

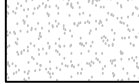
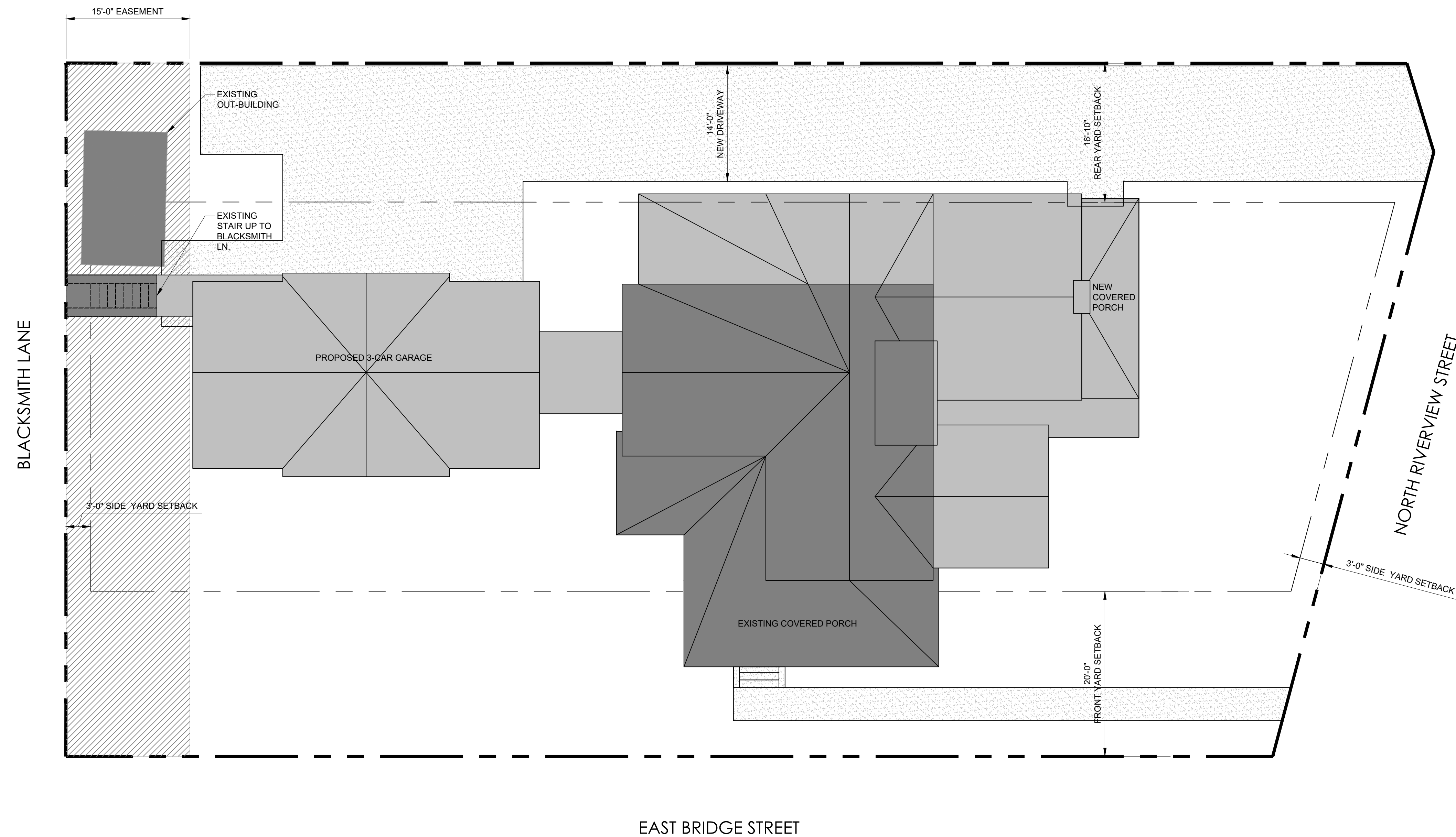




