



DIVISION OF BUILDING STANDARDS

RESIDENTIAL - NEW HOMES

Building permits are required for all new residential construction.

Electrical, plumbing, gas piping, and HVAC permits may also be required depending on the nature of the work which is being completed.

All work is to be performed in conjunction with the provisions of the 2019 Residential Code of Ohio, as amended and the city of Dublin Zoning Code.

When contractors are being hired to complete the work, please contact the City regarding Contractor Registration. If you, as the homeowner, are performing the work, a Homeowner's Affidavit must be completed.

Submittal

The applicant will submit the following electronically:

- Completed application including: address, parcel number, lot number, sub-division and a contact name and phone number
- Site Plan on 8 1/2"x14" or 11"x17" (preferred)
- Complete sets of Construction Drawings
- Dublin Mechanical Systems Description Form
- 2018 Model Energy Code Report or indicate prescriptive compliance method
- Light and ventilation schedule
- Electric Load Calculations
- Sealed Roof Truss profiles
- Sealed Floor Truss profiles
- Current City of Dublin Contractor Registration or Homeowner's Affidavit*
- Elevations on 11x17 sheet, one copy separate from Construction Documents

**Homeowner Affidavit is required if a City of Dublin registered contractor is not performing all of the work*

Electronic Plan Submittal

Electronic Plan Submittal is required. ePlan is the City of Dublin's Electronic Plan Review system. It is a web-based solution that allows documents and drawings to be submitted electronically, replacing the traditional paper-based plan review method. ePlan improves the plan review cycle, reduces costs associated with obtaining permit approvals and supports the City of Dublin's green initiatives. Please call (614) 410-4608 to become an ePlan user and for more information on how to use ePlan.



Site Plan (see attached)

A site plan is a drawing or a survey that shows the property lines of a tract of property and all structures built upon it. The information must be drawn to scale. Copied Site Plans may change the scale of the drawing, thus these processes should be avoided. The following items must be shown on the site plan:

- Subdivision, Section, and Lot number
- Street Name and Right of Way dimensions
- Scale and North Arrow
- Property line bearings and distances
- Easements, build zones, and no build zones
- All existing structures on a lot and distances to property lines
- Exact location of the proposed new home/addition, driveway, paths, and accessory buildings
- Exact dimensions of the proposed new home/addition
- Exact location of driveway, sidewalks, paths, accessory structures, fences, and mechanical units
- The distance from the new home/addition to the property lines
- Driveway width and slope
- Required landscaping
- Lot coverage calculations
- Finish grading information (include grades at property lines, around residence, and at property lines closest to the residence)
- Silt fence location
- Construction entrance location

All distances from new home/addition must be measured at right angles to the property or easement lines

Construction Drawing Requirements

The following items must be shown on constr. drawings (drawings must be to scale and show all dimensions):

- Cover page with Index of drawings
- Foundation plan (engineered for basements)
- Basement finish plan if applicable
- Floor framing and layout plans
- Roof framing plan (or truss layout)
- Exterior elevations
- Wall sections
- Wall bracing plans (this can be shown on the Floor layout plan)
- Stair detail (if applicable)
- Electric layout plans (include lighting, switching, smoke alarms, CO alarms)
- HVAC layout plans

Accurate and complete information provided in accordance with the attached documentation will expedite a thorough review of the project

Applicant may request a pre-submittal meeting with Residential Plans Examiner (410-4613)

Plan Review

- Engineering will review the site plan. Please direct any questions to Engineering at (614) 410-4614.
- Zoning will review the site plan. Please direct any Zoning questions to (614) 410-4600.
- The Residential Plans Examiner will review the construction drawings for compliance with the 2019 Residential Code of Ohio, as amended. Please direct Building questions to (614) 410-4613.





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Plan Disapprovals

If a submittal is disapproved, the applicant will be notified by telephone and will receive a Unified Response Letter, which includes comments from the reviewers. The applicant must pick up the disapproved submittal, make revisions and resubmit the project. Include the previously disapproved set in addition to the revised set.

