

Project Narrative

Forty East Bridge Street was (presumed) built in 1850, as a single-family farmhouse for the W. Davis family. Like many of the few structures in the agrarian settlement, then named "Washington Township", the home was simple and constructed of locally-sourced materials. The home is a shallow two-story "Gabled Ell" building, "L-shaped" in plan, with second story tucked underneath two intersecting gable roof sections. The home was wood-framed, set approximately two feet above grade, on a rubble/Columbus limestone base (crawlspace), with wood lap siding on the first floor and scalloped wood siding under the eaves on the second floor. There is a generous flat-roofed covered porch on a brick base, along the entire front of the house, facing East Bridge Street to the south. The home, just a block east of High Street, is perched high above the west bank of the Scioto River just to the east.

Scope

The Owner wishes to retain much of the original historic character of the home, while adding onto it, spaces and programmatic functions that are more supportive of today's modern living.

The intent is to demolish an existing, non-original, flat-roof, single-story addition along the north side (rear) of the house.

Additions are planned along the north and east sides, both set back from the existing and original corners of the house, and set approximately two feet above grade on a masonry base, equal to the existing floor elevations.

The additions to the east, will comprise of two single-story volumes with gable roofs facing east, subordinate to the existing roof lines both in height (of the ridge) and street presence. The two volumes will be separated by a new side entry (facing east/Riverview Street). A covered porch is also planned to span the east side of the addition. A fireplace and chimney are planned to be centered about the new porch.

The addition to the north of the house will be hidden and subordinate to the existing home when viewed from Bridge Street, and will be a two-story addition, adjacent to the existing driveway off of Riverview Street, and will feature an extrusion (northward) of the existing gable roof, with a new shallow hip roof over the northwest corner of the addition.

A new, 3-car carriage house is planned to be built on the west side of the lot, generously setback from the front of the house, connected on axis, to the existing home, by a narrow 1-story, flat roof hyphen/breezeway with balcony above. The carriage house will be of similar construction to the existing home and addition, with a second floor accessory dwelling unit tucked under a similarly-pitched gable roof, with shed dormers running along the south (front) and north (rear) elevations.

All new construction will be at or below the existing ridge lines. The existing siding and architectural elements will be restored where able, and replaced with similar materials when necessary. All new construction will feature differing, yet complimentary materials and colors to the existing, to further delineate the historic home from the additions.

A new concrete driveway will be installed along the north (rear) property line opening off of Riverview Street and running west approximately 2/3 the width of the lot, toward the west-most edge of the carriage house.

Existing open spaces shall largely remain to preserve views and align with neighboring setbacks. Minimal and mixing of perennial plants, flowering shrubs, ornamental trees and other native landscaping is planned to soften the edges of the house at grade along the perimeter of the existing house and addition's foundations.

District Integration

Being a historic structure within the Historic Residential district of Dublin, the "Gabled Ell" house, architecturally-speaking, is naturally harmonious with most of the adjacent structures in central Dublin. Its massing, siting, and material composition both existing and as-planned, are congruent with adjacent homes north along Riverview Street, and those on the south side of Bridge Street.

Where possible, existing siding, masonry, architectural features and openings shall remain and be restored, however this home shows evidence of layers of different siding materials applied over the original over the years. Where restoration is not feasible, historically-accurate reproductions of like materials will be employed.

Materials on portions of the home that will be new construction, will be a mix of wood siding and masonry base/elements, yet with differing yet complimentary colors, application, and articulation. New openings will be of similar proportion, location and composition to that of the existing home and/or those within the specific architectural vernacular.