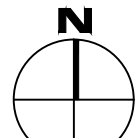
	40 E. BRIDGE STREET		
	REQUIRED	PROVIDED	AVAILABLE/ (DEFICIENT)
Minimum Lot Size	8,700	13,180	-
Minimum Lot Width	60'	146'-2"	-
Maximum Lot coverage	45%	49%	4%
(SF)	5,931	6,497	(566)
Maximum Building Height	24'	20'-3"	3'-9"
Maximum Building Footprint	25%	23%	2%
(SF)	3,295	3,049	246
Maximum ADU	100%	119%	19%
(SF)	800	952	(152)
Minimum Front Setback	20'	22'-4"	2'-4"
Minimum Side Setback	3'	45'-4"	42'-4"
Minimum Total Side	12'	113'-8"	101'-8"
Rear Setback	16'-10"	17'-5"	0'-7"
Minimum Rear Yard Setback	15'	-	15'


LEGEND

-  EXISTING HOME/SITE FEATURES
-  PLANNED NEW CONSTRUCTION
-  PLANNED IMPERVIOUS SURFACE



EAST BRIDGE STREET

 1 PRELIMINAR SITE PLAN  
R-1.4 1/8" = 1'-0"

  
SCALE: 1/8" = 1'-0"

INFORMAL REVIEW RESUBMISSION	4.3.24
INFORMAL REVIEW	2.5.24
ISSUE	DATE

REGISTRATION

BURKE RESIDENCE

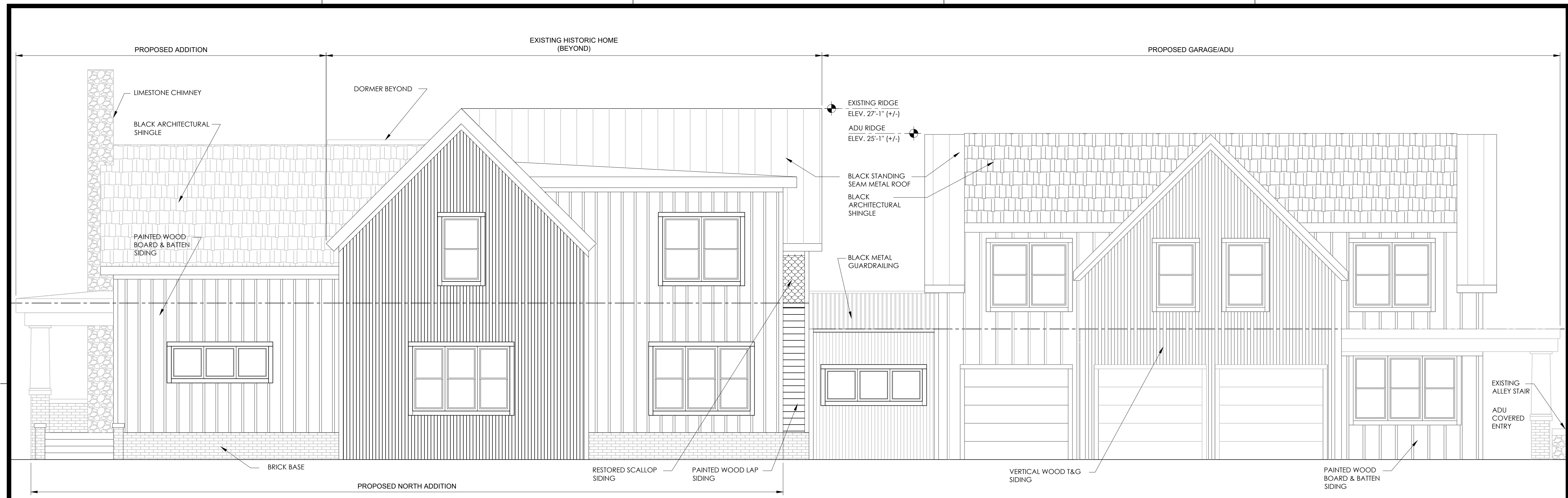
40 EAST BRIDGE STREET  
DUBLIN, OHIO 43017

