

# J. Liu Dublin Room Addition and Dumpster Enclosure

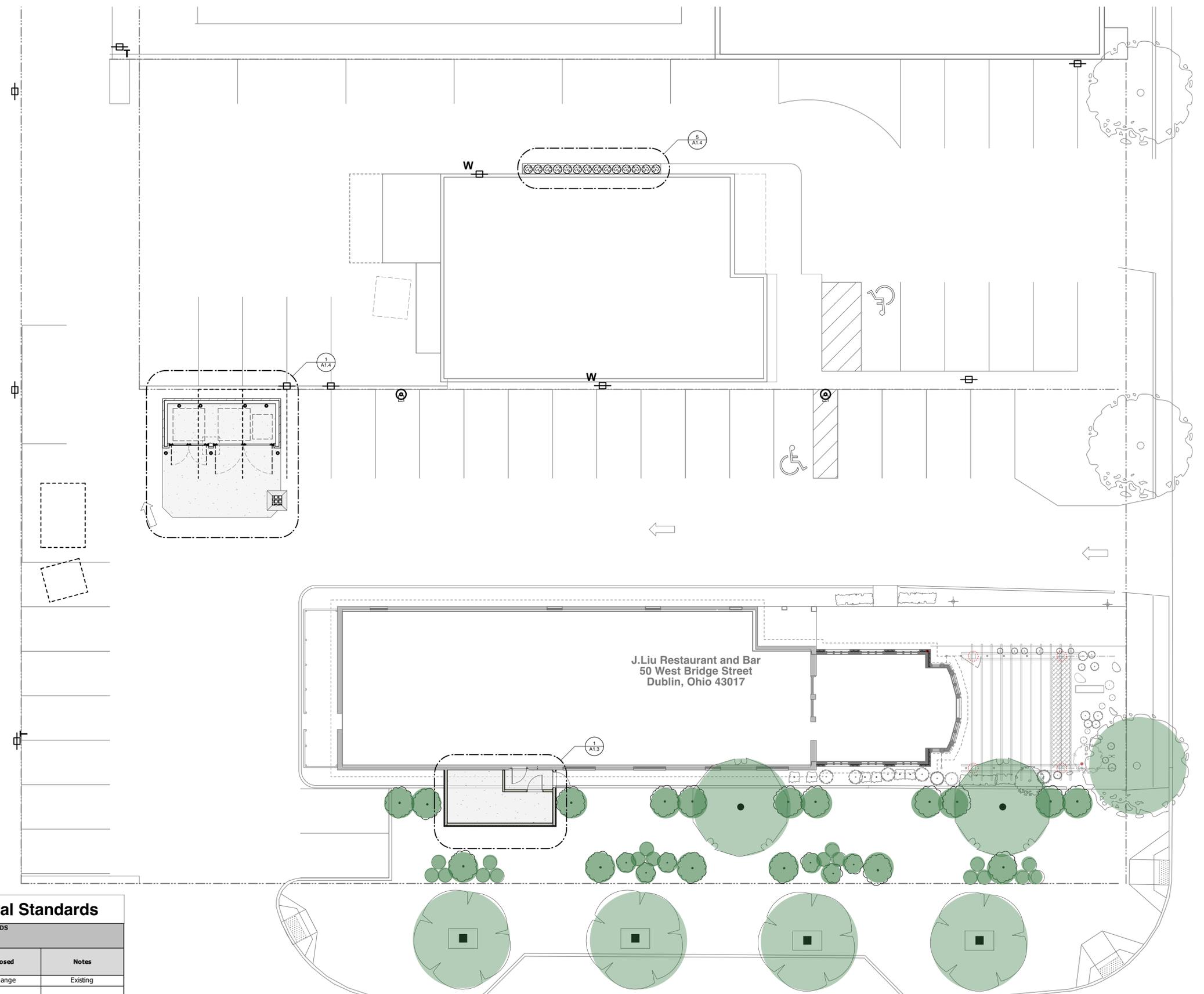
**50 W Bridge St,  
 Dublin, OH 43017**

**Dublin ARB  
 Minor Project**  
 Date: 18 April 2024

Site Location	Vicinity Map	Project General Notes	Project Narrative	Drawing Index										
 <p style="font-size: small; text-align: center;">             Site: 50 West Bridge Street              Dublin, OH 43017           </p>	 <p style="font-size: small; text-align: center;">             Site: 50 West Bridge Street              Dublin, OH 43017           </p>	<ol style="list-style-type: none"> <li>1. The project is on the outside of an existing tenant occupied building. General Contractor shall coordinate all work so as to avoid damaging existing work to remain or endangering public roadways.</li> <li>2. Review each sheet of drawings only in conjunction with the entire set of contract documents. The documents are interdependent and are not to be separated or read independently.</li> <li>3. Contractor shall visit the site to review all conditions in conjunction with review of all Bidding Documents. The contractor, by commencing the work accepts the conditions of the site and the completeness of the Contract/Bidding documents. Any discrepancies between drawings and actual site conditions should be brought to the attention of the Architect prior to the commencement of the work. No extras will be allowed for discrepancies after the work has begun except where the condition could not have been discernible without the removal of concealing conditions.</li> <li>4. Provide all work materials and labor for a complete project. Any material or labor neither shown on the drawings or specified but which is obviously necessary to complete the work or work of a similar scope or to complete indicated scope shall be provided as base bid work.</li> <li>5. G.C. shall coordinate deliveries, access, hours and noise limits with Owner &amp; local.</li> <li>6. Permits: General Contractor shall be responsible for all permits and inspections and associated fees as required to complete the work, except general building permit. General permit will be submitted by Owner and picked up by G.C.</li> <li>7. Substitutions: No substitutions of specified materials or work will be accepted unless submitted for approval to the Owner.</li> <li>8. Protection: General Contractor shall be solely responsible for taking all steps necessary to protect the public from injury and adjacent property from damages during construction and demolition activities. The G.C. shall be responsible for project security from the start of the work, until completion.