

A
A2.2
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"
refer to page A2.4 for framing/beams& headers

Note: all interior doors 80" tall
1617 s.f. (total building coverage incl. garage and rear decks = 2,818 s.f.)
3156 s.f. total 1st/2nd floors
4709 total fin. area incl. LL

epic GROUP
614-374-7575 180 S Riverview St
Dublin OH 43017

Razor Residence
112 S. Riverview Dr., Dublin, Ohio

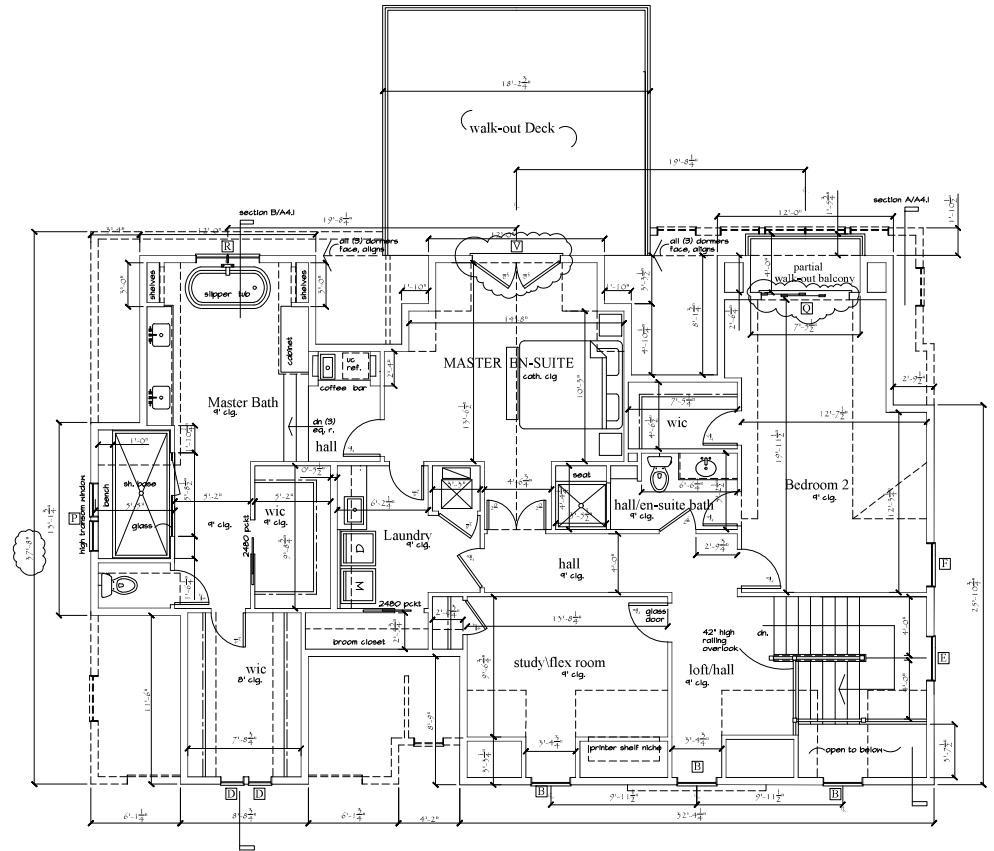
C. David Johnson
A.L.A. ARCHITECT
collaborative studio
cjohnson@cdjstudio.com
614-374-6200
studio: 8900 Oak Dr.
Framingham, Ohio 43064

Architectural Design, Land Planning, Engineering, Interior Design Services

10-4-24 Dublin ARB revisions

A2.2
First Floor plan
scale: 1/4" = 1'-0"

clouded areas refer to changes to approved plans



A
 A2.3
Second FLOOR PLAN
 1539 s.f. Scale: 1/4" = 1'-0"
 refer to page A2.4 for framing/beams& headers

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 614-374-7575 180 S Riverview St
 Dublin OH 43017