OWNER  
KELLY & LEAH BURKE  
614.599.2702  
KELLYBURKE@YAHOO.COM  
4389 HUNTERS BEND  
POWELL, OHIO 43065

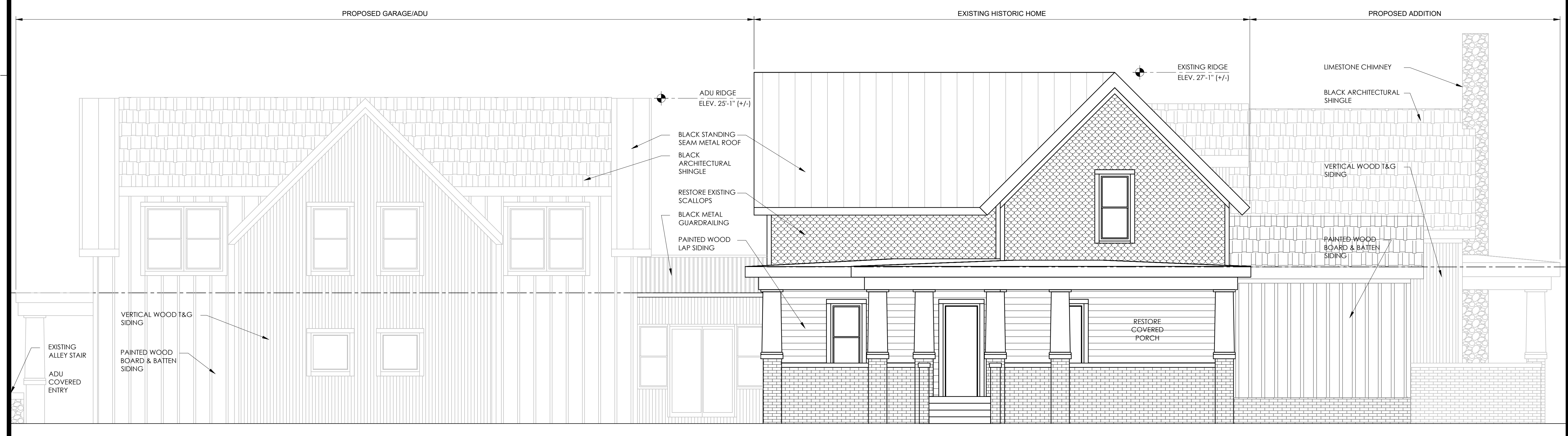
Designed D.KNAPP  
Drawn D.KNAPP  
Checked D.KNAPP  
Approved D.KNAPP Date 4.3.24  
Title

PRELIMINARY  
SITE PLAN

Project Number Sheet Number  
202305 R-1.4



**2 NORTH ELEVATION**  
A-2.0 1/4" = 1'-0"



**1 SOUTH ELEVATION**  
A-2.0 1/4" = 1'-0"

INFORMAL REVIEW	2.5.24
ISSUE	DATE

REGISTRATION  
**BURKE RESIDENCE**

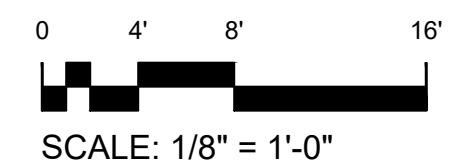
40 EAST BRIDGE STREET  
DUBLIN, OHIO 43017