Plan Approval & Permit Issuance

The applicant is notified when all approvals are granted. ***After the fees are paid and the permit is picked up, construction may begin.***





DIVISION OF BUILDING STANDARDS

RESIDENTIAL - NEW HOMES

Inspections

Approved plans, sign-off card and paperwork must be on site for all inspections. Separate permits are required for electric, HVAC, gas piping, and plumbing.

All inspections except plumbing are scheduled by calling the automated inspection line at 410-4680 prior to 6:00 a.m. of the business day of the inspection. The following inspections may be required:

- Underground plumbing (plumbing inspections are scheduled by calling Franklin County Health Department at (614) 462-3160)
- Sewer
- Footing
- Foundation Steel
- Electric temporary
- Foundation, inspector verifies top of foundation certification by surveyor (left on site for inspector)
- Radon pre-slab
- Electric rough
- Plumbing rough, inspected by Franklin County
- Gas piping rough
- Zoning rough, inspector verifies Appearance Code requirements
- HVAC & Frame, Electrical, Zoning and Plumbing rough inspections must be approved prior to the HVAC and Frame inspection. Engineered truss (roof and floor) drawings must be on site. Inspector collects Subcontractor Disclosure list.
- Fireplace rough or first flue, for masonry fireplace
- Insulation (Energy code compliance which was submitted will be verified)
- Curb, Walk and Approach
- Plumbing final, inspected by Franklin County
- Engineering Final, engineering inspector verifies elevations, grading, erosion control and other site issues
- Zoning final, inspector verifies Appearance Code and Landscape requirements
- Gas Piping final
- Electrical Final
- Final HVAC & Occupancy, inspector verifies that all other inspections have been completed.

To Schedule an inspection:

Please access the citizen access portal, <https://aca-prod.accela.com/dublinoh/default.aspx>, to schedule an inspection. If the request is made before 6:00 a.m., the inspection will be conducted that same business day. Please have the following information at hand when the request is placed: type of inspection, address where the inspection is to be conducted and permit number. Building inspectors will not enter a home when the owner or the owner's representative is not in attendance. If a representative is only available at certain hours, please state this information along with a phone number so that the inspectors may call to confirm, if necessary. Inspections are generally conducted from 8:30 a.m. to 4:00 p.m., Monday through Friday (except Thursday, when inspections will be from 9:45 a.m. to 4:00 p.m.). The building inspectors are available from 7:30-8:00 a.m. and 3:30-4:30 p.m. daily to answer questions, by phoning 614-410-4670.





DIVISION OF BUILDING STANDARDS

RESIDENTIAL - NEW HOMES

Occupancy

If occupancy is not granted at the final occupancy inspection, it may be possible to obtain Conditional Occupancy. Conditional Occupancy will only be granted between **November 1 and April 30**, subject to seasonal variance at the discretion of the Chief Building Official.

Conditional Occupancies are allowed when weather related items are the only outstanding issues and they are not considered hazardous to public health and/or safety. To start the Conditional Occupancy process, a written request must be submitted to the Chief Building Official stating the reasons for the request. Once the written request is approved by the Chief Building Official, an application for Conditional Occupancy must be submitted to the Chief Building Official. A fee will be assessed in accordance with the Dublin Codified Ordinances. A bond amount may be assessed based upon the work that is pending for completion.

The Conditional Occupancy is not granted until the Chief Building Official approves it and signs the Conditional Occupancy Agreement. Please refer to "Conditional Occupancy" paperwork (available at the Permit Window) for additional information. The homeowner shall not move in until either Occupancy has been granted or a **Conditional Occupancy** has been issued.

IF YOU HAVE FURTHER QUESTIONS ABOUT THESE PROCEDURES, PLEASE FEEL FREE TO CONTACT BUILDING STANDARDS AT (614) 410-4670 FROM 8:00 A.M. – 4:00 P.M. MONDAY, TUESDAY, WEDNESDAY AND FRIDAY AND 9:30 A.M.- 4:00 P.M. THURSDAY.





