

J. Liu Dublin Room Addition and Dumpster Enclosure & Minor Landscape Improvements

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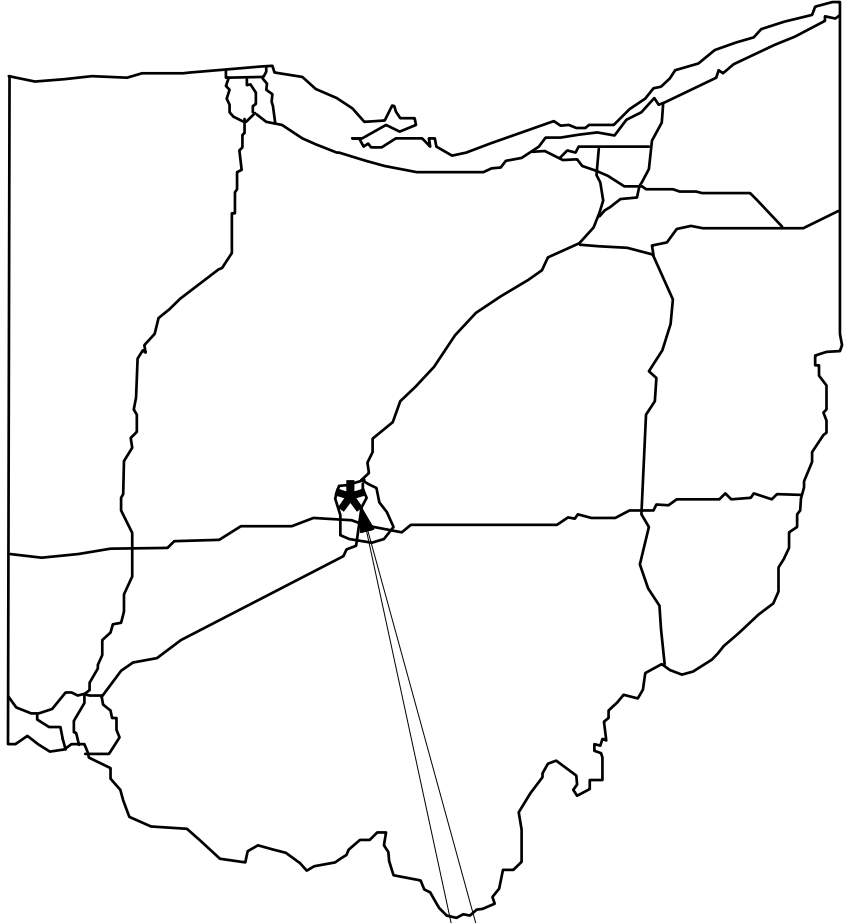

38 & 50 W Bridge St,
Dublin, OH 43017

Preliminary Zoning Elements - General Standards

TABLE 153.173A: HISTORIC ZONING DISTRICTS - GENERAL DEVELOPMENT STANDARDS				
Development Standard	Historic Core (HC)	Existing	Proposed	Notes
Minimum Lot Size	21,000 SF	26,000+	no change	Existing
Minimum Lot Width	60 feet	100	no change	Existing
Maximum Lot Coverage	85%	21,495 sq ft	21,545 sq ft	Franklin St Extension - property adjustment
Maximum Building Footprint	30 feet			
Maximum Building Footprint	N/A			
Front Yard Setback	0 feet	N/A	N/A	
Side Yard Setback	0 feet	25'	13'	
Rear Yard Building	5 feet	N/A	N/A	
Rear Yard Pavement	5 feet	N/A	N/A	
Parking Location	Rear	existing	established in recommended changes per Franklin Street Engineering	

Description	
Zoning District:	HD-HC
Existing Building size	3,237 sq ft
Addition Proposed	264 sq ft
Building Use	Eating and Drinking
Addition Proposed	No Change
Building Height	One story
Addition Proposed	One Story
Existing Building Materials	Stone, painted wood/slate and metal roof
Addition Proposed	Painted wood
Existing Parking Accessible Regular	1
Proposed Parking	25 The dumpster enclosure previously occupied 2 parking spaces. The relocation will occupy 2 spaces. Therefore, there is no change in parking count.

Dublin ARB
Minor Project
Date: 17 July 2024

Site Location	Vicinity Map	Project General Notes	Project Narrative	Drawing Index												
 <p>Site: 38 West Bridge Street Dublin, OH 43017</p> <p>Site: 50 West Bridge Street Dublin, OH 43017</p>	 <p>Site: 38 West Bridge Street Dublin, OH 43017</p> <p>Site: 50 West Bridge Street Dublin, OH 43017</p>	<ol style="list-style-type: none"> The project is on the outside of an existing tenant occupied building. General Contractor shall coordinate all work so as to avoid damaging existing work to remain or endangering public roadways. Review each sheet of drawings only in conjunction with the entire set of contract documents. The documents are interdependent and are not to be separated or read independently. Contractor shall visit the site to review all conditions in conjunction with review of all Bidding Documents. The contractor, by commencing the work accepts the conditions of the site and the completeness of the Contract/Bidding documents. Any discrepancies between drawings and actual site conditions should be brought to the attention of the Architect prior to the commencement of the work. No extras will be allowed for discrepancies after the work has begun except where the condition could not have been discernible without the removal of concealing conditions. Provide all work materials and labor for a complete project. Any material or labor neither shown on the drawings or specified but which is obviously necessary to complete the work or work of a similar scope or to complete indicated scope shall be provided as base bid work. G.C. shall coordinate deliveries, access, hours and noise limits with Owner & local. Permits: General Contractor shall be responsible for all permits and inspections and associated fees as required to complete the work, except general building permit. General permit will be submitted by Owner and picked up by G.C. Substitutions: No substitutions of specified materials or work will be accepted unless submitted for approval to the Owner. Protection: General Contractor shall be solely responsible for taking all steps necessary to protect the public from injury and adjacent property from damages during construction and demolition activities. The G.C. shall be responsible for project security from the start of the work, until completion. All wall and ceiling construction shall be supported or braced from structural members not other items of suspended work or work in place, unless noted otherwise. General Contractor shall remove all debris from job site on a regular basis. All debris shall be contained within the contract limits prior to removal. G.C. shall not stack deliveries, materials or equipment in a manner that will over load existing structure. General Contractor is responsible to have the entire area clean and spotless at time of turn over to owner. All work shall conform with all provisions of the state and local governing building authorities. All work shall be performed in compliance with all provisions established for the use of the building and the premises by the Owner. All exits, corridors, aisles, and passageways shall comply with OBC Chapter 10. Install portable fire extinguishers, according to section 906 and refer to 1301: 7-7-04 J of the Ohio Fire Code. All work shall be in compliance with the provisions of the "Americans with Disabilities Act" (ADA). 	<p>Scope of work:</p> <ul style="list-style-type: none"> -Small addition to the west side of the existing facility of J.Liu Restaurant & Bar -New dumpster enclosure -Small planting bed on the east side of Fox in the Snow -Reinstall existing two parking lot light fixtures -New landscaping around the proposed building addition -Waiver request for ARB to approve flat roof design <p>While the J.Liu building is not historic, we propose the following complimentary strategy:</p> <ul style="list-style-type: none"> -The addition is small in scale & low to subordinate it to the primary mass of the J.Liu building. -The use of stone veneer to relate to the more interesting stone facades. -Metal roof not unlike buildings in the area. -Clean, repaint, and reuse the existing west entry door. <p>The dumpster Enclosure is to be built from concrete masonry units with a brick veneer to match the existing 38 W Bridge Street building, a more traditional brick. The dumpster will have wood doors with self-closing hinges following the Historic District Code and Design Guidelines.</p> <p>Remove the existing landscape in the planter. Plant new 5 gallon boxwood shrubs all along the east side of 38 W Bridge Street.</p> <p>Repair and reinstall existing parking lot pole fixtures.</p> <p>ALTERNATIVE: Replace the existing parking lot light fixtures with new fixtures that match the overall character of the district.</p>	<table border="0"> <tr> <td>A0</td> <td>Cover Sheet</td> </tr> <tr> <td>A1.1</td> <td>Site Plan</td> </tr> <tr> <td>A1.2</td> <td>Overall Elevations</td> </tr> <tr> <td>A1.3</td> <td>Enlarged Storage Drawings</td> </tr> <tr> <td>A1.4</td> <td>Dumpster Enclosure and Landscape Drawings</td> </tr> <tr> <td>A1.4.1</td> <td>Dumpster Enclosure Hardware Specification</td> </tr> </table>	A0	Cover Sheet	A1.1	Site Plan	A1.2	Overall Elevations	A1.3	Enlarged Storage Drawings	A1.4	Dumpster Enclosure and Landscape Drawings	A1.4.1	Dumpster Enclosure Hardware Specification
A0	Cover Sheet															
A1.1	Site Plan															
A1.2	Overall Elevations															
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36 KING AVENUE
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fax. 614.294.2709



Existing Dumpster/ Storage Enclosure



New Dumpster Location and Existing light pole

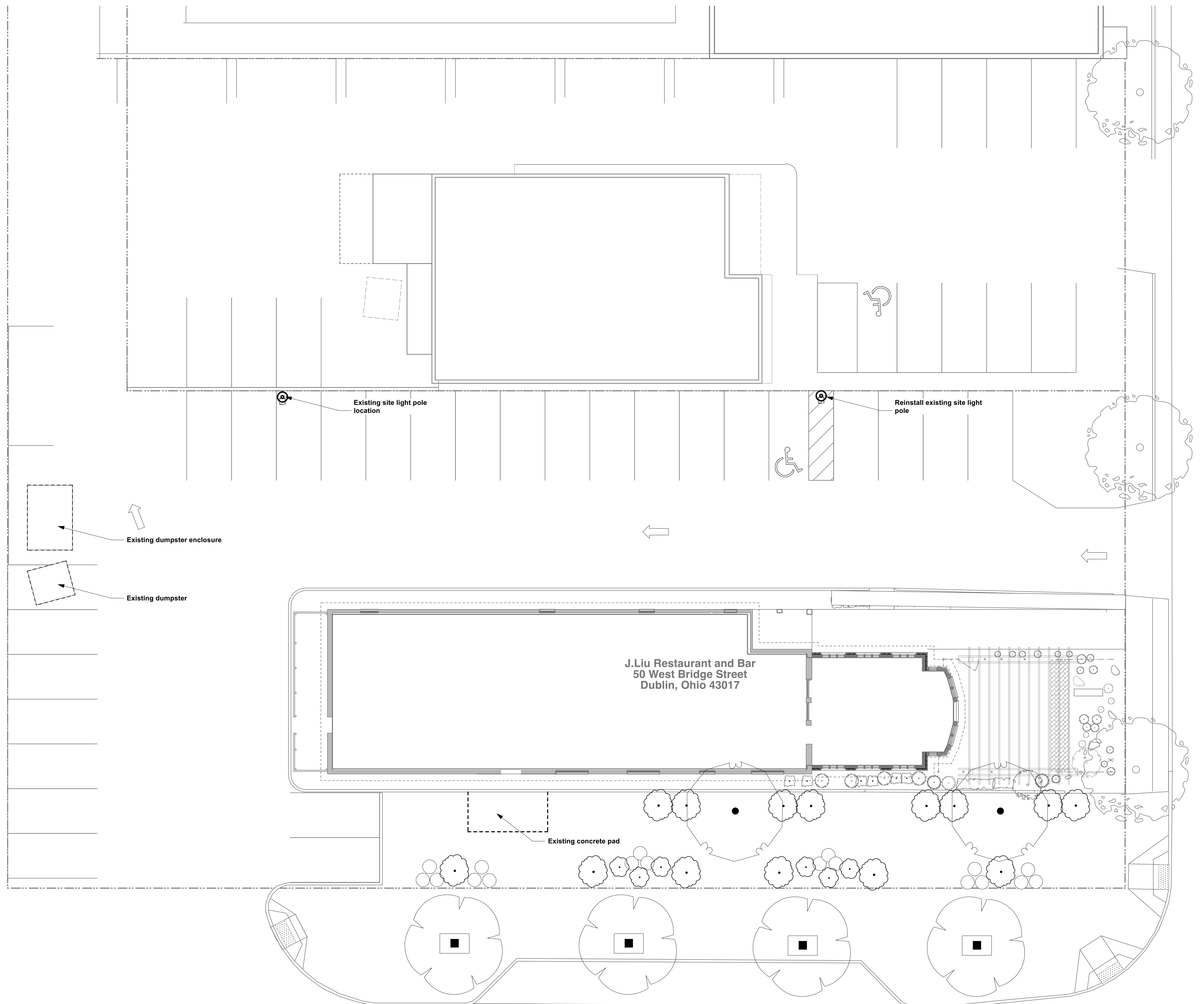


New Storage Location



Existing Light pole Location

Note:
Existing dumpster enclosure currently occupies 2 parking spaces.