</li> <li>10. All wall and ceiling construction shall be supported or braced from structural members not other items of suspended work or work in place, unless noted otherwise.</li> <li>11. General Contractor shall remove all debris from job site on a regular basis. All debris shall be contained within the contract limits prior to removal.</li> <li>12. G.C. shall not stack deliveries, materials or equipment in a manner that will over load existing structure.</li> <li>13. General Contractor is responsible to have the entire area clean and spotless at time of turn over to owner.</li> <li>14. All work shall conform with all provisions of the state and local governing building authorities.</li> <li>15. All work shall be performed in compliance with all provisions established for the use of the building and the premises by the Owner.</li> <li>16. All exits, corridors, aisles, and passageways shall comply with OBC Chapter 10.</li> <li>17. Install portable fire extinguishers, according to section 906 and refer to 1301: 7-7-04 J of the Ohio Fire Code.</li> <li>18. All work shall be in compliance with the provisions of the "Americans with Disabilities Act" (ADA).</li> </ol>	<p>The proposed project consists of a 12' x 14' room addition on the west side of the existing facility - J.Liu Restaurant and Bar.</p> <p>The room is to serve as an alternative employee entry and common work room area.</p> <p>The site traffic changes proposed as part of the Franklin Street Extension create a concern with employees exiting the rear of the kitchen area directly into what will become a busier vehicle circulation zone. This addition will give the entry some relief from that condition during peak hours.</p> <p>The Work consists of minimal exterior and site alterations.</p> <ul style="list-style-type: none"> <li>- General Construction (exterior).</li> <li>- Electrical (light fixture)</li> <li>- New Finishes</li> <li>- New concrete pad and footing</li> </ul>	<table style="width: 100%; border-collapse: collapse; font-size: x-small;"> <tr> <td style="width: 30%;">A0</td> <td>Cover Sheet</td> </tr> <tr> <td>A1.1</td> <td>Site Plan</td> </tr> <tr> <td>A1.2</td> <td>Overall Elevations</td> </tr> <tr> <td>A1.3</td> <td>Enlarged Storage Drawings</td> </tr> <tr> <td>A1.4</td> <td>Dumpster Enclosure and Landscape Drawings</td> </tr> </table>	A0	Cover Sheet	A1.1	Site Plan	A1.2	Overall Elevations	A1.3	Enlarged Storage Drawings	A1.4	Dumpster Enclosure and Landscape Drawings
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A1.4	Dumpster Enclosure and Landscape Drawings													