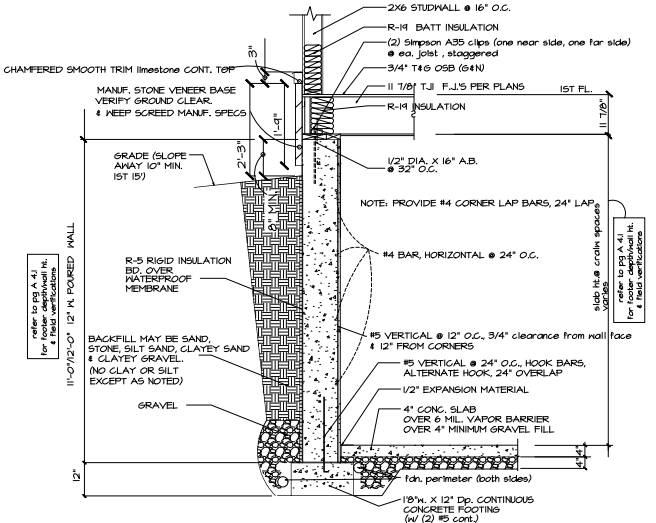
Razor Residence
 112 S. Riverview Dr., Dublin, Ohio

C. David Johnson
 A.L.A.
 ARCHITECT
 1 cottage to castle
 email: david@epicoh.com
 cell: 614-374-7575
 studio: 1800 Cos Dr.
 Dublin, OH 43004

Architectural Design, Land Planning,
 Engineering, Interior Design Services

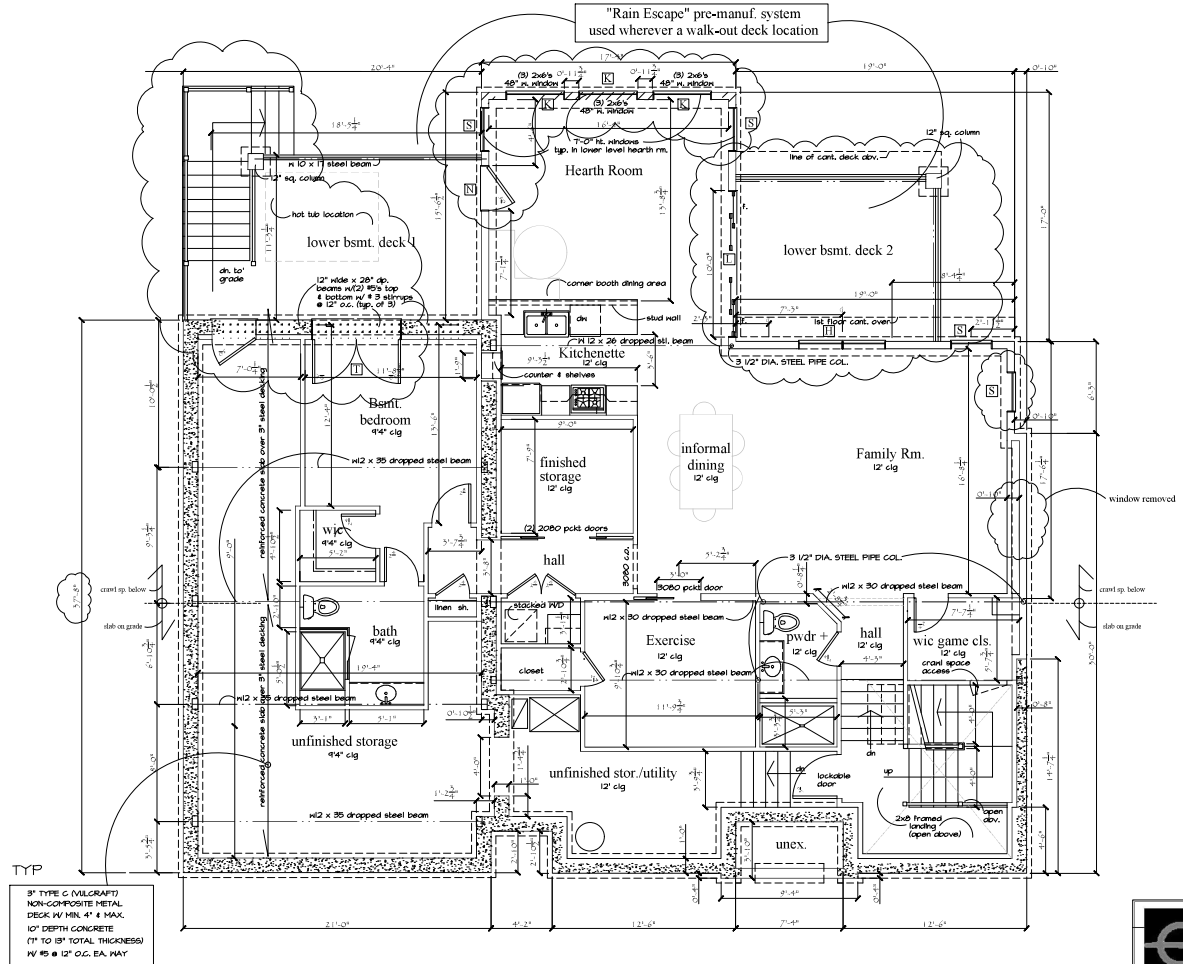
A2.3
 second floor plan
 scale: 1/4" = 1'-0"