FRANKLIN STREET EXTENSION

BRIDGE STREET (ST. RT. 161)

Symbol Legend	
	Parking light pole

1 Existing Site Plan
Scale: 1" = 10'-0"

Project Title

Owner

Jason Liu
10279 Wellington
Blv., Powell, Ohio
43065

Architect

Bass Studio Architects
36 King Avenue,
Columbus, OH, 43201
Tel: (614) 294 4893

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Date	06/03/24	Reviewed By	
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Project ID

Sheet Title

Existing Conditions
Site Plan

Sheet No.

A1.0

Project Title

Owner
Jason Liu
10279 Wellington
Blv., Powell, Ohio
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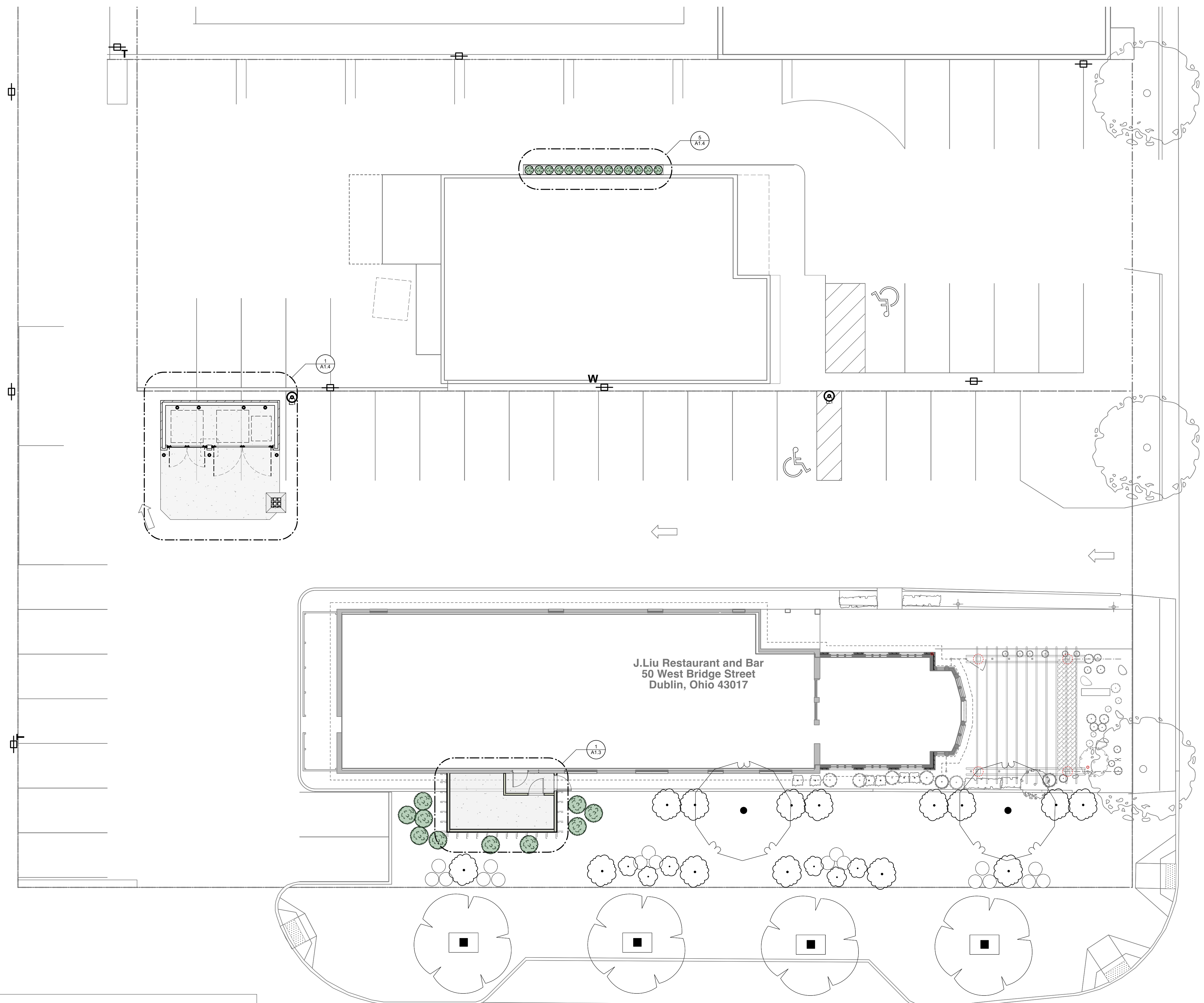
Project ID

Sheet Title

Site Plan

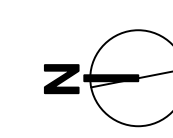
Sheet No.

A1.1



Symbol Legend	
	1' - 0" x 1' - 6" x .080 aluminum parking sign and tow away sign— bolt to steel tube with cadmium plated bolts, nuts, and washers.
	1' - 0" x 1' - 6" x .080 aluminum parking sign bolted to wall.
	1' - 0" x 1' - 6" x .080 aluminum parking sign — bolt to steel tube with cadmium plated bolts, nuts, and washers.
	Existing Parking light pole reinstall

1 Site Plan
Scale: 1" = 10'-0"

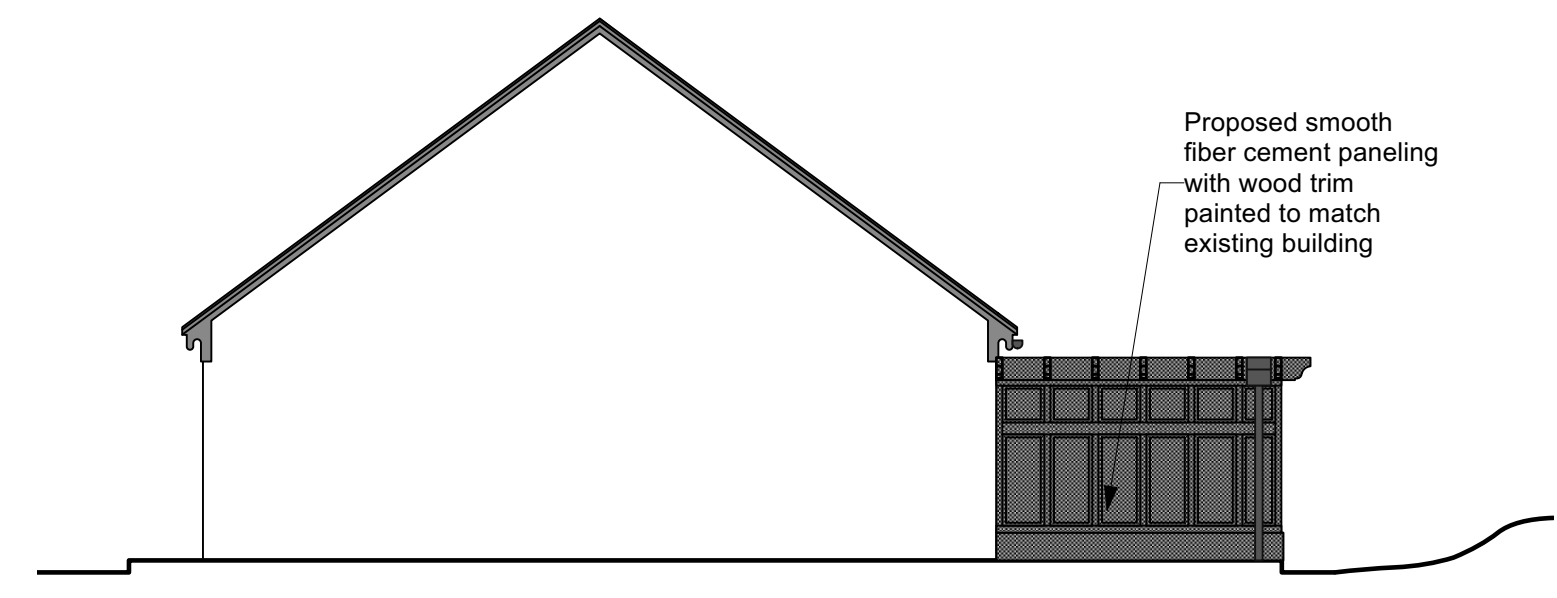


BRIDGE STREET (ST. RT. 161)

