

Franklin County Auditor's Office
Auditor
Michael Stinziano

Map Produced April 25, 2024

Planimetric Legend

Source: 2021 Aerial Photography

- Edge of Pavement
- Roadway Centerlines
- Railroad Centerlines
- Building Footprints
- Building Under Construction
- Creeks, Streams, Ditches
- Rivers & Ponds

Topographic Legend

Source: OSIP - 2019 LIDAR Collection

- Spot Elevation
- Index Contour
- Intermediate Contour

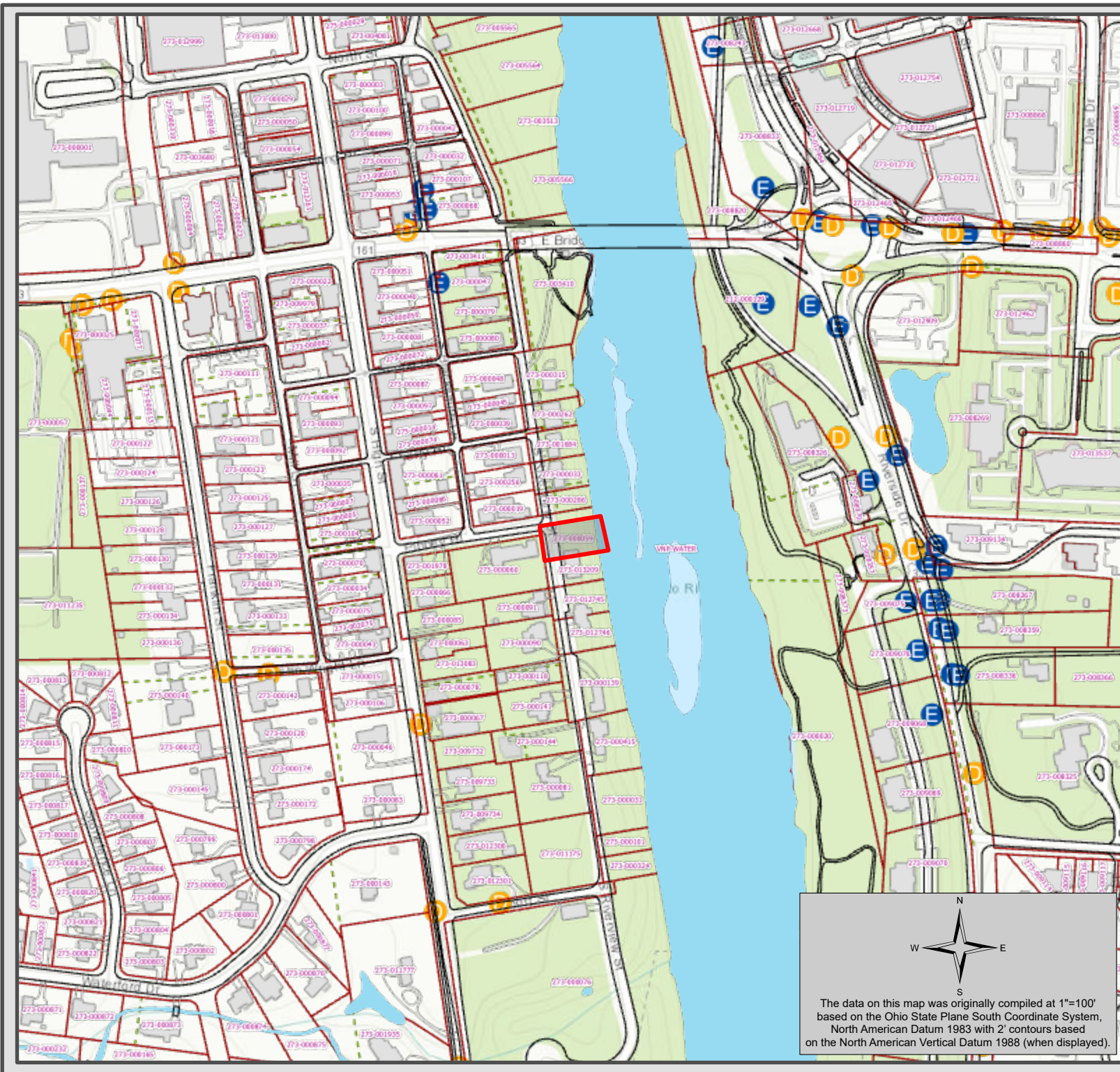
Appraisal Legend

Source: Franklin County Auditor & Engineer

- Parcel IDs
- Parcel Dimensions
- Lot Numbers
- Site Address
- Parcel Boundary
- Subdivision Boundary
- Condominium Boundary
- County Boundary
- City or Village Boundary
- Tax District Boundary
- School District Boundary
- Zip Code Boundary

The information on this web site is prepared from the real property inventory maintained by the Franklin County Auditor's Office. Users of this data are notified that the primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

For scaled maps, please visit the parcel viewer at <https://gis.franklincountyohio.gov/parcelviewer>



