C-2"

MODIFICATION KEY

Previous Max. Building Line: 
 Proposed Max. Building Line: 

Affected Lots: 6, 7, 8, 9, 16, 17, 18, 20, 21, 22, 23, 24, 25, 26

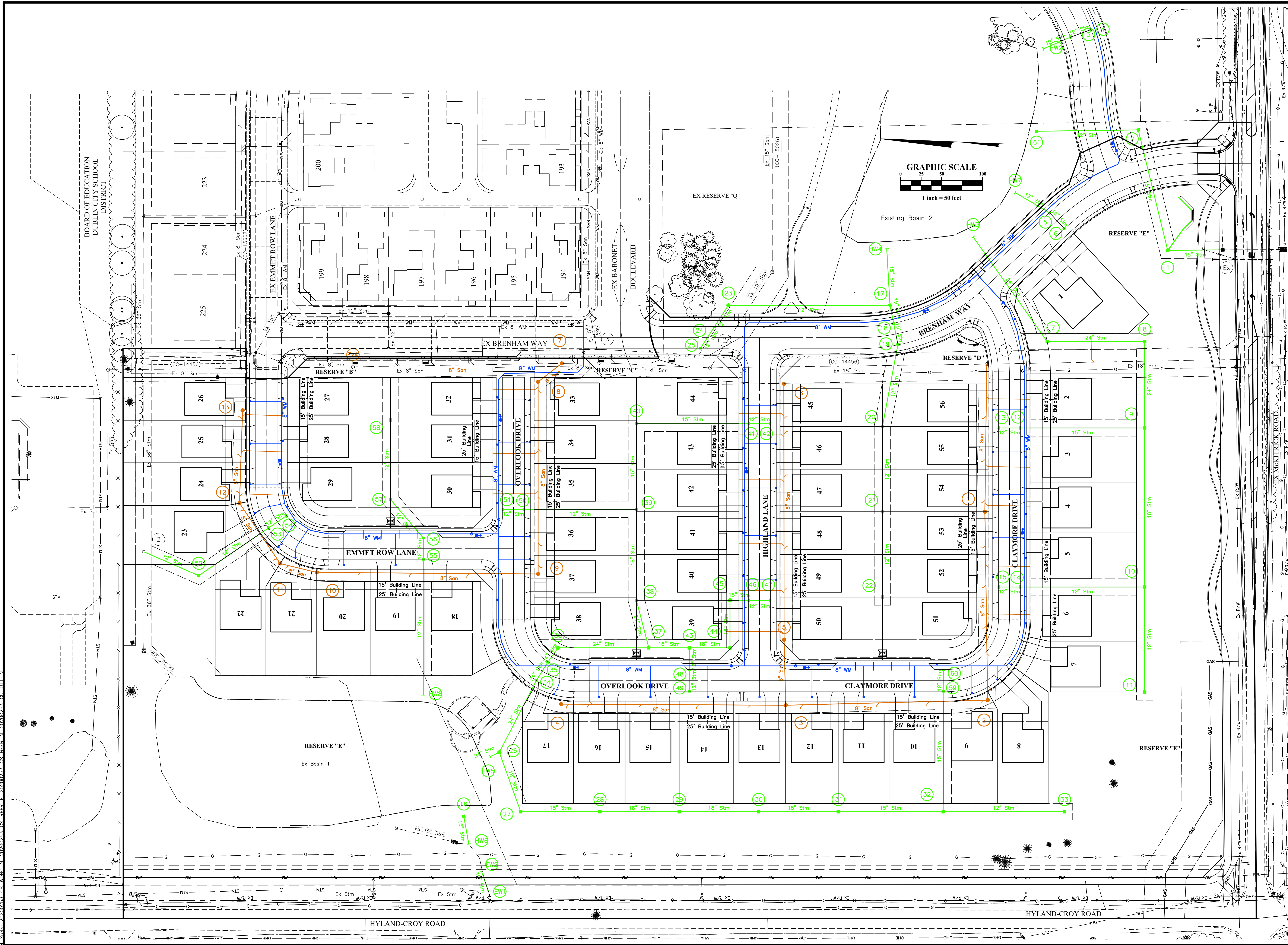


The Overlook at Tartan Ridge - Maximum Front Building Setback Amendments

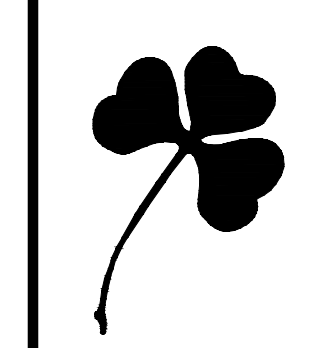
Exhibit C-3

City of Dublin, Union County, Ohio 10.16.2023

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| MARK | DATE | DESCRIPTION |
|------|------|-------------|
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| | | |
| | | |
| | | |



CITY OF DUBLIN, UNION COUNTY, OHIO
 EXHIBIT
**THE OVERLOOK AT
 TARTAN RIDGE**
 MASTER UTILITY PLAN

EMHT
 Evans, Meechwal, Hombler & Thon, Inc.
 Engineers • Surveyors • Planners • Geotechnical
 Phone: 614.775.4200
 emht.com

| | |
|---------|-------------------|
| DATE | November 13, 2023 |
| SCALE | 1" = 50' |
| JOB NO. | 2020-0253 |
| SHEET | 1/1 |