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DIVISION OF BUILDING STANDARDS

RESIDENTIAL - NEW HOMES

Building Standards • 5800 Shier-Rings Road • Dublin, Ohio 43016
Phone: (614) 410-4670 • Inspection Line: (614) 410-4680

City of Dublin Amendments

The Ohio Residential Code shall be amended as follows

The 2019 Residential Code of Ohio Table 301.2(1) shall be completed as follows:

| | |
|----------------------------------|-------------------------------------------------------------------|
| Ground Snow Load: | 20 psf |
| Wind Speed | 115 mph |
| Seismic Design Category: | B |
| Weathering: | Severe |
| Frost Line Depth: | 36 inches |
| Termite Damage | Moderate to Heavy |
| Winter Design Temperature | 0-10 degrees |
| Ice Shield Underlayment Required | Yes |
| Floor Hazards: | Refer to Chapter 151 of the City of Dublin Codified Ordinances |
| Air Freezing Index: | 1400 |
| Mean Annual Temperature | 50 degrees |





DIVISION OF BUILDING STANDARDS

HOMEOWNER AFFIDAVIT

5800 Shier-Rings Road Dublin, Ohio 43016
Phone: (614) 410-4670

Homeowner: _____ **Phone Number:** _____

Address: _____

By signing this affidavit, I do hereby swear and/or affirm that I am the Owner and occupant of the single-family dwelling located at the above address. I am making application for a Permit. If granted, **I WILL PERSONALLY PERFORM THE WORK ASSOCIATED WITH THIS PROJECT, OR CONTRACT ONLY WITH A CONTRACTOR REGISTERED WITH THE CITY OF DUBLIN.** I understand I am personally responsible to assure all work performed under the permit is compliant with all related building codes and ordinances of the City of Dublin. As prescribed by Chapter 150.140-150.146 of the Codified Ordinances of the City of Dublin,

I UNDERSTAND VIOLATION OF THE TERMS OF THIS AFFIDAVIT ARE A BASIS FOR REVOKING THE PERMIT, AND PROSECUTION OF ANY PARTY INVOLVED.

Sworn to and subscribed before me this _____ day of _____, 20____

Homeowner: _____ **Notary:** _____





Building Standards - 5800 Shier Rings Road - Dublin, Ohio 43016
Phone (614) 410-4670 - Inspection Line: (614) 410-4680

These drawings have been reviewed for and shall comply with the 2013 Edition Residential Code of Ohio, as amended.