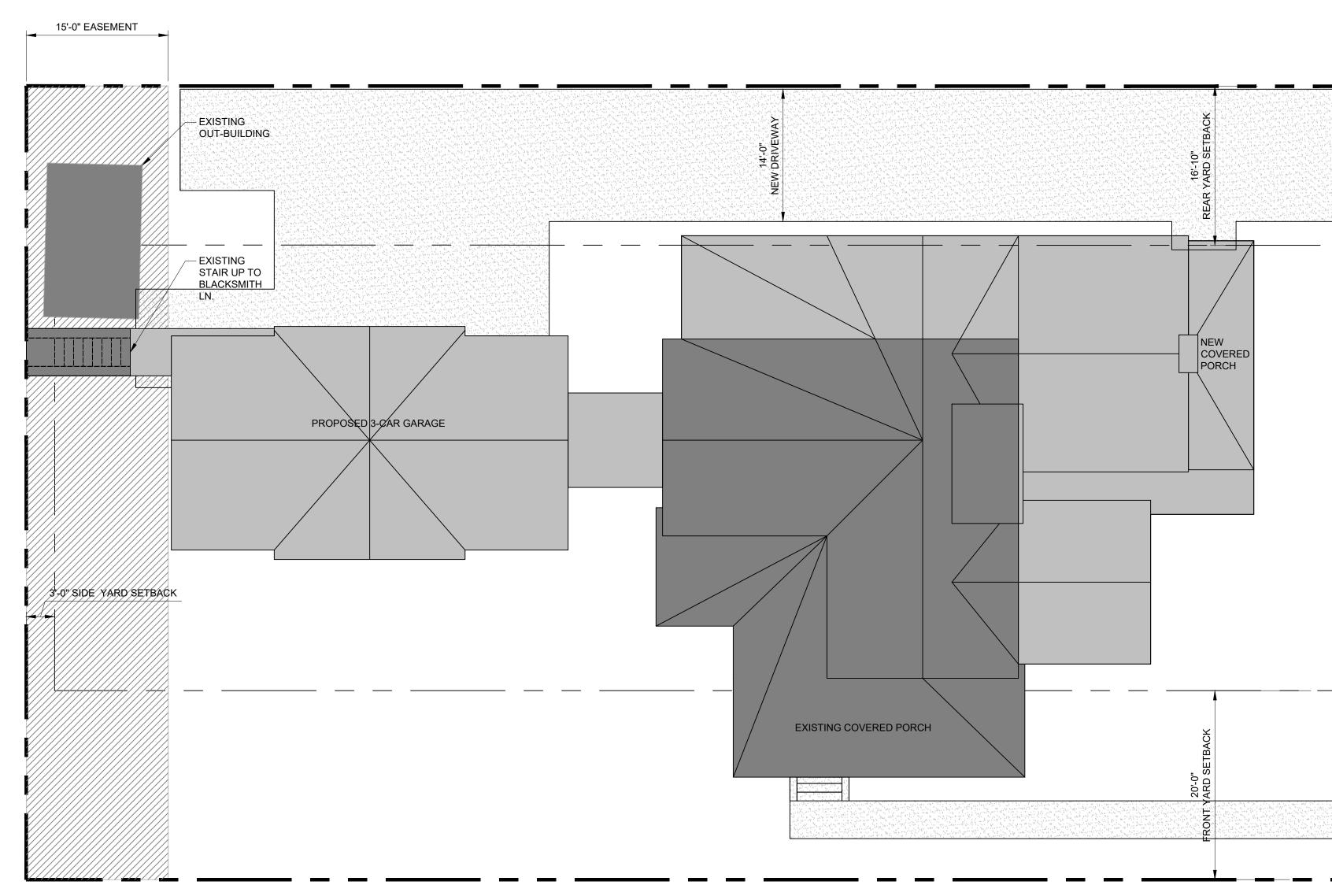
Finish colors both on existing and new constructions will be of period and current stylistic specificities, respectively.

Existing site features such as the retaining wall and carriage steps along the west and south property lines will be restored. Heaving sections of the wall will be reconstructed with existing material, and tuckpointing will be employed with historically appropriate mortar where required. Overgrown adjacent vegetation will be removed and/or trimmed back to restore its visual presence.

The exterior of the existing small background-building/privy on the northwest corner will have it's exterior restored to provide a weather-tight enclosure. One mature tree will be removed on the west side of the existing house for the placement of the new carriage house.