FRANKLIN STREET EXTENSION



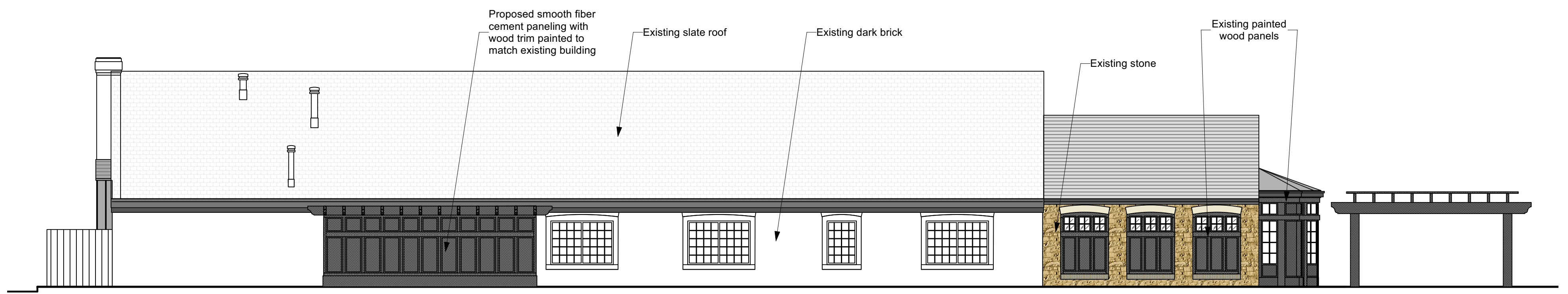
Brick for Dumpster Enclosure





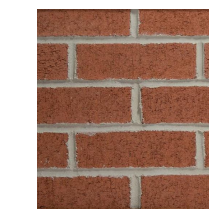

2 North Elevation
Scale: 1/8" = 1'-0"



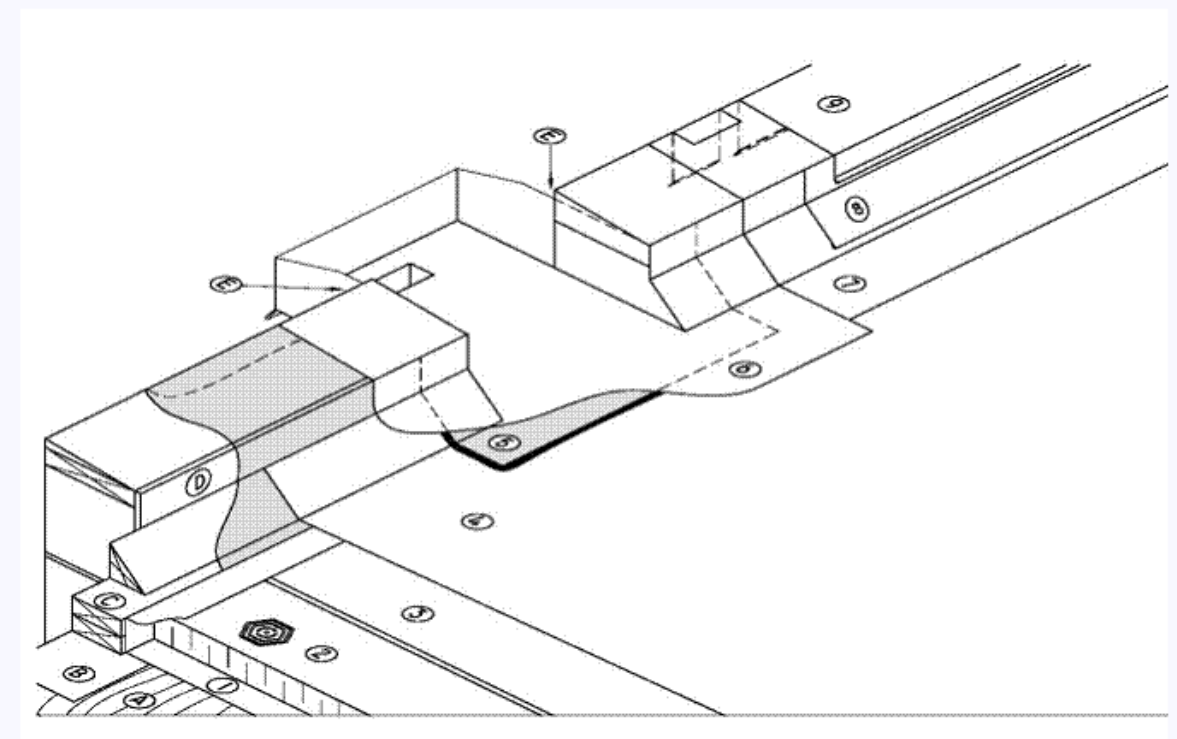
1 South Elevation
Scale: 1/8" = 1'-0"



3 West Elevation
Scale: 1/8" = 1'-0"

Materials			
			
Paint MFR: Sherwin Williams Color: SW 6991 Black Magic	EPDM Membrane MFR: Carlisle Color: Black	Brick Veneer MFR: Continental Brick Company Color: 416 Matte Red	Fiber Cement Smooth Panel MFR: James Hardie Color: Primed Painted SW6991

SBS Details

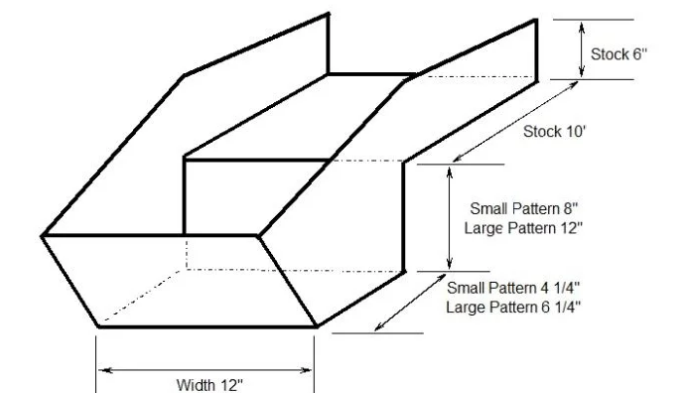
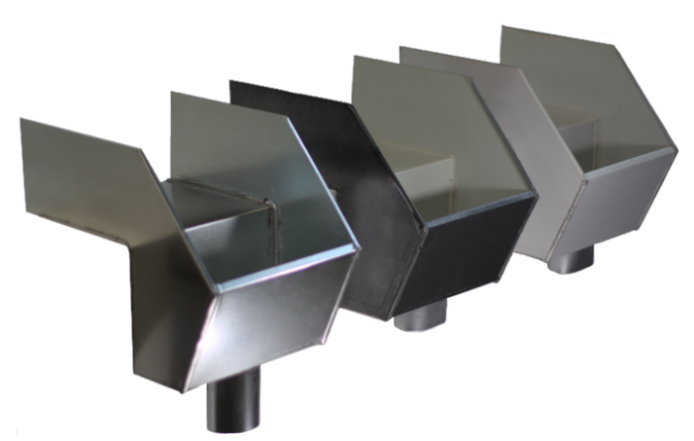


WORK INCLUDED

- 1) Air or Vapour Control Layers**
If required by design authority.
- 2) Insulation**
Mechanically fastened. See available insulation products in the **Accepted Materials** Division of this Manual.
- 3) Insulation Overlay**
Where required.
- 4) Primary Membrane and Membrane Protection**
- 5) Metal Scupper with Hopper**
The outside face of scupper to be 37.7mm (1 1/2") lower than the box height with a 12.7mm (1/2") drip edge. Installed in a thin bed of compatible mastic. Interface between outside wall and scupper should be caulked with appropriate sealant. Installed when wall finish is complete prior to completion of roofing or sheet metal (e.g.: re-roofing).
- 6) Scupper Membrane Flashing**
- 7) Membrane Flashing**
- 8) Base Metal Flashing**
Mechanically fastened. Optional on flexible membrane systems. Required on assemblies using gravel ballast filter mats.
- 9) Metal Cap Flashing**
Fasten with continuous concealed clip-type fasteners or cladding screws evenly spaced between seams. Flashing 8 and 9 may be one piece.

RELATED WORK BY OTHERS


- (A) Acceptable Supporting Deck Structure**
- (B) Air / Vapour Seal**
- (C) Wood Blocking**
- (D) Acceptable Wall Surface - Plywood**
Conform to the requirements for Walls in 2.6.2 Materials.
- (E) Wall Finish**
Interface between outside wall and scupper to be caulked with appropriate sealant. Installed by trade responsible for outside wall finish if roofing and metal flashing has been completed prior to exterior wall finish.



Lakefront Sheet Metal Scupper 12"

This drainage system looks like an opening in the parapet or wall of your flat commercial roof. Some scuppers have a simple spout that pours water down the side of your building, while others are connected to downspouts that send the water directly to the ground level. Optimized to drain rainwater from the roof and prevent pooling, Our 12" scupper comes in a few varieties: Large Profile, Small Profile, Galvanized, Dark Bronze, Matte Black, and Regal White. The Galvanized Small Profile Scupper features a 4" Drop Outlet, while the Large Profile has a 5" Drop Outlet. All the colored Kynar Scuppers have a 3"x4" drop outlet.

For other options, see "Related Products" below.



ATAS International, Inc.
Sustainable Building Envelope Technology

SPECIFICATION DATA SHEET

1. PRODUCT NAME
ATAS Box Downspout

2. MANUFACTURER
ATAS INTERNATIONAL, INC.
Website: www.atas.com
Email: info@atas.com
Corporate Headquarters
Allentown, PA 18105
Phone: (800) 468-1441

3. PRODUCT DESCRIPTION
Base Use:
ATAS Box Downspout is used for both new construction and re-roofing. It channels water downward from gutter or collector outlets.

Composition and Materials:
Standard Offerings: ATAS Box Downspout is made formed from 0.140, 0.095, 0.063 aluminum, and 24.22 gauge metallic coated steel and has 1" aluminum straps of the same material.
Special Offerings: 16.22 oz. copper, 24.22 gauge stainless steel, and 1.0 mm zinc.

Size and Profile:
ATAS Box Downspouts are square or rectangular. Standard sizes are 5" x 5" face and 5" x 5" side. Custom sizes are available. Standard straight sections are 12' 0" long.

Color and Finish:
Offered in 70% PVDF finish, as well as Clear Satin or Dark Bronze anodized aluminum, choose from over 40 stock colors or custom colors. Request a color chart or samples for additional details.

4. TECHNICAL DATA
70% PVDF based finishes tested by paint supplier for:
• Dry Film Thickness: ASTM D 1005, ASTM D 1420, ASTM D 4138 or ASTM D 5796
• Spectral Gloss: ASTM D 523
• Pencil Hardness: ASTM D 3363
• T-Bend Hardness: ASTM D 3363
• Mandrel Bend Flexibility: ASTM D 522
• Impact Resistance: ASTM D 2794
• Adhesion: ASTM D 2059
• Water Immersion Resistance: ASTM D 870
• Abrasion Resistance: ASTM D 968
• Acid Resistance: ASTM D 1308
• Acid Rain Resistance (Intermittent): ASTM G 87 or DM 5001 B
• Salt Spray: ASTM B 117

5. INSTALLATION
ATAS Box Downspout is a designed to channel water downward. Installation instructions are available through ATAS. Visit www.atas.com for more information.

6. AVAILABILITY AND COST
Availability:
ATAS Box Downspout is readily available through ATAS product distributors. A complete line of related components and accessories is available to complete the water control system. Flat sheet and/or roll stock in matching color is also available for fabrication of other items by the installing contractor.

7. WARRANTY
Products coated with a fluoropolymer, 70% PVDF finish carry a limited warranty against chalking and fading.

8. MAINTENANCE
ATAS Box Downspout materials require minimal maintenance. Surface residue is easily removed by conventional cleaning methods. For painted products, minor scratches should be touched up with matching paint, available from the manufacturer. ATAS Box Downspouts should be inspected regularly to ensure fasteners are secure, and splices remain properly sealed.

9. TECHNICAL SERVICES
Complete technical information and literature are available at www.atas.com. ATAS will assist with design ideas and shop drawings.

10. FILING SYSTEM
Additional product information is available from the manufacturer upon request.

ATAS International, Inc. has the ability to customize Partner Edge Systems on specific projects. Please contact the factory for these options for your project.

Elevation Notes

- Refer to the Project General Notes and project manual/specifications.
- Review this sheet only in conjunction with the entire set of contract documents and project manual/specifications sheet. The documents are interdependent and are not to be separated or read independently.
- All work shall conform to the requirements of the local governing building authorities.
- The general contractor shall visit the site and review the documents to become familiar with the work.
- Commencement of the work shall constitute acceptance of the site conditions and the contract documents.
- The elevations indicate locations and types of building envelope systems - Each system shall be a complete installation with all accessories, substrates, flashings, and terminations - with details as required to meet manufacturers requirements for warranty certification.
- Provide all work, materials and labor for a complete project. Any material or labor neither shown on the drawings or specified but which is obviously necessary to complete work of a similar scope or to complete noted assemblies shall be provided at no additional cost to the Owner or Architect.
- All dimensions are to face of sheathing or structure unless noted otherwise.
- All Angles are 90 unless noted otherwise.