**36 KING AVENUE**  
 Columbus, OH 43201  
**ph. 614.294.4893**  
**fax. 614.294.2709**



### Symbol Legend

	1' - 0" x 1' - 6" x .080 aluminum parking sign and tow away sign—bolt to steel tube with cadmium plated bolts, nuts, and washers.
	1' - 0" x 1' - 6" x .080 aluminum parking sign bolted to wall.
	1' - 0" x 1' - 6" x .080 aluminum parking sign — bolt to steel tube with cadmium plated bolts, nuts, and washers.
	Parking light pole

### Description

<b>Zoning District:</b>	<b>HD-HC</b>
<b>Existing Building size</b>	<b>3,237 sq ft</b>
<b>Addition Proposed</b>	<b>185 sq ft</b>
<b>Building Use</b>	<b>Eating and Drinking</b>
<b>Addition Proposed</b>	<b>No Change</b>
<b>Building Height</b>	<b>One story</b>
<b>Addition Proposed</b>	<b>One Story</b>
<b>Existing Building Materials</b>	<b>Stone, painted wood/slate and metal roof</b>
<b>Addition Proposed</b>	<b>Stone, painted wood</b>
<b>Existing Parking</b>	<b>1</b>
<b>Accessible</b>	<b>25</b>
<b>Regular</b>	<b>no change</b>
<b>Proposed Parking</b>	<b>no change</b>

### Preliminary Zoning Elements • General Standards

TABLE 153.173A: HISTORIC ZONING DISTRICTS - GENERAL DEVELOPMENT STANDARDS

Development Standard	Historic Core (HC)	Existing	Proposed	Notes
Minimum Lot Size	21,000 SF	26,000+	no change	Existing
Minimum Lot Width	60 feet	100	no change	Existing
Maximum Lot Coverage	85%	TBD	184 sq ft	Franklin St Extension - property adjustment
Maximum Building	30 feet			
Maximum Building Footprint	N/A			
Front Yard Setback	0 feet	N/A	N/A	
Side Yard Setback	0 feet	25'	13'	
Rear Yard Building	5 feet	N/A	N/A	
Rear Yard Pavement	5 feet	N/A	N/A	
Parking Location	Rear	existing		established in recommended changes per Franklin Street Engineering

**1 Site Plan**  
Scale: 1" = 10'-0"



**BRIDGE STREET (ST. RT. 161)**

**FRANKLIN STREET EXTENSION**

**J. Liu Restaurant and Bar**  
50 West Bridge Street  
Dublin, Ohio 43017

Project Title

Owner

Jason Liu  
10279 Wellington  
Blv., Powell, Ohio  
43065

Architect

Bass Studio Architects  
36 King Avenue,  
Columbus, OH, 43201  
Tel: (614) 294 4893

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Date	Reviewed By
04/18/24	

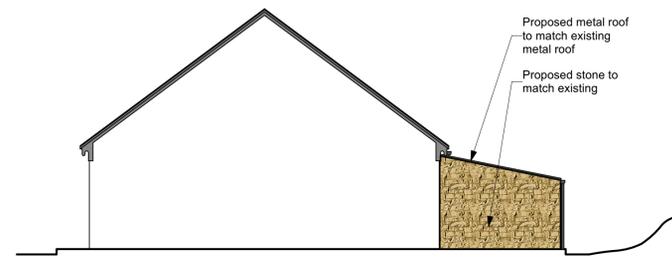
Project ID

Sheet Title

Overall Elevations

Sheet No.