TANDEM NORTH DESIGN, LLC.
202 S. UNION #1266 TRAVERSE CITY, MI 49684 231.493.8083
INFORMAL REVIEW RESUBMISSION 4.3.24
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	40 E. BRIDGE STREET			
	REQUIRED	PROVIDED	AVAILABLE/ (DEFICIENT)	
Minimum Lot Size	8,700	13,180	-	
Minimum Lot Width	60'	146'-2	-	
Maximum Lot coverage	45%	49 %	4%	
(SF)	5,931	6,497	(566)	
Maximum Building Height	24'	20'-3''	3'-9''	
Maximum Building Footprint	25%	23%	2%	
(SF)	3,295	3,049	246	
Maximum ADU	100%	11 9 %	1 9 %	
(SF)	800	952	(152)	
Minimum Front Setback	20'	22'-4''	2'-4''	
Minimum Side Setback	3'	45'-4''	42'-4''	
Minimum Total Side	12'	113'-8"	101'-8''	
Rear Setback	16'-10''	17'-5''	0'-7'	
Minimum Rear Yard Setback	15'	-	15	

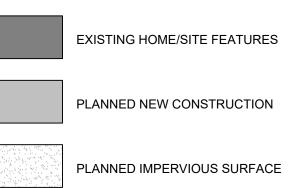


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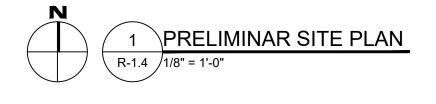
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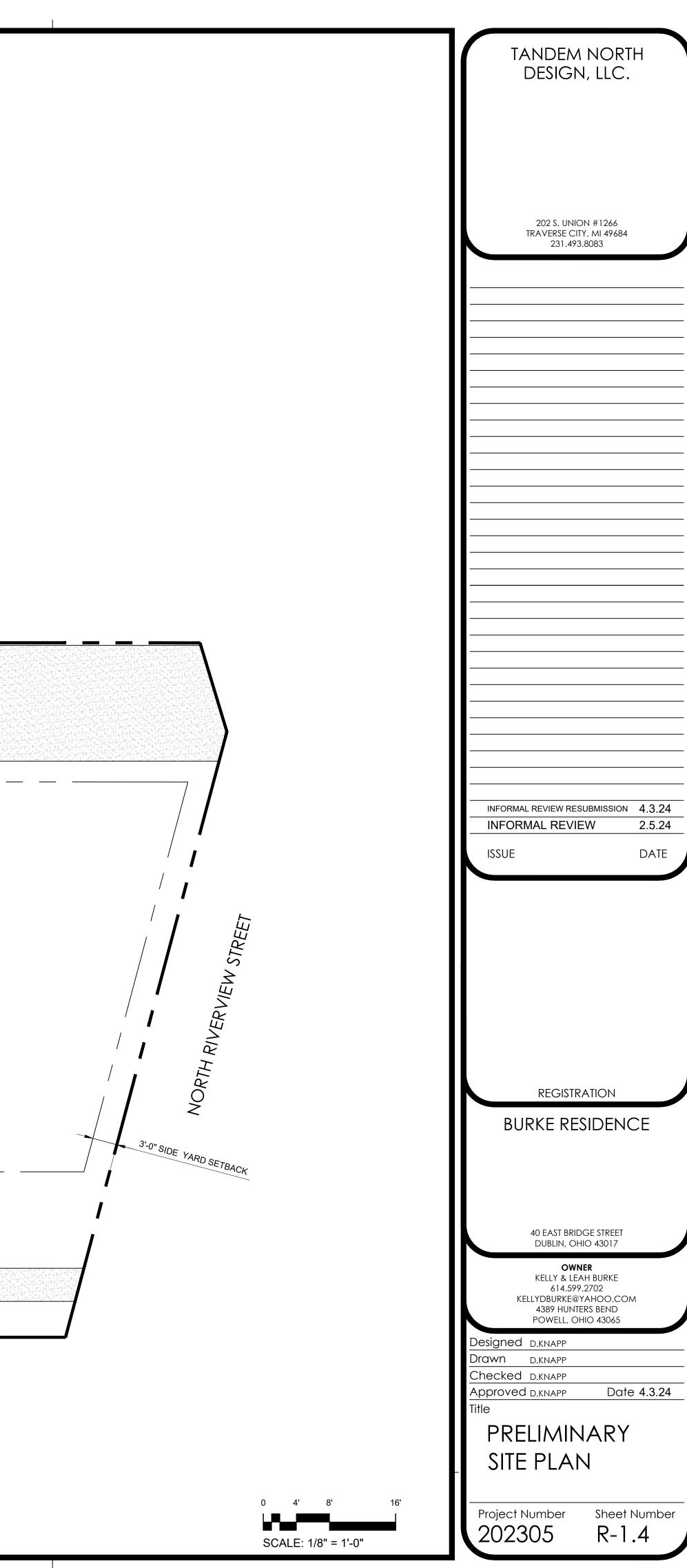
SAVE DATE : Monday, February 05, 2024