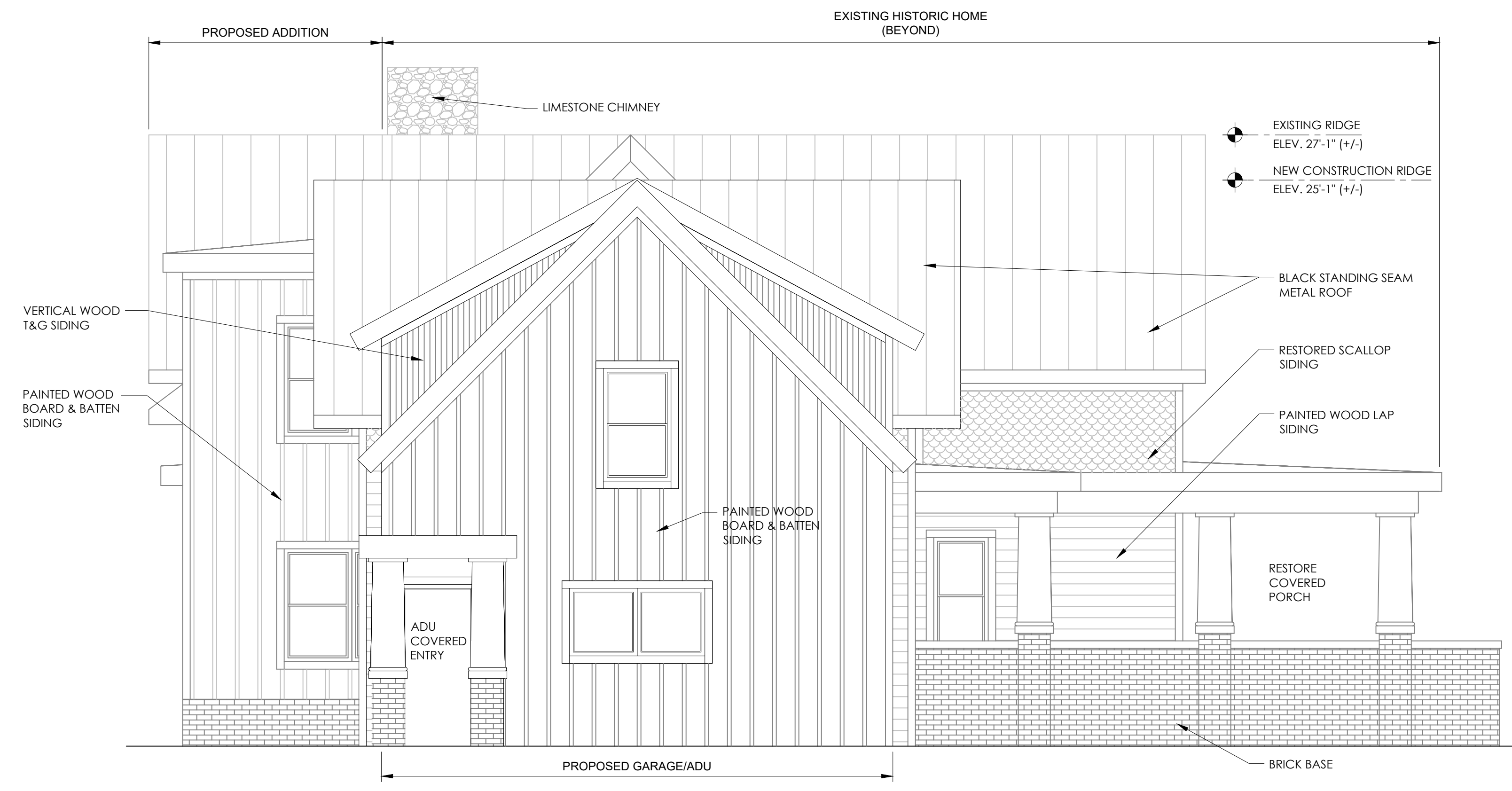
**OWNER**  
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Title	
Date	4.4.24