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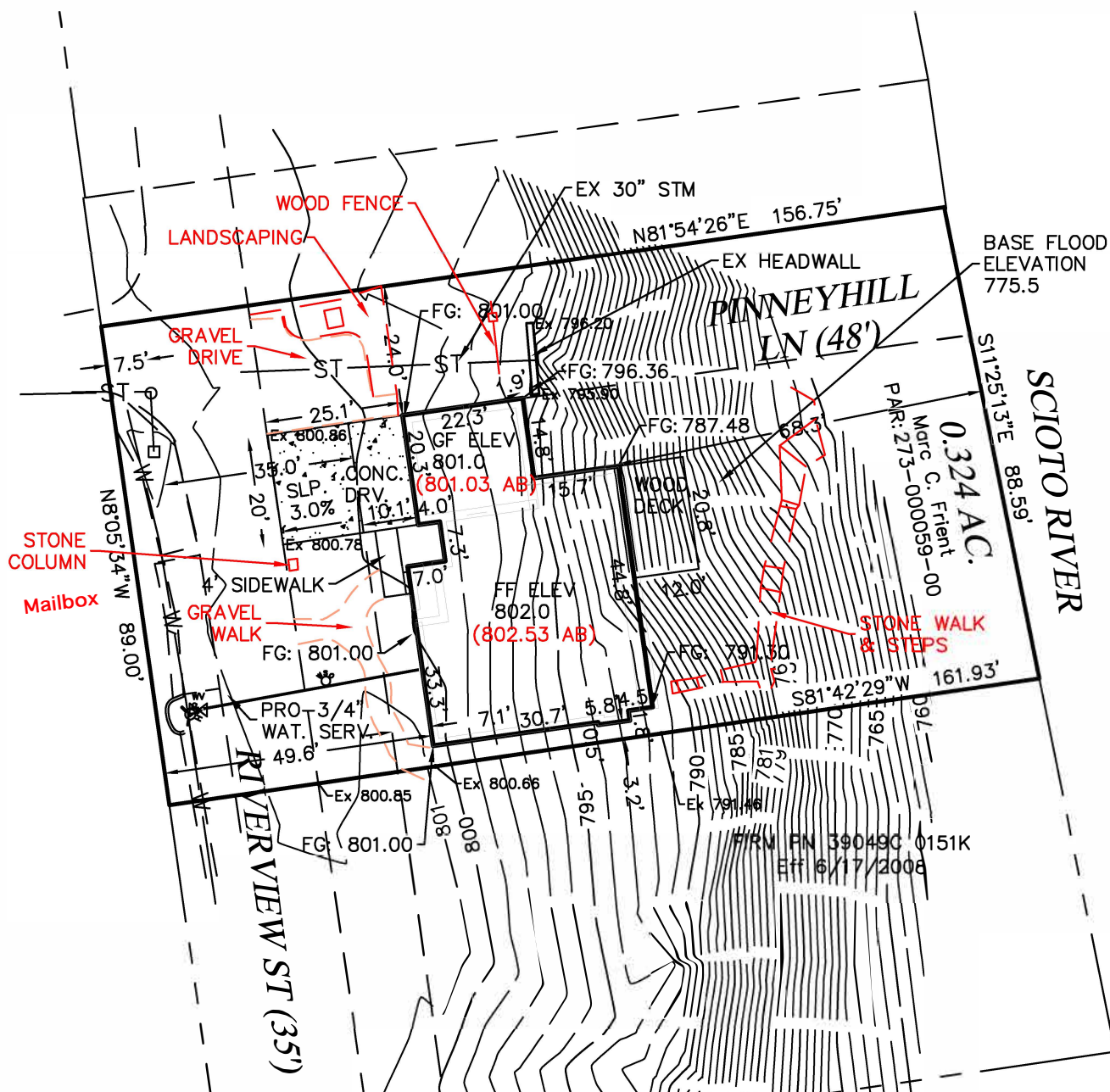
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 S

The data on this map was originally compiled at 1"=100' based on the Ohio State Plane South Coordinate System, North American Datum 1983 with 2' contours based on the North American Vertical Datum 1988 (when displayed).

AS-BUILT PLOT PLAN

FOR: Marc Frient (AS-BUILT)
 LOT/SUBDIVISION: NA
 ADDRESS: 110 S. Riverview St, Dublin, OH
 SCALE 1" = 30'

BUILDER: Arcaro & LaRussa
 CITY OF: Dublin
 DRN: TDW CK: DMW CO. OF: Franklin

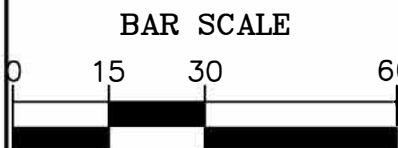


ZONING

FRONT YARD-0'
 SIDE YARD-3' (12' TOTAL)
 REAR YARD-20% LOT DEPTH/MAX 50'=31'
 ATTACHED GARAGE-20' (WAIVER)

LOT COVERAGE

MAX LOT COVERAGE-21 % (45% ALLOW.)
 MAX BLDG FOOTPRINT-17.8% (25% ALLOW.)



(IN FEET)
 1 inch = 30 ft.

NOTE: BUILDER TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL DURING ALL PHASES OF CONSTRUCTION

FIELD MODIFICATION TO THE EROSION AND SEDIMENT CONTROL MAY BE NECESSARY

PLOT PLAN

I hereby certify that the foregoing PLOT PLAN was prepared from information provided by the Client and data obtained from Engineered Subdivision Plan. This Plot Plan is to be used by the Client for the sole purpose of obtaining a Building Permit. The use of the Plot Plan for any other purpose is strictly prohibited.



Todd D. Willis

Willis Engineering & Surveying

Date: 3-22-24

Todd D. Willis, PS
 Reg. No. S-7996
 740-739-4030

Code Compliance:
It is the builder's responsibility to assure that the building complies with all governing codes. This includes but not limited to the 2018 R.C.O.

Refer to notes on Floor Plans that reference Section R308 Ventilation.

It is the builder's responsibility to assure that the final windows selected for all sleeping areas meet the criteria listed in Section 510.1 Emergency escape and rescue required.

Window shown on this plan are labeled as Pella Casement.

General Notes:

- A 1/2" plywood backer is to be installed behind all trim boards used in conjunction with stucco and wood sided walls.
- It is the builder's responsibility to determine the final method and quantity of roof ventilation.
- It is the Mason's responsibility to ensure that any masonry fireplaces draft properly and that chimneys are built to the standards of the local building code.
- In addition to these notes, refer to the notes on sheet 1.
- It is the builder's responsibility to assure all structural loads are transferred to the foundation.
- The house is to be water tight when completed. It is the general contractor's responsibility to provide all waterproofing, flashing, weep holes and caulking required to prevent moisture penetration.
- It is the builder's responsibility to assure all finish materials used are to be installed per manufacturer's recommendations or per industry standards. This includes, but is not limited to flashing, Melaragno Design Company, LLC is not responsible for defects in materials used or installation of materials.
- It is the builder's responsibility to determine gutter size and down spout size, quantity and location.