Project Title

Owner: Jason Liu
10279 Wellington Blv., Powell, Ohio 43065

Architect: Bass Studio Architects
36 King Avenue, Columbus, OH, 43201
Tel: (614) 294 4893

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Date	Reviewed By
06/03/24	

Project ID

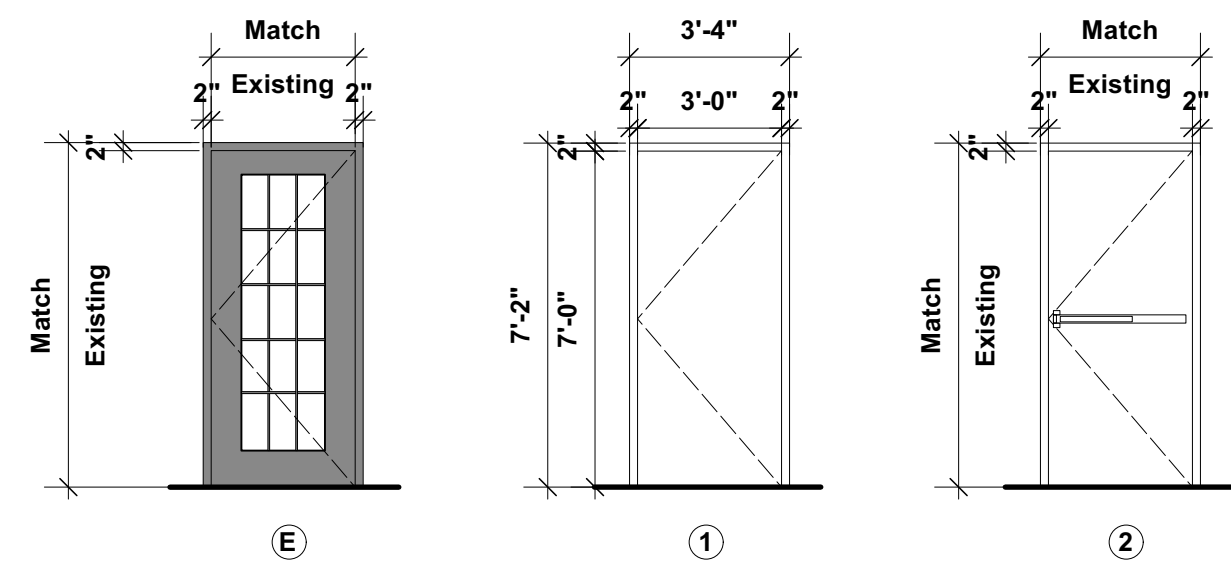
Sheet Title

Overall Elevations

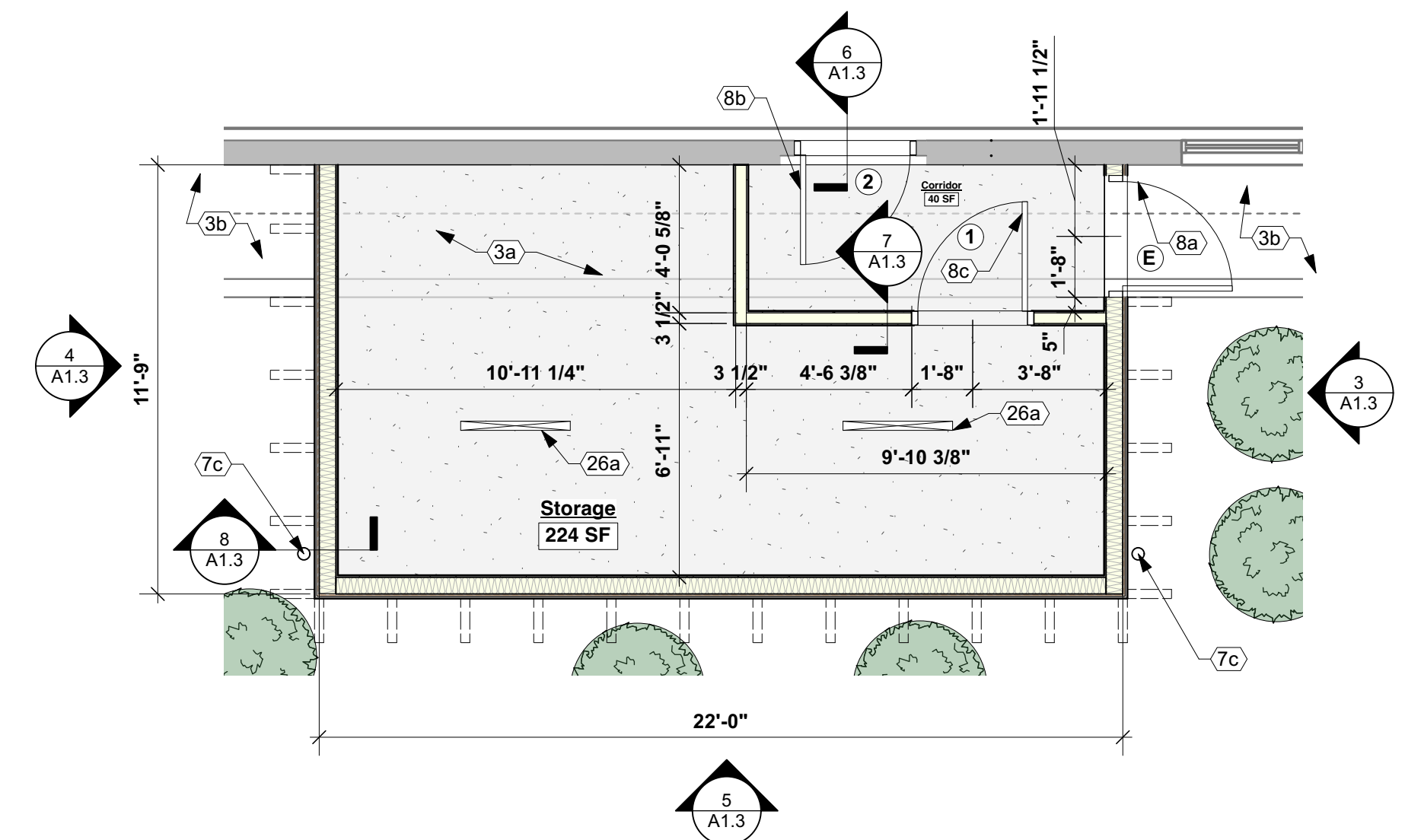
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A1.2

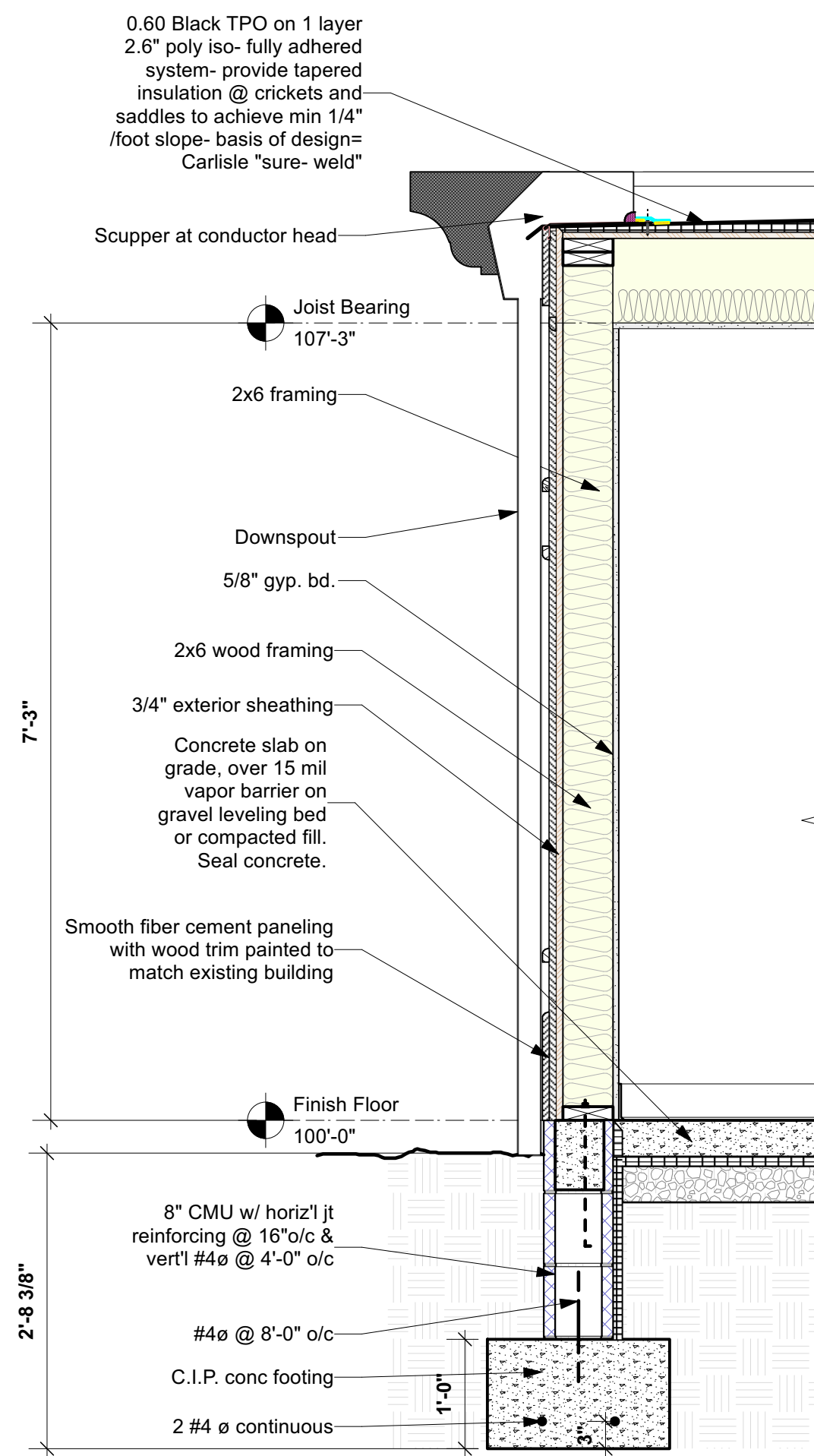
BLACK
Reference Number: 02
SRI: -2
TSR: 0.05



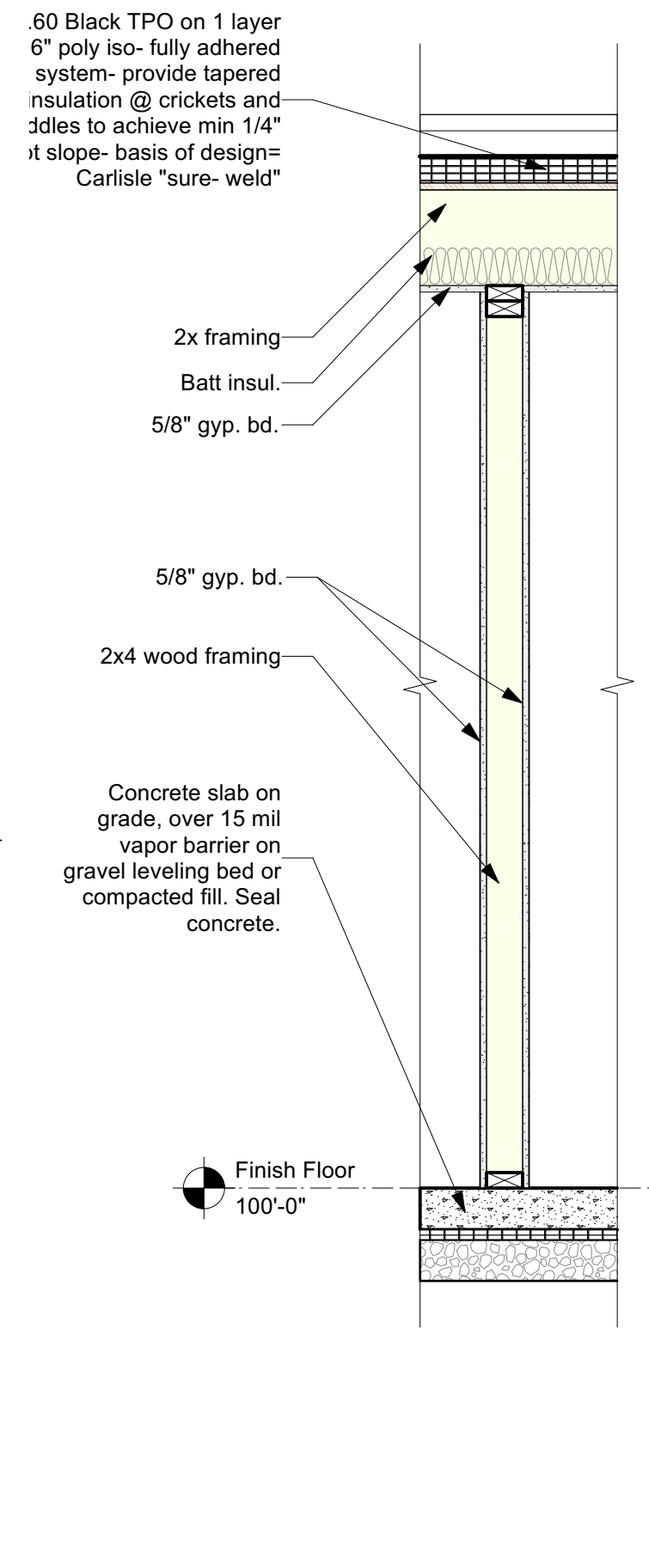
9 Door Elevations
Scale: 1/4" = 1'-0"