10-4-24
 Dublin ARB revisions



B TYPICAL FOUNDATION SECTION
A2.0 Scale: nts

- NOTES:
- 1) PROVIDE 2-#5 HORIZ. REBAR WALL REINFORCING BELOW BSMT. WINDOWS EXTENDING 1'-0" BEYOND EA. SIDE OF WINDOW
 - 2) PROVIDE 2-#5 VERTICAL REINFORCING/FILL HT. @ EA. SIDE OF EA. BSMT. WINDOW



3" TYPE C (MILGRAFT) NON-COMPOSITE METAL DECK W/ MIN. 4" MAX. 10" DEPTH CONCRETE (1" TO 3" TOTAL THICKNESS) W/ #5 @ 12" O.C. EA. WAY

A Finished Bsmt./Fdn. PLAN
A2.1 Scale: 1/8" = 1'-0"
1553 s.f. shown
refer to page A2.4 for framing/beams & headers

Note: for the bsmt. all interior doors 6'8" tall

NOTE FOR UNFINISHED BASEMENT
USE T-3 FLAK-JACKET
1 HOUR RATED PROTECTED
LEISTS THROUGHOUT BSMT. FLOOR FRAMING

NOTE: Except for steel beams &/or headers. Structural shown for design intent only. Refer to manuf. supplied structural sheets for all joists, beams, headers, and rafters sizes and locations.

epic GROUP
614-374-7575 180 S Riverview St
Dublin OH 43017

Razor Residence
112 S. Riverview Dr., Dublin, Ohio

C. David Johnson
ARCHITECT
cjohnson@cdjarch.com
440.685.0565
Plan City, Ohio 43064

A2
ARCHITECT
DATE: 08-24
SCALE: 1/8" = 1'-0"



Matl. & color specs;

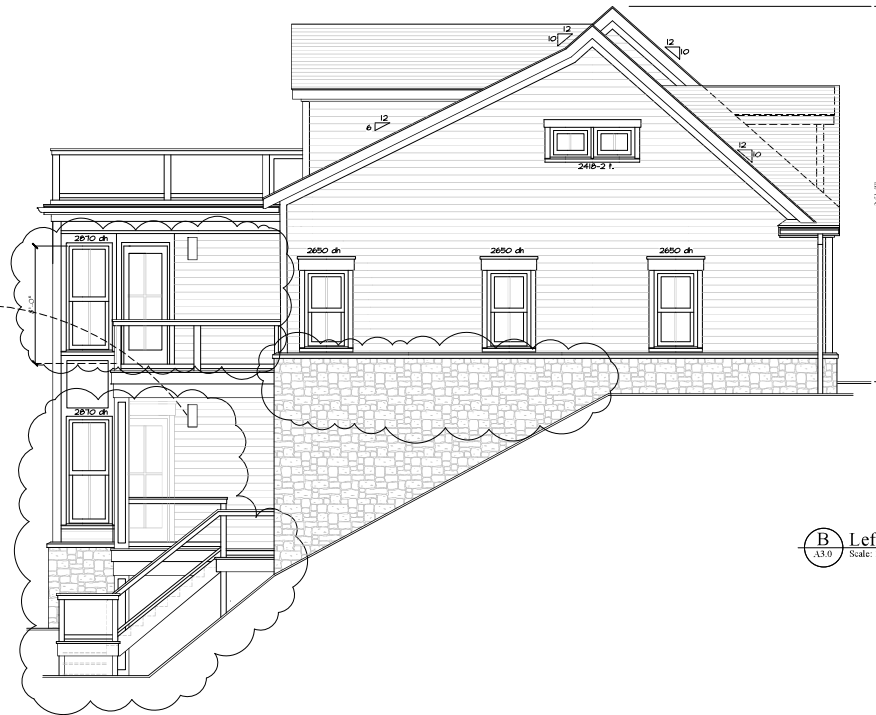
Hardi smooth cement board siding & trim
 Roof- Heritage Weathered Wood asphalt
 Siding- SW7046 Anonymus
 Trim- SW7042 Shoji White
 Door- SW6258 Tricorn Black