| PLAN REVIEW CHECKLIST | | | | | | | |
|----------------------------------|------------------------------------------|----------|-----------------|--------------------------|------------------------|----------------|----------------------------------------------------------------------|
| Application No. _____ | | Complies | Does Not Comply | Insufficient Information | Revised Plan Requested | Not Applicable | Plan reviewer's comments |
| Address _____ | | | | | | | |
| Date Reviewed _____ | | | | | | | |
| Reviewed By _____ | | | | | | | |
| _____ Approved _____ Disapproved | | | | | | | |
| 2009 | Model Energy code Report | | | | | | Worksheets required |
| 106.1.3.8 | Mechanical System Description | | | | | | |
| 301.5 | Live Load minimums | | | | | | |
| 302.1 | Fire Resistant Construction | | | | | | fire separation |
| 302.6 | Attached Garage Fire Separation | | | | | | 1 3/8" s.c./20 min. door and 5/8" gyp bd walls and clg & Table 302.6 |
| 302.7 | Under Stair Protection | | | | | | 1/2" gypsum bd. enclosed accessible space |
| 302.11 | Fireblocking | | | | | | |
| 303.1 | Light & Ventilation Schedules | | | | | | Schedules reqd on plans, glazing 8%, openable 4% |
| 303.6 | Stairway Illumination | | | | | | |
| 306 & 307 | Sanitation - Fixture Clearance | | | | | | Figure 307.1 |
| 308 | Required Safety Glazing | | | | | | |
| 310 | Emergency Escape and Rescue Openings | | | | | | 5.7 sq ft (24" net hgt. 20" net width) max. sill 44" aff |
| 311.2.1 | Garage Access Door | | | | | | Min 2'6" X 6'8" Door |
| 311.2 | Exit Door Required | | | | | | Min. 3'0" x 6'8" |
| 311.7.4 | Stair Riser and Treads | | | | | | 8 1/4" max. rise, 9" min tread, 6'-8" clr |
| 311.7.5 | Landings | | | | | | Minimum 3' x 3' |
| 311.7.7 | Handrails | | | | | | |
| 312 | Guards | | | | | | |
| 314 | Smoke Detector Locations | | | | | | All floors/bdrm/outside bed hard wired and interconnected |
| 315 | Carbon Monoxide Detector | | | | | | outside sleeping areas |
| 316 | Foam Plastic Separations | | | | | | |
| 317 | Protect wood against decay | | | | | | |
| Table 401.4.1 | Soil Bearing Capacity | | | | | | 1,500 psf or report |
| 402.2 | Concrete strength | | | | | | Table 402.2 |
| 403 | Footing/pier/pad size & location(s) | | | | | | including frost depth |
| 403.1.6 | Foundation Anchorage | | | | | | 1/2" anchor bolt @ 6'0" oc, 7" embed |
| Table 403.5 | Deck footing without roofs | | | | | | |
| 404 | Foundation wall sizes and reinforcements | | | | | | Sealed dwg reqd or prescriptive tables |
| 405 | Foundation drainage systems | | | | | | |
| 406 | Damproofing or Waterproofing | | | | | | |
| 408.1 | Crawl space ventilation | | | | | | |
| 408.3 | Crawl space access | | | | | | floor 18x24, wall 16x24 |