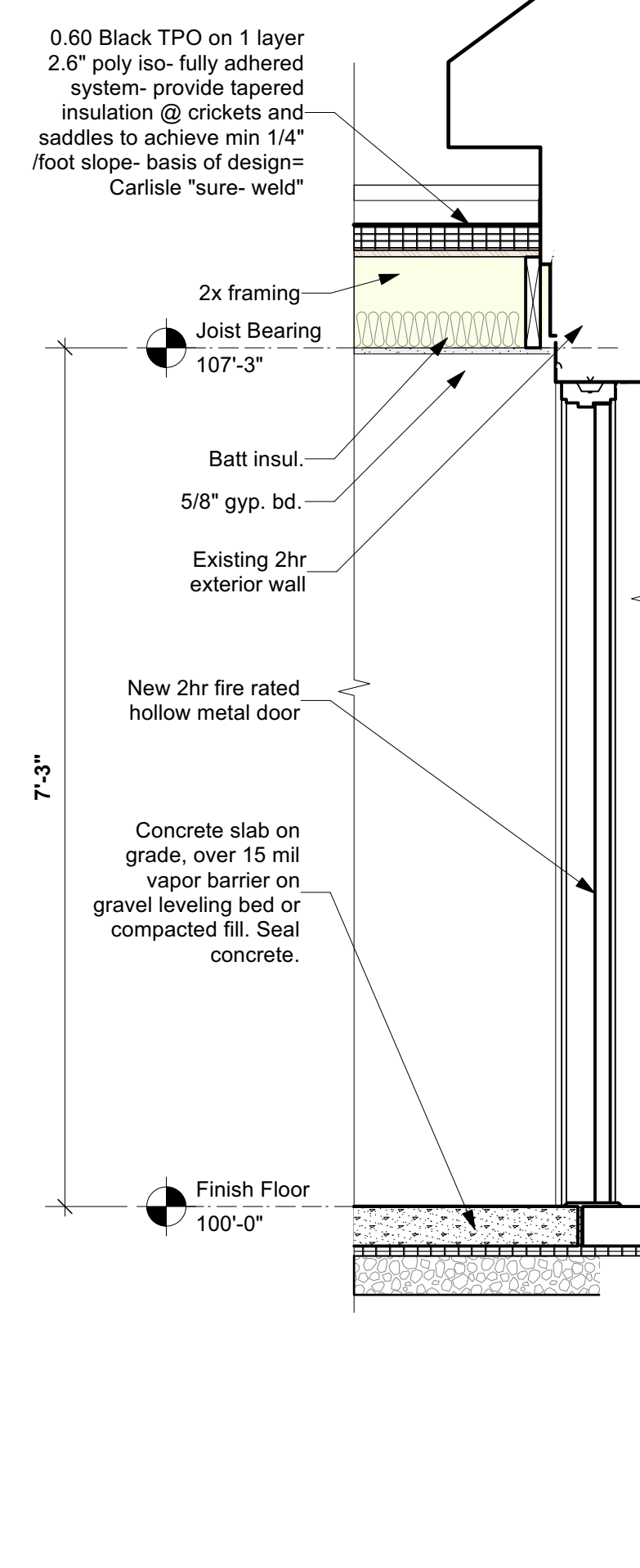
1 Enlarged Floor Plan
Scale: 1/4" = 1'-0"



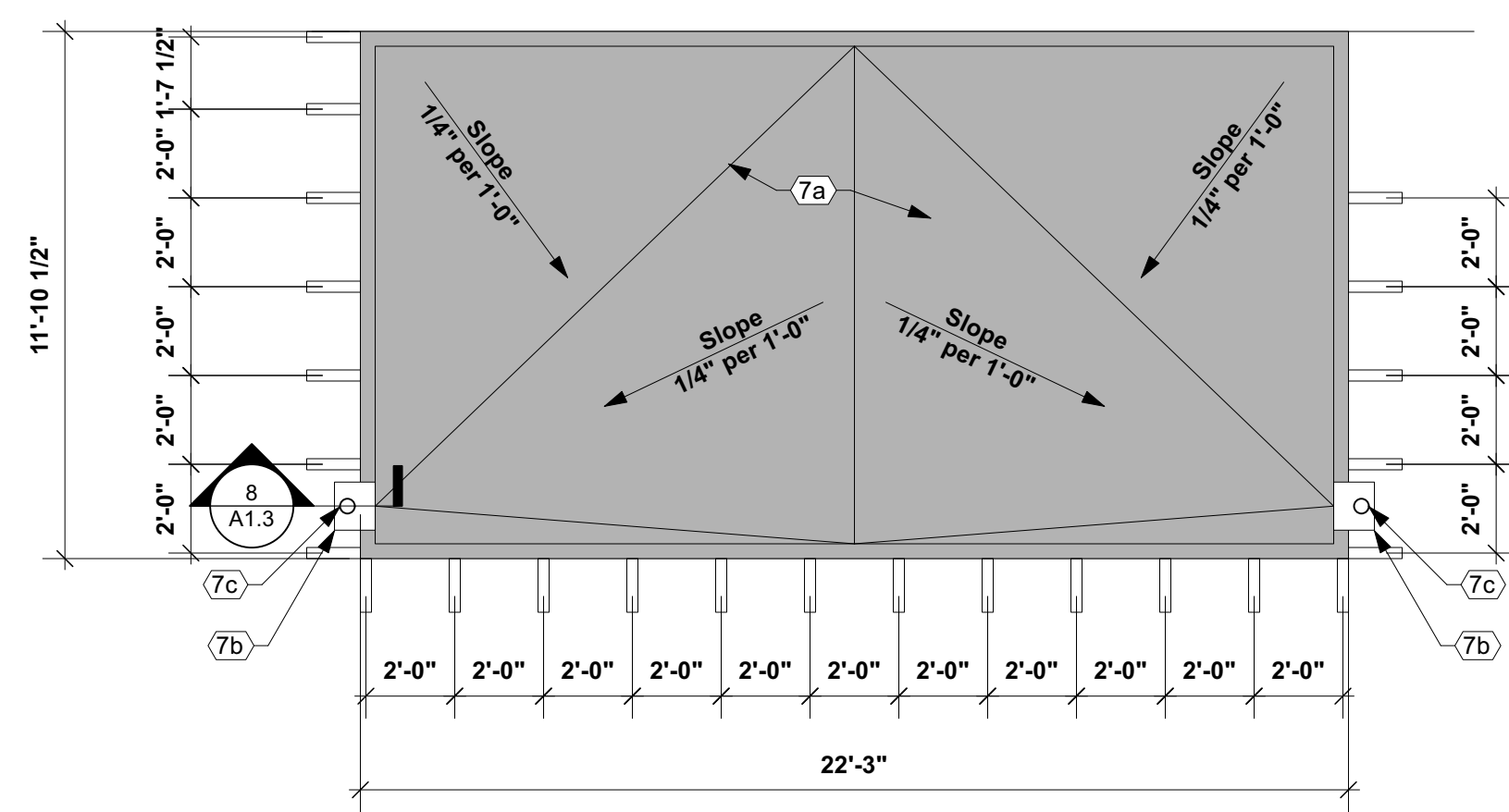
8 Wall Section
Scale: 3/4" = 1'-0"



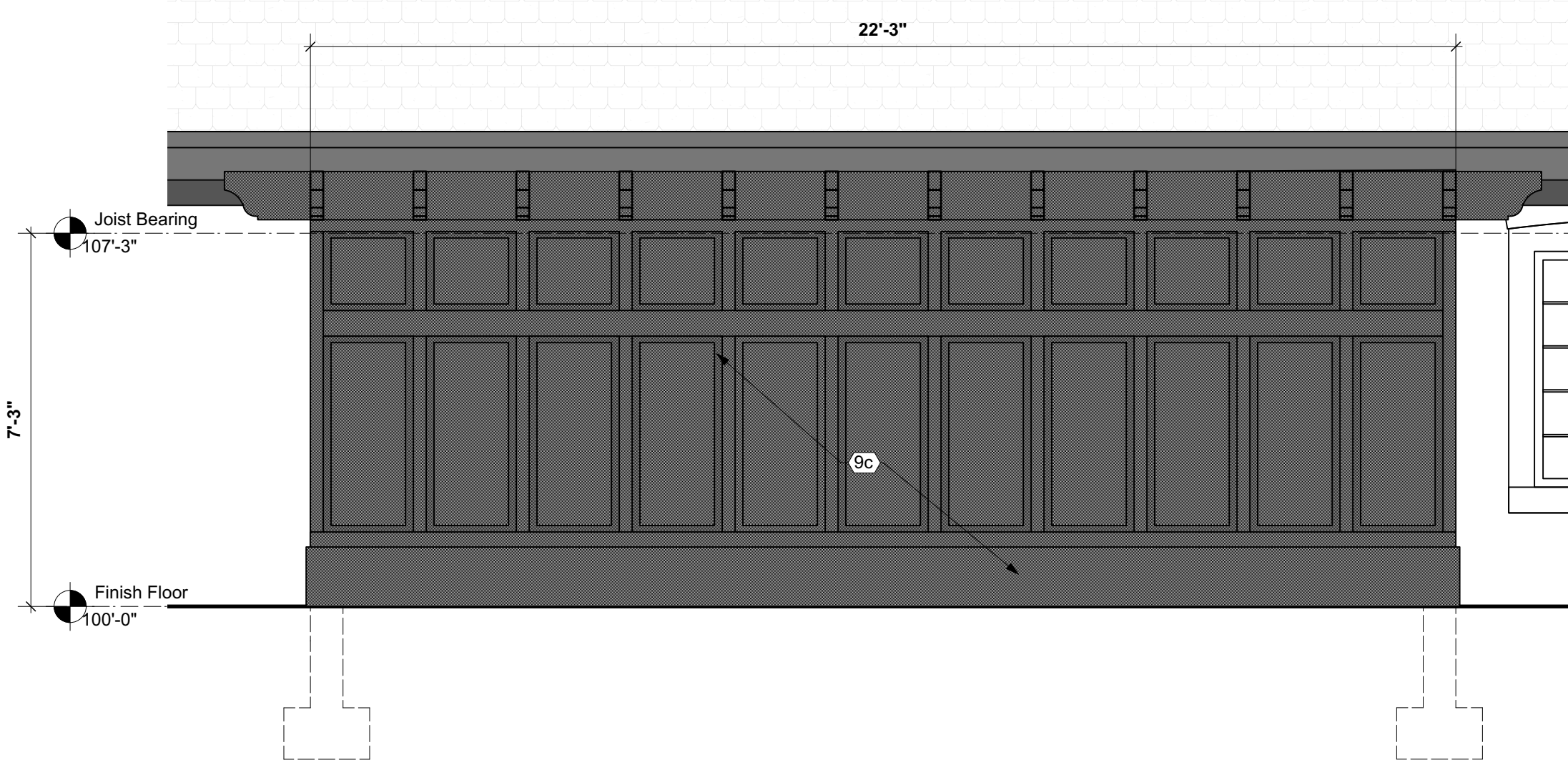
7 Wall Section
Scale: 3/4" = 1'-0"