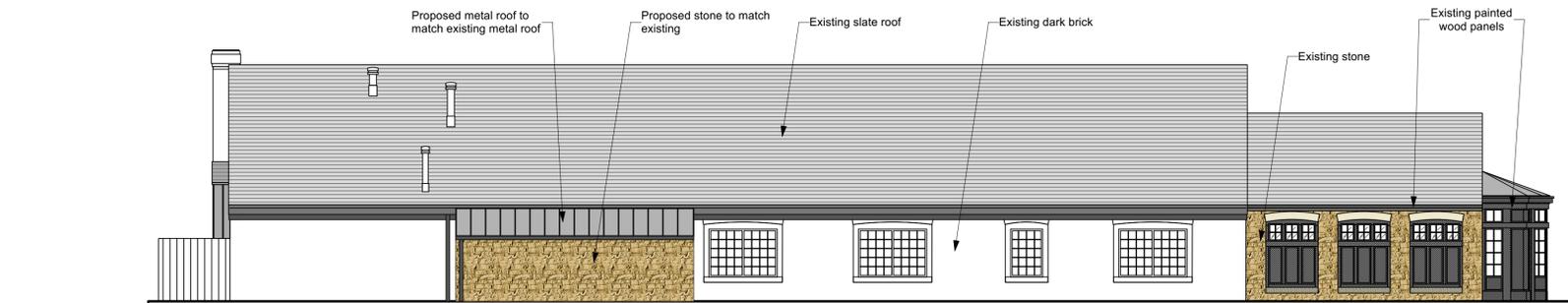
A1.2



**2 North Elevation**  
Scale: 1/8" = 1'-0"



**1 South Elevation**  
Scale: 1/8" = 1'-0"



**3 West Elevation**  
Scale: 1/8" = 1'-0"

**Elevation Notes**

1. Refer to the Project General Notes and project manual/specifications.
2. Review this sheet only in conjunction with the entire set of contract documents and project manual/specifications sheet. The documents are interdependent and are not to be separated or read interdependently.
3. All work shall conform to the requirements of the local governing building authorities.
4. The general contractor shall visit the site and review the documents to become familiar with the work.
5. Commencement of the work shall constitute acceptance of the site conditions and the contract documents.
6. The elevations indicate locations and types of building envelope systems - Each system shall be a complete installation with all accessories, substrates, flashings, and terminations - with details as required to meet manufacturer requirements for warranty certification.
7. Provide all work, materials and labor for a complete project. Any material or labor neither shown on the drawings or specified but which is obviously necessary to complete work of a similar scope or to complete noted assemblies shall be provided at no additional cost to the Owner or Architect.
8. All dimensions are to face of sheathing or structure unless noted otherwise.
9. All Angles are 90 unless noted otherwise.

Project Title

Owner  
**Jason Liu**  
10279 Wellington  
Blv., Powell, Ohio  
43065

Architect  
**Bass Studio Architects**  
36 King Avenue,  
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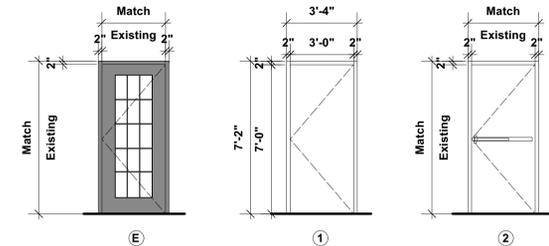
Date	04/18/24	Reviewed By	
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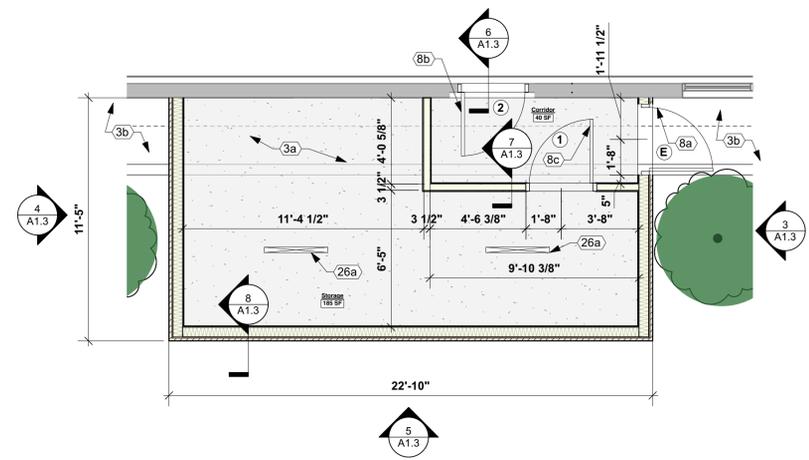
Sheet Title  
**Enlarged Storage  
Drawings**

Sheet No.