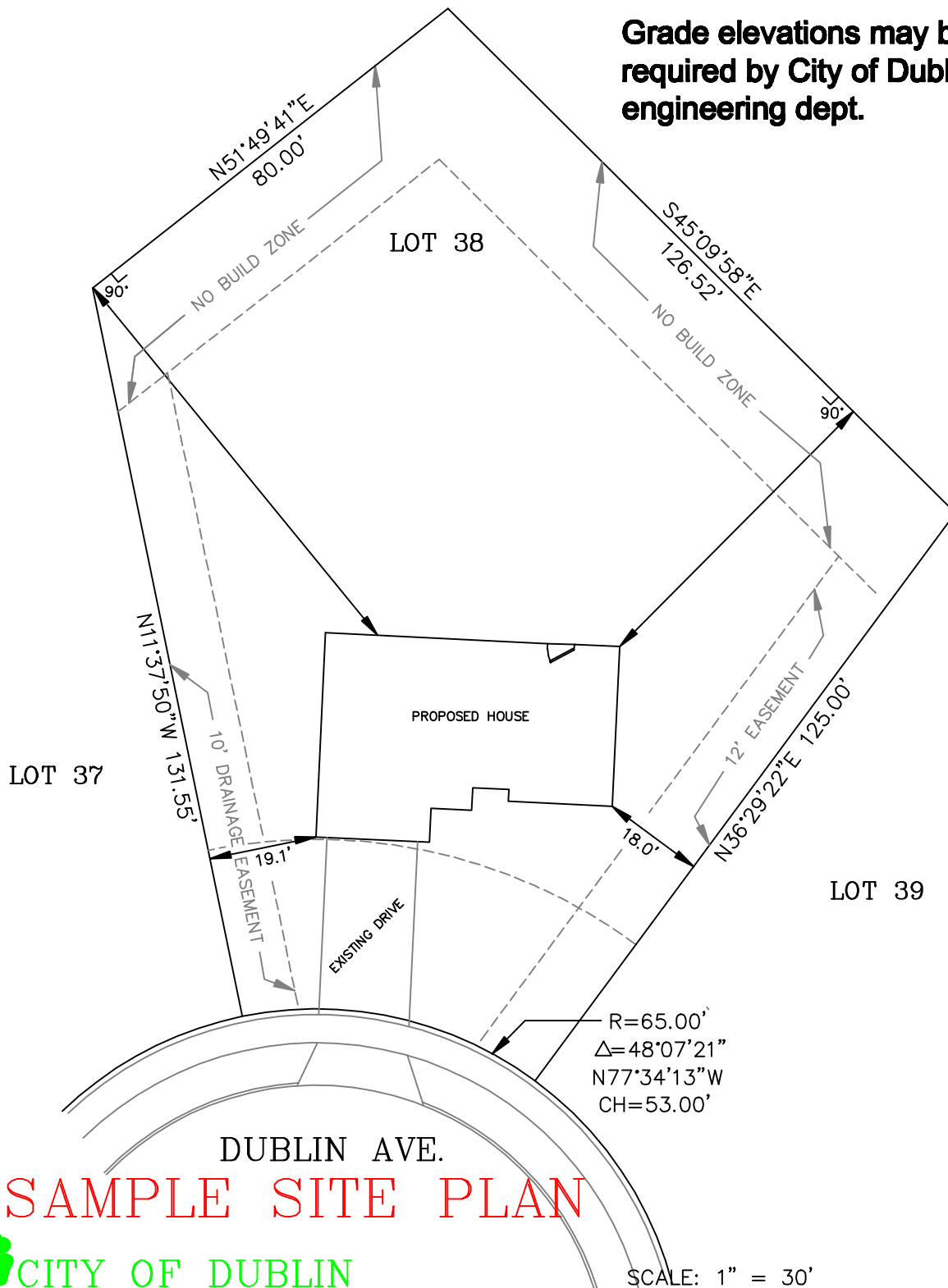
PLAN REVIEW CHECKLIST

| | | <i>Complies</i> | <i>Does Not Comply</i> | <i>Insufficient Information</i> | <i>Revised Plan Requested</i> | <i>Not Applicable</i> | Plan Reviewer's comments |
|------------------------------|--------------------------------|-----------------|------------------------|---------------------------------|-------------------------------|-----------------------|-----------------------------------------------------|
| 502.3 | Floor joist(s) allowable spans | | | | | | Lumber specifications required on drawings |
| 502.5 | Allowable girder spans | | | | | | Per tables 502.5(1) & 502.5(2) |
| 502.6 | Bearing | | | | | | 1 1/2" for wood & steel / 3" for masonry & concrete |
| 502.11.4 | Floor trusses | | | | | | Engineered design required at Frame inspection |
| 502.14 | Fire resistance of floors | | | | | | 1/2" drywall, 5/8" panel, 2x, Flak |
| 503 | Floor sheathing | | | | | | |
| 402.2 & 506 | Concrete floors on ground | | | | | | |
| 601.3 | Vapor Retarder | | | | | | warm side of wall |
| 602 | Wood wall framing | | | | | | |
| 602.3.1 | Stud size & spacing | | | | | | Table 602.3.(1) |
| 602.10 | Wall bracing | | | | | | Provide bracing method, locations, & details |
| 603 | Steel wall framing | | | | | | |
| 703.2 | Water Resistive Barrier | | | | | | exterior of wall |
| 703.7 | Masonry veneer | | | | | | Table 703.4 |
| 802 | Wood roof framing | | | | | | Show truss profiles on roof plan |
| 802.3.1 | Framing details | | | | | | Rafter ties, joist not perpendicular to rafters |
| 802.4 | Allowable ceiling joist spans | | | | | | |
| 802.5 | Allowable rafter spans | | | | | | |
| 802.10 | Wood trusses | | | | | | Stamped engineered roof trusses required at frame |
| 803.1 | Roof Sheathing | | | | | | 5/8" min. |
| 806 | Roof ventilation | | | | | | |
| 807 | Attic access | | | | | | 22"X30" |
| 1001 | Masonry fireplaces | | | | | | Table 1001.1 & Figure 1001.1 |
| 1002 | Masonry Heaters | | | | | | Spark arrestor with rain cap |
| 1003 | Chimneys | | | | | | Table 1003.1 & Figure 1003.1 |
| 1004 | Factory- built fireplaces | | | | | | |
| 1006 | Exterior Air supply | | | | | | |
| 2407 & 1503.4 | Combustion Air | | | | | | 50 cubic per 1,000 btu/h, kitchen hood > 400 cfm |
| Ordinance | Radon | | | | | | |
| 2407.9.1 | Make up air | | | | | | Where fans are installed |
| Table - 301.2(1) & 905.2.7.1 | Ice barrier | | | | | | |
| NEC 110.3B & UL White Book | Electric Service Panel | | | | | | Demand to be a max. of 80% of Service size |