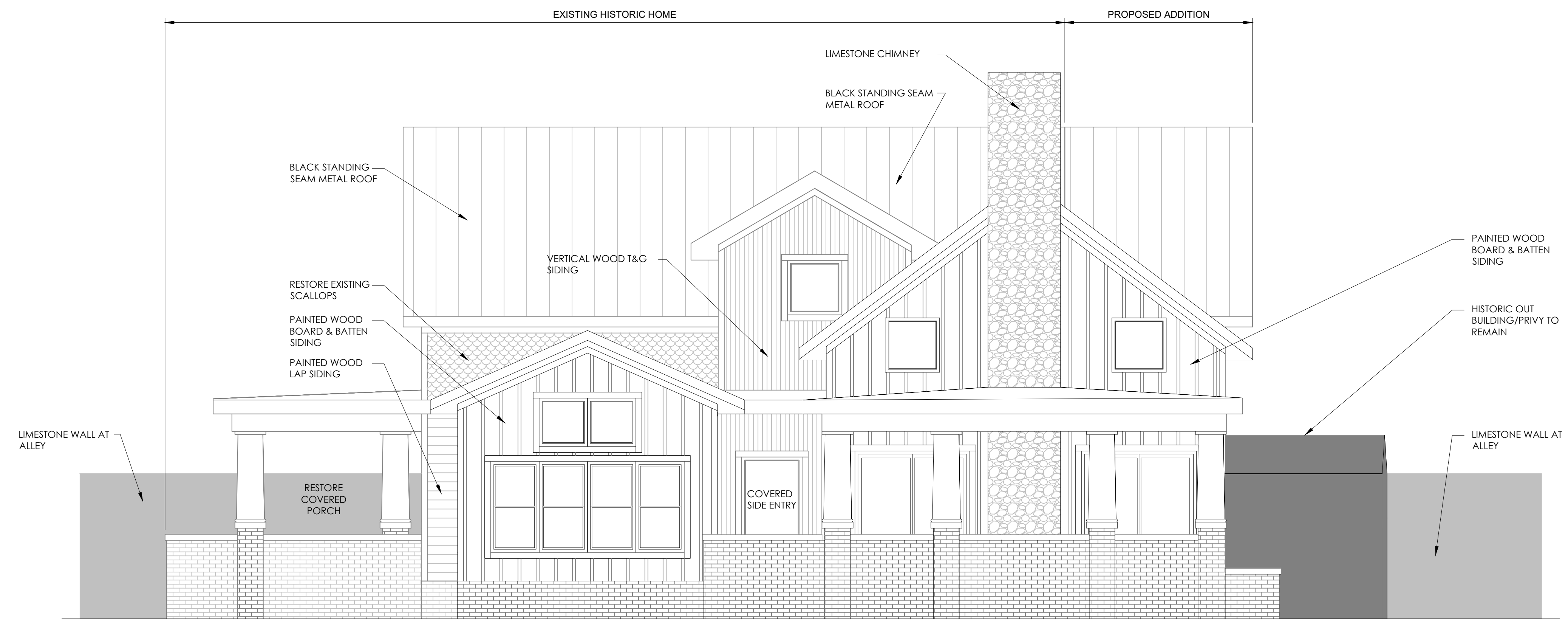
**NORTH AND SOUTH ELEVATIONS**

Project Number	202305	Sheet Number	A-2.0
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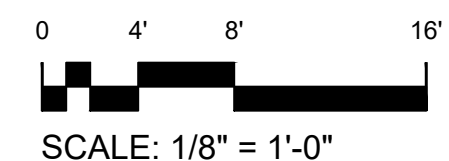