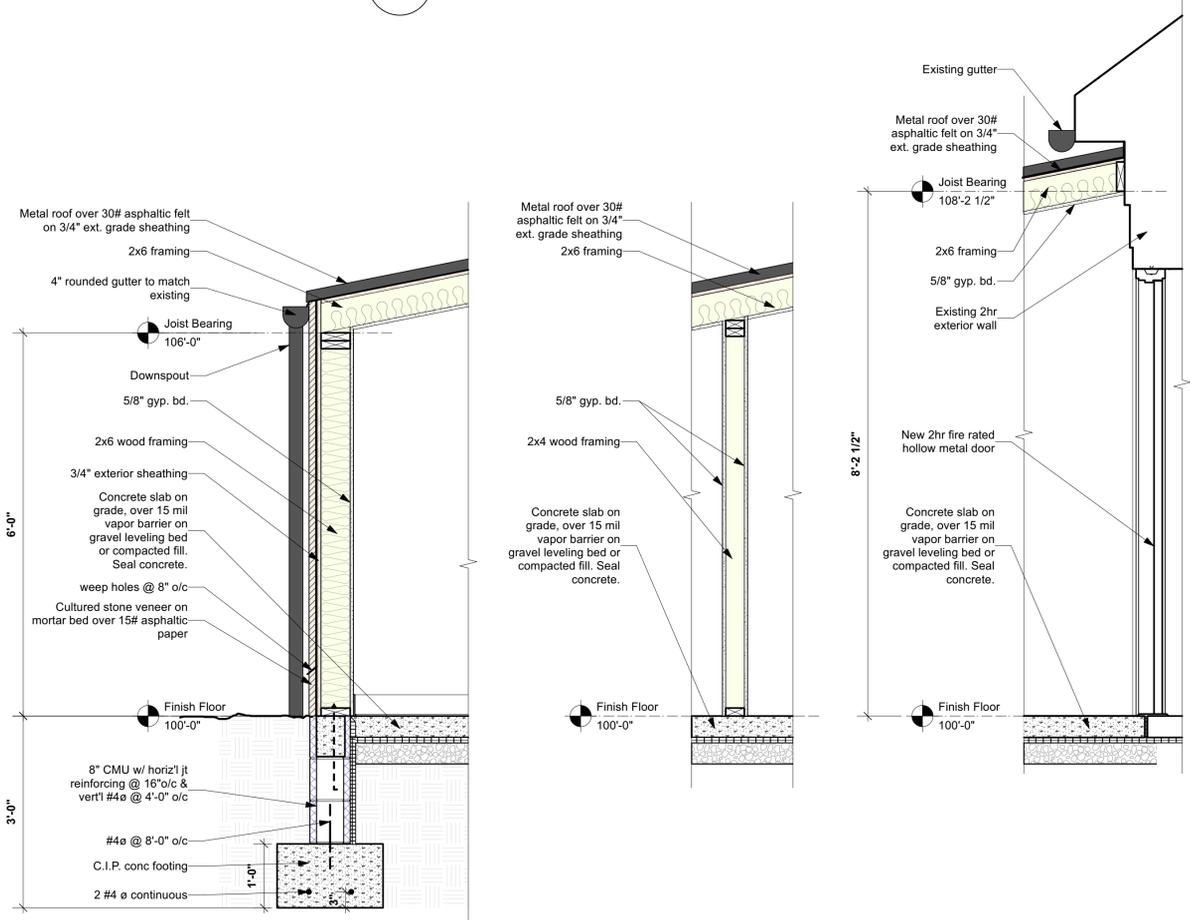
**A1.3**



**9 Door Elevations**  
Scale: 1/4" = 1'-0"



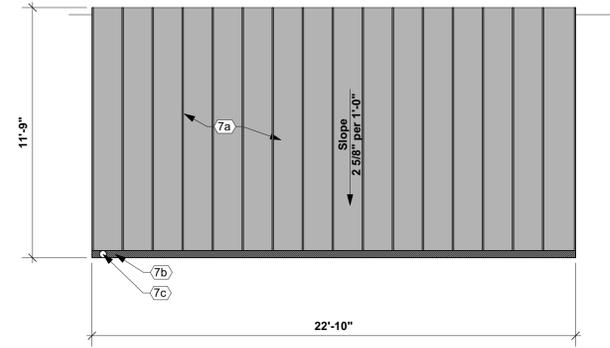
**1 Enlarged Floor Plan**  
Scale: 1/4" = 1'-0"