New Home Site Plan

1. Show all existing structures on a lot and distances to property lines.
2. Show the exact location of the proposed new home.
3. Provide the exact dimensions of the proposed new home.
4. Provide dimensions from all sides of house to property lines.
5. All dimensions from new home to property lines must be at right angles to the property lines.

Grade elevations may be required by City of Dublin engineering dept.



THIS SHEET SHOULD BE ON
A 8 1/2" X 14" AND TO SCALE

SAMPLE SITE PLAN



WINDOW SCHEDULE (light & ventilation schedule)

| ROOM | ROOM SQ. FT. | WINDOW TYPE | REQUIRED GLAZING SQ. FT. | ACTUAL GLAZING SQ. FT. | REQUIRED VENT SQ. FT. | ACTUAL VENT SQ. FT. | TEMPERED GLAZING | BEDROOM EGRESS SQ. FT. |
|-------------|-------------------------------------------------------|-----------------------------------------------------|--------------------------|------------------------|-----------------------|---------------------|------------------|------------------------|
| DINING ROOM | 146 | 3050 SH | 11.68 | 10.96 | 5.84 | 5.7 | | |
| DINING ROOM | | 2050 SH | | 6.55 | | 3.08 | | |
| DINING ROOM | | 2050 SH | | 6.55 | | 3.08 | | |
| DINETTE | 126 | 5068 SLID | 10.68 | 30.25 | 5.04 | 16.25 | | |
| DINETTE | | 2050 SH | | 6.55 | | 3.08 | | |
| DINETTE | | 2050 SH | | 6.55 | | 3.08 | | |
| DINETTE | | 3050 SH | | 10.96 | | 5.7 | | |
| GREAT RM. | 293 | 3060 SH | 23.44 | 13.45 | 11.72 | 6.38 | | |
| GREAT RM. | | 3060 SH | | 13.45 | | 6.38 | | |
| BEDROOM#1 | 225 | 3060 SH | 18 | 13.45 | 9 | *6.38 | | 6.38 |
| BEDROOM#1 | THERE WILL BE A CEILING LIGHT INSTALLED IN BEDROOM #1 | | | | | | | |
| MSTR. BATH | 115 | 3040 SH | 3 | 8.38 | 1.5 | 3.83 | YES | |
| LIBRARY | 102 | 2-3060 SH | 8.16 | 26.9 | 4.08 | 12.76 | | |
| LOFT | 141 | 3050 SH | 11.28 | 10.96 | 5.64 | 5.7 | | 5.7 |
| LOFT | THERE WILL BE A CEILING LIGHT INSTALLED IN THE LOFT | | | | | | | |
| BEDROOM#3 | 171 | 3050 SH | 13.68 | 10.96 | 6.84 | *5.7 | | 5.7 |
| BEDROOM#3 | THERE WILL BE A CEILING LIGHT INSTALLED IN BEDROOM #3 | | | | | | | |
| BEDROOM#4 | 118 | 3050-2 SH | 9.44 | 21.92 | 4.72 | 11.4 | | 5.7 |
| FOYER | 92 | 2844 SH | 7.36 | 7.93 | 3.68 | 3.66 | | |
| | | | | | | | | |
| | | SASH RAISED CLEAR OPENING: 3050 30 5/8" X 26 13/16" | | | | | | |

*THESE ROOMS WILL INCLUDE 4" MAKE-UP AIR

ENGINEERED FOUNDATIONS

All basement foundations shall be stamped and signed by an architect or a structural engineer.