Wood Trusses:

- The following notes only apply if wood trusses are used.
- Use truss clips to fasten all trusses to the top plate of walls. Do not nail trusses to top plate directly.
- For interior wall connections, use Simpson model STC.
- For eave truss connections, use Simpson TC-24 or TC-25.
- When applying drawall to the bottom chord of the roof truss, use Simpson D5 drawall stops at interior wall intersection. Hold screws and nails back 18" from wall.
- It is the Builder's and/or the Truss Manufacturer's responsibility to take any measurements used for truss manufacturing from only the actual field conditions. Do not build trusses from the dimensions on this plan for actual field conditions may vary from the information given in this plan set. Melaragno Design Company, LLC is not responsible for any error in truss orders or manufacturing.
- The truss manufacturer is to adjust heel heights as needed to align fascia boards and any other trim material to match the elevation drawings in this plan set.

Please Note:

Any discrepancies, errors and/or omissions in the notes, dimensions, and/or drawings contained on these documents shall be brought to the attention of Melaragno Design Company, LLC, the designer, immediately after the said discrepancies are discovered. Proceeding with construction constitutes the acceptance of these documents and any discrepancies, errors and/or omissions become the responsibility of the building contractor.

NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, ROOFING CONTRACTOR AND/OR EXTERIOR TRIM CONTRACTOR TO DETERMINE THE BEST ROOFING AND FLASHING PRACTICES AT EACH INSTANCE.

NOTE:
CAULK ALL JOINTS WITH ASTM C-920 CAULK AND PROVIDE METAL FLASHING AS REQUIRED TO PREVENT MOISTURE PENETRATION.

NOTE:
ALL BUILDING MATERIALS, FINISH AND STRUCTURAL TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS and / or RECOMMENDATIONS.

NOTE:
ALL EXTERIOR TRIM TO BE SMOOTH CEDAR OR SIMILAR PRIMED ON ALL SIDES.



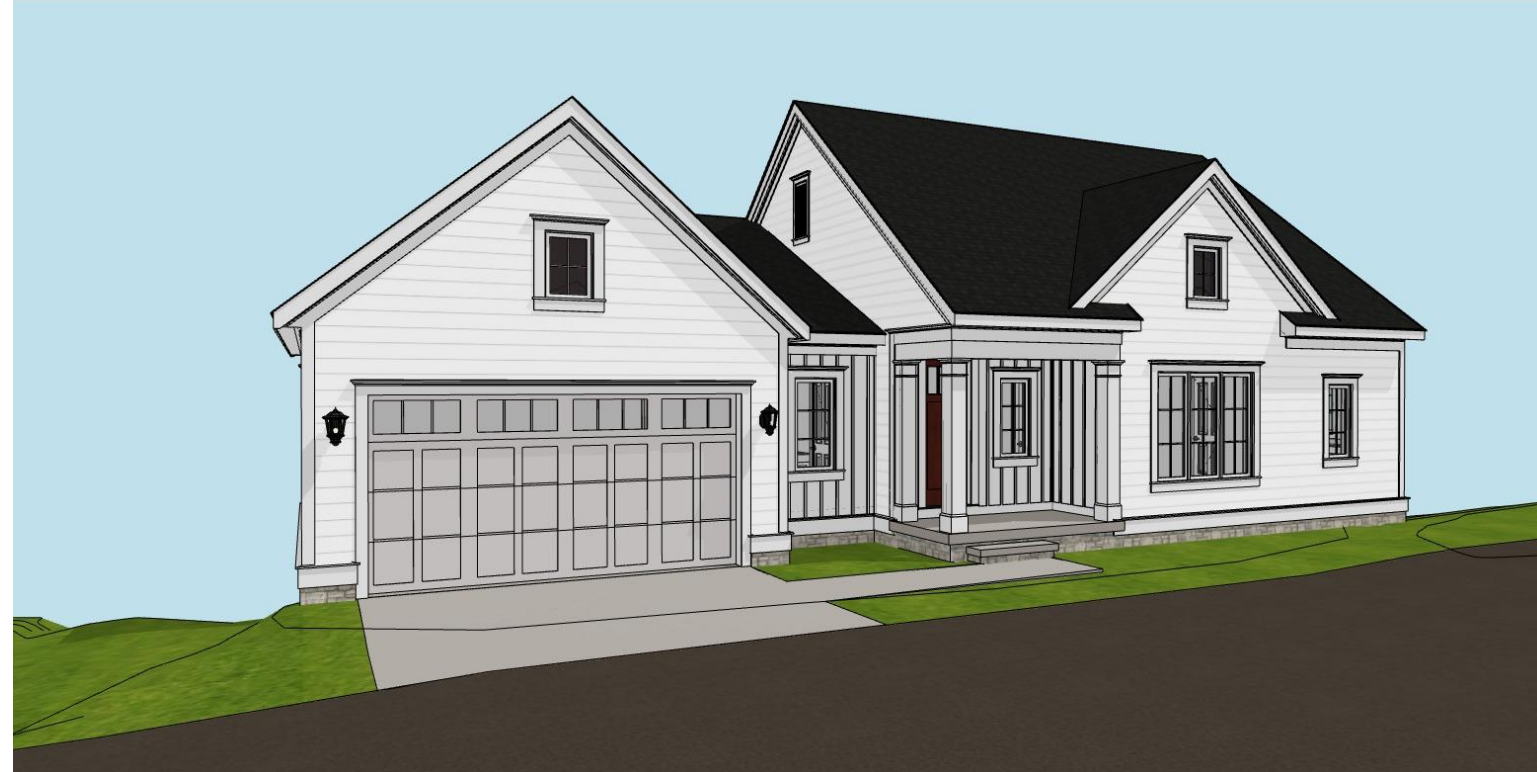
SOUTH-WEST PERSPECTIVE



SOUTH-WEST BIRD'S EYE PERSPECTIVE



WEST PERSPECTIVE



NORTH-WEST PERSPECTIVE



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

Revisions

- 1/12/2022 Revise plans per items on the City of Dublin "Listing of Items of Non-Compliance" notice dated 1/4/2022
- 6/7/2022 Revise plans and foundation design to adapt to discovered site conditions, change foundation from standard wall and footing foundation to caisson, grade beam and footing foundation
- 2/17/24 Revise handrail material and color.