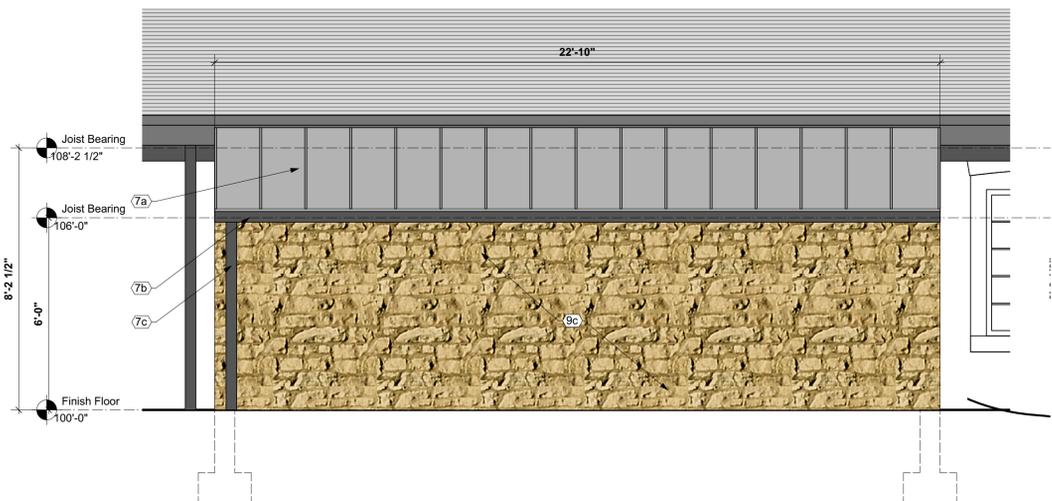
**8 Wall Section**  
Scale: 3/4" = 1'-0"

**7 Wall Section**  
Scale: 3/4" = 1'-0"

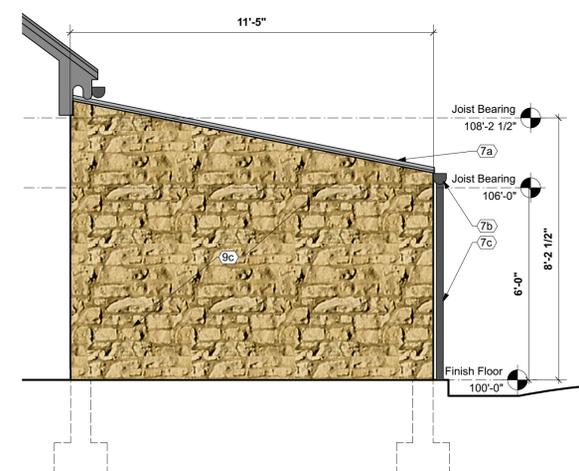
**6 Wall Section**  
Scale: 3/4" = 1'-0"



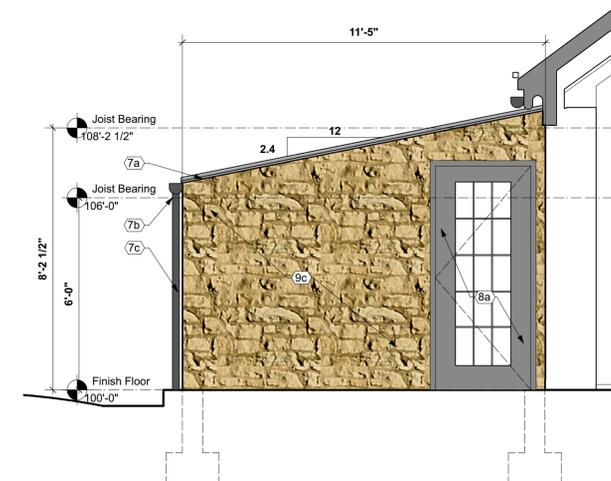
**2 Enlarged Roof Plan**  
Scale: 1/4" = 1'-0"