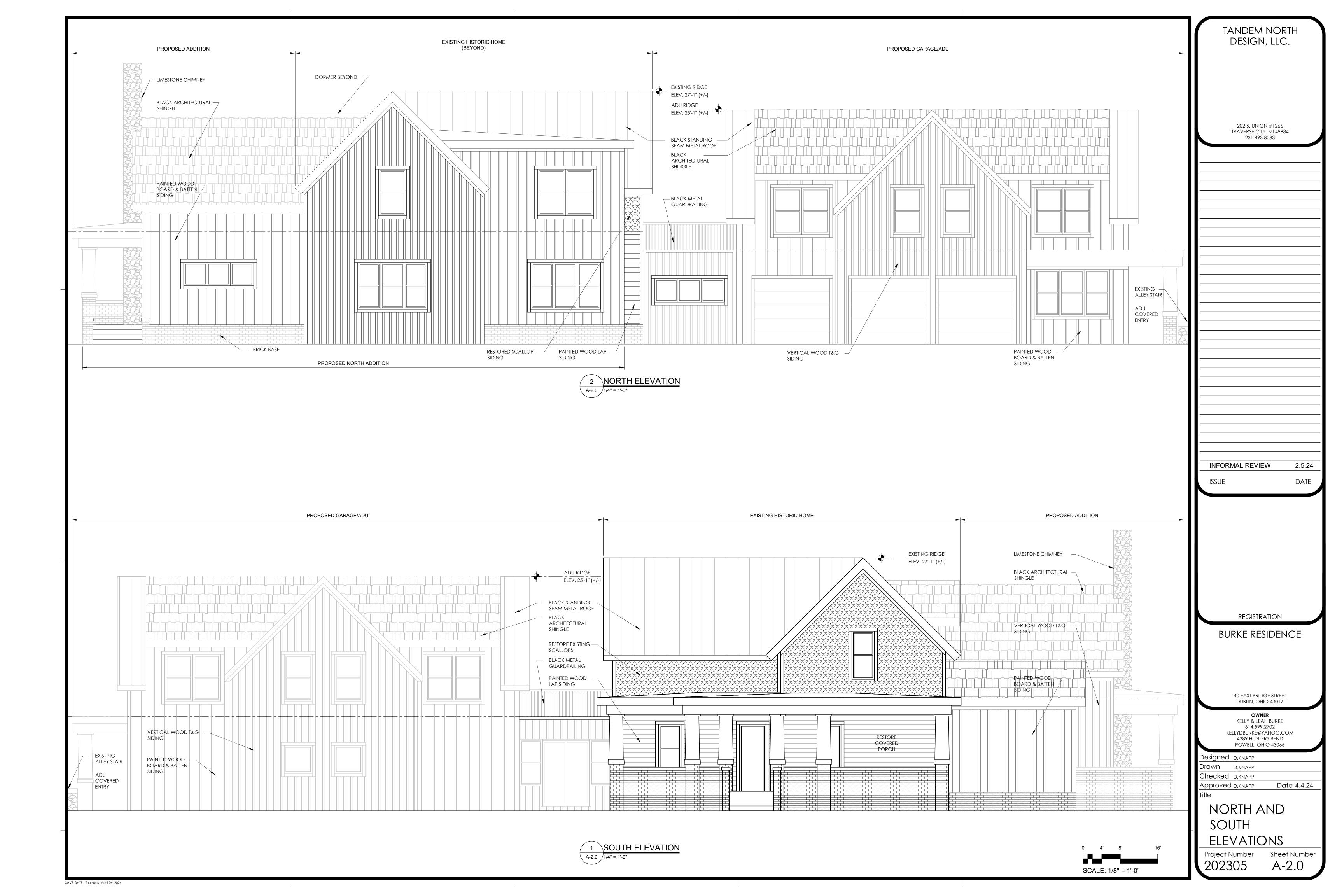
LEGEND

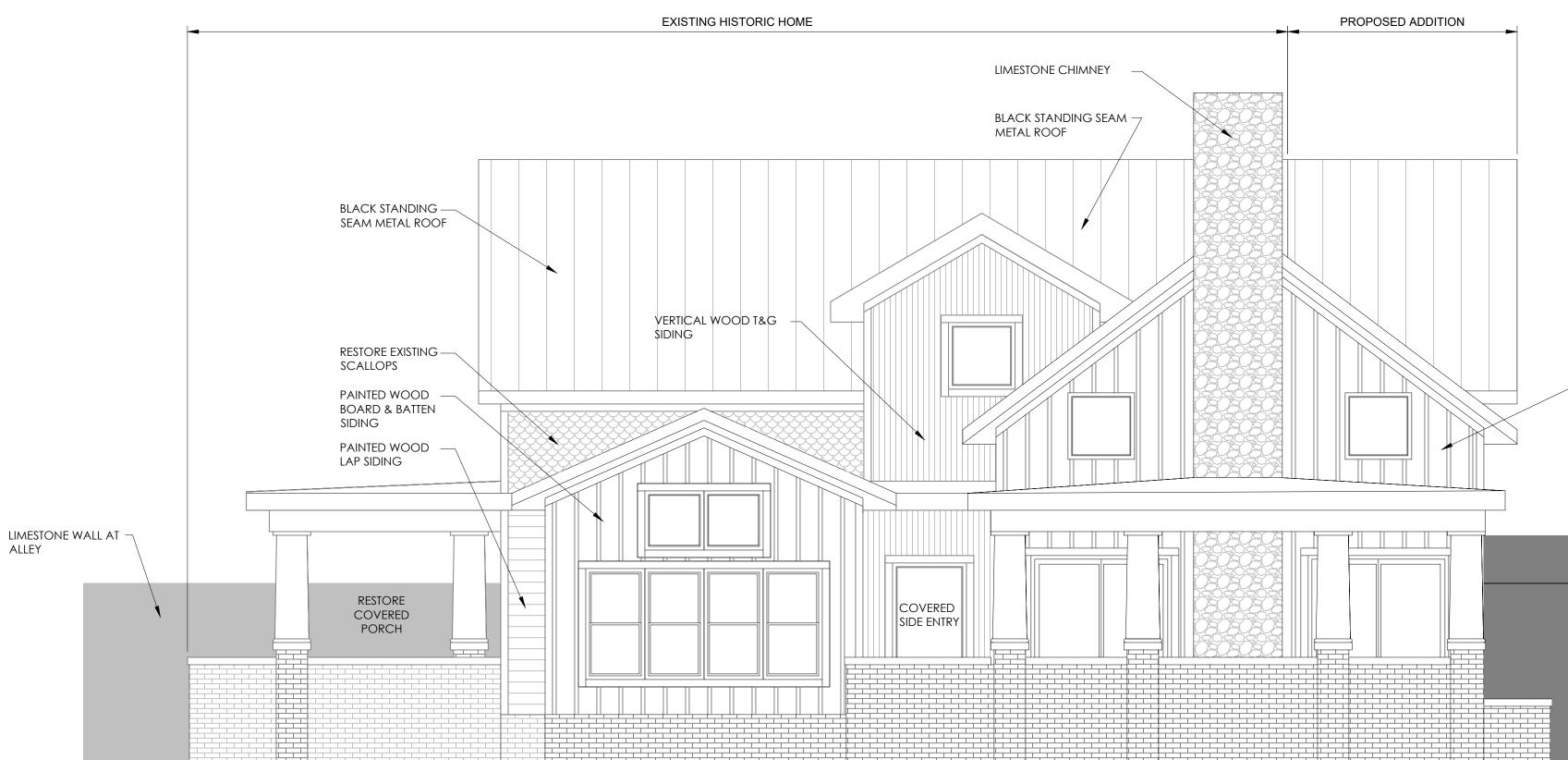


EAST BRIDGE STREET