2 NORTH ELEVATION West Elevation  
A-2.1 1/4" = 1'-0"



1 SOUTH ELEVATION East Elevation  
A-2.1 1/4" = 1'-0"



INFORMAL REVIEW RESUBMISSION	4.3.24
INFORMAL REVIEW	2.5.24
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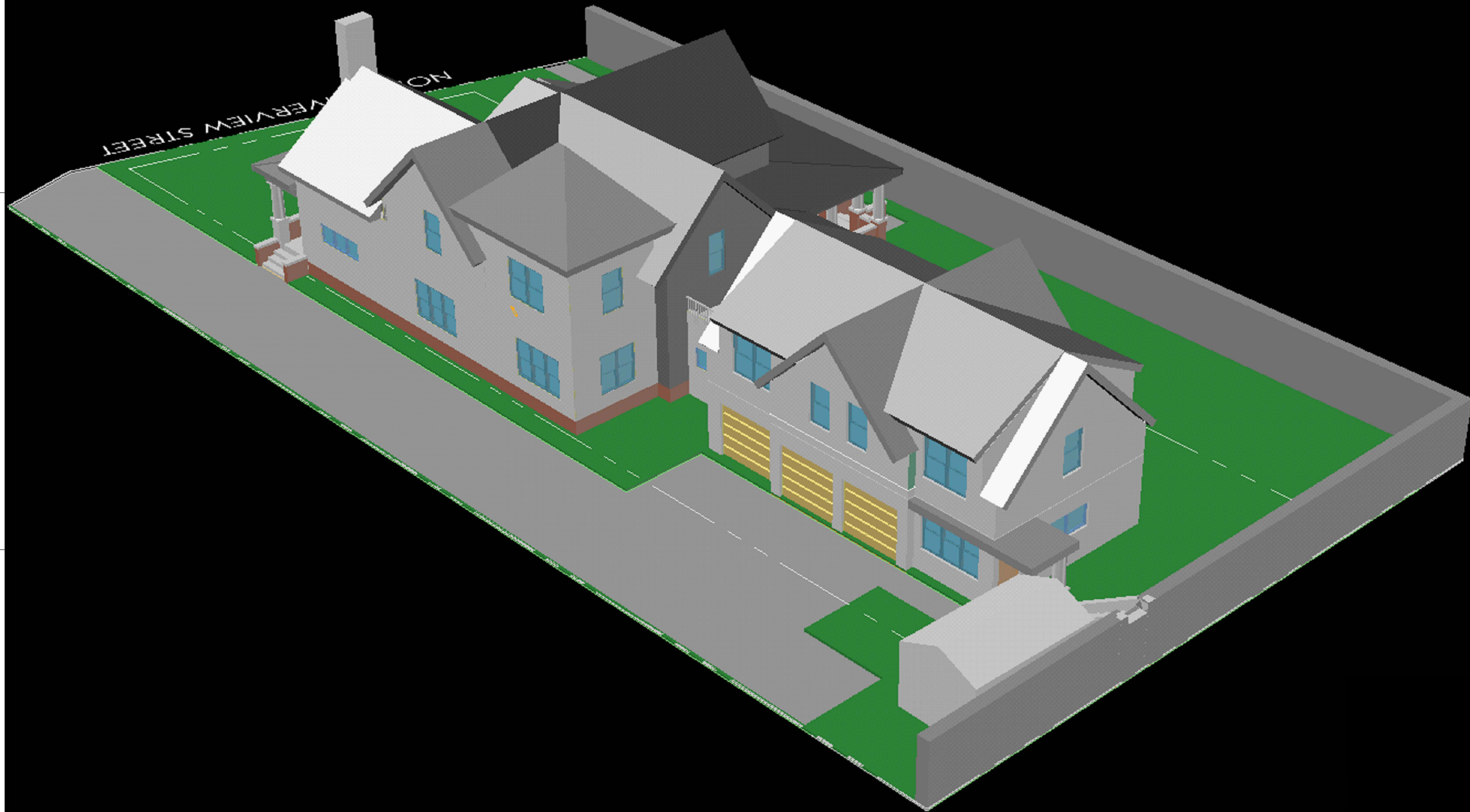
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Approved	D.KNAPP
Title	
Date	4.4.24

NORTH AND  
SOUTH  
ELEVATIONS

Project Number	202305	Sheet Number	A-2.1
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TANDEM NORTH  
DESIGN, LLC.