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Date: 2/17/2024
Job Name: Melfrient_112 Riverview
File Name: MDC_2024-0111_Melaragno_112_Riverview_Site_Model_02/17/24

Sheet No. 8

C:\Users\Andrew.Melaragno\Documents\Melaragno Design Company\Projects\Individuals\W\Frient_112_Riverview\Site Model\REV17.dgn

FASCIA & FRIEZE BOARDS:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

BOARD & BATTEN SIDING:
Louisiana Pacific LP SmartSide Smooth Finish Vertical Siding w/ LP SmartSide Smooth Finish Batten Strips
COLOR: SN-Alabaster

FLAT PANEL:
Louisiana Pacific LP SmartSide Smooth Finish Panel
COLOR: SN-Alabaster

BAND BOARD & GAP:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

DECK RAIL:
Powder Coated Metal
Color: Black

DECK SURFACE:
SP Wood Decking
COLOR: Natural Color

COLUMN CAP:
3" Natural Cut Indiana Limestone

STONE:
Casi Di Sassi
COLOR: Gremora Blend

NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST PERSPECTIVE



NORTH-EAST BIRD'S EYE PERSPECTIVE



RAKE FASCIA & FRIEZE BOARDS:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

GABLE VENT:
Wood Inactive Lower
COLOR: SN-Alabaster

ROOFING: 10/12 PITCH:
Everest 42 Laminate Shingle
COLOR: Shadow Black

PORCH TRIM:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

HORIZONTAL LAP SIDING:
Louisiana Pacific LP SmartSide Smooth Finish Lap Siding w/ 7" Exposure
COLOR: SN-Alabaster

CORNER BOARD:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

WINDOWS:
Pella Lifestyle Series Wood SCL Casement w/ Aluminum Cladding w/ 7" Muntin
COLOR: White

NOTE:
ALL EXTERIOR TRIM TO BE SMOOTH IN TEXTURE PRIMED ON ALL SIDES.

Code Compliance:
It is the builder's responsibility to assure that the building complies with all governing codes. This includes but not limited to the 2018 R.C.O.
Refer to notes on Floor Plans that reference Section R308 glazing.
It is the builder's responsibility to assure that the final windows selected for all sleeping areas meet the criteria listed in Section 910.1 Emergency escape and rescue required.
Window shown on this plan are labeled as Pella Casement.

General Notes:
1. A 1/2" plywood backer is to be installed behind all trim boards used in conjunction with stucco and wood sided walls.
2. It is the Builder's responsibility to determine the final method and quantity of roof ventilation.
3. The Mason's responsibility to ensure that any masonry fireplaces draft properly and that chimneys are built to the standards of the local building code.
4. In addition to these notes, refer to the notes on sheet 1.
5. It is the builder's responsibility to assure all structural loads are transferred to the foundation.
6. The house is to be water tight when completed. It is the general contractor's responsibility to provide all waterproofing, flashing, weep holes and caulking required to prevent moisture penetration.
7. It is the builder's responsibility to assure all finish materials used are to be installed per manufacturer's recommendations or per industry standards. This includes, but is not limited to flashing, Metaragno Design Company, LLC is not responsible for defects in materials used or installation of materials.
8. It is the builder's responsibility to determine gutter size and down spout size, quantity and location.

Wood Trusses:
The following notes only apply if wood trusses are used.
1. Use truss clips to fasten all trusses to the top plate of walls. Do not nail trusses to top plate directly.
2. For interior wall connections, use Simpson model 5TC.
3. For scissors truss connections, use Simpson TC-24 or TC-25.
4. When applying drywall to the bottom chord of the roof truss, use Simpson D9 drywall stops at interior wall intersection. Hold screws and nails back 18" from wall.
5. It is the Builder's and/or the Truss Manufacturer's responsibility to take any measurements used for truss manufacturing from only the actual field conditions. Do not build trusses from the dimensions on this plan for actual field conditions may vary from the information given in this plan set. Metaragno Design Company, LLC is not responsible for any error in truss orders or manufacturing.
6. The truss manufacturer is to adjust heel heights as needed to align fascia boards and any other trim material to match the elevation drawings in this plan set.

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NOTE:
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NOTE:
CAULK ALL JOINTS WITH ASTM C-920 CAULK AND PROVIDE METAL FLASHING AS REQUIRED TO PREVENT MOISTURE PENETRATION.

NOTE:
ALL BUILDING MATERIALS, FINISH AND STRUCTURAL TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND / or RECOMMENDATIONS.

ROOFING: 4/12 PITCH:
Everest 42 Laminate Shingle
COLOR: Shadow Black

FASCIA & FRIEZE BOARDS:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

BOARD & BATTEN SIDING:
Louisiana Pacific LP SmartSide Smooth Finish Vertical Siding w/ LP SmartSide Smooth Finish Batten Strips
COLOR: SN-Alabaster

BAND BOARD & GAP:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

CORNER BOARD:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

WINDOWS:
Pella Lifestyle Series Wood Casement w/ Aluminum Cladding
COLOR: White

STONE:
Casi Di Sassi
COLOR: Gremora Blend



EAST ELEVATION
SCALE: 1/4" = 1'-0"

ROOFING: 10/12 PITCH:
Everest 42 Laminate Shingle
COLOR: Shadow Black

GABLE VENT:
Wood Inactive Lower
COLOR: SN-Alabaster

HORIZONTAL LAP SIDING:
Louisiana Pacific LP SmartSide Smooth Finish Lap Siding w/ 7" Exposure
COLOR: SN-Alabaster

RAKE FASCIA & FRIEZE BOARDS:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

PORCH TRIM:
Louisiana Pacific LP SmartSide Smooth Finish Trim Boards
COLOR: SN-Alabaster

FLAT PANEL:
Louisiana Pacific LP SmartSide Smooth Finish Panel
COLOR: SN-Alabaster