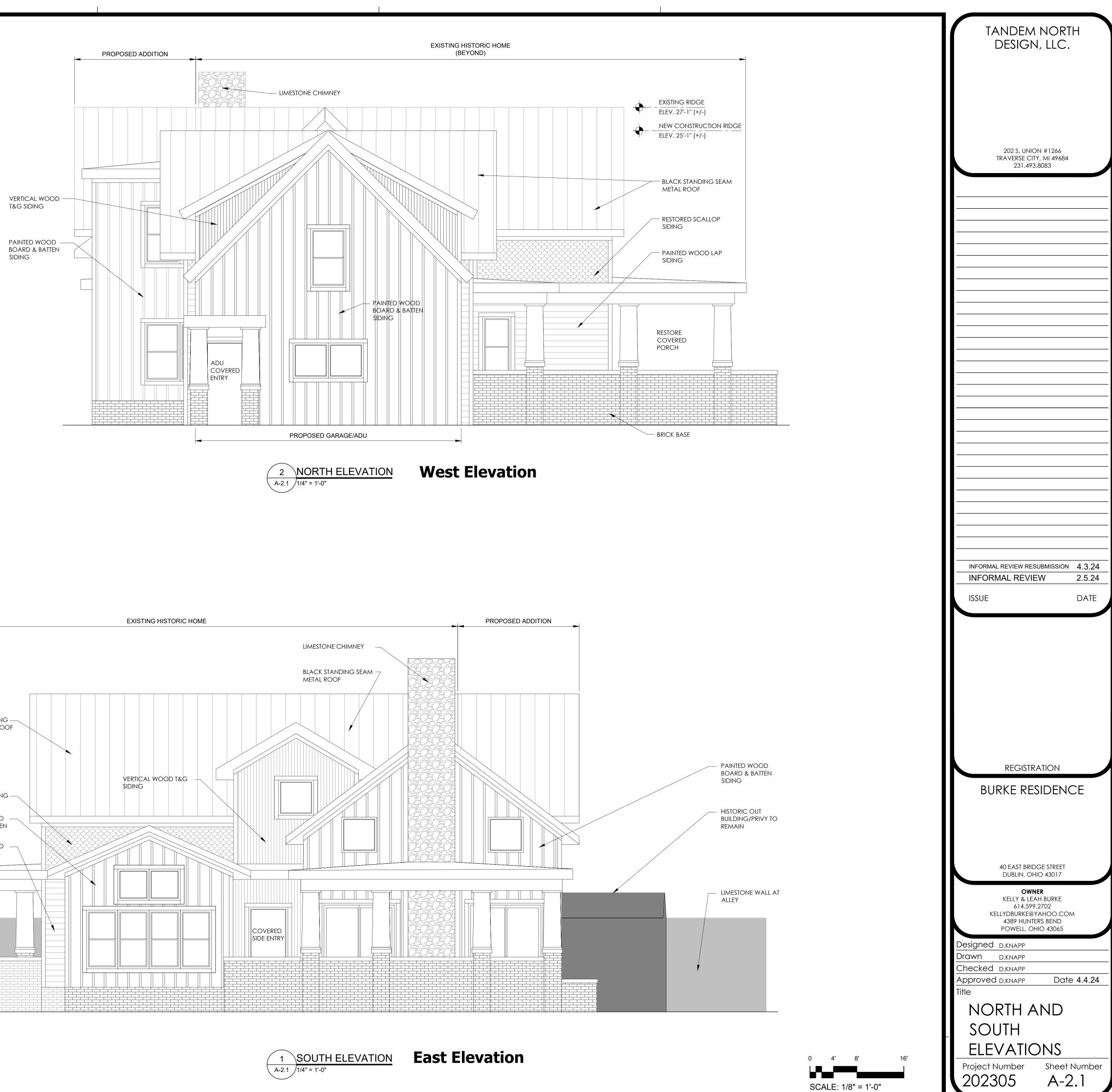


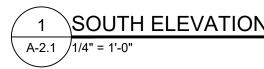


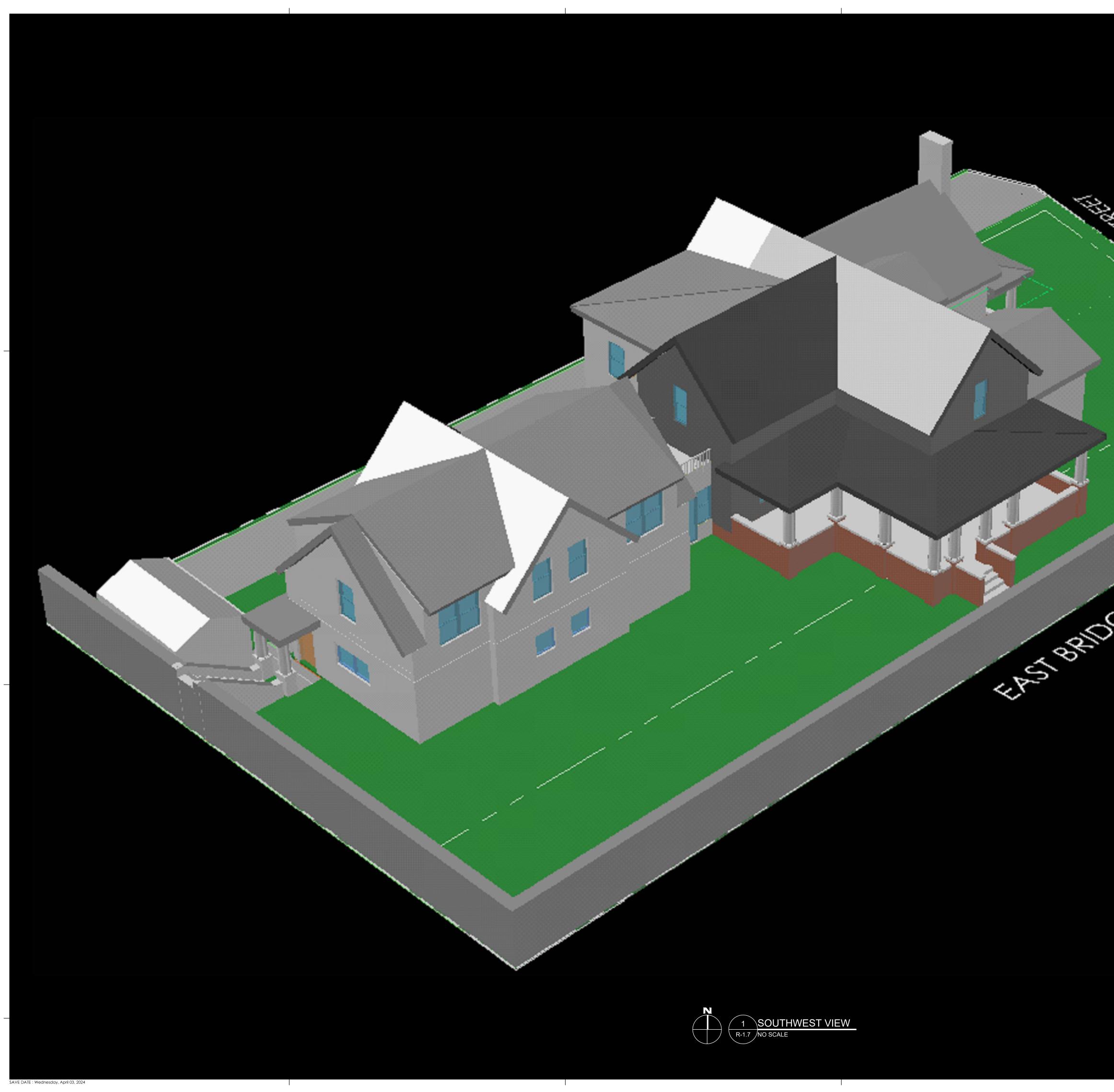