202 S. UNION #1266  
TRAVERSE CITY, MI 49684  
231.493.8083

INFORMAL REVIEW RESUBMISSION 4.3.24  
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**NORTHWEST  
MASSING VIEW**

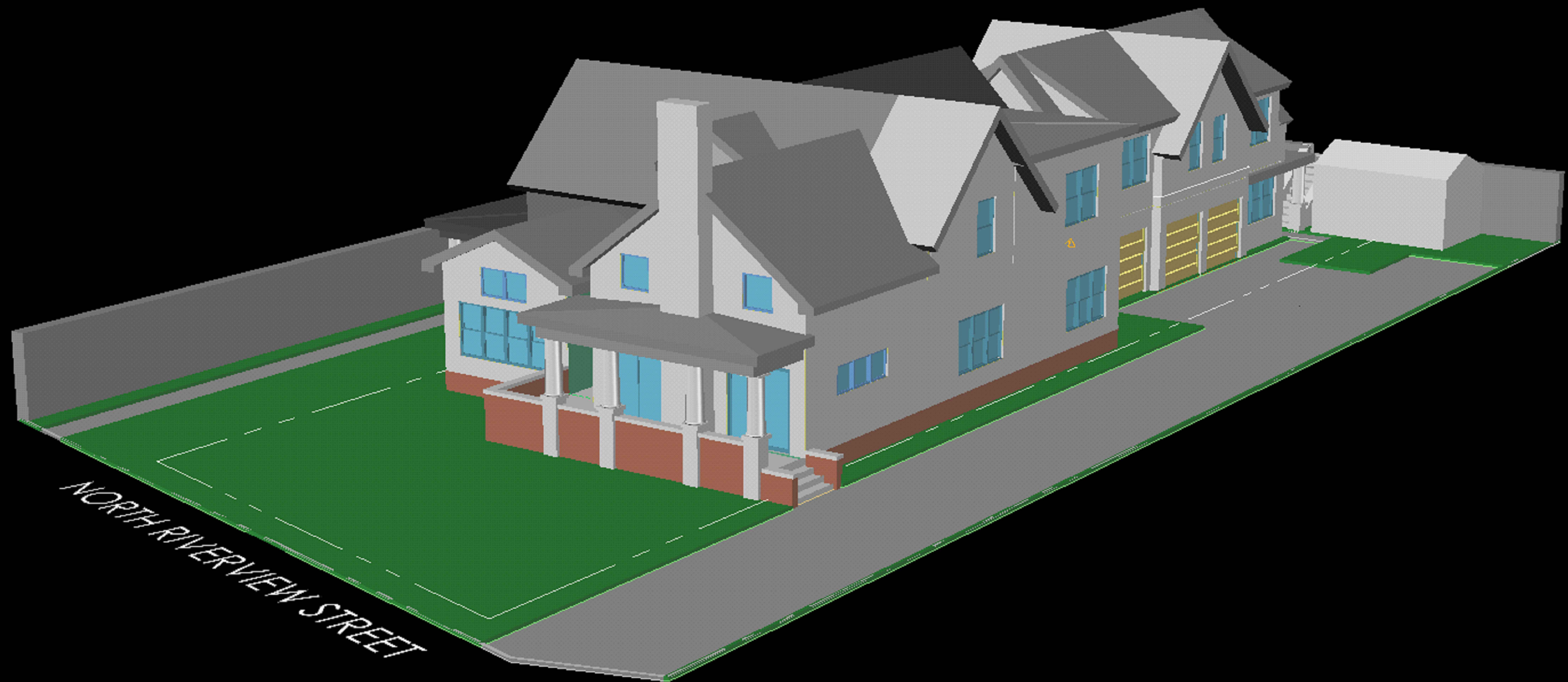
Project Number 202305 Sheet Number R-1.8

**1 NORTHWEST VIEW**  
R-1.8 NO SCALE

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"

TANDEM NORTH  
DESIGN, LLC.

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TRAVERSE CITY, MI 49684  
231.493.8083



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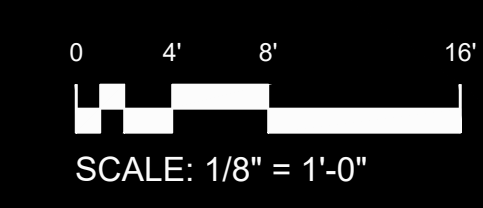
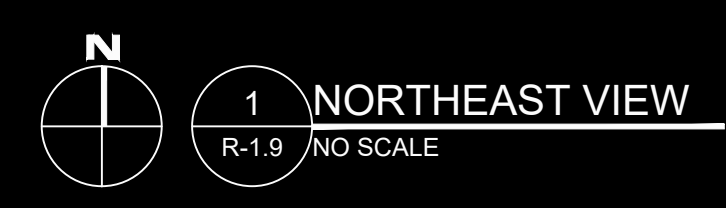
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 Title

**NORTHEAST  
MASSING VIEW**

Project Number 202305 Sheet Number R-1.9



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DESIGN, LLC.