DECK RAIL:
Powder Coated Metal
Color: Black

COLUMN CAP:
3" Natural Cut Indiana Limestone

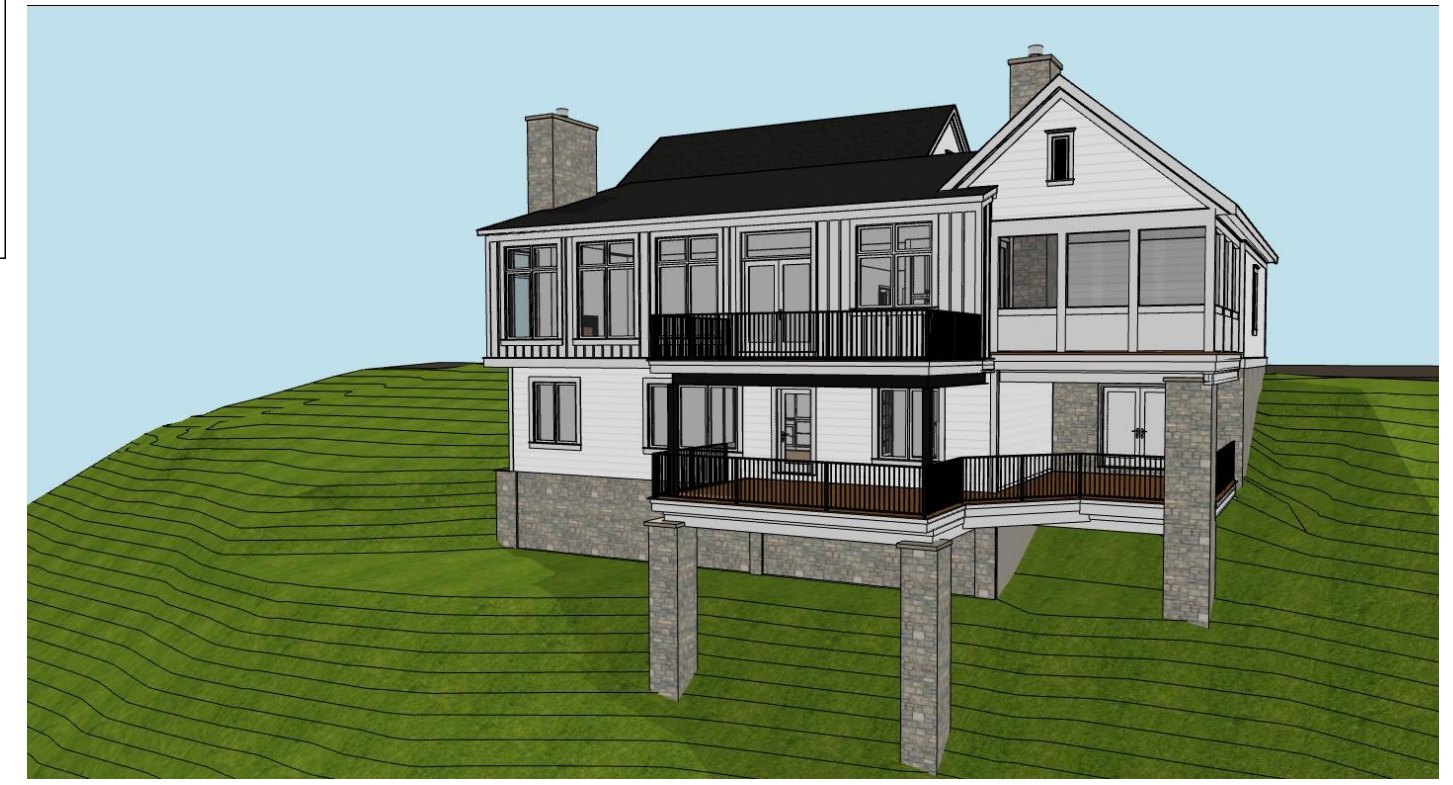
DECK SURFACE:
SP Wood Decking
COLOR: Natural Color

SERVICE DOOR:
Pella Smooth Steel Door w/ Aluminum clad Frame
COLOR: White

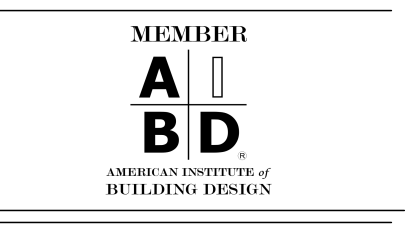
PATIO DOOR:
Pella Lifestyle Series Wood Door w/ Aluminum Cladding
COLOR: White