**5 West Elevation**  
Scale: 3/8" = 1'-0"

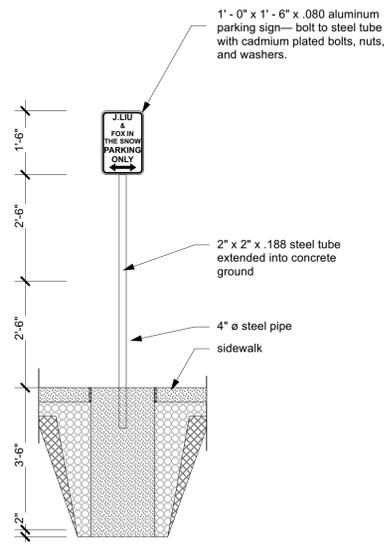


**4 North Elevation**  
Scale: 3/8" = 1'-0"



**3 South Elevation**  
Scale: 3/8" = 1'-0"

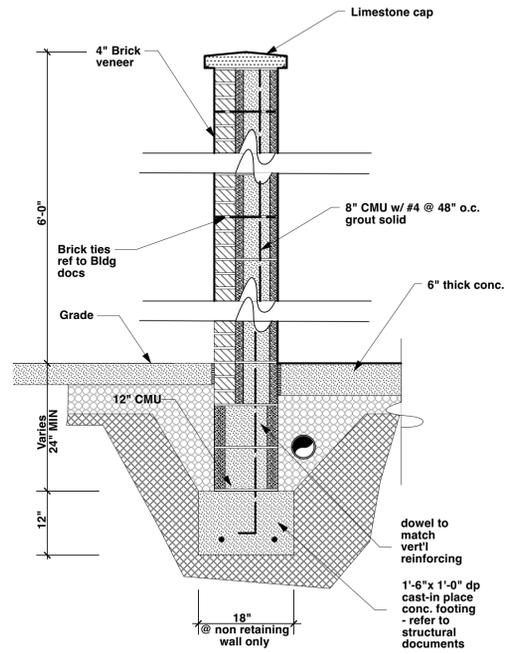
- Coded Notes**
- 2a Sawcut and remove existing slab/pavement to extent needed. Prepare to receive footing per drawings.
  - 2b Demolish and remove existing dumpster and dumpster enclosure.
  - 3a Concrete slab on grade sealed, over 15 mil vapor barrier on gravel leveling bed or compacted fill.
  - 3b Existing concrete sidewalk do not disturb.
  - 7a Metal roof over 30# asphaltic felt on 3/4" ext. grade sheathing. Metal to match outdoor patio roof.
  - 7b Metal 4" rounded gutter. Finish to match existing.
  - 7c Metal 4" diameter downspout with decorative straps @ 4'-0" O.C. tie into underground storm system. Finish to match existing.
  - 8a Relocate existing door to location shown. Provide lockset, closer, 1 1/2" PR Butts, OH stop, sweep, weather stripping and threshold. Paint door and frame to match wood panels.
  - 8b New 3'-0"x7'-0" hol. mtl. door w/ hol. metal frame w/ lockset, closer, 1 1/2" PR Butts, OH stop, sweep, weather stripping and threshold. Paint door and frame to match wood panels.
  - 8c New 3'-0"x7'-0" wood door w/ hol. metal frame w/ closer, 1 1/2" PR Butts, OH stop, and passage set. Stain to match existing interior doors.
  - 9a Painted gyp bd over wood frame wall.
  - 9b not used.
  - 9c Stone veneer to match existing building.
  - 9d 4" vinyl cove base. Johnsonite or equal.
  - 26a New led light fixture above.



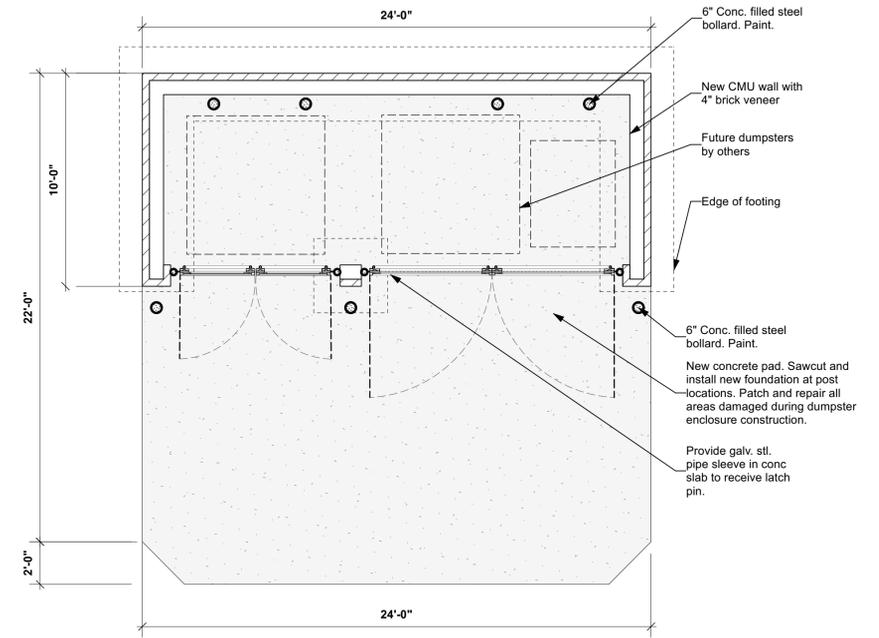
**8** Detail Parking Sign  
Scale: 1/2" = 1'-0"