Stone- Casa DI Sassi- Terracina Blend
 Mortar- Tennessee Buff



One Light Outdoor Wall Mour
 49735BKT

@ (4) total locations
 on the rear/side elevations



(B) Left Side ELEVATION
 A3.0 Scale: 1/4" = 1'-0"



Front Elevation

smooth Hardie head and sill trim (typ.)
 (matches balance of trim Shoji White SW 7042)

(A) FRONT ELEVATION
 A3.0 Scale: 1/4" = 1'-0"

clouded areas refer to changes to approved plans

Garage goosneck wall mounted light bronze finish, anodized aluminum
 Northern Lighting Supplier Allenbury collection model SKU 6553002
 incandescent, Edison type historical bulb

note: front porch lights are clg. mounted can lights with LED bulbs
 rear terrace and (2) decks will have double head wall mounted flood lights w/ led bulbs



One Light Outdoor Wall Mount

\$199.99

In Ohio please from the Allenbury collection.
 1000 Bross in factory (Black 300)
 Email Product 91770700233
 Ask a Question
 SKU: 6553002



Razor Residence
 112 S. Riverview Dr., Dublin, Ohio

C. David Johnson
 ARCHITECT
 email: cdjohnson@aol.com
 cell: 614-374-7566
 mobile: 8945 Cox Dr.
 Dublin, OH, 43004

Architectural Design, Land Planning
 Drafting, View Book and Presentations

3
 elevations 1
 scale: 1/4" = 1'-0"

10-4-24 Dublin ARB revisions



Rear ELEVATION from before



B Right Side ELEVATION
A31 Scale: 1/4" = 1'-0"

Matl. & color specs;

Hardi smooth cement board siding & trim
 Roof- Heritage Weathered Wood asphalt
 Siding- SW7046 Anonymous
 Trim- SW7042 Shoji White
 Door- SW6258 Tricorn Black

Stone- Casa DI Sassi- Terracina Blend
 Mortar- Tennessee Buff



One Light Outdoor Wall Mour
49735BKT

@ (5) total locations
on the rear/side elevations



A Rear ELEVATION
A31 Scale: 1/4" = 1'-0"

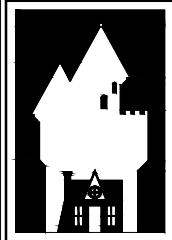
clouded areas refer to changes to approved plans