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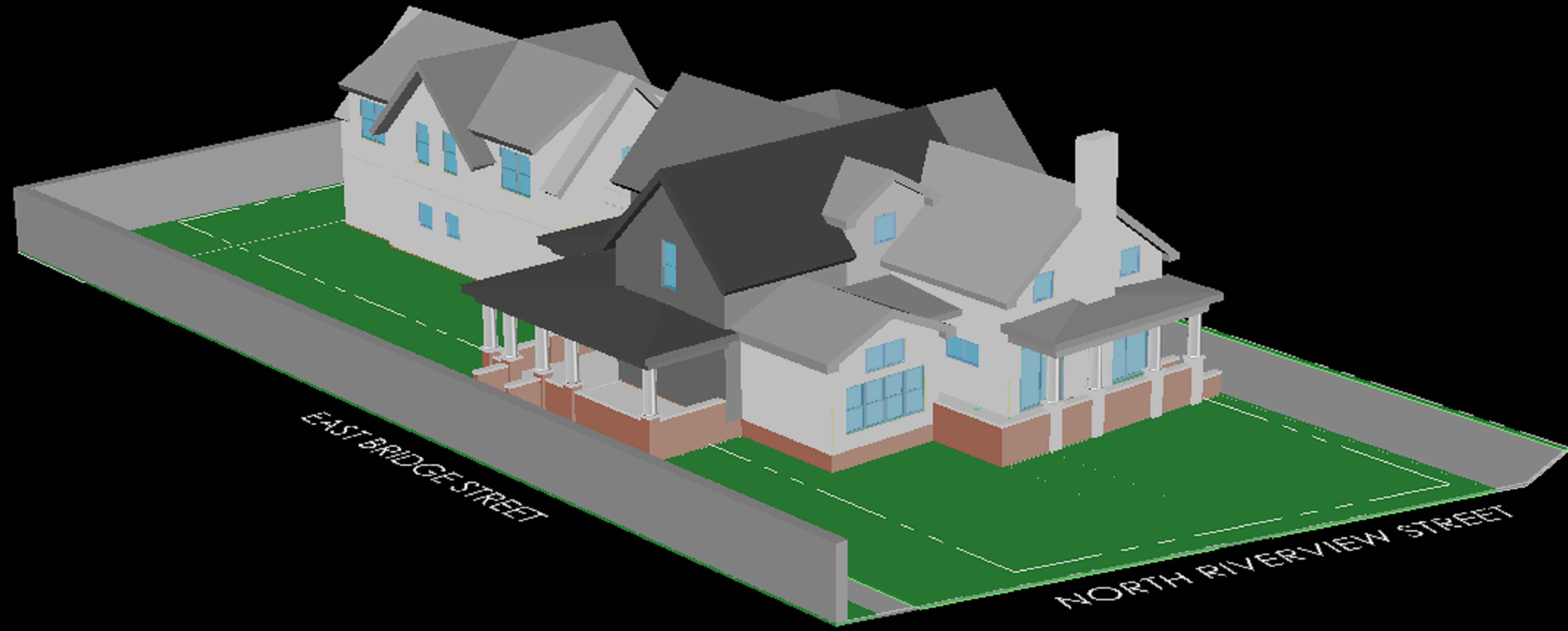
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Drawn D.KNAPP  
Checked D.KNAPP  
Approved D.KNAPP Date 4.3.24  
Title

SOUTHEAST  
MASSING VIEW

Project Number 202305 Sheet Number R-1.10



N  
1 SOUTHEAST VIEW  
R-1.10 / NO SCALE

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"