**7** Proposed Parking Lighting  
Scale: Scale: NTS



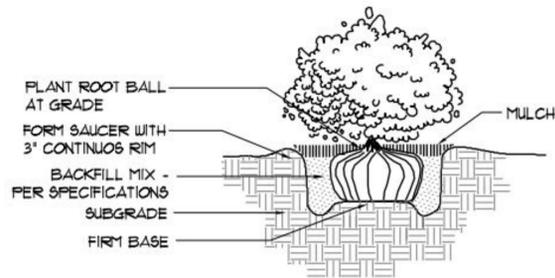
**4** Enclosure Section  
Scale: 3/4" = 1'-0"



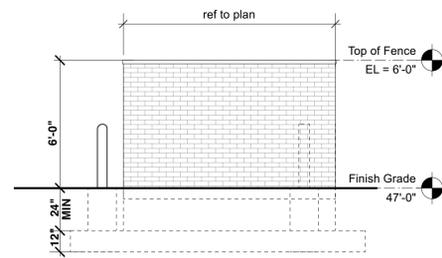
**1** Enlarged Plan  
Scale: 1/4" = 1'-0"



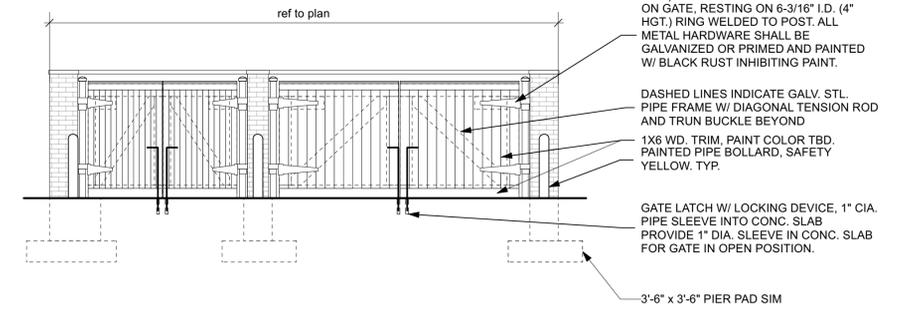
**9** Parking Sign  
Scale: 1" = 1'-0"



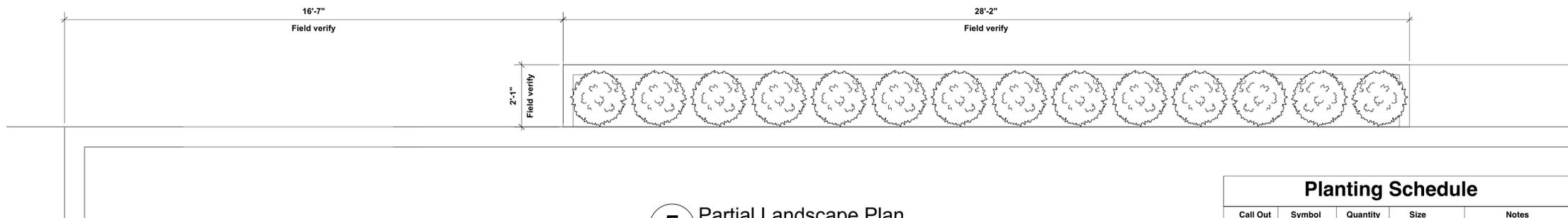
**6** Typical Planting Detail  
Scale: Scale: NTS



**3** Elevation  
Scale: 1/4" = 1'-0"



**2** Elevation  
Scale: 1/4" = 1'-0"



**5** Partial Landscape Plan  
Scale: 1/2" = 1'-0"

Planting Schedule				
Call Out	Symbol	Quantity	Size	Notes
PL-1		14	5 gallon	Boxwood Velvet Green

Owner: Jason Liu  
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Blv., Powell, Ohio  
43065

Architect: Bass Studio Architects  
36 King Avenue,  
Columbus, OH, 43201  
Tel: (614) 294 4893

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Date: 04/18/24 Reviewed By:

Project ID:

Sheet Title: Dumpster Enclosure and Landscape Drawings

Sheet No. A1.4