NORTH-EAST PERSPECTIVE



NORTH-EAST PERSPECTIVE



The Frient Residence
110 S. Riverview Street
Dublin, Ohio 43017

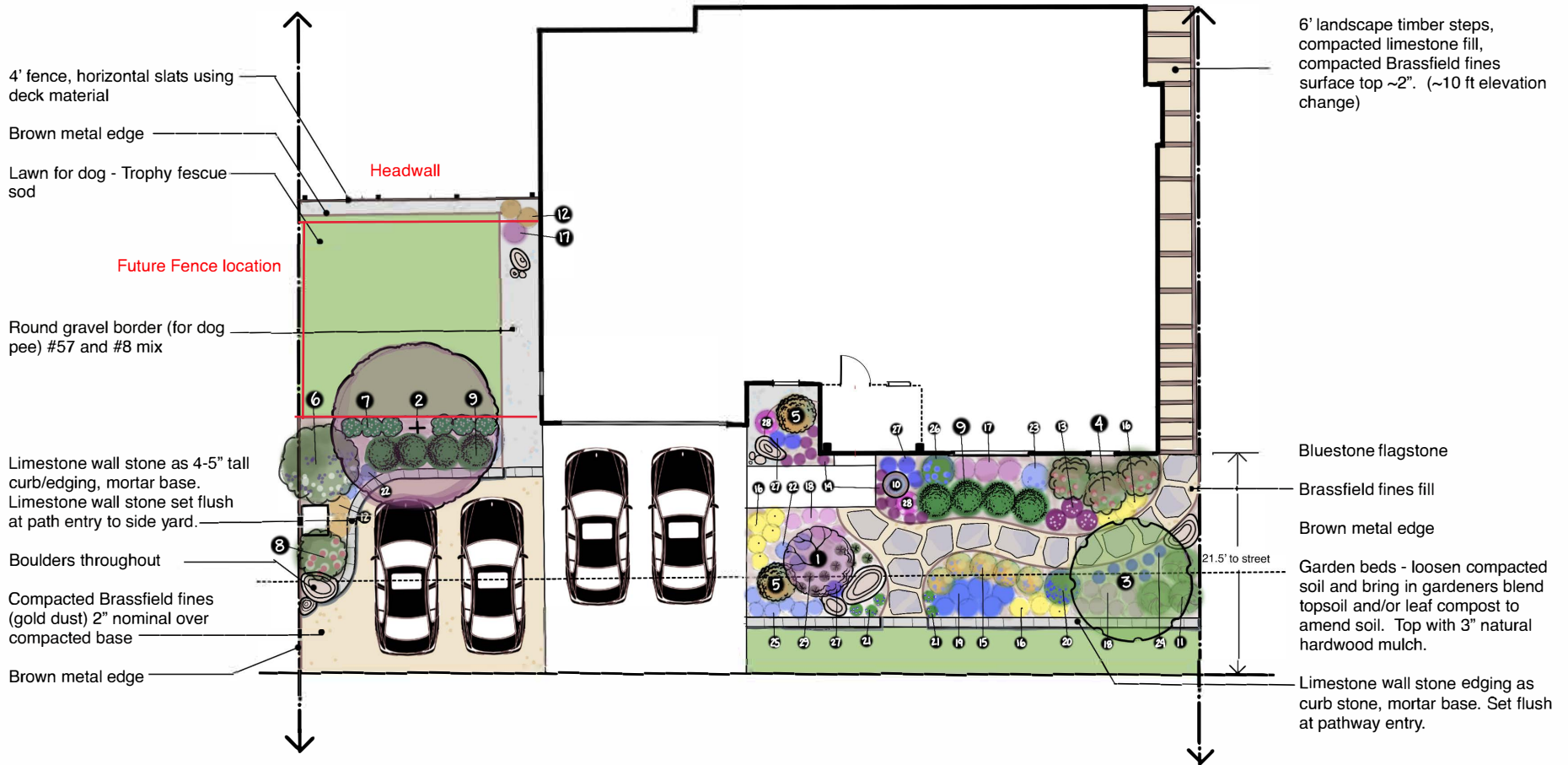


- Revisions**
- Δ 1/12/2022 Revise plans per items on the City of Dublin "Listing of items of Non-Compliance" notice dated 1/4/2022.
 - Δ 6/1/2022 Revise plans and Foundation design to adapt to discovered site conditions, change foundation from standard wall