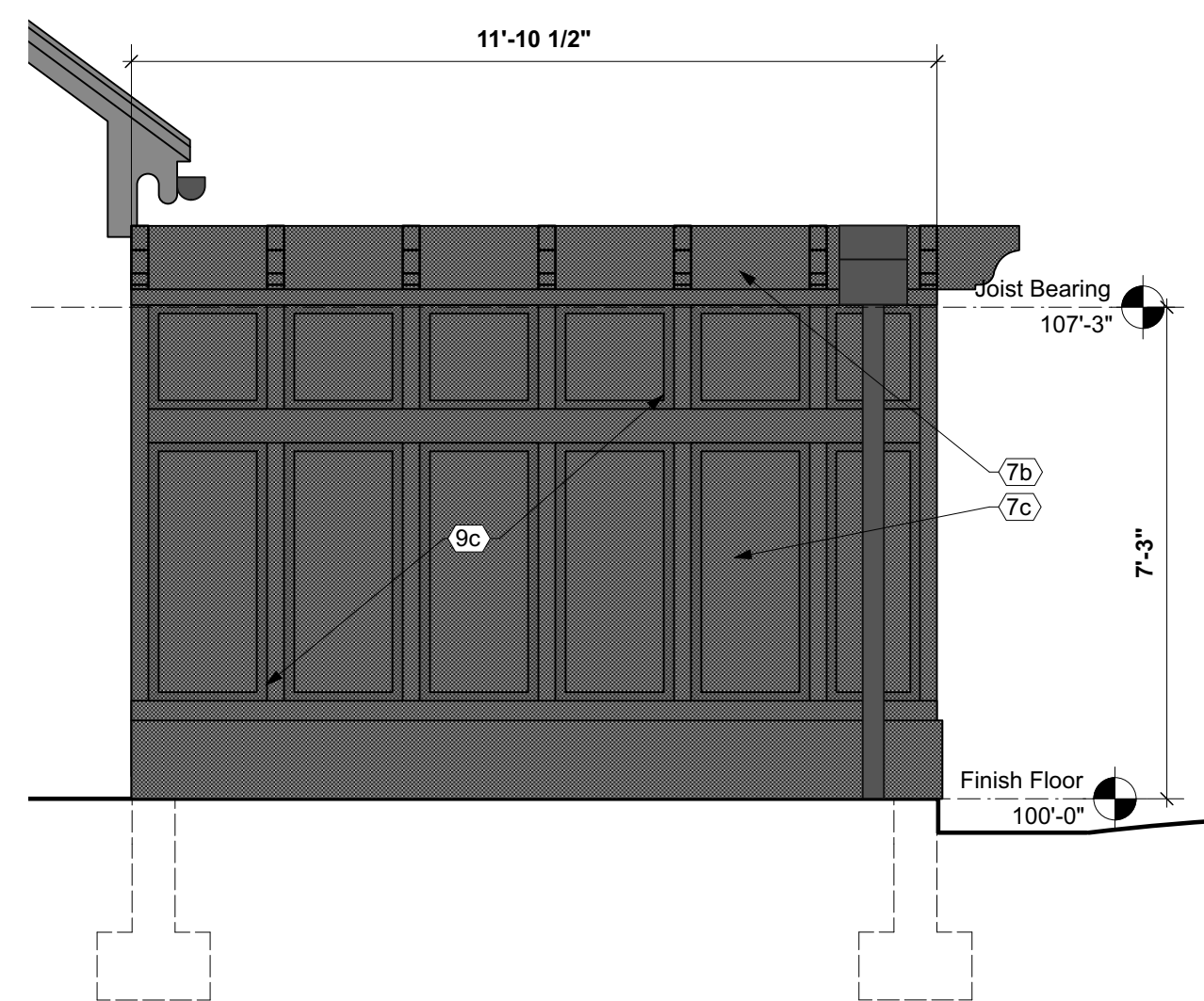
6 Wall Section
Scale: 3/4" = 1'-0"



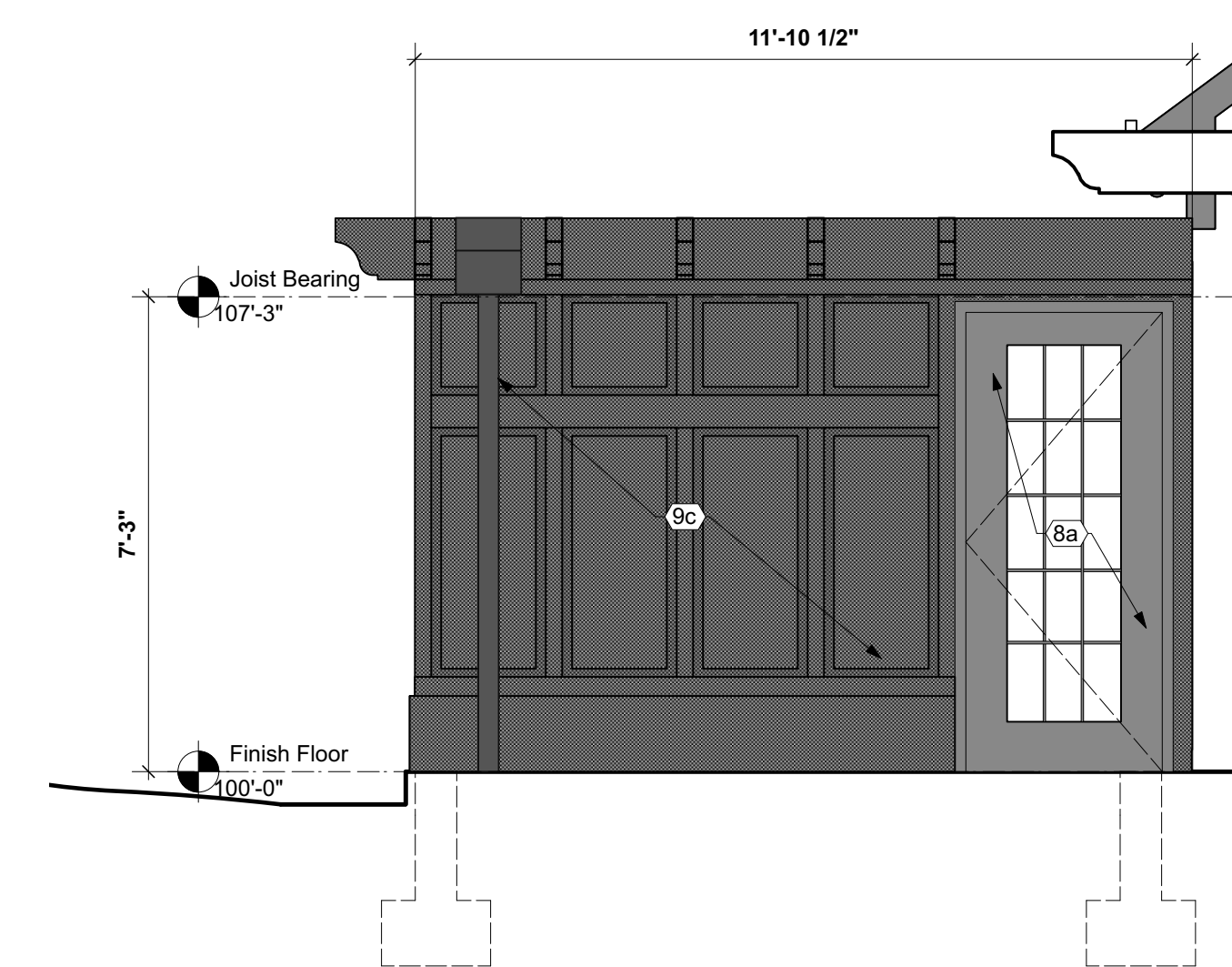
2 Enlarged Roof Plan
Scale: 1/4" = 1'-0"



5 West Elevation
Scale: 3/8" = 1'-0"



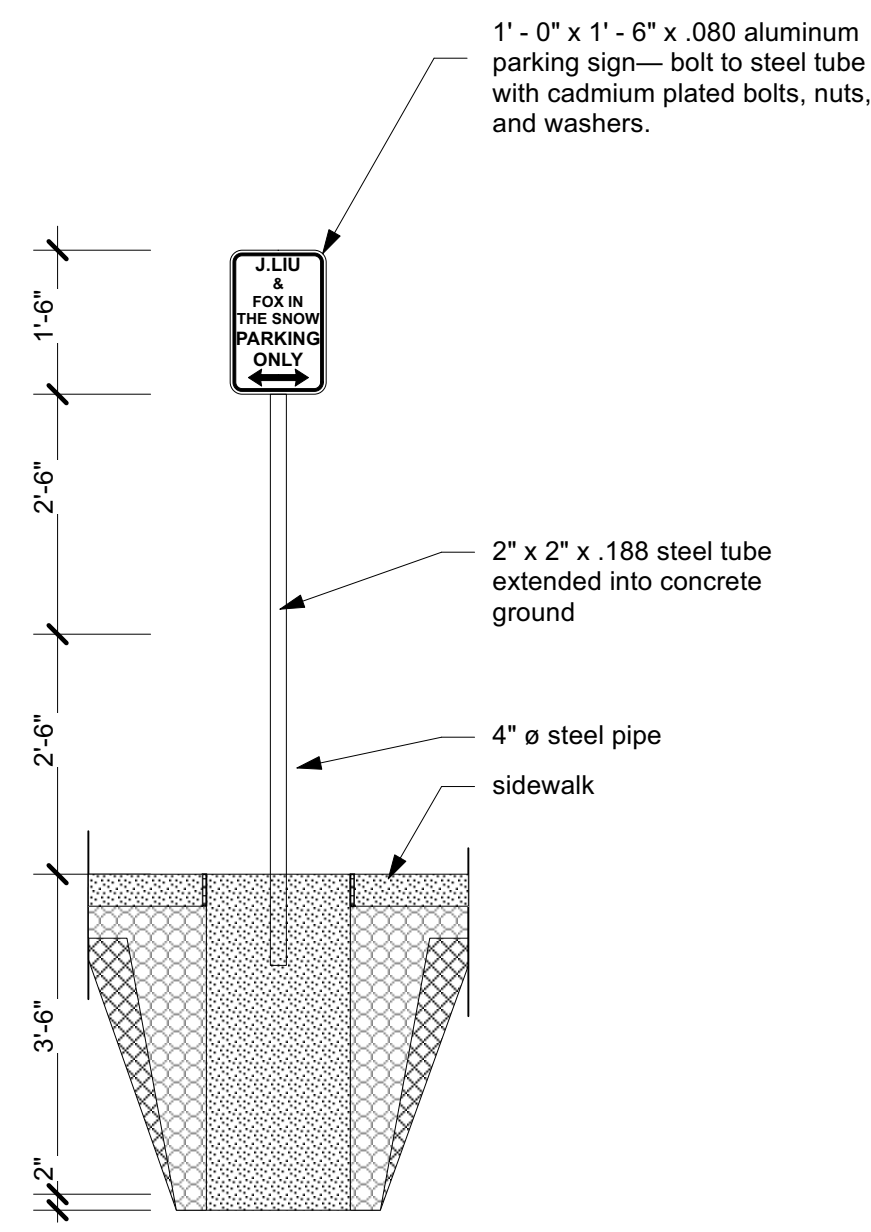
4 North Elevation
Scale: 3/8" = 1'-0"