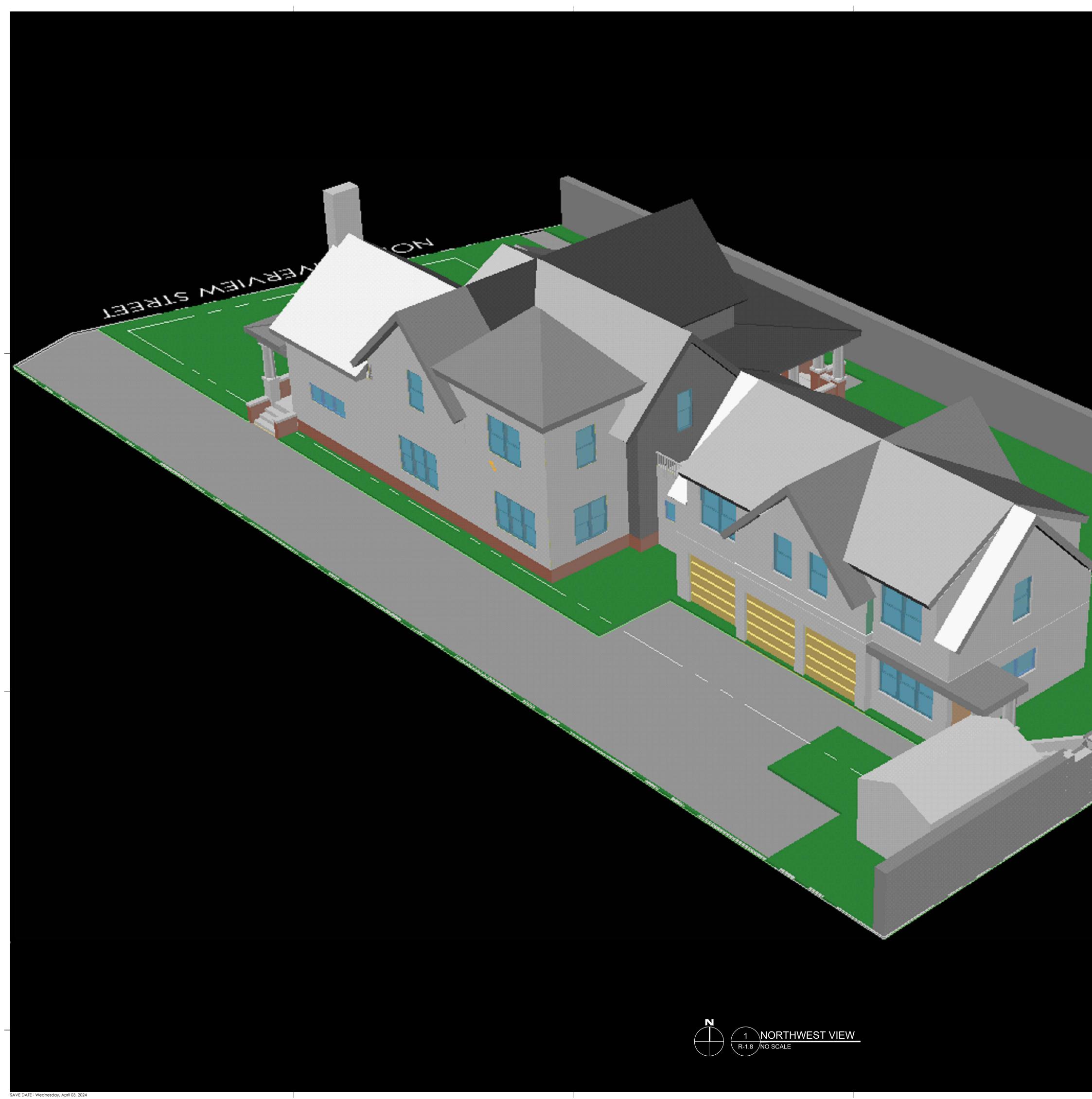
SAVE DATE : Thursday, April 04, 2024







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	Designed D.KNAPP Drawn D.KNAPP Checked D.KNAPP Approved D.KNAPP Date 4.3.24 Title SOUTHWEST
0 4' 8' 16' SCALE: 1/8" = 1'-0"	MASSING VIEWProject NumberSheet Number202305R-1.7



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