and footing foundation to caisson, grade beam and footing foundation.
 - Δ 2/17/24 Revise handrail material and color.

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Date	2/17/2024
Job Name	M\Frient_112 Riverview
File Name	MDC_2024-0117 Rev_112 Riverview Site Model
Sheet No.	9

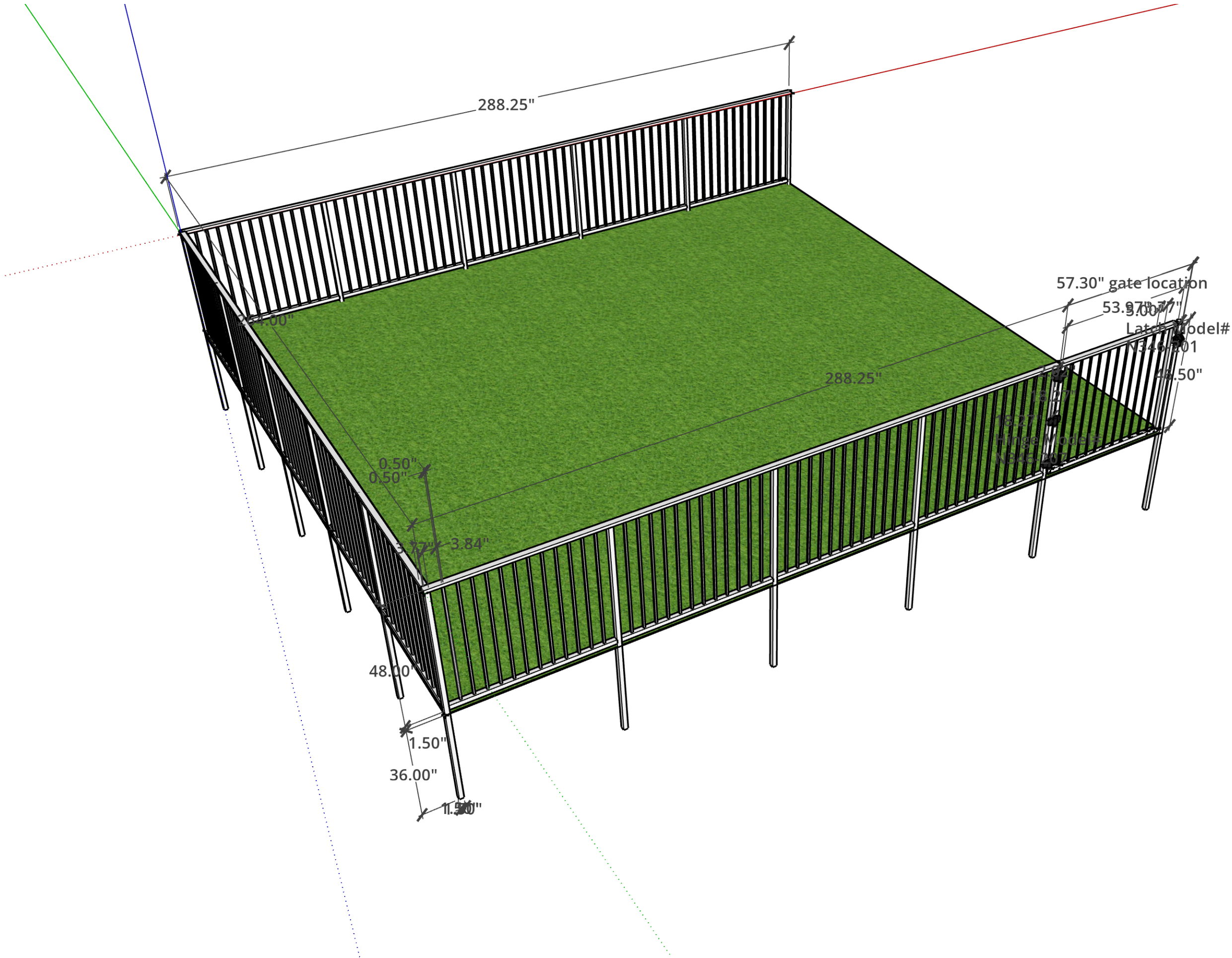
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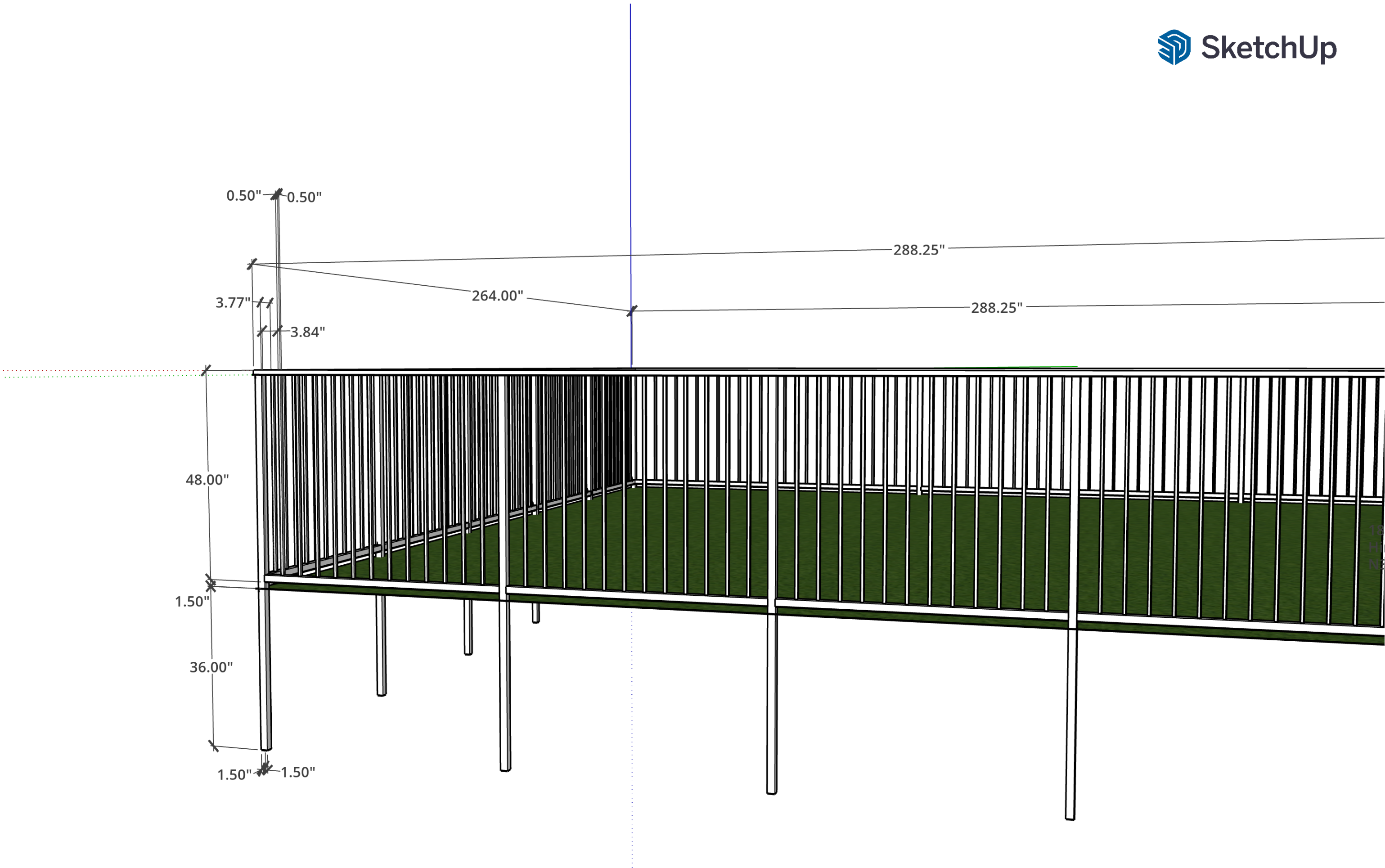