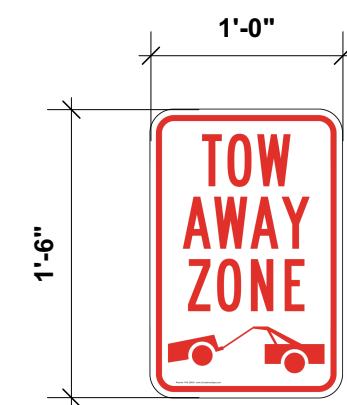
3 South Elevation
Scale: 3/8" = 1'-0"

Coded Notes

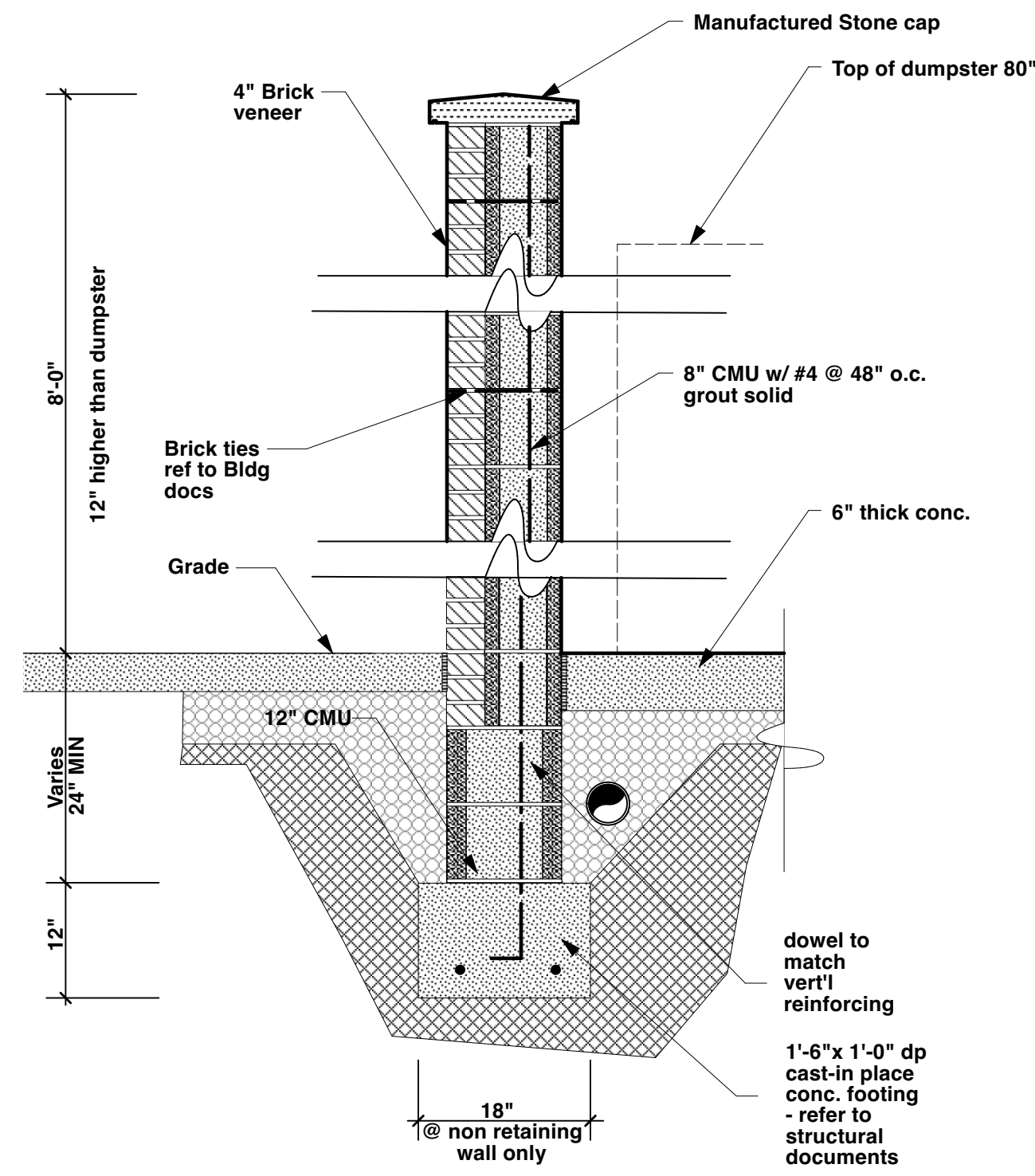
- 2a Sawcut and remove existing slab/pavement to extent needed. Prepare to receive footing per drawings.
- 2b Demolish and remove existing dumpster and dumpster enclosure.
- 3a Concrete slab on grade sealed, over 15 mil vapor barrier on gravel leveling bed or compacted fill.
- 3b Existing concrete sidewalk do not disturb.
- 7a 0.60 Black TPO on 1 layer 2.6" poly iso- fully adhered system- provide tapered insulation @ crickets and saddles to achieve min 1/4" /foot slope- basis of design= Carlisle "sure-weld".
- 7b Metal conductor head/ scupper box.
- 7c Metal downspout with decorative straps @ 4'-0" O.C. tie into underground storm system. Finish to match existing.
- 8a Relocate existing wood door to location shown. Provide lockset, closer, 1 1/2" PR Butts, OH stop, sweep, weather stripping and threshold. Paint door and frame to match wood panels (Black Magic).
- 8b New 3'-0"x7'-0" hol. mtl. door w/ hol. metal frame w/ lockset, closer, 1 1/2" PR Butts, OH stop, sweep, weather stripping and threshold. Paint door and frame to match wood panels.
- 8c New 3'-0"x7'-0" wood door w/ hol. metal frame w/ closer, 1 1/2" PR Butts, OH stop, and passage set. Stain to match existing interior doors.
- 9a Painted gyp bd over wood frame wall.
- 9b not used
- 9c Proposed smooth fiber cement paneling with wood trim painted to match existing building.
- 9d 4" vinyl cove base. Johnsonite or equal.
- 26a New led light fixture above.



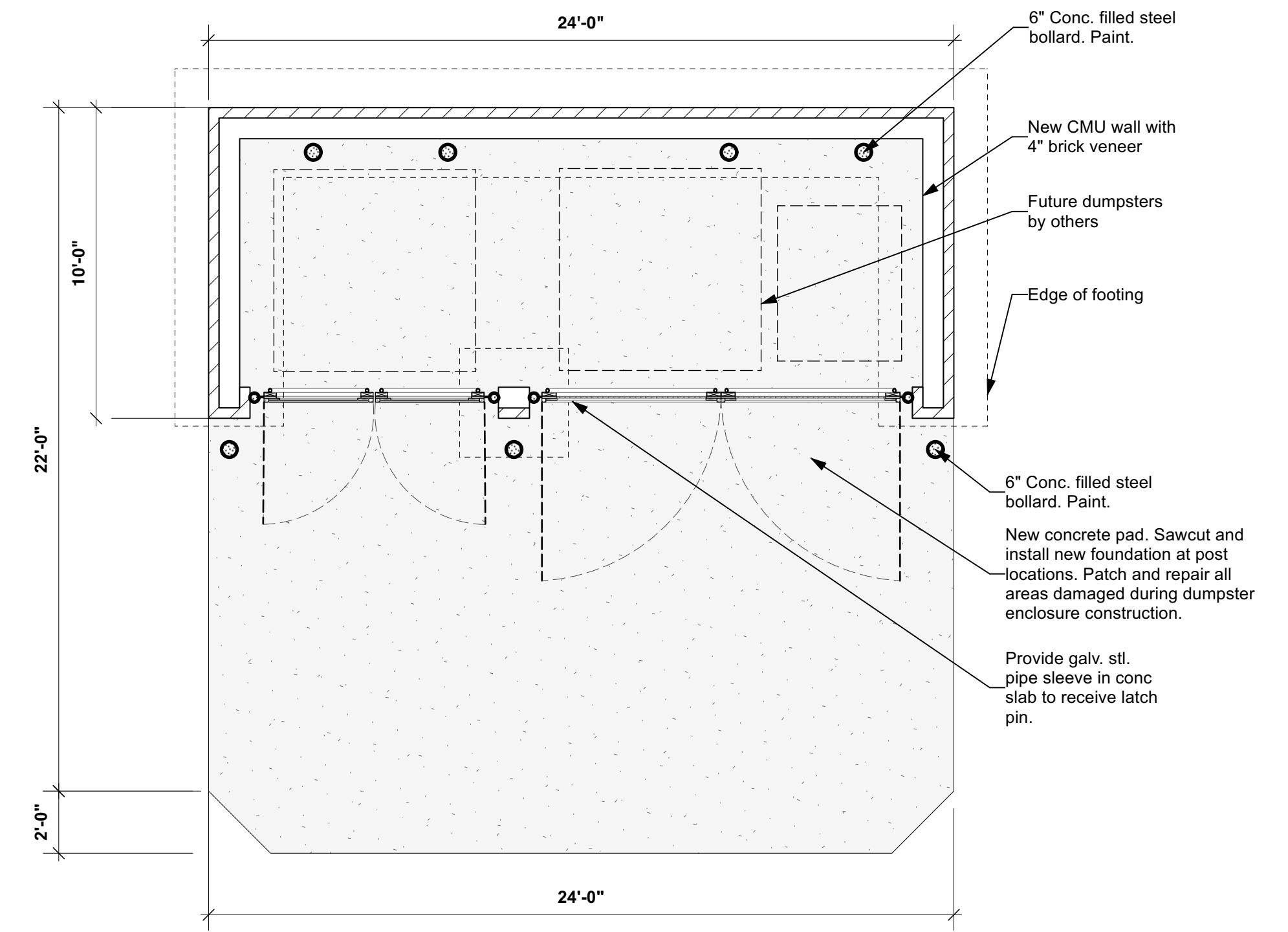
8 Detail Parking Sign
Scale: 1/2" = 1'-0"



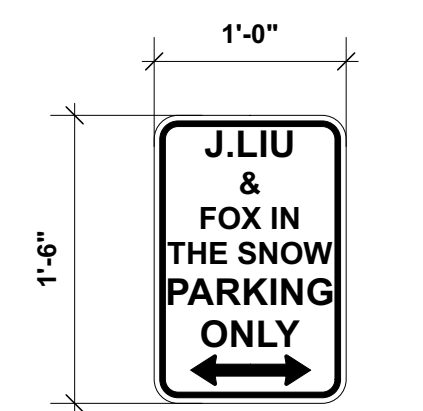
7 Tow Away Zone Sign
Scale: 1" = 1'-0"