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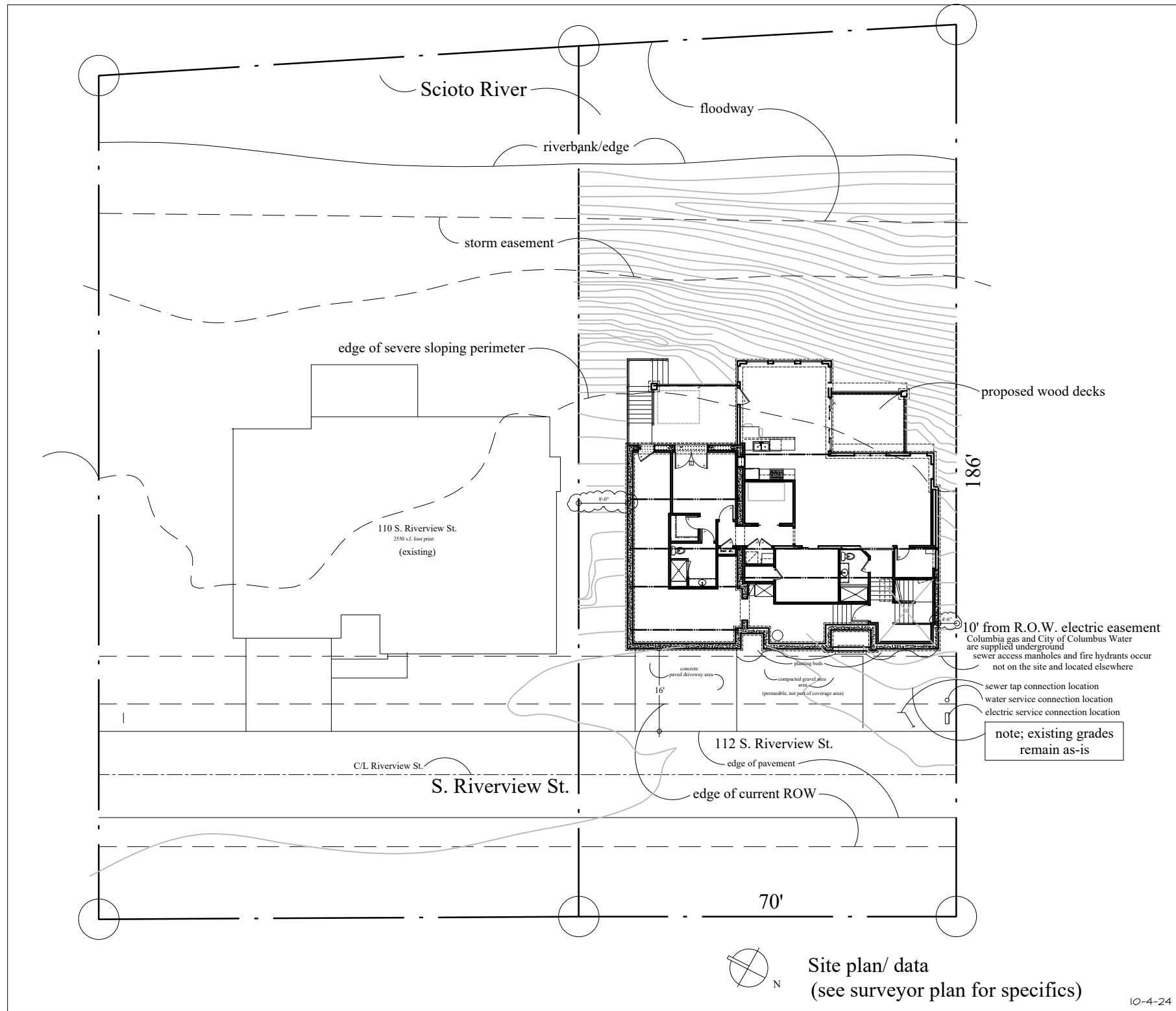
C. David Johnson
 ARCHITECT
 112 S. Riverview Dr.
 Dublin, OH 43017
 Phone: 614-374-7575
 Email: cdjohnson@epicgroup.com

10-4-24 Dublin ARB revisions



C. David Johnson
 A. I. A.
ARCHITECT
 "cottage to castle..."
 email: cdavidaia@aol.com
 cell: 614-330-5266
 studio: 8965 Coe Dr.
 Plain City, Ohio 43064
 Architectural Design, Land Planning
 Renderings, New Build and Renovation

Dublin historic guidelines site development stds. based on Dublin code 153.173	112 S. Riverview Dr. lot coverage one dwelling unit
minimum lot size 8,700 s.f.	11,439 s.f. (.26 acres)
minimum lot width 60 ft.	70'
front yard setback 0'	16' from exist. rd. pavement
min. side yard setback 3'	4'-6"
min. side yard setback total 12'	12'-6"
rear yard setback 20% lot depth max 50'	65% avg.
maximum lot coverage 45%	27.87% (includes 288 s.f. drive) no walks, compacted gravel up to front porch
maximum build ht. 24'	21'-3" (center roof street elevation)
maximum building footprint 25%	24.6% (2818 s.f. building footprint) includes the (2) rear decks + steps
attached front loaded setback 20'	16' (waiver requested)
front loaded garage setback <35% linear distance front elevation	34%



Site plan/ data
 (see surveyor plan for specifics)