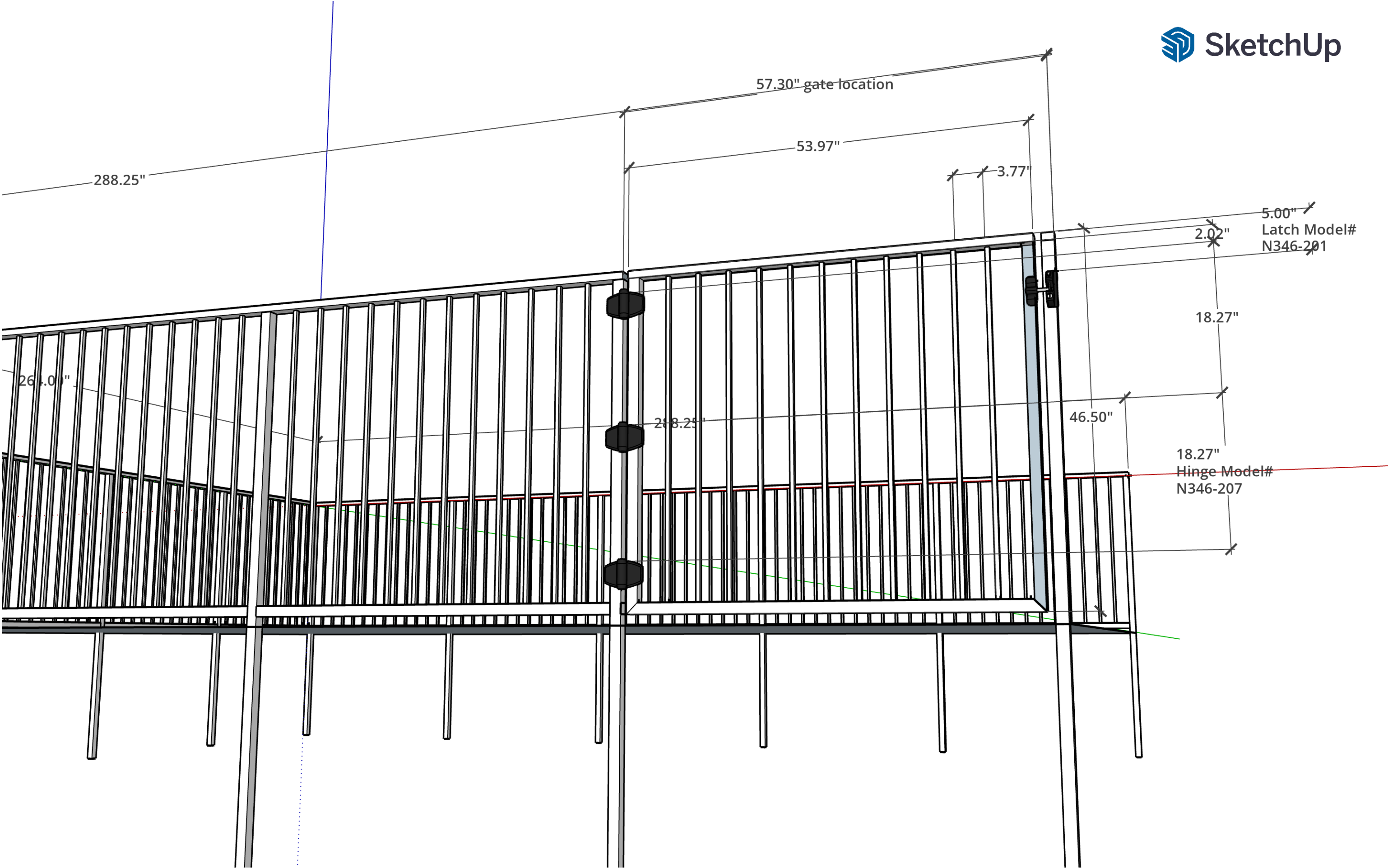
Front Landscape Plan

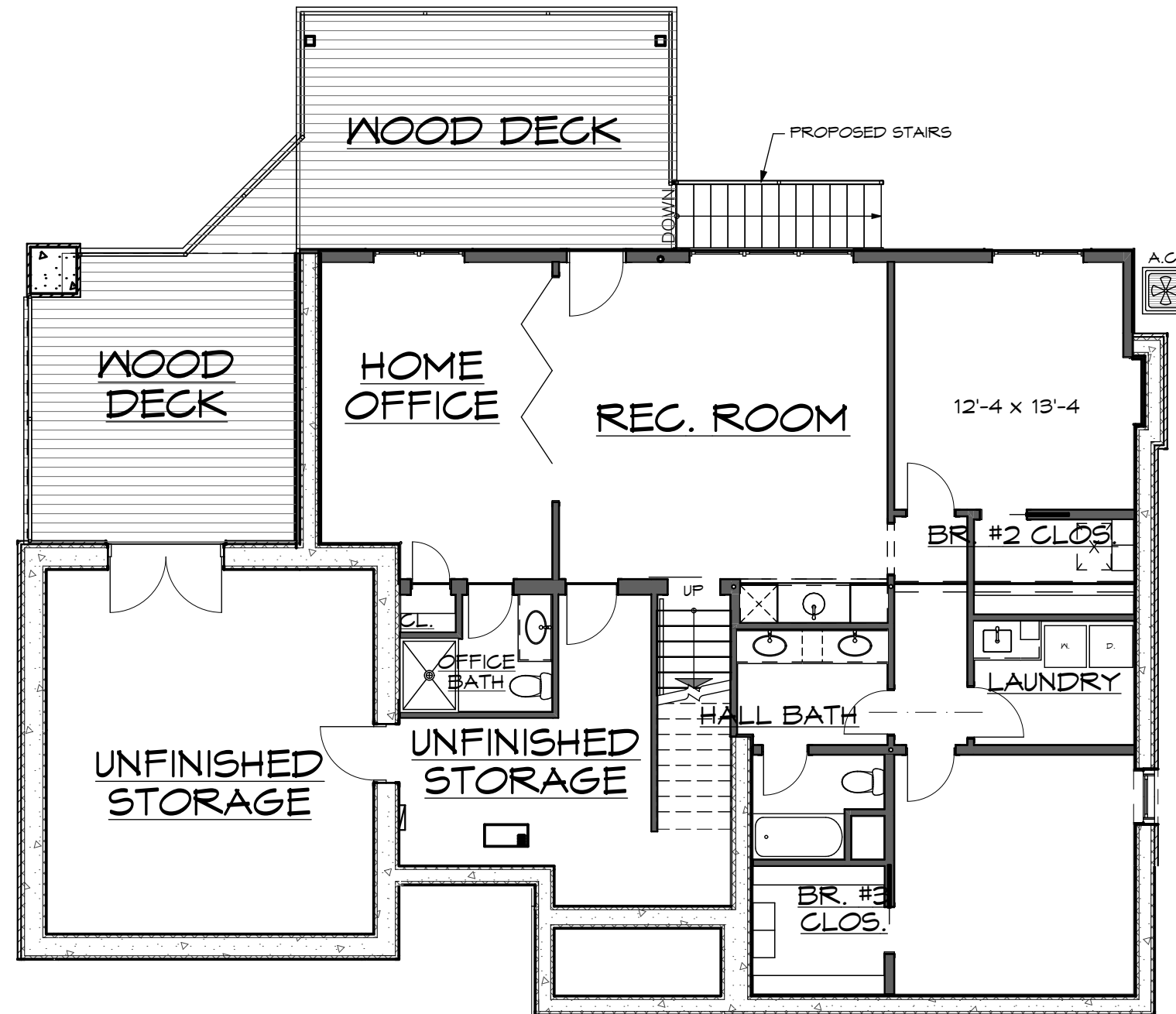
110 South Riverview Street, Dublin, Ohio











LOWER LEVEL PLAN
 SCALE: 1/8" = 1'-0"

The Frient Residence

110 S. Riverview Street
 Dublin, Ohio 43017
 4/18/2024



MELARAGNO
 DESIGN COMPANY LLC

4138 Greensview Drive • Columbus Ohio 43220
 614-442-8965 • www.MelDesignCo.com



SOUTH-EAST PERSPECTIVE



EAST PERSPECTIVE

The Frient Residence

110 S. Riverview Street
Dublin, Ohio 43017
4/18/2024



WOOD STAIR STRINGER PAINTED
TO MATCH EXISTING TRIM

METAL RAIL TO MATCH EXISTING

EAST ELEVATION
SCALE: 1/8" = 1'-0"

The Frient Residence

110 S. Riverview Street
Dublin, Ohio 43017
4/18/2024