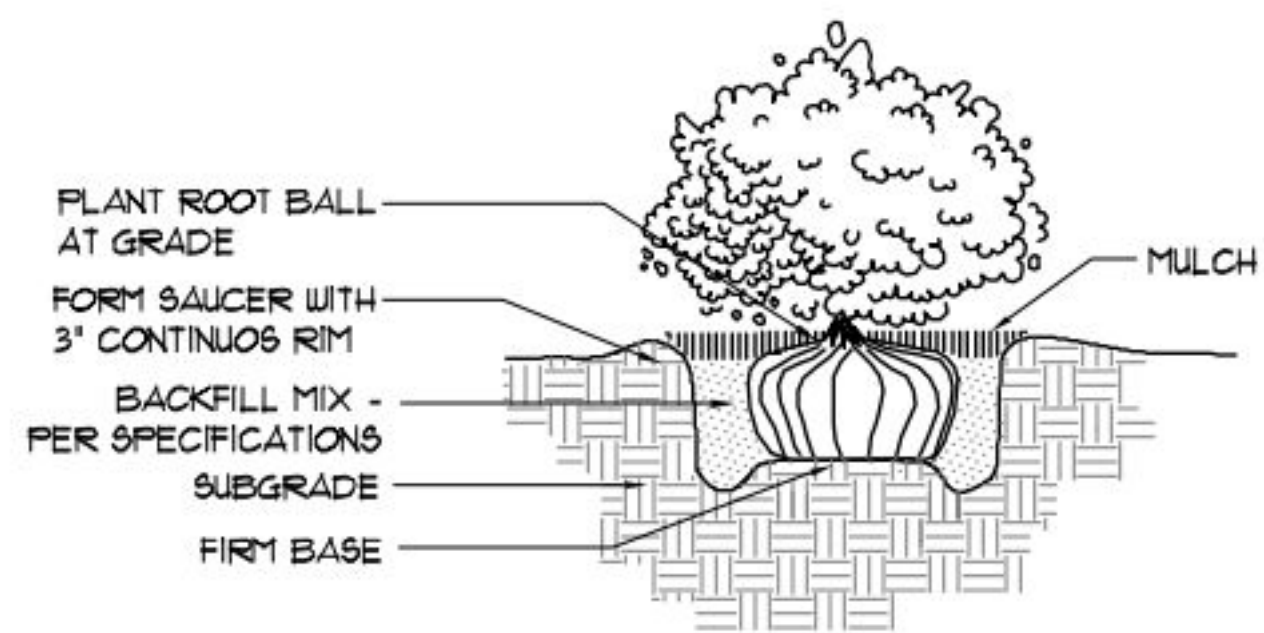
4 Enclosure Section
Scale: 3/4" = 1'-0"



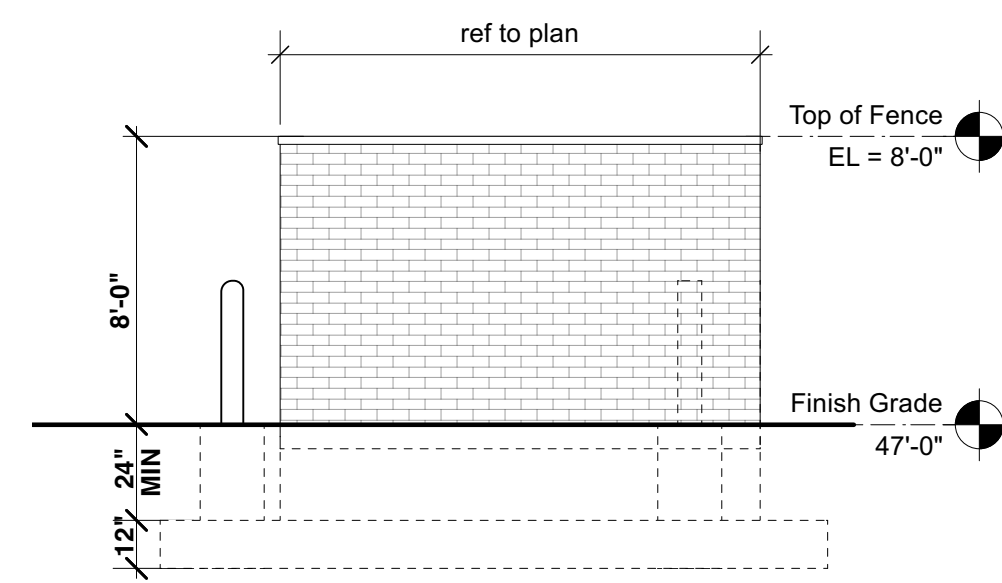
1 Enlarged Plan
Scale: 1/4" = 1'-0"



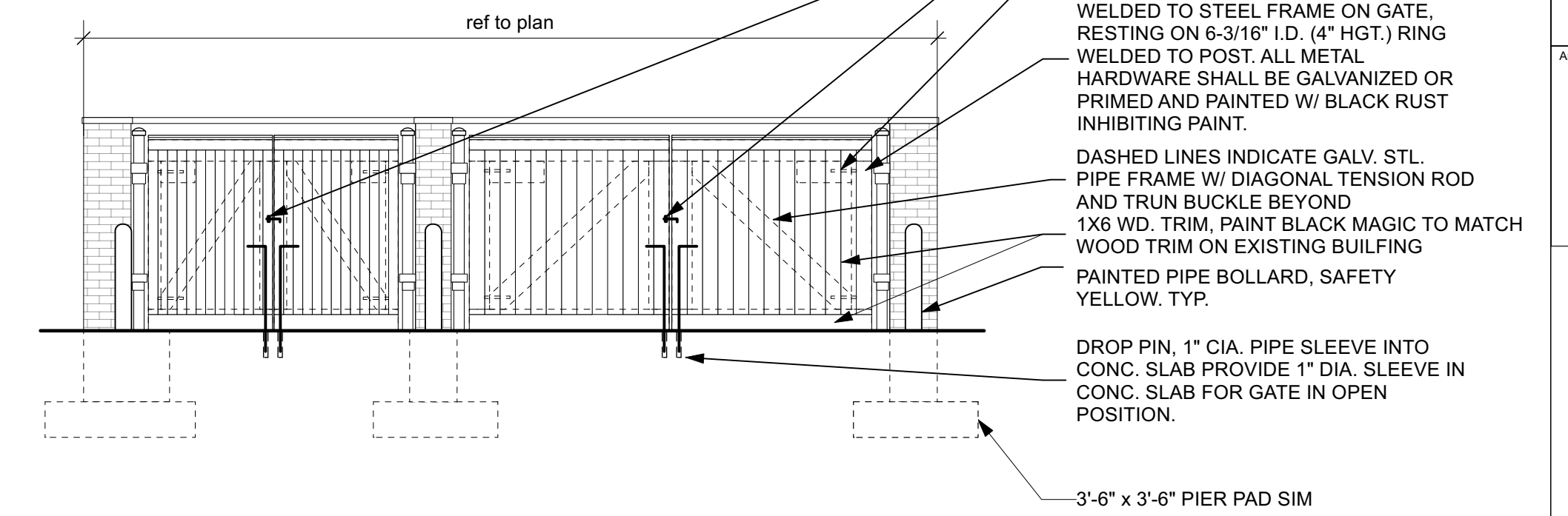
9 Parking Sign
Scale: 1" = 1'-0"



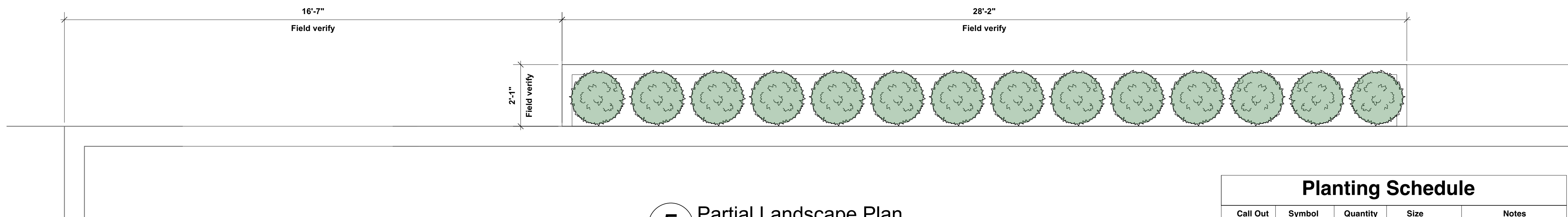
6 Typical Planting Detail
Scale: Scale: NTS



3 Elevation
Scale: 1/4" = 1'-0"



2 Elevation
Scale: 1/4" = 1'-0"



5 Partial Landscape Plan
Scale: 1/2" = 1'-0"

Planting Schedule				
Call Out	Symbol	Quantity	Size	Notes
PL-1		14	5 gallon	Boxwood Velvet Green

Owner: Jason Liu
10279 Wellington
Blv., Powell, Ohio
43065

Architect: Bass Studio Architects
36 King Avenue,
Columbus, OH, 43201
Tel: (614) 294 4893

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Date: 06/03/24 Reviewed By: _____

Project ID: _____

Sheet Title: Dumpster Enclosure and Landscape Drawings

Sheet No. **A1.4**

APPROVED VENDOR Adjustable Gate Spring: Adj Gate Spring, Steel, 4 Mounting Holes, Hardware Included

Item 4PB52 Mfr. Model 4PB52



Roll over image to zoom.

[Product Image Feedback](#)

Compare

Product Details

Catalog Page N/A

Brand **APPROVED VENDOR**

Overall Length **14 in**

Manufacturer Part Number **4PB52**

Material **Steel**

Product Type **Adjustable Gate Spring**

Finish **Coated**

Number of Mounting Holes **4**

UNSPSC **31161903**

Hardware Included **Yes**

Country of Origin **China (subject to change)**

Color **Black**

3 Gate Spring
Scale: Scale: NTS

2" x 1" x 3/16" Channel - ASTM A36 (2.32 lbs/ft)

- Standard Deduction - 1 5/8" per Quick Attach Hinge
- Standard 4", 6 5/8", or 8 5/8" Hinge Rings
- All Hinge Rings are 4" Tall, 1/4" Thick
- Installed with 5/8"-11 x 3 1/2" Carriage Bolts, 5/8" Lock Washer & 5/8" Grade 5 Nuts

General Notes

No.	Revision	Date

Project Name and Address

Office:

DWG#

6' Quick Attach Hinge

7' Quick Attach Hinge

8' Quick Attach Hinge

Key Hole Dimensions

Date 2/13/2019

1 Gate Latch
Scale: Scale: NTS

gatehardwarecenter.com
sales@gatehardwarecenter.com
(888) 378-1039

D&D Stainless Steel Heavy-Duty Self-Latching Padlockable Gravity Latch For Wood Gates (Black) - 210002

The Heavy Duty gravity latch is self-latching and padlockable.
Part Number: 210002

Quantity	Price Each
1+	\$9.8338
20+	\$9.1461

\$9.8338 each

Details

D&D Stainless Steel Heavy-Duty Self-Latching Padlockable Gravity Latch For Wood Gates (Black) - 210002

The Heavy Duty gravity latch is self-latching and padlockable. Can also be released from the opposite side using wire. Our gravity latch has a superior powder coat finish & is corrosion resistant. Heavy gauge steel construction.

Weatherguard™ treated fasteners are included.

Measurements: Total Length - 7-3/4", Total Height - 2-3/4"

Name	D&D Stainless Steel Heavy-Duty Self-Latching Padlockable Gravity Latch For Wood Gates (Black) - 210002
SKU	210002
Finish	Black
Color	Black
Series	Wood Hardware
Gate Frame/Post Shape	Square-To-Square
Compatible Material	Wood
Body Material	Steel
Mounting Method	Screw-On
Manufacturer	D&D Technologies, Inc - SHUT IT GATE HARDWARE
Price	\$9.8338

Roll over image to zoom.

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Product Details

Catalog Page N/A

Brand **APPROVED VENDOR**

Throw Size **2-3/4 in**

Manufacturer Part Number **4PB59**

Bolt Length **18 in**

Product Type **Cane Bolt**

Overall Width **1/2 in**

Latch Type **Slide Latch**

Overall Height **3-3/16 in**

Bolt Head Diameter **1/2 in**

Overall Length **18 in**

Maximum Shackle Diameter **3/8 in**

Material **Steel**

Number of Mounting Holes **4**

Finish **Coated**

Hardware Included **Yes**

UNSPSC **31161606**

Color **Black**

Country of Origin **China (subject to change)**

Product Description

Gate drop rods and cane bolts slide out to release gates for opening and slide in to hold gates closed.

2 Cane Bolts
Scale: Scale: NTS



APPROVED VENDOR Cane Bolt: Cane Bolt, Slide Latch, 1/2 in Bolt Head Dia, 3/8 in Max Shackle Dia

Item 4PB59 Mfr. Model 4PB59

Owner
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REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Date 06/03/24 Reviewed By

Project ID

Sheet Title
Dumpster Enclosure Hardware Specifications

Sheet No.

4 Gate Hinges
Scale: Scale: NTS